

CITY OF FRANKLIN  
PLAN COMMISSION MEETING\*  
FRANKLIN CITY HALL COUNCIL CHAMBERS  
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN  
AGENDA  
THURSDAY, OCTOBER 22, 2015, 7:00 P.M.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of October 8, 2015.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **SECURITY BROKERS, DEALERS AND FLOTATION COMPANIES USES UNIFIED DEVELOPMENT ORDINANCE TEXT AMENDMENT.** Unified Development Ordinance Text Amendment application by RRA, LLC (in relation to an Edward Jones office relocation) to amend the Unified Development Ordinance text at Table 15-3.0603 Standard Industrial Classification Title No. 6211 “Security Brokers, Dealers, and Flotation Companies” to allow for such Use as a Permitted Use in the B-4 South 27th Street Mixed-Use Commercial District. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **RELEASE OF LANDSCAPE PLANTING BUFFER EASEMENT RESTRICTION.** Release of Easement Restriction on Plat application by Douglas J. Arnold and Christine A. Arnold to allow for a fence within the “30 Foot Landscape Planting Buffer” located on the rear (southeast) area of the property at 7776 South Cambridge Court, zoned R-3E Suburban/Estate Single-Family Residence District; Tax Key No. 793-0081-000.
2. **ACCESSORY STRUCTURE SITE PLAN.** Site Plan application by Marvin W. Wolff to allow for the construction of a 2,646 square foot accessory structure for storage of agricultural equipment, upon property located at 8400 West Oakwood Road, zoned A-2 Prime Agricultural District and FW Floodway District; Tax Key No. 935-9994-009.

E. **Adjournment**

\*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

\*\*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

## Franklin Plan Commission Agenda

10/22/15

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[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

### REMINDERS:

Next Regular Plan Commission Meeting: November 5, 2015

**City of Franklin  
Plan Commission Meeting  
October 8, 2015  
Minutes**

unapproved

**Call to Order and Roll Call**

- A. Mayor Steve Olson called the October 8, 2015 Regular Plan Commission meeting to order at 7:15 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Alderman Mark Dandrea and Commissioners David Fowler, Patricia Hogan, Kevin Haley, Scott Thinnes and City Engineer Glen Morrow. Also present were City Attorney Jesse Wesolowski and Planning Manager Joel Dietl.

**Approval of Minutes**

Regular Meeting of September 17, 2015.

- B.
1. Commissioner Fowler moved and Commissioner Haley seconded approval of the September 17, 2015 minutes of the Regular meeting of the Plan Commission as presented. On voice vote, all voted 'aye'. Motion carried.

**Public Hearing Business Matters  
CARLISLE INTERCONNECT  
TECHNOLOGIES, INC. LIGHT  
MANUFACTURING OPERATION  
FACILITIES EXPANSION.**

Planned Development Districts Amendment application by Carlisle Interconnect Technologies, Inc. to remove the approximately 3.7 acre western portion of the subject property from Planned Development District No. 7 (Franklin Industrial Park) and to add that area to Planned Development District No. 18 (Franklin Business Park), upon property zoned Planned Development District No. 7 (Franklin Industrial Park) and Planned Development District No. 18 (Franklin Business Park), located at 5300 West Franklin Drive; Tax Key No. 931-0017-003.

- C.
1. Planning Manager Dietl presented the application by Carlisle Interconnect Technologies, Inc. for a Planned Development Districts Amendment application for property located at 5300 West Franklin Drive.

The Official Notice of Public Hearing was read in to the record by Planning Manager Dietl and the Public Hearing was opened at 7:20 p.m. and closed at 7:22 p.m.

Commissioner Haley moved to recommend approval of an ordinance to amend §15-3.0412 of the Unified Development Ordinance Planned Development District No. 7 (Franklin Industrial Park) to remove an approximately 3.7 acre area of property and to amend §15-3.0423 of the Unified Development Ordinance Planned Development District No. 18 (Franklin Business Park) to add that approximately 3.7 acre area of property and to allow for an approximate 30,000 square foot addition to the existing building and approximately 75 additional parking spaces and to eliminate required setbacks for interior parcel lines where contiguous parcels have been combined by Land Combination permit. Seconded by Commissioner Hogan. On voice vote, all voted 'aye'. Motion carried.

**Business Matters  
TORBENSON SHOWS LLC  
HOLIDAY CRAFT AND GIFT EXPO  
AT THE MILWAUKEE COUNTY**

- D.
1. Planning Manager Dietl presented the application by James C. Torbenson for Temporary Use approval to hold a Holiday Craft and Gift Expo at the Milwaukee

**Item D.1. (continued)**

**SPORTS COMPLEX.**

Temporary Use application by James C. Torbenson/Torbenson Shows LLC, for a holiday craft and gift expo at the Milwaukee County sports complex located at 6000 West Ryan Road, November 27, 2015 to November 29, 2015, on property zoned A-1 Agricultural District, FW Floodway District, FC Floodplain Conservancy District, C-1 Conservancy District and R-8 Multiple Family Residence District; Tax Key Nos. 852-9999-001 and 882-9987-001.

County Sports Complex located at 6000 West Ryan Road

Commissioner Fowler made a motion to approve a resolution imposing conditions and restrictions for the approval of a Temporary Use for a holiday craft and gift expo for property located at 6000 West Ryan Road (Milwaukee County Sports Complex). Seconded by Commissioner Hogan. On voice vote, all voted 'aye'. Motion carried (6-0-0).

**Adjournment**

- E. Commissioner Hogan moved and Commissioner Haley seconded to adjourn the Plan Commission meeting of October 8, 2015 at 7:33 p.m. All voted 'aye'; motion carried.



# CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of October 22, 2015

### Unified Development Ordinance Text Amendment

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**RECOMMENDATION:** City Development Staff recommends approval of the proposed Unified Development Ordinance Text Amendment to Table 15-3.0603 to allow Standard Industrial Classification Title No. 6211 “Security Brokers, Dealers, And Flotation Companies” as a permitted use in the B-4 Community Business District.

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<b>Project Name:</b>	SIC Code No. 6211 to the B-4 District
<b>Project Address:</b>	N/A
<b>Applicant:</b>	Rochelle Adair, RRA LLC
<b>Owners (property):</b>	N/A
<b>Current Zoning:</b>	N/A
<b>2025 Comprehensive Master Plan:</b>	N/A
<b>Use of Surrounding Properties:</b>	N/A
<b>Applicant Action Requested:</b>	Recommendation of approval for the proposed Unified Development Ordinance Text Amendment to add SIC Code No. 6211 as a permitted use in the B-4 District.

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#### **PROJECT DESCRIPTION AND ANALYSIS:**

On September 28, 2015, the applicant submitted an application for a Unified Development Ordinance Text Amendment to amend Table 15-3.0603 to allow Standard Industrial Classification Title No. 6211 Security Brokers, Dealers, And Flotation Companies as a Permitted Use in the B-4 South 27<sup>th</sup> Street Mixed Use Commercial District.

The applicant submitted the application in anticipation of an Edward Jones office being located at 7441 South 27<sup>th</sup> Street. According to the Edward Jones representative, the business use is most appropriately classified under SIC Code No. 6211, which is not currently allowed within the B-4 District.

Table 15-3.0603 of the UDO sets forth those uses which are permitted and special uses in all nonresidential zoning districts in the City of Franklin. Use designations are based on the Standard Industrial Classification Manual (1987, or latest edition) published by the Executive Office of the President, Office of Management and Budget.

The SIC manual describes SIC Title No. 6211 Security Brokers, Dealers, And Flotation Companies as:

“Establishments primarily engaged in the purchase, sale, and brokerage of securities; and those, generally known as investment bankers, primarily engaged in originating, underwriting, and distributing issues of securities. Establishments primarily engaged in

issuing shares of mutual and money market funds, unit investment trusts, and face amount certificates are classified in Industry Group 672. Establishments primarily engaged in providing investment advice on a contract or fee basis to establishments which deal in financial contracts are classified in Industry 6282.”

The following specific uses are associated with SIC Title No. 6211 and included in the description:

- Agents for mutual funds
- Bond dealers and brokers
- Distributors, security
- Floor traders, security
- Investment bankers
- Investment certificates, sale of
- Investment firm-general brokerage
- Mineral leases, dealers in
- Mineral royalties, dealers in
- Mortgages, buying and selling (rediscounting)
- Mutual fund agents
- Mutual funds, selling by independent salesperson
- Note brokers
- Oil and gas lease brokers
- Oil royalties, dealers in
- Option dealers, stock
- Sale of partnership shares in real estate syndicates
- Security brokers
- Security dealers
- Security flotation companies
- Security traders
- Security underwriters
- Stock brokers and dealers
- Tax certificate dealers

As shown in the attached excerpt from Table 15-3.0603 of the UDO, this use is currently allowed as a permitted use within the B-6, B-7, CC, OL-1, and OL-2 zoning districts, and as a special use within the BP zoning district.

**STAFF RECOMMENDATION:**

City Development Staff recommends approval of the proposed Unified Development Ordinance Text Amendment to Table 15-3.0603 to allow Standard Industrial Classification Title No. 6211 “Security Brokers, Dealers, And Flotation Companies” as a permitted use in the B-4 Community Business District.

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

*[Draft 10-6-15]*

ORDINANCE NO. 2015-\_\_\_\_

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE  
TEXT AT TABLE 15-3.0603 STANDARD INDUSTRIAL CLASSIFICATION  
TITLE NO. 6211 “SECURITY BROKERS, DEALERS, AND FLOTATION COMPANIES”  
TO ALLOW FOR SUCH USE AS A PERMITTED USE IN THE B-4 SOUTH 27TH STREET  
MIXED-USE COMMERCIAL DISTRICT  
(RRA, LLC, APPLICANT)

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WHEREAS, Table 15-3.0603 of the Unified Development Ordinance sets forth the permitted and special uses in the nonresidential zoning districts; and

WHEREAS, the City of Franklin having applied for a text amendment to Table 15-3.0603, Standard Industrial Classification Title No. 6211 “Security Brokers, Dealers, and Flotation Companies”, to allow for such use as a Permitted Use in the B-4 South 27th Street Mixed-Use Commercial District; and

WHEREAS, the Plan Commission having reviewed the proposed amendment to allow for Standard Industrial Classification Title No. 6211 “Security Brokers, Dealers, and Flotation Companies” as a Permitted Use in the B-4 South 27th Street Mixed-Use Commercial District, and having held a public hearing on the proposal on the \_\_\_\_ day of \_\_\_\_\_, 2015 and thereafter having recommended approval of such amendment; and

WHEREAS, the Common Council having accepted the recommendation of the Plan Commission and having determined that the proposed amendment is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and will serve to further orderly growth and development and promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: Table 15-3.0603 of the Unified Development Ordinance of the Municipal Code of the City of Franklin, Wisconsin, only as it pertains to: Standard Industrial Classification Title No. 6211 “Security Brokers, Dealers, and Flotation Companies”, is hereby amended as follows: insert “P” (Permitted Use) in the B-4 column.

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

ORDINANCE NO. 2015-\_\_\_\_

Page 2

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015, by Alderman \_\_\_\_\_.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



NO	STANDARD INDUSTRIAL CLASSIFICATION TITLE	B-1	B-2	B-3	B-4	B-5	B-6	B-7	CC	VB	I-1	P-1	M-1	M-2	BP	OL-1	OL-2	A-1	A-2	M-3	L-1	PDD
608	Foreign Bank & Branches & Agencies																					
6081	Foreign bank & branches & agencies				P		P	P	P						S	P	P					
6082	Foreign trade & international banks				P		P	P	P						S	P	P					
609	Functions Closely Related to Banking																					
6091	Nondeposit trust facilities				P		P	P	P						S	P	P					
6099	Functions related to deposit banking		P	P	P			P	P							P	P					P
61	NONDEPOSITORY INSTITUTIONS																					
611	Federal & Federal-Sponsored Credit																					
6111	Federal & federal-sponsored credit		P	P			P	S	P						S	S	P					P
614	Personal Credit Institutions																					
6141	Personal credit institutions		P	P				S							S	S	P					P
615	Business Credit Institutions																					
6153	Short-term business credit		P	P				S	S						S	S	S					P
6159	Miscellaneous business credit institutions		P	P				S	P						S	S	P					P
616	Mortgage Bankers and Brokers																					
6162	Mortgage bankers and correspondents		P	P	P			P	P						S	P	P					P
6163	Loan brokers		P	P	P			P	S						S	P	S					P
62	SECURITY AND COMMODITY BROKERS																					
621	Security Brokers and Dealers																					
6211	Security brokers and dealers				P		P	P	P						S	P	P					P
622	Commodity Contracts Brokers, Dealers																					
6221	Commodity contracts brokers, dealers						P	P	P						S	P	P					P
623	Security and Commodity Exchanges																					
6231	Security and commodity exchanges						P	P	P						S	P	P					P
628	Security and Commodity Services																					
6282	Investment advice		P	P			P	P	P						P	P	P					P
6289	Security & commodity services, not elsewhere classified						P	P	P						P	P	S					P
63	INSURANCE CARRIERS																					
631	Life Insurance	P	P	P			P								P		P					P
6311	Life insurance	P	P	P	P		P	P	P						P	P	P					P
632	Medical Service and Health Insurance	P	P	P			P								P		P					P
6321	Accident and health insurance	P	P	P	P		P	P	P						P	P	P					P
6324	Hospital and medical service plans	P	P	P	P		P	P	P													

*City of Franklin Unified Development Ordinance*

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## Description for 6211: Security Brokers, Dealers, and Flotation Companies

Division H: Finance, Insurance, And Real Estate | Major Group 62: Security And Commodity Brokers, Dealers, Exchanges, And Services

Industry Group 621: Security Brokers, Dealers, And Flotation

### 6211 Security Brokers, Dealers, and Flotation Companies

Establishments primarily engaged in the purchase, sale, and brokerage of securities; and those, generally known as investment bankers, primarily engaged in originating, underwriting, and distributing issues of securities. Establishments primarily engaged in issuing shares of mutual and money market funds, unit investment trusts, and face amount certificates are classified in Industry Group 672. Establishments primarily engaged in providing investment advice on a contract or fee basis to establishments which deal in financial contracts are classified in Industry 6282.

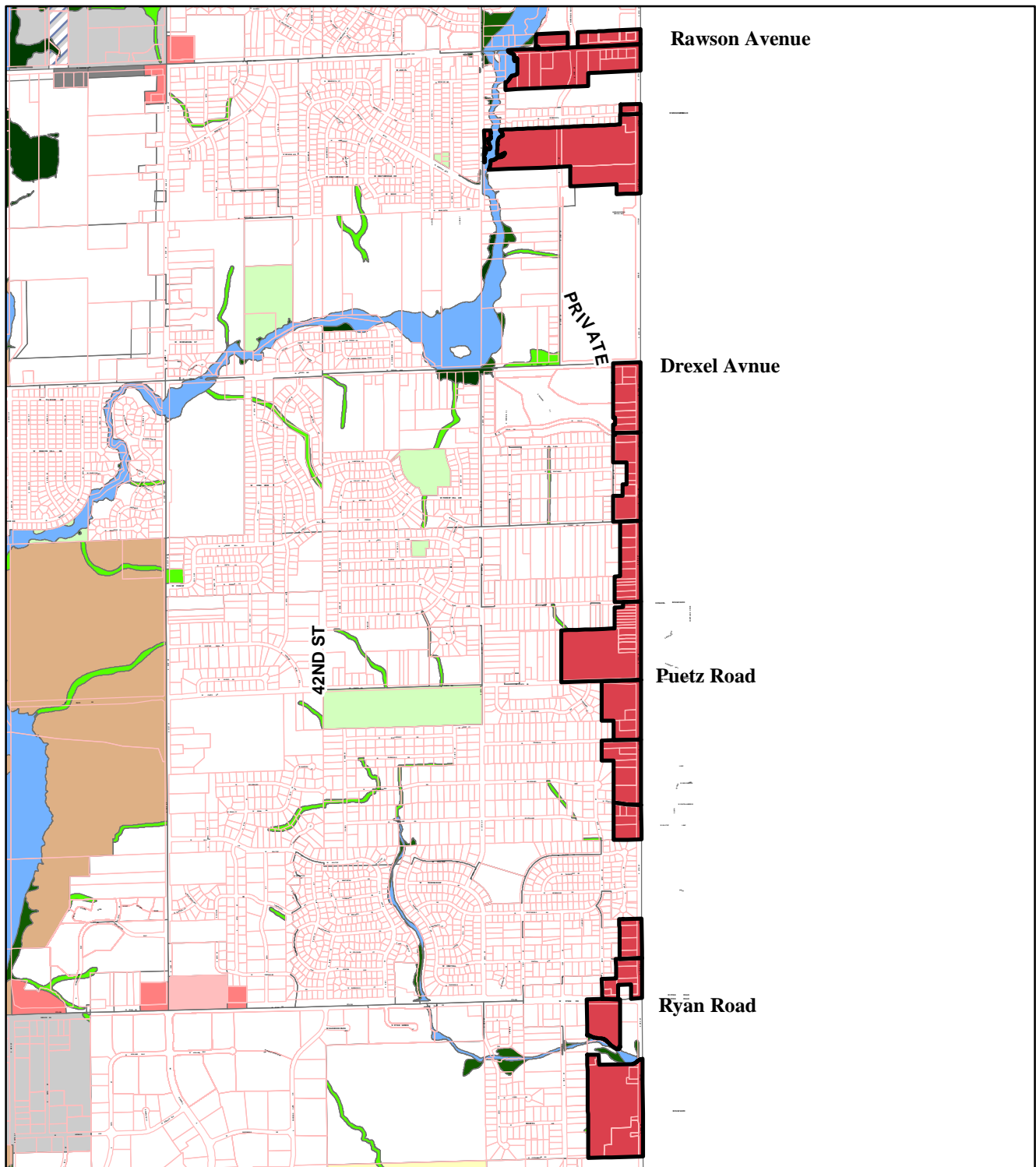
- Agents for mutual funds
- Bond dealers and brokers
- Distributors, security
- Floor traders, security
- Investment bankers
- Investment certificates, sale of
- Investment firm-general brokerage
- Mineral leases, dealers in
- Mineral royalties, dealers in
- Mortgages, buying and selling (rediscounting)
- Mutual fund agents
- Mutual funds, selling by independent salesperson
- Note brokers
- Oil and gas lease brokers
- Oil royalties, dealers in
- Option dealers, stock
- Sale of partnership shares in real estate syndicates
- Security brokers
- Security dealers
- Security flotation companies
- Security traders
- Security underwriters
- Stock brokers and dealers
- Tax certificate dealers

SIC Search

Division Structure

Major Group Structure

## B-4 S 27th St Mixed Use Commercial District



0 1,450 2,900 5,800 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

City Development 2012  
(2010 Aerial Layer)



**Subject:** RE: Edward Jones Zoning  
**From:** Schuette, Thomas (thomas.schuette@cushwake.com)  
**To:** info@adairfloors.com;  
**Date:** Monday, September 21, 2015 11:07 AM

Franklin

SEP 28 2015

City Development

Let me know if the statement below will suffice.

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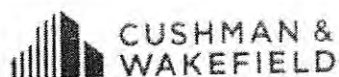
6211: Security Brokers, Dealers, and Flotation Companies

The Franklin Office of Edward Jones will be used for general office space in connection with investment brokerage, insurance sales and related financial services.

Thanks,

**Thomas Schuette**  
Senior Transaction Coordinator

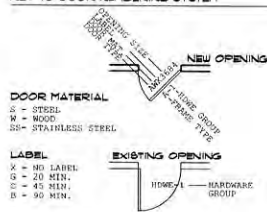
Direct: 314-515-3910  
Fax: 314-515-0520  
[thomas.schuette@cushwake.com](mailto:thomas.schuette@cushwake.com)



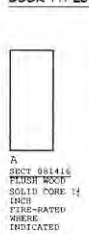
# KEY TO WALL SYMBOLS

- EXISTING WALL
- INTERIOR NON-BEARING PARTITION
- 1/2" INCH METAL STUDS
- 24" INCHES ON CENTER
- 1/2" INCH GYPSUM BOARD BOTH SIDES

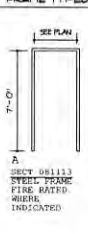
# KEY TO DOOR NUMBERING SYSTEM



# DOOR TYPES



# FRAME TYPES



# CODE ANALYSIS

**Minnesota State Building Code**  
 2007 Edition, as amended by the Minnesota Department of Building Safety (MDSB) and the Minnesota Department of Fire and Safety (MDFS).

