



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of September 7, 2017

Special Use Amendment

RECOMMENDATION: Department of City Development staff recommends approval of the Special Use Amendment, subject to the conditions in the draft resolution.

Project Name:	Taco Bell Remodel Special Use Amendment
Project Address:	7141 S. 76 th Street
Applicant:	Jonathan Brinkley, Excel Engineering, Inc.
Property Owner:	Sundance Inc.
Current Zoning:	PDD No. 16, Franklin Centre (formerly Franklin Plaza/Pick n Save)
2025 Comprehensive Plan	Commercial
Use of Surrounding Properties:	Commercial to the north, south, east, and west
Applicant Action Requested:	Approval of the Special Use Amendment Application for the proposed building remodel

Introduction

Please note:

- Staff recommendations are underlined, in italics and are included in the draft ordinance.
- Staff suggestions are *in italics* and are not included in the draft ordinance.

On August 2, 2017, the applicant submitted a Special Use Amendment requesting approval to remodel the existing building, and undertake certain site work, for the Taco Bell restaurant located at 7141 S. 76th Street.

Pursuant to the standards set forth in Ordinance No. 92-1229 (establishing Planned Development District No. 16), a Special Use approval was granted in 1993 for the Taco Bell restaurant (Resolution No. 93-4082). The Special Use approval established conditions and restrictions for the drive-thru restaurant use including certain landscaping requirements and specific hours of operation.

Project Description/Analysis

The applicant is proposing building façade changes including: reconfiguration of the store entrance and tower features; replacement of the Spanish style roof tiles with asphalt shingles; replacement of windows; installation of a brick wainscot around the perimeter of the building; and painting of the exterior walls.

The applicant is also proposing site changes including: replacement of the parking lot and exterior building lighting; replacement of signage and menu boards; removal of the directional signage; replacement of bollards; and possible minor repairs of the parking lot, sidewalks, curbs, etc.

The applicant has supplied responses to the Special Use Standards and Regulations as required by the Unified Development Ordinance (UDO), and those responses are included in the packet materials.

Site Plan:

The subject property is identified as Outlot #3 within Planned Development District (PDD) No. 16 and is approximately one acre in size. Pursuant to the Site & Landscape Plan associated with PDD No. 16, the subject property fronts upon but does not have direct access to S. 76th Street (the parcel has access to the shopping center's ingress & egress easement to S. 76th Street to the north and to the shopping center's parking lot to the west). Site improvements currently include the existing 2,285 square foot building, associated parking lot and drive-thru lane, and a landscaped berm along the frontage with S. 76th Street.

As noted previously, the applicant is proposing to remodel the existing building and to undertake certain site changes including replacement of the parking lot and exterior building lighting, replacement of signage, possible minor repairs to the existing parking lot, sidewalks, curbs, etc.

Parking:

As originally identified in the 1993 Special Use approval, 40 parking spaces, including two ADA accessible spaces, are provided. No changes are envisioned by the applicant at this time. Therefore, the parking standards for this development continue to be met.

Landscaping:

The applicant has not submitted a Landscape Plan nor has proposed any new or revised landscaping. However, it should be noted that throughout the site a number of trees and shrubs are dead/dying and others have apparently been removed and not replaced.

In this regard, PDD No. 16 required a landscaped berm along S. 76th Street, and the 1993 Special Use approval required a Detailed Landscape and Berm Plan and stated "The berm along 76th Street shall be densely planted, with a combination of arborvitae, coniferous trees and shrubbery." and also stated "Applicant shall maintain the property, landscaping and any fencing according to the original plans at all times."

Therefore, staff recommends that the applicant shall prepare a Landscape Plan re-establishing the previously approved landscaping for Department of City Development review and approval prior to issuance of a Building Permit, and that any needed landscaping shall be installed within 60 days of the issuance of a Building Permit.

Hours of Operation:

The 1993 Special Use approval established the hours of operation for the Taco Bell restaurant as: Monday through Thursday 9:00am to 1:00am; Friday and Saturday 9:00am to 1:30am; and Sunday 9:00am to midnight.

However, the restaurant currently opens earlier at 7:00am every morning and closes later at 2:00am Thursday through Saturday. While staff has no concerns with the earlier opening, *staff suggests that the current hours of closing be revised to match those as originally set forth in Resolution 93-4082.*

Signage:

The applicant is proposing to replace the existing signage and menu boards. Pursuant to Ordinance No. 92-1229, *staff recommends that the applicant shall obtain review and approval by the Architectural Review Board for all new and revised signage, and obtain a Sign Permit from the Building Inspection Department for such signage, prior to its installation.*

Lighting:

The applicant has not submitted a Lighting Plan but is proposing to replace the existing parking lot and building lighting. Therefore, pursuant to Ordinance No. 92-1229 (Section .02, 10.G.6.), Resolution 93-4082 (condition 3.c.) and Section 15-7.0103W. of the UDO, *staff recommends that the applicant shall submit a Lighting Plan for Department of City Development review and approval prior to issuance of a Building Permit.*

Fire Protection:

As the interior remodel may result in alterations to the sprinkler and/or fire alarm systems, the Fire Department provided a number of comments to the applicant in that regard, and noted that Fire Department review and approval is required before any such changes or revisions can be undertaken.

Erosion Control:

As site changes are proposed, the Engineering Department commented that appropriate erosion control will be required, most importantly in this regard, protection of the storm inlets from any debris and sediment during construction.

Staff Recommendation

Department of City Development staff recommends approval of the Special Use Amendment, subject to the conditions in the draft resolution.

RESOLUTION NO. 2017-_____

A RESOLUTION TO AMEND RESOLUTION NO. 93-4082, IMPOSING CONDITIONS
AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR PROPERTY
LOCATED AT 7141 SOUTH 76TH STREET TO ALLOW FOR REMODELING OF THE
EXISTING TACO BELL #30410 RESTAURANT BUILDING AND SITE WORK
(SUNDANCE, INC., BUSINESS OWNER OF
TACO BELL #30410 RESTAURANT, APPLICANT)

WHEREAS, Sundance, Inc., business owner of Taco Bell #30410 restaurant, having petitioned the City of Franklin for the approval of an amendment to Resolution No. 93-4082, conditionally approving a Special Use, such prior Resolution authorizing a fast food and drive-thru restaurant upon property located at 7141 South 76th Street, such property being zoned Planned Development District No. 16 (Franklin Centre, *formerly* Franklin Plaza/PicknSave), more particularly described as follows:

PARCEL A: Lot 3, in Franklin Plaza Subdivision, being a redivision of part of Lot 1, in Block 3, in Rawson Homesites, that portion of Rawson Homesites, and the abutting streets, vacated by Circuit Court Action Case No. 397644, Amended Document recorded February 21, 1973, on Reel 705, Image 1011, as Document No. 4741471 and by the City of Franklin Resolution No. 92-3889 recorded January 27, 1993, on Reel 2957, Image 226, as Document No. 6722050, part of the Whitnall Park Terrace Condominium, Lot 2, Lot 3, Outlot 3 and Outlot 4 in Whitnall Park Terrace Replat and lands all being a part of the Northeast 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 9, in Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

PARCEL B: (not surveyed) Easement for the benefit of Parcel A created by Declaration of Restrictions and Reciprocal Easement Agreement dated April 14, 1993 and recorded on April 16, 1993, on Reel 3014, Image 175, as Document No. 6753870, as amended by First Amendment to Declaration of Restrictions and Reciprocal Easement Agreement dated April 14, 1993, and recorded November 12, 1993, on Reel 3161, Image 455, as Document No. 6855991 for ingress and egress as provided for therein and as shown on the recorded plat.

PARCEL C: (not surveyed) Easement for the benefit of Parcel A created by Declaration of Restrictions and Reciprocal Easement Agreement dated April 12, 1993, and recorded April 16, 1993, on Reel 3014, Image 1764, as Document No. 6753871 for the installation and maintenance of drainage and public utilities as provided for therein and as shown on the recorded plat.

SUNDANCE, INC., BUSINESS OWNER OF TACO BELL #30410 RESTAURANT –
AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2017-_____

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Tax Key No.: 755-0194-000; and

WHEREAS, such proposed amendment being for the purpose of remodeling the existing Taco Bell #30410 restaurant, as follows: numerous façade changes, including reconfiguration of the store entrance; replacement of the roof; replacement of the windows; installation of a brick wainscot around the perimeter of the building, etc.; replacement of signage and menu boards; site work, including replacement of lights and possible parking lot repairs; and interior remodeling; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of September, 2017, and the Plan Commission thereafter having determined to recommend that the proposed amendment to Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed amendment to Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendations and also having found that the proposed amendment to Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Sundance, Inc., business owner of Taco Bell #30410 restaurant, for the approval of an amendment to Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this amendment to Special Use is approved only for the use of the subject property by Sundance, Inc., business owner of Taco Bell #30410 restaurant, successors and assigns, for the Sundance, Inc. Taco Bell #30410 restaurant building remodel and site work project, which shall be developed in substantial compliance with and constructed, operated and maintained by Sundance, Inc., business owner of Taco Bell #30410 Restaurant, pursuant to those plans City file-stamped

SUNDANCE, INC., BUSINESS OWNER OF TACO BELL #30410 RESTAURANT –
AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2017-_____

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_____, 2017 and annexed hereto and incorporated herein as Exhibit A.

2. Sundance, Inc., business owner of Taco Bell #30410 restaurant, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for the Sundance, Inc. Taco Bell #30410 restaurant building remodel and site work project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Sundance, Inc., business owner of Taco Bell #30410 restaurant and the Sundance, Inc. Taco Bell #30410 restaurant building remodel and site work project for the property located at 7141 South 76th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. The applicant shall prepare a Landscape Plan re-establishing the previously approved landscaping for Department of City Development review and approval prior to the issuance of a Building Permit, and any needed landscaping shall be installed within 60 days of the issuance of a Building Permit.
5. The applicant shall obtain review and approval by the Architectural Review Board of all new and revised signage, and obtain a Sign Permit from the Building Inspection Department for such signage, prior to its installation.
6. The applicant shall submit a Lighting Plan for Department of City Development review and approval prior to the issuance of a Building Permit.

7. [other conditions, etc.]

BE IT FURTHER RESOLVED, that in the event Sundance, Inc., business owner of Taco Bell #30410 restaurant, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this amendment to Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the additional Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or

SUNDANCE, INC., BUSINESS OWNER OF TACO BELL #30410 RESTAURANT –
AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2017-_____

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restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be an amendment to such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance, and that all of the terms and conditions of Resolution No. 93-4082, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of completion of the Taco Bell #30410 restaurant building remodel and site work.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2017.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2017.

APPROVED:

ATTEST:

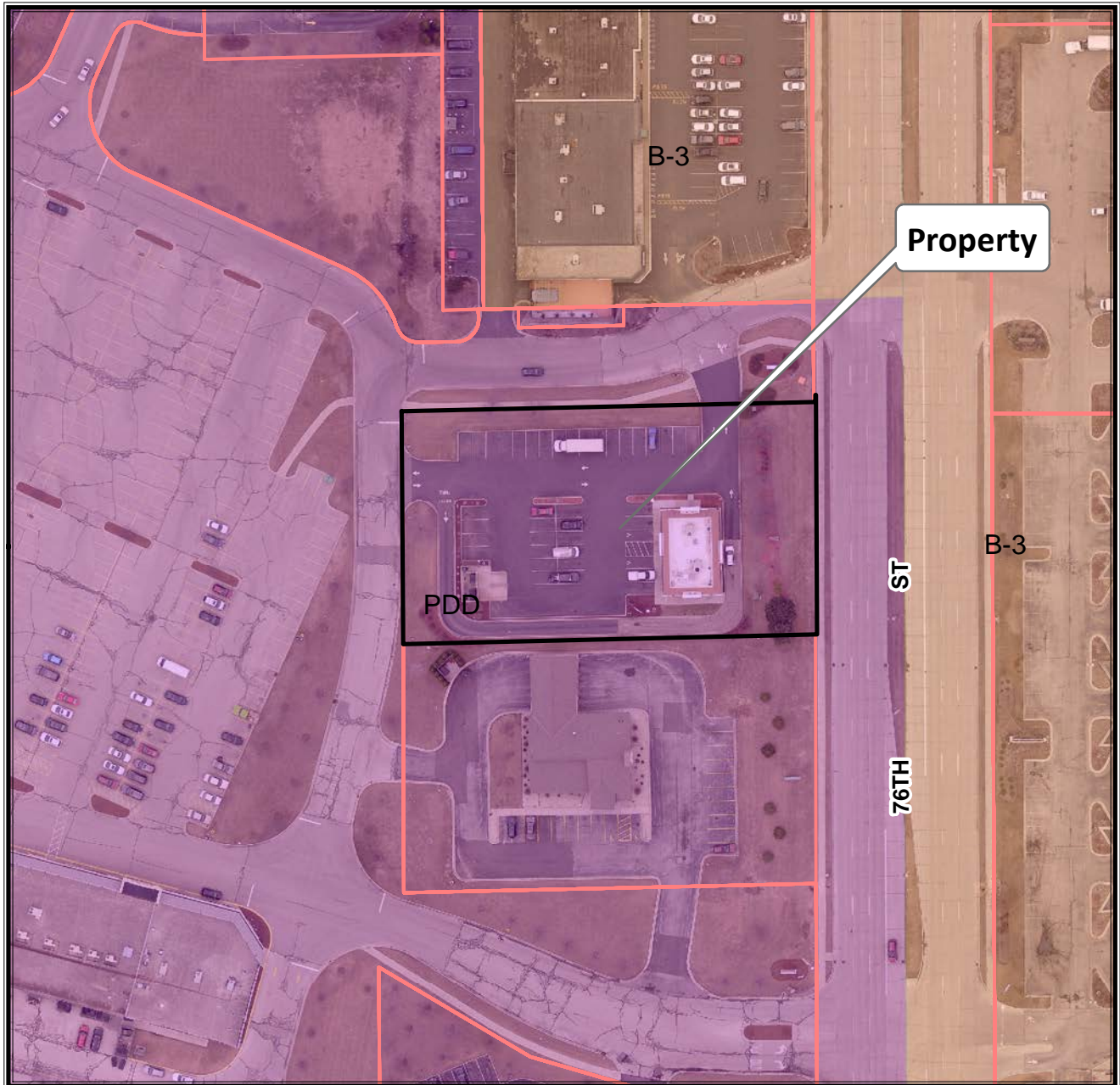
Stephen R. Olson, Mayor

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



7141 S. 76th Street
TKN: 755 0194 000



Planning Department
(414) 425-4024

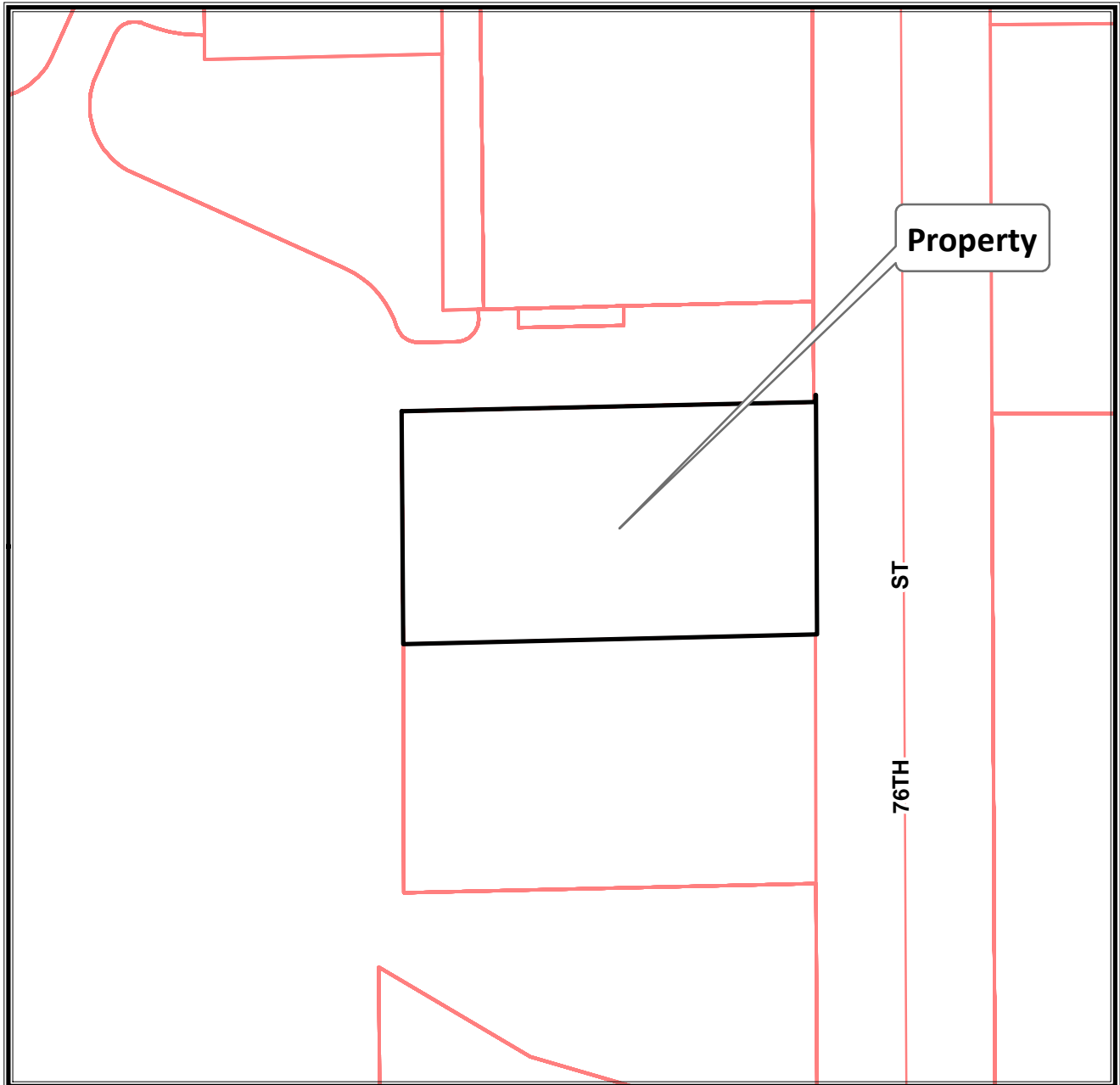
0 65 130 260 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





