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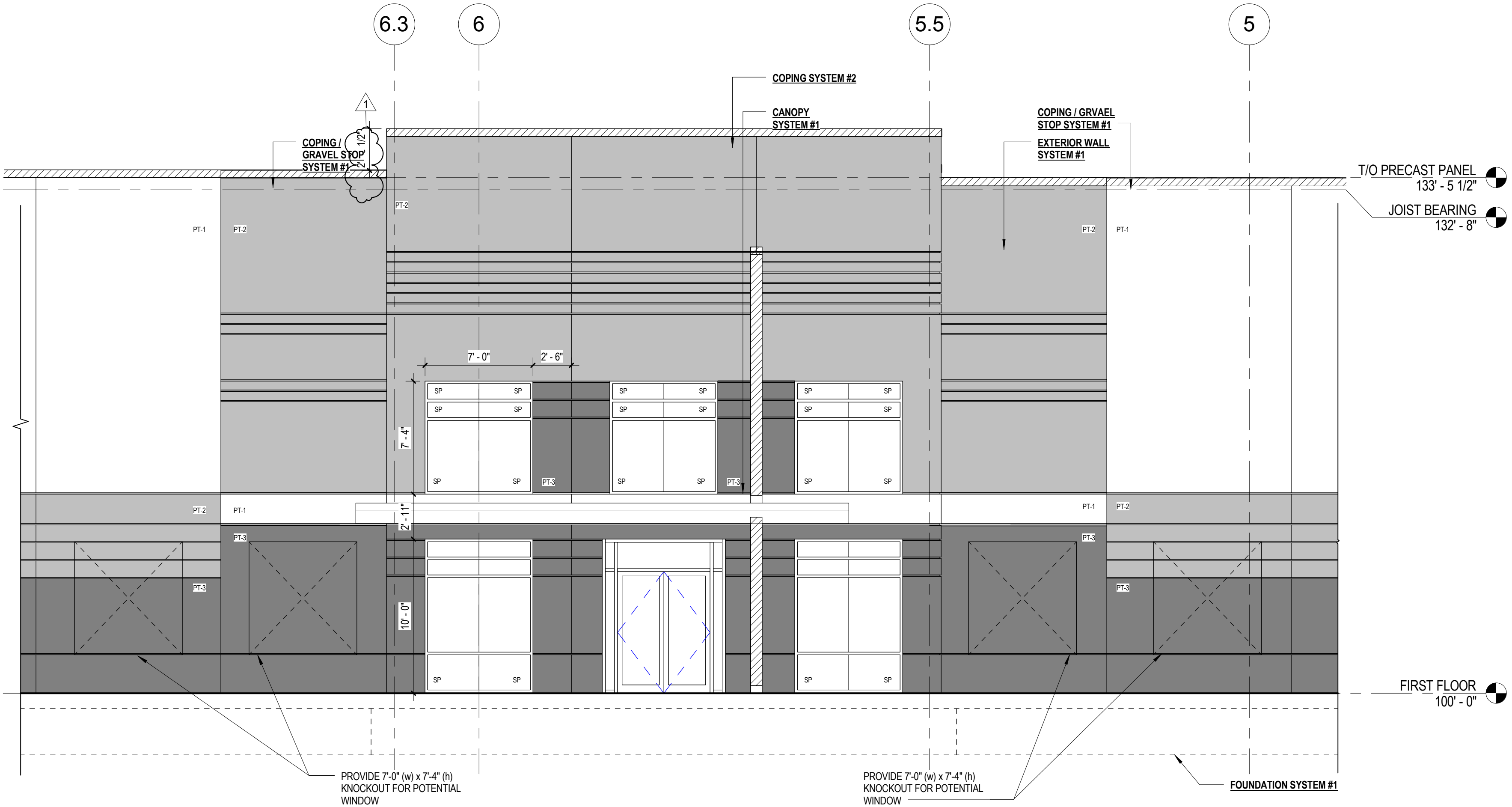
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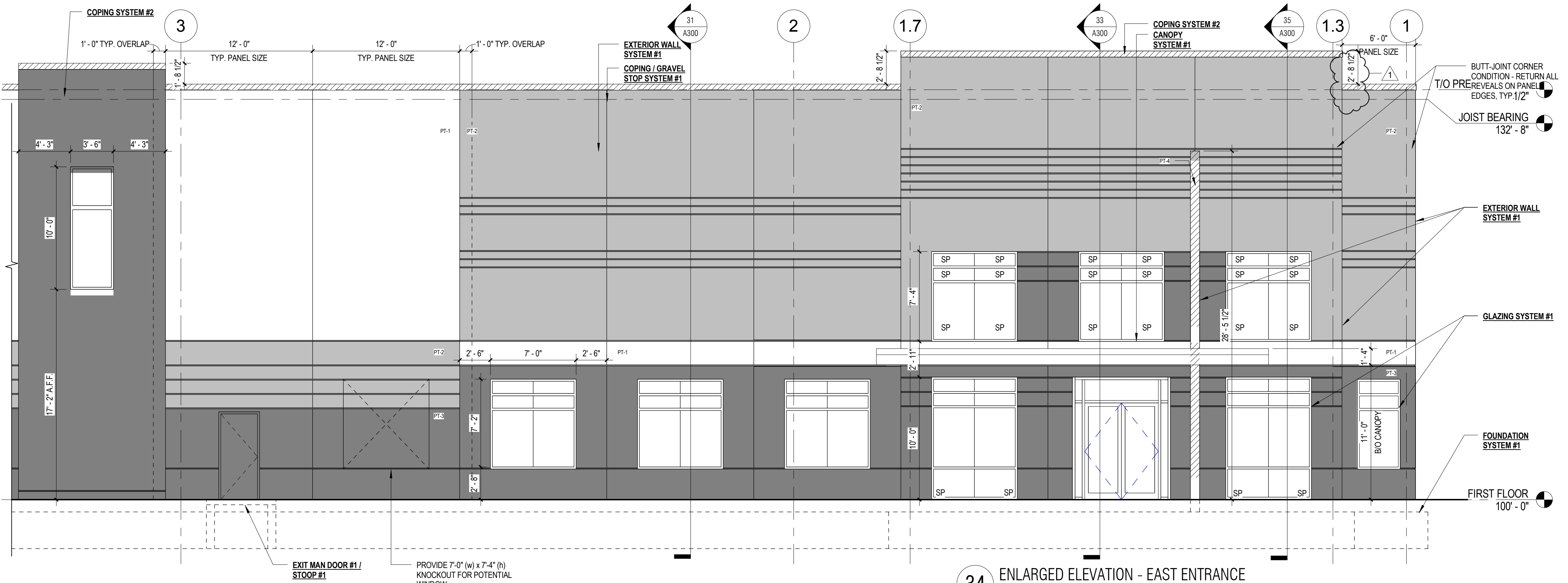
EXTERIOR MATERIAL FINISH SCHEDULE				
EXTERIOR ALUMINUM WINDOW / DOOR FINISH	CLEAR ANODIZED ALUMINUM - THERMALLY BROKEN GLAZING SYSTEM W/ 1" INSULATED LOW-E GRAY ANNEALED TINTED GLASS.	PT-1 (FIELD COLOR)	SHERWIN WILLIAMS, 'AESTHETIC WHITE' SW7035	
GLASS	1" OPTICRAY LOW-E GLASS BY PPG. REFER TO BUILDING ASSEMBLIES FOR MORE INFORMATION.	PT-2 (ACCENT COLOR)	SHERWIN WILLIAMS, 'BALANCED BEIGE' SW7037	
PREFINISHED METAL FLASHING, COPING, ETC.	PREFINISHED METAL COPING METAL ERA. COLOR: 'DARK BRONZE' OR EQUAL.	PT-3 (ACCENT COLOR)	SHERWIN WILLIAMS, 'VIRTUAL TAUPE' SW7039	
METAL TRIM / CANOPY	PREFINISHED METAL PANEL. COLOR: CLEAR ANODIZED OR EQUAL GRAY TONE.	PT-4 (ACCENT COLOR)	SHERWIN WILLIAMS, 'SMOKEHOUSE' SW7040	
NOTES:	1. PROVIDE SEALANT COLOR SAMPLES TO ARCHITECT FOR APPROVAL. 2. PROVIDE COPING, BREAK METAL, PAINT DRAW DOWNS, ETC. SAMPLES TO ARCHITECT FOR APPROVAL.			