**Chapter 3 - Use and Occupancy Classification**  
 Section 302.1.1. Occupancy Classification:  
 - Group A (Assembly, 104)  
 - Residential (Residential)

**Chapter 4 - Special Details Requirements Based on Use and Occupancy**  
 Chapter 4.1. General building details requirements:  
 - Section 401.1. General building details requirements:  
 - Section 401.2. General building details requirements:  
 - Section 401.3. General building details requirements:  
 - Section 401.4. General building details requirements:  
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 - Section 401.100. General building details requirements:

# TENANT IMPROVEMENTS

## Edward Jones Office Alteration

EDJ # 98095

7441 SOUTH 27TH STREET STE. 202  
 FRANKLIN, WISCONSIN 53132

# SHEET INDEX

- ARCHITECTURAL
- A1.0 FLOOR/FURNITURE PLAN
- A2.0 REFLECTED CEILING PLAN
- MECHANICAL/PLUMBING/ELECTRICAL
- By Design-Build Subcontractors
- SUBMITTED SEPARATELY
- FIRE PROTECTION
- By Design-Build Subcontractors
- SUBMITTED SEPARATELY

# PROJECT CONSULTANTS

ARCHITECT: JAMES A. STRAPKO, ARCHITECT LTD.  
 4157 MINNEAPOLIS AVENUE  
 MINNEAPOLIS, MINNESOTA 55406  
 TEL: 612-729-4112  
 FAX: 612-729-4831  
 CONTACT: KATHY KORDIG

CONTRACTOR: M-COM CONSTRUCTION, INC.  
 4420 ALDRICH AVE. N., SUITE 100  
 MINNEAPOLIS, MINNESOTA 55419  
 TEL: 612-824-1297  
 FAX: 612-824-1370  
 CONTACT: JON McDONALD

# PROJECT DATA

SCOPE OF WORK  
 1. TENANT IMPROVEMENTS FOR A EDWARD JONES OFFICE

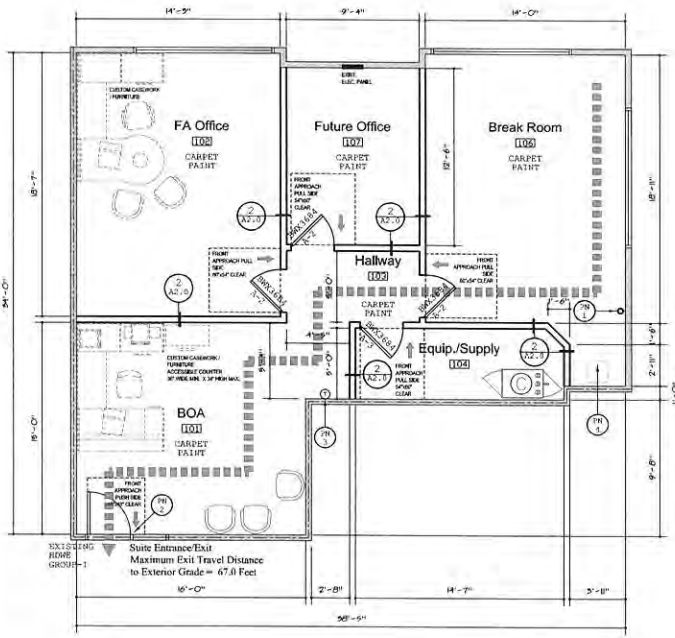
PROJECT:  
 FLOOR AREA: 1075 NET SQ. FT.  
 OCCUPANCY: B  
 CONSTRUCTION TYPE: IIB (ASSUMED, FIELD VERIFY)  
 SIRENAGE: YES  
 FIRE ALARM: YES  
 NUMBER OF STORIES: 2

# GENERAL NOTES - FLOOR PLAN

- Landlord to deliver space in as-is condition.
- Replace hollow core doors with solid core doors throughout suite.
- Remove existing flooring & base throughout suite, except in 104. Prep floor surfaces as required to receive new finishes.
- Existing blinds to remain, protect during construction.
- Clean and reuse existing plumbing fixtures. Install new accessible fixtures, accessories and hardware as required throughout space.
- Patch, repair & prep existing partitions as required to receive new finish.
- Patch, repair or replace existing ceiling tile as required.

# NUMBERED NOTES - FLOOR PLAN

- SECTION 661053, 104420  
 By Contractor:  
 - Provide fire extinguisher on wall bracket.  
 - Field verify exact location.
- DIVISION 26  
 By Contractor:  
 - Provide door chime at entry door.  
 - Chime to be located in room 102.
- DIVISION 23  
 By Contractor:  
 - Existing digital/programmable thermostat to remain.
- SECTION 664023  
 By Contractor:  
 - Existing wall cabinets, base cabinets, and sink to remain.



Franklin  
 OCT 9 2015  
 City Development

**STRAPKO (P) (A)**

**JAMES A. STRAPKO**  
 Diane Paul Strapko  
 7741 South 27th Street  
 Franklin, Wisconsin 53132

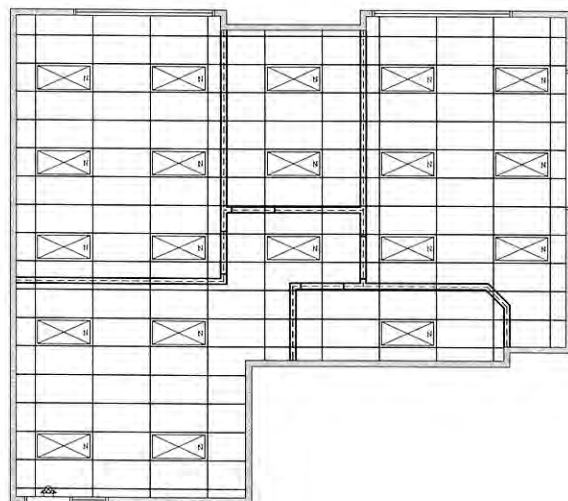
**TENANT IMPROVEMENTS**  
 Ed Jones Office  
 7741 South 27th Street  
 Franklin, Wisconsin 53132

**PERMIT SET**  
 FLOOR/FURNITURE PLAN  
 CONSTRUCTION DOCUMENTS

**CD 1504-0**  
 06-18-15

**CD**  
**A1.0**





1  
A2.0

**REFLECTED CEILING PLAN**  
 1/4" = 1'-0"

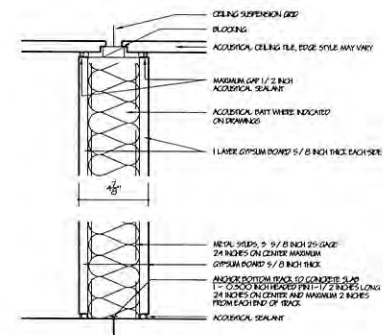
PLAN NORTH

# KEY TO WALL TYPES & SYMBOLS

INTERIOR NON-BEARING PARTITION  
 - ACOUSTICAL BATT

# GENERAL NOTES - REFLECTED CEILING PLAN


1. HVAC, PLUMBING, AND ELECTRICAL INFORMATION IN THESE DRAWINGS ARE FOR REFERENCE. THEY ARE NOT A SUBSTITUTE FOR ENGINEERING DRAWINGS AND SPECIFICATIONS. THEY ARE NOT TO BE SUBMITTED FOR HVAC, PLUMBING, OR ELECTRICAL PERMITS.  
 2. NEW ACOUSTICAL CEILING GRID AND TILE.  
 3. NEW LIGHTING LAYOUT BY TENANT.





2  
A2.0


**WALL SECTION**  
 3/8" = 1'-0"


# KEY TO CEILING SYMBOLS


 EXISTING 2X4 RECESSED FLUORESCENT FIXTURE


 NEW 2X4 RECESSED FLUORESCENT FIXTURE


 2X2 RECESSED FLUORESCENT FIXTURE


 EXISTING LIGHT/EXHAUST FAN COMBO


 LIGHT/EXHAUST FAN COMBO

 EMERGENCY LIGHT FIXTURE  
 MANUF: MCPHILSEN, DUAL-LITE, EQUALS  
 MODEL: MCPHILSEN CAXXH  
 DUAL-LITE LIT  
 TEST: SELF DIAGNOSTICS

 EMERGENCY/EXIT LIGHT FIXTURE  
 MANUF: MCPHILSEN, DUAL-LITE  
 MODEL: MCPHILSEN CAXXLRW  
 DUAL-LITE LITON  
 TEST: SELF DIAGNOSTICS

 EXIT LIGHT  
 MANUF: MCPHILSEN  
 MODEL: MCPHILSEN CXXL-RW  
 DUAL-LITE LEXHRS  
 TEST: SELF DIAGNOSTICS SEE PLAN FOR WALL OR CEILING MOUNT

 EXISTING RETURN

 EXISTING DIFFUSER

# KEY PLAN

NO SITE PLAN AVAILABLE

## GENERAL NOTES

1. ALL ITEMS ARE TO BE COMPLETED PER EDWARD JONES SPECIFICATIONS (SEE PGS. 4-6) UNLESS NOTED OTHERWISE ON THESE PAGES.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS; IF THERE ARE ANY CHANGES, REVISIONS OR DISCREPANCIES PLEASE CALL: 314-515-3994
- \*EXISTING AND NEW PARTITION DIMENSION MAXIMUM TOLERANCE IS 4" UNLESS NOTED AS HOLD.
3. CONTRACTOR TO CONTACT THE CITY TO DETERMINE IF ANY UPGRADES WILL NEED TO BE MADE TO COMPLY WITH LOCAL STATE OR PROVINCIAL CODES INCLUDING FIRE MARSHAL FOR SPRINKLER AND ALARM SYSTEMS.
4. LANDLORD/CONTRACTOR TO PROVIDE HVAC CONTROLS FOR EDWARD JONES SPACE.
5. CONTRACTOR TO PROVIDE NEW ELECTRICAL DEVICES AS INDICATED ON PLAN IF AN EXISTING DEVICE IS NOT WITHIN 36" OF DEVICE INDICATED. \* DO NOT REMOVE DEVICES THAT ARE EXISTING IN REMAINING WALLS, UNLESS NOTED. VERIFY EXISTING DEVICES ARE IN GOOD WORKING CONDITION.
6. A SWITCH SHALL OCCUR AT EACH EGRESS DOOR, AND SHALL BE 3-WAY IF APPLICABLE FOR MULTIPLE ENTRANCES.
7. MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) ARE ALL DESIGN/BUILD; MEP CONTRACTORS ARE REQUIRED TO OBTAIN ALL REQUIRED DRAWINGS, PERMITS, ETC. RELATED TO THEIR WORK.
8. CONTRACTOR TO PROVIDE AND INSTALL EXIT/EMERGENCY LIGHTS AS REQUIRED BY LOCAL, STATE, OR PROVINCIAL BUILDING CODES.
9. CONTRACTOR TO COORDINATE INSTALL OF CATSE PHONE LINES BY INC (QUANTITY AS SHOWN ON SHEET 2 OF 6) IN 3/4" CONDUIT (CONDUIT BY GC) AS REQUIRED BY LOCAL CODE FROM BUILDING SOURCE (DEMARC) TO BOC LOCATION AS INDICATED ON PLAN BY SYMBOL.

## PROJECT CONTACT INFORMATION

LEASING COORDINATOR/PROJECT MANAGER:  
THOMAS SCHUETTE: 314-515-3910

BUILDING OWNER/PROPERTY MANAGER CONTACT:  
ROCHELLE ADAIR: 414-761-3660

GENERAL CONTRACTOR:  
M-CON CONSTRUCTION INC. JON MCDONALD (0) 612-824-1293 (C) 763-286-3411  
FLOORING CONTACT:  
NATIONAL RETAIL FLOORING SERVICES, INC. 866-440-6737 [edwardjones@nrfinc.com](mailto:edwardjones@nrfinc.com)

METAL LOGOS CONTACT:  
DEB GORAT 402-339-3264

INTEGRATED NETWORK CABLES (INC) CONTACT:  
INSTALL TEAM 888-519-9525

# Edward Jones BRANCH FACILITIES

BRANCH OFFICE 98095

7441 S. 27TH STREET  
STE 202  
FRANKLIN, WI 53132


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SHEET 1 COVER SHEET  
SHEET 2 PARTITION PLAN  
SHEET 3 FURNITURE LAYOUT  
SHEET 4-6 EDWARD JONES SPECIFICATIONS

## BUILDING INFORMATION

CONSTRUCTION TYPE: STEEL FRAMING  
MULTI-STORY: 2ND FLOOR, SPRINKLERED  
OCCUPANCY USE GROUP: B-BUSINESS  
LOW VOLTAGE PERMIT REQUIRED

## EQUIPMENT LEGEND

- ☐ COMPUTER TERMINAL
- ☐ LASER PRINTER
- ☐ COPIER/FAX/SCANNER
-  BOC (Branch Office Controller)  
\*PHONE SYSTEM\*

\*\*EQUIPMENT SUPPLIED & INSTALLED BY  
EDWARD JONES\*\*

## LEGEND

- DEMO PARTITION
- EXIST. PARTITION
- EXIST. DEMISING PARTITION
- NEW PARTITION
- NEW PARTITION/ INSUL
- NEW DEMISING PARTITION
- HEADER
- EXISTING DOOR
- NEW DOOR
- ⊕ DUPLEX RECEPTACLE
- ⊕ QUADRAPLEX RECEPTACLE
- ⊕ DEDICATED SIMPLEX RECEPTACLE TO BE MARKED WITH "D" & ORANGE
- ▲ SINGLE GANG PHONE/DATA BOX
- ▲ DOUBLE GANG PHONE/DATA BOX
- \$ SWITCH
- E EXISTING
- L LANDLORD'S RESPONSIBILITY
- EP ELECTRICAL PANEL
- ⊕ THERMOSTAT LOCATION
- ⊕ WATER HEATER
- ⊕ EXIT/EMER. COMBO
- ⊕ EXIT/EMERGENCY LIGHT
- ⊕ WATER COOLER TO BE PROVIDED BY FINANCIAL ADVISOR
- ⊕ FIRE EXTINGUISHER

## EXTERIOR SIGN CIRCUIT INSTALLATION INSTRUCTIONS

GENERAL CONTRACTOR (GC) TO VERIFY EXISTENCE AND FUNCTIONALITY OF SIGN CIRCUIT ALONG SIGN BAN SERVING SUBJECT SPACE. EXISTING CIRCUIT MUST BE LOCATED IN/ON THE SIGN BAN ABOVE THE SUBJECT SPACE AND WITHIN SIX FEET (6') OF THE CENTERLINE OF THE SPACE. THE CIRCUIT SHOULD BE A DIRECT FEED FROM THE ELECTRICAL PANEL WITHIN THE TENANT SPACE AND BE FED THROUGH A TIME CLOCK OR PHOTOCCELL. SHOULD THE CIRCUIT NOT EXIST AND/OR BE DEEMED NONFUNCTIONAL, GC TO PROVIDE INSTALLATION OF NEW DEDICATED SIGN CIRCUIT, PHOTOCCELL AND JUNCTION BOX TO BE MOUNTED WITHIN THE SIGN BAN NO MORE THAN SIX FEET (6') FROM THE CENTERLINE OF THE SUBJECT SPACE. COST FOR INSTALLATION OF THE CIRCUIT, JUNCTION BOX AND PHOTOCCELL TO BE INCLUDED IN THE BASE ELECTRICAL BID FOR THE PROJECT AS WELL AS FINAL CONNECTION OF SIGN BY ELECTRICIAN IF REQUIRED BY CODE.

## ISSUES/REVISIONS

NO.	DATE	DESCRIPTION

\*\* DO NOT SCALE DRAWINGS \*\*

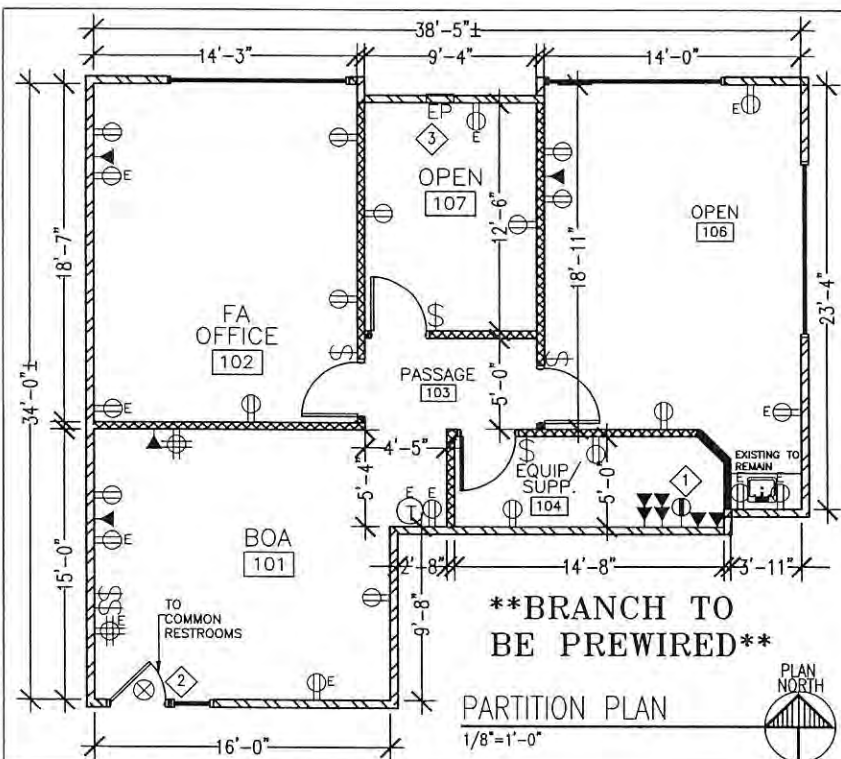
\*\* CONTRACTOR MUST HAVE (6) PAGES FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY PAGES, PLEASE CONTACT DESIGNER, TONYA MCMILLEN AT: 314-515-3994

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Edward Jones  
BRANCH FACILITIES  
BRANCH OFFICE 98095  
DATE: 7.7.2015

EXHIBIT A

SHEET 1 of 6



### CONTRACTOR (SITE SPECIFIC) NOTES:

1. LANDLORD TO DELIVER SPACE IN AS-IS CONDITION.
2. ALL ITEMS TO BE COMPLETED PER EDWARD JONES SPECIFICATIONS, SEE PAGES 4-6 UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & WINDOW MULLION PLACEMENT PRIOR TO CONSTRUCTION; IF YOU ARE UNABLE TO VERIFY DIMENSIONS OR IF A DISCREPANCY OCCURS, NOTIFY DESIGNER IMMEDIATELY.
4. INC TO INSTALL \*4\* CAT5E PHONE LINES IN 3/4" CONDUIT PROVIDED BY GC FROM BUILDING SOURCE TO BOC LOCATION IN EQUIP/SUPP 104. SEE DETAIL ON SHEET 6 OF 6.
5. INSTALL NEW ELECTRICAL PER PLAN UNLESS WITHIN 36" OF EXISTING RECEPTACLE. PAINT EP TO MATCH PARTITION.
6. EXISTING HVAC SYSTEM TO REMAIN. INSTALL/RELOCATE SUPPLY & RETURN GRILLES, INCLUDING DUCTWORK, AS REQUIRED FOR COMPLETE & BALANCED WORKING SYSTEM AND TO ACHIEVE ONE SUPPLY & ONE RETURN AT MINIMUM IN EACH ROOM. CLEAN & CHECK HVAC UNIT; EXISTING DIGITAL PROGRAMMABLE THERMOSTAT TO REMAIN AS SHOWN ON PLAN IN BOA 101.
7. INSTALL T8 LAMPS AND ELECTRONIC BALLASTS IN ALL EXISTING FIXTURES IF NOT EXISTING; INSTALL/RELOCATE 2'x4' FLUORESCENT LAY-IN LIGHTS ACCORDING TO NEW PARTITIONS. INSTALL COMMERCIAL 6" RECESSED SPOTLIGHT TO ILLUMINATE INTERIOR LOGO AS PER KEYNOTE B ON PAGE 3 OF 6; SEPARATELY SWITCHED. CLEAN LENSES AND REPLACE ALL STAINED/DAMAGED CEILING TILES. INSTALL INSULATION ABOVE CEILING AT ROOM 102.
8. PATCH, REPAIR, & PREP EXISTING PARTITIONS AS REQUIRED FOR NEW FINISHES. ENSURE ALL PARTITIONS ARE SIMILAR IN TEXTURE; MATCH AS REQUIRED.
9. VERIFY LOCATION OF ALL EXISTING DEMISING PARTITIONS. VERIFY THAT THEY EXTEND TO THE DECK & ARE INSULATED; EXTEND & ADD INSULATION AS REQUIRED.
10. REMOVE EXISTING FLOORING THROUGHOUT EXCEPT IN 107; EXISTING CARPET TO REMAIN IN 107; PROTECT DURING CONSTRUCTION. ENSURE ALL FLOORING SURFACES ARE LEVEL & SMOOTH READY TO ACCEPT NEW FINISHES PER FINISH SCHEDULE.
11. INSTALL NEW ADA ACCESSORIES & HARDWARE AS REQUIRED BY CODE THROUGHOUT SPACE.
12. DEMO ALL ABANDONED PIPING & VOICE/DATA WIRING.
13. INSTALL NEW 3'-0", SOLID CORE WOOD DOORS IN 102, 104, 106 & 107; STAIN DOORS TO MATCH ENTRY DOOR & PAINT METAL FRAMES CHATEAU BROWN; SEE PAINT SPECIFICATION ON PAGE 3 OF 6. PAINT DOOR FRAME AROUND ENTRY DOOR ON EDJ SIDE CHATEAU BROWN TO MATCH. PROVIDE & INSTALL STORE ROOM LOCKSET & DOOR CLOSER AT 104.
14. MODIFY EXISTING SPRINKLER SYSTEM/FIRE ALARM AS REQUIRED BY LOCAL CODES.