7141 S. 76th Street
TKN: 755 0194 000



Planning Department
(414) 425-4024

0 65 130 260 Feet

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August 28, 2017

Successor Remodel For:
Taco Bell
7141 S. 76th Street
Franklin, WI 53132

Project #1729460



City of Franklin Unified Development Ordinance Section 15-3.0701 General Standards, Special Standards and Considerations

As required as part of Special Use Amendment submittals, the following is the response to the General Standards, Special Standards and Considerations of the City of Franklin Unified Development Ordinance:

- Ordinance and Comprehensive Master Plan Purposes and Intent
The proposed remodeling of the Taco Bell restaurant will continue to conform to the City of Franklin ordinances for the zoning district it is located. The intent of the remodeling project is to create a fresher and updated appearance but remain in harmony with the surrounding developments.
- No Undue Adverse Impact
The proposed remodeling will continue to contribute positively to the character of the surrounding area. The intent of the project is to maintain the public health, safety and general welfare levels established in the district as well as improve property values due to the nature of the building improvements.
- No Interference with Surrounding Development
The existing footprint and site arrangement will be maintained. The operation of the facility will remain unchanged. The intent of the project is to continue to be compatible with the uses of the neighboring properties.
- Adequate Public Facilities
The project will continue to be served by the same public facilities and services currently serving the facility.
- No Traffic Congestion
As mentioned above, the project does not involve any changes to the site arrangement and circulation. Existing ingress and egress will be maintained with no increases in traffic congestion anticipated.

August 28, 2017

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Taco Bell
7141 S. 76th Street
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City of Franklin Unified Development Ordinance Section 15-3.0701 General Standards, Special Standards and Considerations

As required as part of Special Use Amendment submittals, the following is the response to the General Standards, Special Standards and Considerations of the City of Franklin Unified Development Ordinance:

- Ordinance and Comprehensive Master Plan Purposes and Intent
The proposed remodeling of the Taco Bell restaurant will continue to conform to the City of Franklin ordinances for the zoning district it is located. The intent of the remodeling project is to create a fresher and updated appearance but remain in harmony with the surrounding developments.
- No Undue Adverse Impact
The proposed remodeling will continue to contribute positively to the character of the surrounding area. The intent of the project is to maintain the public health, safety and general welfare levels established in the district as well as improve property values due to the nature of the building improvements.
- No Interference with Surrounding Development
The existing footprint and site arrangement will be maintained. The operation of the facility will remain unchanged. The intent of the project is to continue to be compatible with the uses of the neighboring properties.
- Adequate Public Facilities
The project will continue to be served by the same public facilities and services currently serving the facility.
- No Traffic Congestion
As mentioned above, the project does not involve any changes to the site arrangement and circulation. Existing ingress and egress will be maintained with no increases in traffic congestion anticipated.

- No Destruction of Significant Features

The scope of the project is limited to exterior modifications of the existing building facades and modest site improvements such as replacement of parking lot lighting and drive thru menu board. The condition of the asphalt and concrete paving will also be evaluated. The project does not impact any natural, scenic or historic features.

- Compliance with Standards

It is understood that the proposed project is to conform to the applicable regulations of the district and shall be modified in order to comply with any additional standards required by the Common Council as recommended by the Plan Commission.

- Special Standards for Specified Special Uses

Our review of Section 15-3.0702 and 15-3.0703 did not find any Special Standards that apply to the proposed project.

- Considerations

1. **Public Benefit:** At its current location, the Taco Bell restaurant provides convenient access to a popular fast food choice for shoppers and surrounding store employees and contributes to the vitality of the surrounding development.
2. **Alternative Locations:** Maintaining the store in its current location maintains Taco Bell's presence in a popular and visible location. Remodeling of the existing store will provide an updated look and feel for the current customer base as well as create the potential for attracting new customers to the surrounding development.
3. **Mitigation of Adverse Impacts:** The store has been in operation at its current location for over 20 years. The facility is well maintained and proven to be an appropriate use within the surrounding development. Parking is located behind the building resulting in a view of desirable greenspace as one approaches from 76th Street. The landscaping has matured which softens and screens the view into the site. The stores's footprint and height will remain at a complementary scale to the surrounding buildings.
4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area:** As evidenced by the nature of the surrounding businesses, Taco Bell has established itself as a compatible use within the development. The stores and other food establishments provide a variety of similar services for shoppers coming to the area.

- Hours of Operation

The hours of operation in accordance with Resolution No. 93-4082, Condition #16 are as follows:

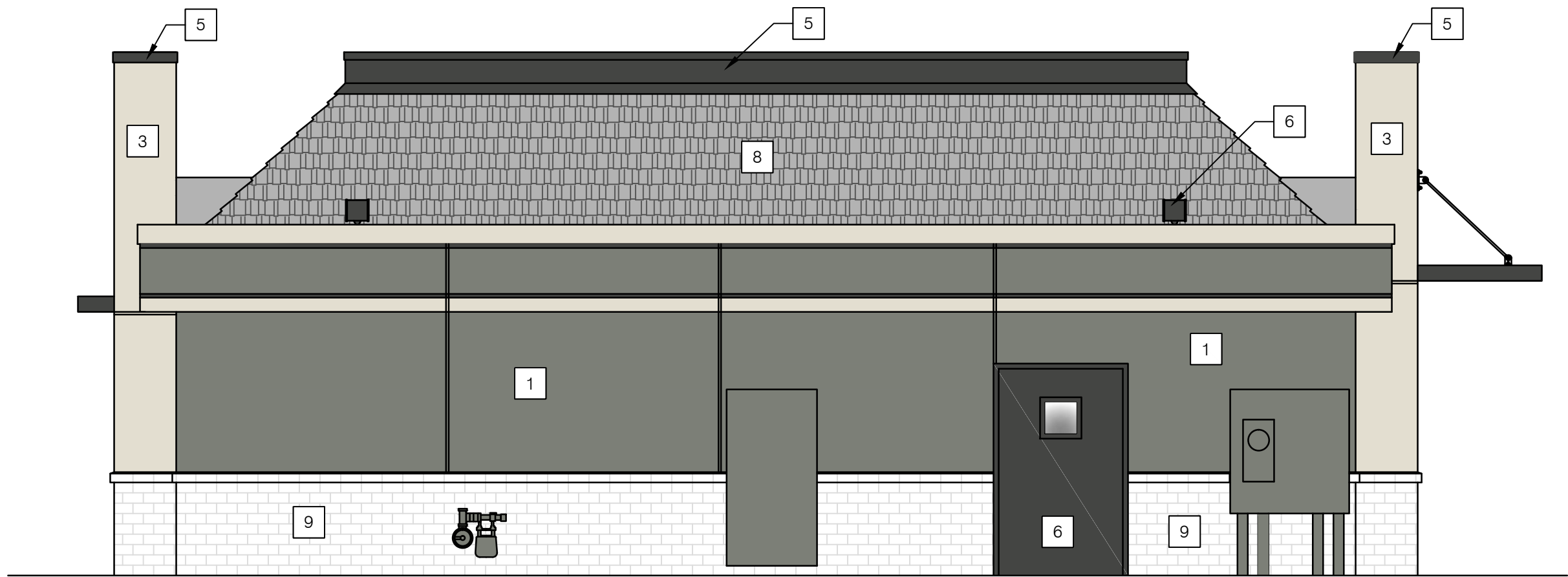
Monday	9AM – 1AM
Tuesday	9AM – 1 AM
Wednesday	9AM – 1AM
Thursday	9AM – 1AM
Friday	9AM – 1:30AM
Saturday	9AM – 1:30AM

Sunday 9AM – 12AM

The current hours of operation as posted on the store's website are as follows:

Monday	7AM – 1AM
Tuesday	7AM – 1AM
Wednesday	7AM – 1AM
Thursday	7AM – 2AM
Friday	7AM – 2AM
Saturday	7AM – 2AM
Sunday	7AM – 12AM

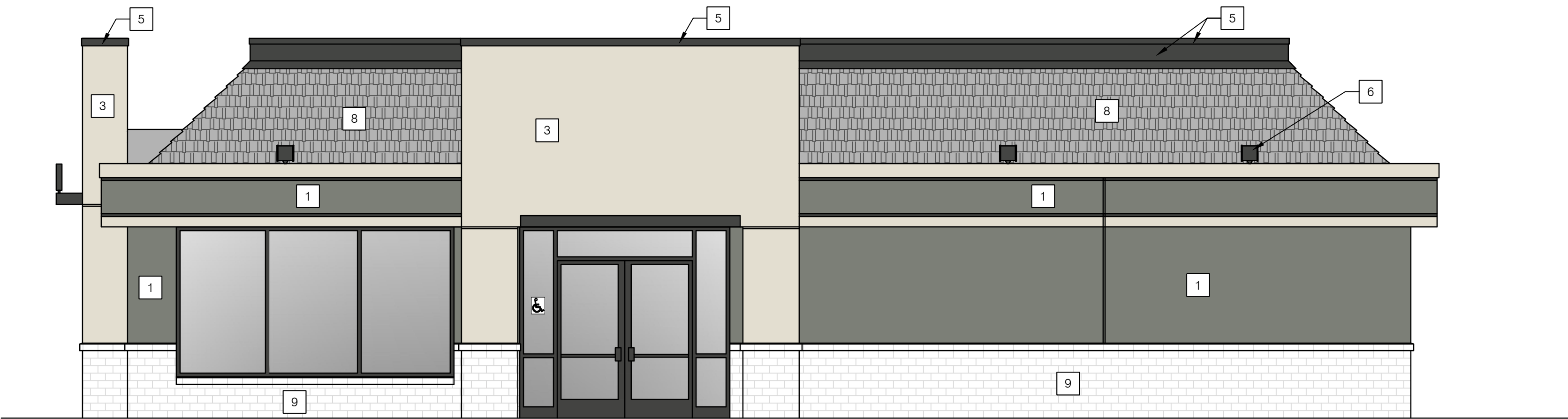
The earlier opening hours are in response to the more recent trend of offering a breakfast menu. Current closing hours are similar to those established in 1993 with the store remaining open one (1) hour longer on Thursday and a half-hour longer on Friday and Saturday.



REAR ELEVATION 1/4" = 1'-0" D

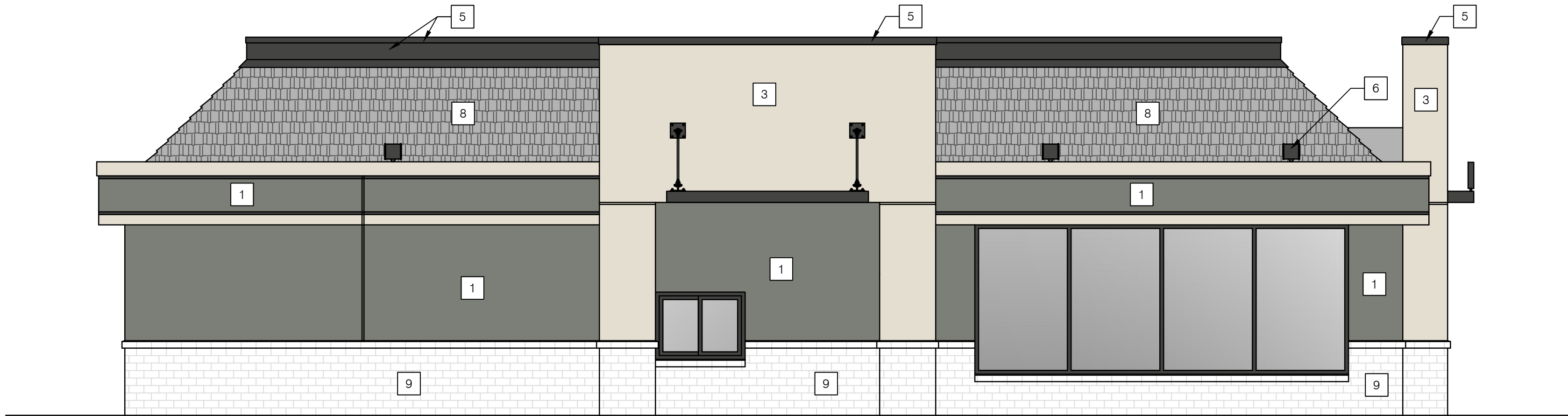


FRONT ELEVATION 1/4" = 1'-0" A



SYMBOL	AREA	COLOR
1	MAIN WALL COLOR	ATTITUDE GRAY SW7060
2	ACCENT WALL COLOR	IRON ORE SW7069
3	ACCENT WALL COLOR	NATURAL CHOICE SW7011
4	ACCENT WALL COLOR	PURPLE TB2603C
5	CONTINUOUS PARAPET CAP	IRON ORE SW7069
6	ACCENT / KITCHEN DOOR / ROOF LIGHT	IRON ORE SW7069
7	PIPE BOLLARDS	DOT YELLOW
8	SLOPED ROOF	MAX DEF PEWTER MODEL : LANDMARK PRO
9	"NOVABRIK" WAINSCOT AND CAP	SMOOTH FACED - COLOR: MARBLE WHITE

WALK UP SIDE ELEVATION 1/4" = 1'-0" B



DRIVE THRU SIDE ELEVATION 1/4" = 1'-0" C

August 28, 2017

Successor Remodel For:
Taco Bell
7141 S. 76th Street
Franklin, WI 53132

Project #1729460



Legal Description

PARCEL A:

Lot 3, in Franklin Plaza Subdivision, being a redivision of part of Lot 1, in Block 3, in Rawson Homesites, that portion of Rawson Homesites, and the abutting streets, vacated by Circuit Court Action Case No. 397644, Amended Document recorded February 21, 1973, on Reel 705, Image 1011, as Document No. 4741471 and by the City of Franklin Resolution No. 92-3889 recorded January 27, 1993, on Reel 2957, Image 226, as Document No. 6722050, part of the Whitnall Park Terrace Condominium, Lot 2, Lot 3, Outlot 3 and Outlot 4 in Whitnall Park Terrace Replat and lands all being a part of the Northeast 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 9, in Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

PARCEL B: (not surveyed)

Easement for the benefit of Parcel A created by Declaration of Restrictions and Reciprocal Easement Agreement dated April 14, 1993 and recorded on April 16, 1993, on Reel 3014, Image 175, as Document No. 6753870, as amended by First Amendment to Declaration of Restrictions and Reciprocal Easement Agreement dated April 14, 1993, and recorded November 12, 1993, on Reel 3161, Image 455, as Document No. 6855991 for ingress and egress as provided for therein and as shown on the recorded plat.

PARCEL C: (not surveyed)

Easement for the benefit of Parcel A created by Declaration of Restrictions and Reciprocal Easement Agreement dated April 12, 1993, and recorded April 16, 1993, on Reel 3014, Image 1764, as Document No. 6753871 for the installation and maintenance of drainage and public utilities as provided for therein and as shown on the recorded plat.

August 28, 2017

Successor Remodel For:
Taco Bell
7141 S. 76th Street
Franklin, WI 53132

Project #1729460



Project Summary

The project involves the remodeling of the Taco Bell restaurant at 7141 S. 76th Street. Modifications to the exterior facades include reconfiguration of the tower elements, replacement of wall signage, replacement of windows, replacement of the roof tiles with asphalt shingles, painting of the exterior walls, and installation of a brick wainscot around the perimeter of the building.

Interior remodeling will occur in the dining area, bathrooms and kitchen. The dining area will receive new floor tile, new acoustical tile ceiling and lighting, repainted wall finishes and a new furniture package and layout. Bathrooms will be reconfigured to comply with ADA requirements and receive new floor and wall tile finishes along with new painted drywall ceilings and lighting. Kitchen remodeling is limited to the replacement of ceiling tile and lighting.

Site work involves the replacement of existing light fixture lamps with LED lamps, installation of a new menu board, order confirmation board and canopy over the confirmation board, new clearance bar and bollards, removal of directional signage, and replacement of the signage faces on the monument sign. The condition of the asphalt and concrete paved surfaces will also be evaluated to determine if replacement is needed.

The estimated project cost is approximately \$270,000.