BUILDING ASSEMBLIES
FOUNDATION SYSTEM #1 2'-0" WIDE x 3'-0" HIGH, REINFORCED, POURED-IN-PLACE CONCRETE FOUNDATION WALL WITH SPREAD FOOTINGS WITH BANK POURED GRADE BEAM AT THE PERIMETER. PROVIDE 2" RIGID INSULATION (R-10 MIN.) 4'-0" HIGH MINIMUM. VERTICAL ON THE INTERIOR FACE OF THE FOUNDATION WALL AT ALL EXTERIOR WALLS. TOP OF FOOTING SHALL BE 1'-0" BELOW FINISH FLOOR LEVEL. PROVIDE AND INSTALL 2" RIGID INSULATION (R-10) 4'-0" HORIZONTALLY FROM INSIDE FOUNDATION WALL. HIGH DENSITY RIGID INSULATION TO BE USED HORIZONTALLY IN WAREHOUSE AREA. (SEE STRUCTURAL DRAWINGS FOR REINFORCING, CONTROL JOINTS LOCATIONS AND DETAILS).
FLOOR #1 POURED-IN-PLACE 8" THICK CONCRETE SLAB ON GRADE WITH STEEL REINFORCING AS SPECIFIED IN STRUCTURAL DRAWINGS. PROVIDE CONTINUOUS 15-MIL POLYETHYLENE VAPOR BARRIER OVER 6" COMPACTED STONE BASE PRIOR TO PLACING CONCRETE SLAB IN ENTIRE BUILDING. PROVIDE VERSA FLEX JOINT FILL OVER BOND BREAKER FILLER AT COLUMNS AND PERIMETER POURED IN PLACE CONCRETE STEM WALL. (SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCING, CONTROL JOINT LOCATIONS AND SPECIFIC INFORMATION. 16'-0" x 16'-0" CONTROL JOINT PATTERN).
EXTERIOR WALL SYSTEM #1 9" NOMINAL OR PRECASTER ENGINEER PREFERENCE, INSULATED (2'-4" / 3") R-12 MIN. LOAD-BEARING ARCHITECTURAL PRECAST CONCRETE PANELS WITH REVEALS AND FINISH AS DEPICTED IN EXTERIOR ELEVATIONS. EXTERIOR FACE OF PANELS TO BE PAINTED WITH COXON MASONRY / CONCRETE PAINT BY SHERWIN WILLIAMS - 100% ACRYLIC LATEX OR HALLMAN LINDSAY 166 GRPITTE PRIMER AND 176 WEATHER GUARD FINISH COAT (COLOR MATCHED). ALL DOOR AND WINDOW OPENINGS TO BE FORMED WITH INTEGRAL DRIP AT THE HEAD OF THE OPENING AND POSITIVE SLOPED SILL. PROVIDE SEALANT AND BACKER ROD AT ALL VERTICAL PANEL JOINTS (INTERIOR AND EXTERIOR). (SEE ELEVATIONS AND WALL SECTIONS FOR LOCATIONS OF REVEALS, PANEL ARTICULATIONS, AND WALL PANEL LAYOUT.) REFER TO EXTERIOR MATERIAL FINISH SCHEDULE FOR PAINT COLOR SELECTIONS.
GLAZING SYSTEM #1 "TRIFAB 451T SYSTEM" BY KAWNEER. THIS IS A CENTER GLAZED STOREFRONT SYSTEM: 2" WIDE x 6" DEEP OR 4" WIDE x 8" DEEP IN CLEAR ANODIZED ALUMINUM FINISH (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF MULLIONS). 1" INSULATED LOW-E, GREY TINTED GLASS UNITS WITH THERMAL BREAK, SILL FLASHING, EXTERIOR METAL CLOSERS AND SHIMS ATTACHED TO STEEL STUD FRAMED OPENINGS AS INDICATED. PROVIDE SPANDREL GLASS WHERE IDENTIFIED ON THE EXTERIOR ELEVATIONS.
GLASS COMPOSITION INSULATED GLASS: 1" GREY TINTED INSULATED GLASS UNIT IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAME, 1/4" CLEAR, 1/2" AIR SPACE, 1/4" LOW-E COATING ON GRAY TINTED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.
CANOPY STRUCTURE #1 PRIME AND EXTERIOR PAINT EXPOSED HORIZONTAL STEEL CHANNEL AND TUBE STEEL STRUCTURAL SUPPORTS AND FRAMING. SKELETON FRAME ATTACHED TO THE BUILDING FACADE WITH EMBED PLATES AND CONNECTIONS TO THE STRUCTURAL STEEL FRAME OF THE BUILDING. FRAME UNDERSIDE OF CANOPY WITH METAL STUDS AND ALUMINUM METAL PANELS. PROVIDE AND INSTALL ADHERED EPDM MEMBRANE WITH TAPERED RIGID INSULATION SLOPED TO ROOF DRAIN AS INDICATED ON THE ROOF PLAN. COLOR TO BE CLEAR ANODIZED OR EQUAL IN COLOR.