### KEYED NOTES:

1. PHONE COMPANY SERVICE TO BE INSTALLED AT BOC LOCATION PER DETAIL ON SHEET 6 OF 6 AND PER SPECIFICATIONS ON 1ST DAY OF CONSTRUCTION. EMAIL PHOTO TO LEASING COORDINATOR TO CONFIRM WORK ASAP.
2. INSTALL DOOR CHIME AT ENTRY DOOR. CHIME TO BE LOCATED IN 103. HEATH ZENITH WIRELESS PLUG-IN DOOR CHIME WITH WHITE COVER & HORIZONTAL LINES - HOME DEPOT MODEL #DL-6168 OR COMPARABLE ALTERNATIVE.
3. PAINT ELECTRICAL PANEL TO MATCH PARTITION.

\*CONTRACTOR MUST HAVE ALL 6 PAGES OF THESE DESIGN INTENT DRAWINGS. IF YOU ARE MISSING ANY OF THESE 6 PAGES, PLEASE CONTACT DESIGNER AT PHONE NUMBER LISTED IN TITLEBLOCK. SEE PAGE 1 OF 6 FOR ADDITIONAL NOTES.\*

### ISSUES/REVISIONS

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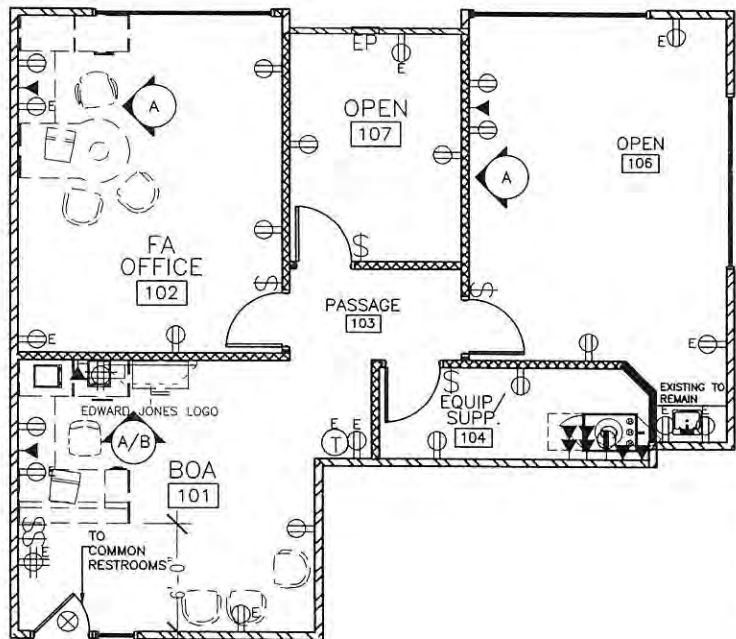
DEMARC EXTENSION WORK PER DETAIL ON SHEET 6 OF 6. TO BE COMPLETED ON THE FIRST DAY OF CONSTRUCTION. GC TO INSTALL BOARD AND CONDUIT AND COORDINATE INSTALL OF CAT5E LINES WITH INC. EMAIL PHOTO TO LEASING COORDINATOR TO CONFIRM WORK COMPLETION.

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SQUARE FOOTAGE 1170

**Edward Jones**  
BRANCH FACILITIES  
BRANCH OFFICE 98095  
DATE: 7.7.2015

EXHIBIT A  
SHEET 2 of 6





PLAN NORTH

FURNITURE/EQUIP. PLAN

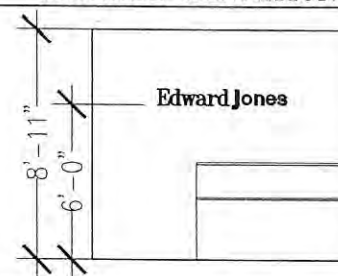
1/8" = 1'-0"

### KEYED NOTES:

- A** ACCENT WALL TO BE PAINTED WITH CUSTOM "EDJ GREEN" SEE FINISH SPECIFICATIONS.
- B** PREPARED FOR EDJ LOGO TO BE CENTERED ON PARTITION AS INDICATED ON PLAN. USE PROVIDED TEMPLATE FOR ACCURATE ALIGNMENT; SEE SIGNAGE ELEVATION TO THE RIGHT. PROVIDE & INSTALL COMMERCIAL 6" RECESSED SPOTLIGHT W/ WHITE ADJUSTABLE EYEBALL TRIM KIT UTILIZING AN ENERGY SAVING BULB; TO BE INSTALLED IN CEILING 5'-0" AWAY FROM WALL AND CENTERED ON PARTITION. FOR INSTALLATION INSTRUCTIONS, VISIT <http://www.metalogics.com/installation.aspx>. \*\*FOR CANADA BRANCHES, PLEASE CALL SPECTRA SIGNS (SEE CONTACT INFO ON PAGE 1 OF 6).\*\*
1. SIGNAGE TO BE ORDERED BY CONTRACTOR AND WILL BE PAID FOR BY EDWARD JONES. ONLY THE INSTALLATION SHOULD BE INCLUDED IN SCOPE OF WORK. (LETTER KIT WITH PINS ON BACK; KIT COMES WITH TEMPLATE FOR EASY INSTALLATION)
2. EDWARD JONES LOGO TO BE CENTERED ON PARTITION AS INDICATED ON PLAN. USE PROVIDED TEMPLATE FOR ACCURATE ALIGNMENT. BOTTOM OF LOGO TO BE 6'-0" AFF UNLESS THERE IS A WINDOW ON THE SIGNAGE WALL. THEN PLACE THE SIGNAGE 6" ABOVE WINDOW TRIM. ALLOW AT LEAST 2" ON EITHER SIDE OF SIGNAGE; IF PARTITION SELECTED FOR SIGNAGE DOES NOT ALLOW, NOTIFY DESIGNER IMMEDIATELY.

EXIST = EXISTING FINISH TO REMAIN N.I.C. = NOT IN CONTRACT FOR FINISHES  
MATCH = NEW FINISHES TO MATCH EXISTING N/A = FINISH NOT APPLICABLE TO THIS ROOM

### SIGNAGE ELEVATION:



### FINISH SCHEDULE

RM.NO.	PAINT	FLOORING	BASE	NOTES
101	P3	C9	B2	SEE NOTE 'A'/'B'
102	P3	C9	B2	SEE NOTE 'A'
103	P3	C9	B2	
104	N.I.C.	EXIST	EXIST	
105	COMMON RESTROOMS			
106	P3	C9	B2	SEE NOTE 'A'
107	P3	C9	B2	

### FINISH SPECIFICATIONS

CONTRACTOR TO CONTACT NATIONAL RETAIL FLOORING SERVICES, INC. LISTED ON SHEET 1 OF 6 TO ORDER FLOORING; FOR BIDDING PURPOSES, USE PRICING AS LISTED BELOW.

PAINT P3- SW7723 COLONY BUFF (SHERWIN WILLIAMS) OR PUTNAM MORY HC39 (BENJAMIN MOORE)  
ACCENT WALLS- SW6195 ROCK GARDEN (SHERWIN WILLIAMS) OR CUSTOM "EDJ GREEN" (BENJAMIN MOORE)  
ALT. DOOR FRAME COLOR - SW7510 CHATEAU BROWN (SHERWIN WILLIAMS)

\*\*PAINT TO HAVE EGGSHELL FINISH - SEE PAGE 5 FOR FULL SPECIFICATIONS\*\*

CARPET PATCRAFT PRIVATE LABEL PRODUCT C9 - Carpet P439Z-0 a

GC USE ONLY: CARPET: \$10.57 PER SY (PRICE INCLUDES FREIGHT)

\*COST EXCLUDES ALASKA, HAWAII & CANADA  
\*\* IF QUOTED DIFFERENTLY THAN ABOVE, PLEASE CONTACT DESIGNER

BASE  
ROPPE  
4" VINYL COVE BASE  
B2-P147 LIGHT BROWN

CONTACT FOR FLOORING:  
NATIONAL RETAIL FLOORING  
SERVICES, INC.:  
866-440-6737  
[edwardjones@nrtfsinc.com](mailto:edwardjones@nrtfsinc.com)

### ISSUES/REVISIONS

\*CONTRACTOR MUST HAVE ALL 6 PAGES OF THESE DESIGN INTENT DRAWINGS. IF YOU ARE MISSING ANY OF THESE 6 PAGES, PLEASE CONTACT DESIGNER AT PHONE NUMBER LISTED IN TITLEBLOCK. SEE PAGE 1 OF 6 FOR ADDITIONAL NOTES.\*

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EXHIBIT A  
SHEET 3 of 6

SQUARE FOOTAGE 1170

# EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS:

## GENERAL NOTES

1. THE FOLLOWING INFORMATION IS PROVIDED AS A GENERAL GUIDE. IN ALL CASES, IT IS PREFERRED THAT THE BUILDING STANDARD BE USED; OTHERWISE, USE THE INFORMATION PROVIDED BELOW AND ON THE DESIGN INTENT DRAWINGS, OFTEN REFERRED TO AS EXHIBIT A. IT IS THE INTENT THAT THESE MODIFICATIONS/ADDITIONS/IMPROVEMENTS WILL BE PERFORMED ON AN "AS NEEDED" BASIS, AT THE REASONABLE DISCRETION OF EDWARD D. JONES & CO., L.P. D/B/A EDWARD JONES, HEREIN AFTER REFERRED TO AS EDWARD JONES OR TENANT.
2. ANY DISCREPANCIES ON PAGES 1-3 TO BE BROUGHT TO DESIGNERS ATTENTION IMMEDIATELY.
3. ALL WORK SHOULD BE PERFORMED BY G.C. (GENERAL CONTRACTOR) PER CITY, STATE, PROVINCIAL, AND NATIONAL CODES (ALL REFERENCES TO "CODE" IN THIS DOCUMENT TO APPLY TO CITY, STATE, PROVINCIAL, AND/OR NATIONAL CODES AS APPLICABLE). ALL CONSTRUCTION WILL BE COMPLETED SO THAT AN OCCUPANCY PERMIT (OBTAINED BY THE G.C.) WILL BE GRANTED PRIOR TO LEASE COMMENCEMENT.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ISSUED EDITION OF THE EDWARD JONES APPROVED EXHIBIT A INCLUDED WITH THE CONTRACT FOR SERVICES AT TIME OF BID AWARD.
5. EXHIBIT A IS INTENDED FOR DESIGN INTENT ONLY AND IS NOT AN OFFICIAL CONSTRUCTION DOCUMENT. GENERAL CONTRACTOR (GC) TO OBTAIN ALL NECESSARY PERMIT DRAWINGS AS REQUIRED PER CODE; COST TO BE INCLUDED IN BID IF REQUIRED TO OBTAIN PERMITS.
6. GENERAL CONTRACTOR MUST PROVIDE ALL SUBCONTRACTORS ALL 6 PAGES AT TIME OF BID AND/OR PRIOR TO ANY CONSTRUCTION.
7. ALL EXISTING ITEMS TO REMAIN IN BRANCH (AS SHOWN ON PLANS) MUST BE IN GOOD WORKING ORDER AND CONDITION, AND FREE OF MAJOR DEFECTS.
8. ALL NEW INTERIOR HALLWAYS TO BE NO LESS THAN 4'-0" WIDE, UNLESS OTHERWISE REQUIRED BY CODE OR NOTED ON PAGE 2 OF 6.
9. EDWARD JONES' INSTALLERS MUST BE NOTIFIED OF ANY CHANGES IN PLACEMENT OF EQUIPMENT, PHONES, OUTLETS, OR FURNITURE. EDWARD JONES HAS AN ESTABLISHED RELATIONSHIP WITH NATIONAL VENDORS FOR FLOORING, PAINT, SIGNAGE, AND LOW VOLTAGE WIRING.
10. FURNITURE, EQUIPMENT, FIRE EXTINGUISHERS, BOTTLED WATER COOLER (IF REQUIRED BY CODE), PHONE AND DATA WIRING & ALL TERMINATIONS TO BE PROVIDED BY THE TENANT.
11. THE SPACE SHOULD BE CLEANED AFTER CONSTRUCTION, PLEASE SEE FLOORING SPECIFICATIONS FOR CARPET AND TILE INSTRUCTIONS.
12. WARRANTY DOCUMENTS SHALL BE PROVIDED TO THE BRANCH FACILITIES ONCE CONSTRUCTION IS COMPLETE.
13. UPON PROJECT COMPLETION, CLOSE OUT DOCUMENTS TO BE SUBMITTED WITH FINAL INVOICE INCLUDE: CONSTRUCTION DOCUMENTS, APPROVED CHANGE ORDERS, CERTIFICATE OF OCCUPANCY, LIEN WAIVER, FINAL PHOTOS OF SPACE, COMPLETED PUNCH LIST WITH ALL OUTSTANDING ITEMS COMPLETED, AND AN AIR BALANCE REPORT.

## INTERIOR CONSTRUCTION SPECIFICATIONS

1. DEMOLITION
  - a. DEMOLISH AND REMOVE FROM THE SITE ALL DEBRIS FROM THE AREAS AS SHOWN ON EXHIBIT A. LEAVE SPACE FREE OF ALL CONSTRUCTION DEBRIS.
  - b. REMOVE EXISTING FINISHES ONLY IN AREAS THAT ARE TO RECEIVE NEW FINISHES PER THE FINISH SCHEDULE SHOWN ON PAGE 3. ROOMS LISTED "N/C" SHALL REMAIN AS-IS UNLESS OTHERWISE NOTED ON FLOOR PLAN.
  - c. LEAVE AND/OR PREPARE FLOOR TO ACCEPT NEW GLUE DOWN FLOORING PER FINISH SCHEDULE. SURFACES THAT ARE TO ACCEPT NEW FLOORING ARE TO BE FREE OF ALL DEBRIS AND/OR RESINOUS DEPOSITS. FILL ALL FLOOR CUTS REMAINING FROM ANY PLUMBING OR OTHER TERMINATION WITH CONCRETE. DEMO ALL FLOOR OUTLETS AND PATCH AS REQUIRED. IF FLOOR HVAC VENTS ARE PRESENT IN A WALKWAY, PLEASE CONTACT DESIGNER FOR RELOCATION INSTRUCTIONS.
2. PARTITIONS
  - a. ALL NEW WALLS WILL BE CONSTRUCTED OF 3 5/8" METAL STUDS AT 16" O.C. (WOOD STUDS ACCEPTABLE IF APPROVED BY CODE) AND 5/8" DRYWALL MINIMUM, OR MATCH EXISTING TO REMAIN.
  - b. ALL NEW AND EXISTING WALLS SHALL BE TAPED AND SMOOTH, READY FOR PAINT.
  - c. ALL DEMISING WALLS TO BE BUILT TO DECK STRUCTURE ABOVE, SEALING ALL PENETRATIONS AS REQUIRED. IF PROPERTY UTILIZES A PLENUM RETURN FOR ENTIRE BUILDING, IT IS REQUIRED TO TAKE DEMISING WALLS TO HEIGHT OF ADJACENT TENANT'S WALLS AND INSTALL SECURITY FENCING FROM TOP OF WALL TO DECK TO PROVIDE A SECURE DEMISING WALL.
    1. VERIFY DEMISING WALLS ARE INSULATED AND EXTEND TO DECK; EXTEND AND PROVIDE INSULATION AS REQUIRED.
    2. PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG NEW DEMISING PARTITION. IF ADJACENT TENANT IS A RESTAURANT OR NAIL SALON, CAULK ALL OUTLETS AND PENETRATIONS AS WELL AS FLOOR LINE AND CONNECTION AT DECK TO AVOID SMELL TRANSFERENCE.
    3. FINISH DEMISING WALL ON BOTH SIDES ONLY IF REQUIRED BY CODE, OR IF NOTED OTHERWISE ON PLANS. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF THIS IS REQUIRED DURING THE BIDDING PROCESS.
  - d. A MINIMUM OF 3" SOUND BATT INSULATION SHALL BE INSTALLED IN PARTITIONS AS INDICATED ON EXHIBIT A BETWEEN STUDS AND ABOVE CEILING WHERE THE WALL AND CEILING MEET. IF WALLS ARE EXISTING, USE BLOW-IN INSULATION. FA OFFICE AND WASHROOM WALLS ARE TO BE FITTED WITH A MINIMUM OF 3" SOUND INSULATION BATTS BETWEEN STUDS.
  - e. PROVIDE RUBBER MOLD/BREAK METAL AT WINDOW MULLION, CAULK ALL SEAMS. ALL WALLS
3. CEILING (UNLESS BUILDING STANDARD APPLIES)
  - a. CEILINGS TO BE FREE FROM STAINS AND DIRT. IF INSTALLING NEW, PROVIDE AND INSTALL 2 X 4" COMMERCIAL GRADE GRID AND ACOUSTICAL CEILING TILES. MATCH BUILDING STANDARD WHERE APPLICABLE. STANDARD HEIGHT FOR NEW CEILING TO BE 9'-0"; UNLESS NOTED ON PLANS.
  - b. NEW CEILING TO MATCH EXISTING TO REMAIN UNLESS NOTED OTHERWISE ON THE PLANS.
  - c. ACOUSTICAL CEILINGS: TILES TO BE FREE FROM CHIPS AND BREAKS; ALL TILES TO BE SAME COLOR AND STYLE; GRID TO BE WHITE AND EVEN, FREE FROM HOLES (OR FILLED), AND SHOULD BE CLEAN. PAINT WHITE IF EXISTING IS IN POOR CONDITION OR A COLOR OTHER THAN WHITE. REPLACE AS REQUIRED. TILES SHOULD BE A STANDARD COMMERCIAL GRADE ACOUSTICAL TILE. CONTIGUOUS AREAS MUST HAVE MATCHING TILE.
  - d. DRYWALL CEILINGS: TO BE LEVEL, HAVE AN EVEN TEXTURE (MATCH EXISTING WHERE APPLICABLE), AND BE PAINTED WHITE (SEE PAINT SPEC).
  - e. INSTALLATION OF CEILING GRID AND COMPONENT TO COMPLY WITH ALL CODES AS REQUIRED.
  - f. PROVIDE AND INSTALL 3" SOUND BATT INSULATION ABOVE CEILING IN ROOM 102.
4. RESTROOM/WASHROOM & PLUMBING (UNLESS COMMON FACILITIES PRESENT)
  - a. PROVIDE AND INSTALL RESTROOM LAYOUT AND FIXTURES AS SHOWN ON EXHIBIT A. WASHROOM TO BE BARRIER FREE/HANDICAP ACCESSIBLE AS REQUIRED BY CODE OR AS SHOWN ON PLANS. G.C. TO ADHERE TO ANY CODES, WHICH MIGHT REQUIRE MODIFICATION OF EXISTING RESTROOM NOT SHOWN ON PLANS.
  - b. RESTROOM TO HAVE (1) OF EACH OF THE FOLLOWING: TOILET, LAVATORY, WATER HEATER (DEDICATED TO EDJ SPACE), GRAB BARS, TOILET PAPER HOLDER, PAPER TOWEL DISPENSER, SOAP DISPENSER AND MIRROR. PROVIDE AND INSTALL ANY OTHER ACCESSORY AS NOTED ON PLANS OR REQUIRED BY CODE.
  - c. EXISTING RESTROOM/WASHROOM FIXTURES TO REMAIN TO BE IN GOOD CONDITION (I.E. IN GOOD OPERATION AND FREE OF STAINS OR CRACKS). CLEAN AND RESET FIXTURES AS REQUIRED.
  - d. LAVATORY SINK(S) (ONLY IF SHOWN ON PAGES 2 & 3) TO HAVE HOT AND COLD-WATER SERVICE. IF UNABLE TO INSTALL WATER HEATER ABOVE CEILING, INSTALL INSTA-HOT UNDER SINK.
  - e. PROVIDE AND INSTALL EXHAUST FAN WITH ADEQUATE DUCTING AND SWITCHING AS REQUIRED.
  - f. PROVIDE AND INSTALL BARRIER-FREE UNDER-SINK PIPE PROTECTIVE COVER UNDER SINK IN 105 AS REQUIRED BY LOCAL CODE.
  - g. ANY TRENCH OR GRAVEL AREAS TO BE POURED IN PLACE AFTER LOCATION OF RESTROOM.
5. FIRE PROTECTION
  - a. PROVIDE AND INSTALL NEW SPRINKLER SYSTEM ONLY AS REQUIRED BY CODE. IF EXISTING, MODIFY SPRINKLER LAYOUT AS REQUIRED PER CODE. INCLUDE NECESSARY PERMITS AND INSPECTIONS. HEADS MUST BE CENTERED IN TILE.
  - b. PROVIDE APPROPRIATE COVERAGE OF HEADS FOR PARTITION LAYOUT AS REQUIRED BY CODE PER PARTITION LAYOUT AS SHOWN ON PAGES 2 & 3. QUANTITY AND LOCATION OF HEAD TO COMPLY WITH APPLICABLE CODES.
  - c. PROVIDE/MODIFY FIRE ALARM SYSTEM IF REQUIRED BY LOCAL CODE.
  - d. PROVIDE DESCRIPTION OF ANY LIFE SAFETY SYSTEM PROVIDED IN BUILDING AND ITS OPERATION.
  - e. PROVIDE AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE.
6. HVAC (UNLESS SHARED SYSTEM PRESENT)
  - a. SYSTEM TO BE FULLY OPERATIONAL IN GOOD CONDITION AND PROPERLY BALANCED UPON COMPLETION OF WORK. BALANCE BOTH HEATING AND COOLING. SYSTEM TO BE DEDICATED TO EDJ SPACE.
    - \* HVAC BALANCE SHEET MUST BE SUBMITTED WITH INVOICE AT PROJECT COMPLETION.
  - b. ALL DUCTING, DIFFUSERS, GRILLES, AND THERMOSTATS SHALL BE CLEAN, IN GOOD CONDITION AND PROPERLY FUNCTIONING. LOCATION TO BE REVISED AS NECESSARY PER NEW PARTITION LAYOUT. VERIFY THAT ALL ROOMS IN EDWARD JONES SPACE AS SHOWN ON PAGES 2 & 3 HAVE A MINIMUM OF (1) RETURN AND (1) SUPPLY GRILLE AND MEET TEMPERATURE REQUIREMENTS TO ENSURE A COMFORTABLE WORKING ENVIRONMENT.
  - c. IF SPACE IS BEING SUBDIVIDED, EDWARD JONES SPACE TO BE SEPARATELY CONTROLLED--SHARING OF THERMOSTAT WITH ADJACENT SPACES IS NOT ACCEPTABLE UNLESS IT IS AN OFFICE BUILDING THAT UTILIZES A PLENUM RETURN. IF SHARED SYSTEM EXISTS, THERMOSTAT MAY NOT BE LOCATED WITHIN EDWARD JONES LEASED SPACE.
  - d. VERIFY THERMOSTAT IS LOCATED IN AN ACCESSIBLE AREA OF THE SPACE AS SHOWN ON FLOOR PLAN (TYPICALLY IN ROOM 101 OR 103).
  - e. PROVIDE AND INSTALL A NEW WHITE-RODGERS 7-DAY PROGRAMMABLE THERMOSTAT, UNLESS OTHERWISE NOTED ON PLANS. PROVIDE APPROPRIATE STAT FOR UNIT SIZE AND TYPE. SET THERMOSTAT FOR FUTURE REFERENCE.
  - f. HVAC SYSTEM SHOULD BE ABLE TO MAINTAIN 75 DEGREE F SUMMER AND 70 DEGREE F WINTER TEMPERATURES IN ACCORDANCE WITH THE ASHRAE DESIGN STANDARDS APPLICABLE TO THIS LOCATION. IF NECESSARY, A FORMAL INSPECTION TO VERIFY EQUIPMENT CONDITION SHOULD BE DONE.
  - g. EDWARD JONES BOC (AS SHOWN ON PAGES 2 & 3) REQUIRES VENTILATION. INSTALL A SUPPLY AND RETURN GRILLE IN BOO ROOM (USUALLY ROOM 104) OR AREA IT IS LOCATED IN, TO MAINTAIN CONSTANT TEMPERATURE REQUIRED.
7. LIGHTING (UNLESS BUILDING STANDARD APPLIES)
  - a. PROVIDE AND INSTALL COMMERCIAL GRADE 2X4 LIGHT FIXTURES, 4 LAMP FIXTURES PREFERRED (W/ F28T8/SPX30EC0 LAMPS AND GE ULTRAMAX BALLAST OR EQUIVALENT) AT ONE FIXTURE PER EVERY 75 USABLE SF, IN PLACE SO AS TO ACCOMMODATE MINIMUM 60