Construction is scheduled to begin in early Spring 2018 and will take approximately 2 to 3 months to complete. The store will be closed for the duration of construction.

TACO BELL

Remodel



TACO BELL

"Successor Remodel" For M Series Building

- A. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS AND AMENDMENTS.
- B. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- C. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECTS OFFICE.
- D. DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
- E. INFORMATION CONCERNING EXISTING BUILDING STRUCTURE, SIZE, LOCATION OF EQUIPMENT, FINISHES, ETC. WAS OBTAINED FROM VARIOUS PLANS FOR CONSTRUCTION OF THE EXISTING BUILDING. EVERY EFFORT HAS BEEN MADE TO ACCURATELY DEPICT EXISTING CONDITIONS, HOWEVER ALL WORK MUST BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR VERIFICATION AND/OR CORRECTION.
- F. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- G. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE YUM BRANDS REMODEL DESIGN ARCHITECT, IN WRITING, PRIOR TO INSTALLATION.
- H. THE GENERAL CONTRACTOR SHALL USE EXTREME CAUTION IN DEMOLITION OF EXISTING CONSTRUCTION. ANY ITEM STRUCTURAL IN NATURE AND SCHEDULED FOR DEMOLITION IN THIS DRAWING BUT NOT IDENTIFIED AS STRUCTURAL IN NATURE SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO DEMOLITION. BY FAILURE TO DO SO, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH ACTION.
- I. G.C. IS RESPONSIBLE FOR SUBMITTAL, PAYING FEES AND OBTAINING ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, SIGNAGE PERMIT, ETC. OWNER WILL PAY FOR 'CONNECTION FEES' ASSOCIATED WITH UTILITY PERMITS. G.C. REQUIRED TO PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- J. G.C. SHALL PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- K. IT IS THE G.C.'S RESPONSIBILITY TO CONFIRM THE AVAILABLE 'RESIDUAL' WATER PRESSURE, PRIOR TO THE START OF ANY WORK, AND NOTIFY THE OWNER IF THE AVAILABLE PRESSURE IS NOT ADEQUATE TO SERVICE THE ANSUL SYSTEM OR OTHER PRESSURE SENSITIVE EQUIPMENT.
- L. THE GENERAL CONTRACTOR SHALL REMOVE EXISTING TRIM AND SURFACES AS REQUIRED TO PROVIDE A PLUMB AND TRUE SURFACE SUITABLE FOR THE APPLICATION OF NEW WALL FINISHES.
- M. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- N. THE CONTRACTOR SHALL SHORE AND/OR UNDERPIN EXISTING WORK AS REQUIRED TO SAFELY INSTALL NEW WORK. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL CHANGE OR AFFECT THE CONTRACTOR'S RESPONSIBILITY IN THIS MATTER. DEFLECTION OF EXISTING TO BE LIMITED TO 1/8" IN ORDER TO MAINTAIN INTEGRITY OF STRUCTURE.

PROJECT GENERAL NOTES

NAME	ROOM NAME		
1 4 2 3 AX X	SHEET NUMBER	ELEV. LETTER ELEV. SHEET	
8'-4"	CEILING HEIGHT	DOOR NUMBER	
X AX X	BLDG. SECTION LETTER BLDG. SECTION SHEET	WINDOW NUMBER / DECOR ITEM NUMBER	
X AX X	DETAIL NUMBER DIRECTION OF DETAIL DETAIL SHEET	EXTERIOR WALL FINISH NUMBER	
X AX X	REVISION NUMBER	KEY NOTE	
0'-0" ELEV	BLDG. HEIGHT REFERENCE POINT	EQUIPMENT NUMBER	
		ROOM FINISH NUMBER	
		INTERIOR ELEVATION DESIGNATION	
		SHEAR WALL TYPE (STRUCTURAL)	
		EQUIPMENT / FIXTURE NUMBER (M.E.P.)	

REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR SPECIFIC SYMBOLS

GENERAL DRAWING SYMBOLS

DESCRIPTION OF PROJECT:
THIS PROJECT INVOLVES THE REMODEL OF AN EXISTING TACO BELL RESTAURANT. THE EXTERIOR FACADE WILL BE REMODELED BY MODIFYING THE EXISTING TOWERS AND PAINTING WITH NEW PAINT COLORS. THE DRIVE THRU WILL GET A NEW ORDER BOARD CANOPY. NEW SIGNAGE WILL BE PROVIDED. THE EXISTING KITCHEN WILL NOT BE MODIFIED OTHER THAN FINISH REPAIR AND CEILING TILE AND LIGHT REPLACEMENT. THE DINING ROOM WILL BE REMODELED WITH AN UPDATED DECOR. THE RESTROOMS WILL BE REMODELED WITH NEW FINISHES.

LEGAL JURISDICTION: CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN

CODES

1997 CODE OF ORDINANCES OF THE CITY OF FRANKLIN AND ANY AND ALL ADDITIONS, DELETIONS, AMENDMENTS OR SUPPLEMENTS TO THE CODE

BUILDING AREA

2,201 S.F.

OCCUPANCY

ASSEMBLY - A-2

SEATING

58

PROJECT SUMMARY

OWNER

SUNDANCE, INC.
7915 KENSINGTON COURT
BRIGHTON, MI 48116
CONTACT: RICK ECCLES
PHONE: (248) 563-8016

ARCHITECT

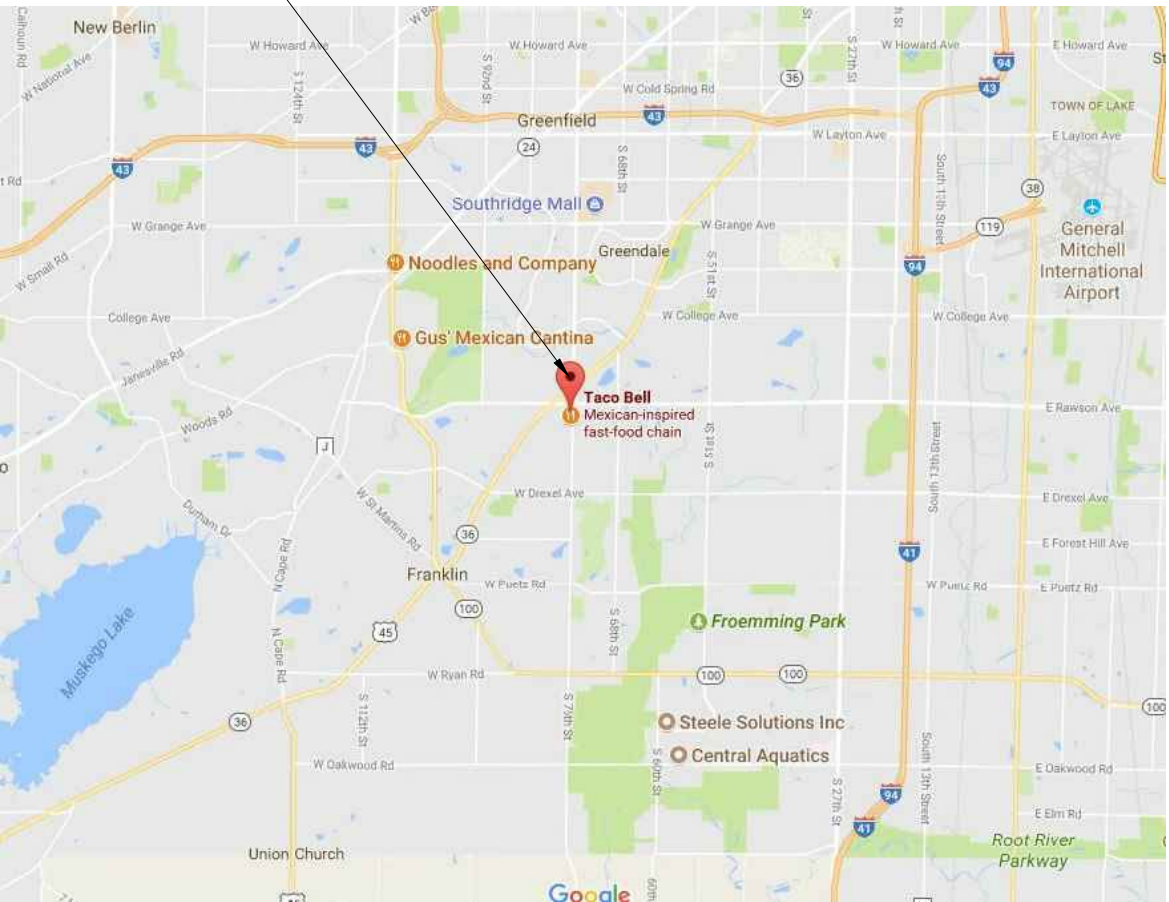
EXCEL ENGINEERING
100 CAMELOT DRIVE
FOND DU LAC, WI 54935
CONTACT: JONATHAN BRINKLEY
PHONE: (920) 322-1708
EMAIL: jonathan.b@excelengineer.com

PROJECT DIRECTORY

TITLE/SITE	ISSUED FOR BUILDING APPROVAL - 07/28/2017	ADDENDUM #1 - DATE	ADDENDUM #2 - DATE	ADDENDUM #3 - DATE	CONSTRUCTION BULLETIN #1 - DATE	CONSTRUCTION BULLETIN #2 - DATE	CONSTRUCTION BULLETIN #3 - DATE	CONSTRUCTION BULLETIN #4 - DATE
T1.0 TITLE SHEET	●							
SITE								
ALTA ALTA/ACSM LAND TITLE SURVEY	●							
C1.0 SITE PLAN	●							
C2.0 SITE DETAILS	●							
DEMOLITION								
D1.0 DEMOLITION FLOOR PLAN	●							
D2.0 DEMOLITION EXTERIOR ELEVATIONS	●							
D3.0 DEMOLITION SECTIONS	●							
STRUCTURAL								
S4.1 TYPICAL TOWER STRUCTURAL SECTIONS	●							
S4.2 DRIVE THRU TOWER STRUCTURAL SECTIONS	●							
S4.3 STRUCTURAL DETAILS	●							
ARCHITECTURAL								
A1.0 FLOOR PLAN	●							
A1.1 DOOR & WINDOW ELEVATIONS & SCHEDULE	●							
A2.0 SEATING PLAN	●							
A3.0 ROOF PLAN	●							
A4.0 EXTERIOR ELEVATIONS	●							
A4.1 EXTERIOR ELEVATIONS	●							
A5.0 WALL SECTIONS	●							
A6.0 CONSTRUCTION DETAILS	●							
A6.1 CONSTRUCTION DETAILS	●							
A7.0 FINISH FLOOR PLAN	●							
A7.1 REFLECTED CEILING PLAN	●							
A7.2 FINISH SCHEDULE	●							
A8.0 INTERIOR ELEVATIONS - DINING ROOM	●							
A8.1 INTERIOR ELEVATIONS & ENLARGED RESTROOMS PLAN	●							
ADA ACCESSIBILITY REQUIREMENTS	●							
FIRE PROTECTION								
FP1.0 FIRE PROTECTION SCHEDULE & NOTES	●							
FP2.0 FIRE PROTECTION PLAN	●							
PLUMBING								
P1.0 PLUMBING SCHEDULES & NOTES	●							
PD1.0 UNDERGROUND PLAN - DEMOLITION	●							
PD2.0 FLOOR PLAN - DEMOLITION	●							
P2.0 WASTE & VENT PLAN	●							
P3.0 WATER & GAS PLAN	●							
ELECTRICAL								
E3.0 POWER FLOOR PLAN	●							
E3.1 LIGHTING & ELECTRICAL DETAILS	●							
E4.0 LIGHTING PLAN & SCHEDULE	●							

SHEET INDEX

PROJECT LOCATION



VICINITY MAP



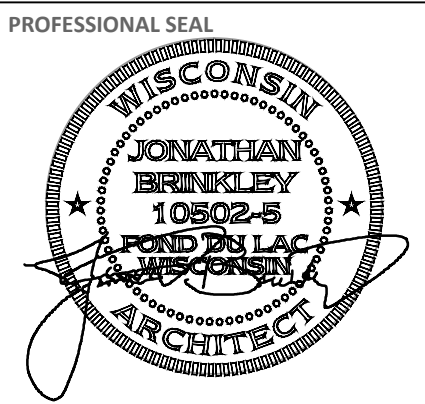
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100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
WWW.EXCELENGINEER.COM

PROJECT INFORMATION

PROJECT NUMBER 1729460

SUCCESSOR REMODEL FOR:
TACO BELL
7141 S 76TH STREET • FRANKLIN, WI 53132



SHEET DATES

ISSUE DATE JULY 28, 2017

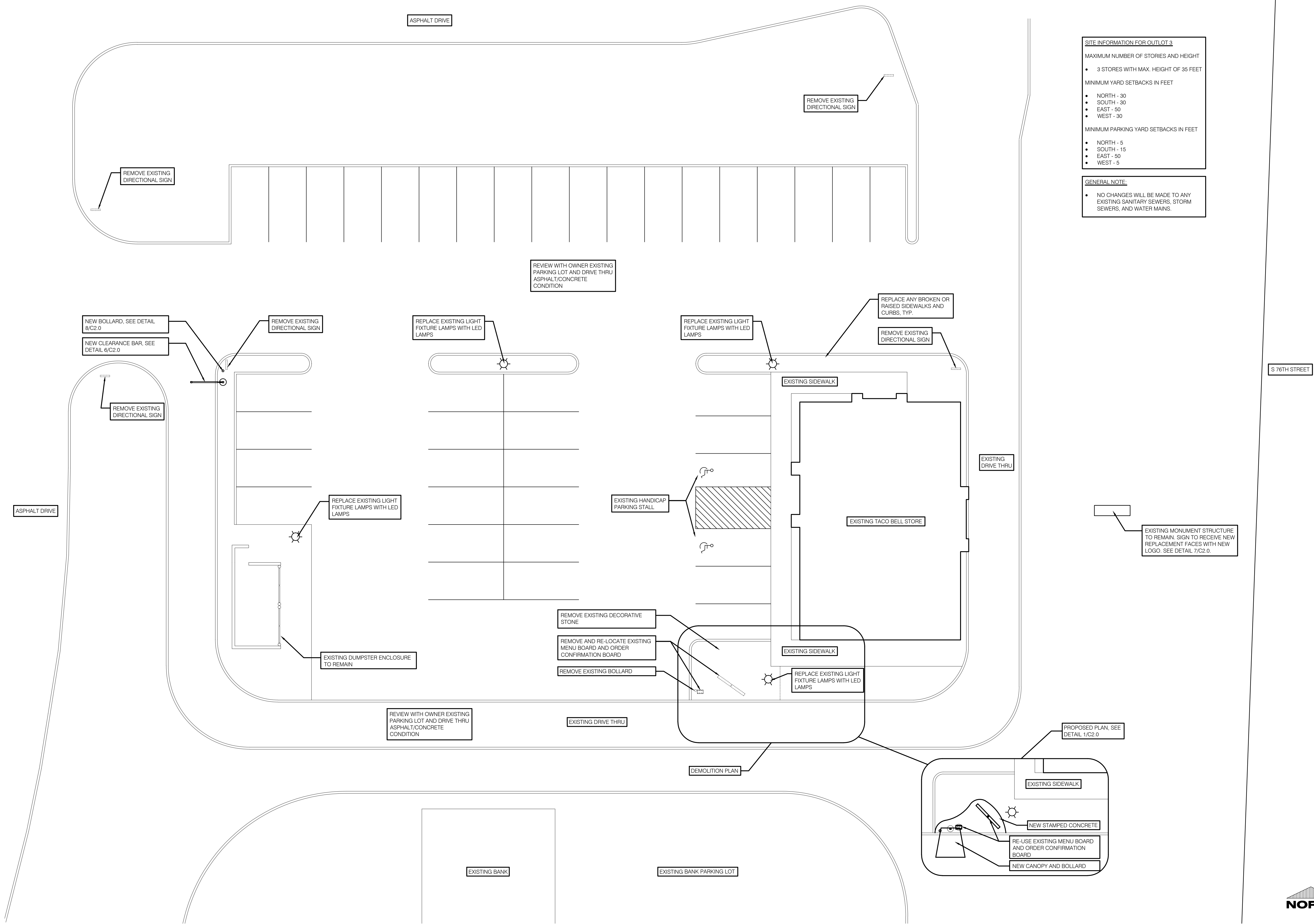
REVISIONS

SHEET INFORMATION

TITLE SHEET

SHEET NUMBER

T1.0



SITE INFORMATION FOR OUTLOT 3

MAXIMUM NUMBER OF STORIES AND HEIGHT

- 3 STORES WITH MAX. HEIGHT OF 35 FEET

MINIMUM YARD SETBACKS IN FEET

- NORTH - 30
- SOUTH - 30
- EAST - 50
- WEST - 30

MINIMUM PARKING YARD SETBACKS IN FEET

- NORTH - 5
- SOUTH - 15
- EAST - 50
- WEST - 5

GENERAL NOTE:

- NO CHANGES WILL BE MADE TO ANY EXISTING SANITARY SEWERS, STORM SEWERS, AND WATER MAINS.