BUILDING ASSEMBLIES
ROOF SYSTEM #1 45-MIL SINGLE-PLY EPDM BALLASTED MEMBRANE ON ONE (1) LAYER OF 1-1/2" POLYISOCYANURATE INSULATION WITH INTEGRAL BARRIER BOARD PER CODE AND ONE (1) LAYER OF 2-1/2" POLYISOCYANURATE INSULATION WITH STAGGERED JOINTS AND MINIMUM R-24. PROVIDE TAPERING OF ROOF INSULATION AS REQUIRED FOR SADDLES AND FLAT STRUCTURE AREAS TO ROOF DRAINS. 20 GA. MINIMUM METAL DECK OVER STRUCTURAL STEEL JOISTS. STRUCTURAL STEEL PITCH TO ROOF DRAINS. (SEE STRUCTURAL DRAWINGS. (ALTERNATE BID 60-MIL ROOF MEMBRANE).
WALL COPING / GRAVEL STOP SYSTEM #1 PREFINISHED 2-PIECE METAL WALL COPING WITH 6" FACE ON 2x4 WOOD ROOF BLOCKING, ANCHORED SECURELY TO TOP OF PRECAST WALL @ 4'-0" O.C. WITH 3/8" DIAMETER ANCHORS. EXTEND ROOF MEMBRANE OVER WALL AND TERMINATE UNDER COPING SYSTEM. COLOR: DARK BRONZE BY METAL ERA. PROVIDE GRAVEL STOP ROOF COPING AT A MAJORITY OF ROOF AREA. INSTALL SPILL OFF GRAVEL STOP COPING IN LOCATIONS IDENTIFIED.
COPING SYSTEM #2 PARAPET CAP WHERE PRECAST PANELS PROJECT ABOVE ROOF STRUCTURE. COLOR TO MATCH WALL COPING / GRAVEL STOP SYSTEM #1.
EXIT MAN DOOR #1 14 GA. GALVANIZED INSULATED LAMINATED CORE HOLLOW METAL DOOR (FLUSH), PAINTED; COLOR TO MATCH PT-3 ON EXTERIOR SIDE OF DOOR. INSULATED HOLLOW METAL FRAMES W/ WEATHERSTRIPPING AND DRIP CAP HEAD. INTERIOR SIDE OF DOOR COLOR: TBD.
STOOP #1 5" SLAB-ON-GRADE CONCRETE STOOP WITH POSITIVE SLOPE AWAY FROM THE DOOR OVER 44" FORMED-IN-PLACE FROST RESISTANT FOUNDATION WALL WITH STONE (6" x 6" ROCK) MATERIAL BACKFILL.
ROOF HATCH #1 PROVIDE TYPE 'S' SIZE 2'-6" WIDE x 4'-6" LONG ROOF ACCESS HATCH BY BILCO ON STRUCTURALLY FRAMED OPENING. HATCH IS PRIMED AND TO BE FINISH PAINTED TO MATCH COPING COLOR.
ROOF ACCESS LADDER #1 PROVIDE AND INSTALL CAGED INTERIOR STEEL ROOF ACCESS LADDER WITH INTERMEDIATE PLATFORM FOR ROOF ACCESS PER OSHA REQUIREMENTS INSIDE MECHANICAL ROOM. PRIME AND FINISH PAINT GRAY.
OVERHEAD DOOR #1 12'-0" x 16'-0" INSULATED PREFINISHED STEEL OVERHEAD DOOR WITH (1) VISION PANEL AND ELECTRIC OPERATOR. VERTICAL TRACK AND FRAME ASSEMBLY TO BE GALVANIZED STEEL. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.
OVERHEAD DOCK DOOR #1 9'-0" x 10'-0" HEAVY DUTY INSULATED (R11) PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND WEATHERSTRIPPING. VERTICAL TRACK ASSEMBLY AND FRAME TO HAVE GALVANIZED FINISH. MANUAL OPEN WITH 40" SWING ARM DOCK LIGHT. PROVIDE DOCK SEAL WITH 40 OZ. VINYL HYPOALON ARMOR PLEATS WITH 6" EXPOSURE AND FULLY ADJUSTABLE HEAD CURTAINS. VERIFY SEAL AND OTHER REQUIREMENTS WITH MANUFACTURER. PROVIDE 7/16", 35,000# MECHANICAL DOCK LEVELER (SERCO OR EQUAL) AT RECESSED DOCK DOOR LOCATIONS. VERIFY PIT DIMENSIONS WITH DOCK LEVELER MFG. PROVIDE WEATHER SEALS, RUBBER DOCK BUMPERS WITH 3/4" DIA. GALVANIZED EXPANSION BOLTS FOR ANCHORING. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.



20 ENLARGED ELEVATION - CENTRAL ENTRANCE
3/16" = 1'-0"



34 ENLARGED ELEVATION - EAST ENTRANCE
3/16" = 1'-0"
(WEST SIMILAR)



N16 W23217 STONE RIDGE DRIVE, SUITE 300
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office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:



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ENLARGED BUILDING
ELEVATIONS

A210

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EXTERIOR MATERIAL FINISH SCHEDULE			
EXTERIOR ALUMINUM WINDOW / DOOR FINISH	CLEAR ANODIZED ALUMINUM - THERMALLY BROKEN GLAZING SYSTEM W/ 1" INSULATED LOW-E GRAY ANNEALED TINTED GLASS.	PT-1 (FIELD COLOR)	SHERWIN WILLIAMS, 'AESTHETIC WHITE' (SW7035)
GLASS	1" OPTIGRAY LOW-E GLASS BY PPG. REFER TO BUILDING ASSEMBLIES FOR MORE INFORMATION.	PT-2 (ACCENT COLOR)	SHERWIN WILLIAMS 'BALANCED BEIGE' (SW7037)
PREFINISHED METAL FLASHING, COPING, ETC.	PREFINISHED METAL COPING, METAL ERA, COLOR: 'DARK BRONZE' OR EQUAL.	PT-3 (ACCENT COLOR)	SHERWIN WILLIAMS 'VIRTUAL TAUPE' (SW7039)
METAL TRIM/ CANOPY	PREFINISHED METAL PANEL, COLOR: CLEAR ANODIZED OR EQUAL GRAY TONE.	PT-4 (ACCENT COLOR)	SHERWIN WILLIAMS 'SMOKEHOUSE' (SW7040)
NOTES:	1. PROVIDE SEALANT COLOR SAMPLES TO ARCHITECT FOR APPROVAL. 2. PROVIDE COPING, BREAK METAL, PAINT DRAW DOWNS, ETC. SAMPLES TO ARCHITECT FOR APPROVAL.		

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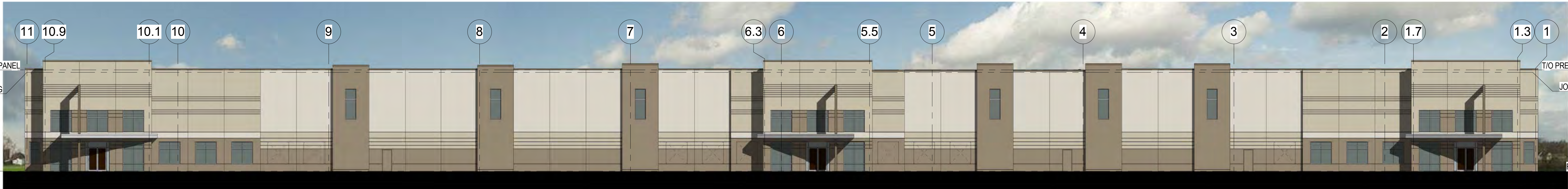
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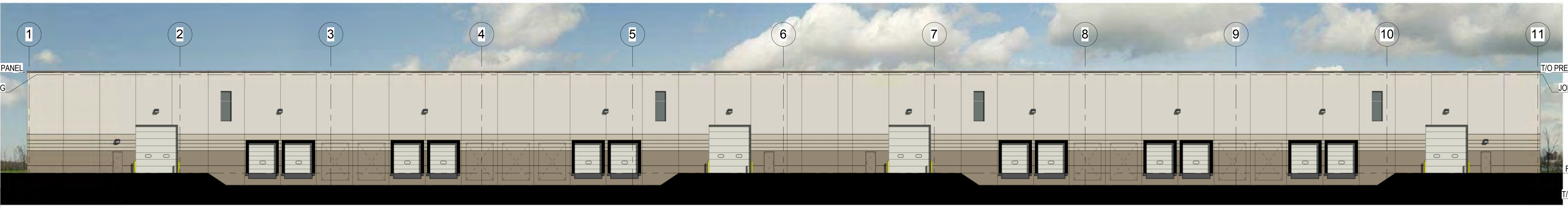
OVERALL COLOR ELEVATIONS