- FOOTCANDLES AT DESK LOCATIONS.
- b. ALL NEW AND EXISTING LIGHTING SHOULD BE FULLY OPERATIONAL AND IN GOOD CONDITION.
- c. EXIT AND/OR EMERGENCY LIGHTING TO BE INSTALLED AS REQUIRED PER CODE.
- d. A SWITCH SHOULD OCCUR AT MAIN ENTRANCE AND WIRED TO OPERATE LIGHTING IN 101 AND PASSAGE 103 AS SHOWN ON PLAN, UNLESS EXISTING. IF SPACE HAS MORE THAN ONE EGRESS DOOR, SWITCH SHOULD BE 3-WAY TO OPERATE AT BOTH ENTRANCES.
- e. PROVIDE AND INSTALL EXIT LIGHTING AT EGRESS DOORS AS REQUIRED BY CODE.
- f. AT ALL LOCATIONS WHERE EXISTING FIXTURES ARE TO BE RELAMPED, INSTALL SYLVANIA T8 OCTRON F028/B30/XP/SS/EC03 LAMPS OR THE EQUIVALENT F28T8/UMX/ECO LAMPS WITH GE ULTRAMAX BALLAST. IF IT IS MORE COST EFFECTIVE TO INSTALL NEW FIXTURES PLEASE PRICE NEW FIXTURE OPTION.
- g. IF EXISTING, VERIFY THAT ALL LENSES AND LAMPS ARE CONSISTENT IN COLOR. LENSES TO BE FREE OF ANY VISIBLE DAMAGE, STAINS, OR DISCOLORATION OF ANY KIND.
- h. IN ROOMS 101 AND 103, HARD WIRE ONE LIGHT FIXTURE TO REMAIN ON AT ALL TIMES IF NOTED IN SITE SPECIFIC NOTES ON PAGE 2 OF 6. LIGHTS TO BE ORIENTED TO ALLOW ILLUMINATION OF INTERIOR COMMON AREAS FROM EXTERIOR DURING EVENING HOURS. (THIS ITEM TO BE ADJUSTED IN TITLE 24 REGIONS TO MEET LOCAL ENERGY REQUIREMENTS). SEE CONTRACTOR'S NOTES ON PAGE 2 OF 6.
- i. PROVIDE AND INSTALL (1) COMMERCIAL 6" RECESSED SPOTLIGHT W/ WHITE ADJUSTABLE EYEBALL TRIM KIT UTILIZING AN ENERGY SAVING BULB TO BE INSTALLED IN CEILING 5'-0" AWAY FROM WALL AND CENTERED ON PARTITION ABOVE INTERIOR LOGO IN 101, AS SHOWN IN EXHIBIT A. PROVIDE A SEPARATE SWITCH FOR SPOTLIGHT AT SIGNAGE WALL.
  1. IF CEILINGS ARE HIGHER THAN 10'-0"; CONTACT DESIGNER FOR ALTERNATE SOLUTION.
8. DOORS (UNLESS BUILDING STANDARD APPLIES; SEE SHEET 2 FOR PAINT/STAIN INSTRUCTIONS)
  - a. DOORS (BOTH INTERIOR AND EXTERIOR) TO BE STAINED OR PAINTED TO MATCH EXISTING BUILDING STANDARD. IF NO STANDARD IS ESTABLISHED, USE SHERWIN WILLIAMS PAINT AS LISTED IN THIS DOCUMENT. FINISHED DOOR WILL BE FREE FROM UNEVEN COLOR, DRIPS OR RUNS. ALL DOOR EDGES, INCLUDING TOP AND BOTTOM, TO BE FINISHED.
  - b. ALL DOORS TO BE INSTALLED CLEAR OF ANY OBSTRUCTIONS.
  - c. REUSE/RELOCATE EXISTING DOORS AS NOTED ON PLANS. ANY EXISTING DOORS BEING REUSED SHALL BE TOUCHED UP AND REVARNISHED OR REPAINTED AS APPROPRIATE AND APPROVED FOR REUSE BY EDWARD JONES' DESIGNER. ANY NEW DOORS REQUIRED SHOULD MATCH EXISTING HEIGHT AND STYLE OF REUSED DOORS. DOORS CAN NOT BE UNDERCUT FOR ANY REASON. THE MAXIMUM GAP ALLOWED IS 1/4".
  - d. ALL DOOR(S) TO HAVE WALL OR FLOOR MOUNTED STOPS, CONSISTENT WITH THE REST OF THE SPACE.
  - e. EXTERIOR DOORS:
    1. ALL DOOR(S) TO THE EXTERIOR AND BUILDING COMMON SPACES MUST HAVE CLOSERS AND DEADBOLTS WITH THUMB-TURN ON OCCUPIED SIDE UNLESS CODE WILL NOT ALLOW.
    2. AT REAR DOORS LEADING TO THE EXTERIOR, PROVIDE AND INSTALL INSULATED METAL DOOR WITH METAL PLY PLATES, CYLINDER GUARD, AT LEAST ONE SECURITY HINGE WITH NON-REMOVABLE PIN (MCKINNEY TA2314 OR APPROVED EQUAL) AND PEEP HOLE INSTALLED AT 5'-0" A.F.F. WHERE DEADBOLTS ARE NOT ALLOWED BY CODE. INSTALL PHOENIX DOUBLE DEFENDER QUICK RELEASE DOOR SECURITY BAR, SERIES DD--OR (UL LISTED PANIC HARDWARE 2N43), CALL 913-723-3203 FOR LOCAL RETAILER.
    3. SUITE ENTRY DOOR(S) SHALL HAVE EXISTING OPERABLE CLOSER(S) OR RECEIVE NEW CLOSER(S). INSTALL METAL PLY PLATES AT ALL TENANT ENTRY DOORS, COORDINATE WITH LLD PRIOR TO INSTALLATION.
  - f. INTERIOR DOORS:
    1. NEW INTERIOR DOOR(S) TO BE NO LESS THAN 3'-0" FEET WIDE UNLESS NOTED OTHERWISE.
    2. ALL NEW INTERIOR WOOD DOOR(S) SHOULD MATCH EXISTING WOOD DOOR HEIGHT AND STYLE, IF APPLICABLE.
    3. PROVIDE AND INSTALL 6'-8" WOOD, SOLID CORE SIX (6) PANEL PAINT-GRADE PRE-HUNG DOORS WITH WOOD FRAME AND TRIM ARE PREFERRED IN THE EVENT THERE IS NO EXISTING STANDARD TO MATCH. DOORS FOR ROOMS 102, 104, 105 AND 106 MUST BE SOLID CORE. REMAINING ROOMS TO BE HOLLOW CORE UNLESS NOTED OTHERWISE ON PLANS. REPLACE AS REQUIRED.
    4. DOORS AND FRAMES TO BE PAINTED WHITE UNLESS NOTED OTHERWISE ON PLANS. SEE PAINT SPECIFICATIONS, THIS DOCUMENT.
    5. ALL NEW HARDWARE TO BE A HANDICAP ACCESSIBLE LEVER STYLE. PROVIDE NEW PASSAGE HARDWARE FOR NEW DOOR(S) TO MATCH EXISTING. IN THE EVENT THAT THE OWNER HAS ESTABLISHED NO STANDARD FINISH, BRUSHED NICKEL IS PREFERRED.
    6. IF RESTROOM/WASHROOM IS IN EDJ OCCUPIED SPACE, PROVIDE AND INSTALL PRIVACY LOCKSET AND CLOSER.
    7. PROVIDE AND INSTALL STOREROOM LOCKSET AND CLOSER IN EQUIPMENT/SUPPLY 104.

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Edward Jones

BRANCH FACILITIES

BRANCH OFFICE 98095

DATE: 7.7.2015

EXHIBIT A

SHEET 4 of 6

# EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS:

## 9. FLOORING (UNLESS BUILDING STANDARD APPLIES)

- a. ANY CONTROL JOINTS OR SEAMS TO BE A MINIMUM TO AVOID EXCESSIVE FLOOR PREPARATION.
- b. THE EDWARD JONES STANDARD CARPET, VINYL BASEBOARD, AND LUXURY VINYL TILE SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. INSTALLATION METHOD FOR CARPET IS DIRECT GLUE. SEE MANUFACTURER'S INSTRUCTIONS FOR POST-INSTALLATION/CLEANING INSTRUCTIONS.
- c. PROVIDE A SMOOTH SURFACE FOR FLOORING INSTALLATION. IF FLOOR IS NOT LEVEL, CONTACT DESIGNER IMMEDIATELY. IN CASES OF SEVERE FLOOR PREP, PROVIDE COST FOR PAID IF SUFFICIENT FOR MAKING FLOOR LEVEL.
- d. PLEASE CONTACT NATIONAL RETAIL FLOORING SERVICES, INC. IMMEDIATELY AFTER AWARD OF CONTRACT TO COORDINATE CARPET INSTALLATION.
- e. IF AWARDED FLOORING PORTION OF THE WORK, CARPET MATERIAL MUST BE ORDERED FROM NATIONAL RETAIL FLOORING SERVICES, INC. EDWARD JONES HAS A NATIONAL CONTRACT WITH NATIONAL RETAIL FLOORING SERVICES, INC. COORDINATION AND PURCHASE, AND INSTALLATION OF ALL FLOORING AND FINISHES AS LISTED ON PAGE 3 OF 6 WILL BE THE FULL RESPONSIBILITY OF THE GC.
- f. TURN-KEY BRANCHES: THE LANDLORD IS RESPONSIBLE FOR FLOORING INSTALLATION. CARPET MATERIAL ONLY TO BE ORDERED AND PURCHASED FROM NATIONAL RETAIL FLOORING SERVICES, INC. SEE SHEET 1 OF 6 FOR CONTACT INFO.
- g. ALL CARPET TO BE INSTALLED PER CRI STANDARDS (CARPET & RUG INSTITUTE).
- h. CARPET TO BE VACUUMED WITH NO PROTRUDING YARN AT SEAMS. IF CARPET IS EXISTING TO REMAIN IN SPACE, GC TO HAVE CARPET PROFESSIONALLY CLEANED.
- i. ALL CARPET SCRAPS LARGER THAN 3' S.F. AND WIDER THAN 8" SHOULD BE LEFT IN STORAGE AREA OF EDWARD JONES' SPACE. ALL REMAINING LUXURY VINYL TILE SHOULD BE LEFT IN EDWARD JONES' STORAGE AREA.

## 10. PAINT

- a. ALL EXPOSED SURFACES IN AREAS INDICATED ON FINISH SCHEDULE ON PAGE 3 OF 6, SHALL BE PRIMED AND PAINTED WITH SHERWIN WILLIAMS PAINT. IF UNABLE TO USE SHERWIN WILLIAMS, SEE BENJAMIN MOORE'S ALTERNATES LISTED BELOW. PLEASE SEE FINISH SCHEDULE FOR EXACT LOCATIONS.
- b. FOR ALL REPAINT AND REMODEL, THE PRIME COATS NOTED BELOW MAY BE EXCLUDED UNLESS COATING A BARE SURFACE. FOLLOW ALL MANUFACTURERS' RECOMMENDED SURFACE PREPARATION.
- c. ASSUME ONE TRIP FOR TOUCH UP PAINT AFTER FLOORING INSTALLATION AND FURNITURE DELIVERY. REMAINING TOUCH UP PAINT TO BE LEFT IN THE TENANT'S STORAGE AREA, CLEARLY LABELED.
- d. IF THERE ARE ANY QUESTIONS REGARDING PAINT COLORS, PLEASE CONTACT EDWARD JONES BRANCH DESIGNER - DESIGNER NAME AND PHONE NUMBER LISTED ON SHEET 1 OF 6.
- e. EXACT SPECIFICATIONS MAY BE OBTAINED FROM SHERWIN WILLIAMS: 1-800-474-3794. IF USING BENJAMIN MOORE, THE DIRECT ORDER LINE IS 1-855-724-6802.
- f. COLORS MAY INCLUDE SEVERAL, BUT NOT ALL, OF THE FOLLOWING:

### 1. GYPSUM PARTITIONS (EXCEPT ACCENT WALLS & CEILINGS): TWO FINISH COATS OVER AN EXISTING FINISH OR PRIMER.

#### \* SHERWIN WILLIAMS:

PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.

1ST & 2ND COATS: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC EGGSHELL, A97-100 SERIES (IN ROLLER APPLICATIONS, USE ONLY A 1/2" NAP SYNTHETIC COVER).

COLOR: SW7723- COLONY BUFF

OR

#### \* BENJAMIN MOORE:

PRIMER-A: REGAL FIRST COAT LATEX-BASED, INTERIOR PRIMER APPLIED AT SPREADING RATE

RECOMMENDED BY THE MANUFACTURER TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 1.2 MILS (0.031MM).

BENJAMIN MOORE REGAL FIRST COAT, 216

1ST & 2ND COATS: REGAL AQUA PEARL WASHABLE PEARL FINISH, ACRYLIC-LATEX, INTERIOR ENAMEL APPLIED TO SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS

THAN 2.8 MILS PER COAT (0.071 MM).

BENJAMIN MOORE REGAL AQUA PEARL FINISH 310

COLOR: HC-39 PUTNAM IVORY

### 2. GYPSUM PARTITIONS (ACCENT WALLS): (NOTE A, SHEET 3) TWO FINISH COATS OVER AN EXISTING FINISH OR A PRIMER.

#### \* SHERWIN WILLIAMS:

PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.

1ST & 2ND COATS: SHERWIN-WILLIAMS COLOR ACCENTS INTERIOR PROMAR 200 ZERO VOC EGGSHELL WALL FINISH, Y38 SERIES.

COLOR: SW6195 ROCK GARDEN

OR

#### \* BENJAMIN MOORE:

REGAL FIRST COAT LATEX-BASED, INTERIOR PRIMER APPLIED AT SPREADING RATE

RECOMMENDED BY THE MANUFACTURER TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 1.2 MILS (0.031MM).

BENJAMIN MOORE REGAL FIRST COAT, 216

1ST & 2ND COATS: REGAL AQUA PEARL WASHABLE PEARL FINISH, ACRYLIC-LATEX, INTERIOR ENAMEL APPLIED AT SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.8 MILS PER COAT (0.071 MM).

BENJAMIN MOORE REGAL AQUA PEARL FINISH, 310

COLOR: CUSTOM FORMULA EDWARD JONES GREEN

EDWARD JONES GREEN M310 40 BASE QUART FORMULA	EDWARD JONES GREEN N310 40 BASE GALLON FORMULA
OY 16	OY 2X
DK 1X2.75	DK 4X11
TO 19.50	TO 2X14
OY 2	OY 8
WH 25.5	WH 3X8

### 3. GYPSUM CEILINGS: ONE FINISH COAT OVER AN EXISTING FINISH OR PRIMER.

#### \* SHERWIN WILLIAMS:

PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.

FINISH COAT: SHERWIN-WILLIAMS PROMAR 400 INTERIOR LATEX FLAT, B30W451.

COLOR: SW7005 PURE WHITE

OR

#### \* BENJAMIN MOORE:

PRIMER: SUPER SPEC LATEX ENAMEL UNDERCOAT, APPLIED AT SPREADING RATE RECOMMENDED TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 1.2 MILS (0.031MM).

BENJAMIN MOORE SUPER SPEC LATEX EN. UNDERCOATER & PRIMER SEALER, 253

FINISH COAT: MURESCO CEILING WHITE VINYL ACRYLIC-LATEX APPLIED AT SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.8 MILS (0.071 MM).

COLOR: MURESCO CEILING WHITE 258-01

### 4. INTERIOR WOOD DOORS, JAMBS & FRAMES (METAL OR WOOD) TWO FINISH COATS OVER A PRIMER.

#### \* SHERWIN WILLIAMS:

PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.

1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES

COLOR: SW7005 PURE WHITE

#### \* SHERWIN WILLIAMS (BROWN PAINT OPTION):

PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.

1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES

COLOR: SW7510-CHATEAU BROWN

OR

#### \* BENJAMIN MOORE:

PRIMER-A: REGAL FIRST COAT LATEX-BASED, INTERIOR PRIMER APPLIED AT SPREADING RATE RECOMMENDED BY THE MANUFACTURER TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 1.2 MILS (0.031MM).

BENJAMIN MOORE REGAL FIRST COAT, 216

1ST & 2ND COATS: WATERBORNE SEMI-GLOSS IMPERVO WHITE 314-01 ACRYLIC-LATEX ENAMEL APPLIED AT SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.8 MILS (0.066MM).

