

NOT USED	17

NOT USED	18

NOT USED	19

NOT USED	20

NOT USED	13

NOT USED	14

NOT USED	15

NOT USED	16

NOT USED	9

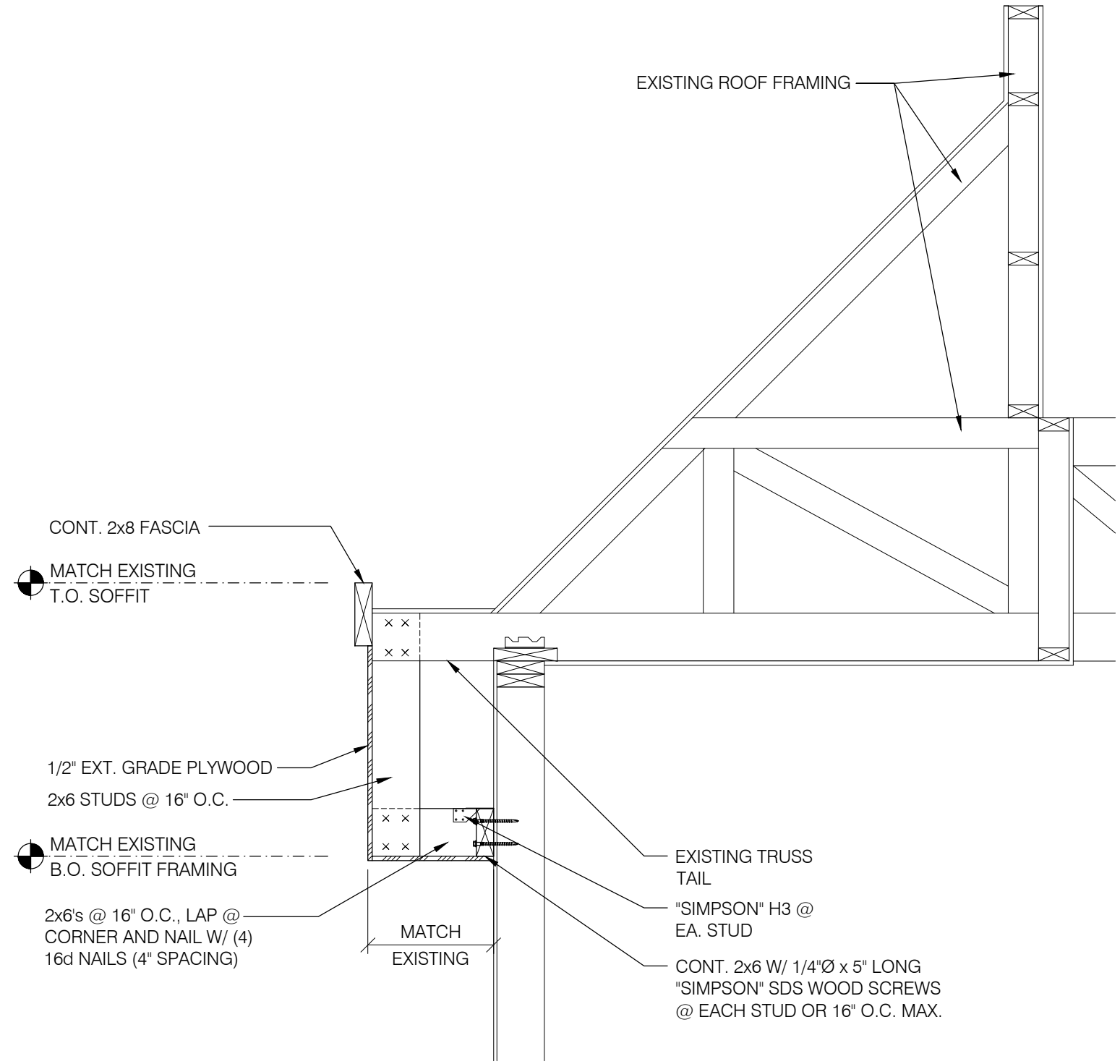
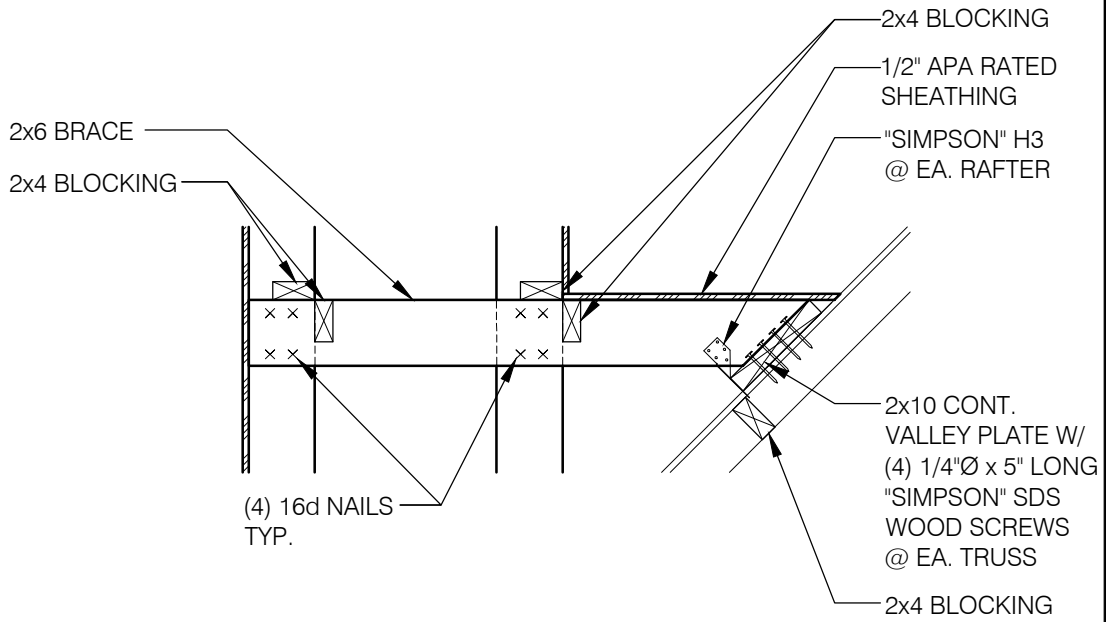
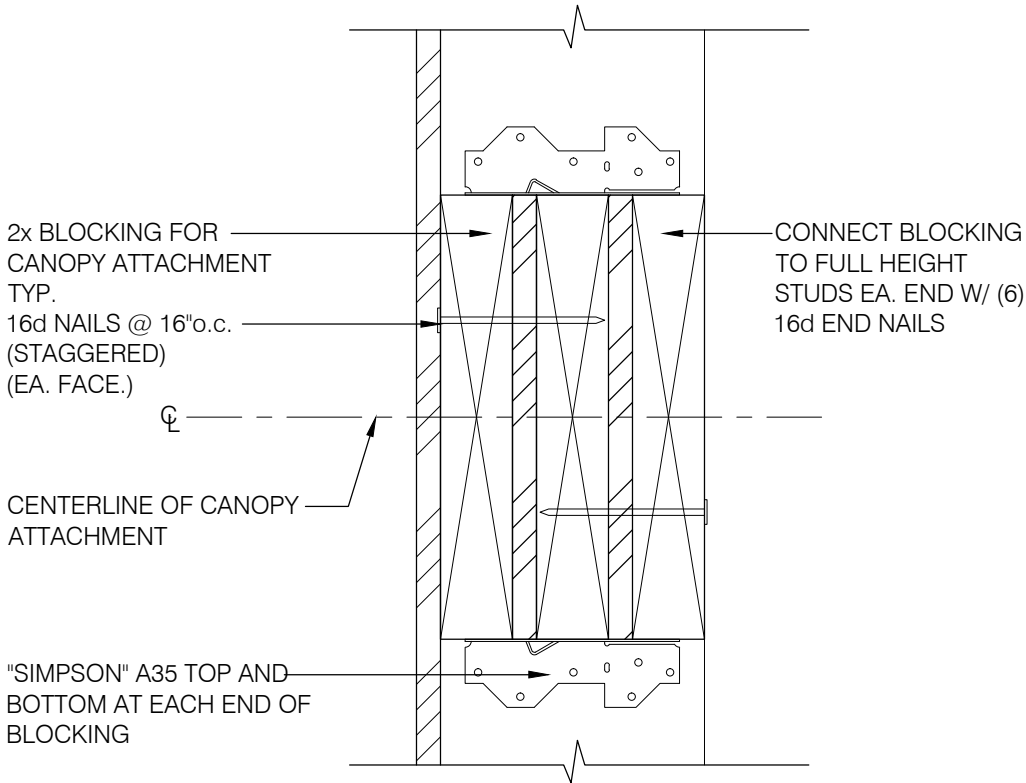
NAILING SCHEDULE	10

CANOPY BLOCKING DETAIL	11

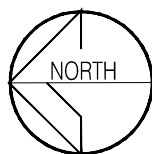
RAFTER CONNECTION DETAIL	12

RECONSTRUCTED SOFFIT/FASCIA	2

E.N. (EDGE NAILING) = 10d @ 6"  
B.N. (BOUNDARY NAILING) = 10d @ 6" O.C.  
F.N. (FIELD NAILING) = 10d @ 9" O.C.







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## PROJECT NUMBER 1729460

SUCCESSOR REMODEL FOR:  
**TACO BELL**  
7141 S 76TH STREET • FRANKLIN, WI 53132

WISCONSIN  
JONATHAN  
BRINKLEY  
10502-5  
FOND DU LAC  
WISCONSIN  
ARCHITECT  
EXPIRES 12/31/2019

ISSUE DATE      JULY 28, 2017

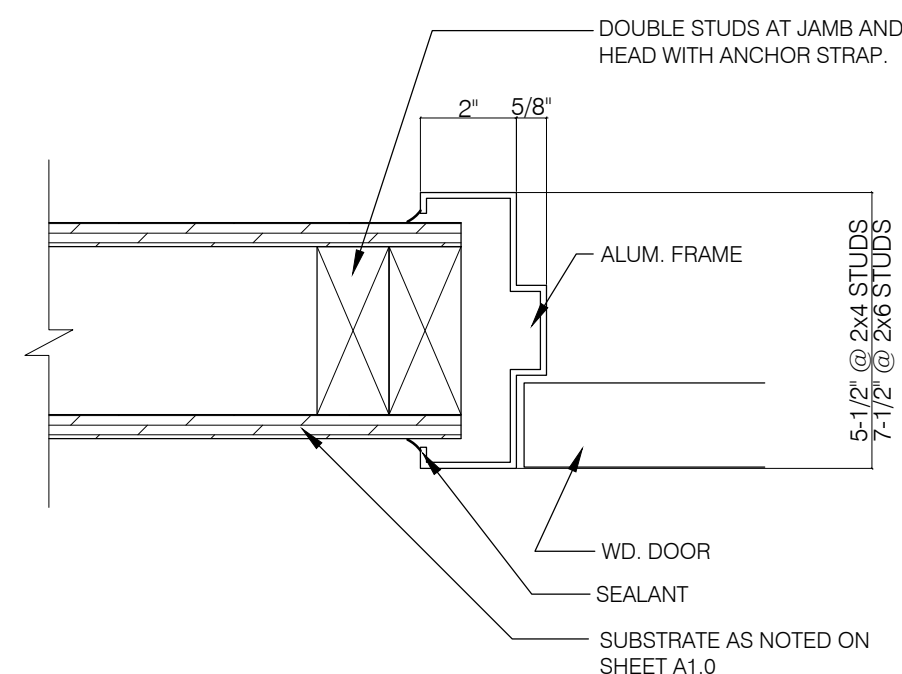
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# A1.0

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- 1 INSTALL STAINLESS STEEL PANELS ABOVE SINK. SEE DETAIL 14/A6.0.
- 2 INFILL PORTION OF WALL AS INDICATED. MATCH EXISTING THICKNESS AND ADJACENT INTERIOR AND EXTERIOR WALL FINISHES.
- 3 NEW F.R.P. EXTENTS. VERIFY WITH OWNER. SEE SHEET A7.2 FOR SPEC.
- 4 SEE PLUMBING DRAWINGS FOR EQUIPMENT.





**ALUMINUM HEAD/JAMB** 3" = 1'-0"

NOTES:

1. MATCH EXISTING STOREFRONT COLOR.
2. ENTIRE STOREFRONT SYSTEM SHALL BE 2" x 4 1/2" THERMALLY BROKEN FRAMES, CROWN FINISH.
3. SEE SCHEDULE FOR GLASS TYPES
4. REFER TO FLOOR PLAN FOR ROUGH OPENING DIMENSIONS.
5. ALL STOREFRONT MATERIAL AND GLAZING SHALL BE SUPPLIED AND INSTALLED BY G.C. U.O.N.
6. ALL STOREFRONT WINDOW SYSTEMS SHALL HAVE A "SILL RECEPTOR" AT THE SILL, ALONG WITH INDUSTRY STANDARD "END DAMS".

**PREFERRED SUPPLIER**

## INTERIOR DOORS, FRAMES & HARDWARE

MARLITE

## GLASS SCHEDULE

- ☐ A 1" CLEAR INSULATED GLASS
 ☐ D SAFETY GLASS BY MFR.
- ☐ B 1" CLEAR INSULATED TEMPERED GLASS
- ☐ C 1/4" CLEAR TEMPERED GLASS

NOTE:  
SHADING COEFFICIENT SPECIFICATION PER LOCAL CODE REQUIREMENTS  
DAYTIME VISIBILITY INTO DINING ROOM SHALL BE MAINTAINED.

\*\*\*\* ALL STOREFRONT GLAZING SHALL BE LOW "E" SOLAR GLASS \*\*\*\*

## NOTES

N.T.S.

REFERENCE NOTES:

1. LAMINATE DOOR.
2. MOUNT DOOR CLOSERS ON RESTROOM OR KITCHEN SIDE ONLY.
3. MOUNT KICKPLATE ON PUSH SIDE ONLY.
4. MAXIMUM DOOR OPERATING PRESSURE : 5 LBS INTERIOR : 15 LBS EXTERIOR.
5. ADA COMPLIANT ACCESSIBILITY SIGNAGE - (1) MEN; (1) WOMEN ; (2) SYMBOL.
6. RESTROOM SIGN REQUIRED.
7. INSTALL FRAMES BEFORE WALL TILE.

GENERAL DOOR NOTES:

1. ALL HARDWARE SHALL BE US32D U.O.N.
2. ALL LOCKS SHALL BE FALCON 6 PIN INTERCHANGEABLE CORE SUPPLIED AND INSTALLED BY THE G.C. ALL EXTERIOR LOCKS SHALL BE PROVIDED WITH CONSTRUCTION CORES. ALL PERMANENT CORES SHALL BE KEYED ALIKE.
3. PERMANENT CORES SHALL BE SHIPPED TO THE RESTAURANT GENERAL MANAGER.

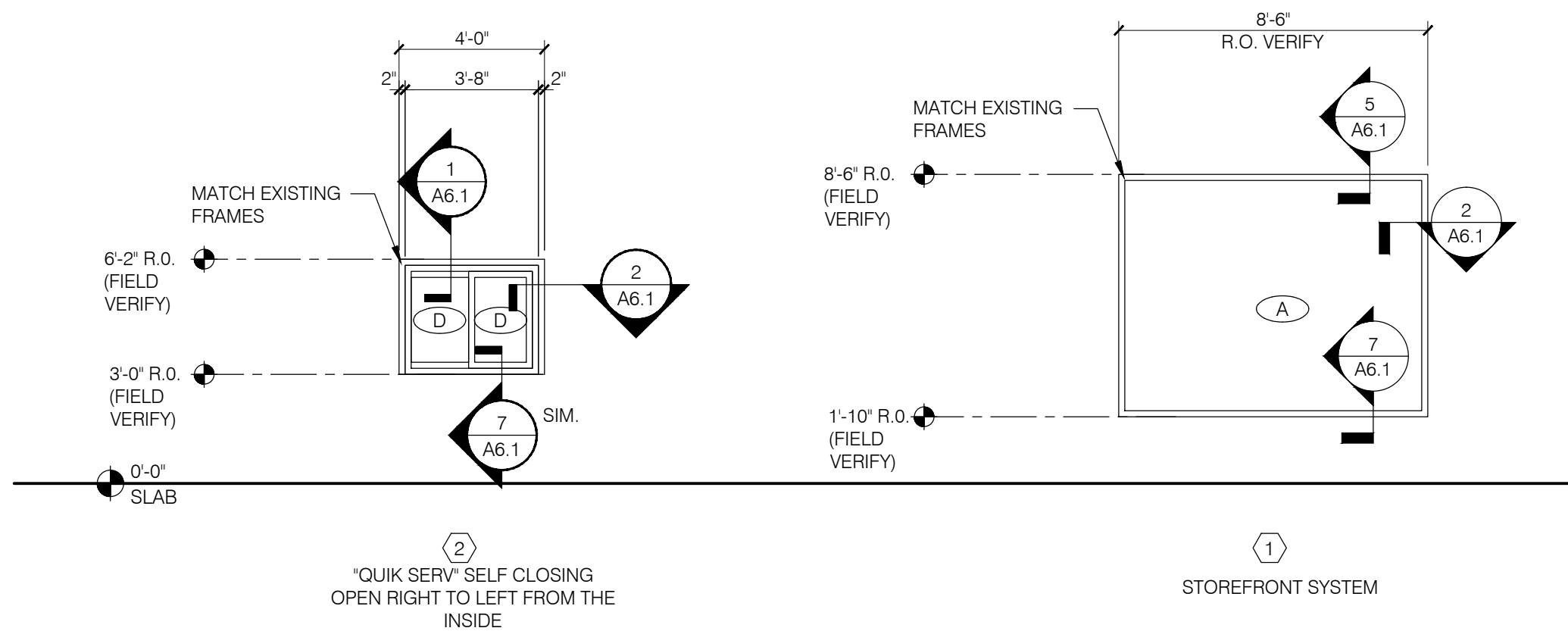
### DOOR SCHEDULE NOTES

1

DOOR NO.		DOOR SIZE				TYPE	DOOR	FRAME	BUTTS	LOCKS	CLOSERS	KICKPLATE	MISCELLANEOUS	DETAIL LOCATIONS			DOOR NOTES						
						FIRE-RATING IN HOURS	SEE DOOR TYPE ELEVATIONS	DOOR TYPE	FRAME TYPE	1 1/2 PR McKINNEY #T42731, 4-1/2" x 4-1/2"	SCHLAGE F5395 (HOME DEPOT) 980510 NICKEL FINISH	FALCON "T" SERIES - PRIVACY SET		STAINLESS STEEL 10" x .050 X 2" L.T.D.W.*		UNDERCUT 3/4"	BARRIER FREE DOOR SIGN	WALL STOP - ROCKWOOD 409	COAT HOOK (ON BACK OF DOOR) BOBRICK #B-670	HEAD	JAMB	SILL	* LESS THAN DOOR WIDTH
1	WOMEN	3'-0" x 6'-8" x 1'-3/4"	0	A	WD	AL	X			X	X	X	X	X	X	X	X	X	8/A1.1	8/A1.1		1, 2, 3, 4, 5, 6, 7	
2	MEN	3'-0" x 6'-8" x 1'-3/4"	0	A	WD	AL	X			X	X	X	X	X	X	X	X	X	8/A1.1	8/A1.1		1, 2, 3, 4, 5, 6, 7	
3	CLOSET	3'-0" x 6'-8" x 1'-3/4"	0	B	WD	AL	X		X						X				8/A1.1	8/A1.1		1	

## DOOR SCHEDULE

2



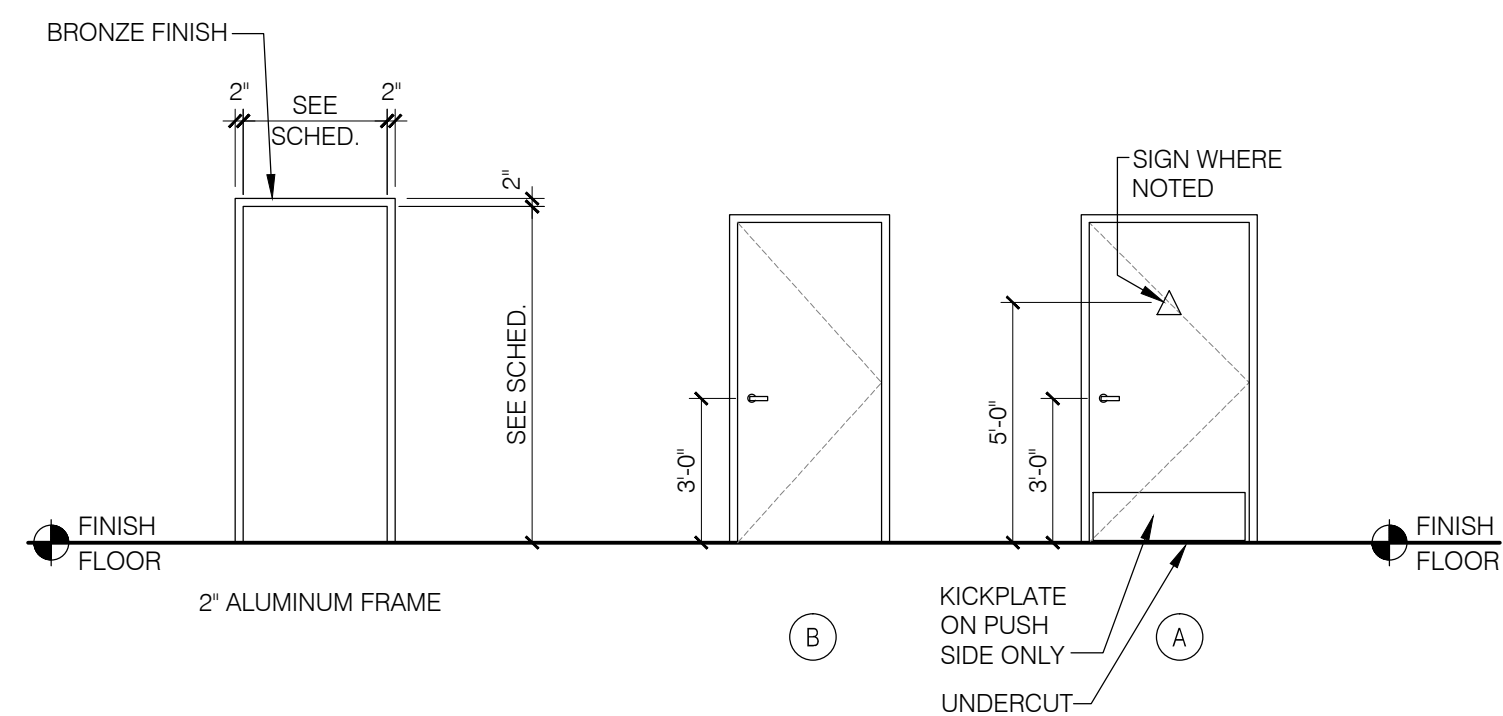
NOTE: ELEVATIONS DRAWN AS VIEWED FROM EXTERIOR OF BUILDING.

## WINDOW TYPES $1/4'' = 1'-0''$

9

NOTES:

1. ALL DOOR HARDWARE SHALL COMPLY WITH BARRIER FREE ACCESS REQUIREMENTS.
2. THE BOTTOM 10" OF ALL DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
3. ELEVATIONS DRAWN AS VIEWED FROM EXTERIOR OF BUILDING OR FROM OUTSIDE THE ROOM.



## DOOR TYPES

$$1/4'' = 1'-0''$$

3

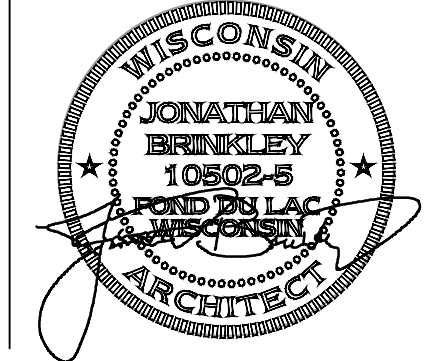


## PROJECT INFORMATION

PROJECT NUMBER 1729460

SUCCESSOR REMODEL FOR:  
**TACO BELL**  
7141 S 76TH STREET • FRANKLIN, WI 53132

PROFESSIONAL SEAL



## SHEET DATES

ISSUE DATE JULY 28, 2017

## REVISIONS

[illegible]

## SHEET INFORMATION

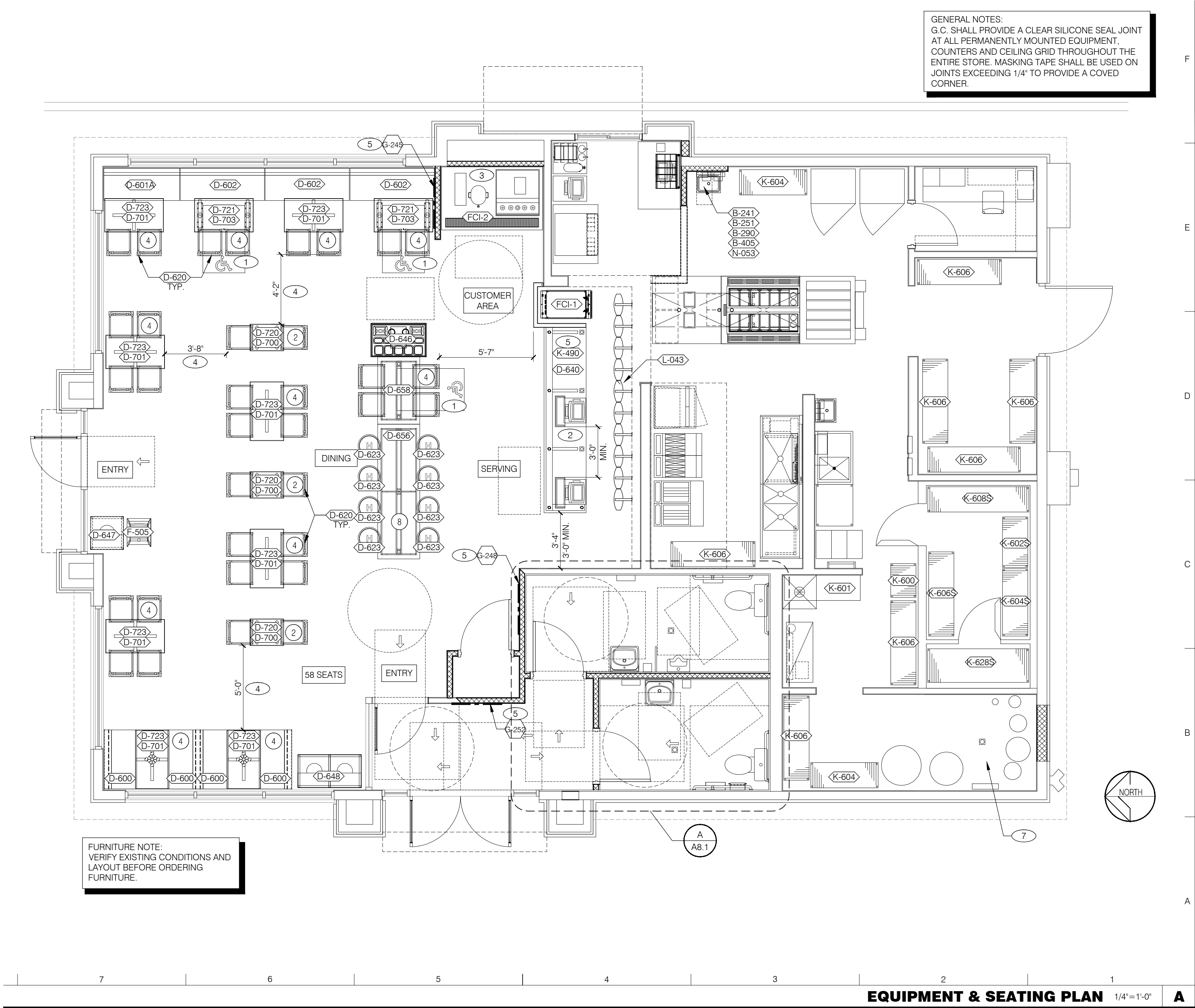
DOOR & WINDOW  
ELEVATIONS & SCHED.

SHEET NUMBER

# A1.1



EQUIPMENT SCHEDULE									
NO.	QTY	OWNER SUPPLIED	G.C. INSTALLED	ITEM DESCRIPTION	MFR & MODEL NUMBER	PLUMB	ELECT	GAS	REMARKS
B CONTRACTOR BUILDING ELEMENTS									
B-241	1	X	X	SOAP DISPENSER (WALL MOUNT)	KAY 3741				SURFACE MTD.
B-251	1	X	X	SANITIZER DISPENSER	KAY 3741				SURFACE MTD.
B-290	1	X	X	PAPER TOWEL DISPENSER	BOBRICK #B-262				SURFACE MTD.
B-405	1	X	X	WASTE BASKET	RUBBERMAID SLIM JIM #3541 (GREY)				
D SEATING PACKAGE									
D-600	4	X	X	UPHOLSTERED SINGLE BOOTH 42"	FACILITY CONCEPTS INCORPORATED				
D-601A	1	X	X	UPHOLSTERED SINGLE BOOTH 54"	FACILITY CONCEPTS INCORPORATED				
D-602	3	X	X	UPHOLSTERED SINGLE BOOTH 60"	FACILITY CONCEPTS INCORPORATED				
D-620	34	X	X	RETRO-INDUSTRIAL CHAIR	FACILITY CONCEPTS INCORPORATED				
D-623	8	X	X	BARRELL BAR STOOL	FACILITY CONCEPTS INCORPORATED				
D-640	1	X	X	SERVICE COUNTER	FACILITY CONCEPTS INCORPORATED				W/ 6" STAINLESS STEEL LEGS
D-646	1	X	X	CONDIMENT STATION	FACILITY CONCEPTS INCORPORATED				
D-647	1	X	X	WASTE ENCLOSURE SINGLE	FACILITY CONCEPTS INCORPORATED				
D-648	1	X	X	WASTE ENCLOSURE DOUBLE	FACILITY CONCEPTS INCORPORATED				
D-656	1	X	X	WORK BENCH HUB TABLE 96"	FACILITY CONCEPTS INCORPORATED				
D-658	1	X	X	WORK BENCH HUB TABLE 48 ADA"	FACILITY CONCEPTS INCORPORATED				
D-700	3	X	X	30" HIGH FREESTANDING TABLE BASE 22"x22"	FACILITY CONCEPTS INCORPORATED				
D-701	8	X	X	30" HIGH FREESTANDING TABLE BASE 22"x30"	FACILITY CONCEPTS INCORPORATED				
D-702	0	X	X	30" HIGH FREESTANDING TABLE BASE 30"x30"	FACILITY CONCEPTS INCORPORATED				
D-703	2	X	X	30" HIGH FREESTANDING TABLE BASE 4" WIDE ADA	FACILITY CONCEPTS INCORPORATED				
D-720	3	X	X	WARPING PLYWOOD TABLE TOP 24"x19"	FACILITY CONCEPTS INCORPORATED				
D-721	2	X	X	WARPING PLYWOOD TABLE TOP 24"x42" ADA	FACILITY CONCEPTS INCORPORATED				
D-722	0	X	X	WARPING PLYWOOD TABLE TOP 30"x30"	FACILITY CONCEPTS INCORPORATED				
D-723	7	X	X	WARPING PLYWOOD TABLE TOP 24"x42"	FACILITY CONCEPTS INCORPORATED				
D-731	0	X	X	WARPING PLYWOOD TABLE TOP 24"x48"	FACILITY CONCEPTS INCORPORATED				
D-733	0	X	X	WARPING PLYWOOD TABLE TOP 24"x48" ADA	FACILITY CONCEPTS INCORPORATED				
FCI-1	1	X	X	FRUITISTA SHROUD 39" HIGH	FACILITY CONCEPTS INCORPORATED				
FCI-2	1	X	X	CUSTOM DRINK STATION	FACILITY CONCEPTS INCORPORATED				W/ 6" STAINLESS STEEL LEGS
F-505	1	X	X	STACK-ABLE HIGH CHAIR	MARSTON #C-30-N NATURAL OAK				
G ARTWORK									
G-242	0	X	X	MASH UP, 28"x40"					SEE A8.0 FOR LOCATION
G-243	0	X	X	MASH UP, 28"x40"					SEE A8.0 FOR LOCATION
G-245	1	X	X	CONCRETE GRAFFITI, 28"x40"					SEE A8.0 FOR LOCATION
G-248	1	X	X	LINEAR PACKETS, 28"x40"					SEE A8.0 FOR LOCATION
G-252	1	X	X	EMOJIIS, 28"x40"					SEE A8.0 FOR LOCATION
N SINKS/DISHWASHERS									
N-053	1	X	X	HAND SINK (KITCHEN)	ADVANCE TABCO #7-PS-60	X			INCLUDES FAUCET
L LIGHTING/SIGNAGE/MENU BOARDS									
L-043	1	X	X	INTERIOR MENU BOARD PACKAGE	STRATACACHE LG 43 DISPLAY		X		
K WORKSTATIONS/SHELVING/CARTS									
K-490	2	X	X	FRONT COUNTER SHELVING 18" x 24" x 24" (2 TIER)	ISS #WST440Y				UNDER SERVING COUNTER
K-600	1	X	X	SHELVING UNIT 18" X 24" X 86"H (4 TIER)	ISS #				
K-601	1	X	X	SHELVING UNIT 18" X 52" (1 TIER)	ISS #				WALL MOUNTED
K-604	2	X	X	SHELVING UNIT 18" X 48" X 86"H (4 TIER)	ISS #SU184885Y				
K-606	7	X	X	SHELVING UNIT 18" X 60" X 86"H (4 TIER)	ISS #SU186085Y				WITH DUNNAGE BOTTOM
K-602S	1	X	X	SHELVING UNIT 18" X 36" X 86"H (4 TIER)	ISS #SU183685Y				WITH DUNNAGE BOTTOM
K-604S	1	X	X	SHELVING UNIT 18" X 48" X 86"H (4 TIER)	ISS #SU184885Y				WITH DUNNAGE BOTTOM
K-606S	1	X	X	SHELVING UNIT 18" X 60" X 86"H (4 TIER)	ISS #SU186085Y				WITH DUNNAGE BOTTOM
K-608S	1	X	X	SHELVING UNIT 18" X 72" X 86"H (4 TIER)	ISS #				WITH DUNNAGE BOTTOM
K-628S	1	X	X	SHELVING UNIT 24" X 72" X 86"H (4 TIER)	ISS #				WITH DUNNAGE BOTTOM