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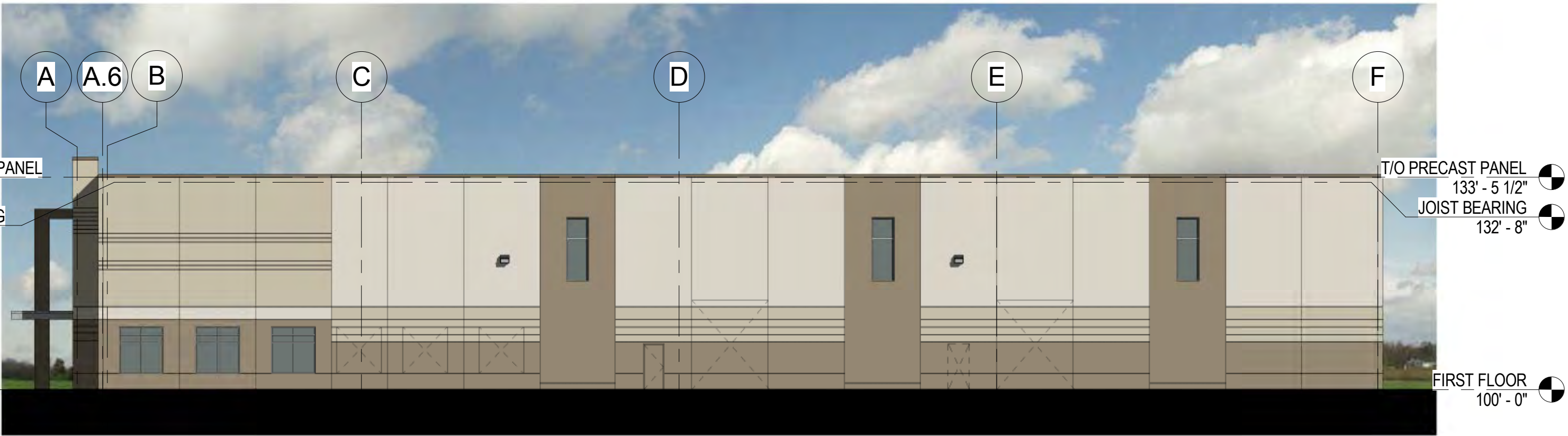
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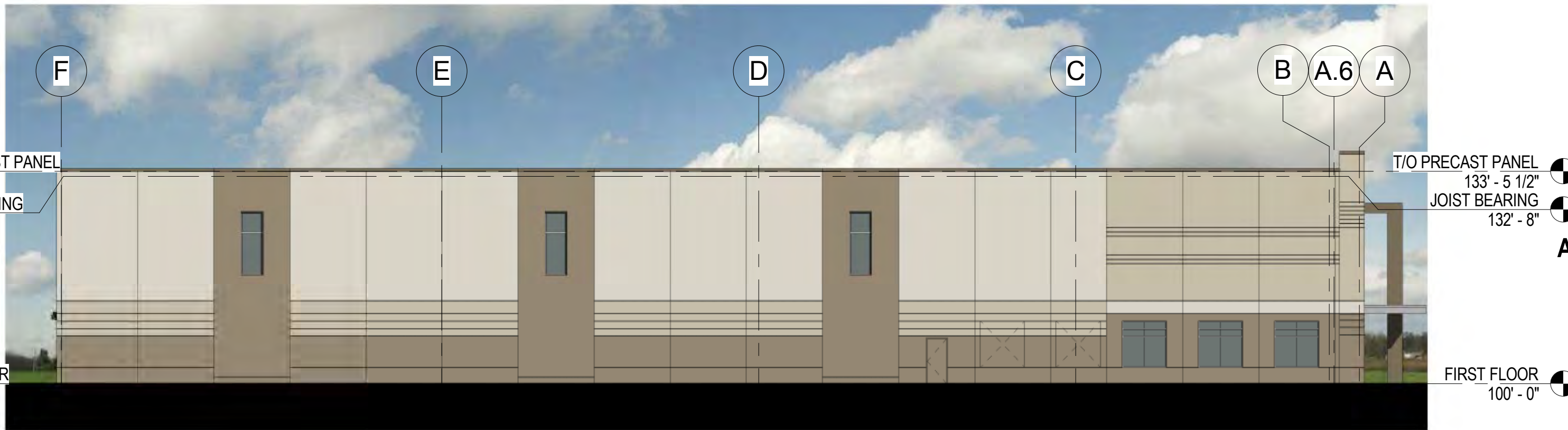
21 NORTH COLOR ELEVATION
1/16" = 1'-0"