COLOR: WATERBORNE SATIN IMPERVO, 314-01 READY MIXED WHITE

### 5. EXTERIOR ONLY-METAL DOORS, JAMBS & FRAMES TWO FINISH COATS OVER A PRIMER.

#### \* SHERWIN WILLIAMS:

PRIMER: SHERWIN-WILLIAMS DTM ACRYLIC PRIMER/FINISH, B66W1

1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES

COLOR: SW7723- COLONY BUFF

OR

#### \* BENJAMIN MOORE:

PRIMER-A: M04 METAL PRIMER USED FOR BARE METAL AND SPOT PRIMING. APPLY AT SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN

1.2 MILS (0.031MM). BENJAMIN MOORE ACRYLIC METAL PRIMER, M04  
1ST & 2ND COATS: M29 DTM SEMI GLOSS ACRYLIC-LATEX ENAMEL APPLIED AT SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.6 MILS (0.066MM).

BENJAMIN MOORE DTM ACRYLIC SEMI-GLOSS ENAMEL, M29

COLOR: HC-39 PUTNAM IVORY

## 11. ELECTRICAL

a. ELECTRICAL TO INCLUDE OUTLETS AS SHOWN ON PAGES 2 & 3, INCLUDING DEDICATED ISOLATED GROUND OUTLET AS SHOWN ON PLAN.

### 1. GENERAL PURPOSE OUTLETS

- a. ALL OUTLETS TO BE PLACED AS SHOWN ON DRAWING.
- b. ONE (1) QUAD OUTLET AT FUTURE WORKSTATION LOCATION AND (2) QUAD OUTLETS AT BOA WORKSTATION.
- c. AT ALL TERMINALS AND OTHER OFFICE EQUIPMENT AS SHOWN ON THE PLAN.

### 2. DEDICATED OUTLETS

- a. DEFINITION: A DEDICATED OUTLET IS WIRED DIRECTLY TO THE MAIN POWER DISTRIBUTION PANEL THROUGH A DESIGNATED (DEDICATED) CIRCUIT BREAKER. AN ISOLATED GROUND IS A GROUND WIRE CONNECTED AT ONLY ONE COMMON POINT IN THE ELECTRICAL BREAKER PANEL. THE DEDICATED OUTLETS ARE COLOR CODED TO DISTINGUISH THEM FROM GENERAL-PURPOSE OUTLETS. ONLY THE BOC SHOULD BE PLUGGED INTO THE DEDICATED OUTLET. THE TECHNICAL INFORMATION FOR THIS OUTLET IS AS FOLLOWS:
- b. ONE DEDICATED OUTLET (SIMPLEX, NOT DUPLEX) REQUIRED FOR THE BOC (SEE LEGEND ON SHEET 1 OF 6).
- c. OUTLET TO BE STANDARD 3-PRONG, 120 VOLT, 20 AMP, DEDICATED CIRCUIT.
- d. OUTLET TO BE SIMPLEX, ORANGE COLOR CODED RECEPTACLE (NEMA TYPE 5-15 R/10 OUTLET, GS302-10 OR EQUIVALENT).
- e. ALL GROUNDS MUST HAVE SAME GROUND POTENTIAL.

f. ALL OUTLETS TO BE 110 VOLT STANDARD 3-PRONG OUTLETS THAT MEET STATE AND LOCAL REQUIREMENTS (NEMA TYPE 5-15R). THE GROUNDING CONDUCTORS FOR THE BUILDING'S CIRCUITS SHOULD BE REFERENCED TO THE POINT OF ZERO CURRENT-WITHIN THE ELECTRICAL SUPPLY SYSTEM, WHICH IS WHERE THE NEUTRAL AND GROUND FOR THE SYSTEM ARE TIED TOGETHER.

g. EXISTING OUTLETS CAN BE USED TO MEET THE REQUIREMENTS FOR GENERAL-PURPOSE OUTLETS ONLY. VERIFY EXISTING OUTLETS TO REMAIN ARE IN WORKING ORDER.

h. NEW ELECTRICAL OUTLETS TO BE INSTALLED WHERE SHOWN ON PLANS AT 18" A.F.F. UNLESS AN EXISTING DEVICE IS ALREADY WITHIN 36" OF THE DESIRED LOCATION.

i. DEMO/REMOVE OUTLETS ABOVE 18" A.F.F. UNLESS NOTED OTHERWISE ON PLANS.

j. INSTALL OR REPLACE ALL OUTLET COVERS WITH WHITE FACEPLATES OR TO MATCH EXISTING. CONFIRM COLOR WITH DESIGNER IF OTHER THAN WHITE.

k. ALL COMPUTER EQUIPMENT FOR THIS OFFICE IS SENSITIVE TO HIGH ELECTROMAGNETIC INTERFERENCE (EMI). IT IS RECOMMENDED THAT THE AMBIENT EMI IN THE OFFICE DOES NOT EXCEED 2 MG. PLEASE NOTIFY DESIGNER IMMEDIATELY IF SITE IS LOCATED NEAR EXISTING POWER LINES, TRANSFORMERS, SUB-STATIONS, ETC.

l. LANDLORD RESPONSIBLE FOR SETTING UP UTILITIES OR PROVIDING TEMPORARY ELECTRICAL IN SPACE THAT IS NEW CONSTRUCTION OR SPACE THAT IS BEING SUBDIVIDED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSURING TEMPORARY POWER FOR ALL FINISH OUT WORK IF NOT ALREADY PROVIDED.

m. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL WILL ACCOMMODATE EDWARD JONES REQUIREMENTS; UPGRADE AS REQUIRED.

n. CONTRACTOR TO INSTALL 2'x2' MINIMUM BACKER BOARD OF FRT PLYWOOD AT BOC LOCATION. BOARD TO BE PAINTED TO MATCH THE WALL WHEN THE WALL IS SCHEDULED FOR PAINT PER THE FINISH SCHEDULE. CONFIRM WITH FIRE MARSHALL PRIOR TO PAINTING AND LEAVE RATING STAMP EXPOSED WHENEVER REQUIRED. BOARD TO BE INSTALLED AT 24" A.F.F. TO THE BOTTOM AT THE LOCATION SHOWN ON THE PLAN. REFER TO SHEET 6 OF 6 FOR EXACT LOCATION.

o. ELECTRICIAN TO INSTALL 3/4" CONDUIT & BOX WITH PULL STRING OR MUD RING (EXISTING WALL) AT ALL LOCATIONS (SEE SECTION 4 BELOW) WITH LOW VOLTAGE COMMUNICATION CONNECTIONS. INSTALL (1) SINGLE GANG BOX AT EACH LOCATION INDICATED ON THE DRAWING WITH A TRIANGLE (-). DO NOT INSTALL A DOUBLE GANG BOX AT LOCATIONS WHERE (2) SYMBOLS ARE ADJACENT. REFER TO LEGEND AND PLANS ON SHEETS 1-3 FOR LOCATIONS OF DOUBLE GANG BOXES. IF CONDUIT IS NOT GOING TO BE INSTALLED, PLEASE CONTACT DESIGNER IMMEDIATELY.

p. ELECTRICIAN TO INSTALL ONE 3/4" CONDUIT FROM BUILDING MAIN POINT OF ENTRY (MPOE) INTO BOTH SINGLE GANG ELECTRICAL BOXES FOR INCOMING PHONE JACKS (RJ11) WITHIN 1'-0" OF BOC PER DETAIL ON PAGE 6 OF 6. INC WILL INSTALL THE QUANTITY OF CATS PHONE LINES INDICATED ON SHEET 2 OF 6; CONTRACTOR TO COORDINATE WITH INC. (INTEGRATED NETWORK CABLE, CONTACT INC INSTALL TEAM AT 888-519-9535).

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EXHIBIT A

SHEET 5 of 6

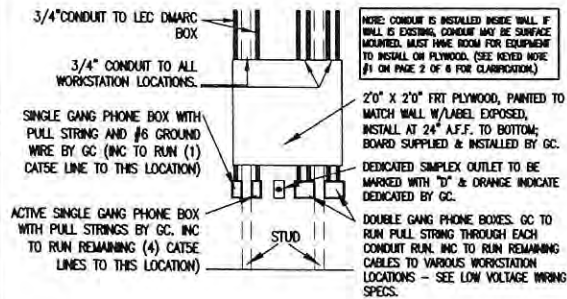


# EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS:

## 12. LOW VOLTAGE (ALSO KNOWN AS PHONE/DATA CABLING) CONDUIT-DEMISED PREMISES

- CONDUIT STUB-UPS TO BE INSTALLED IN NEW WALLS WHERE PHONE/DATA/PRINTERS ARE SHOWN ON THE FLOOR PLAN (INDICATED BY TRIANGLE: } IF THE NEW CEILING IS DRYWALL, INSTALL CONDUIT FROM THE POINT OF CONNECTION (PHONES/DATA/PRINTER LOCATIONS INDICATED WITH - } AND STUB ABOVE CEILING WITH PULL STRING RUN TO THE POINT OF TERMINATION (CLIENT SERVER OR BOC).
- CONFIRM ACTUAL LOCATIONS ON FLOOR PLAN SHEET 2 OF 6 PRIOR TO INSTALLATION. EXISTING CONSTRUCTION--CONDUIT NOT TO BE DONE IF IT REQUIRES REMOVAL OF DRYWALL PARTITIONS OR CEILINGS, UNLESS PRIOR APPROVAL RECEIVED FROM EDJ DESIGNER. IF WIREMOLD PRODUCT IS REQUIRED, INSTALL PANDUIT RACEWAY LD10E16-A.
- PROVIDE ONE SINGLE GANG BOX (ONE PER TRIANGLE) AND PULL STRING AT EACH CONDUIT LOCATION. LABEL PULL STRINGS AT POINT OF TERMINATION (BOC) WITH ROOM NUMBER OF POINT OF CONNECTION.
- IF WALLS ARE EXISTING AND CONDUIT IS NOT INSTALLED, PROVIDE PULL STRING AND CUT IN A NEW BOX AT THE SAME LOCATIONS.
- STANDARD STUB-UP QUANTITY: TEN (10) 3/4" DIAMETER LOCATIONS, UNLESS NOTED OTHERWISE ON PLANS - INDICATED BY TRIANGLE SYMBOL ON FLOOR PLANS.
  - 3/4" CONDUIT LOCATIONS
    - (2) AT BOA (ROOM 101)
    - (1) AT FA OFFICE (ROOM 102)
    - (4) AT BOC INTO DOUBLE GANG BOXES
    - (2) AT INCOMING PHONE/DATA LINES TO BOC PER PLAN (ONE ACTIVE FOR PHONES AND ONE W/ #6 GROUND WIRE RUN FROM BOX TO ELECTRICAL PANEL TO GROUND BOX FOR DATA)
    - (1) AT OPEN 106
- ALL BOXES AND CONDUIT AT BOC LOCATION TO BE INSTALLED PER DETAIL BELOW. #6 GROUND WIRE MUST BE INSTALLED AND TERMINATED ON A BUSBAR FOR #6 WIRE MOUNTED ON THE BOTTOM CORNER OF THE BACK BOARD. THE BUSBAR SHOULD HAVE 4 TO 6 TERMINALS.

## BOC REQUIREMENTS:



## CONDUIT AND PHONE LINES FROM BUILDING SOURCE TO EXTENDED DEMARC (BOC)

- GENERAL CONTRACTOR TO INSTALL (2) 3/4" CONDUIT FROM THE BUILDING SOURCE TO THE EXTENDED DEMARC LOCATION WITHIN THE BRANCH (BOC LOCATION SHOWN ON PLAN) AS WELL AS COORDINATE WITH INC TO INSTALL CATSE PLENUM RATED PHONE LINES IN QUANTITY SPECIFIED ON PAGE 2. INC CONTACT INFORMATION IS AVAILABLE ON SHEET 1 OF 6.
- \*\*\*\*IF DATA LINES ENTER BUILDING AT A DIFFERENT LOCATION THAN PHONE LINES, (1) CONDUIT WILL NEED TO COME FROM THE DATA SOURCE TO THE GROUNDED BOX AT THE BOC LOCATION. THE REMAINING CONDUIT SHOULD BE RUN IN FROM THE PHONE LINE SOURCE TO THE BOC LOCATION\*\*\*\*
- CONTACT BRANCH FACILITIES IMMEDIATELY IF THERE ARE ANY QUESTIONS REGARDING THE NUMBER OF PHONES LINES OR LOCATION OF DEMARC EXTENSION CONDUIT.

## LOW VOLTAGE WIRING (ALSO KNOWN AS PHONE/DATA CABLING)

- LOW VOLTAGE IMPLIES THE ACTUAL WIRE OR CABLE THAT IS RUN FROM THE BOC TO EACH PHONE, COMPUTER, PRINTER, AND FUTURE WORKSTATION LOCATION. THE EXCEPTION OF THE DEMARC EXTENSION (BOC) REFERENCED IN SECTION 5, LOW VOLTAGE WORK IS DONE BY EDWARD JONES BRANCH INSTALL DEPT. THROUGH A PREFERRED NATIONAL VENDOR, CBIZ. THIS WORK IS DONE AFTER THE SPACE IS TURNED OVER TO EDWARD JONES.

- IF LOW VOLTAGE WORK IS REQUIRED TO BE PERMITTED AND INSPECTED AS NOTED ON EXHIBIT A PRIOR TO CLOSING ANY NEW PARTITIONS, GENERAL CONTRACTOR IS TO COORDINATE THE INSTALLATION WITH EDWARD JONES PREFERRED NATIONAL VENDOR INC. INC CONTACT INFORMATION IS AVAILABLE ON SHEET 1 OF 6. NOTE THAT PRE-WIRE IS NOT STANDARD AND IS ONLY DONE WHEN REQUIRED VS. BEING DONE FOR CONVENIENCE. THERE IS A WIRING SPECIFICATION AVAILABLE FOR PROJECTS REQUIRING PREWIRE.
- NOTIFY BRANCH FACILITIES OF LOW VOLTAGE REQUIREMENTS NEEDED IN ORDER TO OBTAIN CERTIFICATE OF OCCUPANCY.
  - ELECTRICAL BOXES - 4X2-1/8D HANDY BOX MUST BE USED, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN NEW WALLS AND CONCRETE WALLS.
  - MUD RINGS - MPLS METAL SINGLE GANG DRYWALL MOUNTING PLATE, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN EXISTING WALLS.
- MISCELLANEOUS
  - FIXED WINDOW (ONLY IF SHOWN ON PAGES 2 & 3)
    - NEW INTERIOR WINDOW BETWEEN FA OFFICE AND BOA AREA TO BE A FIXED, 42-W X 30-H AND INSTALLED AT 42" A.F.F., UNLESS NOTED OTHERWISE; FRAME TO BE WOOD (OR TO MATCH DOOR FRAMES)
    - PAINT WOOD TRIM WHITE TO MATCH DOOR/FRAME COLOR.
    - GLASS TO BE CLEAR, 1/4" TEMPERED STATIONARY PANEL. GLIDERS AND MIRRORING WINDOWS NOT ALLOWED.
  - FIREPLACES, STOVES, SHOWERS, TUBS
  - ALL GAS AND PLUMBING LINES TO THESE ELEMENTS/FIXTURES TO BE RENDERED INOPERABLE AND ALL LINES TO BE CAPPED.

7441 S. 27TH STREET  
STE 202  
FRANKLIN, WI 53132

**Edward Jones**  
BRANCH FACILITIES  
BRANCH OFFICE 98095  
DATE: 7.7.2015

EXHIBIT A

SHEET 6 of 6



## CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of October 22, 2015

## Fence Installation Within 30 Foot Landscape Planting Buffer

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**RECOMMENDATION:** City Development Staff recommends approval of the installation of a fence within the 30-foot Landscape Planting Buffer upon Lot 37 in the Wyndham Hills Addition No. 1 Subdivision.

---

<b>Project Name:</b>	Fence Installation within 30 foot Landscape Planting Buffer
<b>Project Address:</b>	7776 South Cambridge Court
<b>Applicants:</b>	Douglas J. and Christine A. Arnold
<b>Owners (property):</b>	Douglas J. and Christine A. Arnold
<b>Current Zoning:</b>	R-3E Suburban/Estate Single-Family Residence District
<b>Use of Surrounding Properties:</b>	Single-family residential to the north, south and east and commercial to the west
<b>Applicant Action Requested:</b>	Recommendation of approval to allow construction of a fence within the 30-foot Landscape Planting Buffer of the Wyndham Hills Addition No. 1 Subdivision

---

### Introduction/Project Description:

On September 22, 2015, the applicant submitted a Miscellaneous Application, requesting to install a fence within the 30-foot Landscape Planting Buffer denoted on the Final Plat for Wyndham Hills Addition No. 1 for Lot 37, located at 7776 South Cambridge Court.

The applicant is proposing to construct an Ecostone (Limited Low Density Polyethylene) fence within the 30-foot Landscape Planting Buffer on the rear of their property, abutting West Loomis Road. Ecostone is a thermoplastic product manufactured by SimTek Fence, which is a molded to look like stone. The fence would extend approximately 190 feet along the southeast property line. According to the applicant, there will be sufficient space between the end of the fence and the property line to allow access to the non-residence side of the fence for maintenance of the existing trees/landscaping. Per Section 15-3.0802E.2.a. of the Unified Development Ordinance, the fence may be a maximum of six feet in height.

The applicant has indicated that for aesthetic purposes, the proposed fence would run adjacent to the tree line on the interior side of the trees. By following the tree line, the proposed fence location results in a minor encroachment into the 30-foot Landscape Planting Buffer in the southwest corner of the property. According to the applicant, the fence will be mostly hidden from the view of the general public by the mature trees in front of it. Staff agrees the proposed fence will be minimally visible in this instance; therefore, the location of the fence is in keeping with the spirit and intent of the Landscape Planting Buffer and will not negate the aesthetic or buffering purposes of the bufferyard.

**Staff Recommendation:**

City Development Staff recommends approval of the installation of a fence within the 30-foot Landscape Planting Buffer upon Lot 37 in the Wyndham Hills Addition No. 1 Subdivision.

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

*[Draft 10-15-15]*

RESOLUTION NO. 2015-\_\_\_\_\_

A RESOLUTION AUTHORIZING THE INSTALLATION OF A FENCE  
WITHIN THE 30 FOOT LANDSCAPE PLANTING BUFFER PLAT RESTRICTION,  
UPON LOT 37 IN WYNDHAM HILLS ADDITION NO. 1 SUBDIVISION  
(7776 SOUTH CAMBRIDGE COURT)  
(DOUGLAS J. ARNOLD AND CHRISTINE A. ARNOLD, APPLICANTS)

---

WHEREAS, the Wyndham Hills Addition No. 1 Subdivision Plat prohibits the building of structures within the 30 foot “Landscape Planting Buffer” described thereon; and

WHEREAS, Douglas J. Arnold and Christine A. Arnold having applied for a release of the 30 foot “Landscape Planting Buffer” easement restriction upon their property to the extent necessary to install a fence within the existing tree line located on the rear (southeast) side of the property which abuts West Loomis Road to the southeast, and within the easement upon the property located at 7776 South Cambridge Court, such property being zoned R3-E Suburban/Estate Single-Family Residence District, bearing Tax Key No. 793-0081-000, is more particularly described as follows:

LOT 37, WYNDHAM HILLS ADDITION NO. 1, BEING A  
SUBDIVISION OF A PART OF THE NORTHWEST 1/4 AND  
SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, AND THE  
NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWN 5  
NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN,  
MILWAUKEE COUNTY, WISCONSIN; and

WHEREAS, the 30 foot “Landscape Planting Buffer” easement restriction upon the Final Plat for Wyndham Hills Addition No. 1 Subdivision and its accompanying restriction of the building of structures is a restriction which was imposed by the Franklin Common Council in its approval of the Final Plat; and

WHEREAS, Wis. Stats. § 236.293 provides in part that any restriction placed on platted land by covenant, grant of easement or in any other manner, which was required by a public body vests in the public body the right to enforce the restriction at law or in equity and that the restriction may be released or waived in writing by the public body having the right of enforcement; and

WHEREAS, the Common Council having considered the request for the release of the 30 foot “Landscape Planting Buffer” easement restriction only so as to allow for the subject fence installation, and having considered the proposed location of and type of fence to be installed upon the subject property in conjunction with existing and required landscaping on the property, and that the proposed fence will not be readily visible from the

adjoining highway or create any adverse impact upon the aesthetic or buffering purposes of the landscape bufferyard.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the installation of the proposed fence of the type and specifications as described and only upon the location as set forth within the plans accompanying the application of Douglas J. Arnold and Christine A. Arnold filed on September 22, 2015, be and the same is hereby authorized and approved and that the "Landscape Planting Buffer" easement restriction as it would otherwise apply to such installation upon the subject property only, is hereby waived and released.

BE IT FURTHER RESOLVED, that the applicant shall further obtain all required permit(s) for the installation of the subject fence and that the subject fence shall be installed pursuant to such permit(s) within one year of the date hereof, or all approvals granted hereunder shall be null and void.