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PROFESSIONAL SEAL



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ISSUE DATE JULY 28, 2017

REVISIONS

NO.	DESCRIPTION	DATE

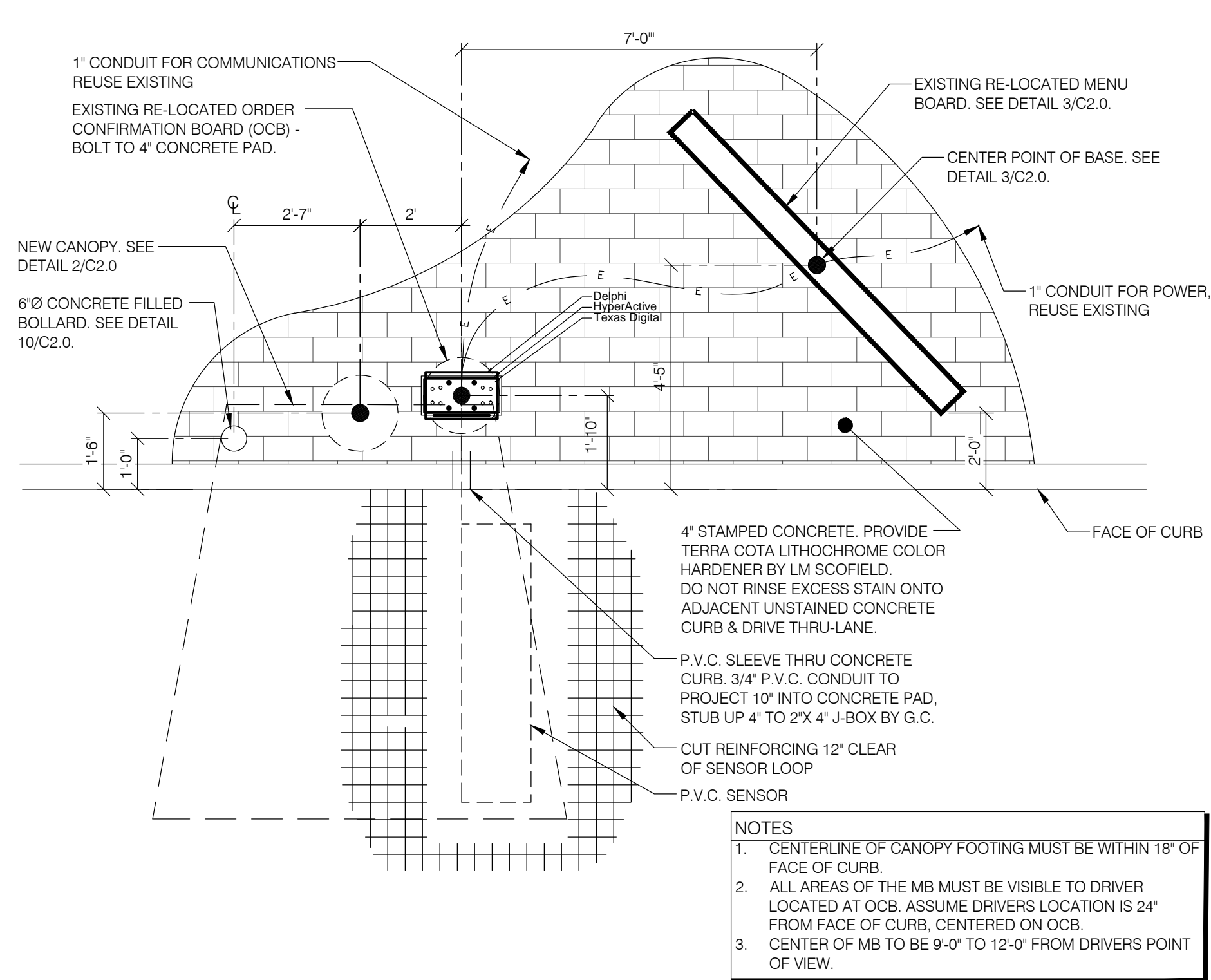
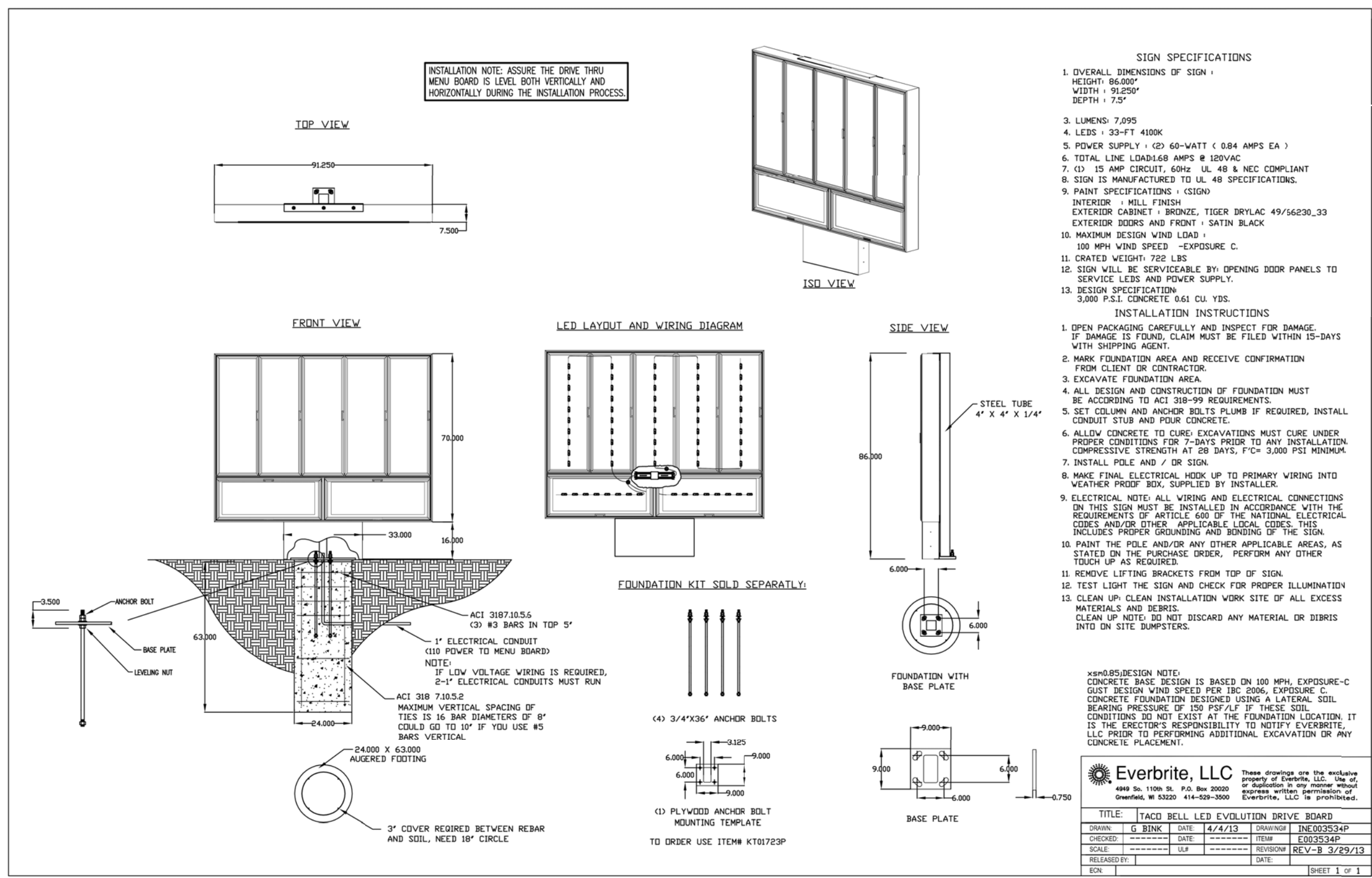
SHEET INFORMATION

SITE PLAN

SHEET NUMBER

C1.0

1729460



MENU BOARD SPECS

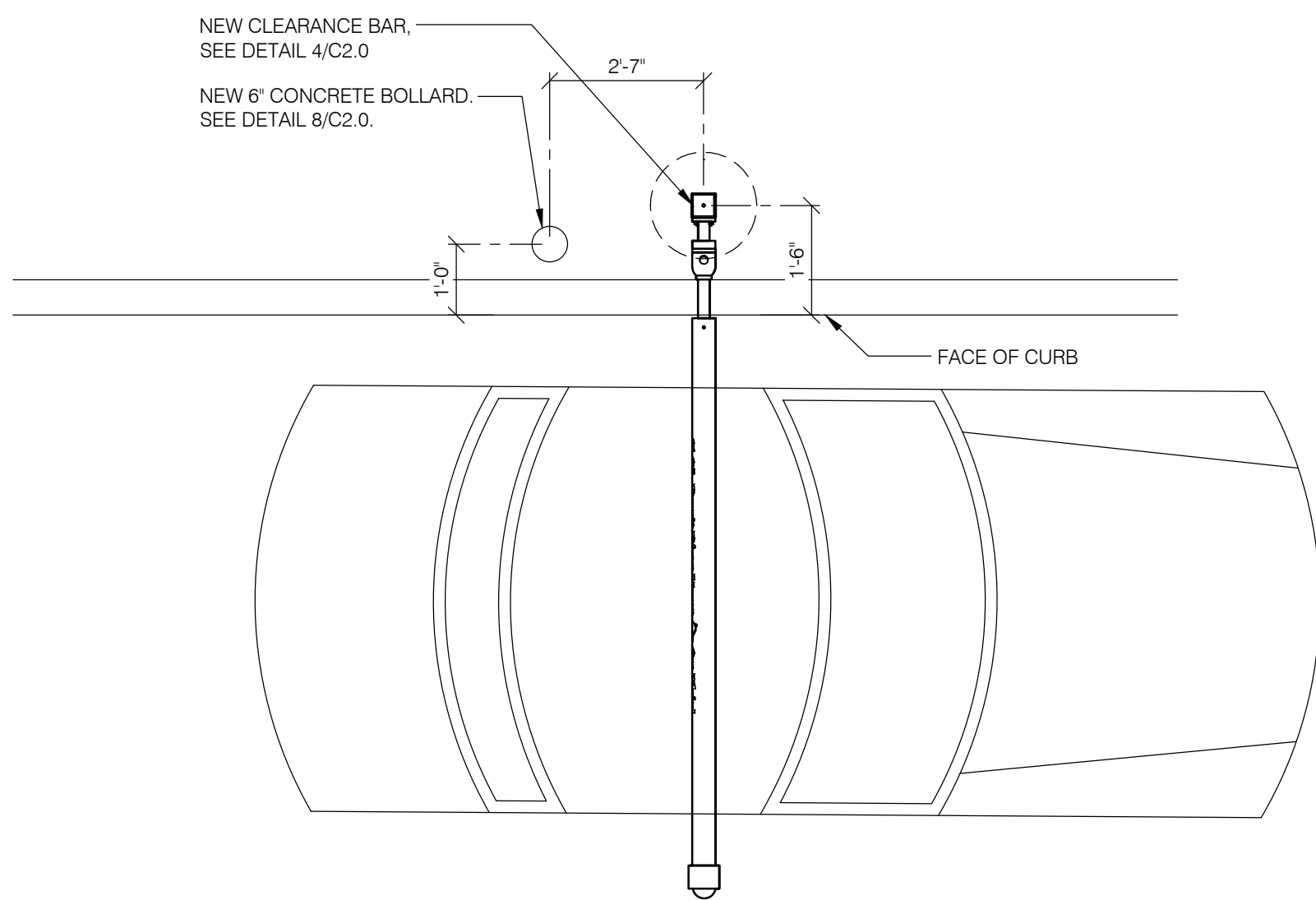
N.T.S

3

MENU BOARD DETAIL

N.T.S

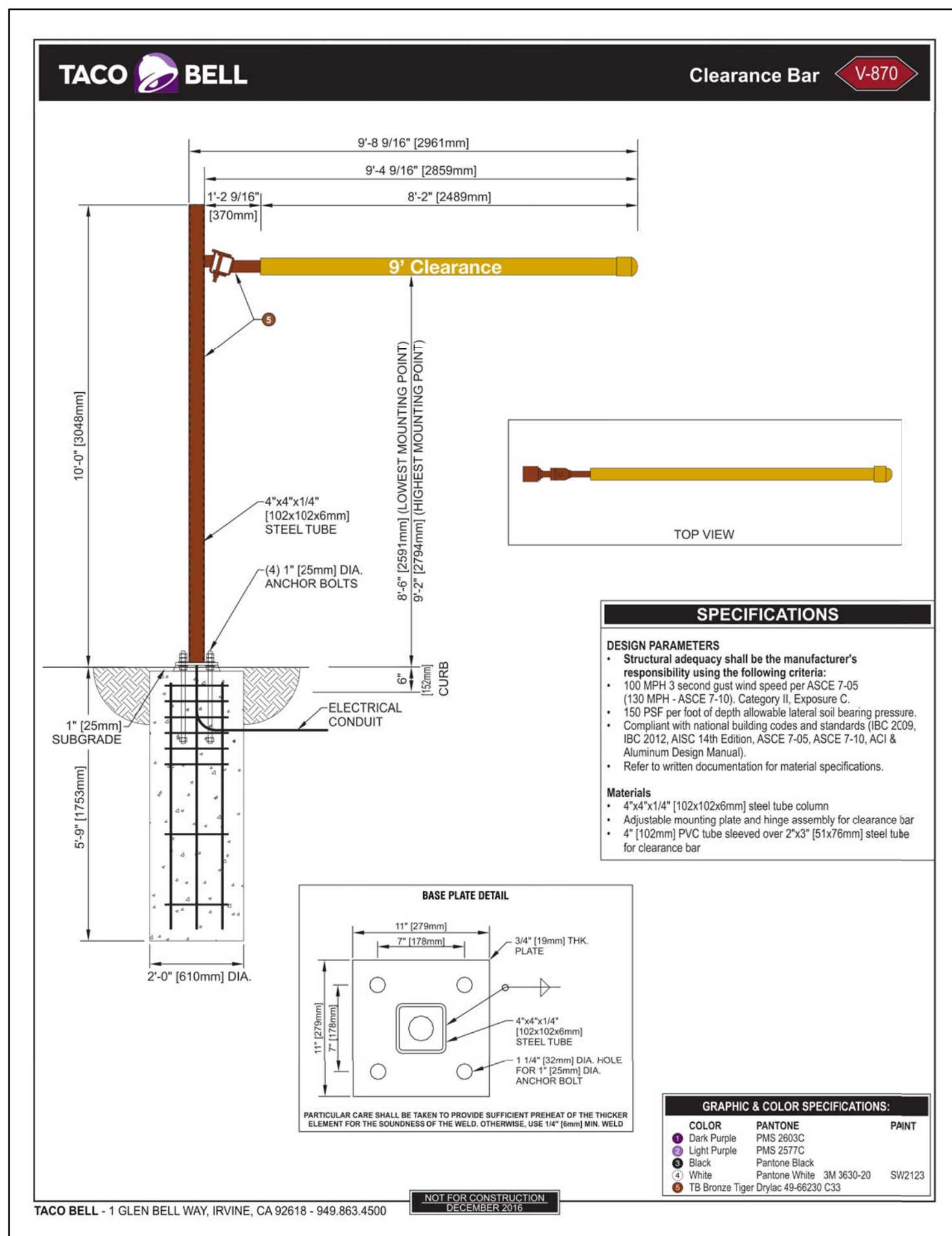
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CLEARANCE BAR DETAIL