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PROJECT INFORMATION

PROJECT NUMBER 1729460

SUCCESSOR REMODEL FOR:  
**TACO BELL**  
7141 S 76TH STREET • FRANKLIN, WI 53132

PROFESSIONAL SEAL

JONATHAN BRINKLEY  
10502-S  
FOND DU LAC, WISCONSIN  
ARCHITECT

SHEET DATES

ISSUE DATE JULY 28, 2017

REVISIONS


SHEET INFORMATION

SEATING PLAN

SHEET NUMBER

A2.0

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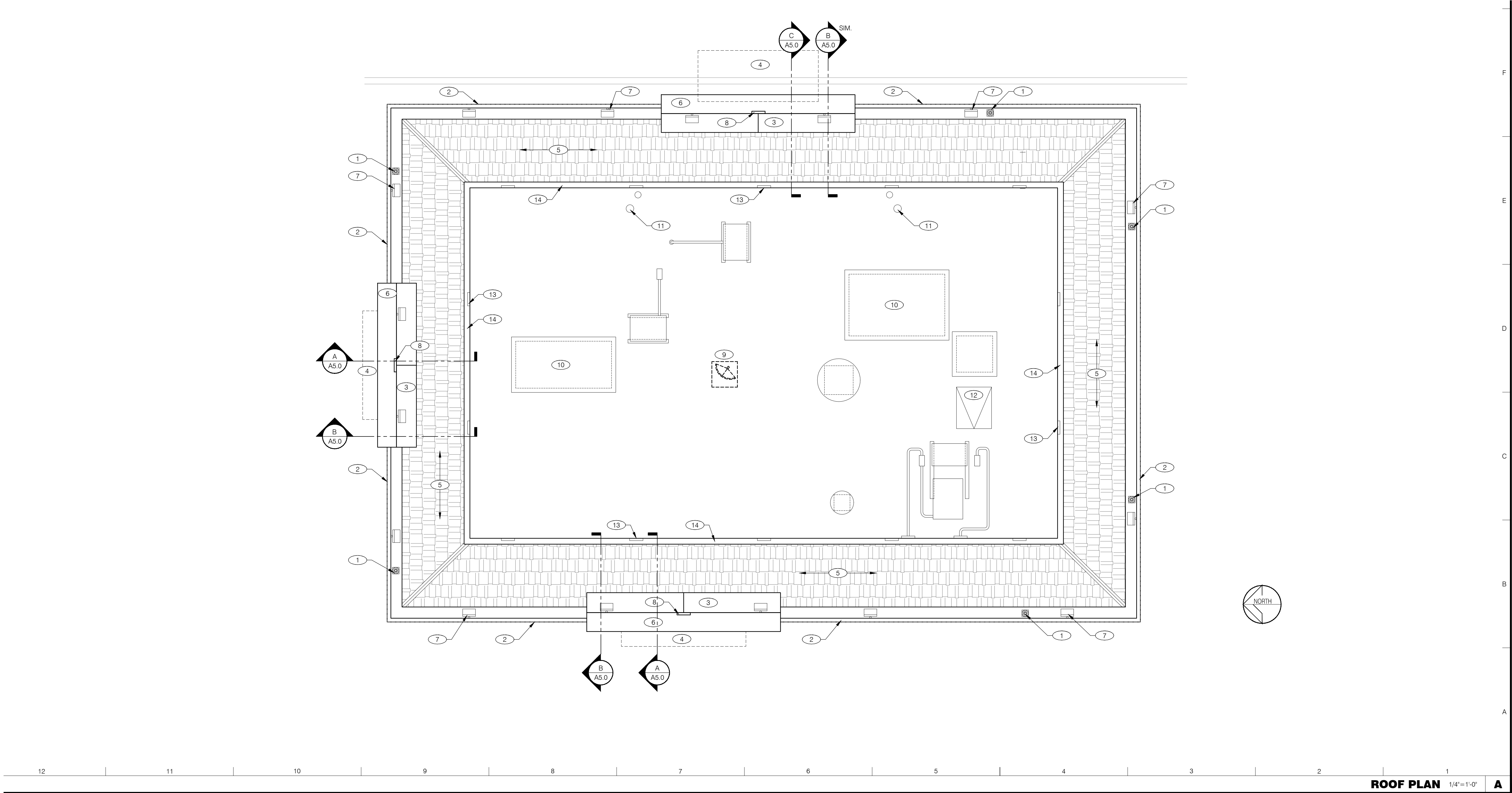
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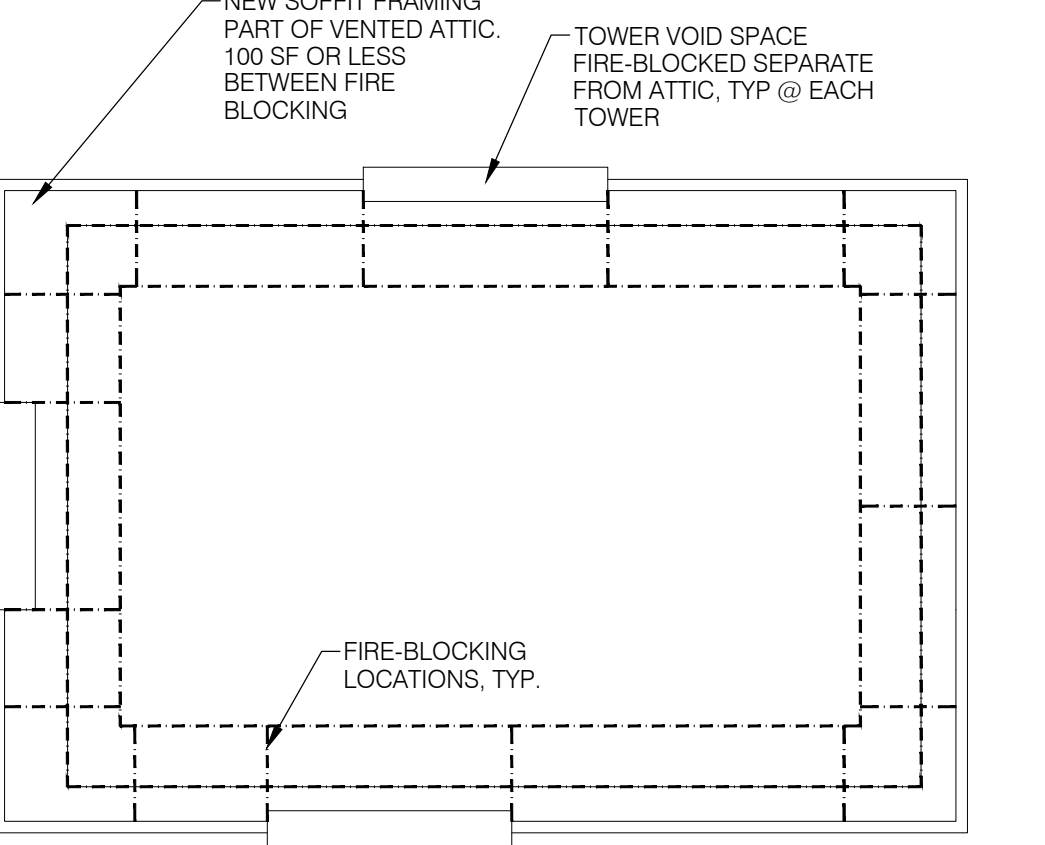
PROFESSIONAL SEAL





NOT USED

F



NEW SOFFIT FRAMING  
PART OF VENTED ATTIC.  
100 SF OR LESS  
BETWEEN FIRE  
BLOCKING

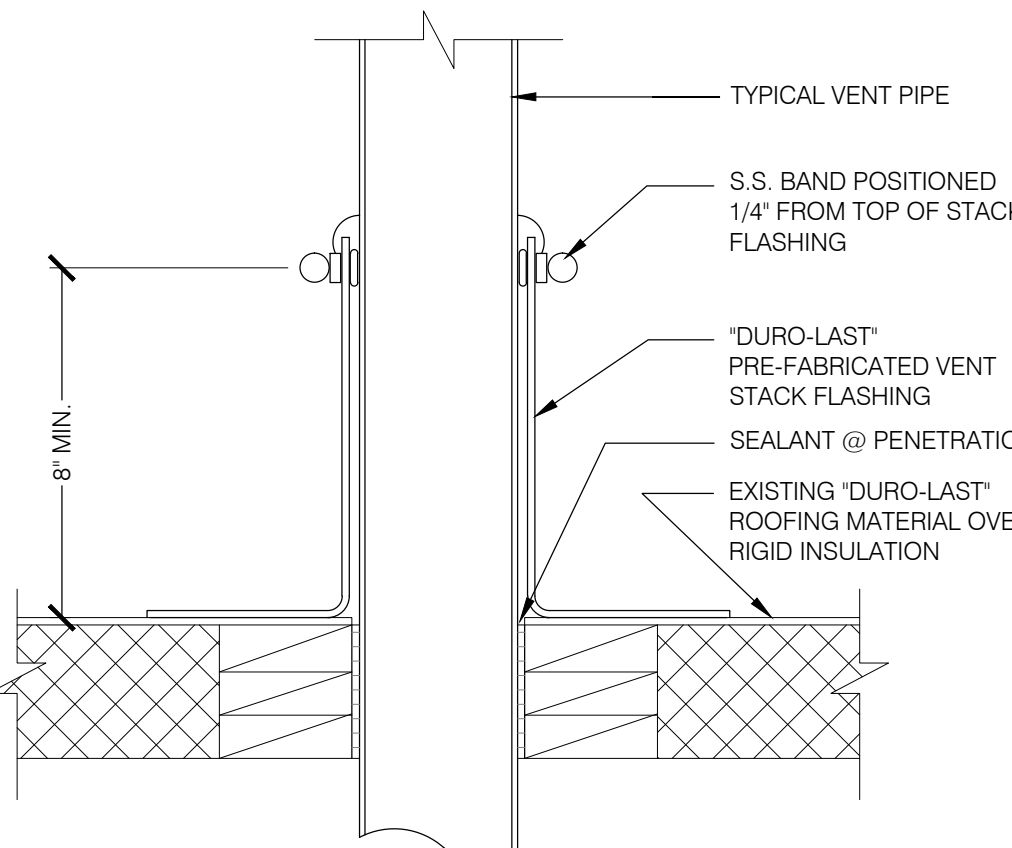
TOWER VOID SPACE  
FIRE-BLOCKED SEPARATE  
FROM ATTIC, TYP @ EACH  
TOWER

FIRE-BLOCKING  
LOCATIONS, TYP.

FIRE BLOCKING PLAN

N.T.S.

E



TYPICAL VENT PIPE

S.S. BAND POSITIONED  
1/4" FROM TOP OF STACK  
FLASHING

"DURO-LAST"  
PRE-FABRICATED VENT  
STACK FLASHING

SEALANT @ PENETRATION

EXISTING "DURO-LAST"  
ROOFING MATERIAL OVER  
RIGID INSULATION

8" MIN.

SEALED PIPE FLASHING

N.T.S.

D

NOT USED

C

KEY NOTES

B

1 EXISTING ROOF DRAINS SHALL REMAIN WHERE APPROPRIATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING NEW ROOF DRAINS OR RELOCATING EXISTING AS REQUIRED TO PROVIDE A CLEAR AND UNOBSTRUCTED PATH FOR DRAINAGE BASED ON LOCATIONS OF NEW DESIGN ELEMENTS. CONTRACTOR SHALL ENSURE ROOF DRAIN IS AT PROPER ELEVATION TO PREVENT STAGNANT WATER ACCUMULATION AT CORNERS OF BUILDING.

2 OUTLINE OF NEW ROOF PERIMETER.

3 NEW TOWER ROOF CRICKET AS REQUIRED.

4 NEW CANOPY.

5 SELF SEAL TYPE ASPHALT SHINGLES ON 15# BUILDING PAPER ON 15/32" APA RATED SHEATHING ON EXISTING WOOD ROOF TRUSSES @ 24" O.C. MAX.

6 MODIFIED TOWER, SEE ELEVATIONS.

7 REPAIR OR REPLACE ALL LIGHTS AS NECESSARY, TYP. PAINT.

8 NEW TOWER STATIONARY LOUVER, SEE DETAIL 15/A6.0.

9 REMOVE EXISTING SATELLITE DISH.

10 EXISTING RTU.

11 EXISTING ROOF DRAIN WITH OVERFLOW.

12 EXISTING ROOF HATCH.

13 EXISTING WALL LOUVER, TYP.

14 NEW METAL CAP FLASHING ON EXISTING PARAPET WALL.

SHEET DATES

ISSUE DATE JULY 28, 2017

REVISIONS

SHEET INFORMATION

ROOF PLAN

SHEET NUMBER

A3.0

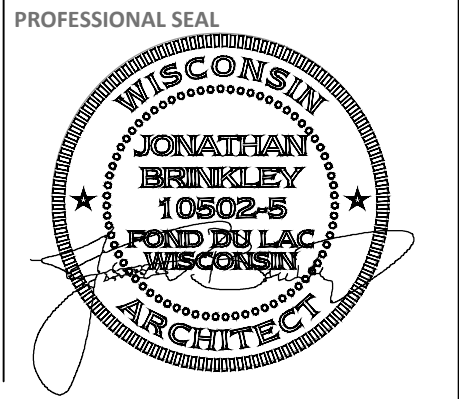
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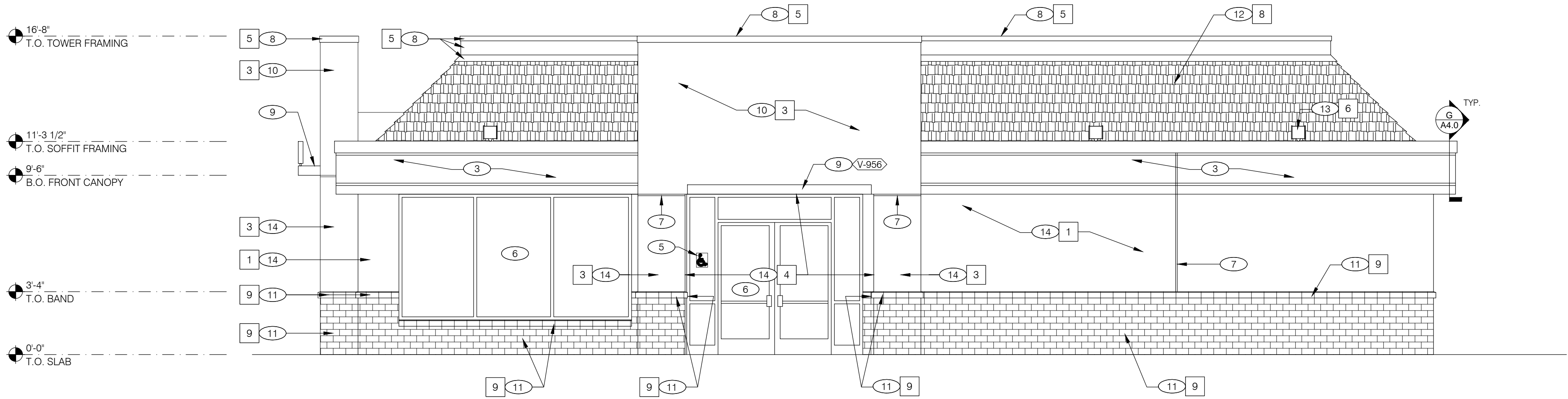
REVISIONS

SHEET INFORMATION

EXTERIOR ELEVATIONS

SHEET NUMBER

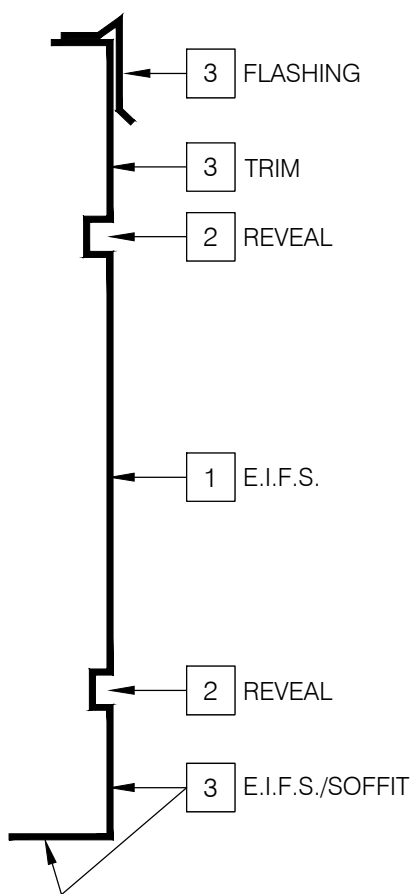
A4.0



VERIFY ALL BUILDING HEIGHTS

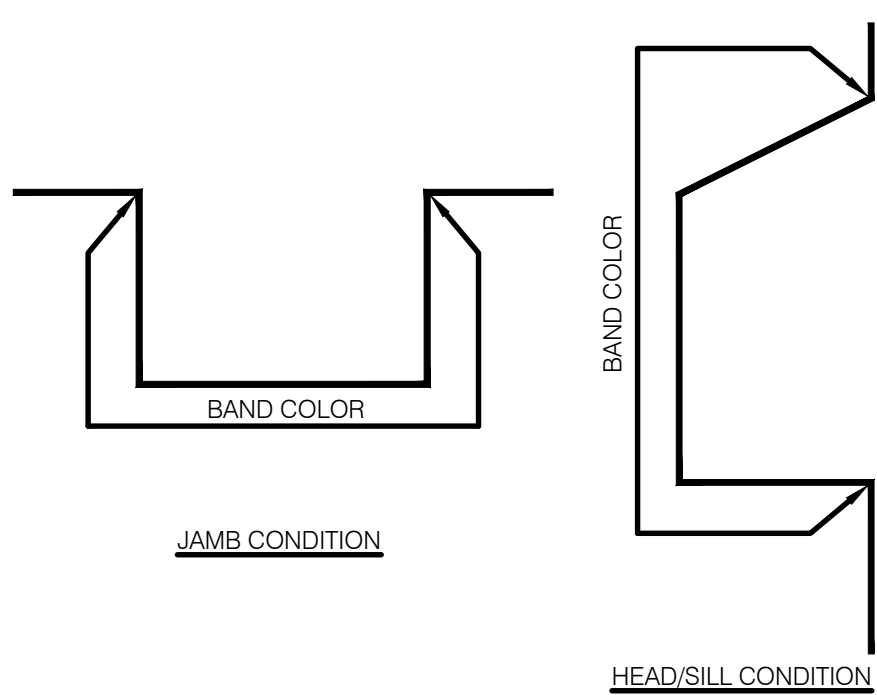
WALK UP SIDE ELEVATION 1/4"=1'-0"

A



SOFFIT COLOR TRANSITION

G



ACCENT BAND COLOR TRANSITION

E

NOTE: SIGNAGE UNDER SEPARATE PERMIT			
	QTY	ITEM DESCRIPTION	ELEC
V-350	1	TB 4'-0" x 9'-0" DRIVE THRU CANOPY	X
V-930	1	TB 3'-6" x 4'-0" LOGO BELL - FACE LIT	X
V-950	1	8'-6" x 1'-2" CANOPY - W/ 14" LED LETTERSET	X
V-956	1	9'-9" x 1'-2" CANOPY - NO LETTERS	X

SIGNAGE SCHEDULE

D

BASE THICKNESS - 1" THICK STUCCO/E.I.F.S. W/ HIGH IMPACT MESH TO HEIGHT OF 6'-0" A.F.F.

ALL NEW STUCCO/E.I.F.S. TO HAVE A LIGHT SAND FINISH.

E.I.F.S SHALL MEET THE PERFORMANCE CHARACTERISTICS REQUIRED IN ASTM E 2568

E.I.F.S. WITH DRAINAGE SHALL HAVE 90 PERCENT DRAINAGE EFFICIENCY WHEN TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM E 2273

E.I.F.S. SHALL COMPLY WITH SECTION 1403 OF THE IBC

WATER RESISTIVE BARRIER SHALL COMPLY WITH SECTION 1404.2 OF THE IBC AND ASTM E 2570

INSTALLATION SHALL COMPLY WITH E.I.F.S. MANUFACTURERS INSTRUCTIONS AND THE PROVISIONS OF SECTIONS 1704.1 AND 1704.14 OF THE IBC.

USE DETAIL 15/A6.1 WHEN MOUNTING SIGNAGE, AWNINGS ETC. THROUGH E.I.F.S. FINISH AT WALLS.

E.I.F.S. NOTES

B

SYMBOL	AREA	MANUFACTURER	COLOR
1	1" DRAINABLE EIFS - MAIN WALL COLOR	SHERWIN WILLIAMS	ATTITUDE GRAY SW7060
2	1" DRAINABLE EIFS - ACCENT WALL COLOR	SHERWIN WILLIAMS	IRON ORE SW7069
3	1" DRAINABLE EIFS - ACCENT WALL COLOR	SHERWIN WILLIAMS	NATURAL CHOICE SW7011
4	1" DRAINABLE EIFS - ACCENT WALL COLOR	SHERWIN WILLIAMS	PURPLE TB2603C
5	CONTINUOUS PARAPET CAP	SHERWIN WILLIAMS	IRON ORE SW7069
6	ACCENT / CANOPY / KITCHEN DOOR / ROOF LIGHT	SHERWIN WILLIAMS	IRON ORE SW7069
7	PIPE BOLLARDS	"IDEAL SHIELD"	DOT YELLOW
8	SLOPED ROOF	CERTAINTEEED	MAX DEF PEWTER MODEL - LANDMARK PRO
9	"NOVABRIK" WAINSCOT AND CAP	NOVABRIK	SMOOTH FACED - COLOR: MARBLE WHITE

EXTERIOR FINISH SCHEDULE

H

MISCELLANEOUS:  
A. PROVIDE BLOCKING FOR SIGNAGE AND CANOPY.  
B. DURO-LAST TERMINATION BAR SHALL BE DARK BRONZE.

SEALERS:  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

DENOTES EXTERIOR FINISH.

DENOTES SIGN/AWNING/CANOPY ITEMS - VENDOR SUPPLIED AND INSTALLED.

GENERAL NOTES

F

- NEW BUILDING SIGN - UNDER SEPARATE PERMIT.
- NEW STOREFRONT AND GLAZING IN DARK BRONZE ANODIZED ALUMINUM FRAMES TO MATCH EXISTING.
- NEW FRAMED SOFFIT, SEE STRUCTURAL DRAWINGS AND C/A5.0. SEE DETAIL G/A4.0 FOR PAINT COLOR.
- EXISTING UTILITIES, PAINT TO MATCH WALL, IF ALLOWED BY UTILITY COMPANY.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT 60" A.F.F.
- EXISTING STOREFRONT.
- "V" GROOVE, SEE DETAIL 6/A6.1.
- NEW PARAPET CAP.
- NEW TOWER CANOPY, VERIFY SUPPORT AND BACKING REQUIREMENTS. SEE WALL SECTIONS
- MODIFIED TOWER CONSTRUCTION, PATCH AND REPAIR E.I.F.S. AS NECESSARY. MATCH TEXTURE. SEE EXTERIOR ELEVATIONS AND WALL SECTIONS.
- "NOVABRIK" WAINSCOT AND CAP.
- NEW ASPHALT SHINGLES.
- PAINT ALL ROOF FLOOD LIGHTS.
- PATCH AND REPAIR EXISTING STUCCO/E.I.F.S.
- NEW DRIVE THRU WINDOW IN DARK BRONZE ANODIZED ALUMINUM FRAMES TO MATCH EXISTING.

- "NOVABRIK" WAINSCOT AND CAP.