BE IT FINALLY RESOLVED, that the City Clerk be and the same are hereby directed to obtain the recording of this Resolution with the Office of the Register of Deeds for Milwaukee County.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



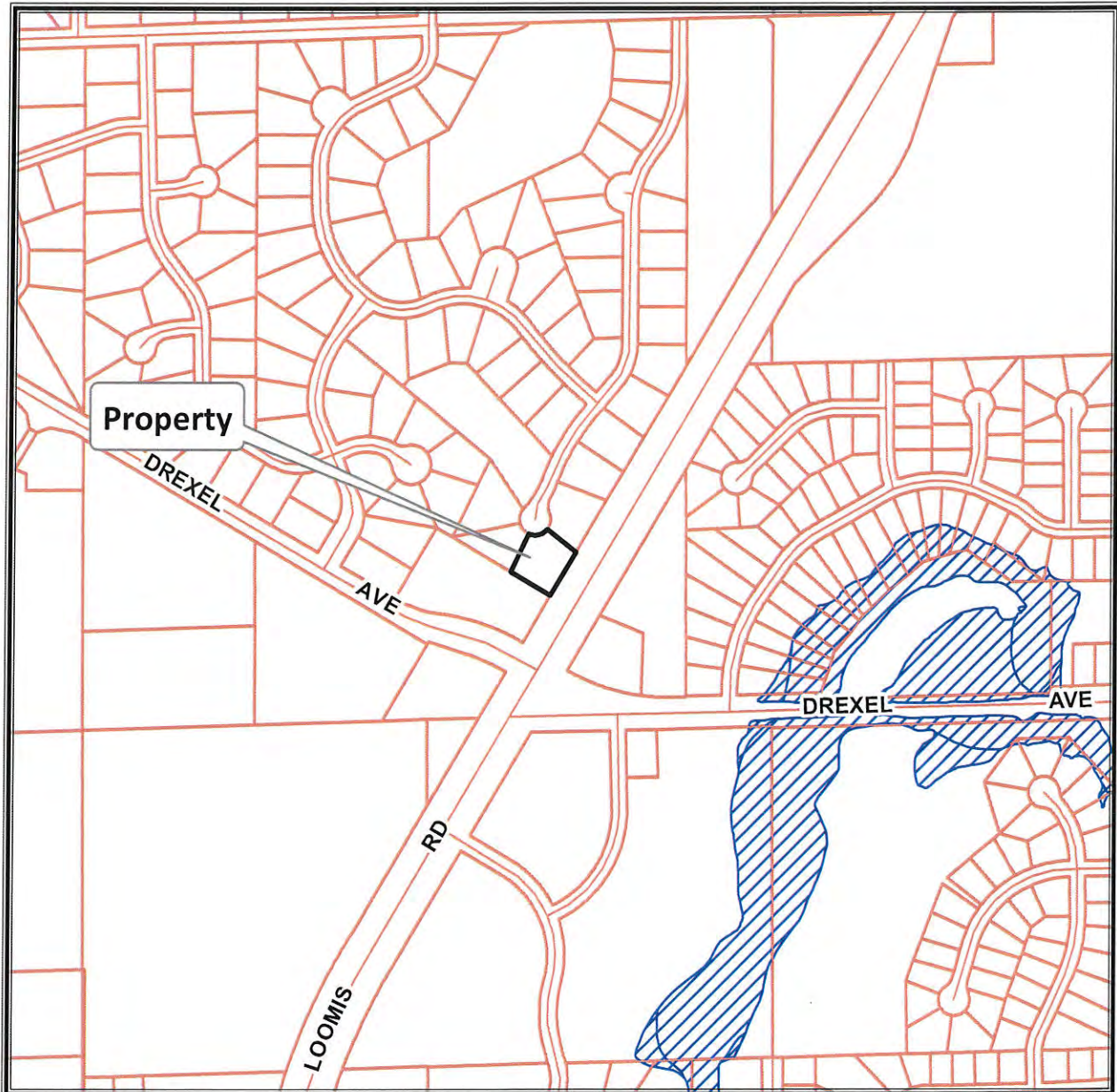


City of Franklin

7776 South Cambridge Court

TKN 793-0081-000

Zoned: R-3E Suburban/Estate Single-Family Residence District



Planning Department  
(414) 425-4024

0 370 740 1,480 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



2013 Aerial Photo





City of Franklin

7776 South Cambridge Court

TKN 793-0081-000

Zoned: R-3E Suburban/Estate Single-Family Residence District



Planning Department  
(414) 425-4024

0 75 150 300 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



2013 Aerial Photo



## Request for Release of 30' Landscape Bufferyard Easement

**Applicants:** Douglas & Christine Arnold

Franklin

**Property Address:** 7776 S. Cambridge Ct., Franklin, WI 53132

OCT 12 2015

**Tax Key:** 793-0081-000

City Development

**Legal Description:** LOT 37, WYNDHAM HILLS ADDITION NO. 1, BEING A SUBDIVISION OF A PART OF THE NORTHWEST ¼ AND SOUTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 9, AND THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 8, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

**Project Summary:** This is a request for a release of the 30' Landscape Bufferyard Easement at the property address noted above so that a fence can be installed on a small section of the buffer.

**Detailed Description:** The Applicants reside at the above address, which is located in the Wyndham Hills subdivision. They would like to install a fence on the Loomis road side of their property for screening purposes. The plat of survey (Attachment B) provides for a 30' wide "Landscaping Planting Buffer" running parallel to Loomis Road.

As illustrated on the project drawing at Attachment A, when the trees on the Loomis Road side of the property were planted, they were planted in such a way that the tree line does not run exactly parallel to the Landscaping Planting Buffer. For aesthetic purposes, the intent is to have the fence run adjacent to the tree line on the interior side of the trees. If the fence is to be installed so that it closely parallels the tree line, it will be necessary to install a portion of it within the Buffer. The total incursion into the Buffer is estimated to be less than 5% of the total Buffer square footage.

Since the fence will be installed on the interior side of the tree line, it will be mostly hidden from view on Loomis Road by the mature tree line in front of it. The area on which it will be installed is planted with grass. There will be no impact to any trees located within the Buffer.

The fence will be installed by a licensed contractor in compliance with the City of Franklin ordinances for fences. All required approvals and permits will be obtained prior to the start of construction. See Attachment D for other approvals that have been obtained.

### Ordinances Related to Request

The following City of Franklin Unified Development Ordinance is considered to be applicable to this installation.

#### SECTION 15-5.0102 LIMITED ACCESS HIGHWAY TREATMENT

Whenever the proposed Subdivision, Certified Survey Map, or Condominium contains or is adjacent to a limited access highway right-of-way, the design shall provide the following treatment:



**A. Landscape Bufferyard Easement Required.** When lots within the proposed Subdivision, Certified Survey Map, or Condominium back upon the right-of-way of an existing or proposed limited access arterial street or highway, a planting strip (landscape bufferyard easement) a minimum thirty (30) feet in depth (width), or as otherwise required by the City of Franklin Unified Development Ordinance (see Division 15-5.0300 of this Ordinance) or the Comprehensive Master Plan, shall be provided adjacent to the highway in addition to the normal lot depth. **This strip shall be a part of the platted lots but shall have the following restriction lettered on the face of the plat:**  
*"Landscape Bufferyard Easement: This strip is reserved for the planting of trees and shrubs; the building of structures hereon is prohibited."* [Emphasis added]

Attached are survey plats for the property (Attachment B) and the Wyndham Hills subdivision (Attachment C). Both plats refer to a "Landscape Planting Buffer" and not a "Landscape Bufferyard Easement." The plat restriction described above does not appear on either plat, nor does the term "easement" with respect to the Landscape Planting Buffer.

Below are three definitions from the Unified Development Ordinance that refer to fences.

#### **SECTION 15-11.0103 SPECIFIC WORDS AND PHRASES**

**Bufferyard.** An area of land within the boundaries of a lot or site, generally adjacent to and parallel with the property line, either consisting of natural existing vegetation or using trees, shrubs, **fences**, and/or berms, designed to limit continuously the view and/or sound from the lot or site to adjacent lots or sites. Bufferyards are typically defined by a delineated easement graphically indicated on the face of the Site Plan, Landscape Plan, Certified Survey Map, Subdivision Plat, or Condominium Plat. Bufferyards may be required between zoning districts and/or land uses to eliminate or minimize conflicts between them as set forth in Division 15-3.0300 of this Ordinance.

**Landscaping.** Living material, such as grass, groundcover, flowers, shrubs, vines, hedges, and trees; and nonliving durable material such as rocks, pebbles, sand, mulch, wood chips or bark, walls, and **fences**, but not including paving.

**Structure.** Anything constructed or erected which requires location on the ground, including a **fence** or free-standing wall. A sign, billboard, or other advertising medium, detached or projecting, shall be construed to be a structure.

As can be seen in the definitions, "bufferyard" contemplates the inclusion of fences. The definition of "landscaping" also includes fences. Thus, one could conclude that a "Landscaping Planting Buffer" would include fences.

The plat restriction specified in 15-5.0102 (which was not included on the face of the plats) states that "the building of structures hereon is prohibited." The definition of "structures" also includes fences. So, if the argument is made that plat restriction applies even if it is not printed on the plat as required by the UDO, then it would be further argued that a fence installation would require special approval. It is that position that necessitates this Application.

With respect to the topic of fences within landscaping buffers, there appears to be conflict within the ordinances and definitions. Adding to that is the absence of the required restriction on the face of the plats. The intent of the inclusion of this discussion here is not to present a legal argument on this situation. It is to highlight that the Ordinances clearly consider fences within the definition of "Landscaping Bufferyards" and thus this request to install a fence within a "Landscape Planting Buffer" is a reasonable request that is consistent with the language of the Unified Development Ordinance.

### **Precedence**

In 2012, a similar request was approved by the Planning Commission for Lot 42 in the Wyndham Hills subdivision. This lot is five lots north of Applicants' lot and within the same Landscaping Planting Buffer line along Loomis Road. In that case, the amount of the buffer covered by the fence was much larger than the area that would be covered by this request.

### **Conclusion**

The Applicants' request to install a fence within a portion of the Landscaping Planting Buffer is reasonable given that:

1. The amount of incursion within the Buffer is small.
2. The fence will be largely obscured from the road.
3. Fences within landscaping bufferyards are clearly considered under the UDO.
4. Similar requests have been granted for larger incursions than this request.

Thank you for your consideration of this Application.

# Attachment A

Services  
Structures

## PROJECT DRAWING

### LEGAL DESCRIPTION:

LOT 37, WYNDHAM HILLS ADDITION NO. 1, BEING A SUBDIVISION OF A PART OF THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.



SYMBOL LEGEND	
● 1"	FOUND 1" IRON PIPE
⊗	FIRE HYDRANT
⊙	SANITARY SEWER MH
⊕	TELEPHONE PEDESTAL
⊖	CABLE PEDESTAL
⊙	UTILITY POLE
● 2"	FOUND 2" IRON PIPE

STATE OF WISCONSIN }  
MILWAUKEE COUNTY }

I hereby certify that I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadway and visible encroachments, if any.

This survey is made for the present owners of the property, and also those who purchase, mortgage, or guarantee, the title thereto within (1) year from date hereof.

Dated at MILWAUKEE, this 16TH day of MAY, 202002

Recertified JULY 17TH, 2002

Surveyor

DRAWN BY: MDN  
CHECKED BY: \_\_\_\_\_

Lines depicting the tree line and fence are approximate.



# Attachment B – 7776 S. Cambridge Ct. Plat of Survey

## Services Offered

Commercial Site Development  
Subdivision Design and Platting  
Planning and Plan Review  
Streets and Highway Design  
Drainage Studies  
Water Distribution Systems  
Sewer Collection Systems  
Construction Surveying and Stake-out  
Services  
Structures



5417 North 118th Court  
(414) 616-4880

**McCLURE  
ENGINEERING  
ASSOCIATES, INC.**

Milwaukee, Wisconsin 53225  
FAX (414) 616-4885

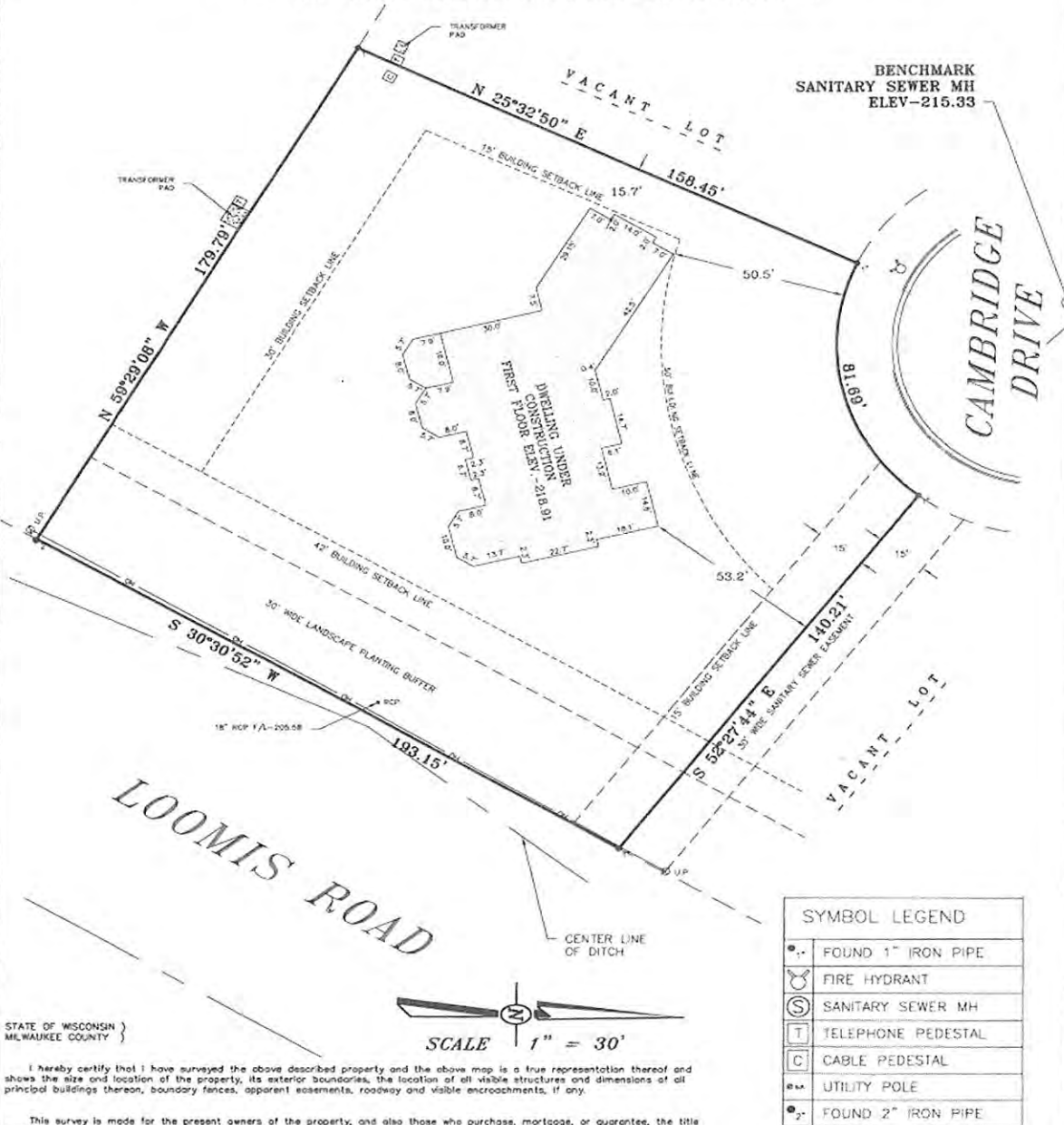
PROJECT NO: 08-13-02-018  
DRAWING: 02018B2.DWG

## PLAT OF SURVEY

PREPARED FOR: MARK E. CARSTENSEN CONSTRUCTION

## LEGAL DESCRIPTION:

LOT 37, WYNDHAM HILLS ADDITION NO. 1, BEING A SUBDIVISION OF A PART OF THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.



STATE OF WISCONSIN }  
MILWAUKEE COUNTY }

I hereby certify that I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadway and visible encroachments, if any.

This survey is made for the present owners of the property, and also those who purchase, mortgage, or guarantee, the title thereto within (1) year from date hereof.

Dated at MILWAUKEE, this 16TH day of MAY, 20 2002

Recorded JULY 17TH, 2002

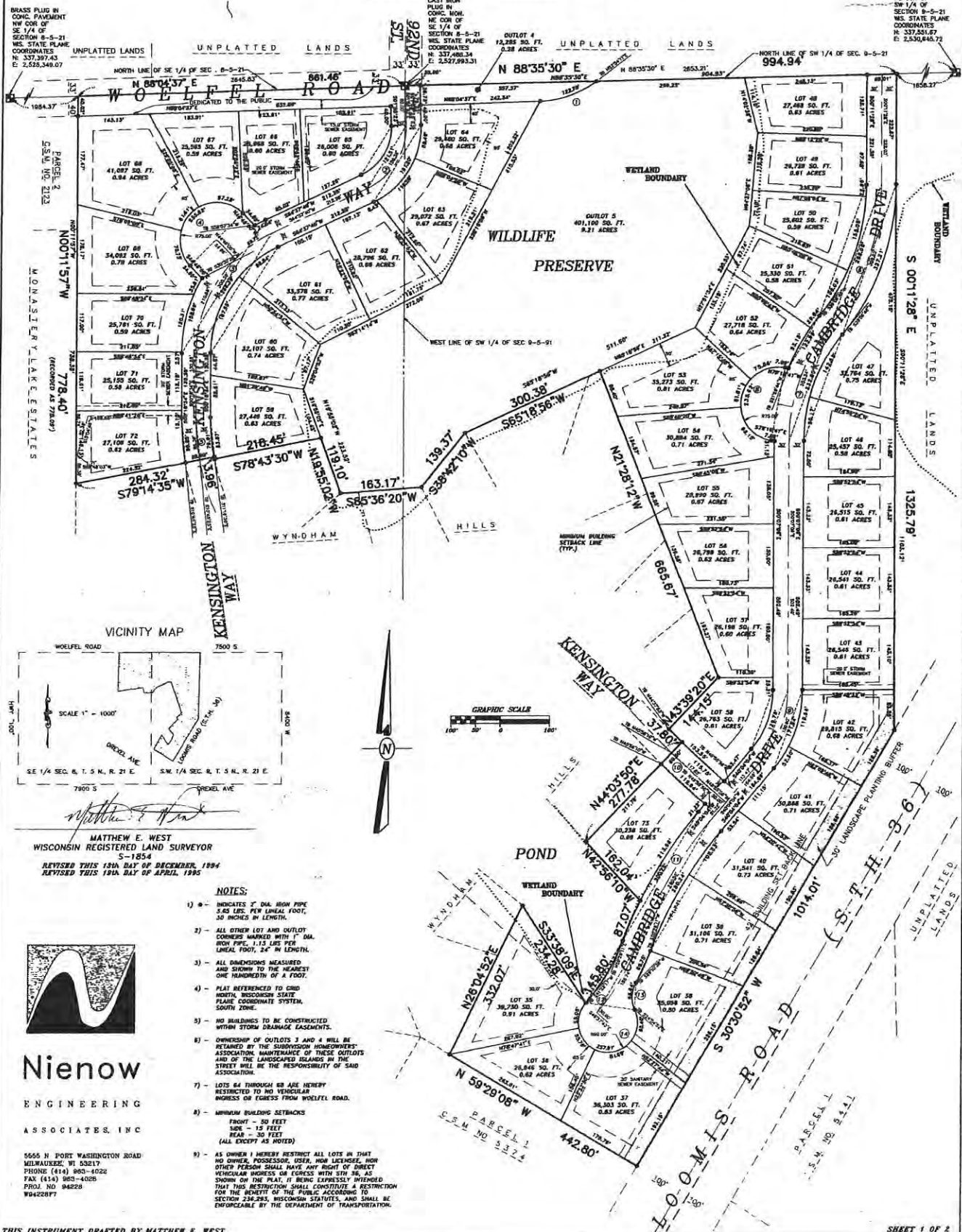
Surveyor

DRAWN BY: MDN

CHECKED BY:

BEING A SUBDIVISION OF A PART OF THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

CONC. WEN.  
W/ BRASS  
CAP  
NE COR OF  
SY 1/4 OF  
SECTION 9-5-21  
WIS. STATE PLANE  
COORDINATES  
N: 337,551.67  
E: 2,530,445.72





## Attachment D – Other Approvals

The request to install the fence has also been reviewed and approved by the Wyndham Hills Homeowners Association and the Wisconsin Department of Transportation (due to the property location along a state highway). Copies of their approvals are provided here to confirm that they have been obtained prior to seeking this request.

No further action is required of the Applicants relative to these two approvals.

### WYNDHAM HILLS HOMEOWNERS ASSOCIATION

July 23, 2015

Doug and Chris Arnold  
7776 S Cambridge Court  
Franklin, WI 53132

Dear Doug & Chris,

Your project, as detailed in your submission, entitled "Proposed Property Enhancement" dated July 2015, to the Wyndham Hills Homeowners Association Architectural Control Committee, has been approved.