N.T.S

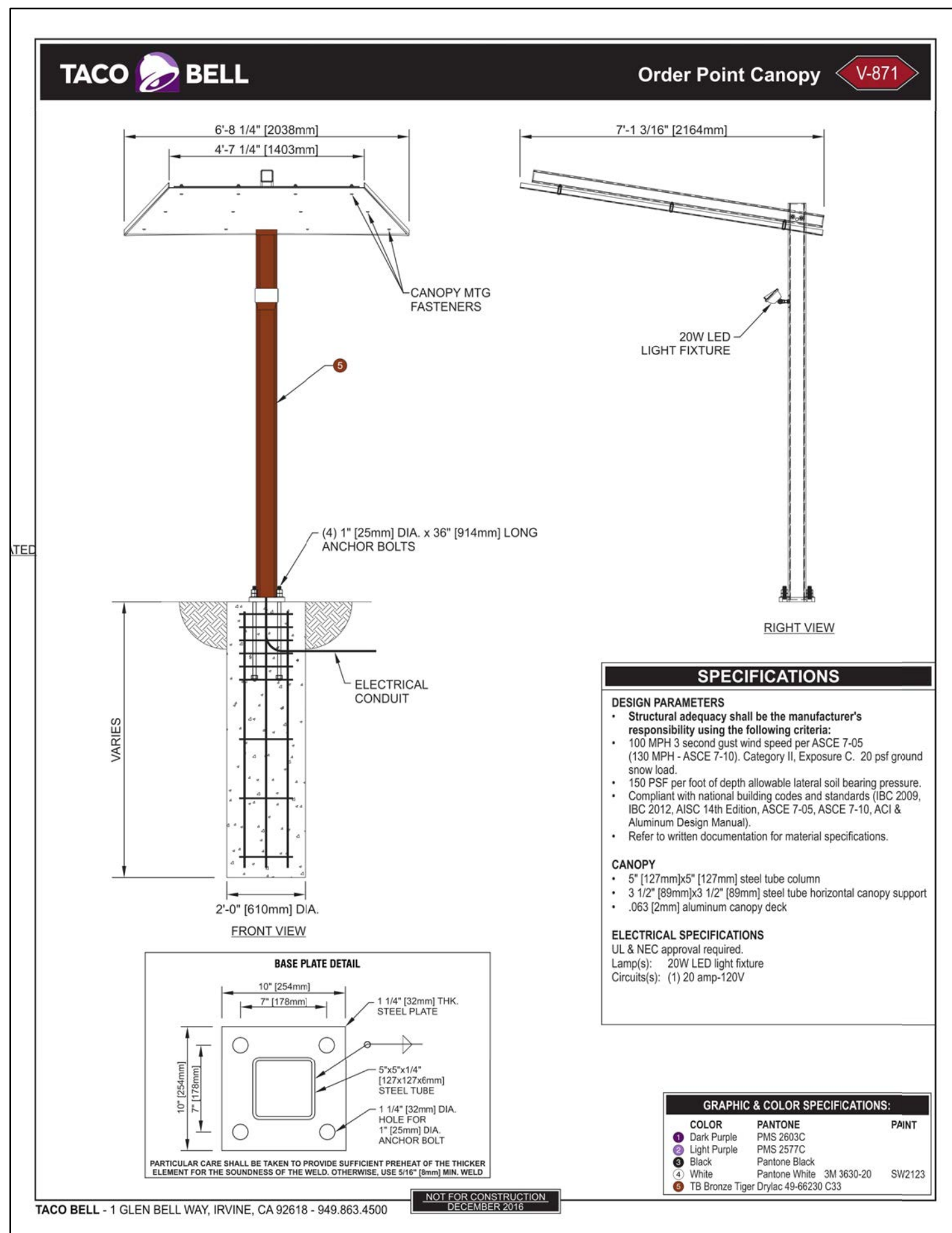
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CLEARANCE BAR DETAIL

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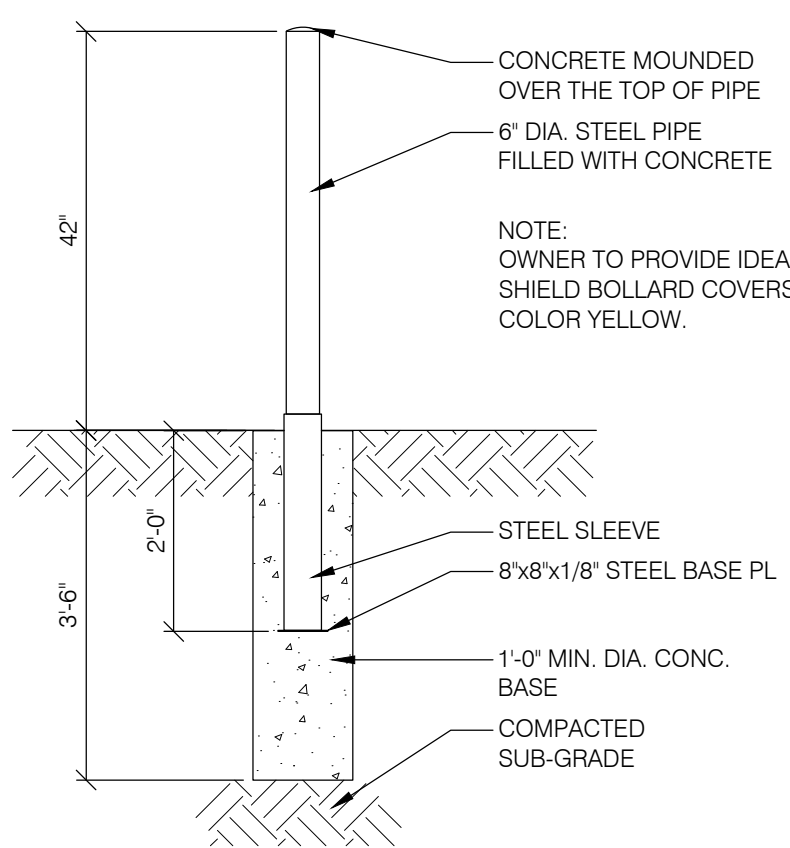
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CANOPY DETAIL

N.T.S

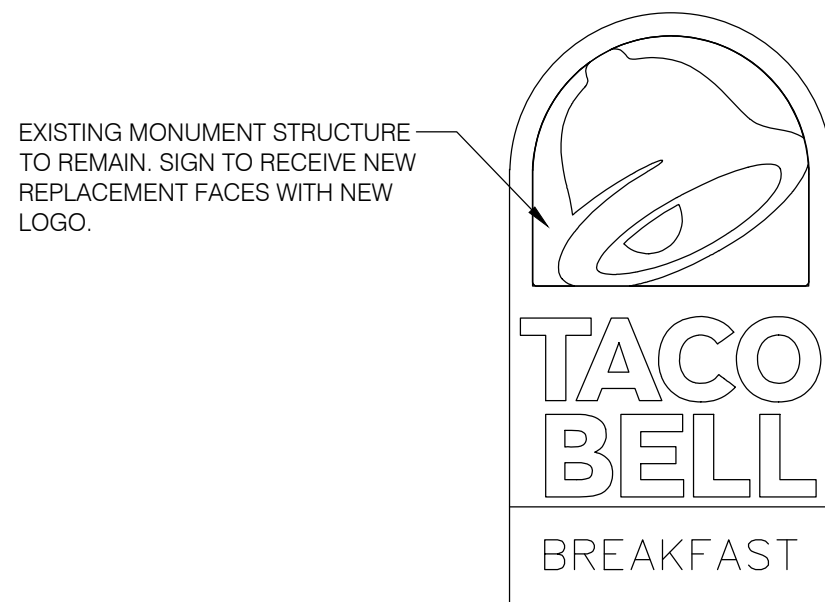
2



BOLLARD DETAIL

N.T.S

8



EXISTING SIGN

N.T.S

7

PROJECT INFORMATION

PROJECT NUMBER 1729460

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PROFESSIONAL SEAL



SHEET DATES

ISSUE DATE JULY 28, 2017

REVISIONS

SHEET INFORMATION

SITE DETAILS

SHEET NUMBER

C2.0

- GENERAL DEMOLITION NOTES:
- CAREFULLY DEMOLISH AND REMOVE FROM THE SITE THOSE ITEMS SCHEDULED FOR DEMOLITION. REMOVE ITEMS AS SHOWN ON THE PLANS AND AS DIRECTED BY THE OWNER.
 - BY CAREFUL STUDY OF THE CONTRACT DOCUMENTS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE PERFORMED.
 - IN COMPANY WITH THE OWNER'S REPRESENTATIVE, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED.
 - CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
 - MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMEN ALSO TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE INTACT.
 - PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS.
 - COMPLETELY REMOVE ITEMS SCHEDULED TO BE DEMOLISHED AND THE REMOVAL OF ITEMS MUST BE DONE IN A MANNER TO LEAVE SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS AS SPECIFIED ELSEWHERE.
 - IN ALL ACTIVITIES COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
 - DEMOLISHED MATERIAL SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE UNLESS CALLED FOR TO BE SALVAGED BY THE DRAWING OR THE OWNER.
 - REMOVE ALL EXISTING FINISHES SUCH AS GYPSUM BOARD, CEILINGS, FLOORING, ETC. NOTED TO BE DEMOLISHED.
 - REPAIR ALL EXISTING CONCRETE FLOOR SLABS AS DIRECTED BY THE OWNER.
 - RELOCATE UTILITY EQUIPMENT AS DIRECTED BY THE OWNER. CARE SHOULD BE EXERCISED DURING CONSTRUCTION SO AS NOT TO DISTURB EXISTING SERVICES.
 - INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE WALLS ETC. INSPECT DINING ROOM WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING. VERIFY WITH OWNER.
 - SEE SITE PLAN FOR ANY SITE DEMO WORK.

DEMOLITION NOTES

F

DEMOLITION LEGEND

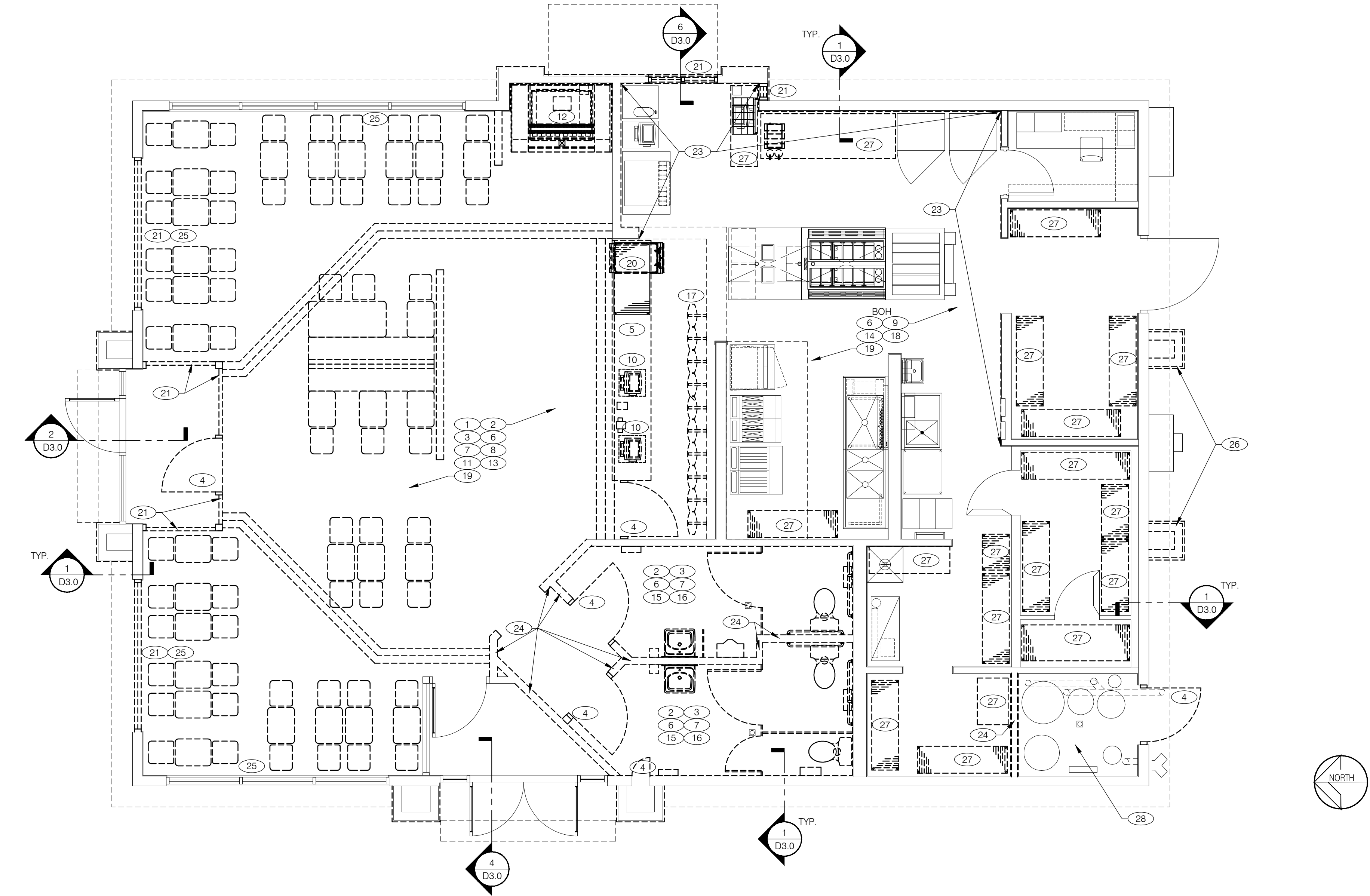
E

----- DEMO ITEMS AS INDICATED (SEE KEY NOTES)

- | | | |
|---|--|---|
| 1 REMOVE ALL DINING AREA SEATS, TABLES, CONDIMENT TABLE, TRASH ENCLOSURES, DIVIDER WALLS, PLANTS AND QUEUING LINE. | 13 REMOVE EXISTING EGRESS LIGHTING DEVICES. SAVE FOR RE-INSTALLATION. | 26 REMOVE TOWER FRAMING AND SHEATHING ALONG WITH RELATED FOUNDATIONS. |
| 2 REMOVE ALL EXISTING TILE FLOORING AND BASE - PATCH AND REPAIR CONCRETE AS REQUIRED. | 14 REMOVE EXISTING GRILLES, DIFFUSERS, AND OTHER HVAC DEVICES. | 27 REMOVE EXISTING SHELVING/TABLE. |
| 3 REMOVE EXISTING SPEAKERS, SECURITY EQUIPMENT & SMOKE DETECTORS. SAVE FOR RE-INSTALLATION. | 15 REMOVE EXISTING TOILETS, SINKS, URINAL, SOAP DISPENSERS, TOILET PAPER DISPENSERS, GRAB BARS AND MIRRORS. RE-INSTALL EXISTING FIXTURES AFTER NEW FINISHES ARE INSTALLED. COORDINATE WITH OTHER TRADES. | 28 SEE PLUMBING DRAWINGS FOR DEMOLITION WORK. |
| 4 REMOVE EXISTING DOORS. | 16 REMOVE EXISTING HAND DRYERS AND PAPER TOWEL DISPENSERS. | |
| 5 REMOVE EXISTING COUNTER AND ASSOCIATED WALLS/FRAMING. | 17 REMOVE EXISTING MENU BOARD. | |
| 6 REMOVE EXISTING LIGHT FIXTURES. | 18 EXISTING CEILING GRID TO REMAIN. REPAIR WHERE NECESSARY. | |
| 7 REMOVE EXISTING WALL WAINSCOT, WALLPAPER, WALL TILE AND OTHER WALL FINISHES AS REQUIRED. REPLACE SUBSTRATE AS REQUIRED. | 19 REMOVE EXISTING CEILING TILE. | |
| 8 PATCH CONCRETE SLAB AND CORE HOLES AS NEEDED. | 20 RELOCATE EXISTING DRINK SYSTEM FRUTISTA MACHINE DURING CONSTRUCTION. SAVE FOR RE-INSTALLATION. | |
| 9 PROTECT EXISTING EQUIPMENT FROM DUST AND DEBRIS. | 21 REMOVE WINDOW FRAME AND GLAZING. | |
| 10 POS REGISTERS SHOULD NOT BE DISCONNECTED FROM NETWORK UNLESS PAR TECHNICIAN IS PRESENT. RELOCATE DURING CONSTRUCTION. | 22 NOT USED. | |
| 11 REMOVE EXISTING CEILING GYPSUM BOARD SOFFITS AND ASSOCIATED FRAMING AS REQUIRED FOR NEW CONSTRUCTION. | 23 REMOVE EXISTING WALL TILE. VERIFY EXTENTS WITH OWNER. | |
| 12 REMOVE DRINK MACHINE AND ICE MACHINE, SAVE FOR RE-INSTALLATION. REMOVE EXISTING DRINK TABLE. | 24 EXISTING INTERIOR WALL TO BE REMOVED AS INDICATED. PRIOR TO REMOVAL, DETERMINE IF WALL IS BEARING. IF BEARING, NOTIFY EXCEL ENGINEERING PRIOR TO REMOVAL. | |
| | 25 REMOVE EXISTING SUBSTRATE BELOW EXISTING WINDOWS TO INSPECT FRAMING FOR DAMAGE. REPLACE IF REQUIRED. | |

KEY NOTES

B



DEMOLITION FLOOR PLAN 1/4" = 1'-0"

A

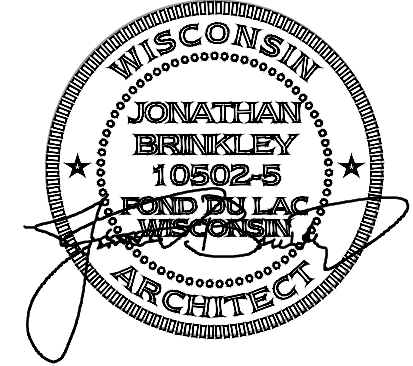
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100 CAMELOT DRIVE
FOND DU LAC, WI 54935
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PROJECT INFORMATION