KEY NOTES

C



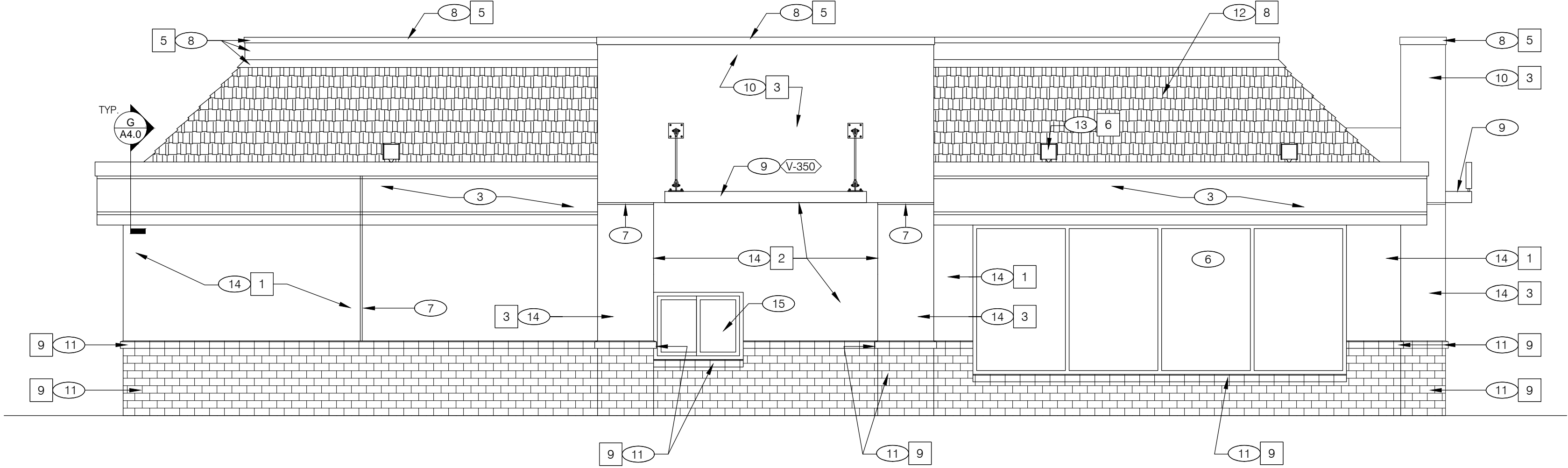
16'-8"  
T.O. TOWER FRAMING

11'-3 1/2"  
T.O. SOFFIT FRAMING

9'-6"  
B.O. DRIVE THRU CANOPY

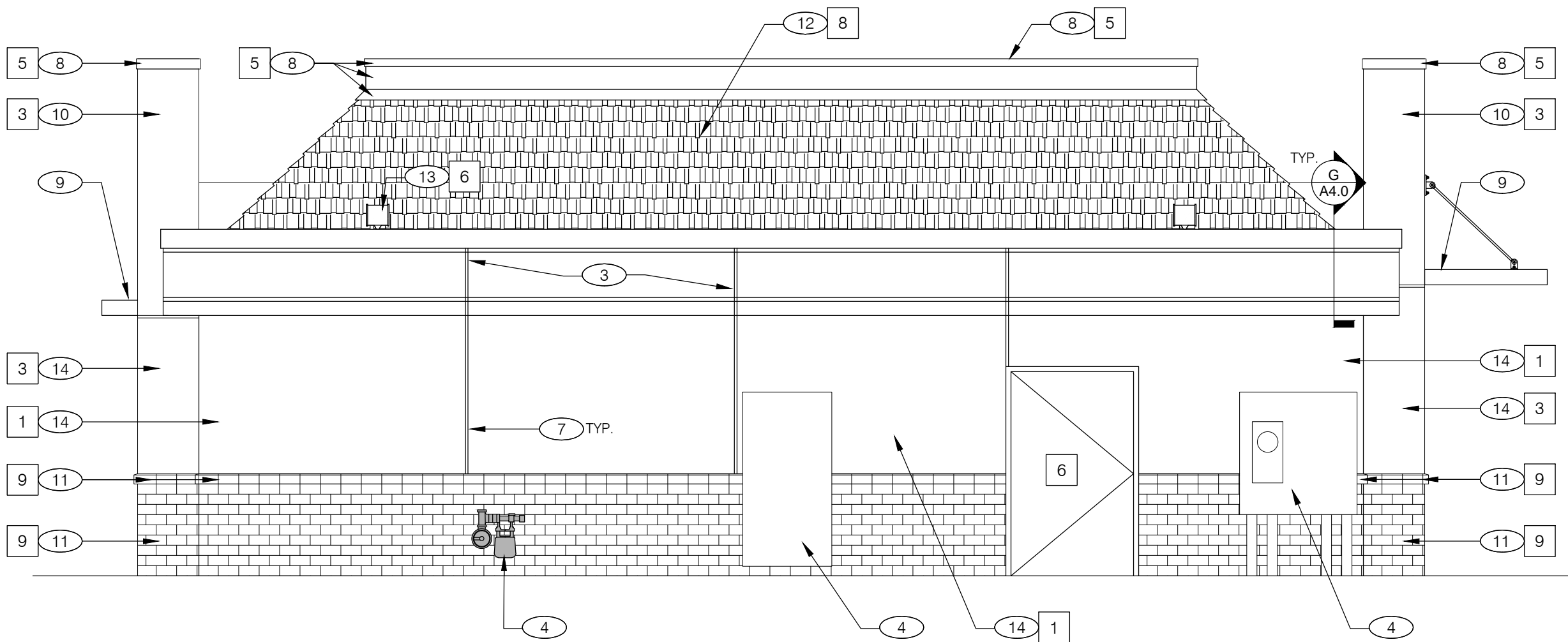
3'-4"  
T.O. BAND

0'-0"  
T.O. SLAB



SEE SHEET A4.0 FOR KEYNOTES

**DRIVE THRU SIDE ELEVATION** 1/4" = 1'-0" **A**



16'-8"  
T.O. TOWER FRAMING

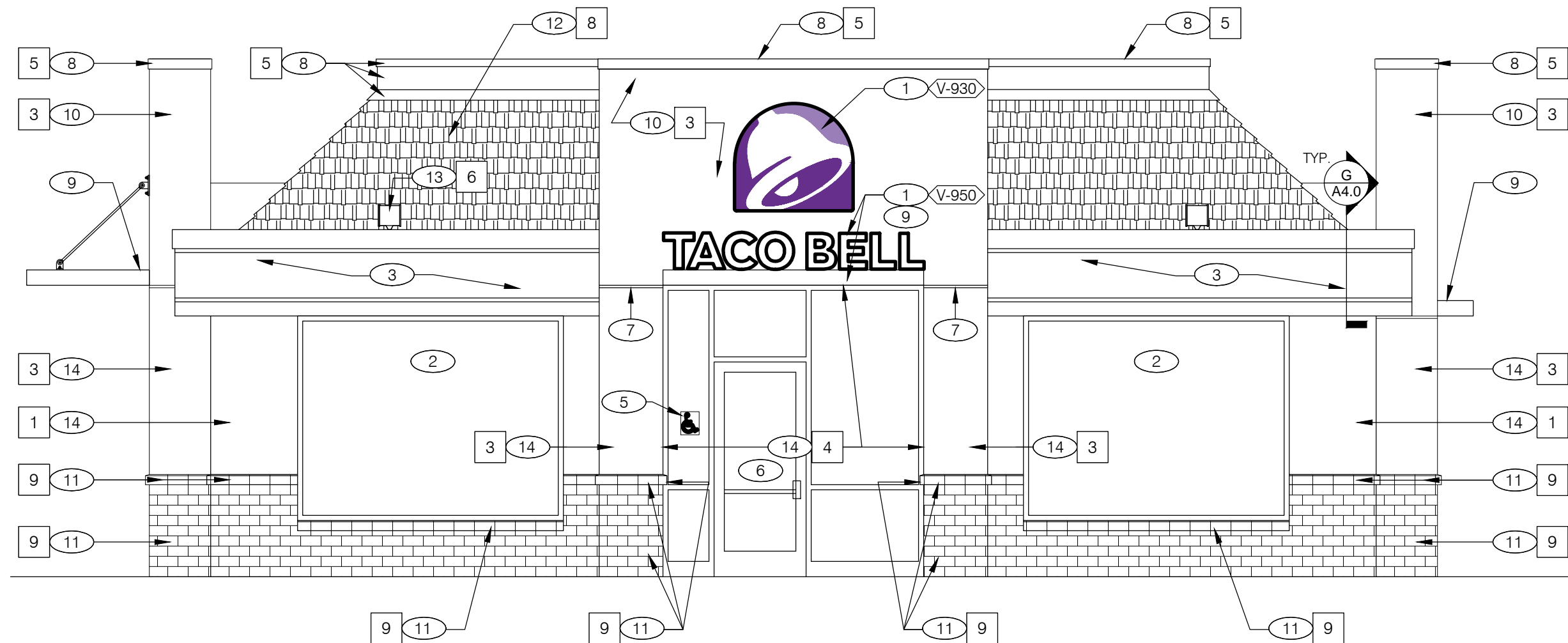
11'-3 1/2"  
T.O. SOFFIT FRAMING

9'-6"  
B.O. DRIVE THRU CANOPY  
B.O. FRONT CANOPY

3'-4"  
T.O. BAND

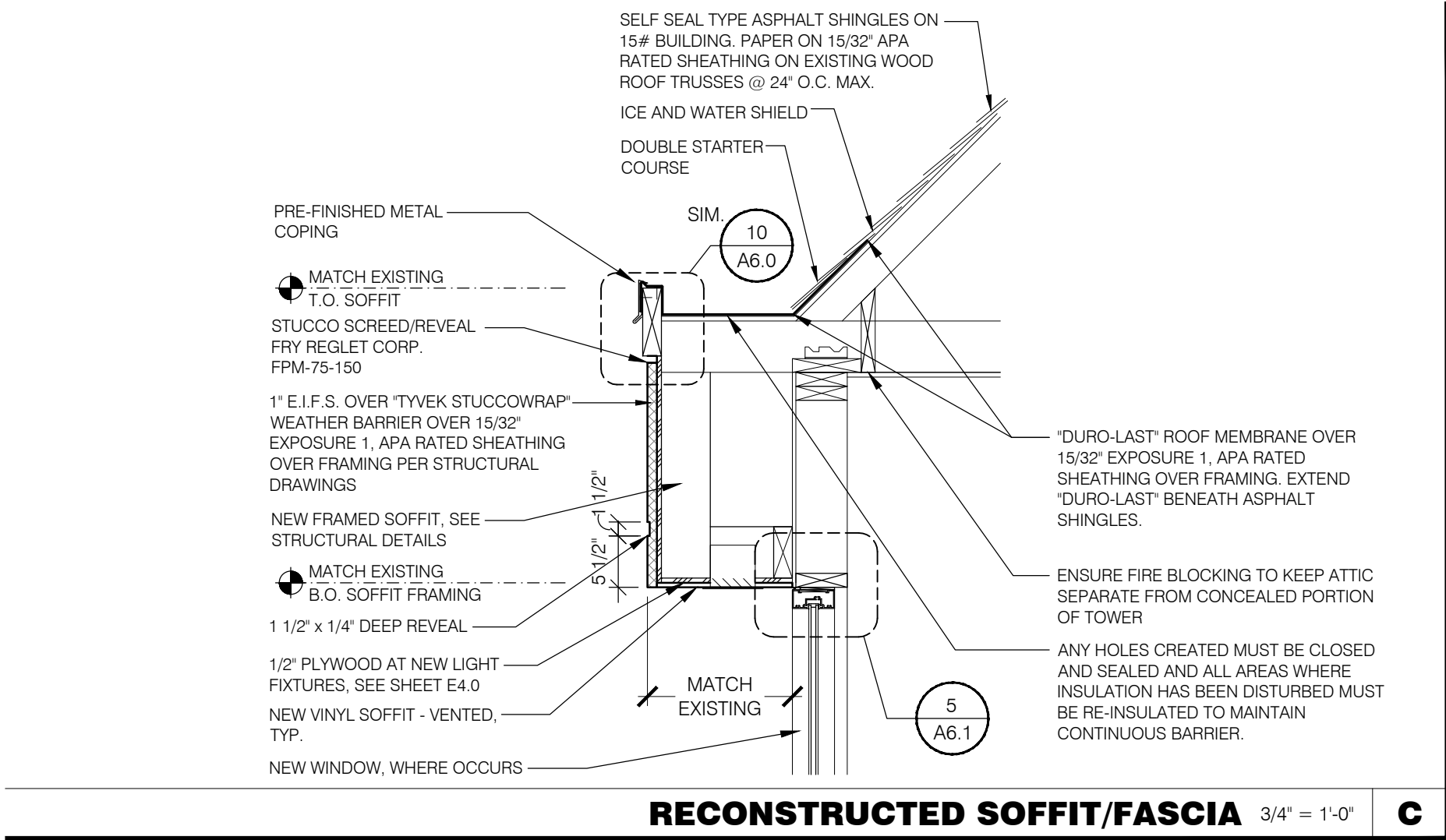
0'-0"  
T.O. SLAB

**REAR ELEVATION** 1/4" = 1'-0" **C**

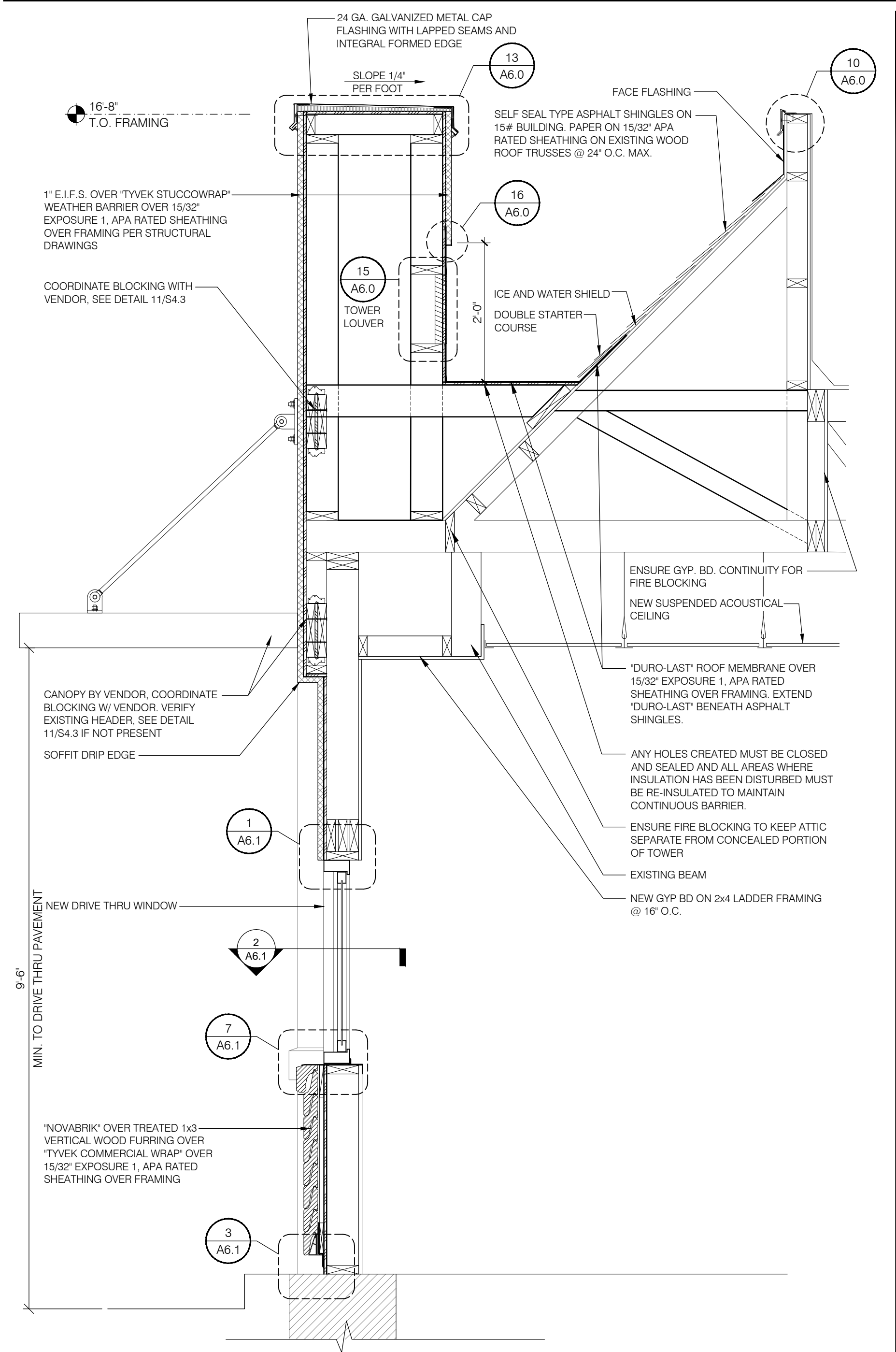


**FRONT ELEVATION** 1/4" = 1'-0" **B**



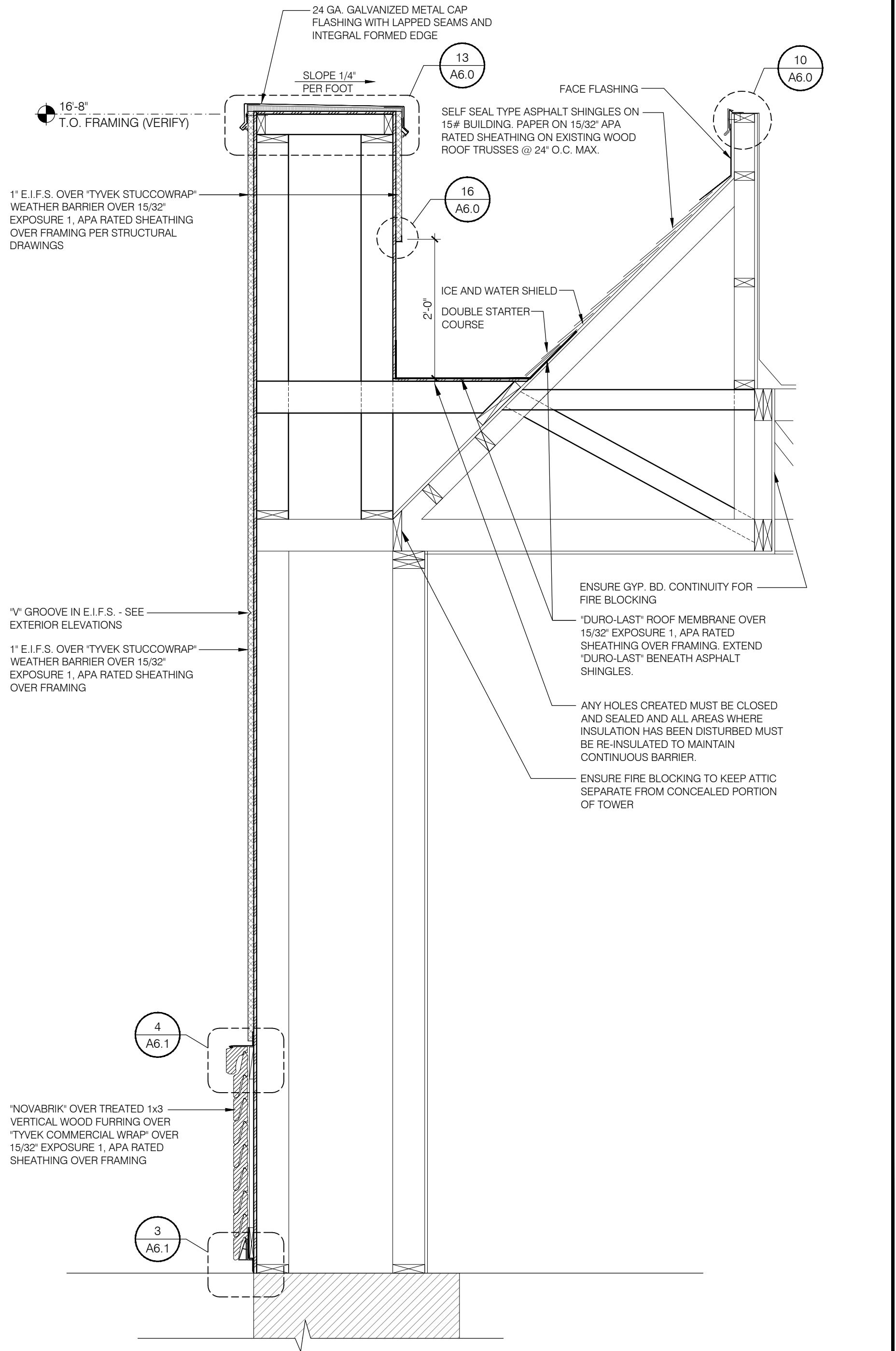


RECONSTRUCTED SOFFIT/FASCIA 3/4" = 1'-0" C



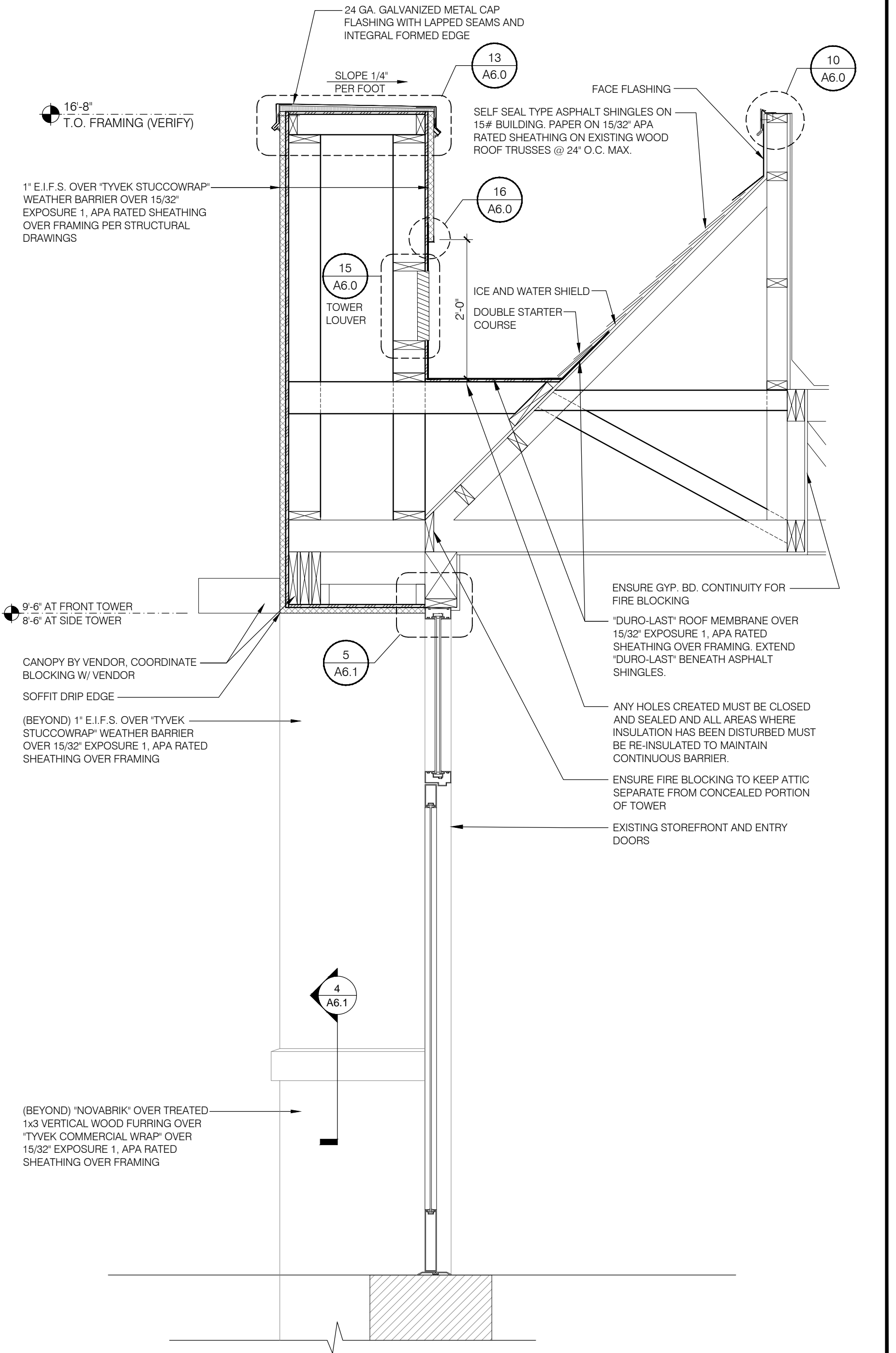
TOWER SECTION THRU DRIVE THRU WINDOW 3/4" = 1'-0" D

GENERAL NOTES:  
1. REFER TO STRUCTURAL DRAWINGS FOR FURTHER STRUCTURAL INFORMATION.  
2. "NOVABRIK" - FOLLOW MANUFACTURER'S RECOMMENDED INSTALLATION REQUIREMENTS AND STANDARD DETAILS. PREPARE SUBSTRATE TO RECEIVE "NOVABRIK" PER MANUFACTURER'S REQUIREMENTS.



TOWER SECTION THRU TOWER LEG 3/4" = 1'-0" B

CONTINUOUS WEATHER BARRIER AND VAPOR BARRIER NOTES:  
1. THE VAPOR BARRIER SHALL BE CONTINUOUS FOR ALL ASSEMBLIES THAT ARE THE THERMAL ENVELOPE OF THE BUILDING AND ACROSS THE JOINTS AND ASSEMBLIES.  
2. WEATHER BARRIER JOINTS AND SEAMS SHALL BE SEALED, INCLUDING SEALING TRANSITIONS IN PLACES AND CHANGES IN MATERIALS. AIR BARRIER PENETRATIONS SHALL BE SEALED IN ACCORDANCE WITH MANUFACTURER INSTALLATION DETAILS. THE JOINTS AND SEALS SHALL BE SECURELY INSTALLED IN OR ON THE JOINT FOR ITS ENTIRE LENGTH SO AS NOT TO DISLODGE, LOOSEN OR OTHERWISE IMPAIR ITS ABILITY TO RESIST POSITIVE AND NEGATIVE PRESSURE FROM WIND, STACK EFFECT AND MECHANICAL VENTILATION.  
3. ELECTRICAL OUTLETS, MECHANICAL PENETRATIONS AND OTHER SIMILAR OBJECTS ARE INSTALLED WHICH PENETRATE THE WEATHER BARRIER, PROVISIONS SHALL BE MADE TO MAINTAIN THE INTEGRITY OF THE WEATHER BARRIER.



TOWER SECTION THRU DOOR 3/4" = 1'-0" A

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PROJECT INFORMATION

PROJECT NUMBER 1729460

SUCCESSOR REMODEL FOR:  
**TACO BELL**  
7141 S 76TH STREET • FRANKLIN, WI 53132

PROFESSIONAL SEAL

WISCONSIN

JONATHAN BRINKLEY

10502-5

FOND DU LAC, WISCONSIN

ARCHITECT

SHEET DATES

ISSUE DATE JULY 28, 2017

REVISIONS

SHEET INFORMATION

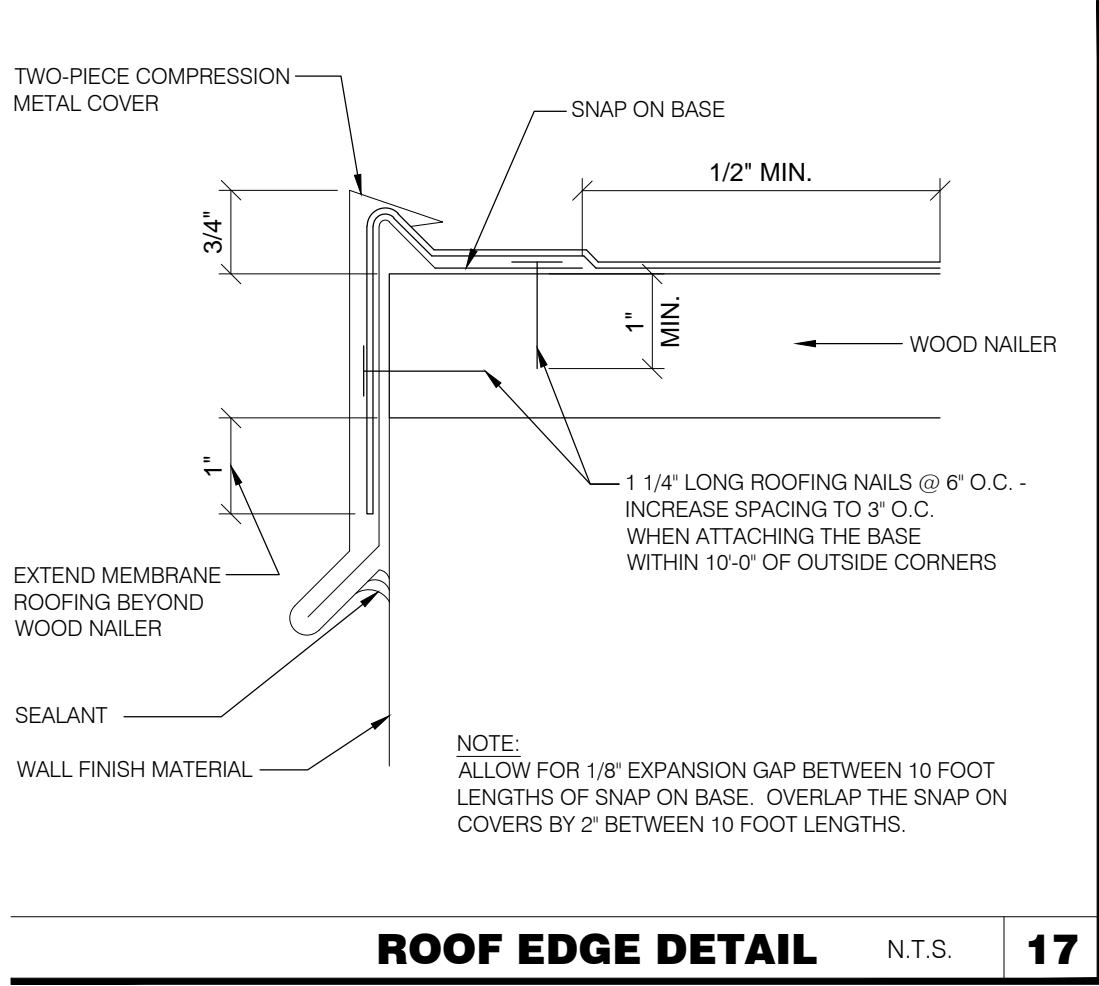
WALL SECTIONS

SHEET NUMBER

A5.0

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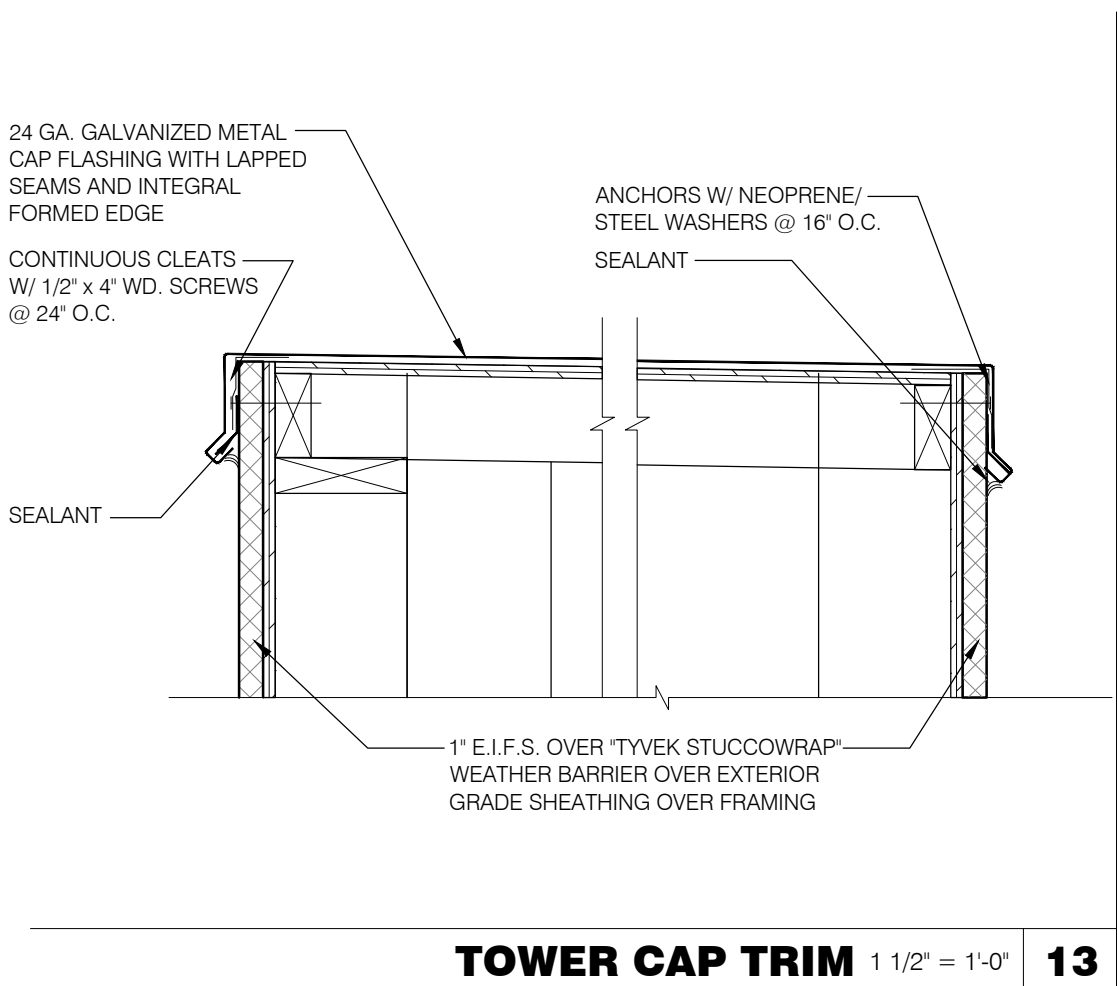




ROOF EDGE DETAIL

N.T.S.

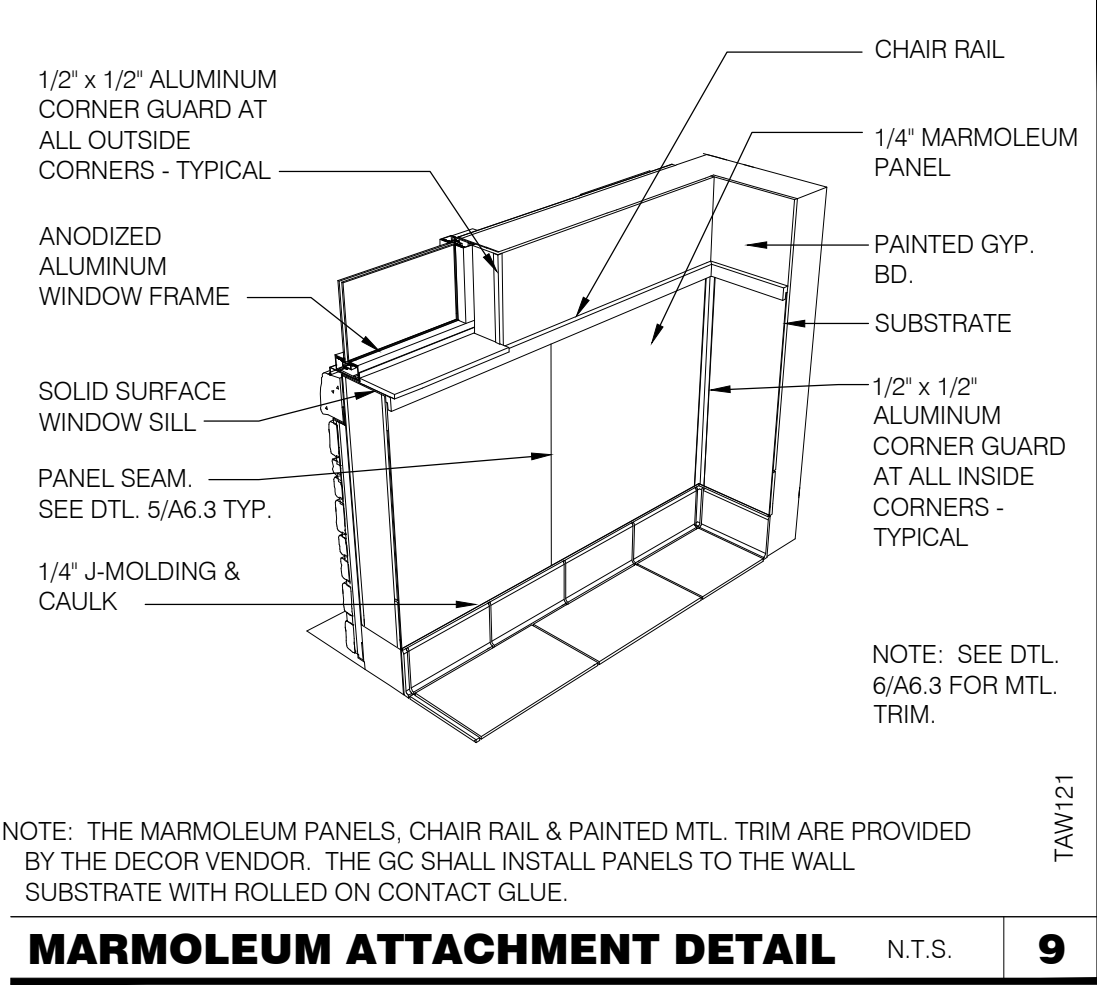
17



TOWER CAP TRIM

1 1/2" = 1'-0"

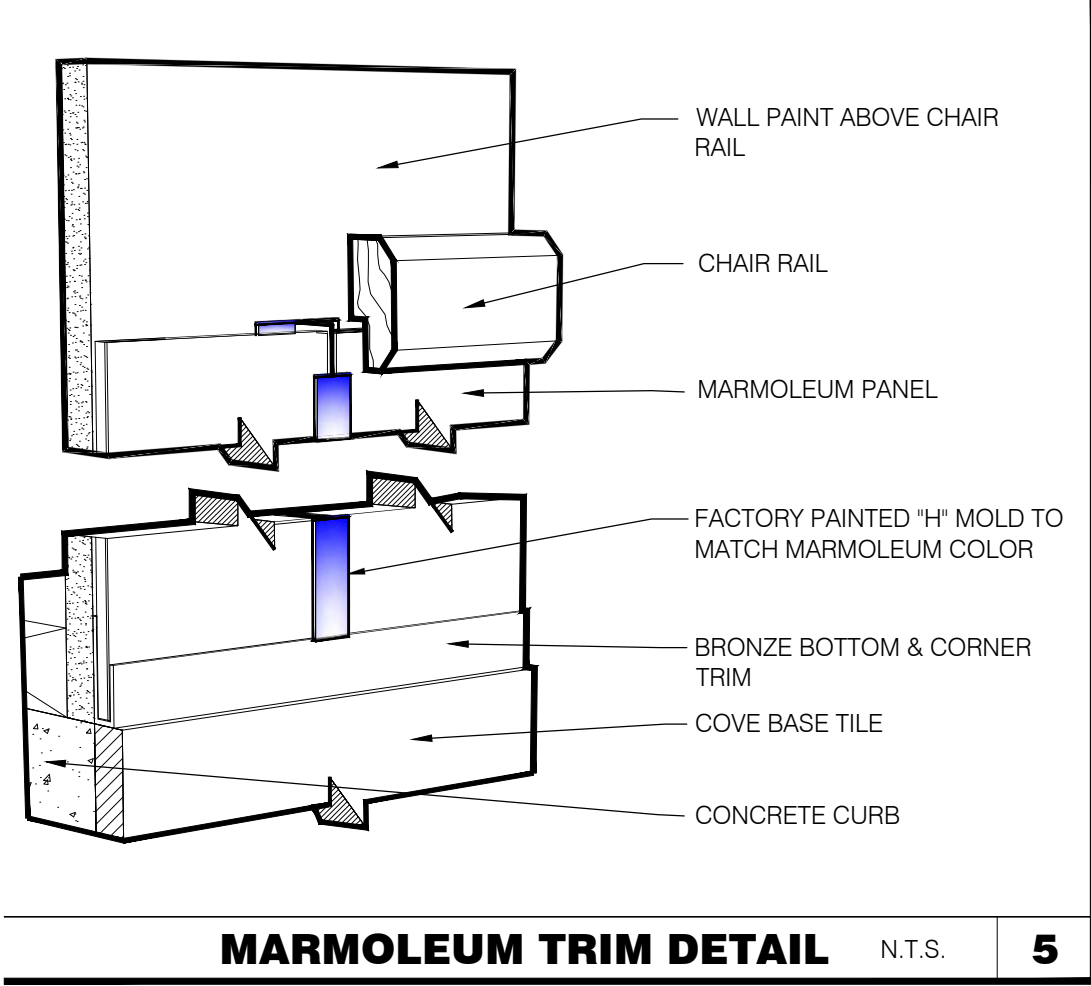
13



MARMOLEUM ATTACHMENT DETAIL

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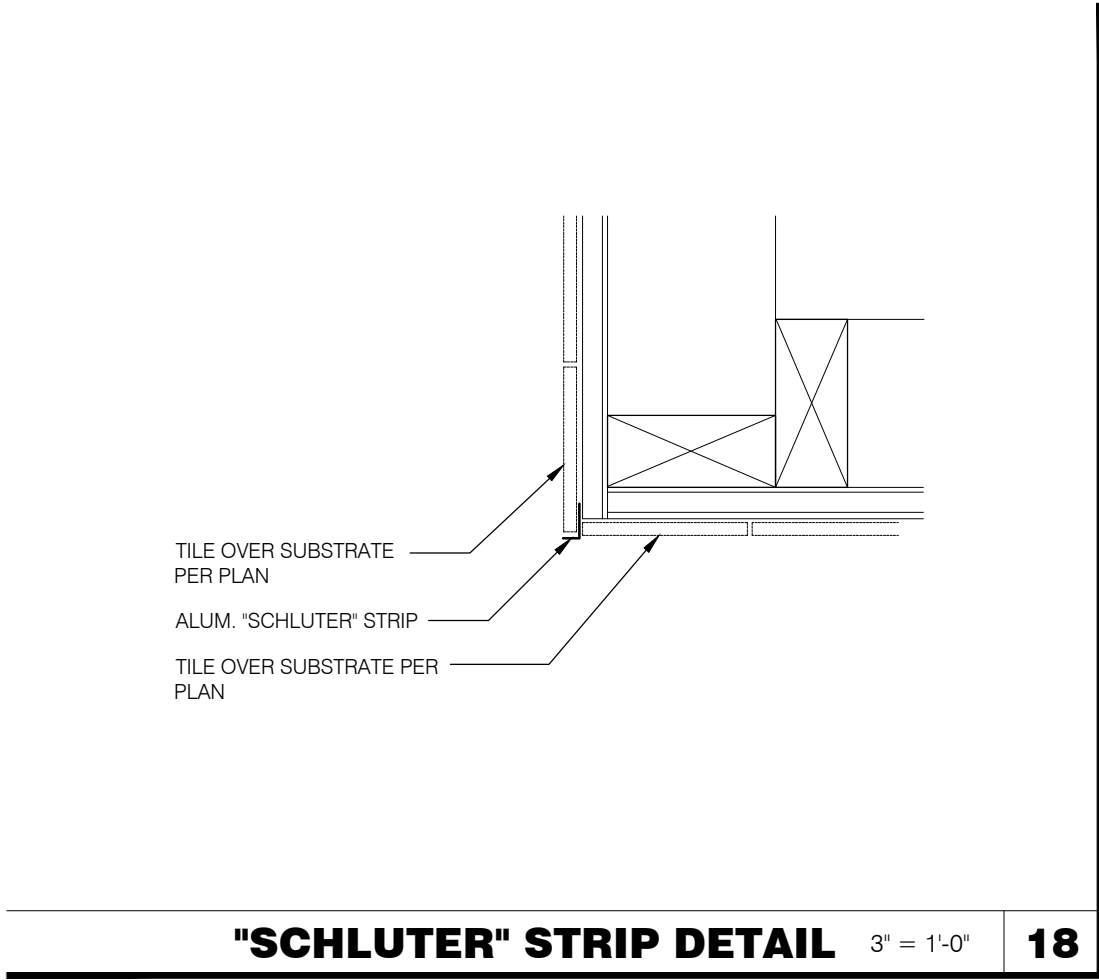
9



MARMOLEUM TRIM DETAIL

N.T.S.

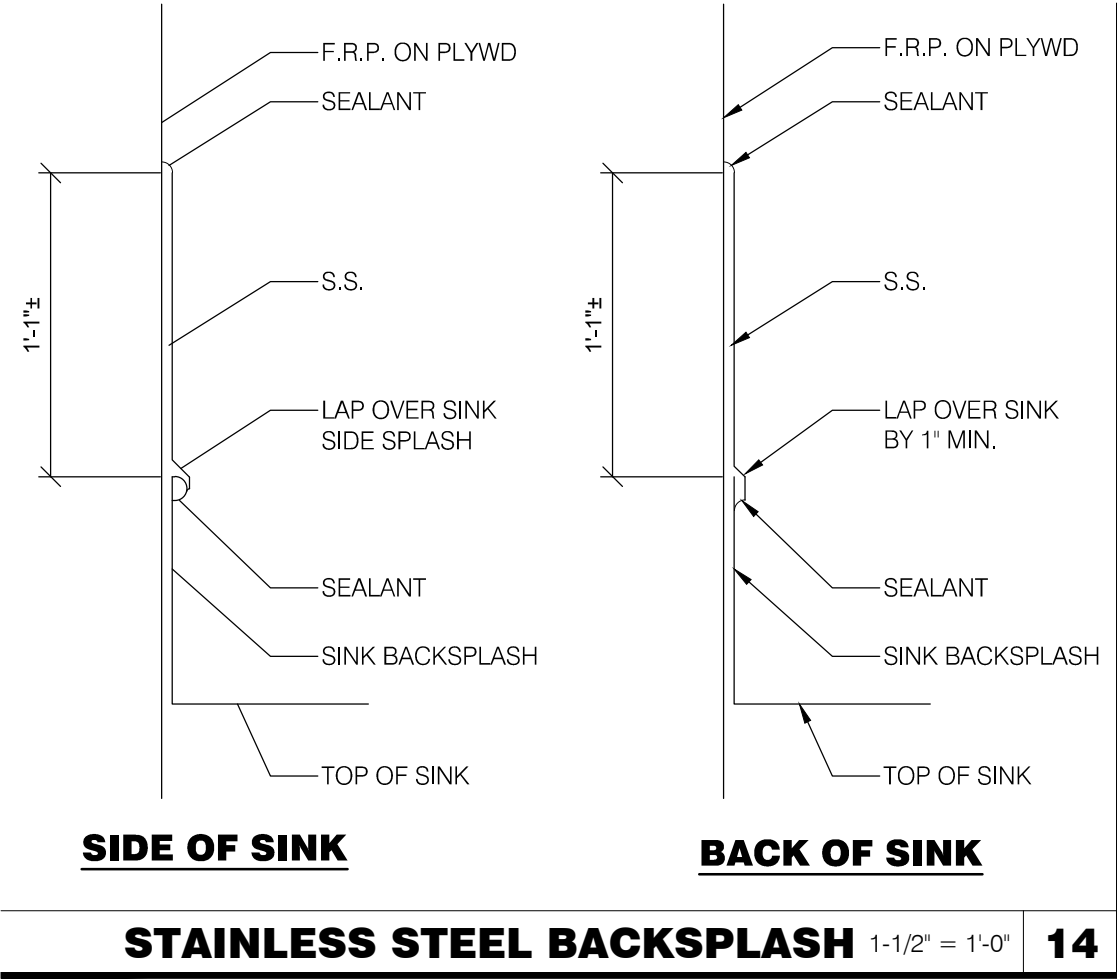
5



"SCHLUTER" STRIP DETAIL

3" = 1'-0"

18



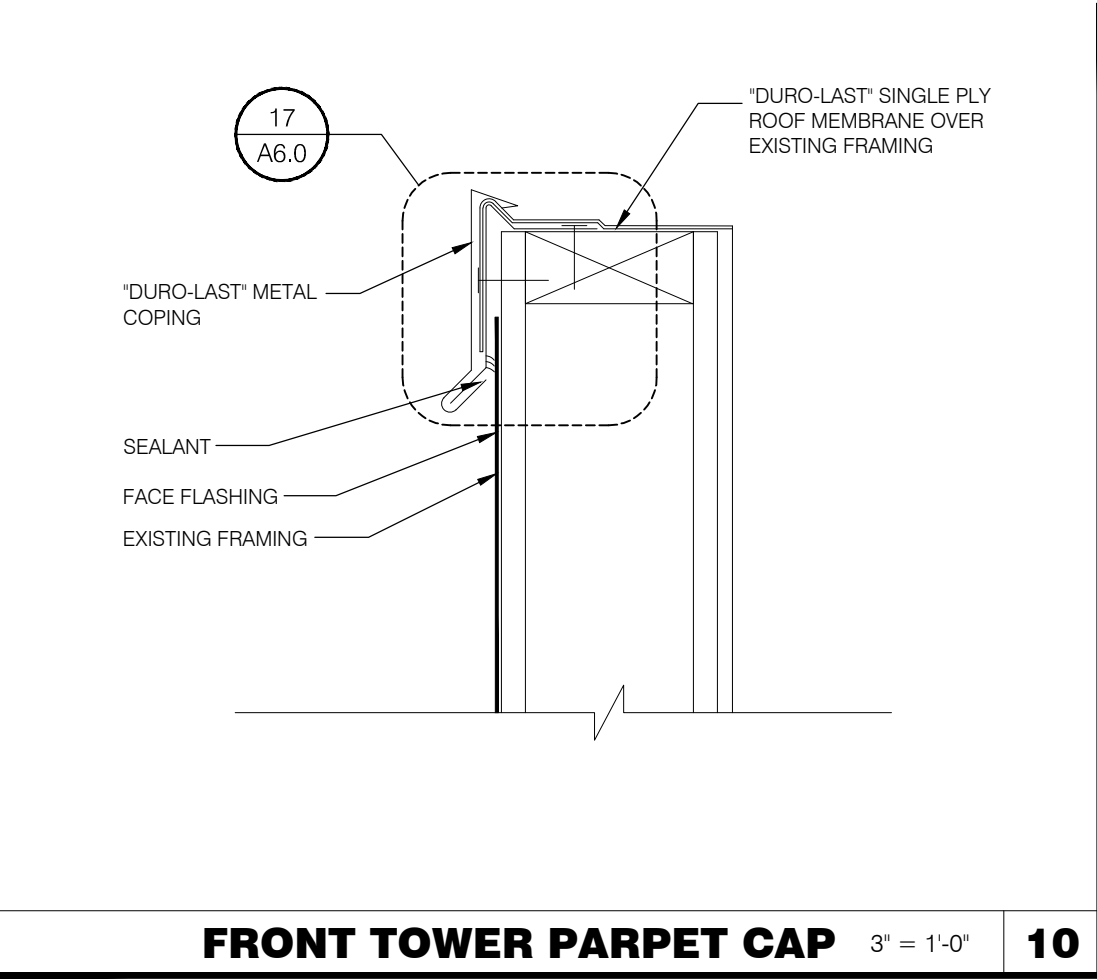
SIDE OF SINK

BACK OF SINK

STAINLESS STEEL BACKSPLASH

1-1/2" = 1'-0"

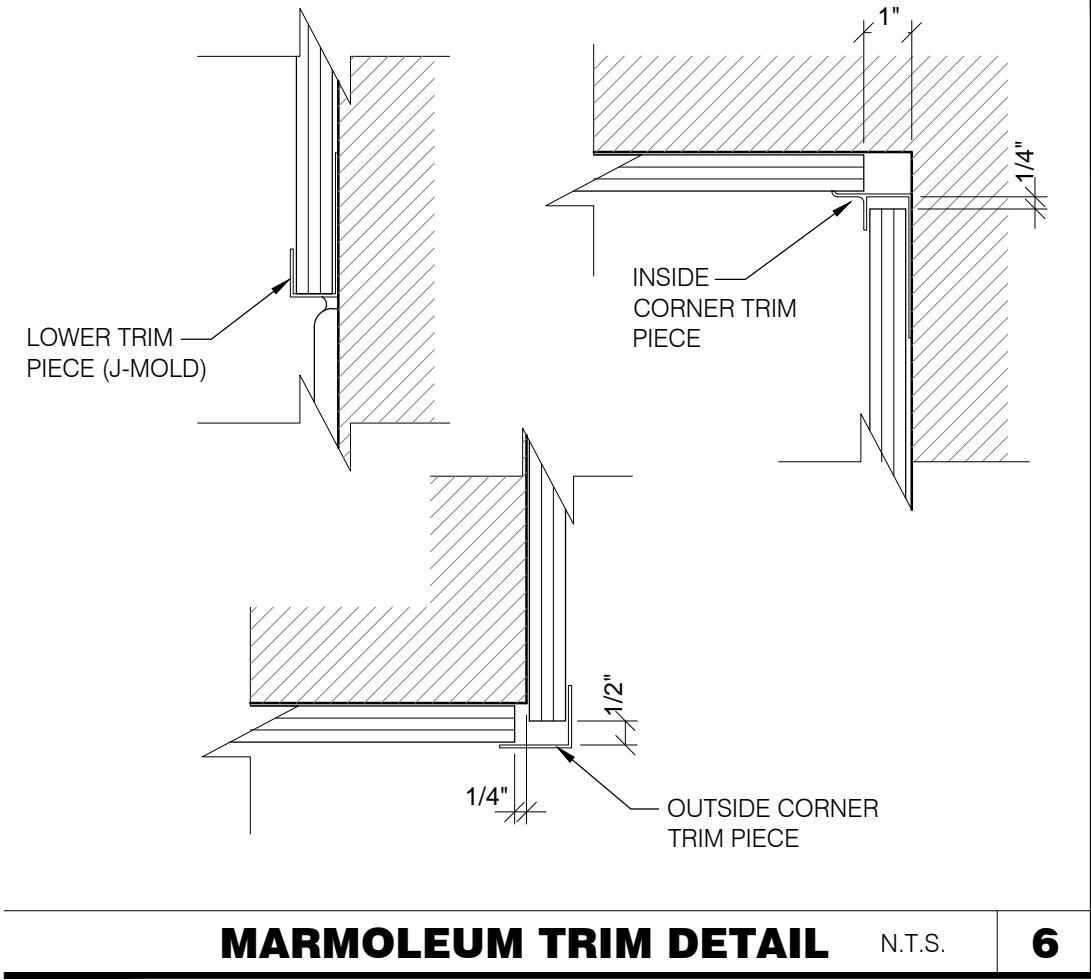
14



FRONT TOWER PARPET CAP

3" = 1'-0"

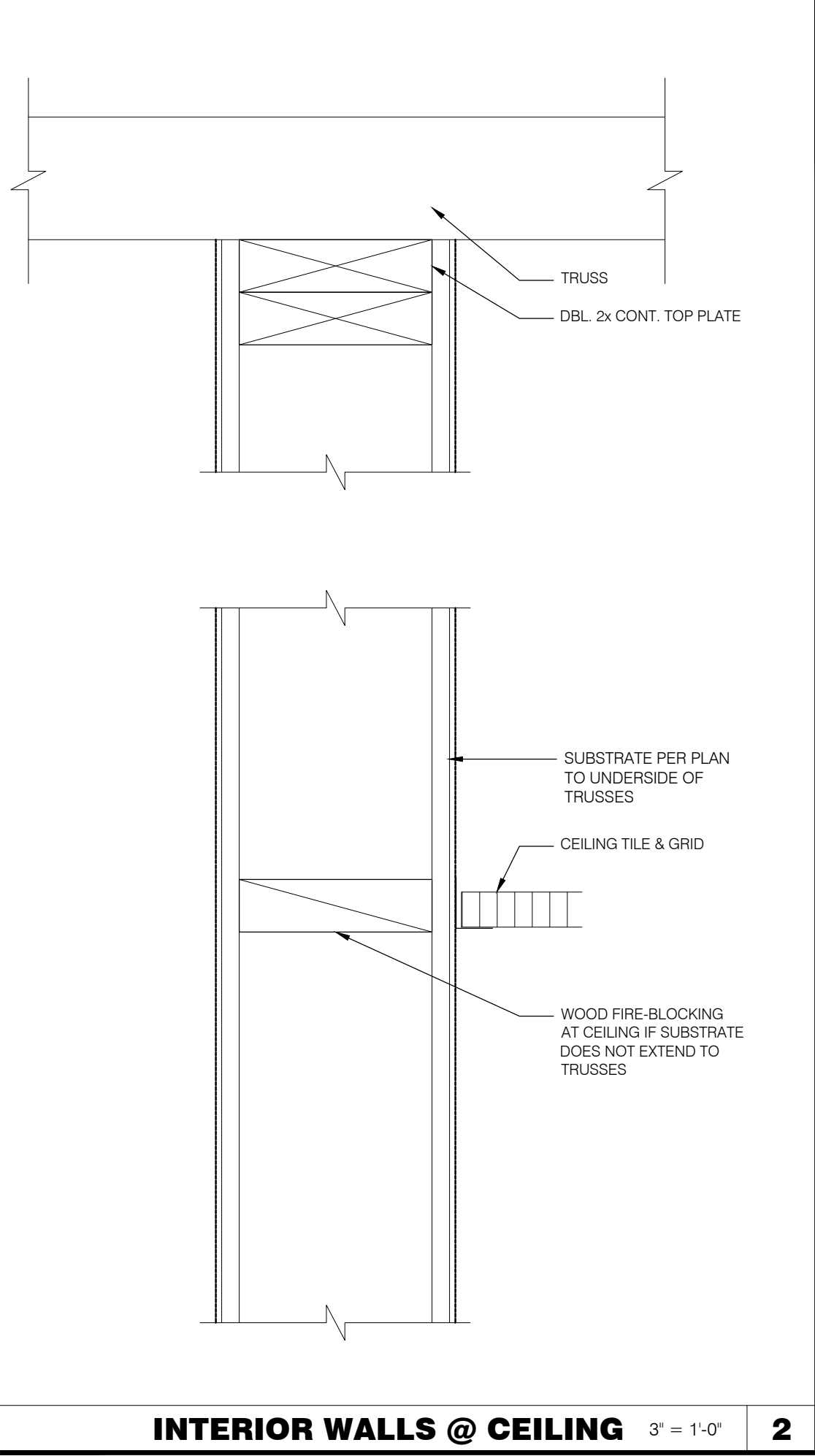
10



MARMOLEUM TRIM DETAIL

N.T.S.