Please be aware that this approval, as noted in Article VII of the "Declaration of Covenants and Restrictions for the Wyndham Hills Subdivision", applies primarily to aesthetics and "harmony of exterior design with existing structures...". Applications for and compliance with other approvals, permits, or code restrictions which may be required by any municipality, county, or state entity remain the sole responsibility of the Homeowner.

Sincerely,

Architectural Control Committee

Wyndham Hills Homeowners Association

*Alan R. Kenna, President*

### Wyndham Hills Homeowners Association



Division of Transportation  
System Development  
Southeast Regional Office  
141 N.W. Barstow Street  
P.O. Box 798  
Waukesha, WI 53187-0798

Scott Walker, Governor  
Mark Gottlieb, P.E., Secretary  
Internet: [www.dot.wisconsin.gov](http://www.dot.wisconsin.gov)  
Telephone: (262) 548-5903  
Facsimile (FAX): (262) 549-5662  
E-Mail: [wgk@kasha.dtd@dot.wi.gov](mailto:wgk@kasha.dtd@dot.wi.gov)

September 4, 2015

Doug Arnold  
7776 S. Cambridge Ct.  
Franklin, WI 53132

Re: Proposed fence within the 42' Building Setback area on Lot 37 of Wyndham Hills Addition No. 1.

Dear Mr. Arnold,

The Department of Transportation does not object to a fence being constructed within the 42' Building Setback area once the Waiver of Damages is recorded. Enclosed is a copy of the Waiver of Damage form that must be signed, notarized and recorded before the fence can be constructed within the 42' Building Setback area.

If you have any questions or concerns about the Waiver of Damage form, please call me at 262-548-6713.

Thank you,

*Susan King*  
Susan King  
Wisconsin Department of Transportation  
SE Region  
Access Management Specialist

#### Document Number AGREEMENT FOR WAIVER OF DAMAGES

Wisconsin Department of Transportation

This waiver applies to land in: Northwest 1/4 and Southwest 1/4 of the Southwest 1/4 of section 8, and the Northeast 1/4 of the Southwest 1/4 of section 8, Town 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, (Lot 37 of Wyndham Hills Addition NO. 1)

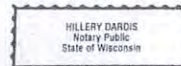
The State of Wisconsin Department of Transportation hereby agrees to grant a Special Exception to allow a fence to be constructed in the 42' Building Setback area.

Grantee(s) hereby agree(s) to waive any and all claims against the State of Wisconsin Department of Transportation for damages related to any improvements placed in the 42' Building Setback area incurred by any highway improvement project on the above land. It is understood that this waiver of damages applies to all new improvements constructed within the 42' Building Setback area.

In the event that the State of Wisconsin would require any additional right of way within the 42' Building Setback area, the State would pay fair market value of the land as if it were vacant. Further, the State would not be obligated to pay any damages to the remaining land, buildings, or other improvements on the remaining land as a result of the additional right of way acquired.

Grantee(s) further agree(s) that the above conditions shall apply to and bind their heirs, executors, administrators, successors, and assigns.

*[Signature]*  
(Signature)  
*Doug & Chris Arnold*  
(Print Name)



#### State Approval Notary Certificate

State of Wisconsin  
Milwaukee County  
Subscribed and sworn to before me this date 9-4-2015  
*[Signature]*  
(Signature, Notary Public, State of Wisconsin)  
*Hillary Dardis*  
(Print or Type Name, Notary Public, State of Wisconsin)  
11-20-2016  
(Date Commission Expires)



DOC.# 10498425

RECORDED 09/14/2015 08:05AM  
JENN LA FAVE  
REGISTER OF DEEDS  
Milwaukee County, WI  
AMOUNT: 30.00  
FEE EXEMPT #:

This space is reserved for recording date

Wisconsin Department of Transportation  
SE Region  
141 NW Barstow Street  
PO Box 798  
Waukesha, WI 53187-0798  
Attn: Sue King  
Phone (Classification Number) (or Key Number)  
7930061000

This instrument was drafted by Wisconsin Department of Transportation

As required in the approval letter, the above Agreement has been filed with the Register of Deeds.

**ADDENDUM 1**  
**City of Franklin Department of Development Questions**

As part of the City Staff review of the application, two questions were raised. This addendum will provide the answers to those two questions.

1. Is the landscaping currently maintained by you the home owner, or does the Wyndham Hills Homeowner's Association maintain the plantings within the 30' Landscape Planting Buffer?

ANSWER: The landscaping in the 30' Landscape Planting Buffer is maintained by the homeowner. It is not included in the subdivision common areas.

2. After the installation of the fence, will the landscaping still be accessible from the residence for routine maintenance?

ANSWER: Yes, the landscaping will still be accessible from the residence after the installation of the fence. Specifically, there will be sufficient space between the end of the fence and the property line to allow access to the non-residence side of the fence without entering on to adjacent properties.



REPORT TO THE PLAN COMMISSION

Meeting of October 22, 2015

Site Plan

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**RECOMMENDATION:** Department of City Development staff recommends approval of the Site Plan Application for Marvin and Alice Wolff.

---

<b>Project Name:</b>	Wolff Accessory Building
<b>Project Location:</b>	8400 West Oakwood Road
<b>Property Owner:</b>	Marvin and Alice Wolff
<b>Applicant:</b>	Marvin and Alice Wolff
<b>Current Zoning:</b>	A-2 Prime Agricultural District and FW Floodway District
<b>2025 Comprehensive Plan:</b>	Residential and Areas of Natural Resource Features
<b>Use of Surrounding Properties:</b>	Institutional property (to the north), Agricultural land (to the south, east and west) and Single-Family residential (to the west)
<b>Applicant's Action Requested:</b>	Approval of the Site Plan Application to allow construction of an approximately 2,646 square foot accessory building

---

**Project Description/Analysis**

Please note:

- Staff recommendations are underlined, in italics and are included in the draft ordinance.

On October 5, 2015, the applicant filed a Site Plan Application to allow construction of a 2,646 square foot accessory structure on property located at 8400 W. Oakwood Road. The applicant is proposing a 42-foot by 63-foot accessory building located directly to the east of an existing accessory building. The building will have a peak height of 19'-6". The property is zoned A-2 Prime Agricultural District, is actively farmed and will be utilized for the storage of farm equipment. The building consists of steel siding and includes an overhead garage door on the south elevation and a service door on the west elevation.

The location of the proposed structure currently slopes to the east, so the applicant will be filling and re-grading the site to accommodate the new structure. Staff recommends that the applicant shall obtain final approval of the grading plan from the Engineering Department, prior to issuance of a Building Permit. Additionally, the applicant plans to install a gravel strip connecting the proposed building and existing driveway for access. The applicant intends to pave this area in the future.

**Staff Recommendation**

Department of City Development staff recommends approval of the Site Plan Application for Marvin and Alice Wolff.

## RESOLUTION NO. 2015-\_\_\_\_

A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION  
OF AN ACCESSORY STRUCTURE  
(8400 WEST OAKWOOD ROAD)  
(MARVIN W. WOLFF, APPLICANT, MARVIN W. WOLFF  
AND ALICE L. WOLFF (L/E) AND BRENT W. WOLFF, OWNERS)

---

WHEREAS, Marvin W. Wolff having applied for approval of a proposed site plan for the construction of a 2,646 square foot accessory structure for storage of agricultural equipment upon property located at 8400 West Oakwood Road; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the construction of a 2,646 square foot accessory structure for storage of agricultural equipment, as depicted upon the plans dated October 13, 2015, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Marvin W. Wolff (Marvin W. Wolff and Alice L. Wolff (L/E) and Brent W. Wolff, owners) accessory structure construction dated October 13, 2015.
2. Marvin W. Wolff (Marvin W. Wolff and Alice L. Wolff (L/E) and Brent W. Wolff, owners), successors and assigns, and any developer of the accessory structure construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the accessory structure construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the accessory structure construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental

MARVIN W. WOLFF (MARVIN W. WOLFF AND ALICE L. WOLFF (L/E) AND  
BRENT W. WOLFF, OWNERS) – SITE PLAN  
RESOLUTION NO. 2015-\_\_\_\_\_

Page 2

approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

4. That the Marvin W. Wolff (Marvin W. Wolff and Alice L. Wolff (L/E) and Brent W. Wolff, owners) accessory structure construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. Applicant shall obtain final approval of the grading plan from the Engineering Department, prior to the issuance of a Building Permit.

6. [other conditions, etc.]

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

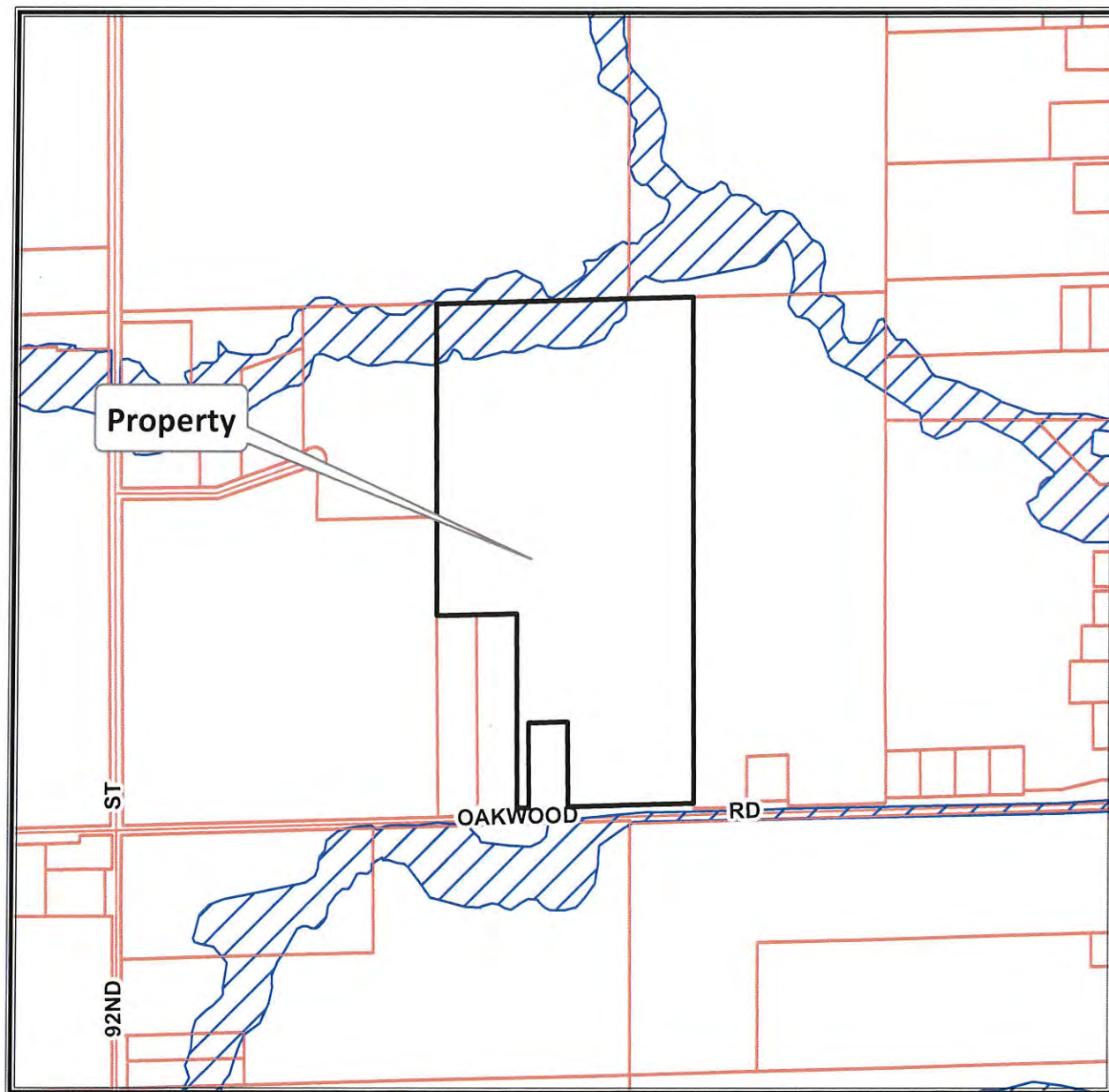
AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



8400 West Oakwood Road

TKN: 935-9994-009

Zoned: A-2 Prime Agricultural District & FW Floodway



Planning Department  
(414) 425-4024

0 490 980 1,960 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

  
**NORTH**  
2013 Aerial Photo



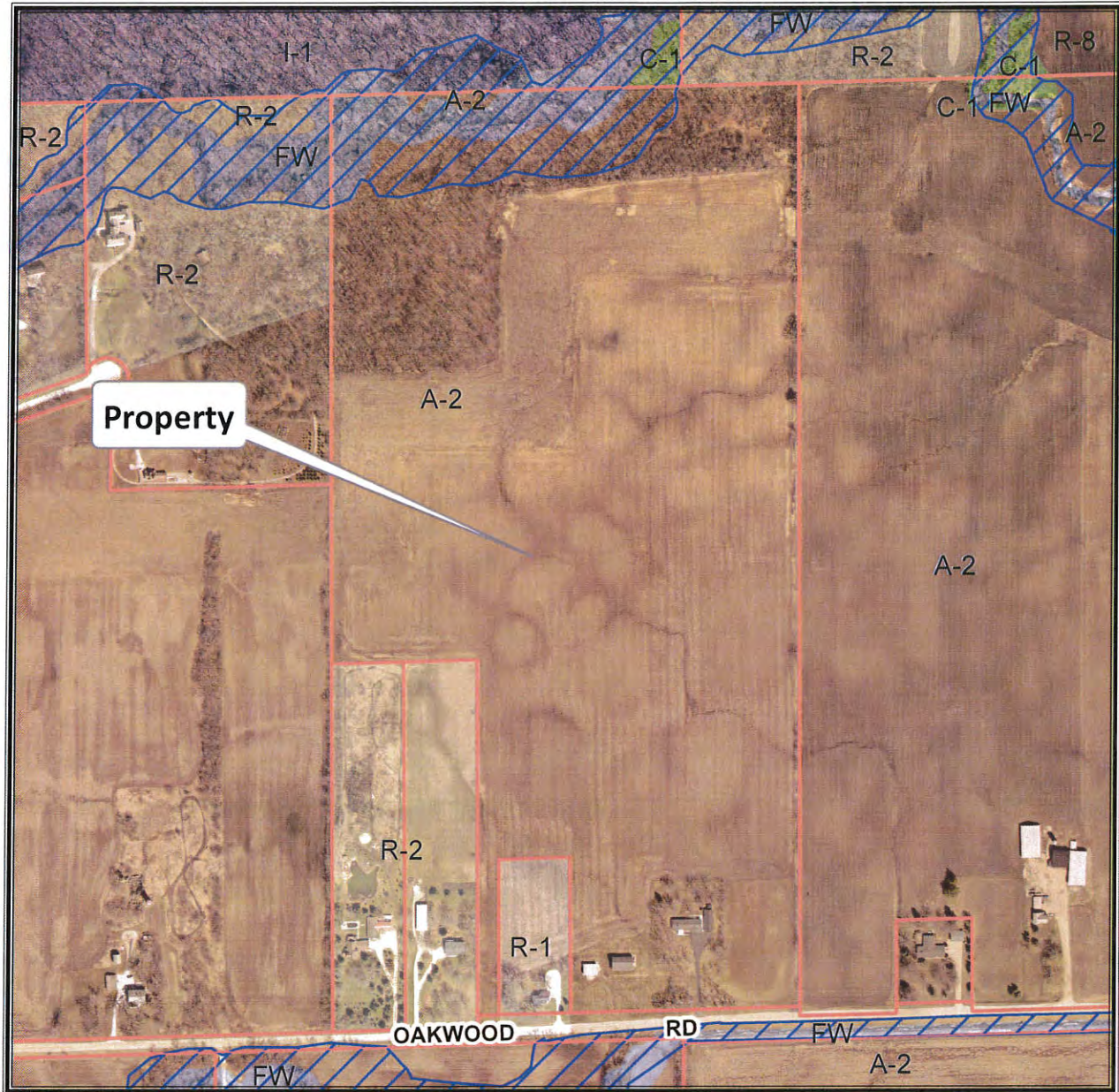


City of Franklin

8400 West Oakwood Road

TKN: 935-9994-009

Zoned: A-2 Prime Agricultural District & FW Floodway



Planning Department  
(414) 425-4024

0 270 540 1,080 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



2013 Aerial Photo

October 12, 2015

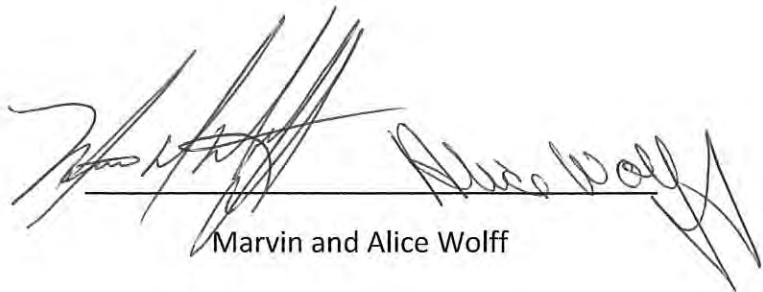
City of Franklin Department of City Development

From: Marvin and Alice Wolff

RE: Project Summary

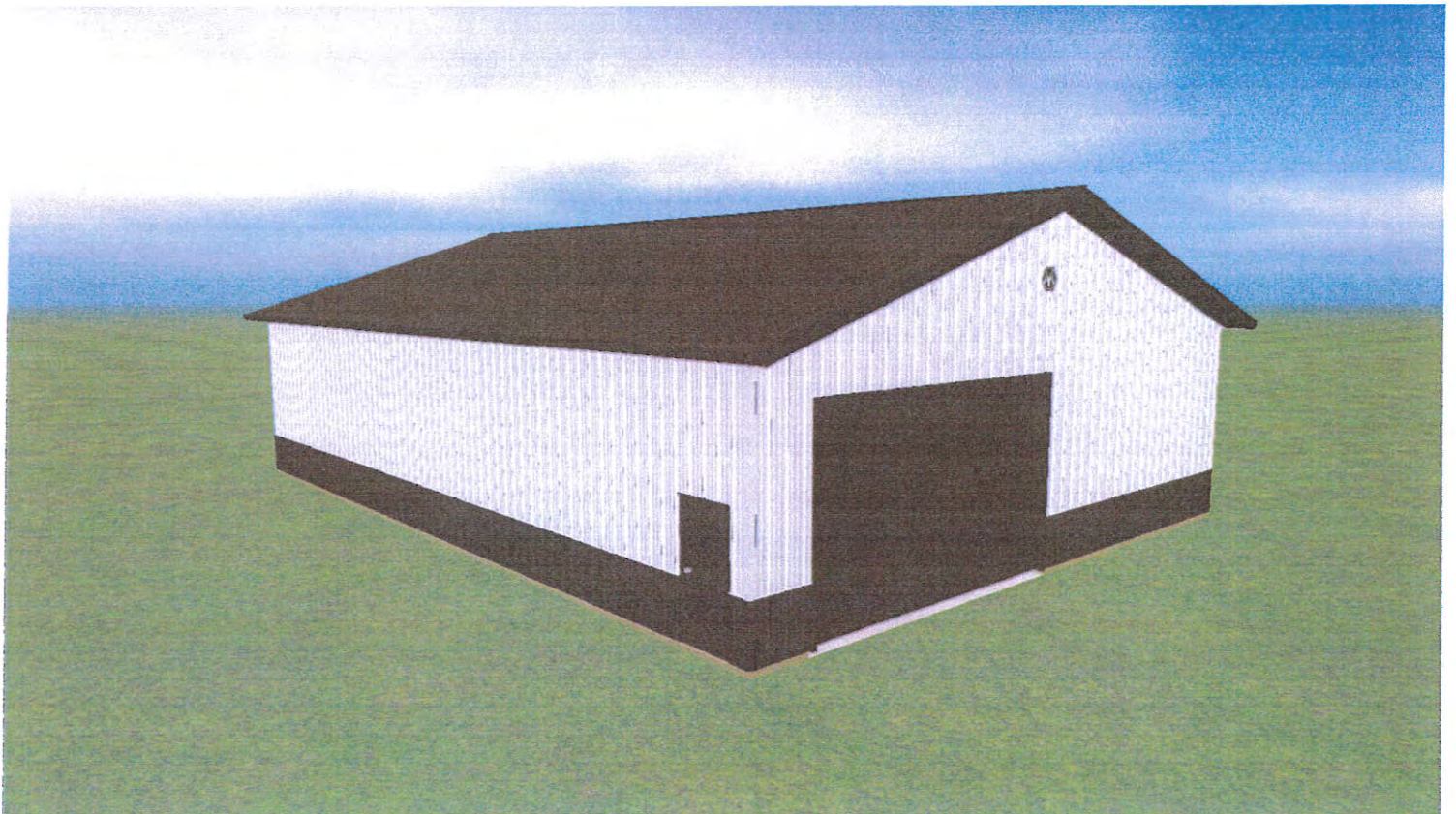
Franklin  
OCT 13 2015  
City Development

We are requesting site plan approval for the construction of a 42' x 63' structure with a peak height of 19'6", located at 8400 W. Oakwood Rd. The structure will be used for storage of agricultural equipment. The estimated project value is \$58,000.00. Construction activity is anticipated to start shortly after site plan approval and commence approximately thirty days later. This project should have a positive fiscal impact, requiring no additional city services, but adding to the tax base.