28 SOUTH COLOR ELEVATION
1/16" = 1'-0"



32 WEST COLOR ELEVATION
1/16" = 1'-0"



35 EAST COLOR ELEVATION
1/16" = 1'-0"



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EXTERIOR RENDERING

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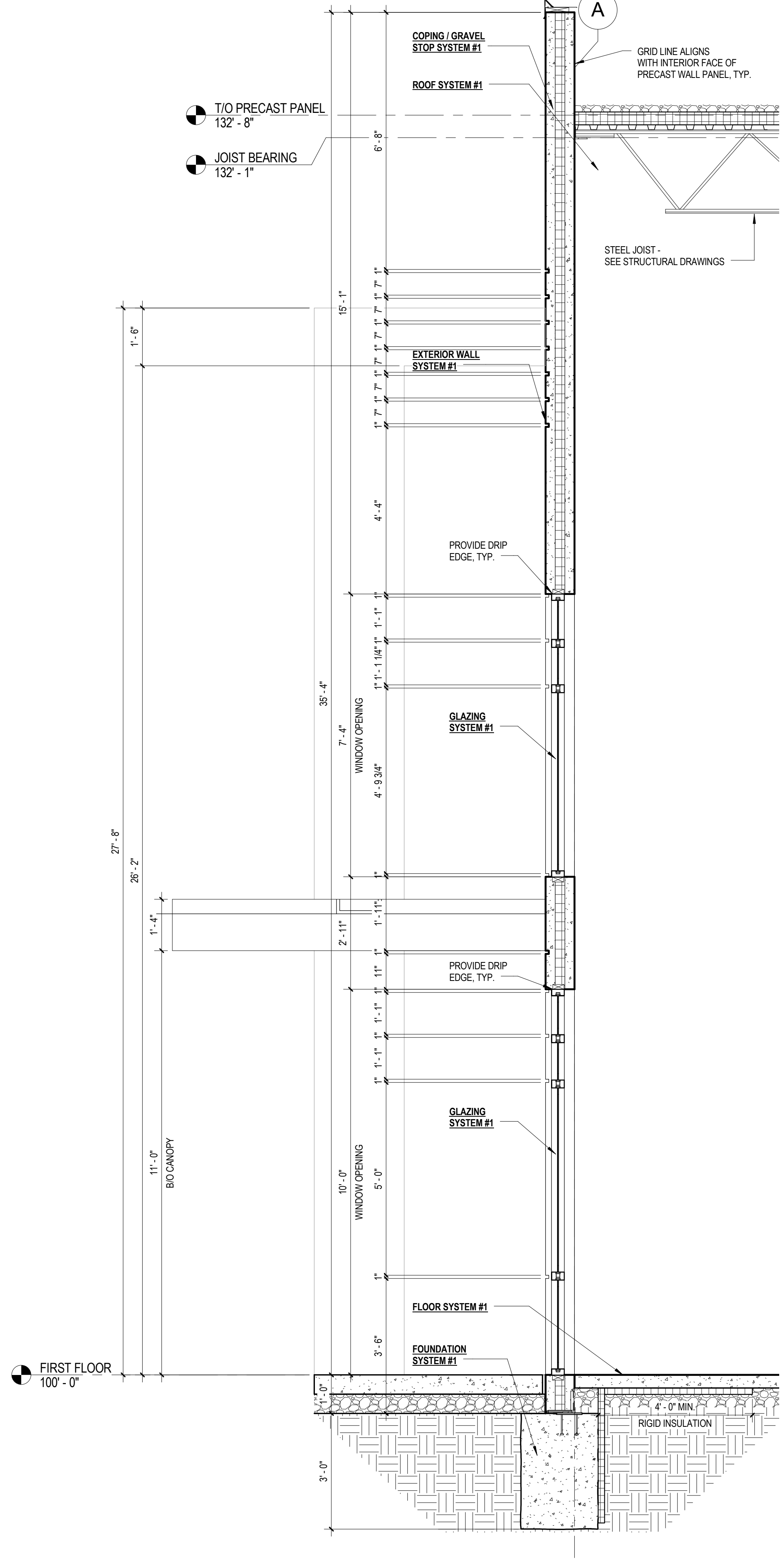
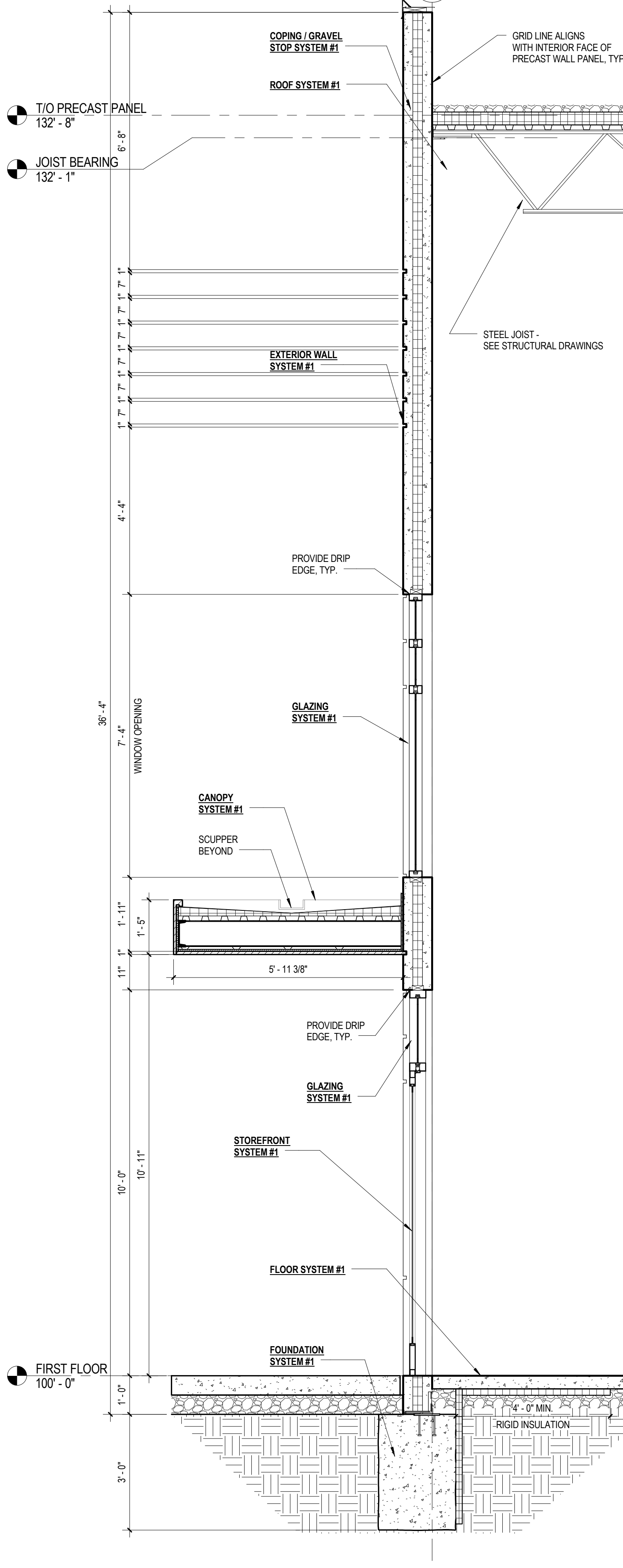
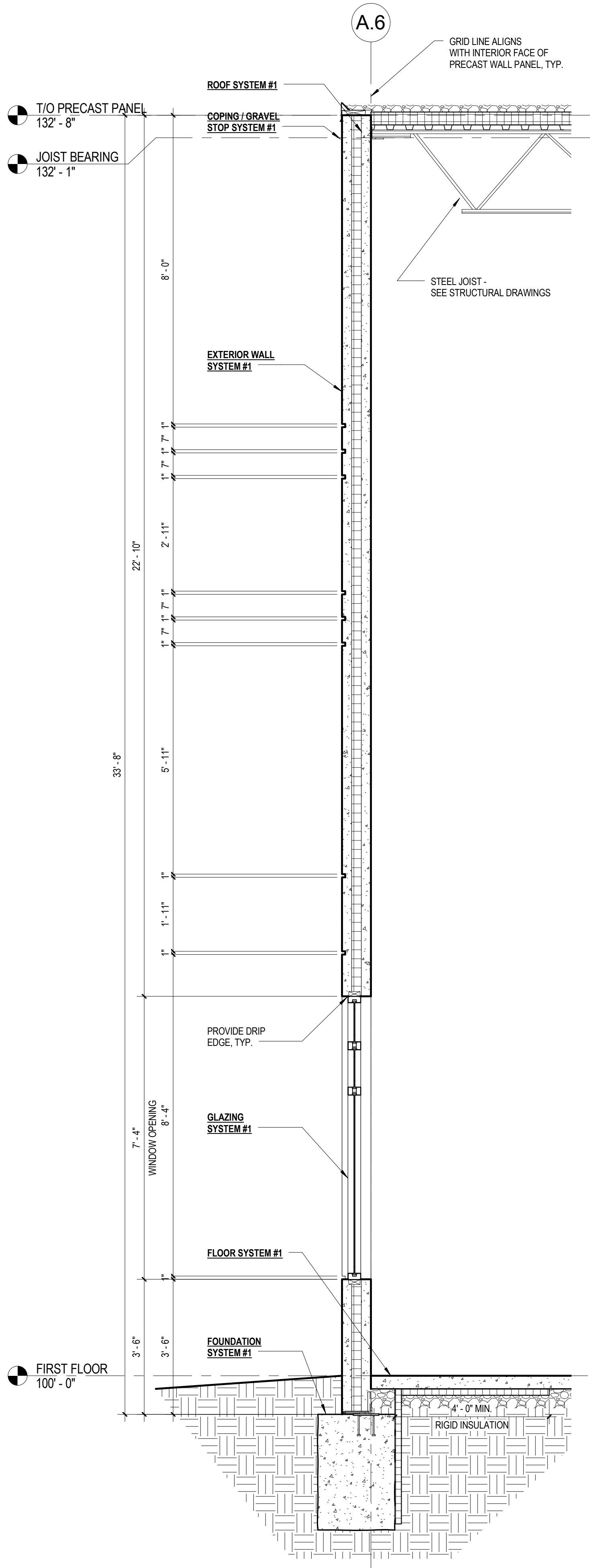
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BUILDING ASSEMBLIES