PROJECT NUMBER 1729460

SUCCESSOR REMODEL FOR:
TACO BELL
7141 S 76TH STREET • FRANKLIN, WI 53132

PROFESSIONAL SEAL



SHEET DATES

ISSUE DATE JULY 28, 2017

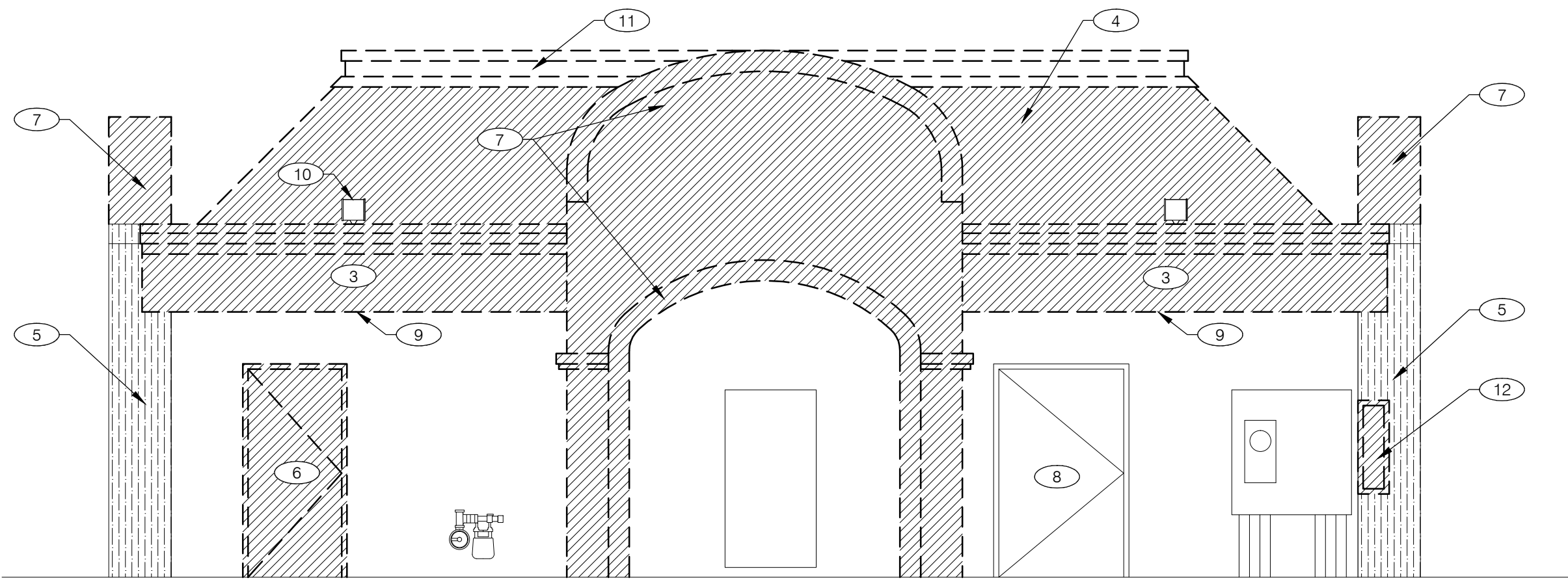
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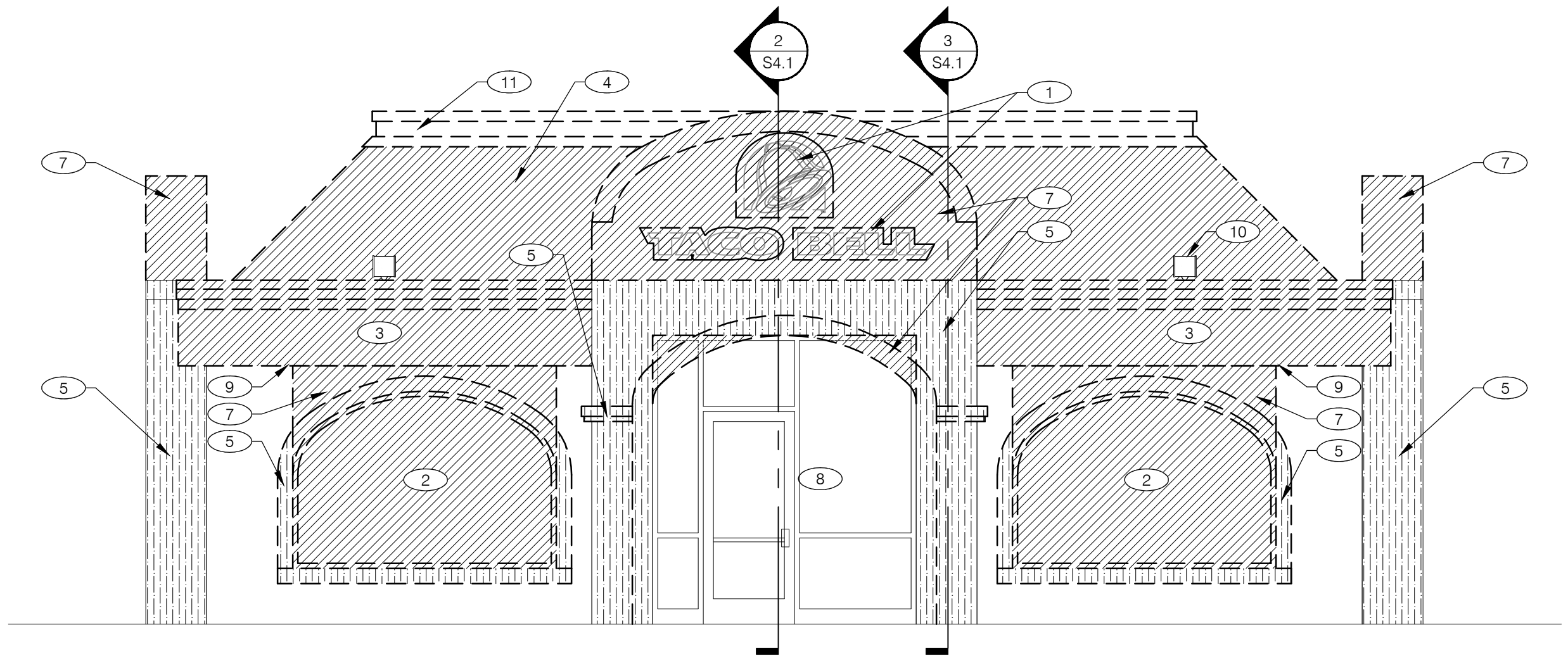
DEMOLITION FLOOR PLAN

SHEET NUMBER

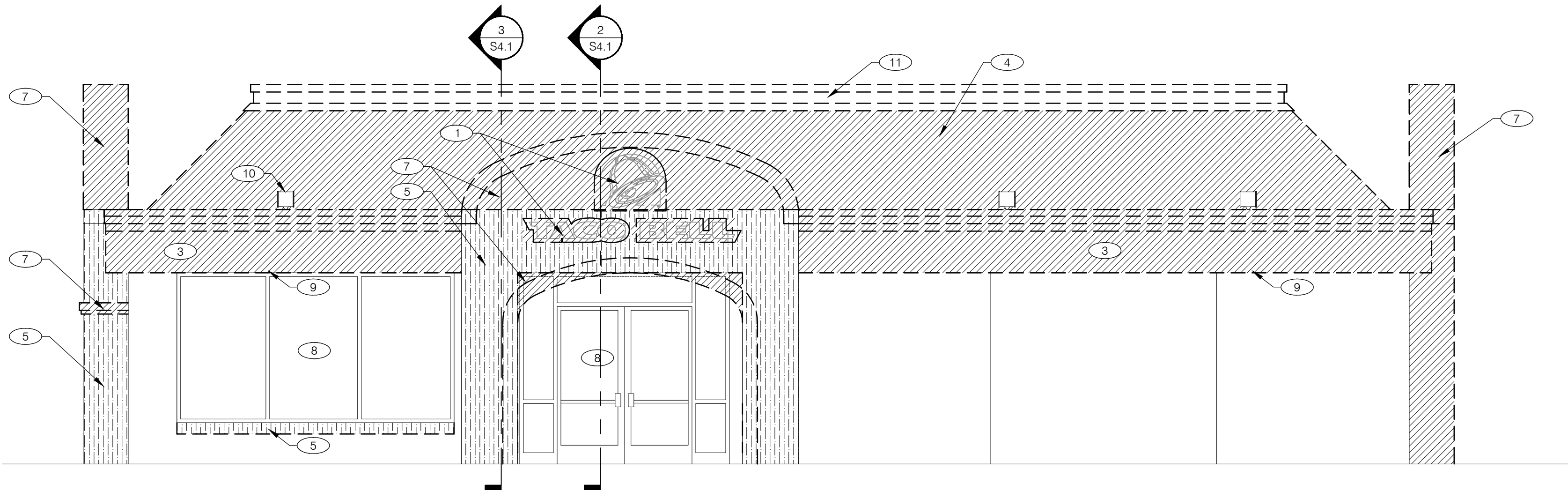
D1.0



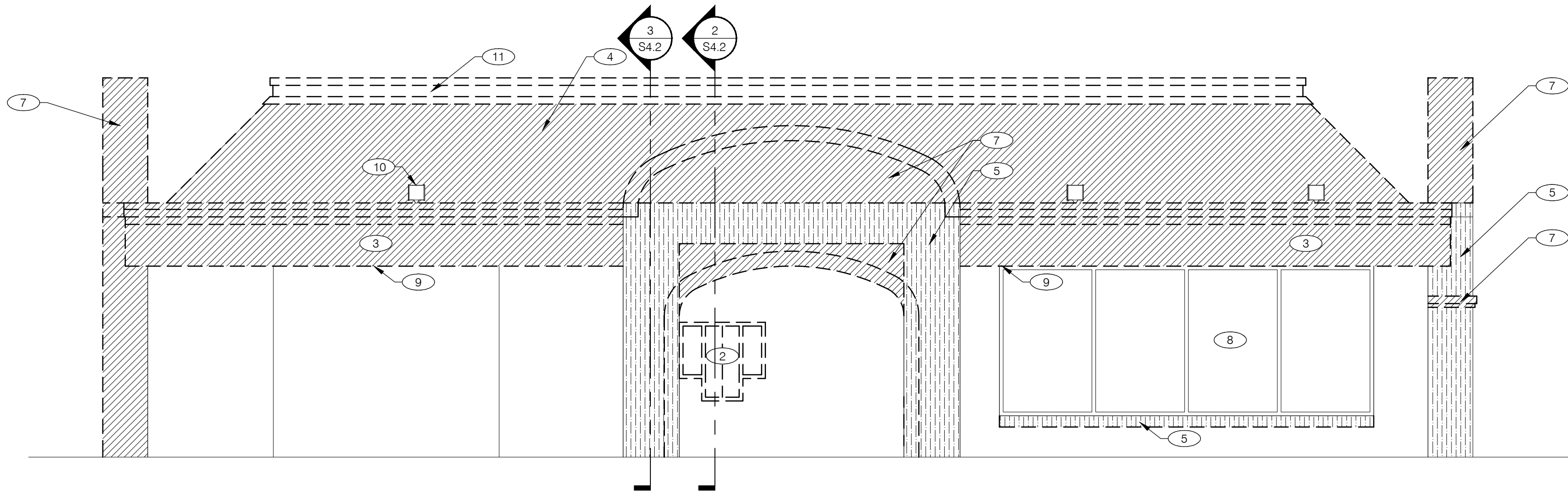
REAR ELEVATION 1/4" = 1'-0" F



FRONT ELEVATION 1/4" = 1'-0" A



WALK UP SIDE ELEVATION 1/4" = 1'-0" D



DRIVE THRU SIDE ELEVATION 1/4" = 1'-0" E

- EXISTING TO BE REMOVED
- EXISTING FINISH TO BE REMOVED (INCLUDING ALL STUCCO PROTRUSIONS). STRUCTURE TO REMAIN AND RETROFITTED PER NEW DESIGN.

DEMOLITION LEGEND B

- 1 EXISTING BUILDING SIGNS TO BE REMOVED.
- 2 REMOVE EXISTING WINDOW AS REQUIRED FOR NEW WINDOW - SEE FLOOR PLAN AND ELEVATIONS.
- 3 REMOVE EXISTING LIGHT SOFFIT FRAMING AS REQUIRED FOR NEW CONSTRUCTION - SEE WALL SECTIONS FOR EXTENT OF DEMOLITION.
- 4 DEMO EXISTING SPANISH ROOF TILES, TYP.
- 5 EXISTING FINISH TO BE REMOVED. STRUCTURE TO REMAIN - SEE DEMOLITION LEGEND.
- 6 REMOVE EXISTING DOOR AND INFILL WITH MATCHING ADJACENT CONDITION.
- 7 PORTION OF WALL OR TOWER TO BE REMOVED AS INDICATED. PROTECT EXISTING STRUCTURE AND STOREFRONT.
- 8 EXISTING DOOR, FRAME, SIDELIGHT, WINDOW TO REMAIN.
- 9 REMOVE EXISTING LIGHTING. SEE SHEET E4.0 FOR NEW SOFFIT LIGHT LOCATIONS.
- 10 REPAIR /REPLACE ROOF FLOOD LIGHTS AS NECESSARY.
- 11 REMOVE EXISTING FLASHING.
- 12 REMOVE WINDOW FRAME AND GLAZING.