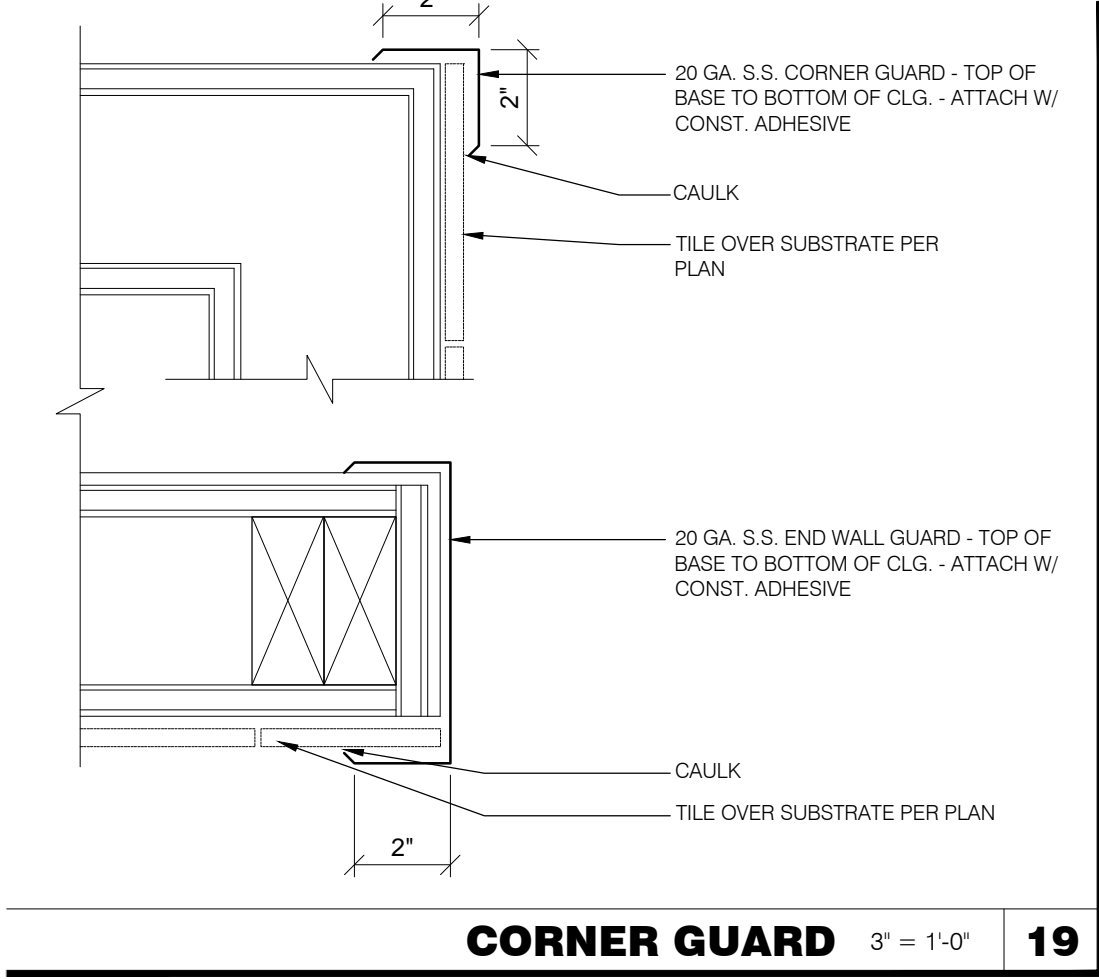
6



INTERIOR WALLS @ CEILING

3" = 1'-0"

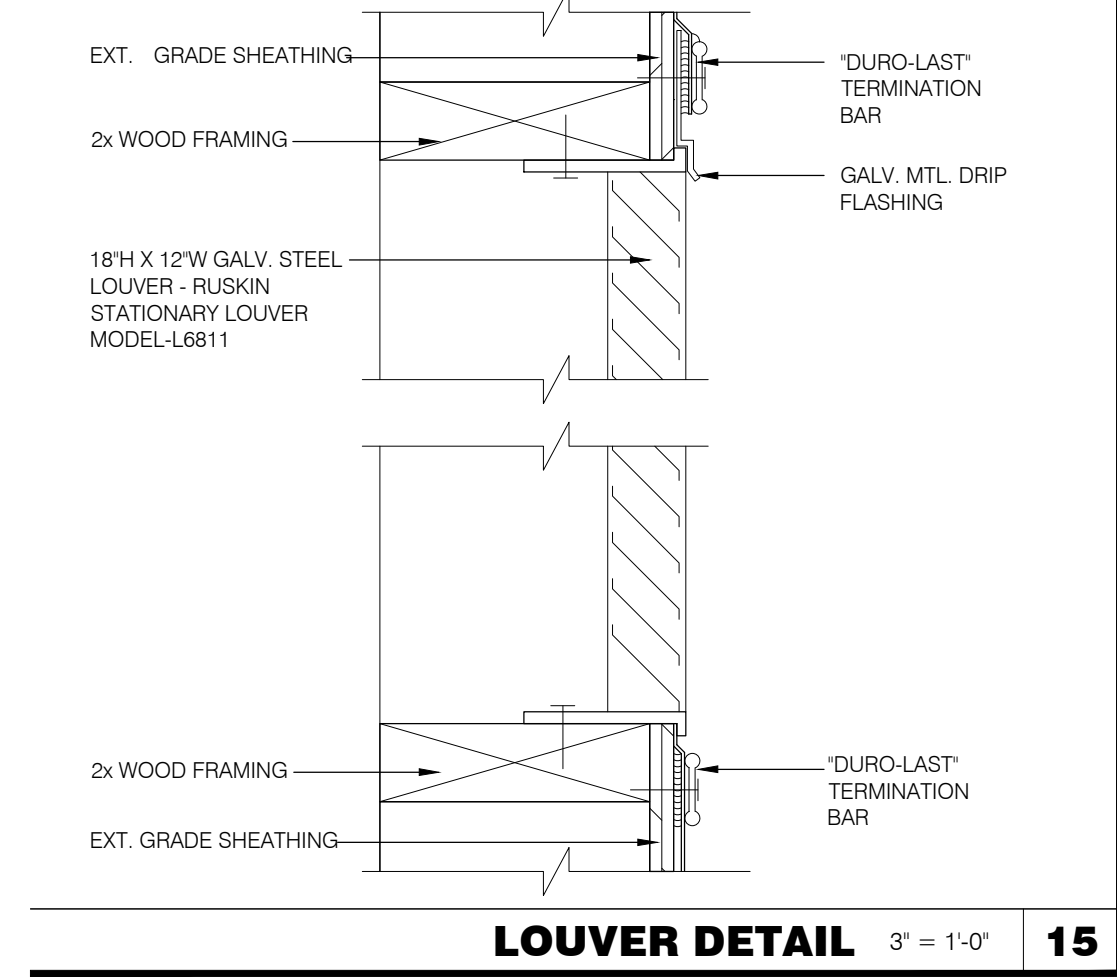
2



CORNER GUARD

3" = 1'-0"

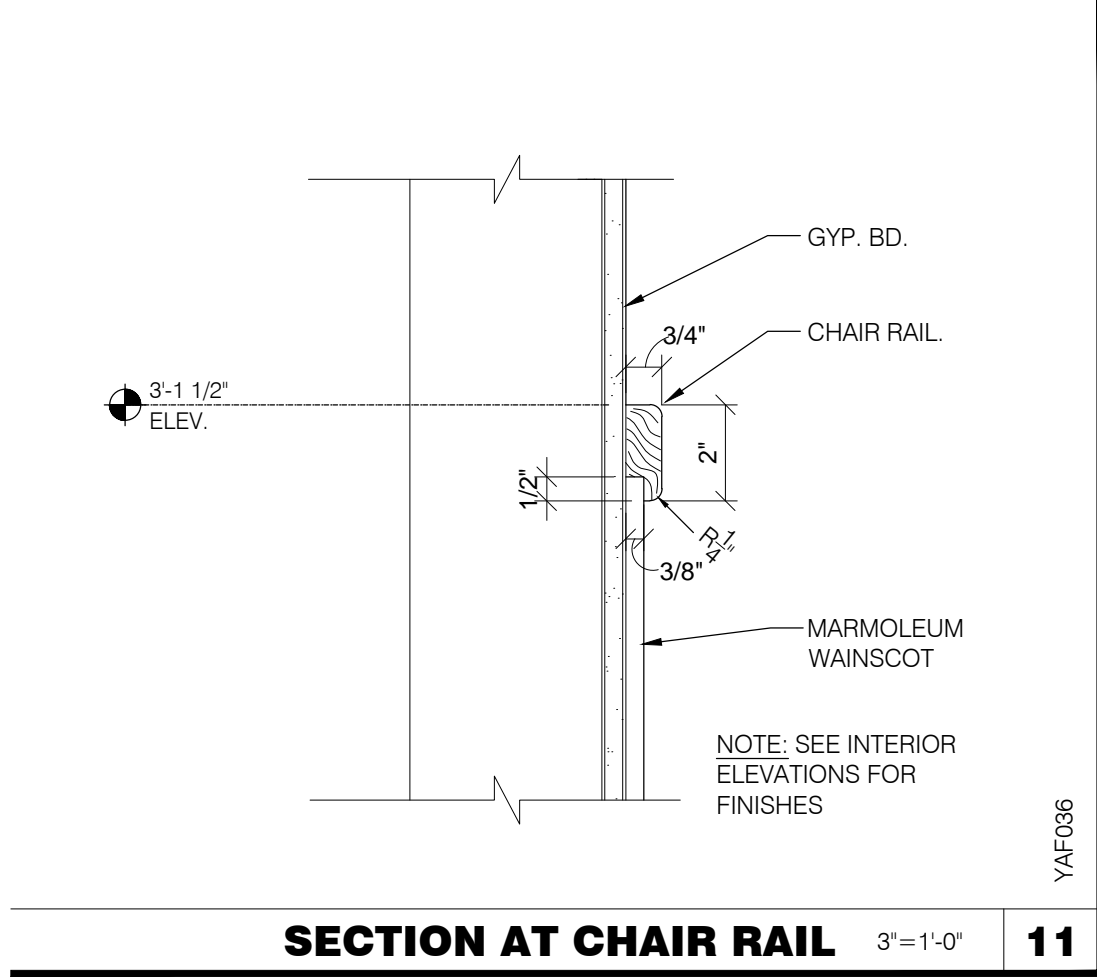
19



LOUVER DETAIL

3" = 1'-0"

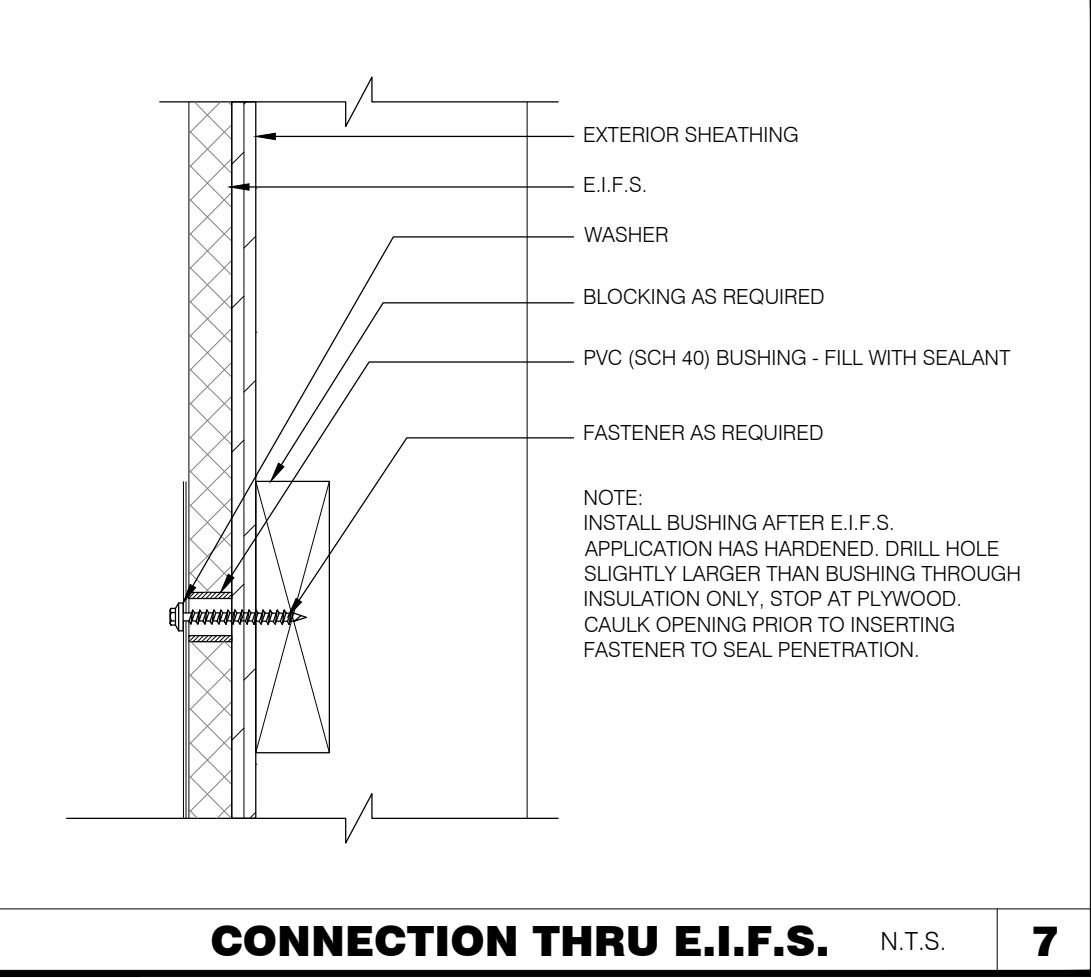
15



SECTION AT CHAIR RAIL

3" = 1'-0"

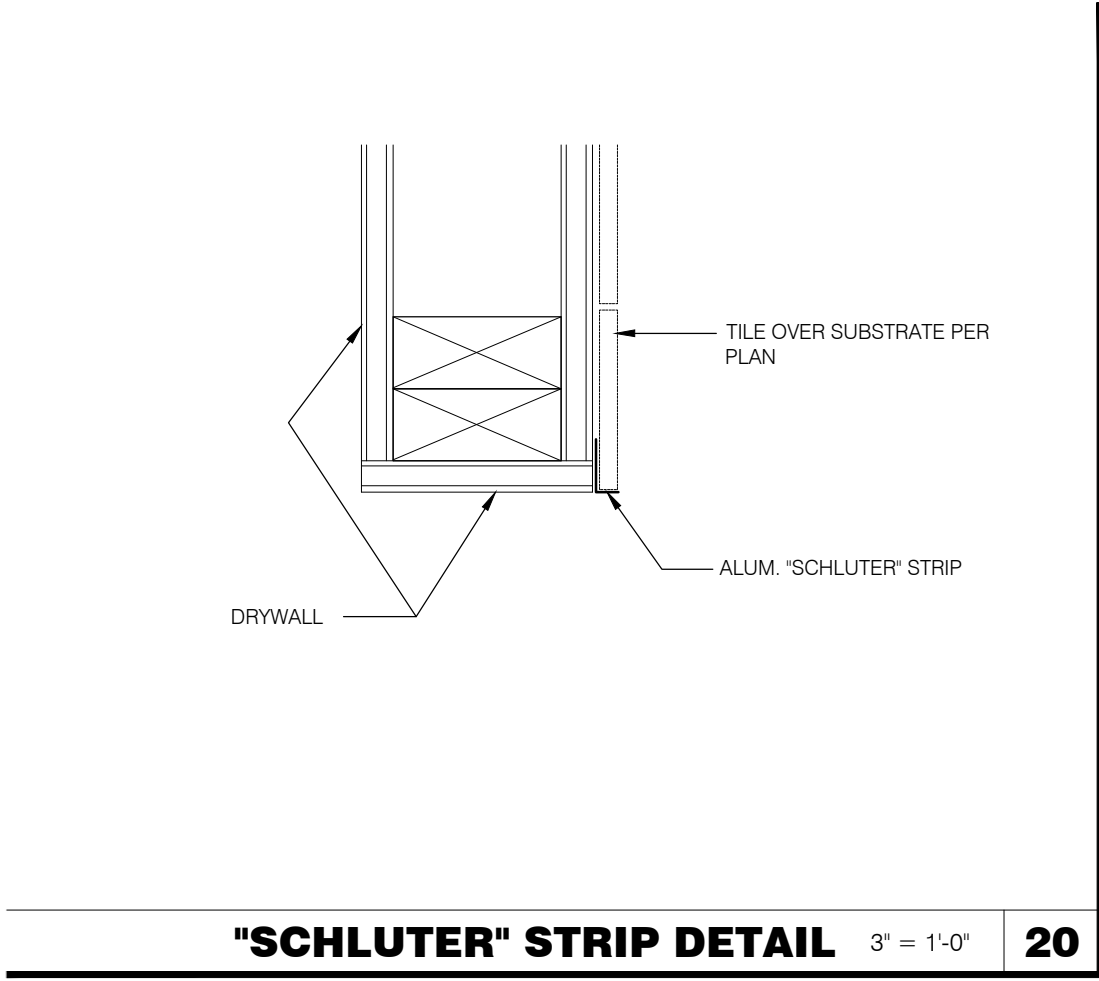
11



CONNECTION THRU E.I.F.S.

N.T.S.

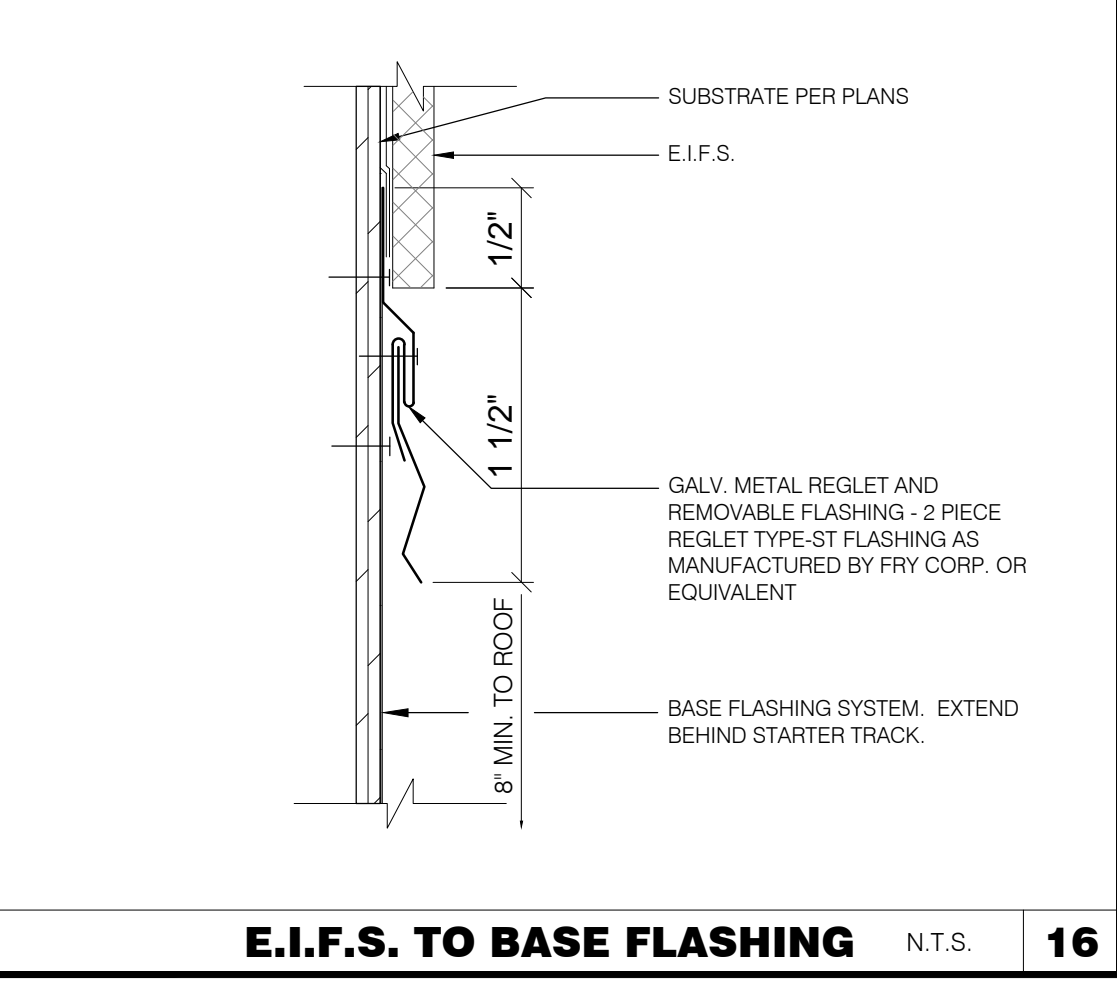
7



"SCHLUTER" STRIP DETAIL

3" = 1'-0"

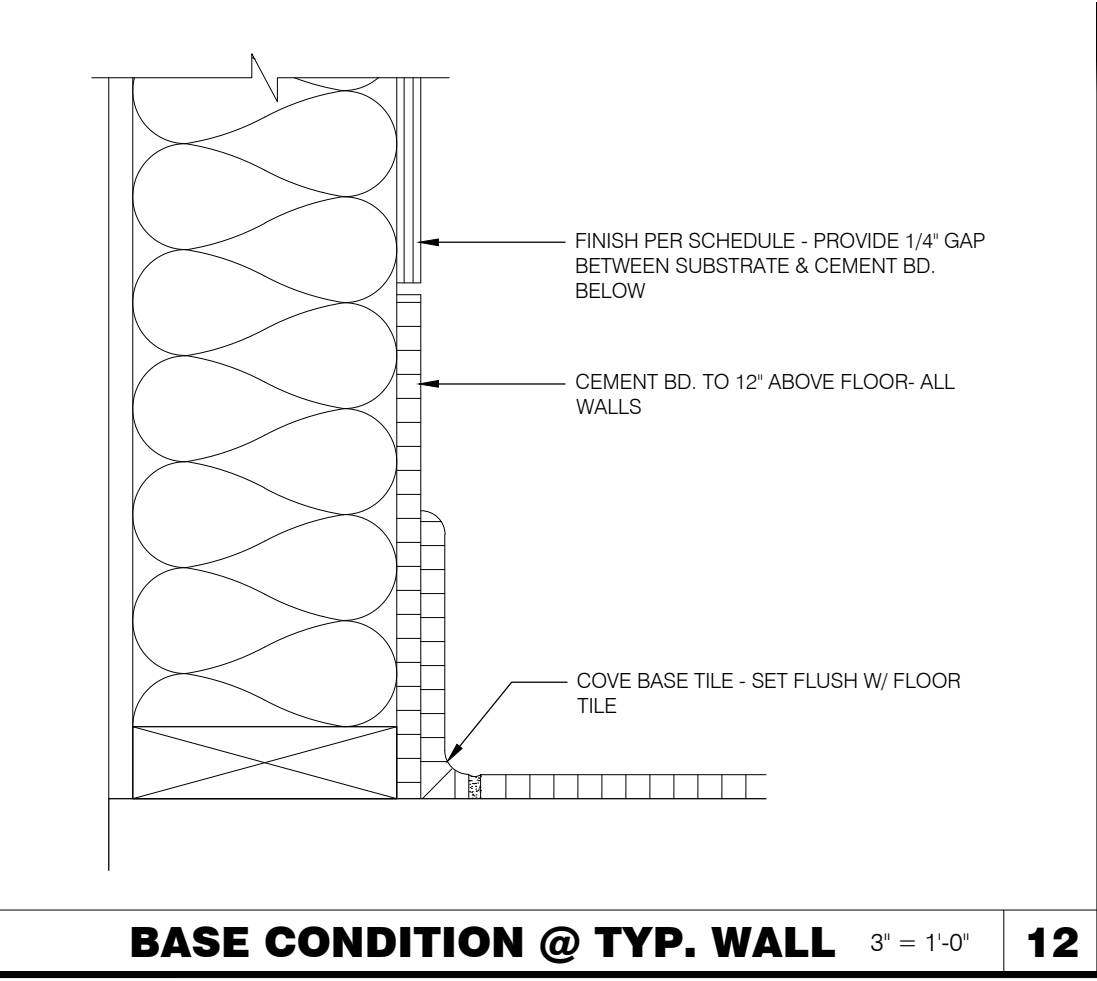
20



E.I.F.S. TO BASE FLASHING

N.T.S.

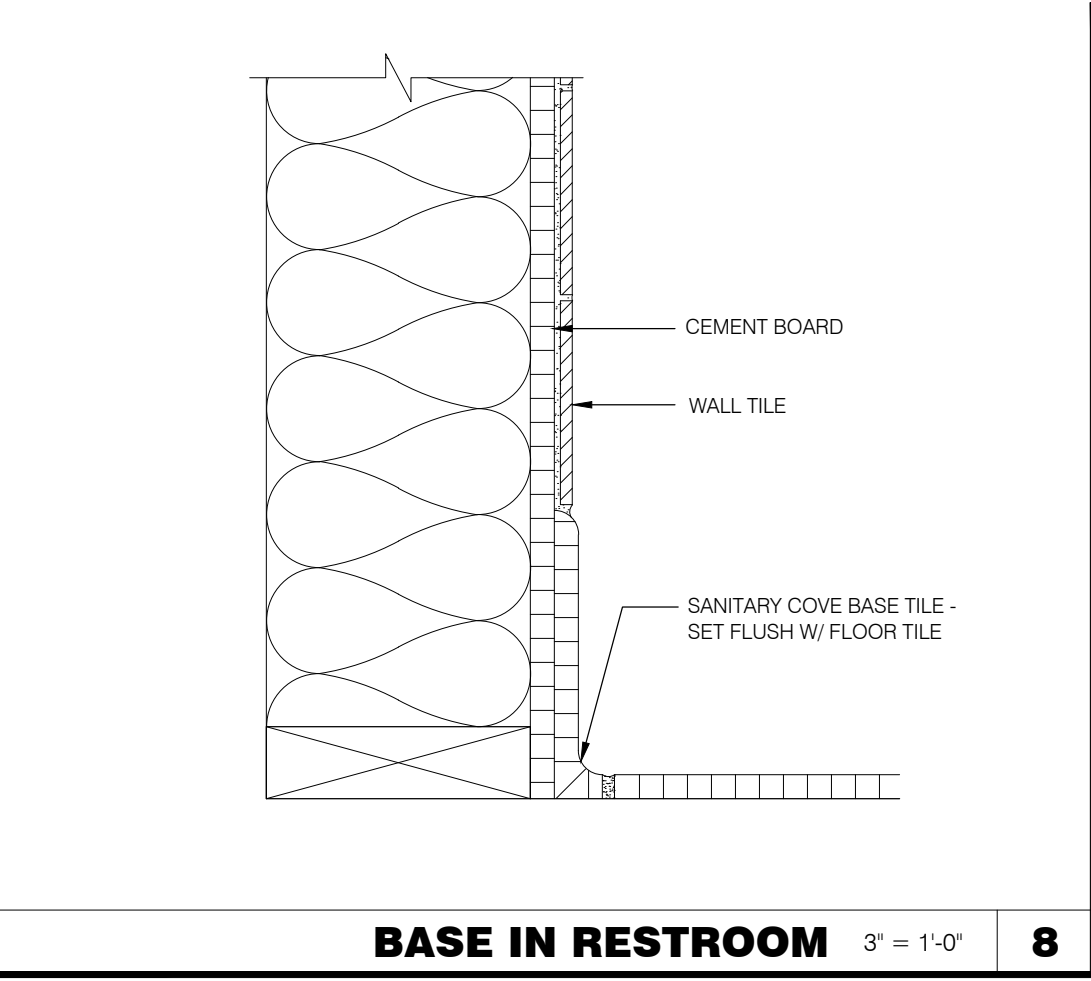
16



BASE CONDITION @ TYP. WALL

3" = 1'-0"

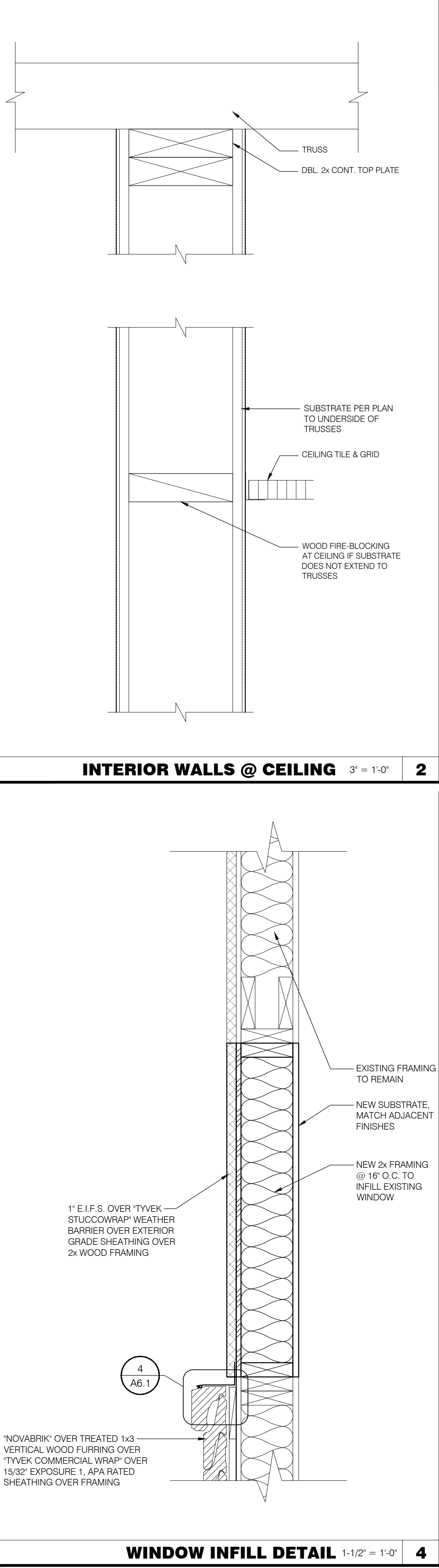
12



BASE IN RESTROOM

3" = 1'-0"

8



WINDOW INFILL DETAIL

1-1/2" = 1'-0"