FOUNDATION SYSTEM #1

2'-0" WIDE x 3'-0" HIGH, REINFORCED, POURED-IN-PLACE CONCRETE FOUNDATION WALL WITH SPREAD FOOTINGS WITH BANK POURED GRADE BEAM AT THE PERIMETER. PROVIDE 2" RIGID INSULATION (R-10 MIN.) 4'-0" HIGH MINIMUM, VERTICAL, ON THE INTERIOR FACE OF THE FOUNDATION WALL AT ALL EXTERIOR WALLS. TOP OF FOOTING SHALL BE 1'-0" BELOW FINISH FLOOR LEVEL. PROVIDE AND INSTALL 2" RIGID INSULATION (R-10) 4'-0" HORIZONTALLY FROM INSIDE FOUNDATION WALL. HIGH DENSITY RIGID INSULATION TO BE USED HORIZONTALLY IN WAREHOUSE AREA. (SEE STRUCTURAL DRAWINGS FOR REINFORCING, CONTROL JOINTS LOCATIONS AND DETAILS).

FLOOR #1

POURED-IN-PLACE 6" THICK CONCRETE SLAB ON GRADE WITH STEEL REINFORCING AS SPECIFIED IN STRUCTURAL DRAWINGS. PROVIDE CONTINUOUS 10-MIL POLYETHYLENE VAPOR BARRIER OVER 6" COMPACTED STONE BASE PRIOR TO PLACING CONCRETE SLAB IN ENTIRE BUILDING. PROVIDE VERSA FLEX JOINT FILL OVER BOND BREAKER FILLER AT COLUMNS AND PERIMETER POURED IN-PLACE CONCRETE STEM WALL. (SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCING, CONTROL JOINT LOCATIONS AND SPECIFIC INFORMATION. 16'-6" X 16'-6" CONTROL JOINT PATTERN).

EXTERIOR WALL SYSTEM #1

9" NOMINAL OR PRECASTER ENGINEER PREFERENCE, INSULATED (2 1/4") R-12 MIN. LOAD-BEARING ARCHITECTURAL PRECAST CONCRETE PANELS WITH REVEALS AND FINISH AS DEPICTED IN EXTERIOR ELEVATIONS. EXTERIOR FACE OF PANELS TO BE PAINTED WITH LOXON MASONRY / CONCRETE PAINT BY SHERWIN WILLIAMS - 100% ACRYLIC LATEX OR HALLMAN LINDSAY 166 GRIP TITE PRIMER AND 176 WEATHRE GUARD FINISH COAT (COLOR MATCHED). ALL DOOR AND WINDOW OPENINGS TO BE FORMED WITH INTEGRAL DRIP AT THE HEAD OF THE OPENING AND POSITIVE SLOPED SILL. PROVIDE SEALANT AND BACKER ROD AT ALL VERTICAL PANEL JOINTS (INTERIOR AND EXTERIOR). (SEE ELEVATIONS AND WALL SECTIONS FOR LOCATIONS OF REVEALS, PANEL ARTICULATIONS, AND WALL PANEL LAYOUT). REFER TO EXTERIOR MATERIAL FINISH SCHEDULE FOR PAINT COLOR SELECTIONS.

GLAZING SYSTEM #1

"TRIFAB 451T SYSTEM" BY KAWNEER. THIS IS A CENTER GLAZED STOREFRONT SYSTEM. 2" WIDE X 6" DEEP OR 4" WIDE X 6" DEEP IN CLEAR ANODIZED ALUMINUM FINISH. (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF MULLIONS). 1" INSULATED LOW-E, GREY TINTED GLASS UNITS WITH THERMAL BREAK, SILL FLASHING, EXTERIOR METAL CLOSERS AND SHIMS ATTACHED TO STEEL STUD FRAMED OPENINGS AS INDICATED. PROVIDE SPANDREL GLASS WHERE IDENTIFIED ON THE EXTERIOR ELEVATIONS.

GLASS COMPOSITION

INSULATED GLASS: 1" GREY TINTED INSULATED GLASS UNIT IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAME. 1/4" CLEAR, 1/2" AIR SPACE, 1/4" LOW-E COATING ON GRAY TINTED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.

CANOPY STRUCTURE #1

PRIME AND EXTERIOR PAINT EXPOSED HORIZONTAL STEEL CHANNEL AND TUBE STEEL STRUCTURAL SUPPORTS AND FRAMING. SKELETON FRAME ATTACHED TO THE BUILDING FAÇADE WITH EMBED PLATES AND CONNECTIONS TO THE STRUCTURAL STEEL FRAME OF THE BUILDING. FRAME UNDERSIDE OF CANOPY WITH METAL STUDS AND ALLOCBOND METAL PANELS. PROVIDE AND INSTALL JOINED EPDM MEMBRANE WITH TAPERED RIGID INSULATION SLOPED TO ROOF DRAIN AS INDICATED ON THE ROOF PLAN. COLOR TO BE CLEAR ANODIZED OR EQUAL IN COLOR.

BUILDING ASSEMBLIES

ROOF SYSTEM #1

45-MIL SINGLE PLY EPDM BALLASTED MEMBRANE ON ONE (1) LAYER OF 1-1/2" POLYISOCYANURATE INSULATION WITH INTEGRAL BARRIER BOARD PER CODE AND ONE (1) LAYER OF 2-1/2" POLYISOCYANURATE INSULATION WITH STAGGERED JOINTS AND MINIMUM R-24. PROVIDE TAPERING OF ROOF INSULATION AS REQUIRED FOR SADDLES AND FLAT STRUCTURE AREAS TO ROOF DRAINS. 20 GA. MINIMUM METAL DECK OVER STRUCTURAL STEEL JOISTS. STRUCTURAL STEEL TO PITCH TO ROOF DRAINS. (SEE STRUCTURAL DRAWINGS. (ALTERNATE BID 60-MIL ROOF MEMBRANE.)

WALL COPING / GRAVEL STOP SYSTEM #1

PREFINISHED 2-PIECE METAL WALL COPING WITH 6" FACE ON 2x WOOD ROOF BLOCKING, ANCHORED SECURELY TO TOP OF PRECAST WALL @ 4'-0" O.C. WITH 3/8" DIAMETER ANCHORS. EXTEND ROOF MEMBRANE OVER WALL AND TERMINATE UNDER COPING SYSTEM. COLOR: DARK BRONZE BY METAL ERA. PROVIDE GRAVEL STOP ROOF COPING AT A MAJORITY OF ROOF AREA. INSTALL SPILL OFF GRAVEL STOP COPING IN LOCATIONS IDENTIFIED.

COPING SYSTEM #2

PARAMET CAP WHERE PRECAST PANELS PROJECT ABOVE ROOF STRUCTURE. COLOR TO MATCH WALL COPING / GRAVEL STOP SYSTEM #1.

EXIT MAN DOOR #1

14 GA. GALVANIZED INSULATED LAMINATED CORE HOLLOW METAL DOOR (FLUSH), PAINTED, COLOR TO MATCH PT-3 ON EXTERIOR SIDE OF DOOR. INSULATED HOLLOW METAL FRAMES W/ WEATHERSTRIPPING AND DRIP CAP HEAD. INTERIOR SIDE OF DOOR COLOR TBD.