KEYNOTES C

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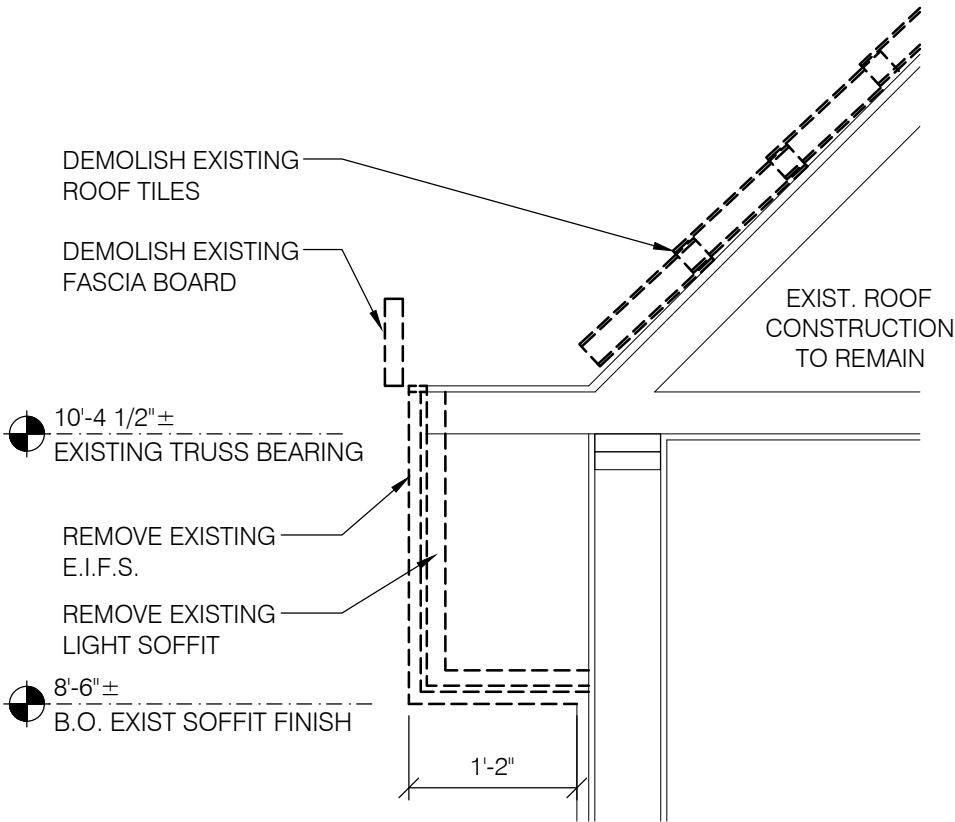
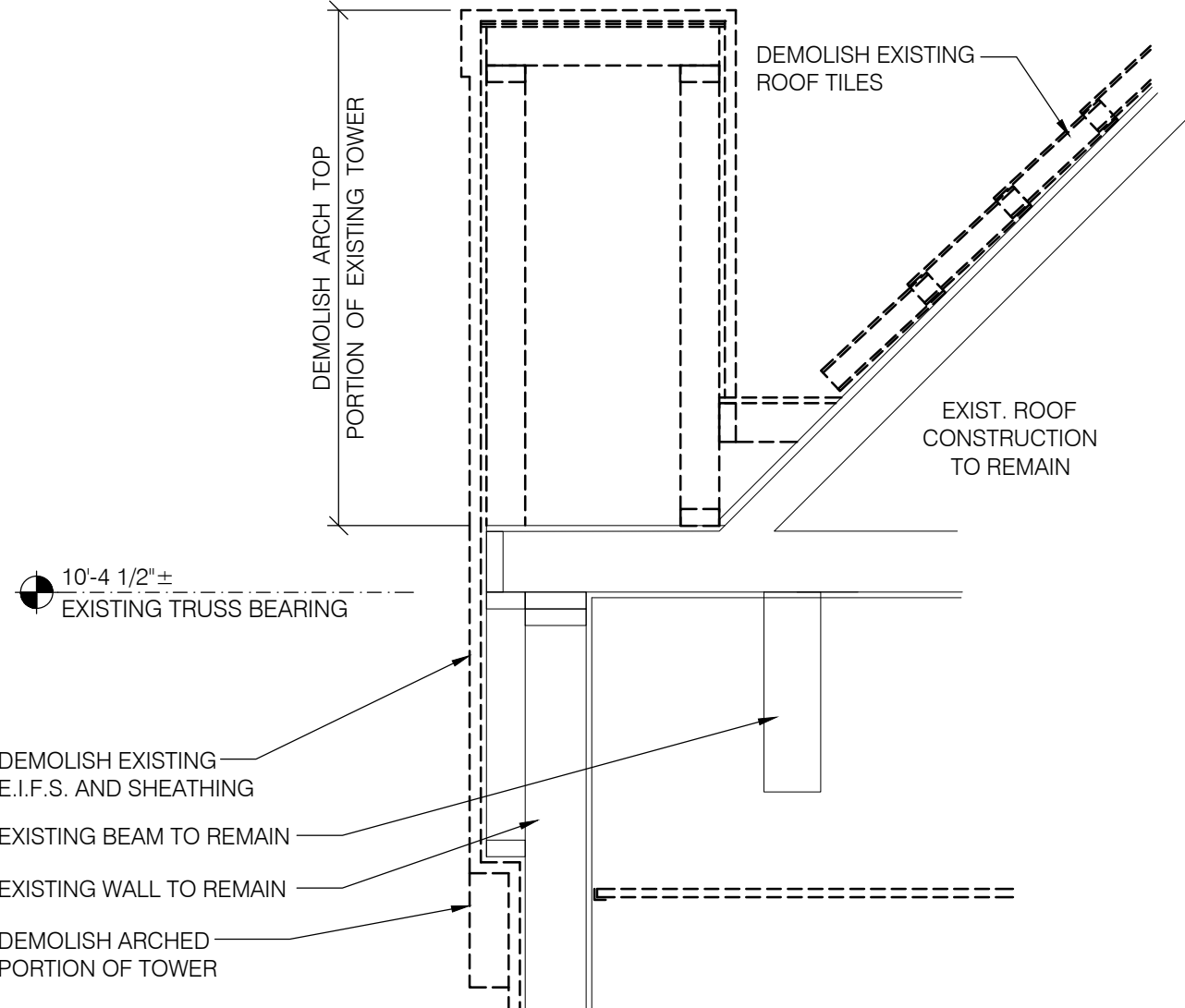
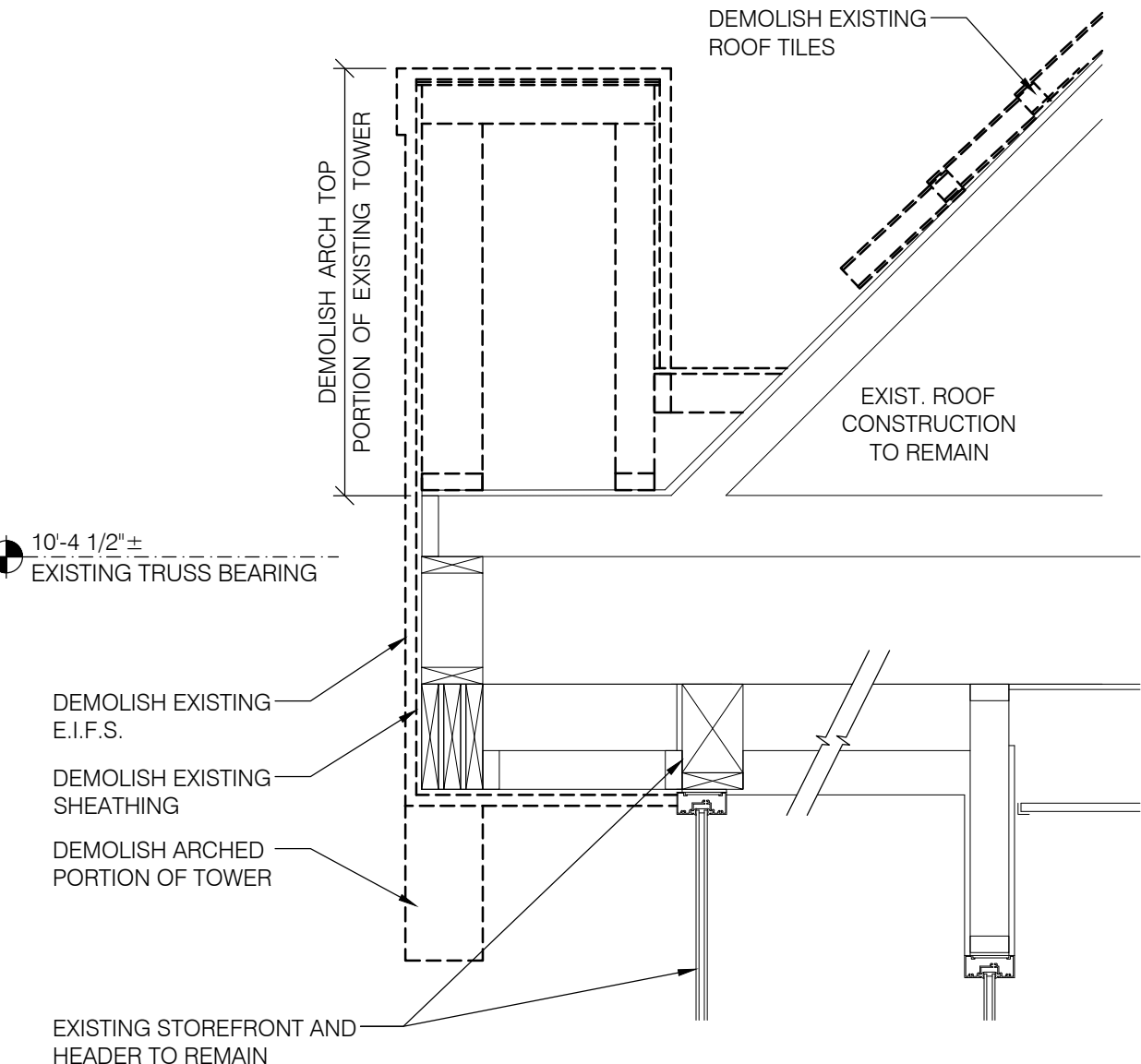
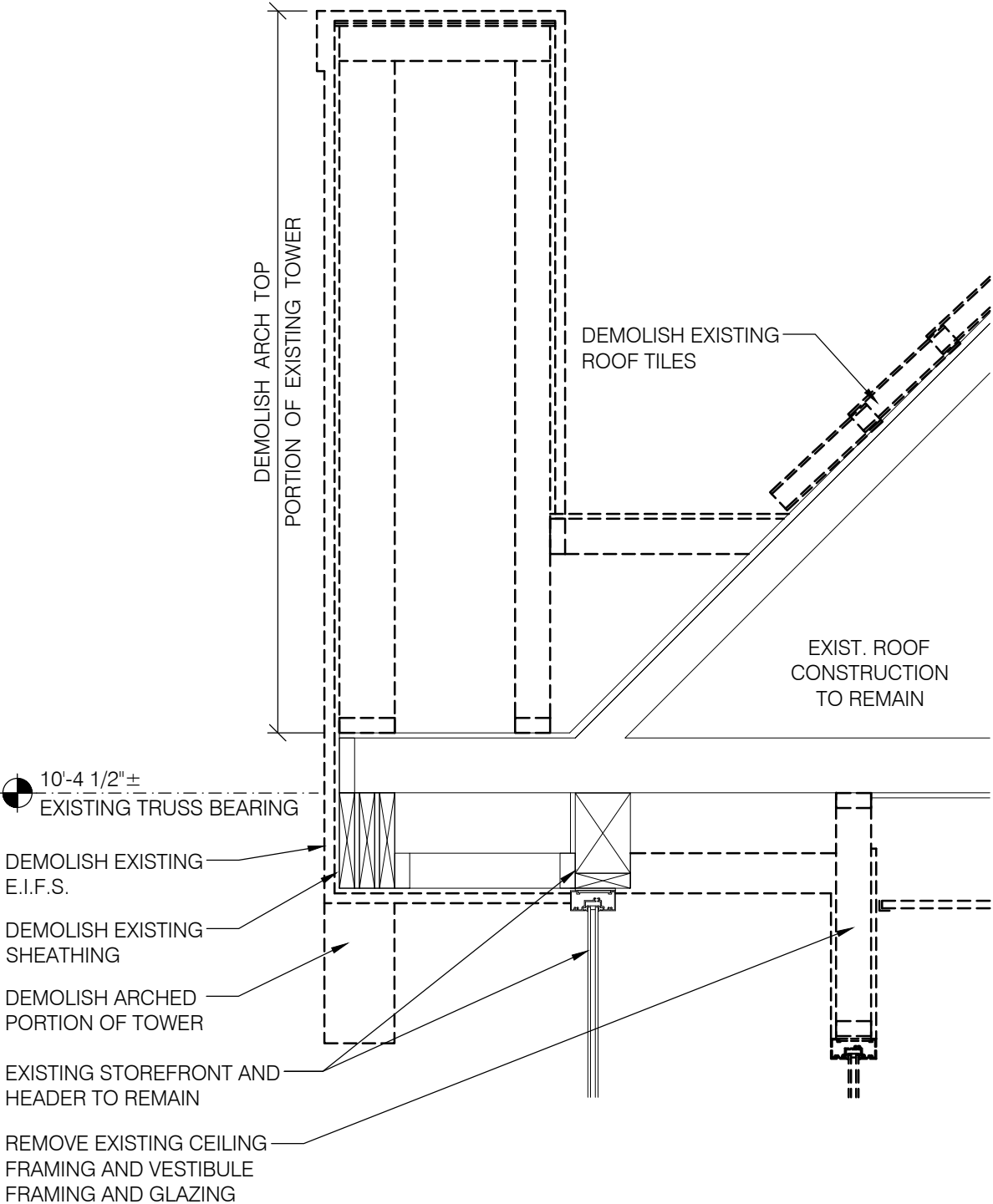
REVISIONS

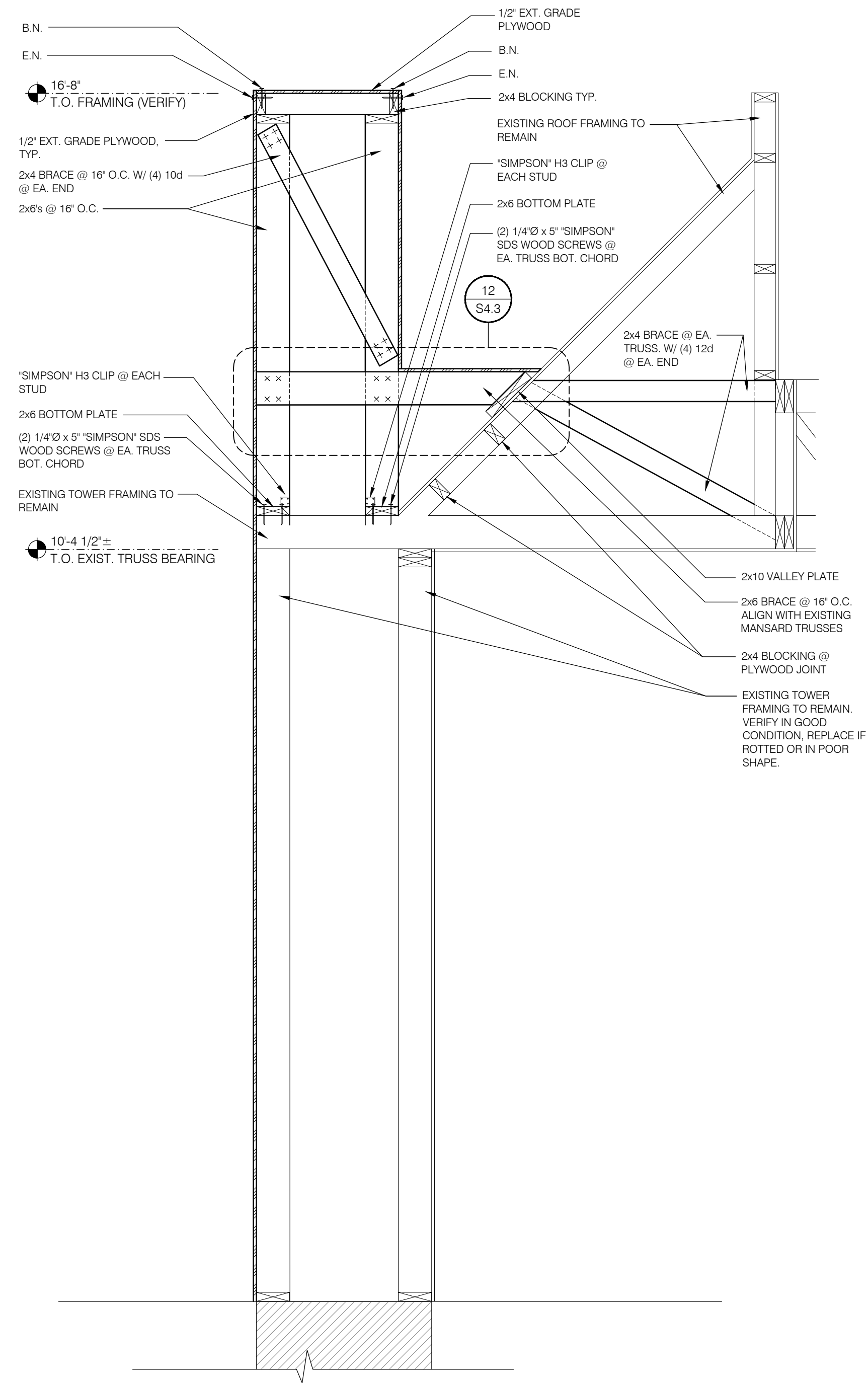
SHEET INFORMATION

DEMOLITION EXTERIOR ELEVATIONS

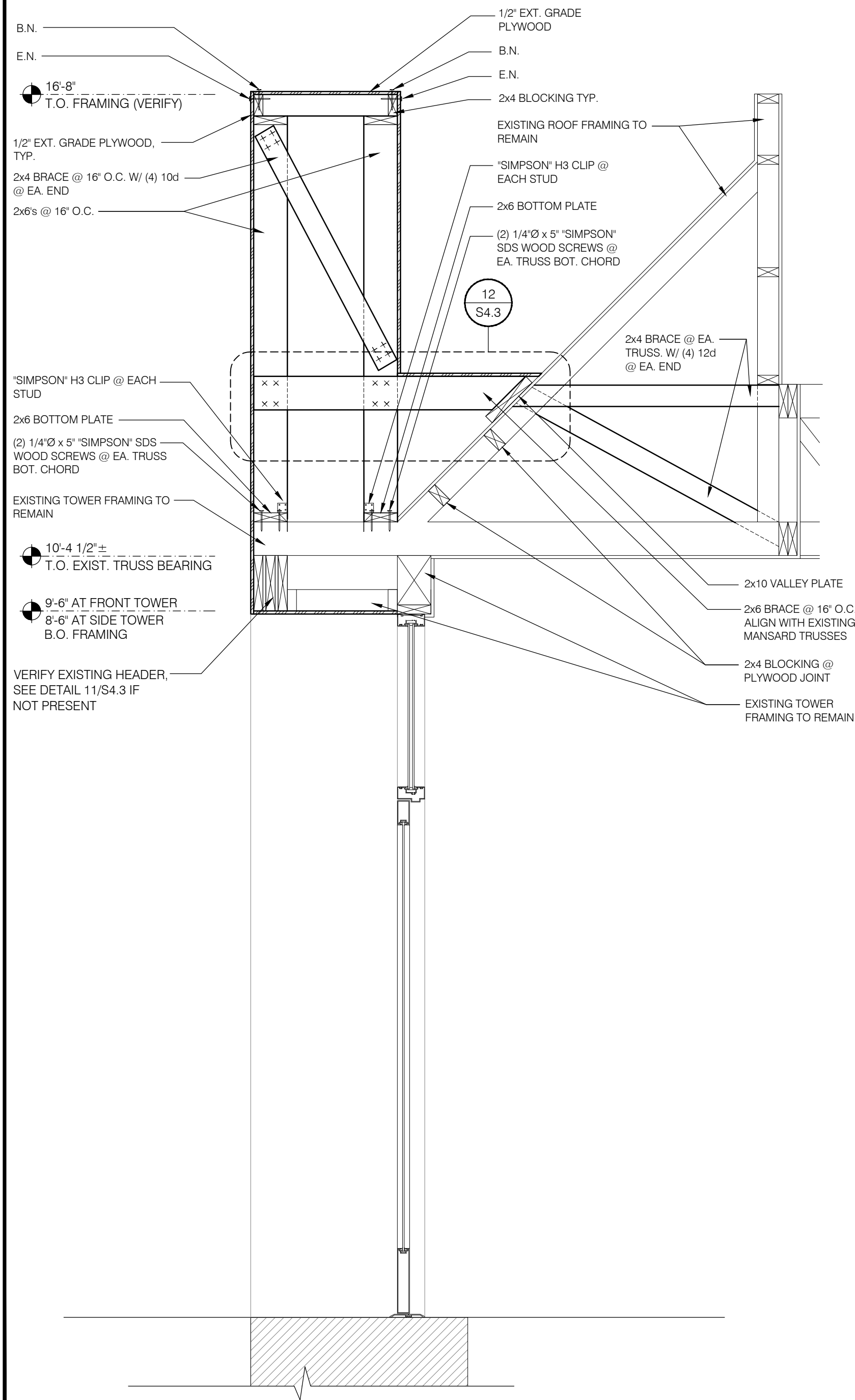
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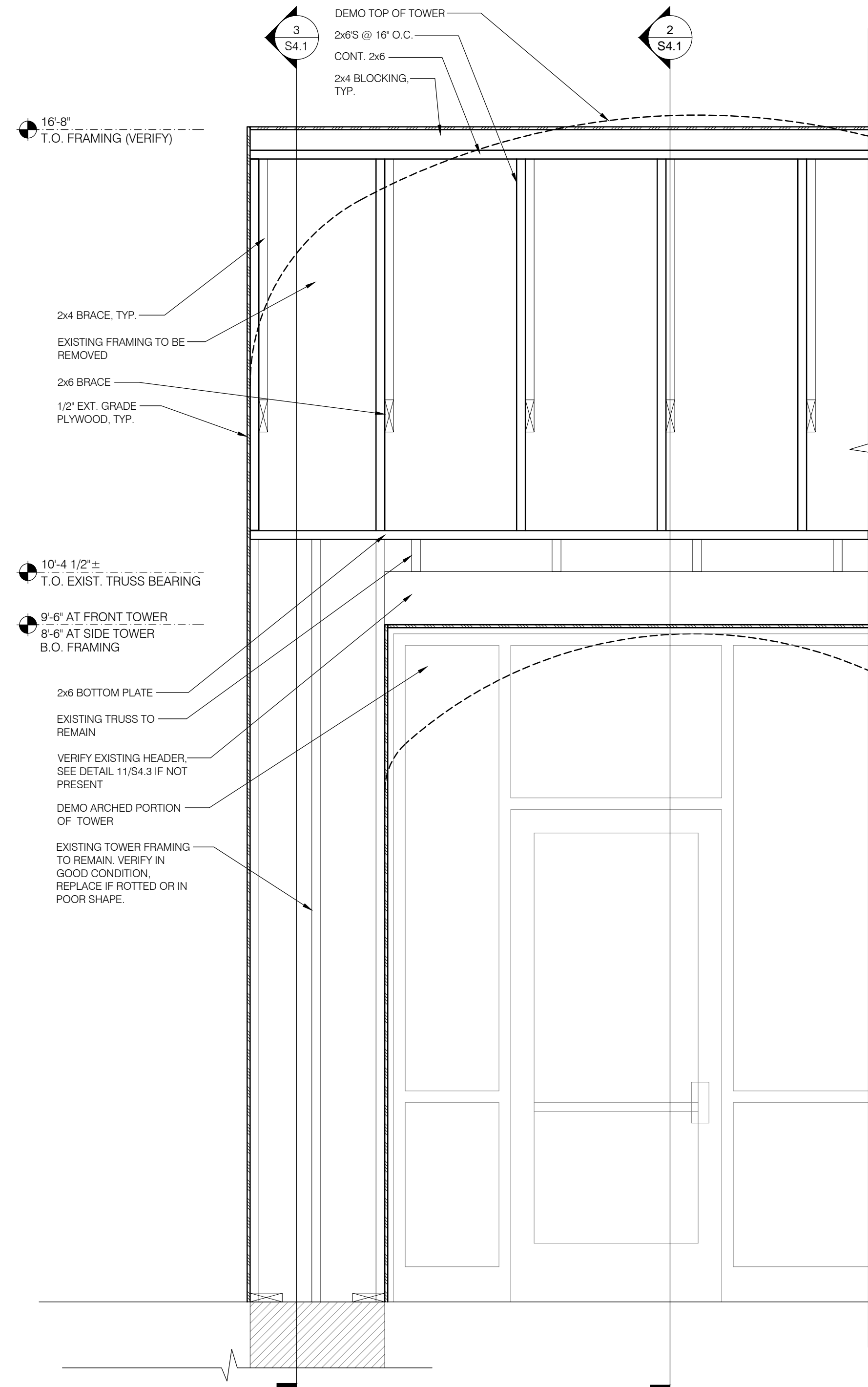
							