4

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PROJECT NUMBER 1729460

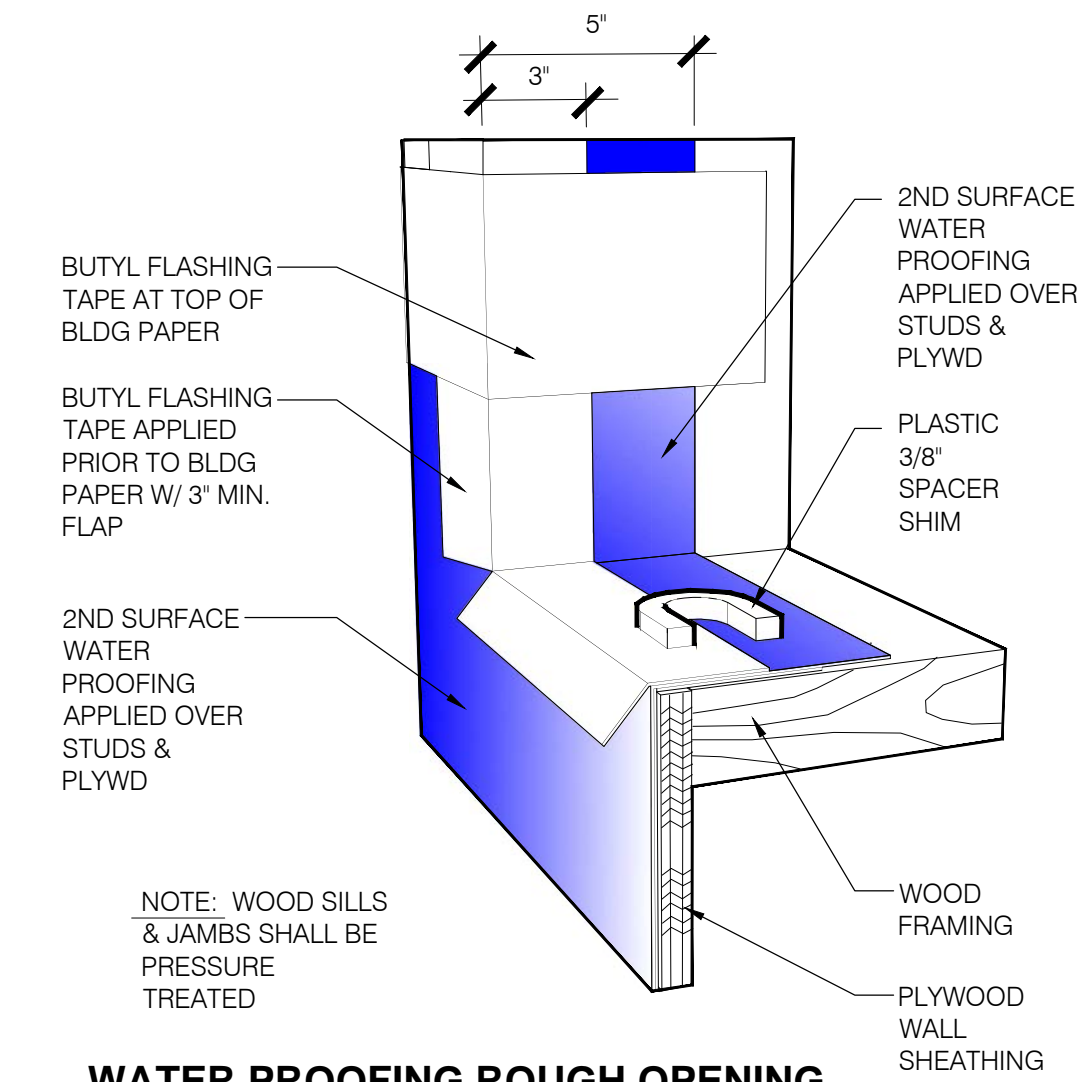
SUCCESSOR REMODEL FOR:  
**TACO BELL**  
7141 S 76TH STREET • FRANKLIN, WI 53132

PROFESSIONAL SEAL  
**JONATHAN BRINKLEY**  
10502-5  
FOND DU LAC, WISCONSIN  
ARCHITECT

**SHEET DATES**  
ISSUE DATE JULY 28, 2017  
**REVISIONS**

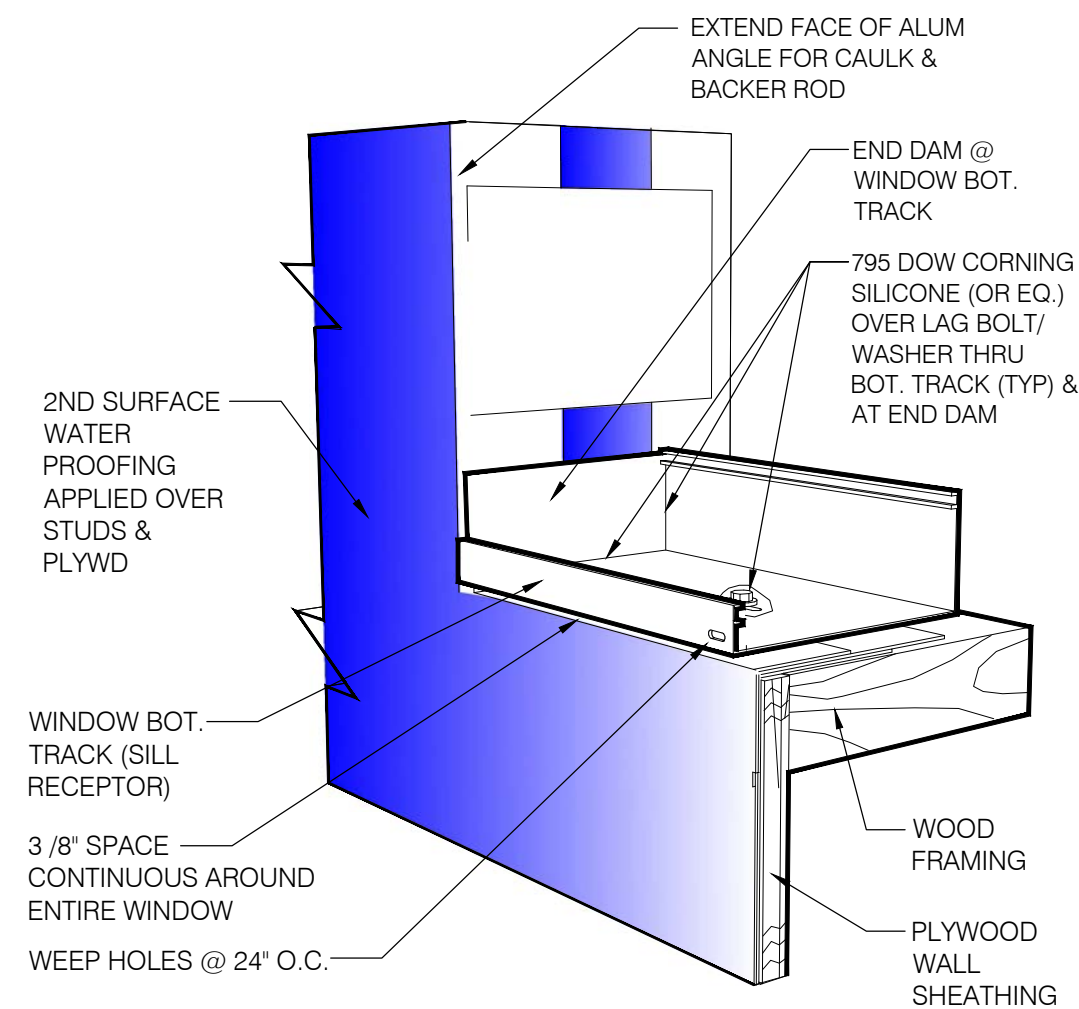
**SHEET INFORMATION**  
CONSTRUCTION DETAILS  
SHEET NUMBER  
**A6.0**





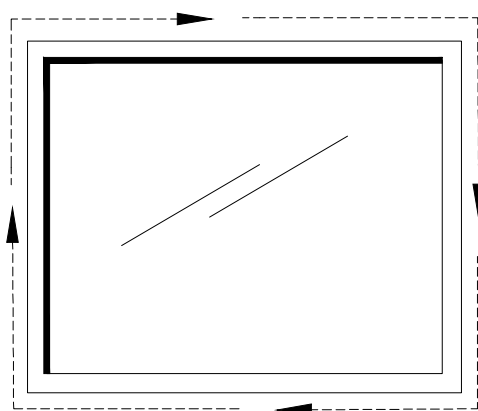
WATER PROOFING ROUGH OPENING

AFTER FRAMING 2ND SURFACE WATER PROOFING PER EIFS MANUFACTURER. ADD FLASHING TAPE AROUND THE ROUGH OPENING FOR THE WINDOW AND DOOR OPENING



ADD SILL RECEPTOR AND END DAM

THIS DIAGRAM SHOWS THE APPLICATION OF SILL RECEPTOR. USE 100% PURE ISOPROPYL ALCOHOL TO CLEAN METAL SURFACE PRIOR TO APPLYING SILICONE.



WINDOW ELEVATION

NOTE: THERE SHOULD BE A 3/8" SPACE AROUND THE ENTIRE WINDOW FRAME TO ALLOW FOR A CONTINUOUS RING OF BACKER ROD AND CAULK SIMILAR TO A TYPICAL GASKET ON A BOTTLE TOP.

MAINTAIN POSITIVE DRAINAGE AWAY FROM WALL AT ALL FLASHING

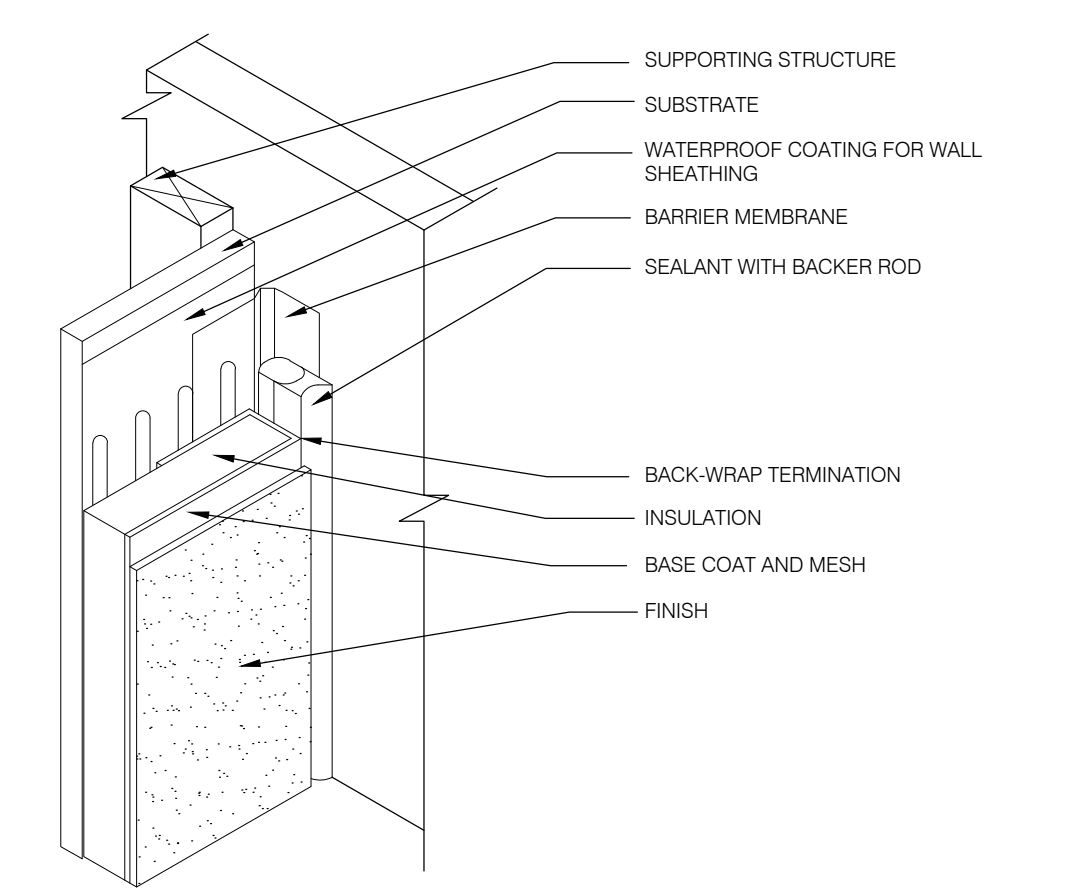
WINDOW FLASHING - ALUMINUM FINISH TO MATCH STOREFRONT

NOTE: DO NOT CAULK / OBSTRUCT WEEP HOLES DRILLED IN SILL RECEPTOR

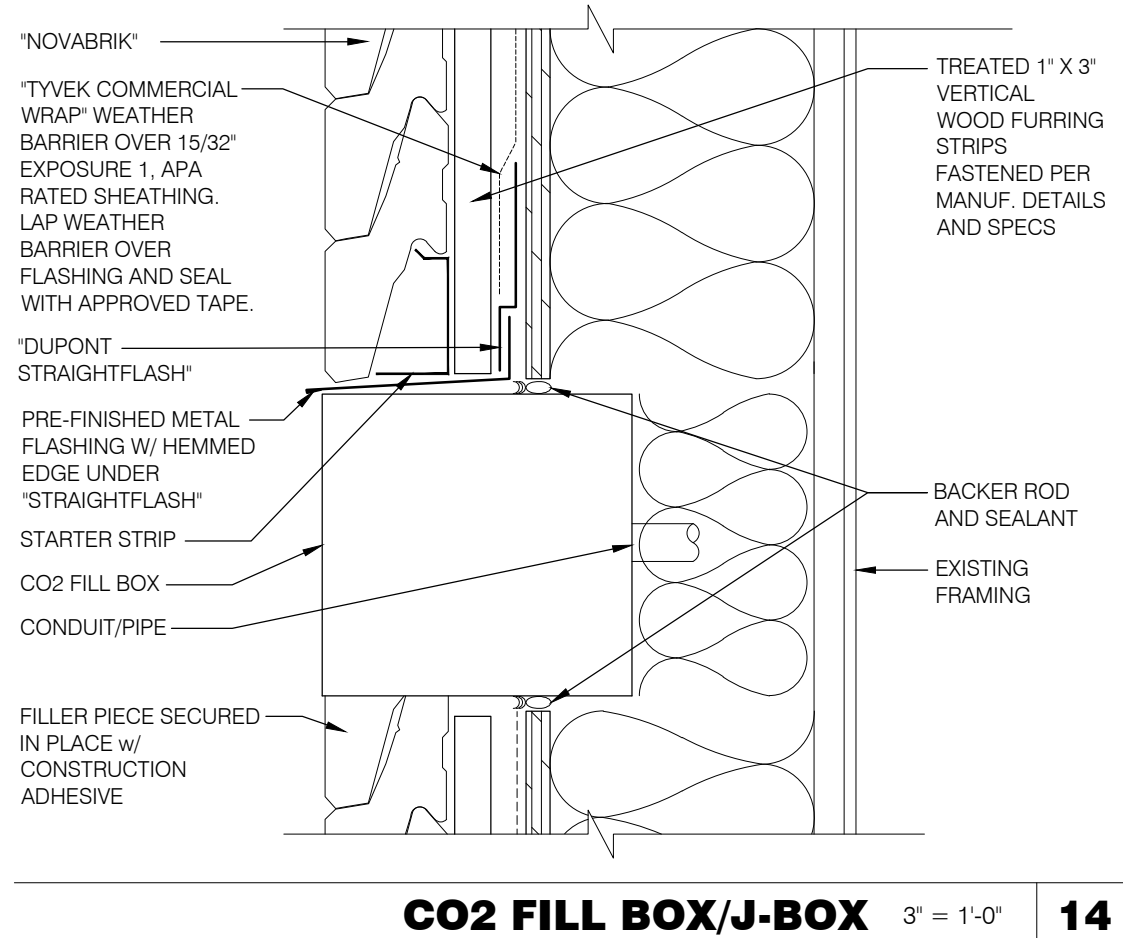
COMPLETING WINDOW SYSTEM

SET STOREFRONT WINDOW, APPLY EIFS SYSTEM AND THEN ADD WINDOW FLASHING OVER TOP OF EIFS AT WINDOW SILL

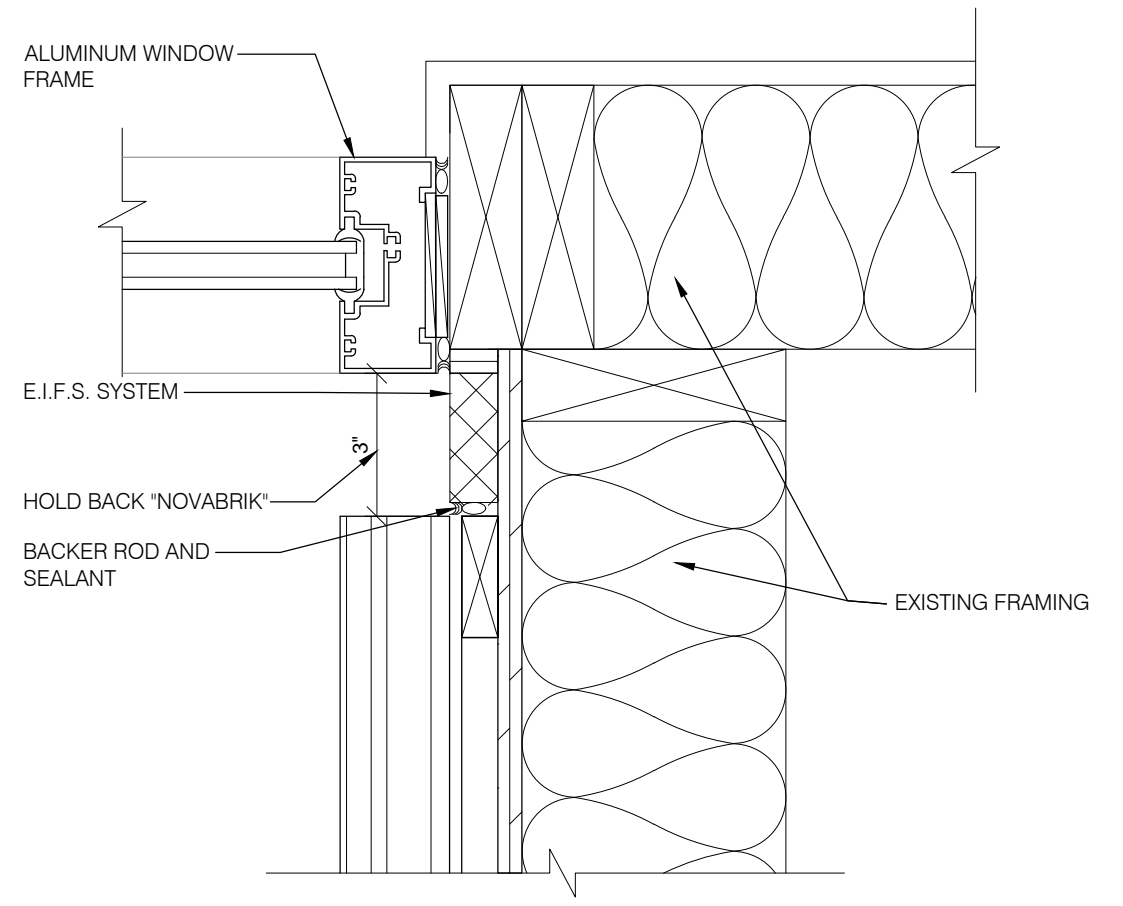
TYPICAL WINDOW WALL WATER PROOFING 3' = 1'-0" 16



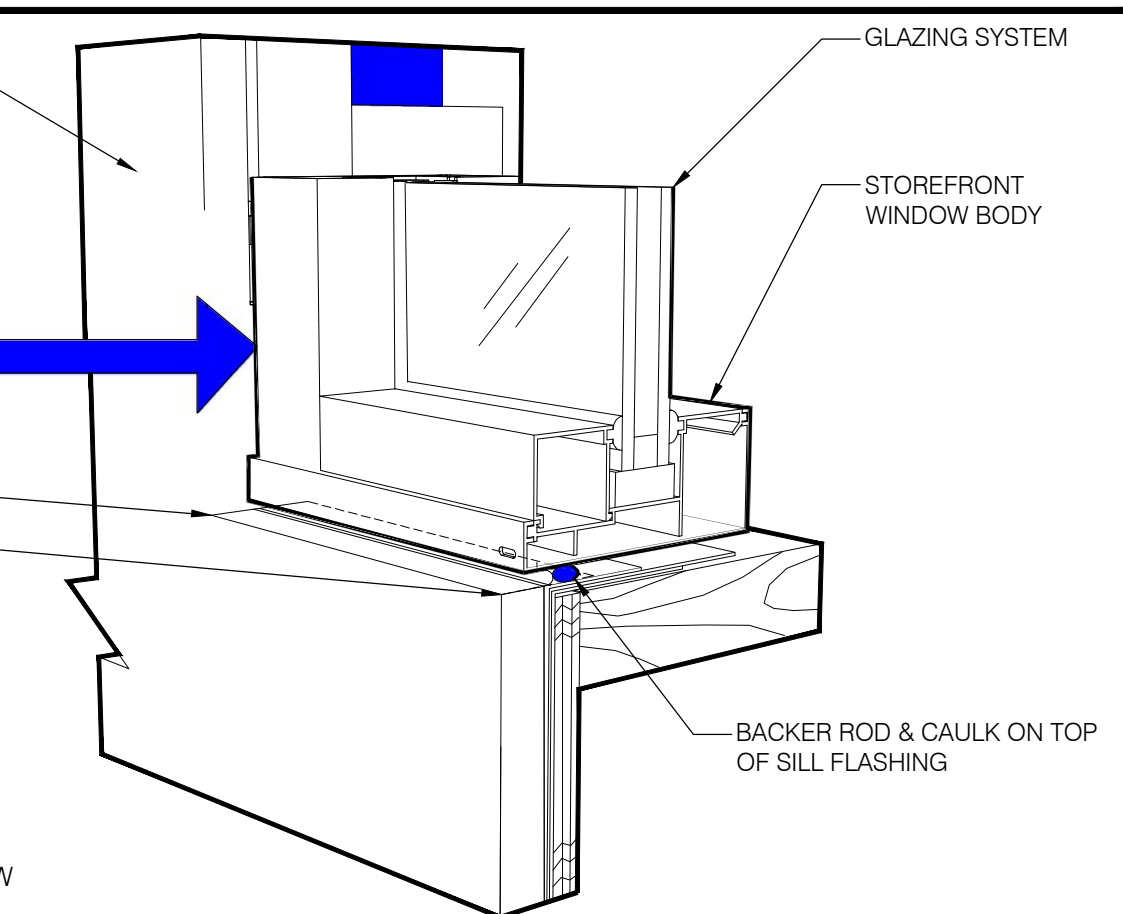
TYP. EIFS. @ INSIDE CORNER N.T.S. 13



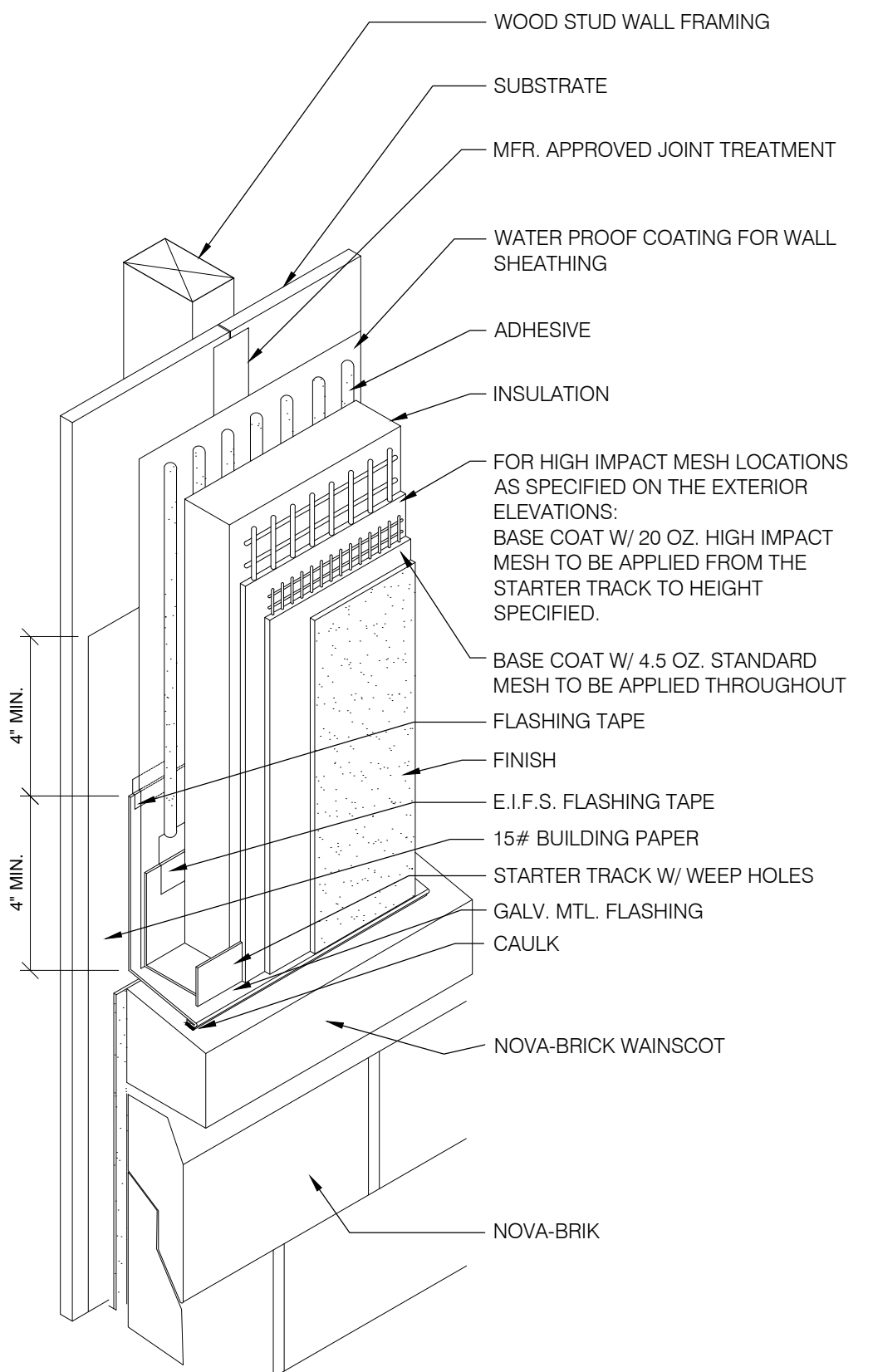
CO2 FILL BOX/J-BOX 3' = 1'-0" 14



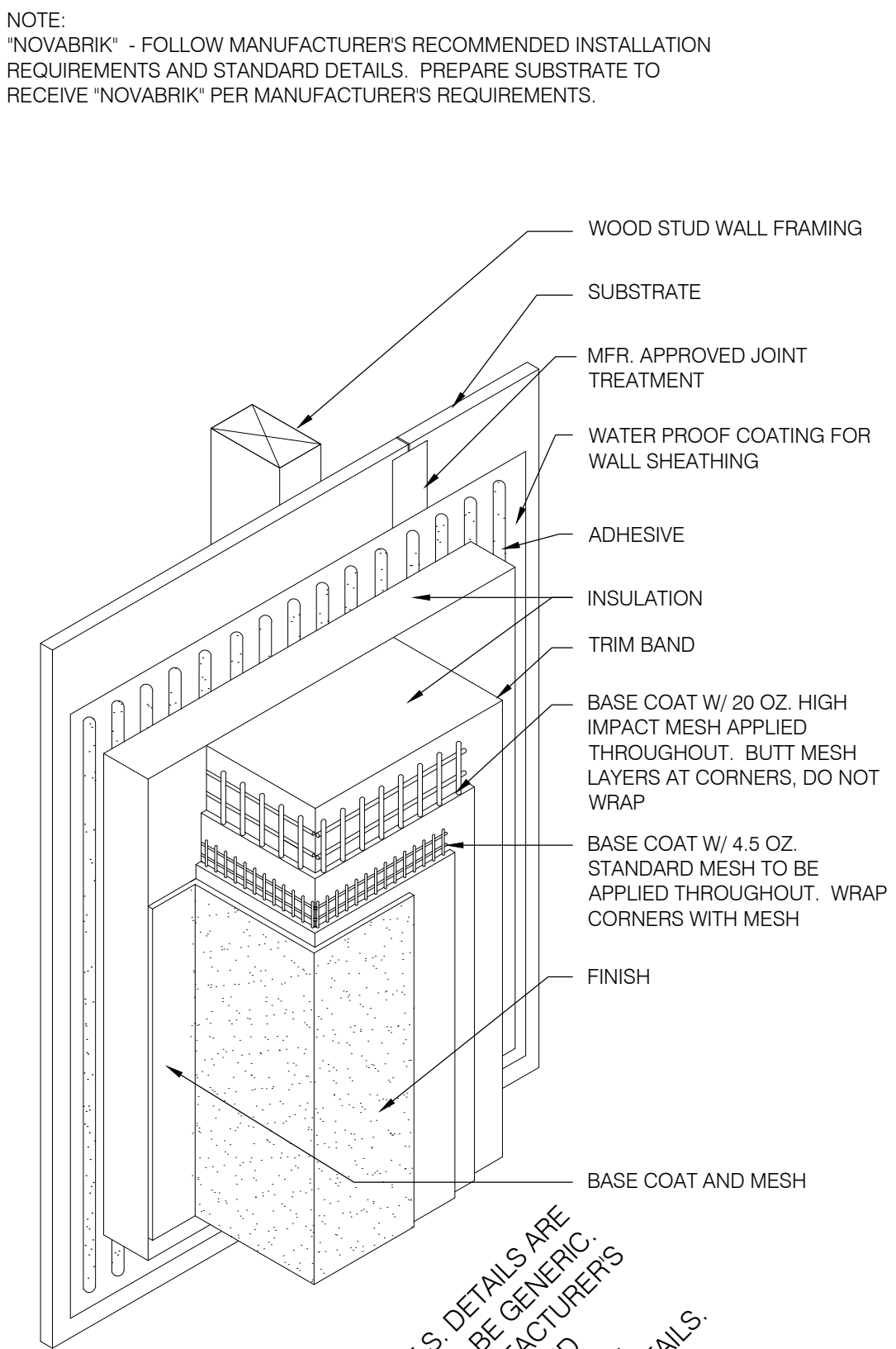
"NOVABRIK" CORNER @ WINDOWS 3' = 1'-0" 15



GENERAL NOTES:  
1. DO NOT CAULK OVER GAP BETWEEN THE E.I.F.S. STARTER TRACK WITH WEEP HOLES AND THE GALVANIZED METAL FLASHING BELOW.  
2. PAINT EXPOSED EDGE OF E.I.F.S. STARTER TRACK WITH THE ENAMEL EQUIVALENT TO THE WATER BASED PAINT SPECIFIED ON SHEET A4.0.

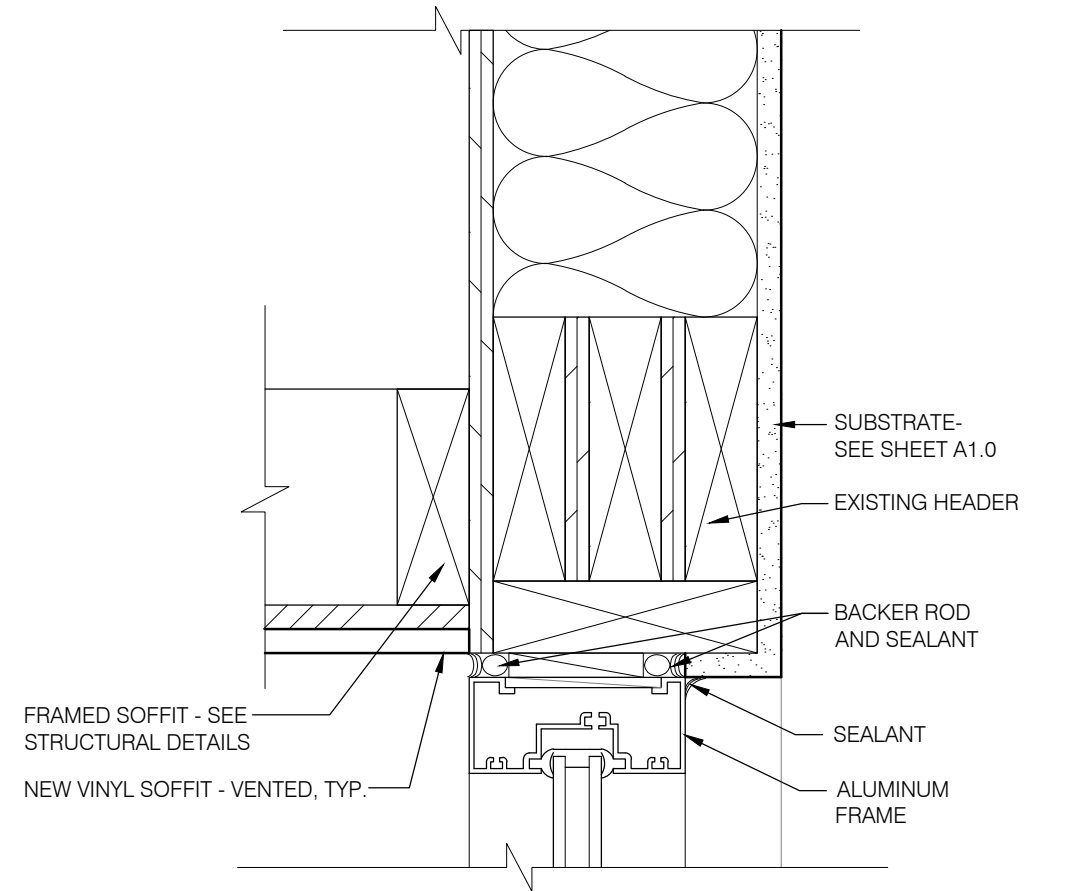


E.I.F.S. TO BASE FLASHING N.T.S. 10

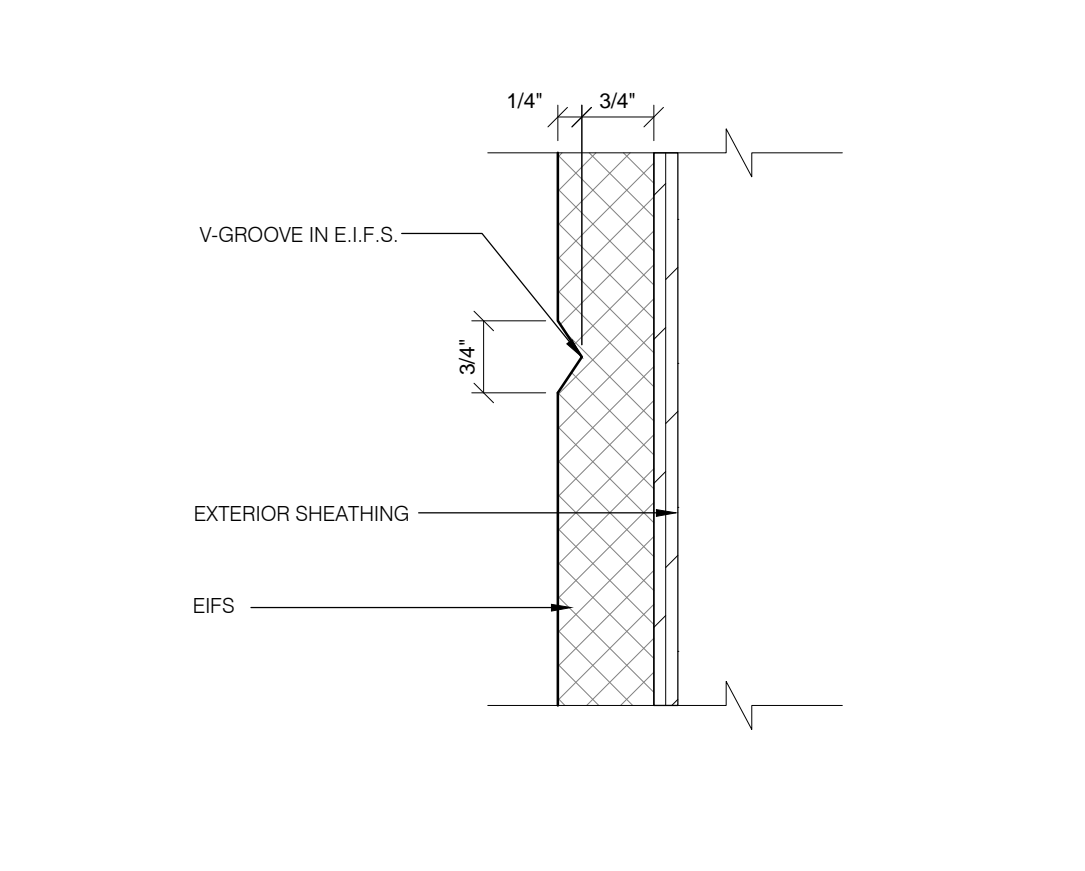


NOTE: EIFS DETAILS ARE INTENDED TO BE GENERIC. EXACT DETAILS AND RECOMMENDATIONS - TYPICAL ALL EIFS DETAILS.