STOOP #1

5" SLAB-ON-GRADE CONCRETE STOOP WITH POSITIVE SLOPE AWAY FROM THE DOOR OVER 44" FORMED-IN-PLACE FROST RESISTANT FOUNDATION WALL WITH STONE (5" - 6" ROCK) MATERIAL BACKFILL.

ROOF HATCH #1

PROVIDE TYPE 'S' SIZE 2'-6" WIDE x 4'-6" LONG ROOF ACCESS HATCH BY BILOCO ON STRUCTURALLY FRAMED OPENING. HATCH IS PRIMED AND TO BE FINISH PAINTED TO MATCH COPING COLOR.

PROVIDE AND INSTALL CAGED INTERIOR STEEL ROOF ACCESS LADDER WITH INTERMEDIATE PLATFORM FOR ROOF ACCESS PER OSHA REQUIREMENTS INSIDE MECHANICAL ROOM. PRIME AND FINISH PAINT GRAY.

OVERHEAD DOOR #1

12'-0" x 16'-0" INSULATED PREFINISHED STEEL OVERHEAD DOOR WITH (1) VISION PANEL AND ELECTRIC OPERATOR. VERTICAL TRACK AND FRAME ASSEMBLY TO BE GALVANIZED STEEL. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.

OVERHEAD DOCK DOOR #1

10'-0" x 10'-0" HEAVY DUTY INSULATED (R11) PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND WEATHERSTRIPPING. VERTICAL TRACK ASSEMBLY AND FRAME TO HAVE GALVANIZED FINISH. MANUAL OPEN WITH 40" SWING ARM DOCK LIGHT. PROVIDE DOCK SEAL WITH 40 OZ. VINYL HYPRALON ARMOR PLEATS WITH 8" EXPOSURE AND FULLY ADJUSTABLE LEAD CURTAINS. VERIFY SEAL AND OTHER REQUIREMENTS WITH MANUFACTURER. PROVIDE 7X8, 35,000# MECHANICAL DOCK LEVELER (SERCO OR EQUAL) AT RECESSED DOCK DOOR LOCATIONS-VERIFY PT DIMENSIONS WITH DOCK LEVELER MFR. PROVIDE WEATHER SEALS, RUBBER DOCK BUMBERS WITH 1/2" DIA GALVANIZED EXPANSION BOLTS FOR ANCHORING. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.



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PROJECT INFORMATION:



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WALL SECTIONS

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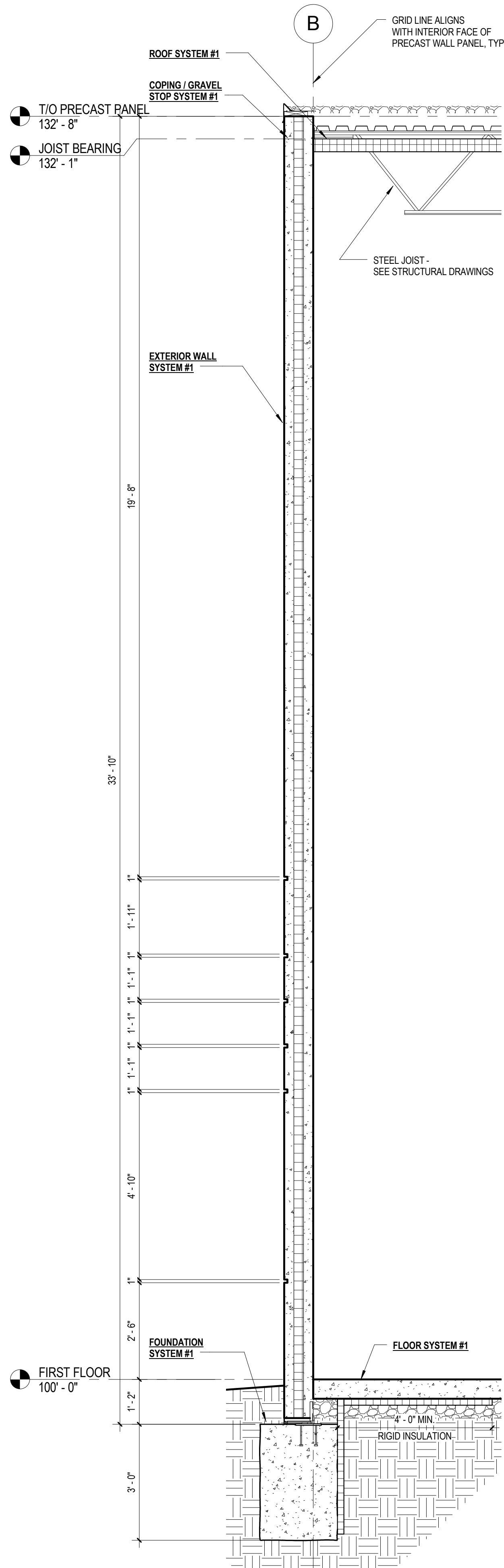
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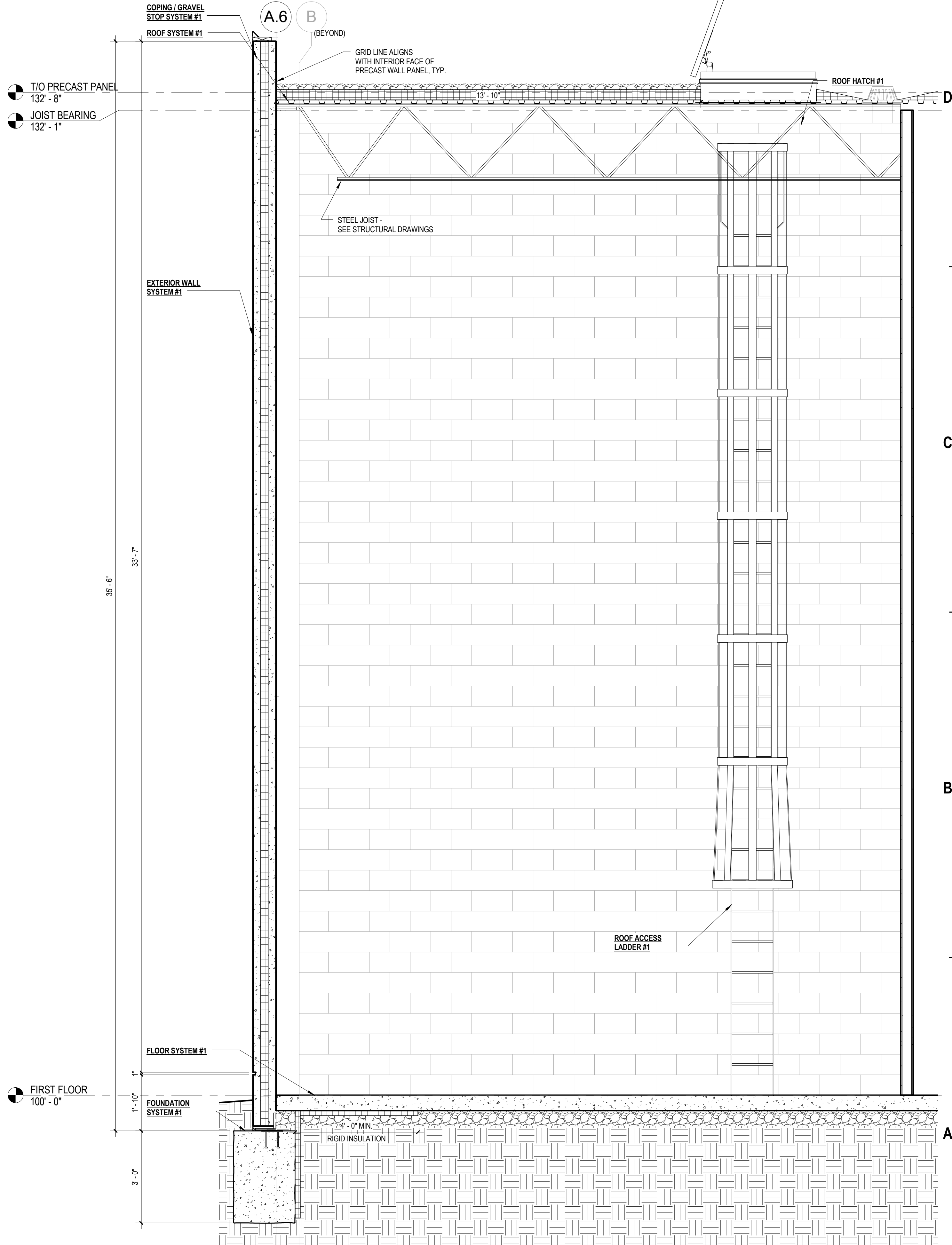
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31 WALL SECTION
1/2" = 1'-0"