NOT USED	7	NOT USED	5	NOT USED	3	TYPICAL SOFFIT DEMOLITION WORK	$\frac{3}{4}" = 1'-0"$ 1
							
NOT USED	8	DRIVE THRU TOWER DEMOLITION WORK	$1" = 1'-0"$ 6	WALK UP TOWER DEMOLITION WORK	$1" = 1'-0"$ 4	FRONT TOWER DEMOLITION WORK	$\frac{3}{4}" = 1'-0"$ 2




TYPICAL TOWER SECTION @ LEG 3/4" = 1'-0" 3



TYPICAL TOWER SECTION @ DOOR 3/4" = 1'-0" 2



TYPICAL TOWER FRONT SECTION 3/4" = 1'-0" 1



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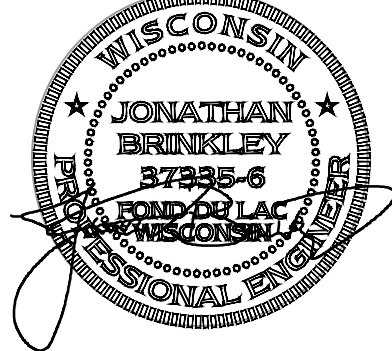
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PROFESSIONAL SEAL



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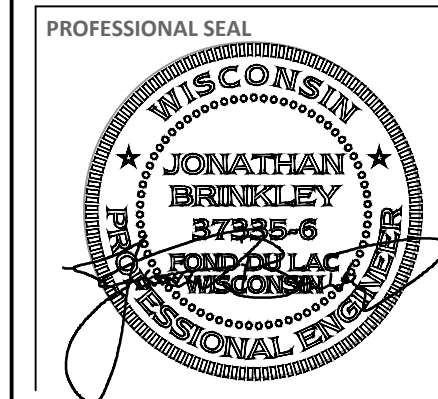
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TYPICAL TOWER
STRUCTURAL SECTIONS

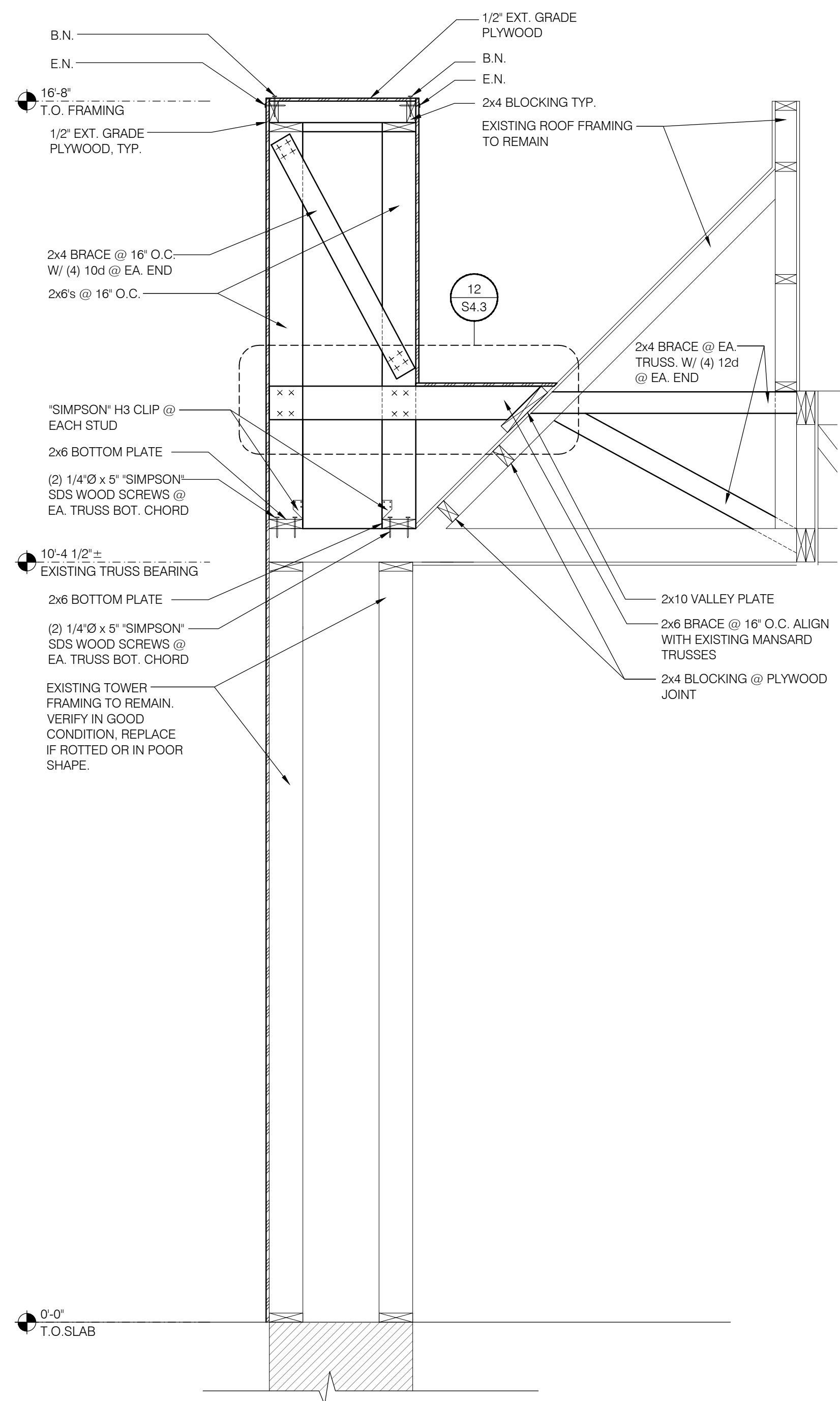
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S4.1

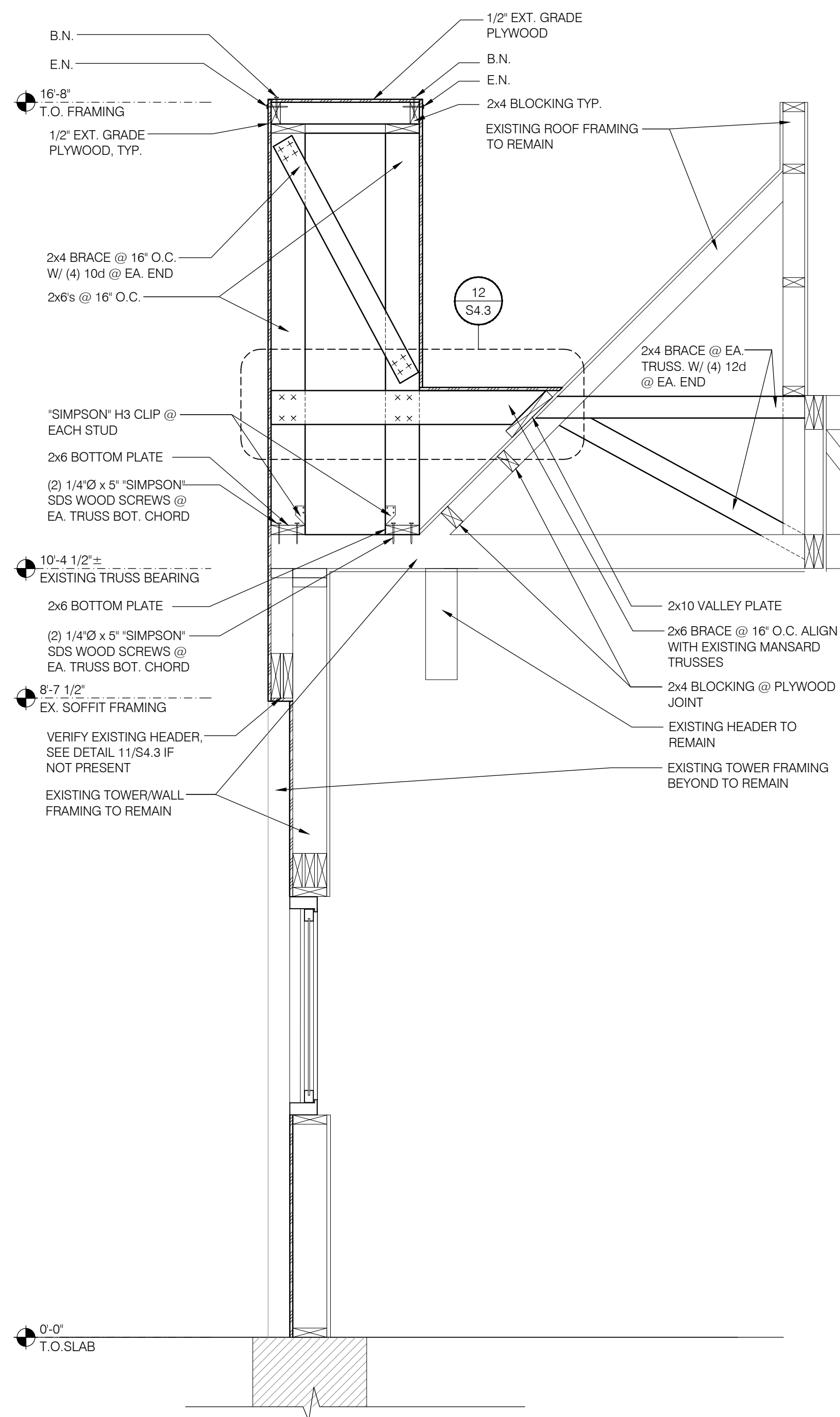
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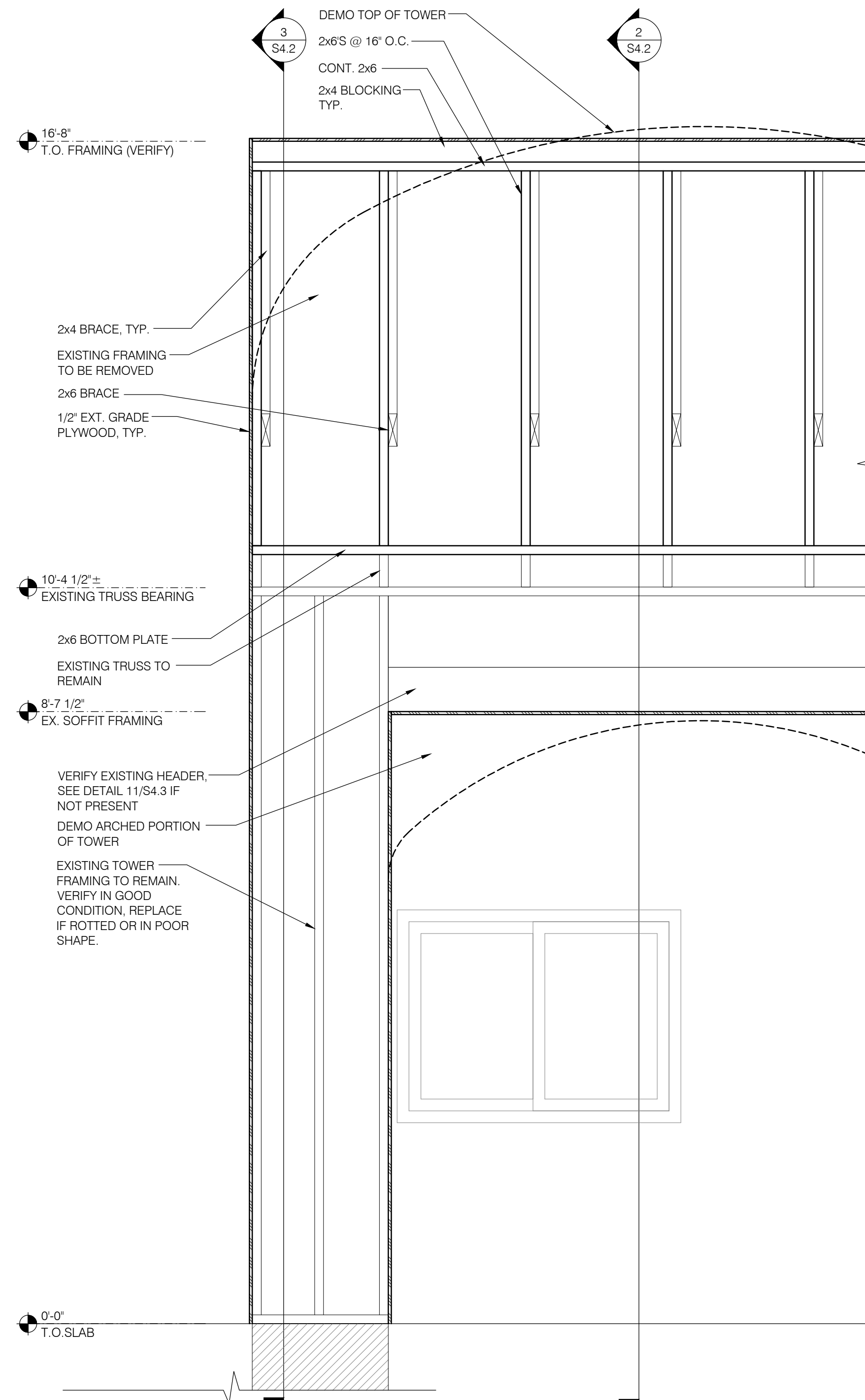
REVISIONS



DRIVE THRU TOWER SECTION @ LEG 3/4" = 1'-0" **3**



DRIVE THRU TOWER SECTION @ WINDOW 3/4" = 1'-0" **2**



DRIVE THRU TOWER FRONT SECTION 3/4" = 1'-0" **1**