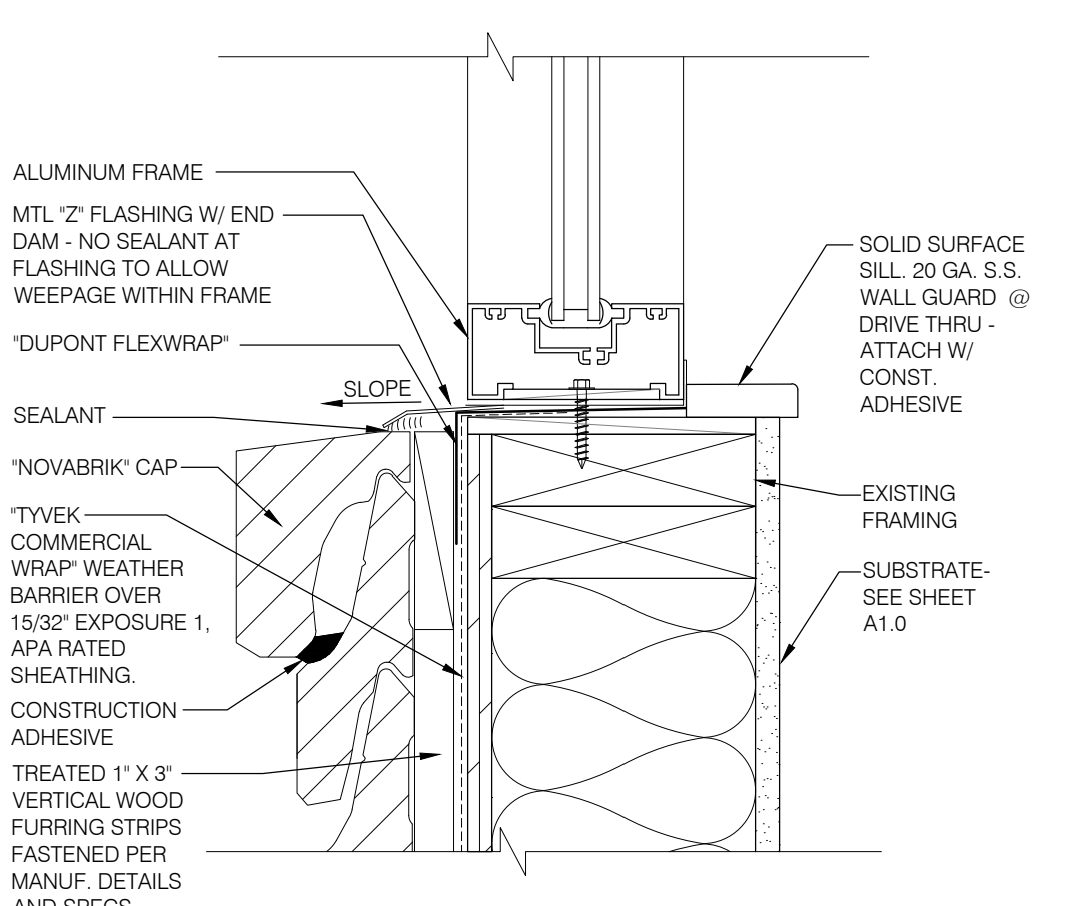
TYP. EIFS. TRIM HIGH IMPACT N.T.S. 12



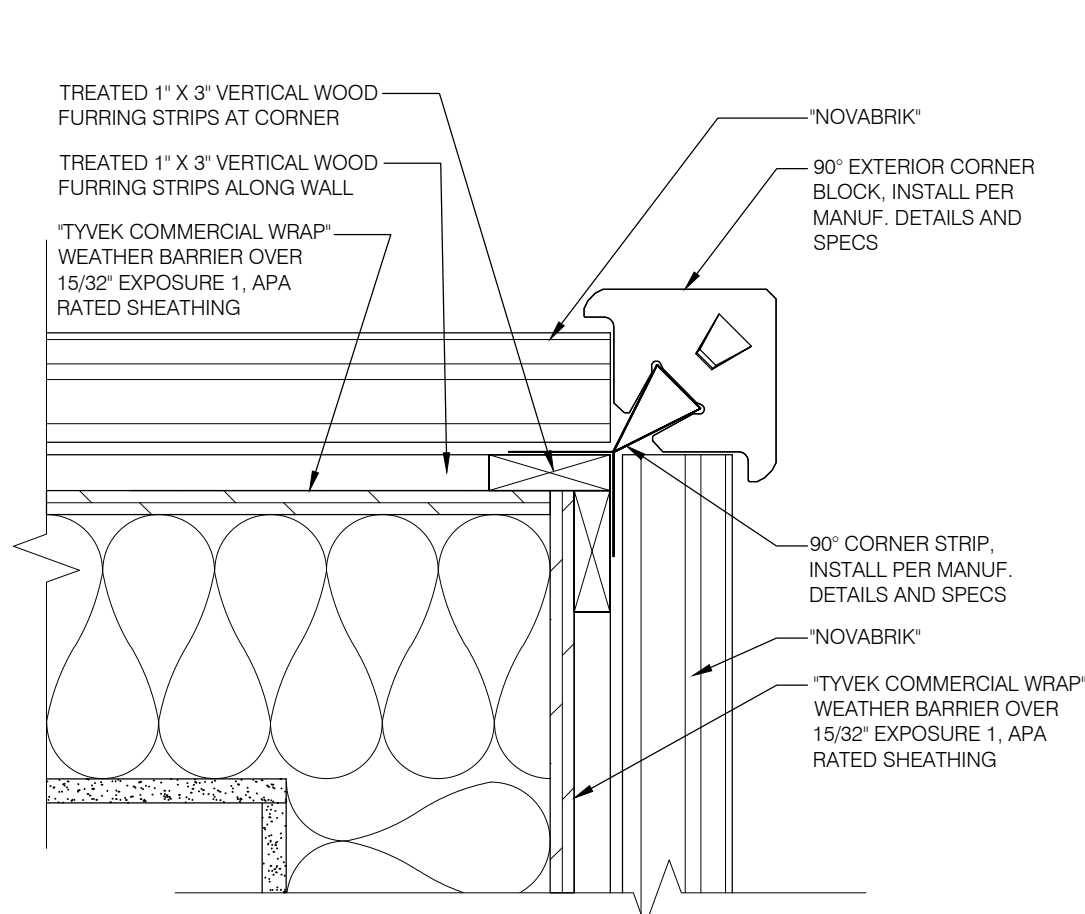
WINDOW/DOOR HEAD @ SOFFIT 3' = 1'-0" 5



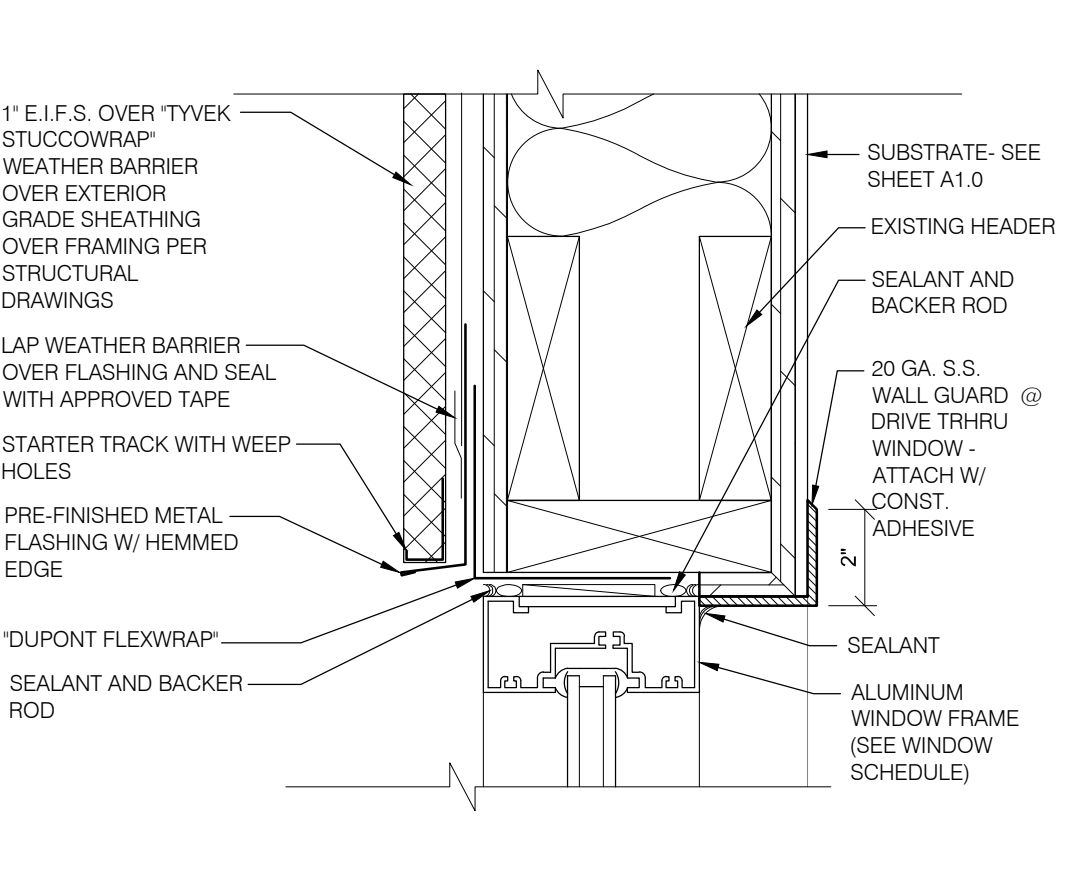
E.I.F.S. V-GROOVE 3' = 1'-0" 6



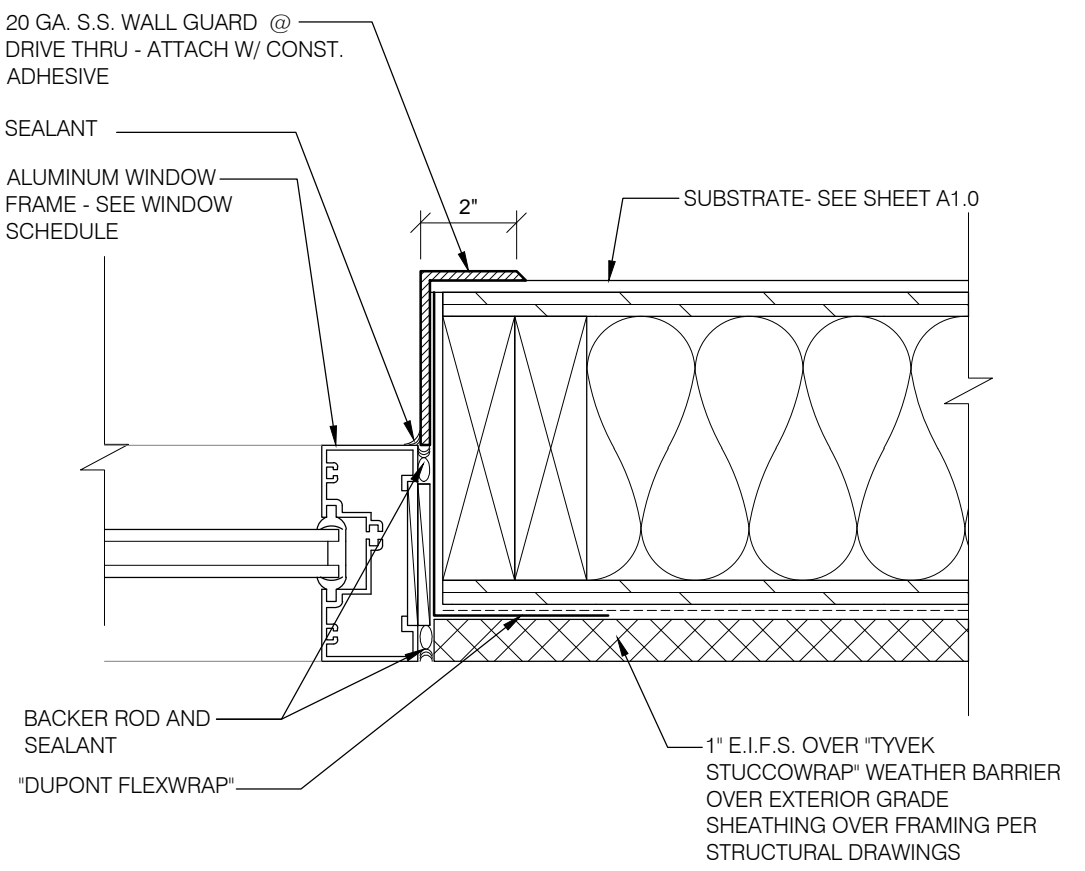
"NOVABRIK" @ WINDOW SILL 3' = 1'-0" 7



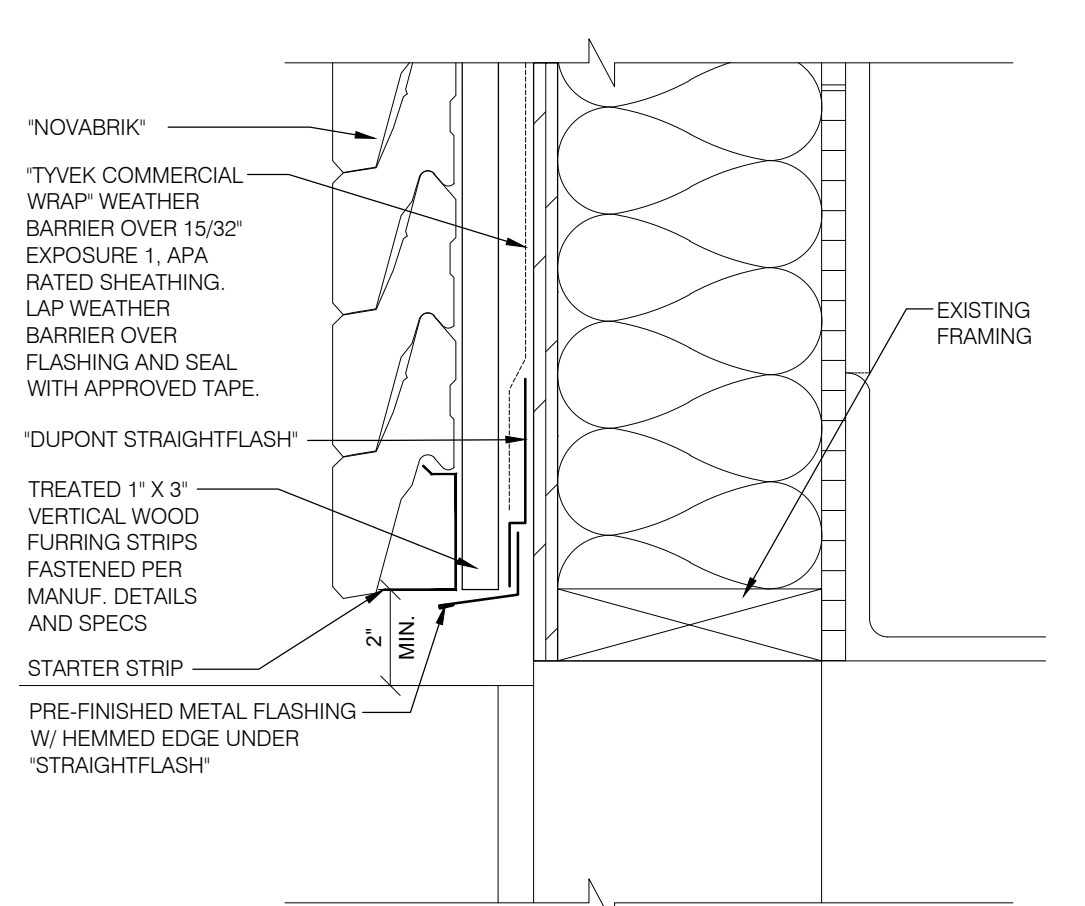
"NOVABRIK" CORNER DETAIL 3' = 1'-0" 8



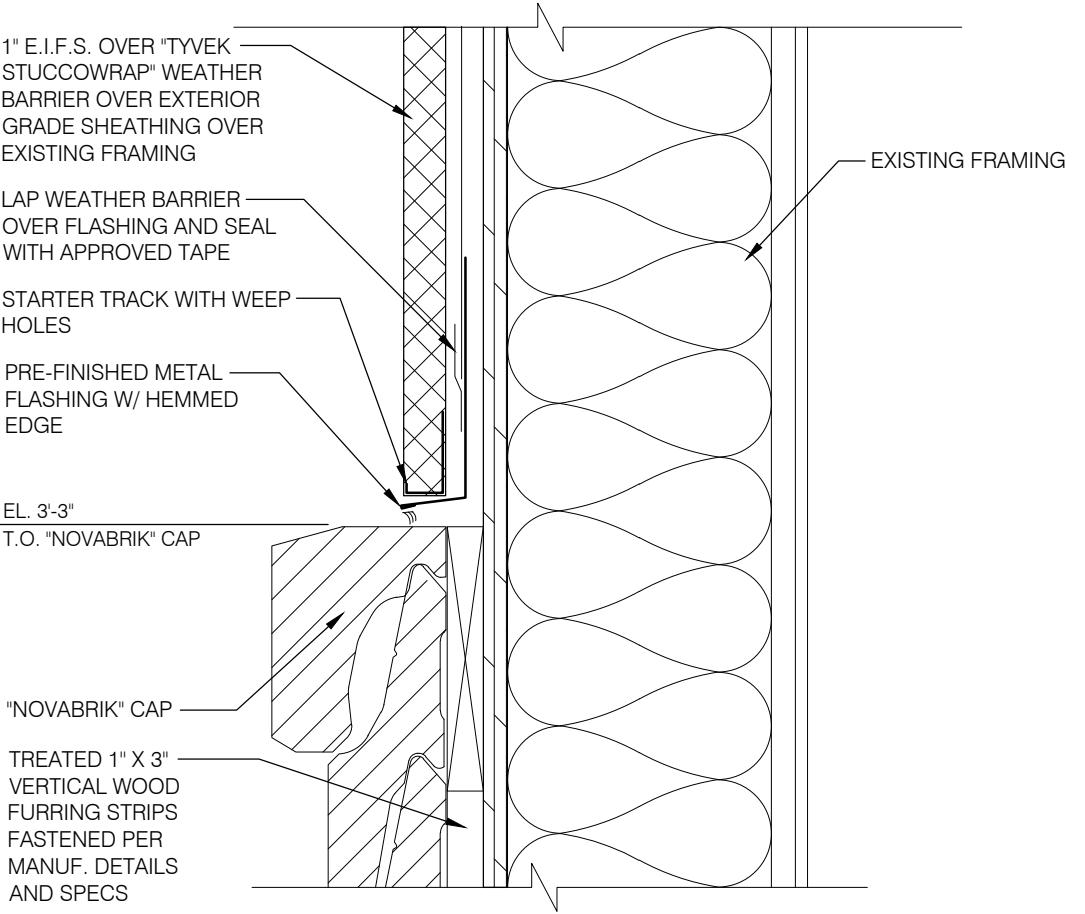
TYPICAL WINDOW/DOOR HEAD 3' = 1'-0" 1



TYPICAL WINDOW/DOOR JAMB 3' = 1'-0" 2



BASE AT "NOVABRIK" 3' = 1'-0" 3



"NOVABRIK" WAINSCOT @ E.I.F.S. 3' = 1'-0" 4

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**PROJECT INFORMATION**  
PROJECT NUMBER 1729460

SUCCESSOR REMODEL FOR:  
**TACO BELL**  
7141 S 76TH STREET • FRANKLIN, WI 53132

PROFESSIONAL SEAL  
**JONATHAN BRINKLEY**  
10502-5  
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ARCHITECT

**SHEET DATES**  
ISSUE DATE JULY 28, 2017  
REVISIONS

**SHEET INFORMATION**  
CONSTRUCTION DETAILS  
SHEET NUMBER  
**A6.1**





PROFESSIONAL SEAL

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JONATHAN  
BRINKLEY  
10502-5  
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ISSUE DATE JULY 28, 2017

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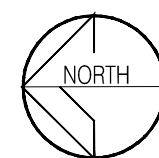
SHEET INFORMATION

## FINISH FLOOR PLAN

SHEET NUMBER

## A7.0

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### FINISH FLOOR PLAN $1/4"=1'-0"$

1. NEW FLOOR TILE AND BASE. SEE FINISH NOTE 'B'.
2. VERIFY WITH COUNTER.
3. REPAIR ANY BROKEN BASE OR FLOOR TILE.
4. NEW TILE EDGE TO BE FLUSH WITH EXISTING TILE EDGE, FLOAT FLOOR TILE FOR A SMOOTH TRANSITION.
5. G.C. SHALL PROVIDE 12" HIGH CEMENT BOARD BACKING. FLUSH WITH EXISTING WALL SURFACE, BEHIND ALL NEW QUARRY TILE BASES. PROVIDE A CLEAR SILICONE SEAL. PAINT AT THE TOP OF THE BASE TILE. (FRONT OF HOUSE ONLY.)
6. TOILETS SHALL BE REMOVED BEFORE TILE INSTALLATION AND THEN REPLACED.
7. WALK-OFF MAT RECESSED INTO TILE - FINISH TILE EDGE WITH 'SCHLUTER' STRIP.
8. EXISTING FLOORING TO REMAIN.
9. MIN. ONE FULL TILE UNDER COUNTER.

**NOT USED**

**F**

**NOT USED**

**E**

**NOT USED**

D

### FLOOR FINISH NOTES

C

## KEY NOTES

B





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BRINKLEY

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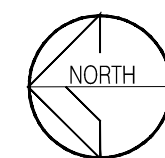
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## SHEET INFORMATION

REFLECTED CEILING PLAN

SHEET NUMBER

# A7.1



**REFLECTED CEILING PLAN** 1/4"=1'-0"



<b>REFLECTED CEILING PLAN NOTES</b>	<b>I</b>
-------------------------------------	----------

- |                  |          |
|------------------|----------|
| <b>KEY NOTES</b> | <b>B</b> |
|------------------|----------|



FLOORS			WALLS			WALLS (LAMINATES)			CEILINGS		
SYM	DESCRIPTION	ALTERNATE / NOTE	SYM	DESCRIPTION	ALTERNATE / NOTES.	SYM	DESCRIPTION	ALTERNATE/ NOTE	SYM	DESCRIPTION	ALTERNATE / NOTE
			P-1	MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL LATEX COLOR: SW7020 BLACK FOX PRIMER: #023 (WHITE) FRESH START 100% ACRYLIC		F.R.P.-1	MFR.: MARLITE TYPE: FIBERGLASS REINFORCED PANEL COLOR: FP-100 WHITE (PEBBLED FINISH) NOTE: NO COLOR VARIATIONS ACCEPTED		CL-1	MFR.: CERTAINTEED TYPE: VINYL ROCK, #1140, WASHABLE NON-PERFORATED, 24x48"x1/2" COLOR: WHITE GRID: WHITE SUSPENSION GRID W/ ALUMINUM FACE NOTE: FLAME SPREAD RATING 0-25, CLASS A	MFR.: US GYPSUM CO. TYPE: PANEL #3270-2-MIL COLOR: WHITE VINYL NOTE: FIRE CODE C
			P-2	MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL LATEX COLOR: SW7068 GRIZZLE GRAY PRIMER: #023 (WHITE) FRESH START 100% ACRYLIC					CL-2	MFR.: GYPSUM BOARD TYPE: COLOR:	
T-3	MFR.: DAL TILE TYPE: 'AFFINITY' GLAZED PORCELAIN TILE COLOR: BROWN AF04 SIZE: 12"x24" JOINT FILLER: MAPEI #50 MAGNOUA NOTE: STAGGER JOINTS AT THIRD POINTS (NOT CENTERED).		P-3	MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL LATEX COLOR: SW6148 WOOLSKIN PRIMER: #023 (WHITE) FRESH START 100% ACRYLIC		WC-1	MFR.: FORBO TYPE: MARMOLEUM COLOR: 3707 BLACK HOLE		CL-3	MFR.: USG SUSPENDED CEILING TILE TYPE: 414, FROST, 24x24x1/2" COLOR: FLAT BLACK #205 GRID: USG DX EXPOSED TEE COLOR: PRE-PAINTED BLACK	SPEAKERS TO BE FACTORY PAINTED WITH BLACK
			P-4	MFR.: NOT USED TYPE: - COLOR: - PRIMER: -					CL-4	MFR.: CERTAINTEED TYPE: VINYL ROCK, #1140, WASHABLE NON-PERFORATED, 24x24"x1/2" COLOR: WHITE GRID: WHITE SUSPENSION GRID W/ ALUMINUM FACE NOTE: FLAME SPREAD RATING 0-25, CLASS A	
			P-5	MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL LATEX COLOR: SW6098 PACER WHITE PRIMER: #023 (WHITE) FRESH START 100% ACRYLIC		S-1	MFR.: CORIAN TYPE: SOLID SURFACE WINDOW SILL COLOR: SILVERITE NOTE: NO COLOR VARIATIONS ACCEPTED				
			P-8	MFR.: SHERWIN WILLIAMS TYPE: SEMI-GLOSS COLOR: SW7002 'DOWNY' PRIMER: #023 (WHITE) FRESH START 100% ACRYLIC							
FLOOR MATS			P-9	MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL ENAMEL COLOR: SW6108 'LATTE' PRIMER: #023 (WHITE) FRESH START 100% ACRYLIC							
SYM	DESCRIPTION										
M-1	MFR.: NYSTROM TYPE: WALK-OFF CARPET MAT MODEL: MAX_TREAD, 1/2", #MX12Z-B36X60B7-TACO SIZE: 3'-0"x3'-0" COLOR: CHARCOAL		WF-1	MFR.: REPLICATIONS UNLIMITED TYPE: URESTONE 5/8" THICK COLOR: ROUGH BRICK PATTERN RUSTIC RED PRIMER: N/A (VERIFY WITH OWNER PRIOR ORDERING)							
M-2	MFR.: NYSTROM TYPE: WALK-OFF CARPET MAT MODEL: MAX_TREAD, 1/2", #MX12Z-B48X60B7-TACO SIZE: 4'-0"x5'-0" COLOR: CHARCOAL										
			TM-1	TYPE: CHAIR RAIL MATERIAL: WOOD SIZE: 3/4"D x 2"W x 96"L FINISH: NEW EBONY STAIN PROVIDED BY FCI		DECOR FINISHES (BY FCI)			DOORS		
			TM-2	MFR.: SCHLUTER TYPE: RONDEC RO80AE 3/8" TILE EDGE TRIM COLOR: SATIN ANNOIDIZED ALUMINUM		SYM	DESCRIPTION	ALTERNATE / NOTE	SYM	DESCRIPTION	ALTERNATE/ NOTE
			TM-3	TYPE: CORNER GUARD MATERIAL: 20 GA. STAINLESS STEEL SIZE: 2" x 2" FINISH: POLISHED		-	MFR.: FCI TYPE: PLYWOOD COLOR: FRUITWOOD STAIN #241	COUNTER TOPS, TABLE TOPS, WASTE ENCLOSURE TOP	DL-1	MFR.: WILSONART TYPE: PLASTIC LAMINATE COLOR: 7981-K12, WEAR LANDMARK OAK	* DOOR EDGES SHALL BE FINISHED SIMILAR TO FACES
			TM-4	TYPE: END WALL CHANNEL GUARD MATERIAL: 20 GA. STAINLESS STEEL SIZE: 2" x WALL THICKNESS FINISH: POLISHED		-	MFR.: FCI TYPE: SOLID SURFACE COLOR:	WASTE ENCLOSURE AND CONDIMENT STAND BODIES			
WALL BASE											
SYM	DESCRIPTION	ALTERNATE / NOTE									
			WT-1	MFR.: DAL TILE TYPE: FABRIQUE LINE COLOR: SOLEIL LINEN P687 UNPOLISHED SIZE: 6"x24" AT RESTROOMS  GROUT: MAPEI #06 'HARVEST' NOTE: TILE TO BE INSTALLED WITH THE GRAIN HORIZONTAL							
B-3	MFR.: DAL TILE TYPE: TERRA ANTICA CERAMIC TILE COLOR: ROSSO TA-02 SIZE: 6"x12" COVED BASE GROUT: CUSTOM #95 SABLE BROWN										
			WT-4	MFR.: DAL TILE TYPE: FABRIQUE LINE COLOR: SOLEIL LINEN P687 UNPOLISHED SIZE: 12"x24" AT DINING RM. GROUT: MAPEI #06 'HARVEST'  NOTE: TILE TO BE INSTALLED WITH THE GRAIN HORIZONTAL							

## ROOM FINISH SCHEDULE LEGEND

**A**

1. INSTALL F.R.P. ON KITCHEN SIDE OF SERVING COUNTER WALL.
2. GALV STEEL WALL AND CEILING FINISHES BY WIC / WIF BOX MFR.
3. REFER TO INTERIOR ELEVATIONS FOR LOCATIONS OF TILE AND F.R.P.
4. FOR FINISH LOCATIONS REFER TO:  
SHEETS A4.0 & A4.1 - EXTERIOR ELEVATIONS  
SHEET A7.0 - FLOOR FINISH PLAN  
SHEET A7.1 - REFLECTED CEILING PLAN  
SHEETS A8.0 TO A8.3 - INTERIOR ELEVATIONS
5. APPROVED PAINT MANUFACTURERS:  
PORTER, BENJAMIN MOORE, SHERWIN WILLIAMS, ICI, & PITTSBURGH  
MATCH SPECIFIED SCHEDULE COLORS EXACTLY.
6. ALL MORTAR SHALL BE MIXED WITH WHITE SAND TO INSURE A COLOR  
CONSISTENT TO THE ORIGINAL DESIGN INTENT
7. WALL AND FLOOR TILE G.C. SUPPLIED, INSTALLED BY G.C.
8. ALL PAINTED GYPSUM BOARD SHALL HAVE A SMOOTH FINISH.

TILE:

DALTILE  
FRED DAVIS  
502-423-5456  
FRED.DAVIS@DAL TILE.COM

**MARLITE**  
DAN EGBERS  
330-343-6621  
WWW.MARLITE.COM

WILSONART INTERNATIONAL, INC.  
DAN CHICKVARA  
254-207-2130  
CHICKV@WILSONART.COM

SHERWIN WILLIAMS  
BRAD HARRINGTON  
216-341-5553 EXT. 115  
CELL: 216-210-2723  
BRAD.E.HARRINGTON@SHERWIN.COM

FORBO  
DAVE BOLINGER  
614-583-8504  
CELL: 1-614-439-7343  
FAX: 1-614-583-8504  
DAVE.BOLINGER@FORBO.COM

<b>MARLITE</b>	<b>EUROWEST</b>
<b>DAN EGBERS</b>	<b>2200 S. DUPONT DR.</b>
<b>330-343-6621</b>	<b>ANAHEIM, CA 92806</b>
<b>WWW.MARLITE.COM</b>	<b>714-937-7500</b>

**DALY'S STAIN**  
3525 STONE WAY NORTH  
SEATTLE, WA  
206-633-4200  
800-735-7019  
FAX: 206-632-2565

NATIONAL METAL SHAPES  
Russel Day  
800-837-9559

**DAVIS COLORS**  
(Mortar Pigment)  
West: 800-356-4848  
East: 800-638-4444

RES-TEK  
GREGG SOLTIS  
404-805-6494  
gregg@res-tek.net

## CONTACTS

**C**

## ROOM FINISH NOTES

**D**



**100 CAMELOT DRIVE  
FOND DU LAC, WI 54935  
PHONE: (920) 926-9800  
WWW.EXCELENGINEER.COM**

## PROJECT INFORMATION

PROJECT NUMBER 1729460

SUCCESSOR REMODEL FOR:  
**TACO BELL**  
7141 S 76TH STREET • FRANKLIN, WI 53132



**SHEET DATES**

ISSUE DATE            JULY 28, 2017

## REVISIONS

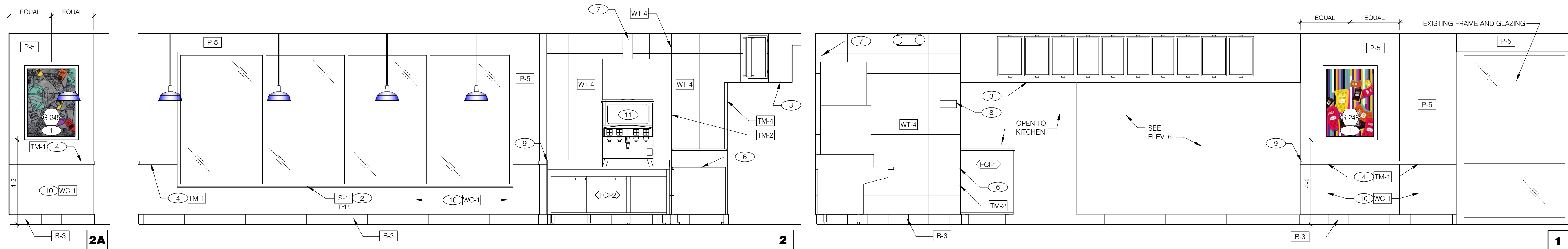
## SHEET INFORMATION

## FINISH SCHEDULE

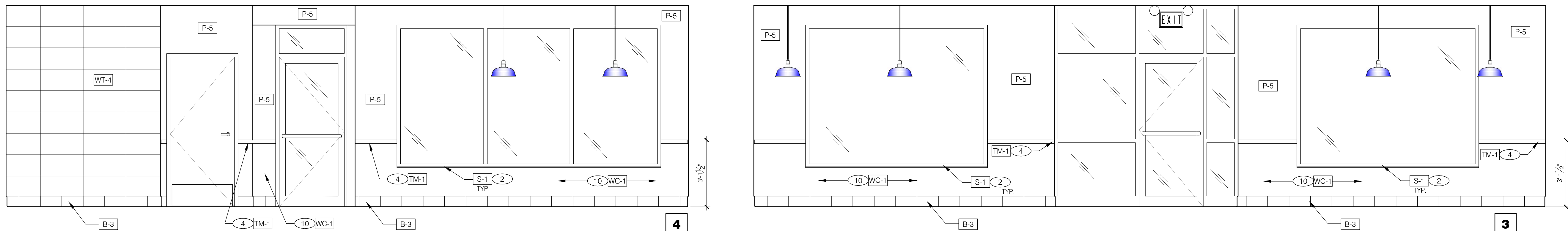
SHEET NUMBER

## A7.2

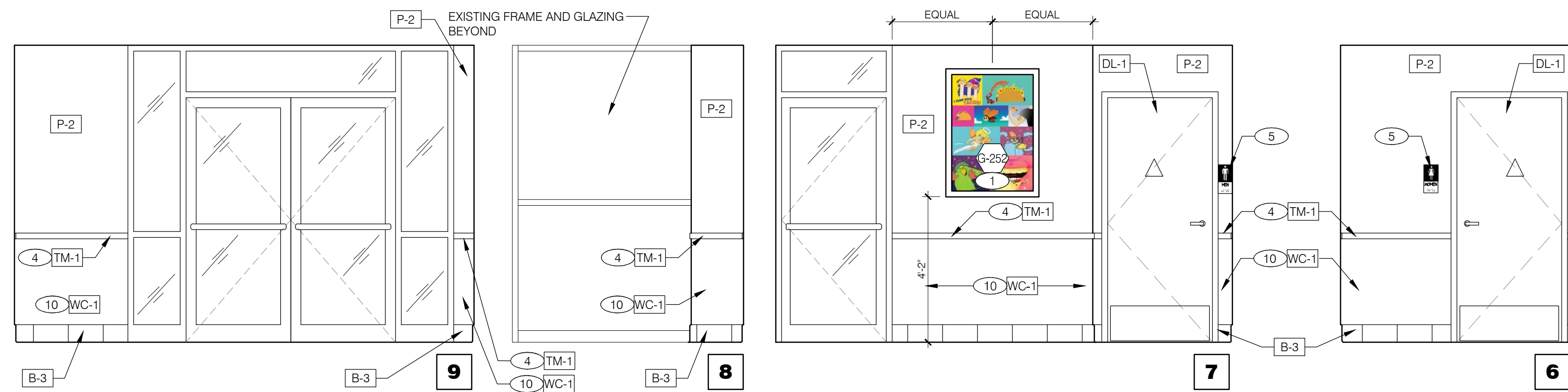




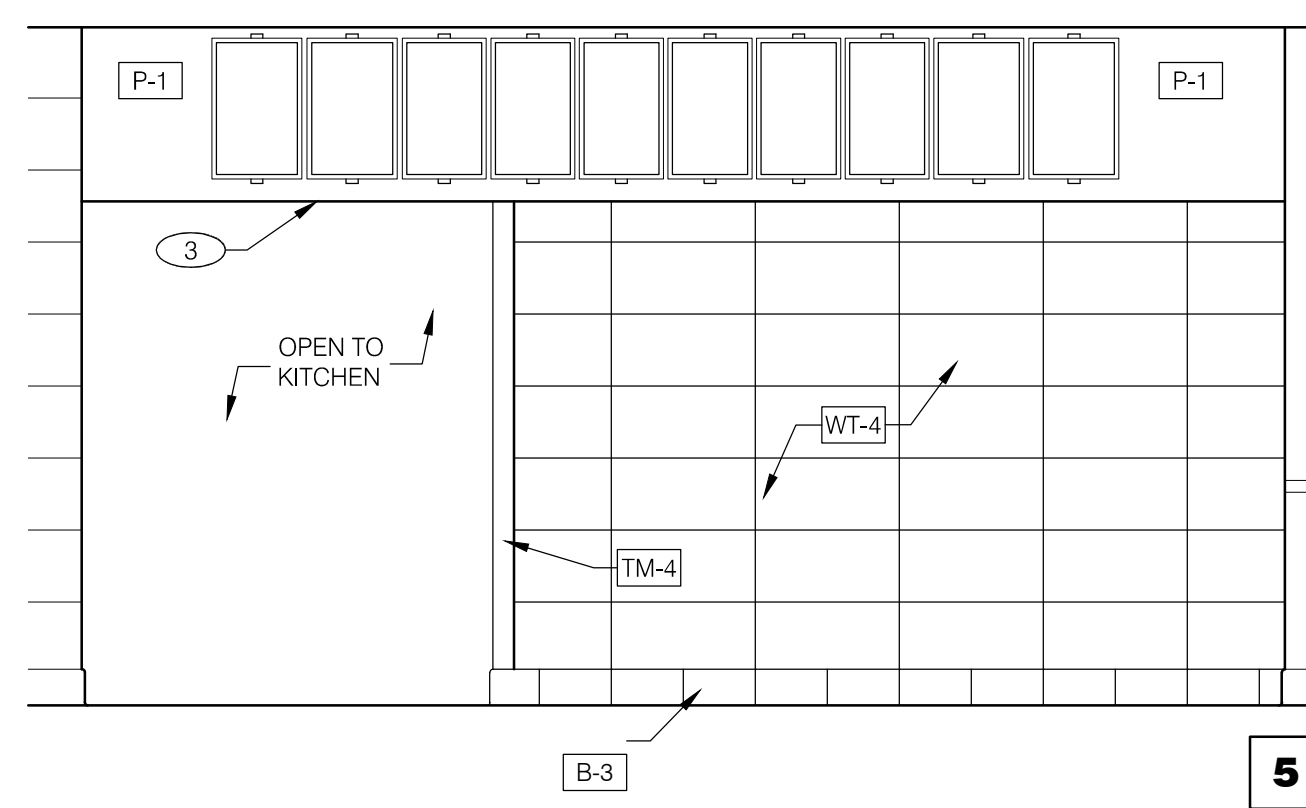
**DINING** 3/8"=1'-0"



**DINING** 3/8"=1'-0"



**VESTIBULE** 3/8"=1'-0"



**BEHIND COUNTER** 3/8"=1'-0"

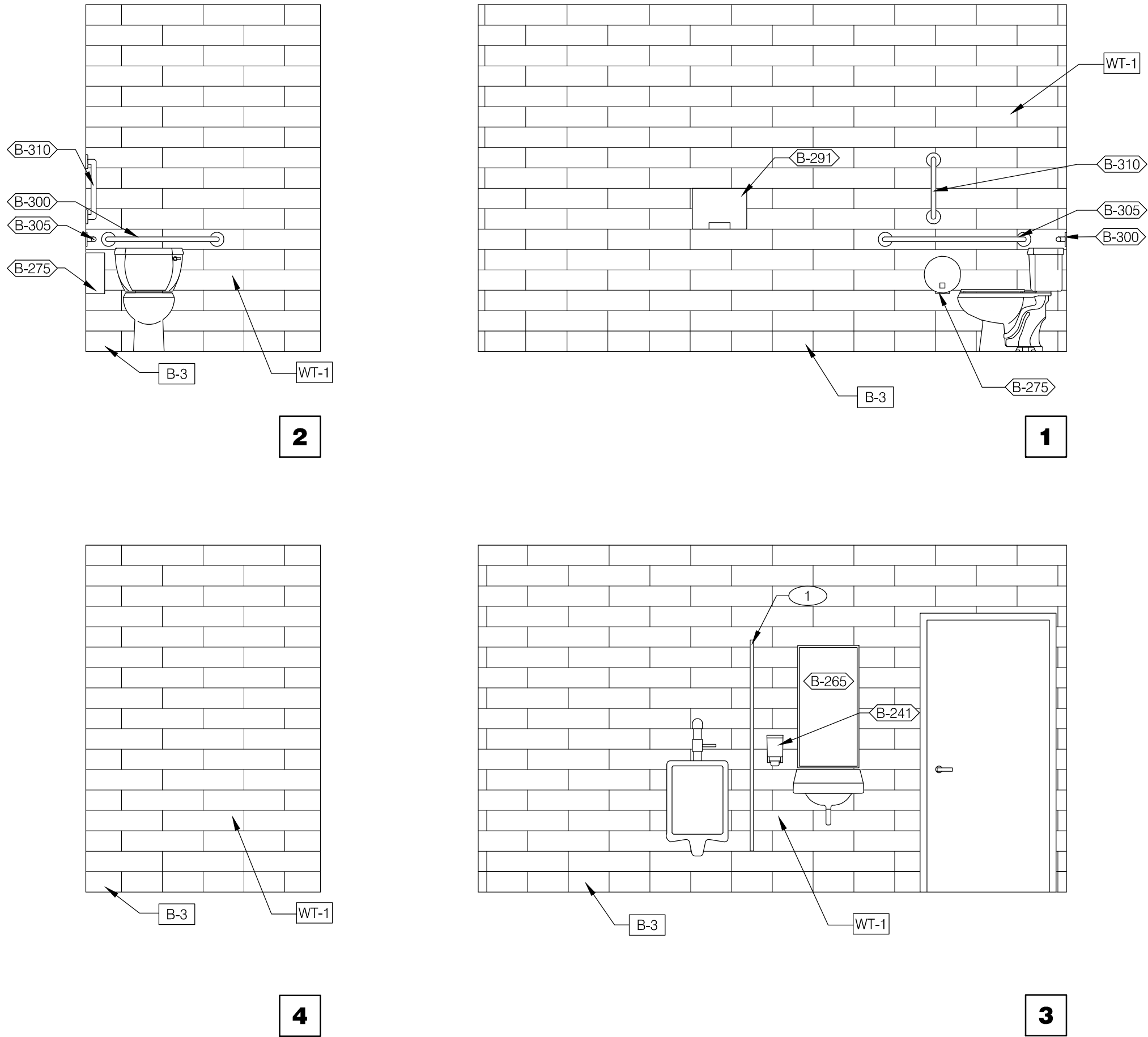
A. ENSURE THAT ALL SERVING COUNTERS, BEVERAGE COUNTERS AND CONDIMENT COUNTERS DO NOT EXCEED 34" MAXIMUM HEIGHT A.F.F.  
B. ENSURE THAT THE INSTALLATION / PLACEMENT OF ALL CONDIMENTS, LIDS, UTENSILS, ETC., ARE IN COMPLIANCE WITH THE REACH-RANGES PROVIDED ON SHEET ADA.