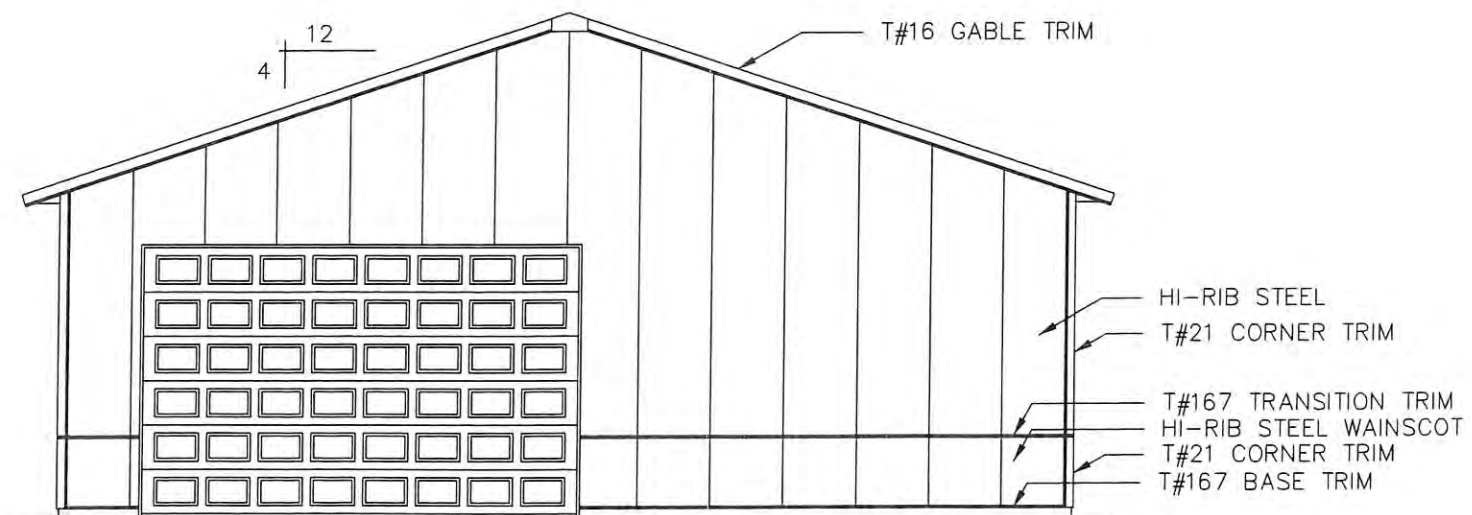
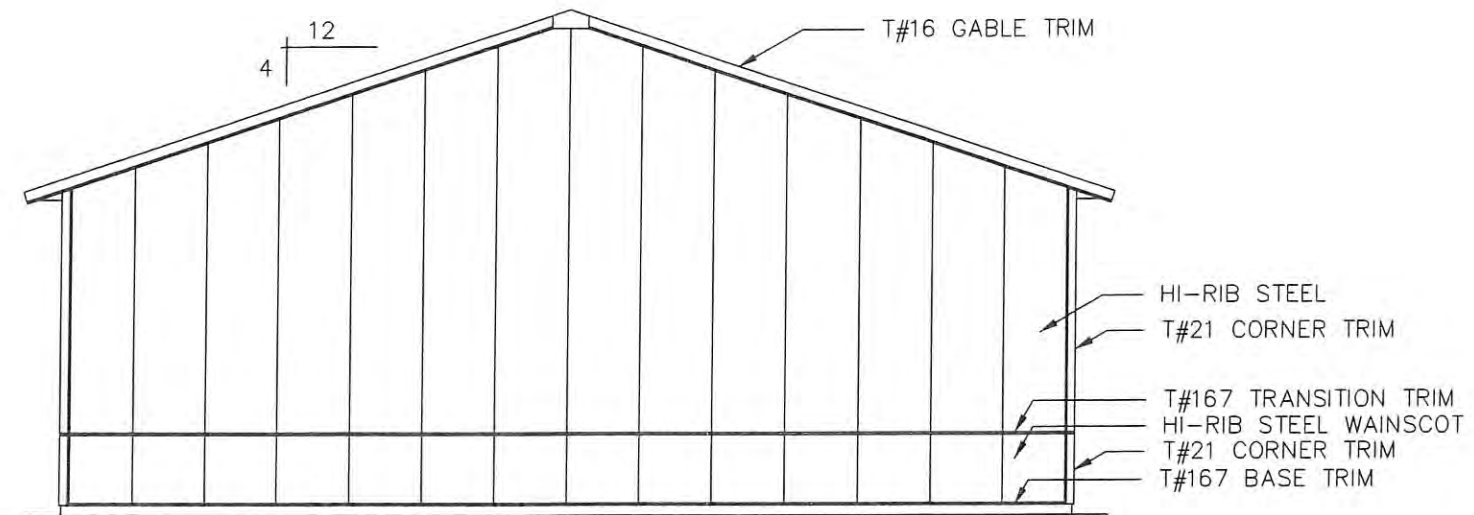


Marvin and Alice Wolff





Franklin  
OCT 1 2015  
City Development

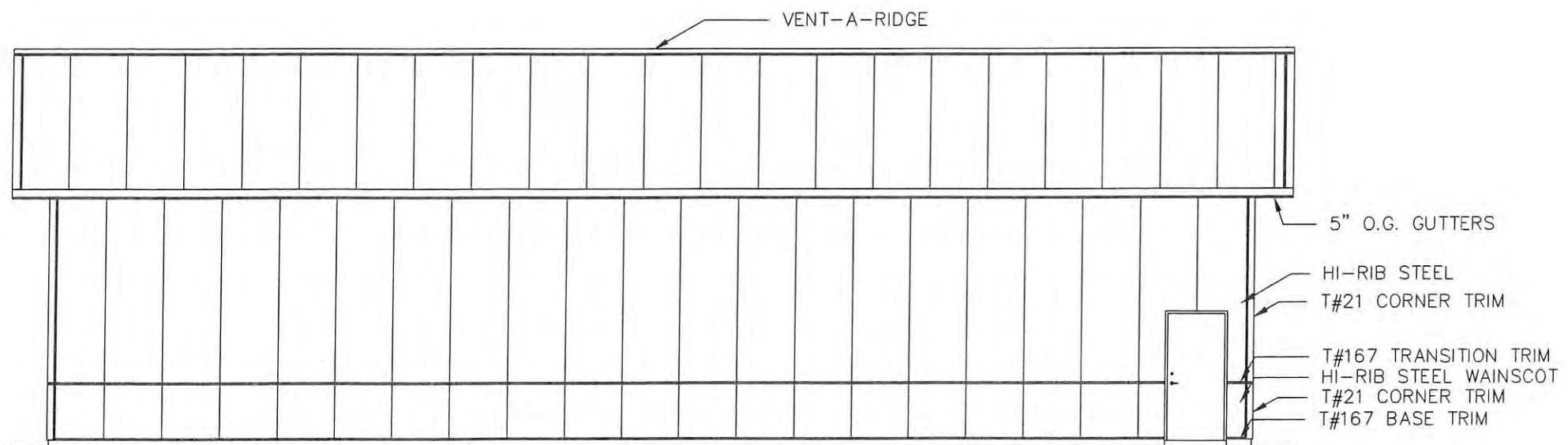
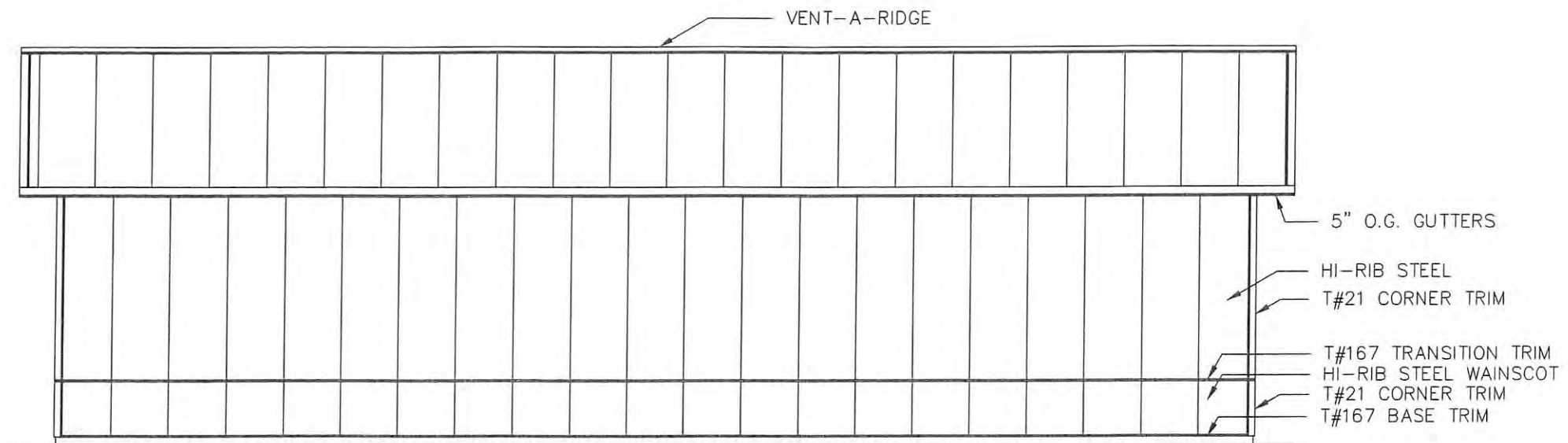


Franklin

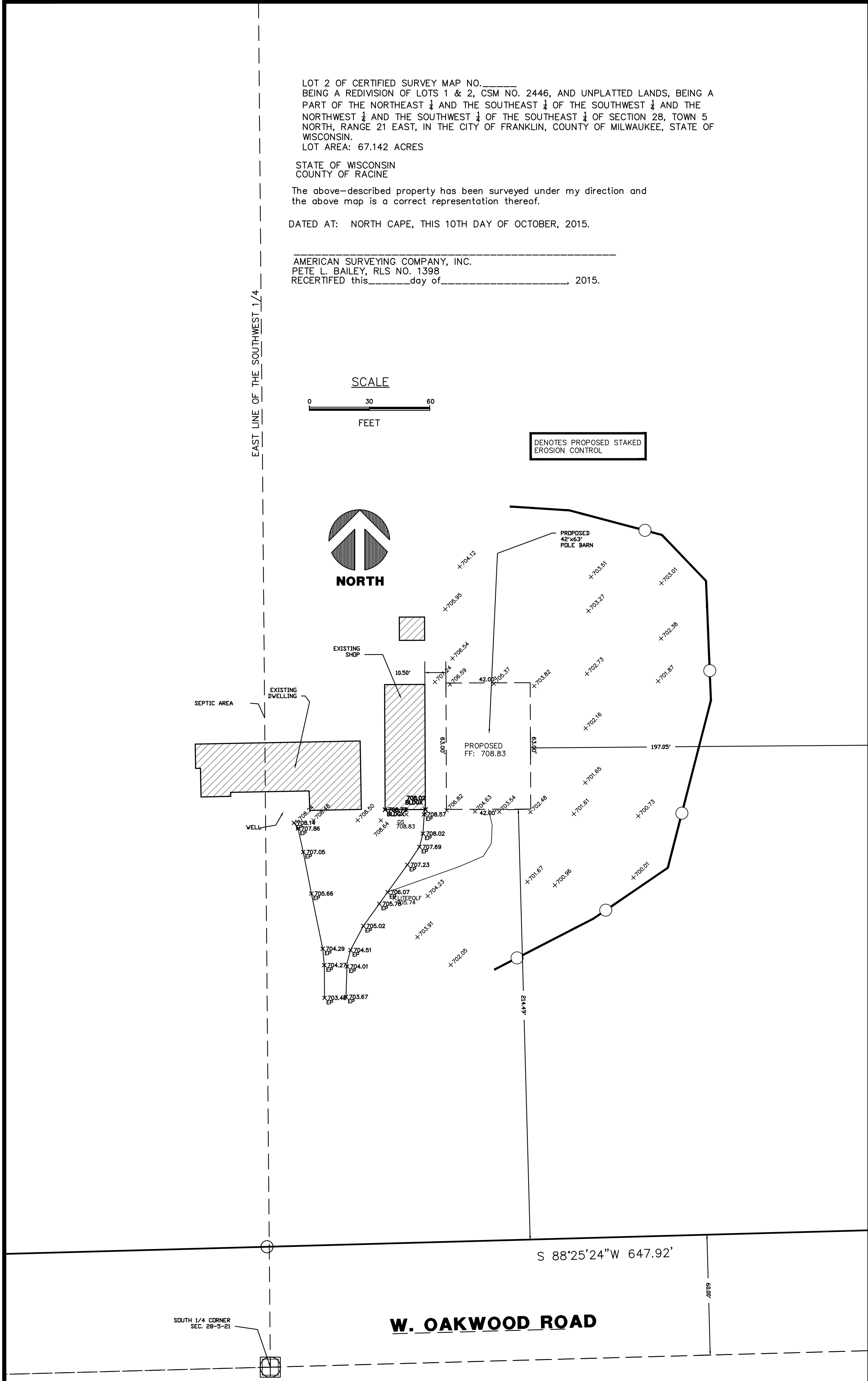
JOY 1 2015

City Development

$1/8" = 1'$



1/8" = 1'



LOT 2 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
BEING A REDIVISION OF LOTS 1 & 2, CSM NO. 2446, AND UNPLATTED LANDS, BEING A  
PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 AND THE  
NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 28, TOWN 5  
NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF  
WISCONSIN.  
LOT AREA: 67.142 ACRES

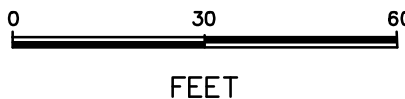
STATE OF WISCONSIN  
COUNTY OF RACINE

The above-described property has been surveyed under my direction and  
the above map is a correct representation thereof.

DATED AT: NORTH CAPE, THIS 10TH DAY OF OCTOBER, 2015.

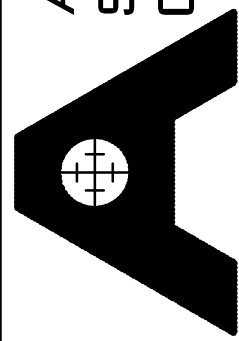
AMERICAN SURVEYING COMPANY, INC.  
PETE L. BAILEY, RLS NO. 1398  
RECERTIFIED this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

SCALE



DENOTES PROPOSED STAKED  
EROSION CONTROL





AMERICAN  
SURVEYING  
COMPANY, INC.

12207 C.T.H. "K" FRANKSVILLE, WISCONSIN 53126  
TEL. (262) 835-4774 FAX: (262) 835-2379  
beaufordbailey@hotmail.com

DRAWN BY:	PLB	REVISIONS:	DATE
CHECKED BY:	PLB		
PLOT SCALE:	1 = 30		
DATE:	10/10/2015		
JOB NO.:	2015137		
DWG. FILE:	JN2015216	CLIENT NO.	02106

CITY OF FRANKLIN

PROJECT:  
**PLAT OF SURVEY/STAKEOUT SURVEY**  
PREPARED FOR: MARVIN WOLD

EAST LINE OF THE SOUTHWEST 1/4

LOT 2 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
BEING A REDIVISION OF LOTS 1 & 2, CSM NO. 2446, AND UNPLATTED LANDS, BEING A  
PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 AND THE  
NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 28, TOWN 5  
NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF  
WISCONSIN.  
LOT AREA: 67.142 ACRES

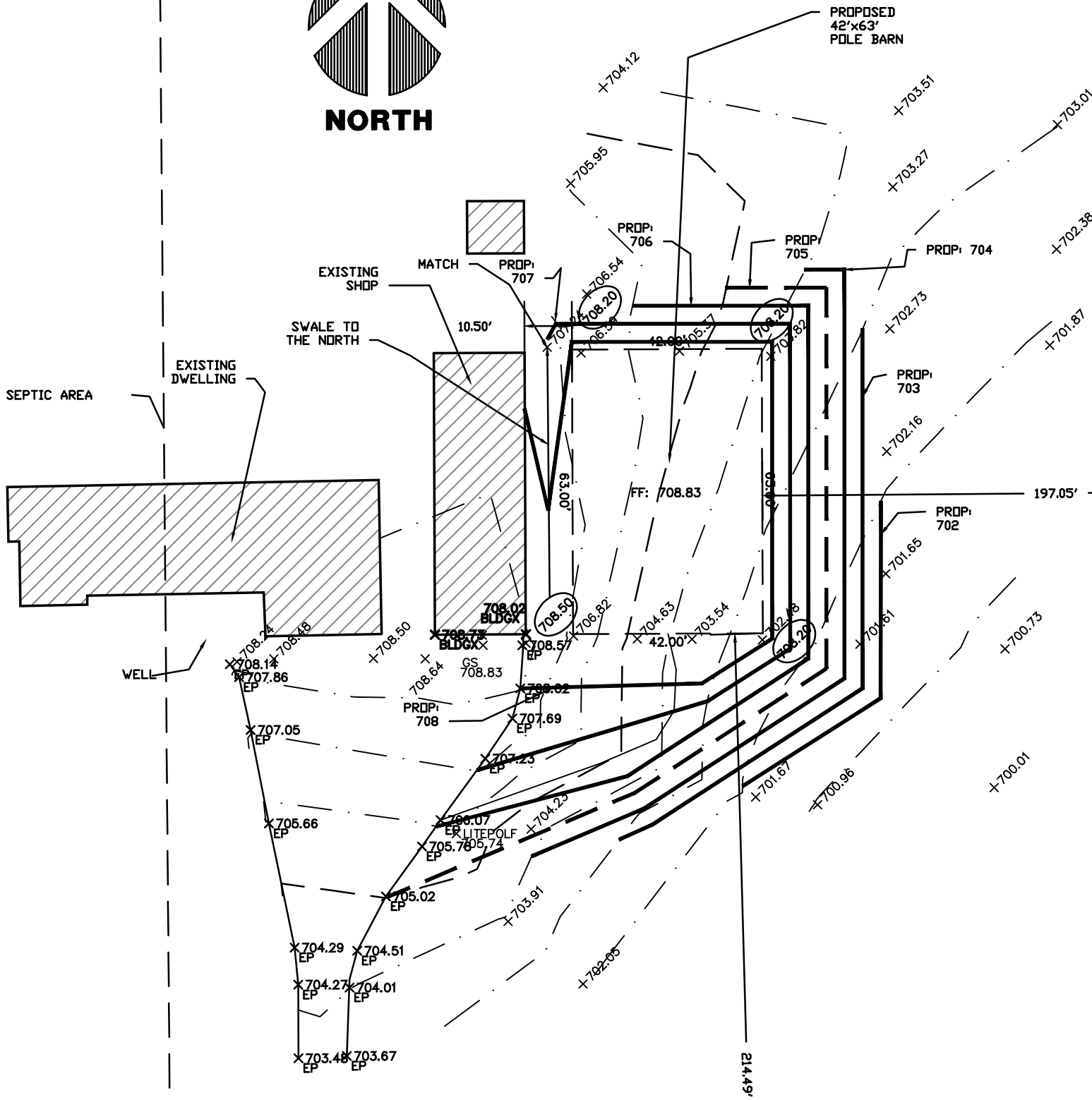
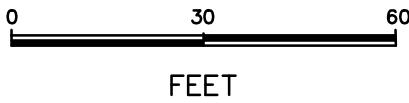
STATE OF WISCONSIN  
COUNTY OF RACINE

The above-described property has been surveyed under my direction and  
the above map is a correct representation thereof.

DATED AT: NORTH CAPE, THIS 10TH DAY OF OCTOBER, 2015.

AMERICAN SURVEYING COMPANY, INC.  
PETE L. BAILEY, RLS NO. 1398  
RECERTIFIED this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

SCALE



S 88°25'24"W 647.92'

SOUTH 1/4 CORNER  
SEC. 28-5-21

**W. OAKWOOD ROAD**

AMERICAN  
SURVEYING  
COMPANY, INC.

12207 C.T.H. "K" FRANKSVILLE, WISCONSIN 53126  
TEL. (262) 835-4774 FAX: (262) 835-2379  
beaufordbailey@hotmail.com

DRAWN BY:	PLB	REVISIONS:	DATE
CHECKED BY:	PLB		
PLOT SCALE:	1 = 30		
DATE:	10/10/2015		
JOB NO.:	2015137		
DWG. FILE:	JN2015216	CLIENT NO.	02106

CITY OF FRANKLIN

PROJECT:  
**PROPOSED GRADING PLAN**  
PREPARED FOR: MARVIN WOLD

Sheet  
**2**  
of  
**2**