**GENERAL NOTES**

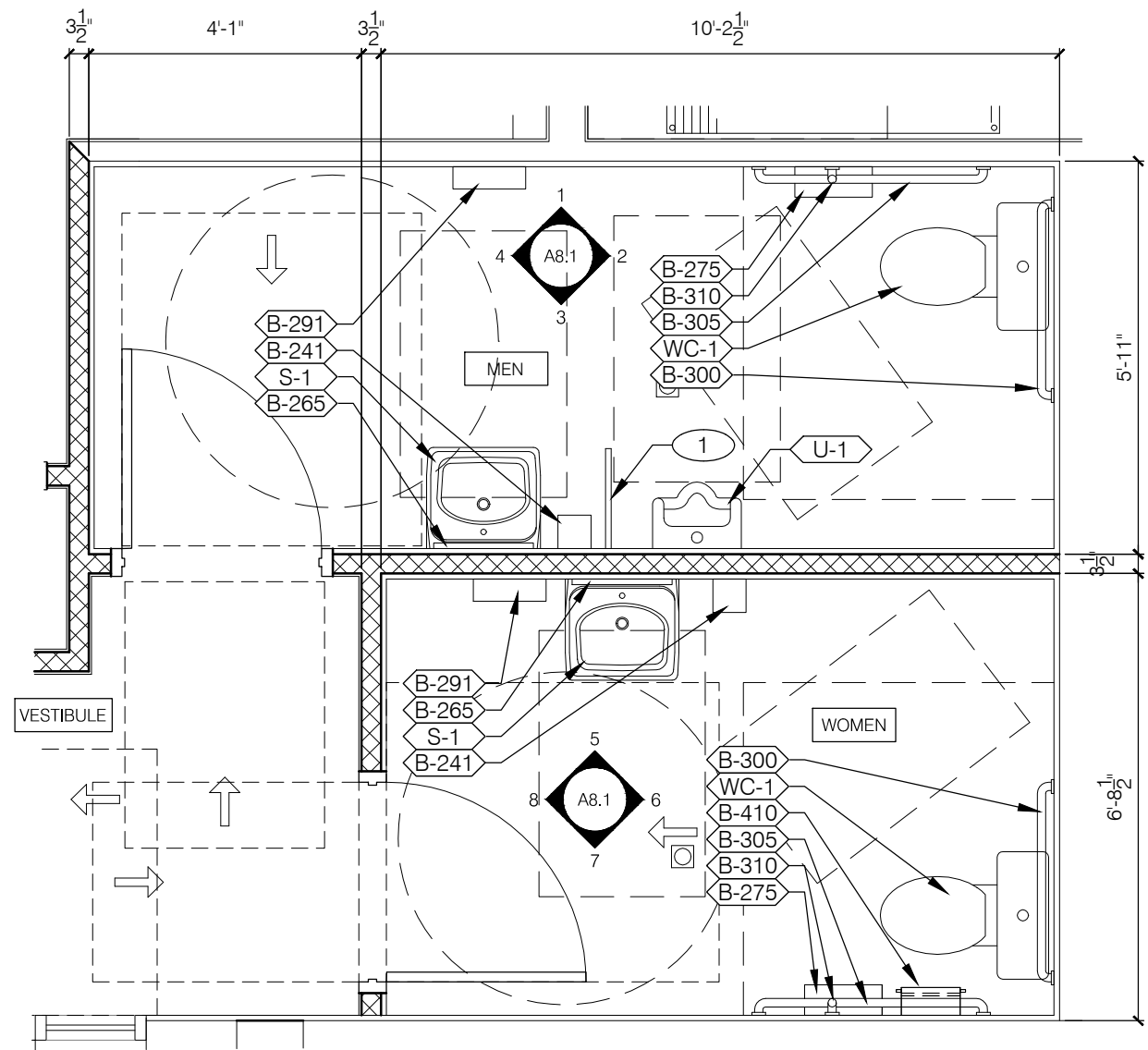
- ARTWORK.
- SOLID SURFACE WINDOWSILL.
- MENU BOARD SOFFIT.
- CHAIR RAIL, SEE DETAIL 11/A6.0. NO CHAIR RAIL BEHIND DRINK STATION.
- H.C. SIGNAGE IN PICTOGRAM, BRAILLE, AND TEXT PER ANSI A117.1-2003 SECTION 703.5.
- PROVIDE CLEAR SILICONE CAULK WHERE ALL FIXED AND BUILT-IN COUNTERS/EQUIPMENT ABUT WALL SURFACES. WHERE GAP BETWEEN WALL AND COUNTER SPLASH/EQUIPMENT EXCEEDS 1/4", PROVIDE S.S. CLOSURE ANGLE.
- 18 GAUGE STAINLESS STEEL CHASE.
- "PLEASE ASK IF YOU NEED ASSISTANCE" SIGN. SMALLWARE PACKAGE.
- START CHAIR RAIL.
- SEE SHEET A6.0 FOR WAINSCOT INSTALLATION DETAILS.
- EXISTING DRINK MACHINE. BOTTOM OF BEVERAGE AND ICE DISPENSING LEVERS SHALL BE NO HIGHER THAN 42" A.F.F.

**KEY NOTES**





MEN'S RESTROOM 3/8"=1'-0" C



ENLARGED RESTROOMS PLAN 3/8"=1'-0" A

NO.	QTY.	MINIMUM EQUIPMENT REQUIRED	MFR. & MODEL NUMBER	OWNER PROVIDED	G.C. INSTALLED
B - CONTRACTOR BUILDING ELEMENTS					
B-241	2	SOAP DISPENSER (WALL MOUNT)	REUSE EXISTING		X
B-265	2	MIRROR	REUSE EXISTING		X
B-275	2	TOILET PAPER DISPENSER	REUSE EXISTING		X
B-291	2	ELECTRIC HAND DRYER	BOBRICK B-7128 (SURFACE MOUNTED)	X	X
B-300	2	GRAB BAR 1 1/2" x 36" S.S. FIN.	REUSE EXISTING		X
B-305	2	GRAB BAR 1 1/2" x 42" S.S. FIN.	REUSE EXISTING		X
B-310	2	GRAB BAR 1 1/2" x 18" S.S. FIN.	BOBRICK B-6806X18	X	X
B-410	1	SANITARY NAPKIN RECEPTACLE	RUBBERMAID #6140	X	X
S-1	2	HAND SINK	REUSE EXISTING		X
WC-1	2	WATER CLOSET	REUSE EXISTING		X
U-1	1	URINAL	REUSE EXISTING		X

RESTROOM ACCESSORY SCHEDULE 3

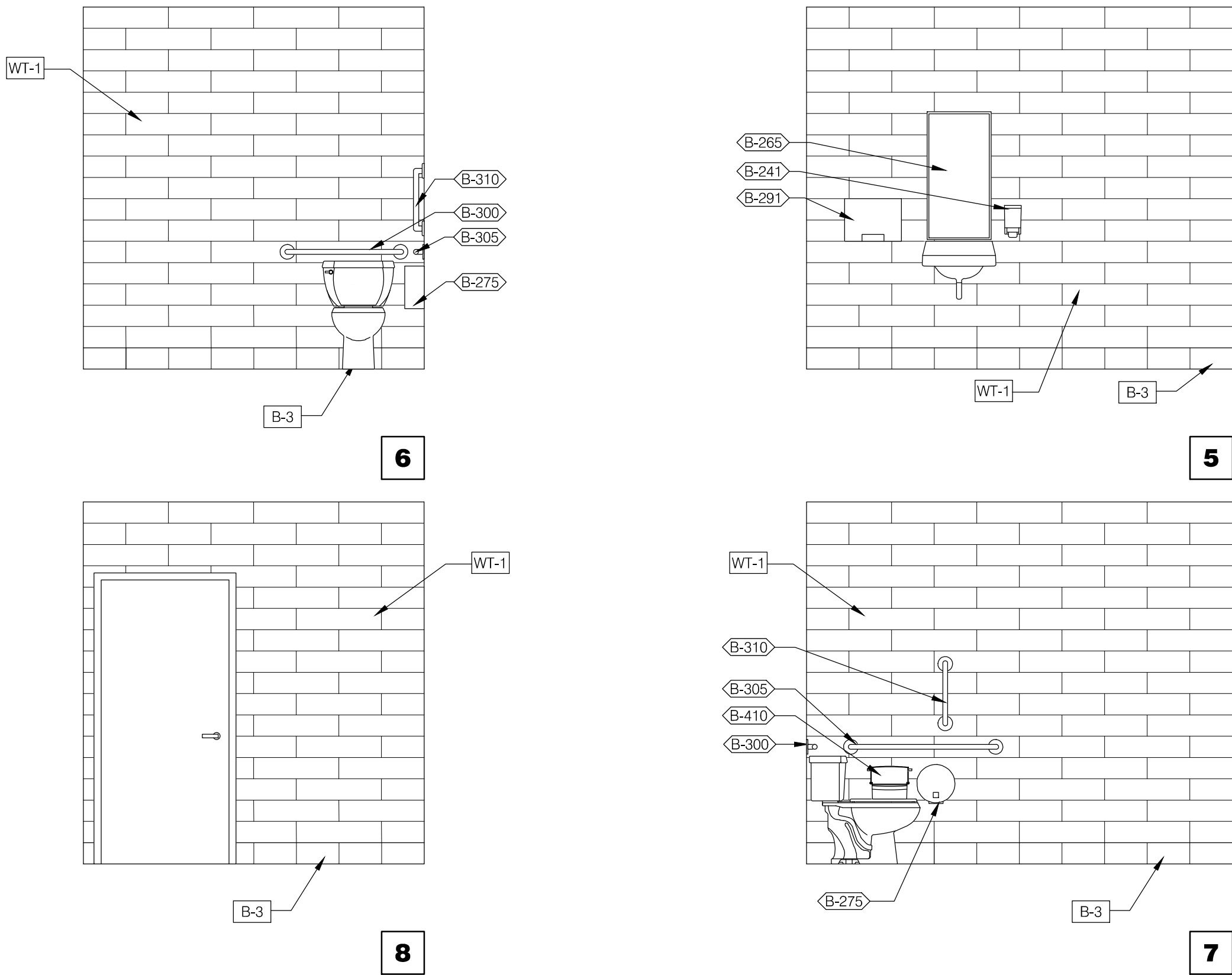
1. PROVIDE PROPER 2x BLOCKING AT WALL RECESSED MOUNTED ACCESSORIES.
2. GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS.
3. REFER TO FLOOR PLAN NOTES FOR BLOCKING AND SUBSTRATE NOTES.
4. PROVIDE WALL TILE BEHIND ENTIRE MIRROR AREA TO ALIGN MOUNTING SURFACES.
5. REFER TO ACCESSIBILITY CODES FOR MOUNTING HEIGHTS AND CLEARANCES OF ACCESSORIES AND FIXTURES.
6. ALL DIMENSIONS THIS DRAWING ARE TO FINISH SURFACE.
7. PROVIDE 1/2" CEMENTITIOUS BOARD SUBSTRATE FULL HEIGHT BEHIND ALL NEW TILED WALLS.

- DENOTES FINISH MATERIAL. REFER TO SHEET A7.2 FOR FINISH SCHEDULE.
- ◁ DENOTES TOILET ROOM ACCESSORIES.

GENERAL NOTES 8

- ① "BOBRICK" COMPOSITE WOOD URINAL SCREEN. COLOR SC03 TERRA COTTA.

NOT USED 4

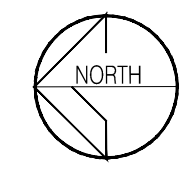
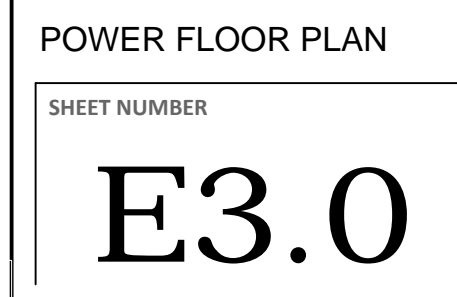


WOMEN'S RESTROOM 3/8"=1'-0" D









- G**

$$1/4'' = 1' - 0''$$

- |  |   |
|--|---|
|  | E |
|--|---|



- B**



NOT USED

G

NOT USED

D

NOT USED

A

NOT USED

H

NOT USED

E

NOT USED

B

NOT USED

I

NOT USED

F

NOT USED

C

EXCEL

ARCHITECTS • ENGINEERS • SURVEYORS

100 CAMELOT DRIVE

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PROJECT INFORMATION

PROJECT NUMBER1729460

SUCCESSOR REMODEL FOR:

TACO BELL

7141 S 76TH STREET • FRANKLIN, WI 53132

PROFESSIONAL SEAL

WISCONSIN

RAYMOND DEL PONTE

10026554-0001

FOND DU LAC WISCONSIN

PROFESSIONAL ENGINEER

SHEET DATES

ISSUE DATEJULY 28, 2017

REVISIONS

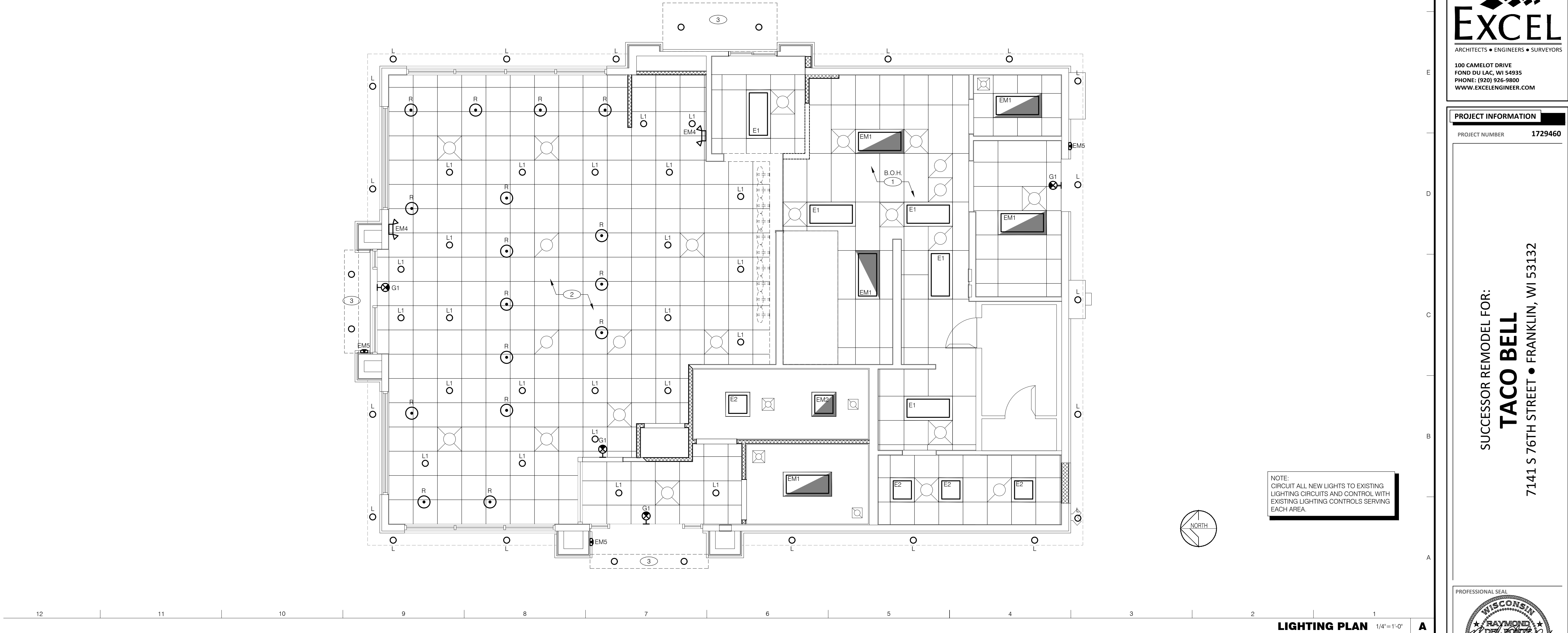
SHEET INFORMATION

LIGHTING & ELECTRICAL DETAILS

SHEET NUMBER

E3.1





	DOWNLIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	EXTERIOR WALL FIXTURE
	EXIT SIGN (WALL MOUNTED)
	EMERGENCY LIGHT
	L.E.D. FIXTURE
	L.E.D. FIXTURE WITH BATTERY PACK
	HVAC RETURN GRILLE
	HVAC SUPPLY DIFFUSER

ELECTRICAL LIGHTING LEGEND

E

- A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER.
- B. EMERGENCY AND NORMAL LIGHTING MARKED WITH "NL" SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UN-SWITCHED HOT TO NORMAL AND EMERGENCY BALLAST.
- C. EMERGENCY LIGHTING TO BE LEFT IN PLACE.
- D. SEE DEMOLITION PLAN FOR ITEMS TO BE REMOVED.
- E. CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE.
- F. ALL FIXTURES SUPPLIED WITH LAMPS.
- G. DOWNLIGHTS IN SOFFITS AND BLACK DROPPED CEILING SHALL HAVE BLACK TRIM RINGS.
- H. PENDANT LIGHTS SHALL BE CENTERED OVER TABLES. VERIFY TABLE LOCATIONS WITH SEATING VENDOR SUPPLIED CORE DRILL PLAN PRIOR TO LOCATING PENDANTS.
- I. PROVIDE DEMOLITION SUPPORT TO G.C. FOR ELECTRICAL ITEMS ENCOUNTERED.
- J. REMOVE AND RE-INSTALL ALL ELECTRICAL DEVICES AS NECESSARY FOR G.C. TO PERFORM WORK.
- K. EXISTING EGRESS LIGHTING DEVICES AND SIGNS IN PUBLIC AREAS TO BE LEFT IN PLACE (DINING, VESTIBULE, RESTROOMS, ETC.)
- L. REMOVE EXISTING LIGHT FIXTURES WHERE CEILINGS ARE TO BE REMOVED.
- M. VERIFY EXISTING SERVICE AND POWER REQUIREMENTS WITH NEW EQUIPMENT/FURNISHINGS AND PROVIDE AS REQUIRED.

NO.	QUANTITY	LOCATION	MANUFACTURER/CATALOG NUMBER	DESCRIPTION	LAMP		MOUNTING		VOLT	WATT	REMARKS
					#	TYPE	TYPE	HEIGHT			
E1	5	KITCHEN	ACCUSERV 2VTL4 48L ADP E2J LP850	2x4 LED	1	LED	RECESSED GRID	-	-	-	-
E2	4	RESTROOM/ KITCHEN	LITHONIA LIGHTING LIT2TL2-33L-FW-SWL-EZ1-LP830-NAEYB	1x4 LED	1	LED	CEILING	-	-	-	-
EM1	4	RESTROOM/ KITCHEN	ACCUSERV 2VTL4 48L ADP E2J LP850 ELI4L	2x4 LED	1	LED	RECESSED GRID	-	120	72	90 MINUTE BATTERY CAPACITY
EM2	1	RESTROOM	LITHONIA LIGHTING LIT2TL2-33L-FW-SWL-EZ1-EL14L-LP830-NAEYB	1x4 LED	1	LED	CEILING	-	-	-	90 MINUTE BATTERY CAPACITY
EM4	2	DINING	ACCUSERV CAX6	EMERGENCY LIGHT FROG EYE	2	-	WALL	VERIFY	120	18	UNSWITCHED HOT 90 MINUTE BATTERY CAPACITY
EM5	3	EXTERIOR	ACCUSERV CAMSDD8-CW	EMERGENCY EXTERIOR EGRESS FIXTURE	2	-	WALL	8'-0"	120	18	UNSWITCHED HOT 90 MINUTE BATTERY CAPACITY
G1	4	DINING/ B.O.H.	ACCUSERV EZXTU2RW	EXIT SIGN, LED UNIVERSAL MOUNT LED, NO HEADS	-	-	CEILING	-	120	4	90 MINUTE BATTERY CAPACITY
L	19	DINING	ACCUSERV CR6	DOWNLIGHT LED RECESSED	1	LED	CEILING	-	120	10.5	-
L1	24	DINING	ACCUSERV CR6	DOWNLIGHT LED RECESSED	1	LED	RECESSED DROP CEILING	-	120	10.5	-
R	16	DINING	HI LITE H-15114-96/C88-96/INC	DINING ROOM PENDANT	1	10W A19 LED	PENDANT	72" A.F.F.	120	60	CENTER LIGHTS OVER TABLES LAMP EQ WARM, WHITE (2700K) LED

LIGHTING FIXTURE SCHEDULE

C

- 1 NEW KITCHEN LIGHT FIXTURES - OWNER SUPPLIED. VERIFY QUANTITIES & LOCATIONS IN FIELD. VERIFY LOCATIONS WITH EXISTING CONDITIONS.
- 2 NEW DINING ROOM LIGHT FIXTURES - OWNER SUPPLIED. VERIFY QUANTITIES & LOCATIONS IN FIELD.
- 3 CAN LIGHTS SUPPLIED WITH CANOPY.

KEY NOTES

B

ARCHITECTS • ENGINEERS • SURVEYORS

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PHONE: (920) 926-9800  
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PROJECT INFORMATION

PROJECT NUMBER1729460

SUCCESSOR REMODEL FOR:

TACO BELL

7141 S 76TH STREET • FRANKLIN, WI 53132



SHEET DATES

ISSUE DATEJULY 28, 2017

REVISIONS

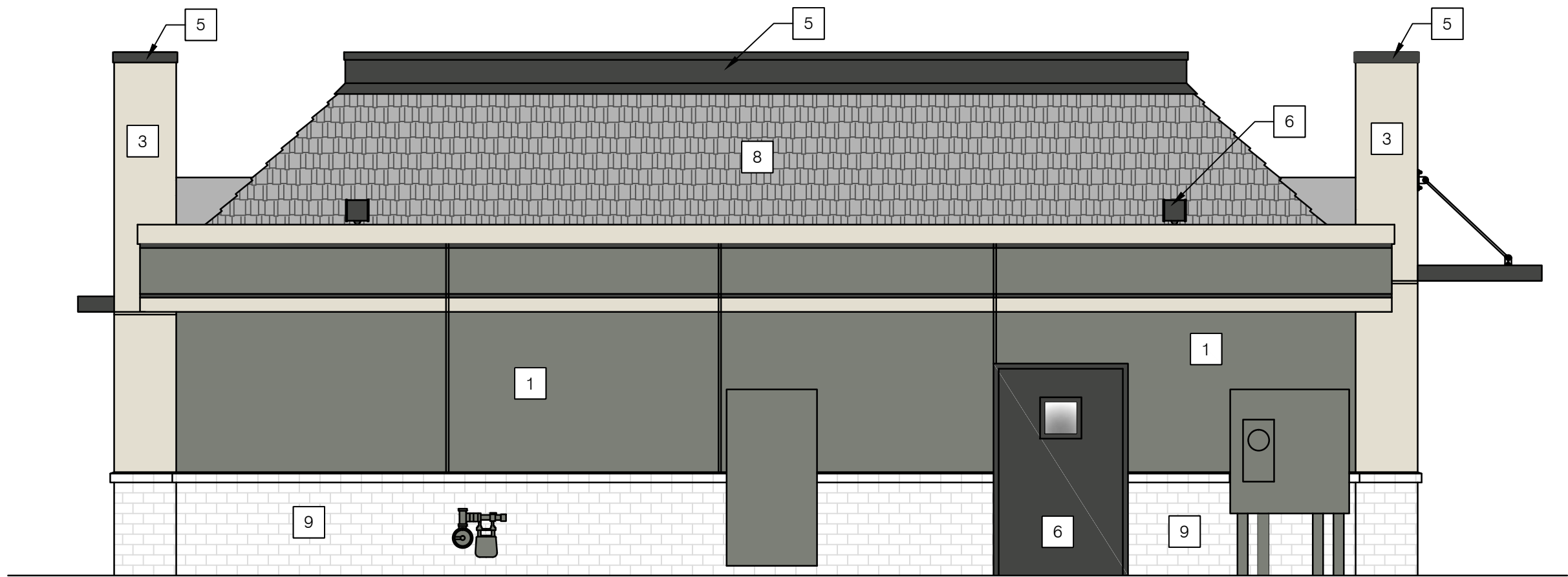
SHEET INFORMATION

LIGHTING PLAN & SCHEDULE

SHEET NUMBER

E4.0

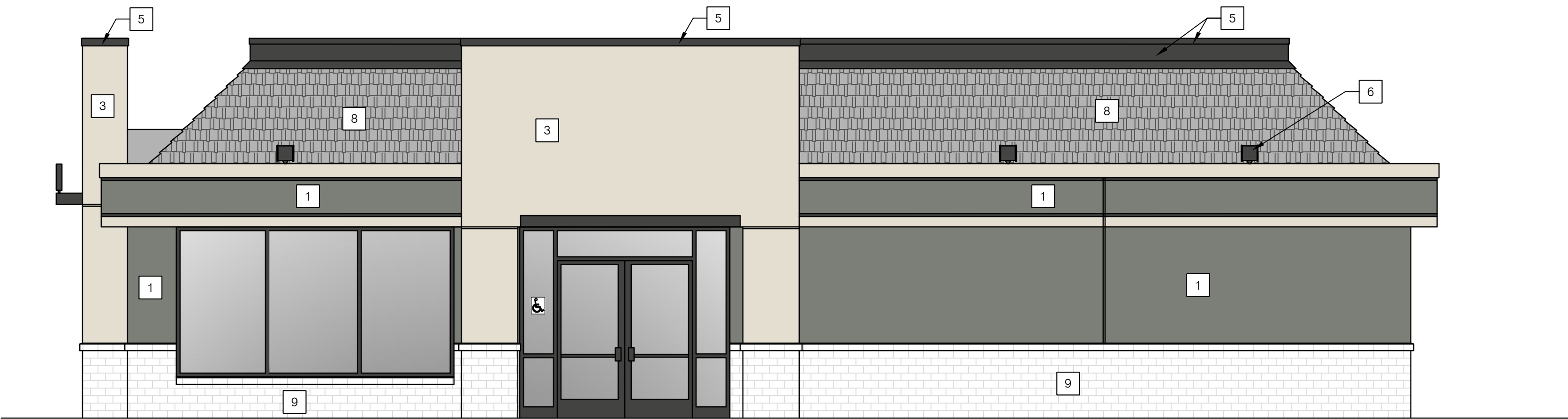




REAR ELEVATION 1/4" = 1'-0" D

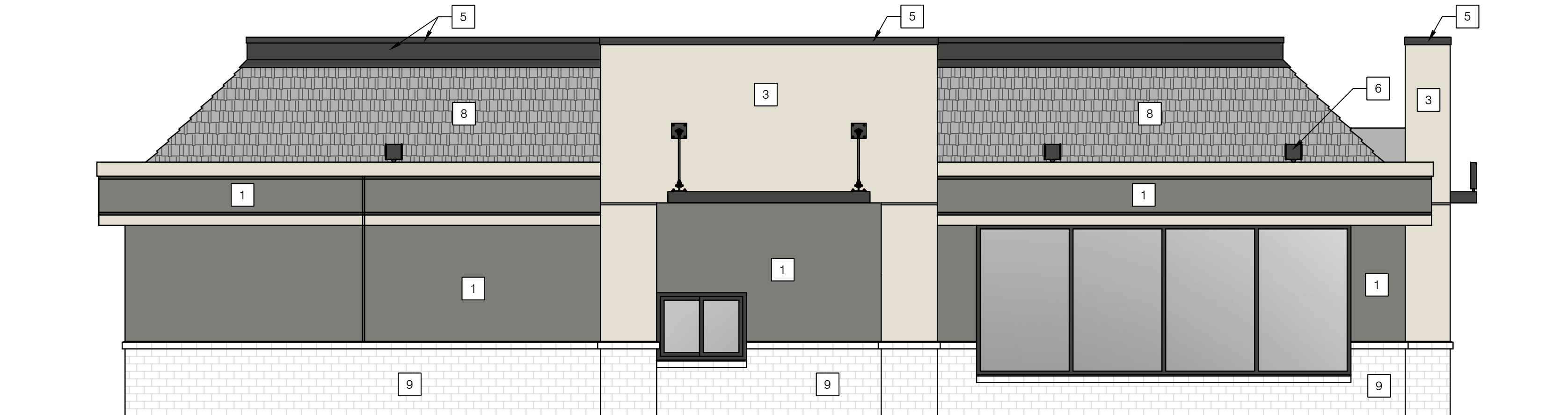


FRONT ELEVATION 1/4" = 1'-0" A



WALK UP SIDE ELEVATION 1/4" = 1'-0" B

SYMBOL	AREA	COLOR
1	MAIN WALL COLOR	ATTITUDE GRAY SW7060
2	ACCENT WALL COLOR	IRON ORE SW7069
3	ACCENT WALL COLOR	NATURAL CHOICE SW7011
4	ACCENT WALL COLOR	PURPLE TB2603C
5	CONTINUOUS PARAPET CAP	IRON ORE SW7069
6	ACCENT / KITCHEN DOOR / ROOF LIGHT	IRON ORE SW7069
7	PIPE BOLLARDS	DOT YELLOW
8	SLOPED ROOF	MAX DEF PEWTER MODEL : LANDMARK PRO
9	"NOVABRIK" WAINSCOT AND CAP	SMOOTH FACED - COLOR: MARBLE WHITE



DRIVE THRU SIDE ELEVATION 1/4" = 1'-0" C





## CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of September 7, 2017

**Preliminary Plat**


---

**RECOMMENDATION:** City Development Staff recommends approval of the Preliminary Plat Application for the development of 63 single-family residential lots, subject to the conditions as noted in the attached draft resolution.

---

<b>Project Name:</b>	Oakwood at Ryan Creek Preliminary Plat
<b>Project Location:</b>	0 S. 76 <sup>th</sup> Street (Taxkey: 934-9992-010)
<b>Property Owner:</b>	Schweitzer Family Partnership
<b>Applicant:</b>	Neumann Developments, Inc.
<b>Agent:</b>	Cory O'Donnell, Project Manager, Neumann Developments, Inc.
<b>Current Zoning:</b>	R-5 Suburban Single-Family Residence District
<b>2025 Comprehensive Plan:</b>	Residential and Areas of Natural Resource Features, except for Outlot 5, which is designated as Business Park
<b>Use of Surrounding Properties:</b>	Single-family residential to the north (primarily zoned R-8 Multiple-Family Residence District), agricultural land to the south and west and single-family residential and Milwaukee County parkland to the east
<b>Applicant's Action Requested:</b>	Approval of the Preliminary Plat for future single-family residential development

---

**INTRODUCTION:**

Please note:

- Staff recommendations are underlined, in italics and are included in the draft ordinance.
- Staff suggestions are only underlined and are not included in the draft resolution.

On July 31, 2017, the applicant submitted an application for a Preliminary Plat for a property located at the northwest corner of South 76<sup>th</sup> Street and West Oakwood Road. The preliminary plat proposes to subdivide the existing 43.63-acre parcel into 63 R-5 single-family residential lots and 5 outlots. The 5 outlots consist of protected natural resource features, storm water management facilities and a 97,054 square foot portion of property (Outlot 5) to be retained by the developer for future commercial development. Outlot 5 is located in the southeast corner of the property, adjacent to the intersection of S. 76<sup>th</sup> Street and W. Oakwood Road.

The City recently approved a Rezoning Application to rezone the subject property from R-2 Estate Single-Family Residence District to R-5 Suburban Single-Family Residence District, excluding Outlot 5 of the proposed plat, which remains zoned R-2. A Comprehensive Master



Plan Amendment Application was also approved to amend the Future Land Use Map use designation from Business Park to Residential, but again excluding Outlot 5, which retained its Business Park use designation.

### **PROJECT DESCRIPTION/ANALYSIS:**

The subject property is currently vacant and actively farmed, except for the northeastern portion, which encompasses a portion of Ryan Creek and its associated floodlands, wetlands, and shorelands. Single-family residential homes are located to the north, east, and south of the subject property, and agricultural lands are also located to the east, west, and south.

Public sewer and water service are currently not provided to this area, however, the applicant proposes to extend public water service from the north (most likely from 80<sup>th</sup> Street and Ryan Road), and proposes to connect to the Ryan Creek Interceptor Sewer which is located on the northwestern corner of the subject property south of Ryan Creek.

As noted, the proposed Oakwood at Ryan Creek subdivision development includes 63 single-family residential lots and 5 outlots. The plat also consists of several new public roadways (with one connection to S. 76<sup>th</sup> Street and one connection to W. Oakwood Road), and includes three cul-de-sacs and two through streets. All cul-de-sacs will be designed to include an island and a group mailbox per City design guidelines.

The lots range in size from 13,004 square feet to 24,211 square feet, all exceeding the R-5 District minimum lot size of 13,000 square feet. According to the applicant, the average lot size is 14,851 square feet. All lots abut and have sufficient width along a public right-of-way.

The project narrative states that a trail system and a tot lot or passive park will be provided as amenities for the subdivision development. The applicant more recently clarified that trails will not be included as sidewalks are provided on both sides of the streets throughout the development. Map 7.1 of the City's Comprehensive Outdoor Recreation Plan (CORP) includes a planned trail just north of the subject development. The planned trail extends from S. 76<sup>th</sup> Street westward to the existing trail along S. 116<sup>th</sup> Street. A trail extending through Outlot 1 is a reasonable location for this trail, particularly as the properties to the north are developed with existing single-family dwellings. As such, staff recommends that a trail be installed within Outlot 1 extending from South 76<sup>th</sup> Street or South Creekview Court to the west property line with connections to South Woodside Court and South Ryan Creek Court.

In regard to the tot lot or passive park, the applicant has not provided any details. Staff suggests that a tot lot be provided and, as part of the submittal for Final Plat, the applicant shall include details as to the location, equipment and any other amenities to be provided within the tot lot. Outlot 4 may be an appropriate location for this amenity.

### **Stormwater Management:**

Two stormwater ponds are proposed within Outlot 1, along the northern portion of the property. A third storm water area is located within Outlot 3. A preliminary stormwater management plan and calculations were submitted to the Engineering Department for review. The plan is currently



under review and will require final Engineering Department approval as part of the review of the Final Plat Application. Pursuant to the City of Franklin Unified Development Ordinance and Design Standards and Construction Specifications, associated easements will be required, for review by the City Engineer and approval by the Common Council, prior to recording of the Final Plat. In addition, a stormwater maintenance agreement will also be required.

Public Sewer and Water:

The Ryan Creek Interceptor Sewer is located adjacent to the property and a portion is located within the northwest corner of the site. The applicant anticipates extending sewer from the Ryan Creek Interceptor Sewer per discussions with the Engineering Department. Water service will be extended south from S. 80<sup>th</sup> Street to the north. This extension is in conjunction with the Park Circle condominium development to the north, also proposed by Neumann Developments, Inc. Detailed review of the sewer and water extensions by the Engineering Department will be required as part of the Final Plat Application review. Pursuant to the City of Franklin Design Standards and Construction Specifications, associated easements will be required, for review by the City Engineer and approval by the Common Council, prior to recording of the Final Plat.

It is important to note that pursuant to Sections 15-2.0303 and 15-8.0101 of the UDO, a Subdivision Development Agreement and associated letter of credit (to ensure the proper furnishing, construction, and installation of required improvements), must be prepared by the applicant for review by the City Engineer and the City Attorney and approval by the Common Council, prior to recording of the Final Plat.

Natural Resource Protection Plan:

A Natural Resource Protection Plan (NRPP) has been completed for the subject development by Dave Meyer of Wetland & Waterway Consulting, LLC and Ecological Services of Milwaukee, Inc., dated August 25, 2017. According to the NRPP, the site contains floodplain, wetlands and associated wetland buffers and setbacks, mature woodlands (primarily located within wetland areas), a stream (Ryan Creek) and the adjacent 75-foot shore buffer. Note that all wetlands onsite are shoreland wetlands.

The wetlands were delineated by Dave Meyer of Wetland and Waterway Consulting on April 22, 2017 and May 5, 2017. A full and complete wetland delineation report is on file with the Department of City Development. The cover letter of that report is attached. Dave Meyer is a Wisconsin Department of Natural Resources (WDNR) assured delineator; therefore, Department of City Development staff did not require separate review by a City consultant.

It is important to note that the applicant has identified two different floodplain delineations on the subdivision plat, although only one (the 2008 Federal Emergency Management Agency (FEMA) floodplain), was adopted by the City as its official floodplain mapping. In this regard, it can be noted that the 2008 FEMA floodplain mapping in this area only identifies an approximate floodplain/flood hazard area (based upon 1980's data), and does not identify a floodway boundary nor establishes a Base Flood Elevation. However, the 1997 Southeastern Wisconsin Regional Planning Commission (SEWRPC) floodplain mapping does identify both a floodway boundary and a Base Flood Elevation. SEWRPC staff has indicated that they are working on new floodplain mapping for Milwaukee County, and indications are that the size of the new floodplains will generally be larger than the sizes depicted by the FEMA mapping, and in this



particular instance, will likely be similar to the size of the floodplain depicted in the 1997 SEWRPC mapping. Therefore, the applicant has shown the larger 1997 SEWRPC floodplain on the subdivision plat for informational purposes, and has sized Outlot 1 to encompass this larger floodplain. As the 1997 SEWRPC floodplain mapping has not been adopted by the City, the applicant has not included that delineation in the Natural Resource Protection Plan. Staff notes that they concur with this approach.

Furthermore, as the Ryan Creek floodplain is zoned FW Floodway District, and as South Creekview Court is proposed to be located within that floodplain, any filling and development within that area must be in compliance with Sections 15-3.0319, 15-3.0604, and Part 13 of the Unified Development Ordinance. In particular, pursuant to Section 15-3.0604B., roadways are a special use within the Floodway District. In addition, it can be noted that it has been long-standing practice of the City to require compensatory flood storage for any filling of the 100-year floodplain, which is typically addressed during the natural resource mitigation process set forth in Section 15-4.0103 of the UDO.

In total, 8.26-acres of the site consist of protected natural resource features. Staff recommends that the applicant submit a written conservation easement document as part of the Final Plat Application for Common Council review and approval and recording with the Milwaukee County Register of Deeds at the time of recording the Final Plat. The applicant has indicated that 50-foot wetland setbacks will be included within the conservation easement, except for areas that will be graded for storm water ponds and the disturbance area for S. Creekview Court. Staff suggests that 50-foot wetland setbacks within storm water areas be included in the conservation easement with a note that allows continued access and maintenance as may be necessary for storm water management purposes.

It can be noted that a Shore Buffer is present on the subject site, associated with Ryan Creek. However, pursuant to Section 15-4.0102E. of the UDO, shore buffers are to be measured from the ordinary high water mark of all navigable waters. Therefore, staff recommends that the applicant shall obtain an Ordinary High Water Mark determination from the Wisconsin Department of Natural Resources, and that information be incorporated into the Natural Resource Protection Plan prior to recording the Final Plat.

#### Signage:

Signage is not being proposed at this time. Staff recommends that any proposed subdivision monument sign(s) be subject to review and approval by the Plan Commission and issuance of a Sign Permit from the Inspection Department.

## **PUBLIC STREETS, SIDEWALKS, AND TRAILS PRACTICABLE ALTERNATIVES ANALYSIS:**

The applicant is proposing wetland, wetland buffer, wetland setback and floodplain impacts for the construction of South Creekview Court. Specifically, the applicant is requesting approval to fill 1,413 square feet of wetland, 10,258 square feet of wetland buffer and setback and 30,833 square feet of floodplain. Note that the floodplain area includes the wetland, wetland buffer and wetland setback as these resources overlap.



The applicant has provided an exhibit illustrating these impacts as well as a completed Question and Answer form as recommended by staff. These impacts may be allowed by the Common Council per Ordinance No. 2016-2224, which states that all public streets, sidewalks and trails construction may not be subject to the natural resource features protection standards pending review and approval by the Common Council of a practicable alternatives analysis.

The applicant has noted that a mitigation plan will be submitted to compensate for these impacts. Details have not yet been provided; therefore, staff recommends that a mitigation plan be submitted for review and approval as part of the Final Plat Application.

### **COMPREHENSIVE MASTER PLAN CONSISTENCY**

- *Consistent with, as defined by Wisconsin State Statute, means “furthers or does not contradict the objectives, goals, and policies contained in the comprehensive plan.”*

The subject property is designated as Residential on the City’s 2025 Future Land Use Map (which was recently amended, along with the zoning, to reflect the proposed subdivision development). As such, this Future Land Use Map designation is consistent with the existing zoning and the applicant’s proposed single-family residential development.

### **STAFF RECOMMENDATION:**

City Development Staff recommends approval of the Preliminary Plat Application for the development of 63 single-family residential lots, subject to the conditions as noted in the attached draft resolution.



## RESOLUTION NO. 2017-\_\_\_\_\_

A RESOLUTION CONDITIONALLY APPROVING A PRELIMINARY  
PLAT FOR OAKWOOD AT RYAN CREEK SUBDIVISION  
(AT APPROXIMATELY 10100 SOUTH 76TH STREET)  
(NEUMANN DEVELOPMENTS, INC., APPLICANT)

---

WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a preliminary plat for Oakwood at Ryan Creek Subdivision, such plat being a part of the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 28, Township 5 North, Range 21 \_East, City Franklin, Milwaukee County, Wisconsin, more specifically, of the property located at approximately 10100 South 76th Street [The Preliminary Plat includes a 63 lot single-family residential subdivision (average lot size being approximately 14,800 square feet), which also includes a 97,054 square foot outlot to be reserved for potential future commercial uses (proposed subdivision plat is located at the northwest corner of South 76th Street and West Oakwood Road), bearing Tax Key No. 934-9992-010, Neumann Developments, Inc., applicant; said preliminary plat having been reviewed by the City Plan Commission and the Plan Commission having recommended approval thereof at its meeting on September 7, 2017, pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed preliminary plat is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Preliminary Plat of Oakwood at Ryan Creek Subdivision, as submitted by Neumann Developments, Inc., as described above, be and the same is hereby approved, subject to the following conditions:

1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and made by the applicant.
2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9. of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such Code and Ordinance provisions may be amended from time to time.
3. Schweitzer Family Partnership, successors and assigns and any developer of the



NEUMANN DEVELOPMENTS, INC. – PRELIMINARY PLAT  
RESOLUTION NO. 2017-\_\_\_\_\_

Page 2

Oakwood at Ryan Creek 63 lot single-family residential subdivision development shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Oakwood at Ryan Creek 63 lot single-family residential subdivision development, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

4. The approval granted hereunder is conditional upon Neumann Developments, Inc. and the Oakwood at Ryan Creek 63 lot single-family residential subdivision development project for the property located at approximately 10100 South 76th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
5. The Oakwood at Ryan Creek 63 lot single-family residential subdivision development project shall be developed in substantial compliance with the terms and provisions of this Resolution.
6. A written conservation easement document shall be submitted as part of the Final Plat Application for Common Council review and approval and recording with the Milwaukee County Register of Deeds at the time of recording the Final Plat.
7. An Ordinary High Water Mark determination shall be obtained from the Wisconsin Department of Natural Resources, and that information be incorporated into the Natural Resource Protection Plan prior to recording the Final Plat.
8. Any proposed subdivision monument sign(s) shall be subject to review and approval by the Plan Commission and issuance of a Sign Permit from the Inspection Department.
9. A mitigation plan shall be submitted for review and approval as part of the Final Plat Application
10. [other conditions, etc.]

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2017.



NEUMANN DEVELOPMENTS, INC. – PRELIMINARY PLAT  
RESOLUTION NO. 2017-\_\_\_\_\_

Page 3

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.

UNPLATTED LANDS  
OWNER: KENNETH & LOS SPENCER  
ADDRESS: 10225 S 76TH ST  
TAX KEY: 934 9992 001  
ZONING: P-1, FW  
USE: AGRICULTURAL

DESIGNED: ASZ

DRAWN: BR

#### Legal Description of the entire property:

Being a part of the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 28, Township 5 North, Range 21 East, City Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the southeast corner of the Southeast 1/4 of said Section 28, thence South 88°25'24" West along the south line of said Southeast 1/4, 600.00 feet; thence North 01°25'36" West, 80.00 feet to a point on the east line of Outlot 1 of Certified Survey Map No. 4110 and the point of beginning;

Thence continuing North 01°25'36" West along said east line, 223.35 feet to the northeast corner of said Outlot 1; thence South 88°34'23" West along the north line of said Outlot 1 and then along the north line of Certified Survey Map 4109, Certified Survey Map No. 2190 and Certified Survey Map No. 436, 711.57 feet to the west line of the East 1/2 of said Southeast 1/4; thence North 00°14'11" East along said west line, 1682.14 feet; thence North 00°14'11" East, 719.37 feet; thence South 45°24'34" East, 468.11 feet; thence North 89°45'49" East, 150.00 feet to the west right of way line South 76th County Trunk Highway "U"; thence South 00°14'11" East along said west right of way line, 343.47 feet; thence South 89°45'49" West, 182.00 feet; thence South 00°14'11" East, 180.00 feet to the north line of Certified Survey Map No. 4108; thence South 89°45'49" West along said north line, 60.00 feet to northwest corner of said Certified Survey Map No. 4108; thence South 00°14'11" East along the west line of said Certified Survey Map No. 4180, 180.00 feet to the southwest corner of said Certified Survey Map No. 4108; thence South 89°45'49" West, 60.00 feet; thence South 00°14'11" East, 121.03 feet to the northwest corner of Certified Survey Map No. 1911; thence South 00°14'11" East along the west line of said Certified Survey Map No. 1911, 339.34 feet to the southwest corner of said Certified Survey Map No. 1911; thence North 88°34'42" East, 121.03 feet to the northeast corner of said Certified Survey Map No. 1911, 182.00 feet to the aforesaid west right of way line; thence South 00°14'11" East, 60.74 feet; thence South 08°16'54" West, 101.50 feet to the north right of way line of Oakwood Road; thence South 88°25'24" West, 125.00 feet; thence South 77°15'47" West along said north right of way line, 206.66 feet; thence South 88°25'24" West along said north right of way line, 199.79 feet to the point of beginning. Containing 1,893.172 square feet (43.4612 acres) of land.

UNPLATTED LANDS  
OWNER: JOSEPH & TRACY HOLTERMAN  
ADDRESS: 8032 W OAKWOOD RD  
TAX KEY: 934 9988 001  
ZONING: A-2 (WITHIN 20')  
C-1, FW (BEYOND 20')  
USE: AGRICULTURAL



I, John P. Konopacki, Professional Land Surveyor, hereby certify that this survey map is correct to the best of my knowledge and belief with the information provided and complies with requirements of Chapter A.E.7 s. 35.93 of the Wisconsin State Statutes.

SIGNED: JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461

#### NOTES:

1. WETLAND FIELD DELINEATED BY DAVE MEYER OF WETLAND AND WATERWAY CONSULTING, LLC ON APRIL 22, 2017 AND MAY 5, 2017
2. NATURAL RESOURCE PROTECTION PLAN COMPLETED BY ECOLOGICAL SERVICES OF MILWAUKEE, INC ON MAY 24, 2017
3. PROPERTY IS TAX KEY NUMBER 9349920010
4. TOTAL SITE AREA = 1,893.172 SF (43.4612 AC)
5. PROPERTY IS CURRENTLY ZONED R-5 AND FW, EXCEPT FOR OUTLOT 5, WHICH IS ZONED R-2
- a. MIN LOT SIZE = 13,000 SF
- b. MIN LOT WIDTH = 90' @ SETBACK (105' CORNER LOT)
- c. MIN FRONT = 35'
- d. MIN SIDE = 10' (25' CORNER LOT)
- e. MIN REAR = 30'
- f. 75' SHORE BUFFER, 30' WETLAND BUFFER AND 50' WETLAND SETBACK
6. 2025 FUTURE LAND USE DESIGNATION IS RESIDENTIAL AND AREAS OF NATURAL RESOURCE FEATURES, EXCEPT FOR OUTLOT 5, WHICH IS DESIGNATED AS BUSINESS PARK
7. UTILITIES SHOWN PER VISIBLE INSPECTION AND MARKINGS AND PLANS FROM DIGGERS HOTLINE. (TICKET NUMBERS 2017202250, 2017202254, 2017202253, 2017202254, 2017202254 AND 2017202255)
8. VISION CORNER EASEMENT: NO VISUAL OBSTRUCTIONS, SUCH AS STRUCTURES, PARKING, OR VEGETATION, SHALL BE PERMITTED BETWEEN THE HEIGHTS OF 2.5 FEET AND 10 FEET ABOVE THE PLANE THROUGH THE MEAN CURB GRADES WITHIN THE VISION CORNER EASEMENT
9. USE STATEMENT: THERE ARE 63 PROPOSED SINGLE FAMILY RESIDENTIAL LOTS IN THIS SUBDIVISION. THE 63 LOTS ARE TO BE DEVELOPED AND USED AS SINGLE FAMILY RESIDENTIAL LOTS. EACH LOT WILL HAVE ONE DWELLING UNIT. THE DENSITY WILL BE 1.53 DWELLING UNITS/ACRE. OUTLOTS 1 THROUGH 4 WILL BE OWNED BY THE HOA AND WILL BE USED FOR OPEN SPACE AND/OR STORMWATER MANAGEMENT. OUTLOT 5 WILL BE USED FOR A COMMERCIAL DEVELOPMENT

#### SOILS:

BIA = BLOUNT SILT LOAM (C/D HYDRIC INCLUSIONS)  
Esa = ELLIOT SILT LOAM (C/D)  
LyB2 = LORENZINI SILT LOAM (C/D)  
MzB = MARKHAM SILT LOAM (C)  
MgA = MARTIN SILT LOAM (C)  
MzB = MONTGOMERY SILTY CLAY LOAM (C/D)  
MzB = OZAUKEE SILT LOAM (C)  
MzB2 = OZAUKEE SILT LOAM (C)  
SNB = SAYLESVILLE SILT LOAM (C)

UNPLATTED LANDS  
OWNER: SCHWEITZER TRUST DTD 01/30/2012  
ADDRESS: 9691 S 76TH ST  
TAX KEY: 934 9983 001  
ZONING: R-2, R-8, FW  
USE: RURAL RESIDENTIAL

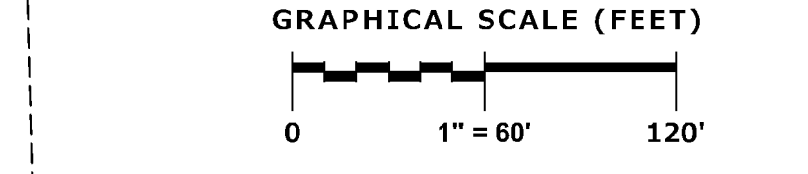
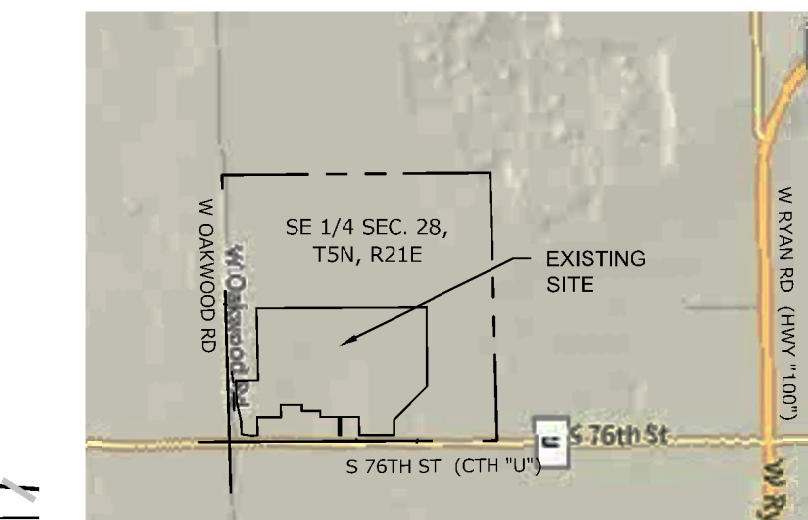
REFERENCE BENCHMARK: 688.56 (NGVD 29)  
TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 28, T5N, R21E

REFERENCE BEARING: THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 28, T5N, R21E, WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF NORTH 00°14'11" WEST PER THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

ENGINEER: PINNACLE ENGINEERING GROUP, LLC  
ATTN: ANTHONY ZANON  
15850 W. BLUEMOUND ROAD  
BROOKFIELD, WI 53005  
PH: (262) 754-8888

DEVELOPER: NEUMANN DEVELOPMENTS, INC  
ATTN: CORY O'DONNELL  
N27 W24025 PAUL COURT, SUITE 100  
MILWAUKEE, WI 53072  
PH: (262) 542-9200

OWNER: SCHWEITZER FAMILY PARTNERSHIP  
7912 W. OAKWOOD ROAD  
FRANKLIN, WI 53132



## OAKWOOD AT RYAN CREEK CITY OF FRANKLIN, MILWAUKEE CO.

### PRELIMINARY PLAT

REVISIONS		
1	CITY COMMENTS	08/23/17

PROJECT NO.	902.00-W-17
DATE	07-31-17
SCALE	1" = 60'

SHEET	C-1
PRELIMINARY PLAT	C-1

**PINNACLE ENGINEERING GROUP**  
ENGINEERING | NATURAL RESOURCES | SURVEYING  
CHICAGO | MILWAUKEE | NATIONWIDE

WISCONSIN OFFICE:  
15850 W. BLUEMOUND ROAD  
BROOKFIELD, WI 53005  
(262) 754-8888





# CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of September 7, 2017

### Land Combination Permit

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**RECOMMENDATION:** City Development Staff recommends approval of the proposed Land Combination for property located at 4205 West Carmel Drive and Outlot 21 of Plat of Outlots 1 thru 5 of Tumblecreek.

---

<b>Project Name:</b>	Lukaszewicz Land Combination
<b>Project Address:</b>	4205 West Carmel Drive
<b>Applicant:</b>	Valerie E. Lukaszewicz
<b>Owners (property):</b>	Valerie E. Lukaszewicz
<b>Current Zoning:</b>	Planned Development District No. 2
<b>Future Land Use Designation:</b>	Residential
<b>Use of Surrounding Properties:</b>	Residential
<b>Applicant Action Requested:</b>	Approval of the proposed Land Combination for property located at 4205 West Carmel Drive and Outlot 21 of Plat of Outlots 1 thru 5 of Tumblecreek.

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### PROJECT DESCRIPTION AND ANALYSIS:

On August 11, 2017, Valerie Lukaszewicz filed a Land Combination Permit Application with the Department of City Development, requesting approval to combine the property located at 4205 West Carmel Drive and Outlot 21 of Plat of Outlots 1 thru 5 of Tumblecreek.

The property located at 4205 West Carmel Drive contains a single-family home and is approximately 0.20-acres or 8,487 square feet. The resultant property will have an area of approximately 0.29 acres or 12,632 square feet.

Outlot No. 21 is approximately 0.09-acres in size and has a portion of an existing fence on it. Outlot No. 21 was originally part of Outlot 5 of the Tumblecreek Subdivision Plat, which was intended for a pedestrian easement that never came to fruition. In 1988, a Plat of Outlots 1 thru 5 of Tumblecreek was created which divided Outlot 5 into smaller outlots that were deeded to adjacent property owners. Since then, residents of the Hidden Lakes neighborhood have been combining their lots with their adjacent outlots to form larger lots through the Land Combination process.

Land Combination Permit approval is needed in this instance because the applicant would like to replace an existing fence that is partially on Outlot 21. According to Section 15-3.0801 of the Unified Development Ordinance (UDO) accessory structures are prohibited on properties without a principal structure. The proposed land combination would allow Mrs. Lukaszewicz to utilize the two properties as though they were one (1) parcel of land without regard to lot lines dividing



the parcels. Furthermore, the land combination would allow Mrs. Lukaszewicz to place her new fence where she desires, subject to location outside the adjacent drainage easement which is shown on the Plat of Outlots.

Since both parcels are lots of record that existed prior to August 1, 1998, a Natural Resource Protection Plan is not required. The 0.29-acre property resulting from the land combination will meet the development standards of Planned Development District No. 2.

**STAFF RECOMMENDATION:**

City Development staff recommends approval of the proposed Land Combination for property located at 4205 West Carmel Drive and Outlot 21 of Plat of Outlots 1 thru 5 of Tumblecreek..



STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

*[Draft 8-29-17]*

RESOLUTION NO. 2017-\_\_\_\_\_

A RESOLUTION CONDITIONALLY  
APPROVING A LAND COMBINATION FOR  
TAX KEY NOS. 739-0025-000 AND 739-0111-000  
(4205 WEST CARMEL DRIVE AND OUTLOT 21 OF PLAT OF  
OUTLOTS 1 THROUGH 5 OF TUMBLECREEK)  
(VALERIE E. LUKASZEWICZ, APPLICANT)

---

WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a proposed land combination for Valerie E. Lukaszewicz to accommodate construction of a fence on a portion of Outlot 21 of Plat of Outlots 1 through 5 of Tumblecreek, adjoining the Lukaszewicz residential property at 4205 West Carmel Drive; bearing Tax Key Nos. 739-0025-000 and 739-0111-000, more particularly described as follows:

Property Description for 4205 West Carmel Drive:

Lot 25 in Tumblecreek, being a subdivision of part of the S. W. 1/4 of the S. W. 1/4 of Section 1, Town 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

Property Description for Outlot 21:

Outlot 21 of Plat of Outlots 1 thru 5 of Tumblecreek, being a subdivision of part of the S. W. 1/4 of the S. W. 1/4 of Section 1, Town 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

WHEREAS, the Plan Commission having reviewed such application and recommended approval thereof and the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed land combination is appropriate for approval pursuant to law upon certain conditions, all pursuant to §15-9.0312 of the Unified Development Ordinance, Land Combination Permits.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the proposed land combination for Valerie E. Lukaszewicz, as submitted by Valerie E. Lukaszewicz, as described above, be and the same is hereby approved, subject to the following conditions:

1. Valerie E. Lukaszewicz, successors and assigns shall pay to the City of Franklin the



VALERIE E. LUKASZEWICZ – LAND COMBINATION  
RESOLUTION NO. 2017-\_\_\_\_\_

Page 2

amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Valerie E. Lukaszewicz land combination project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

2. The approval granted hereunder is conditional upon Valerie E. Lukaszewicz and the land combination project for the property located at 4205 West Carmel Drive and Outlot 21 of Plat of Outlots 1 through 5 of Tumblecreek: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

3. [other conditions, etc.]

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Mayor

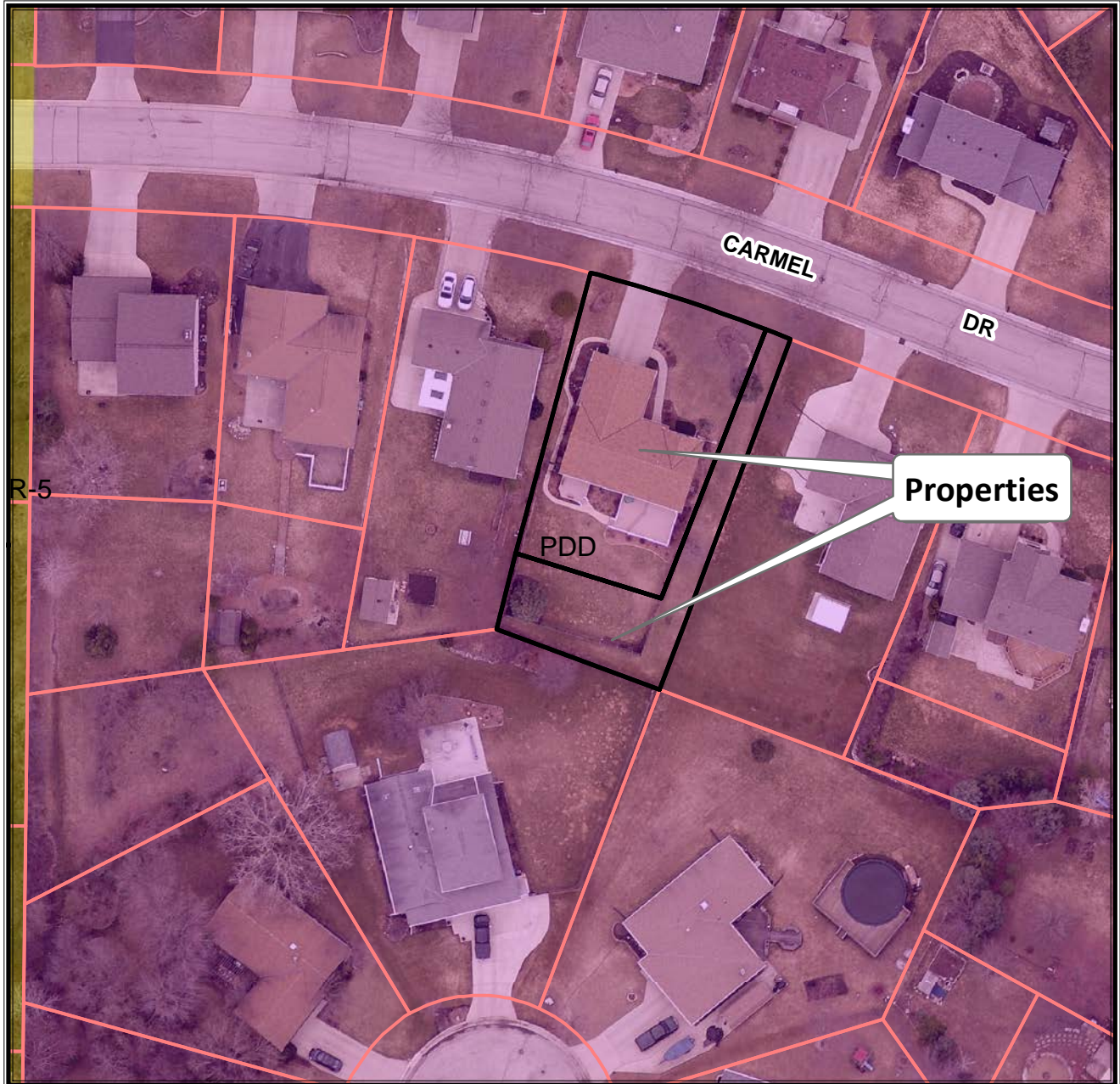
ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



4205 W. Carmel Drive and Outlot 21  
TKNs 739 0025 000 and 739 0111 000



**Planning Department**  
**(414) 425-4024**

0 40 80 160 Feet

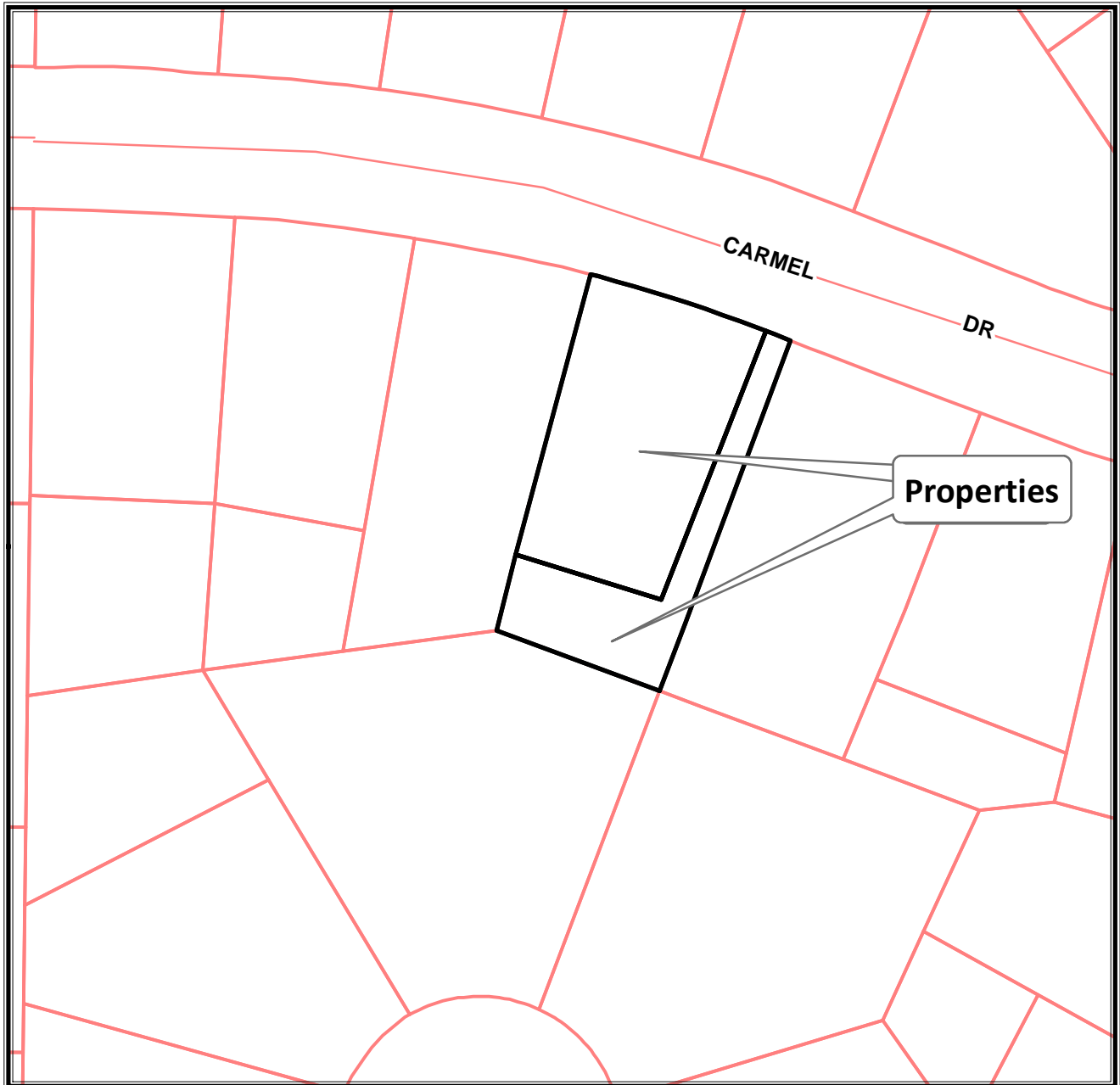
*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

  
**NORTH**  
2017 Aerial Photo





4205 W. Carmel Drive and Outlot 21  
TKNs 739 0025 000 and 739 0111 000



Planning Department  
(414) 425-4024

0 40 80 160 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





**From:** valerie lukaszewicz  
**To:** General Planning  
**Subject:** Land Combination Application  
**Date:** Wednesday, August 09, 2017 4:49:38 PM

---

I would like to combine the following properties that I own:

**4205 W. Carmel Drive, Parcel Number 739-0025-000**

Lot 25 in Tumblecreek, being a subdivision of part of the S. W. 1/4 of the S. W. 1/4 of Section 1, Town 5 North, Range 21 East,  
City of Franklin, Milwaukee County, Wisconsin.

AND

**Outlot 21 of Plat of Outlots 1 thru 5, Parcel Number 739-0111-000**

Outlot 21 of Plat of Outlots 1 thru 5 of Tumblecreek, being a subdivision of part of the S. W. 1/4 of the S. W. 1/4 of Section 1, Town 5 North,  
Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

I want to replace a fence that is over 21 years old. My new fence, which is exactly where the old fence was, but the back of the fence happens to be on the outlot portion of my property. So I have to combine my two lots into one. My fence company is Metropolitan Fence (262-547-6001).

Valerie Lukaszewicz  
414-421-2406  
lukaszewicz26@yahoo.com

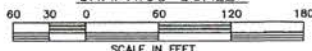


DECEMBER 28, 1987  
REVISED THIS 3<sup>RD</sup> DAY OF FEBRUARY, 1988

LEGEND

- 1) INDICATES 2" IRON PIPE, WT. 3.65 LBS. PER LINEAL FT., 30' LENGTH
- 2) ALL OTHER OUTLET CORNERS HAVE 1" IRON PIPE, INDICATES EXISTING
- 3) PIPE DIMENSIONS, WT. 1.13 LBS. PER LINEAL FT., 24" LENGTH
- 4) ALL DIMENSIONS MEASURED AND SHOWN TO NEAREST HUNDREDTH OF A FT.
- 5) ALL BEARINGS REFER TO GRID NORTH OF THE WISCONSIN STATE PLANE
- 6) COORDINATE SYSTEM, SOUTH ZONE
- 7) OUTLETS #1, 42, 43, 44, AND 47 RESTRICTED TO NO DIRECT VEHICULAR
- 8) ACCESS TO HIGHWAY AREA
- 9) OUTLET 26 RESTRICTED FOR PEDESTRIAN USE INGRESS-EGRESS TO VULGAR
- 10) RECREATION AREA
- 11) OUTLET 47 RESTRICTED FOR SPECIAL USE
- 12) G.L. INDICATES OUTLET
- 13) T.B. INDICATES TANGENT BEARING
- 14) SEE SHEET 2 FOR CURVE AND AREA DATA

GRAPHICS SCALE



SCALE: 1" = 60'

LOCATION SKETCH