34 WALL SECTION
1/2" = 1'-0"

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WALL SECTIONS

A301

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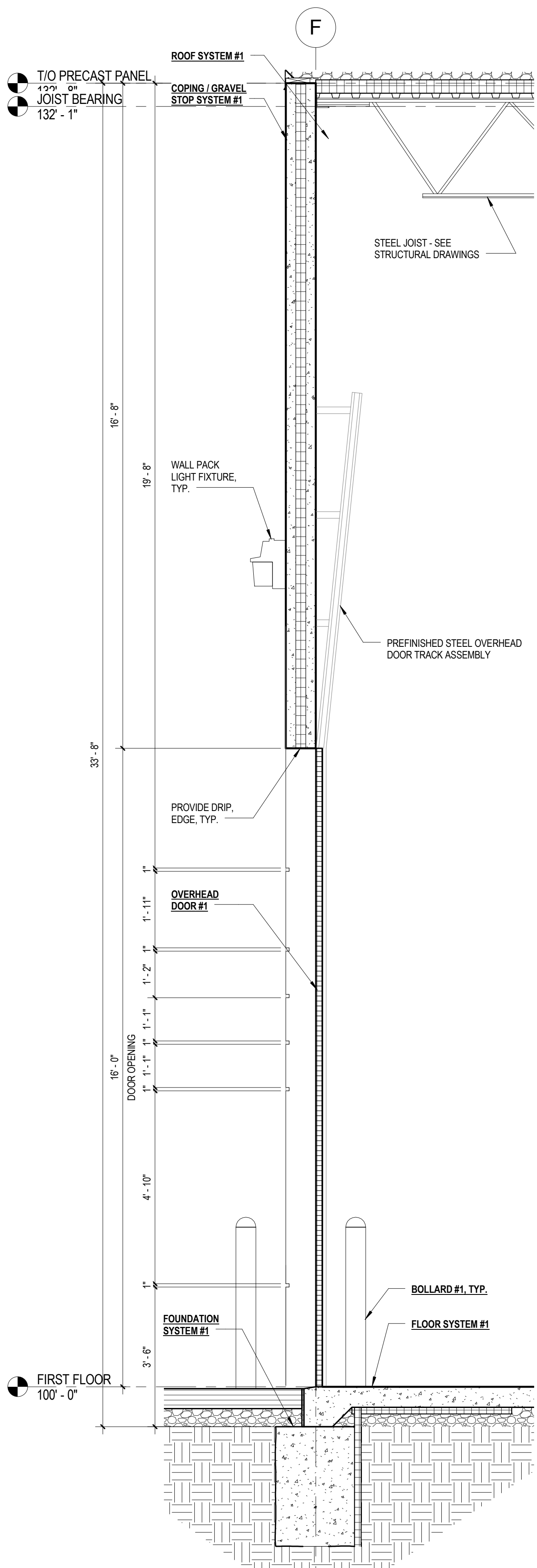
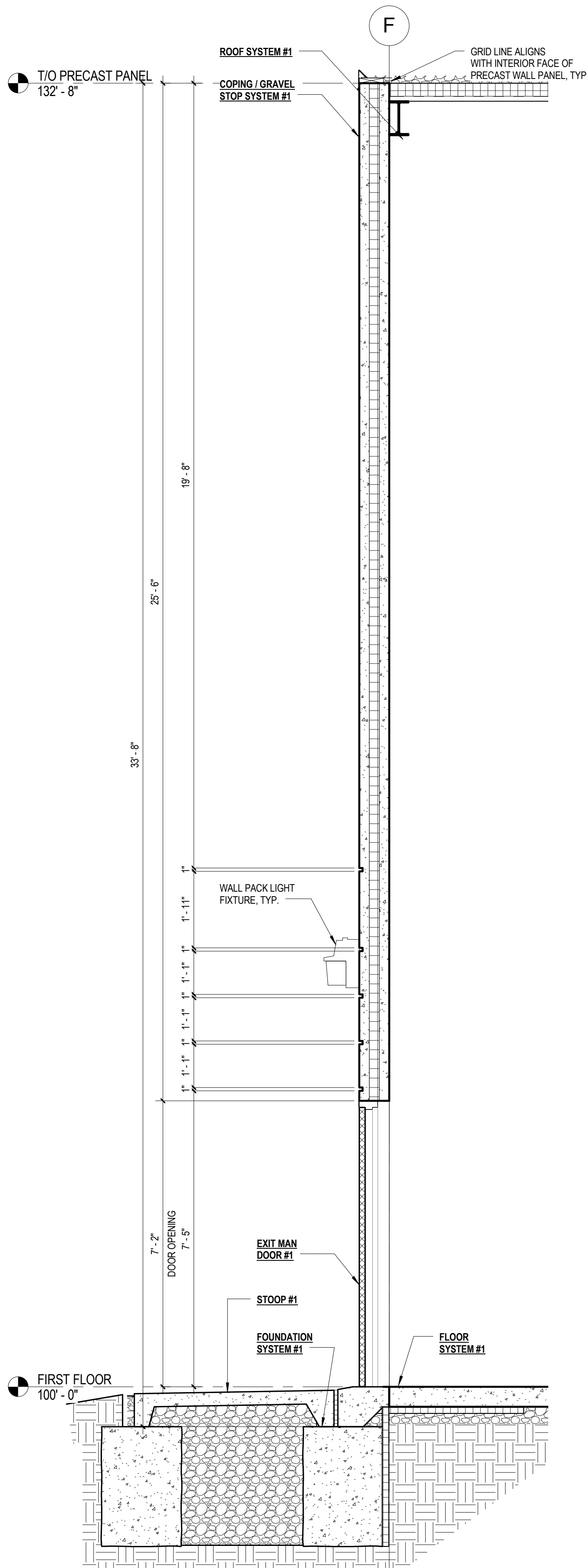
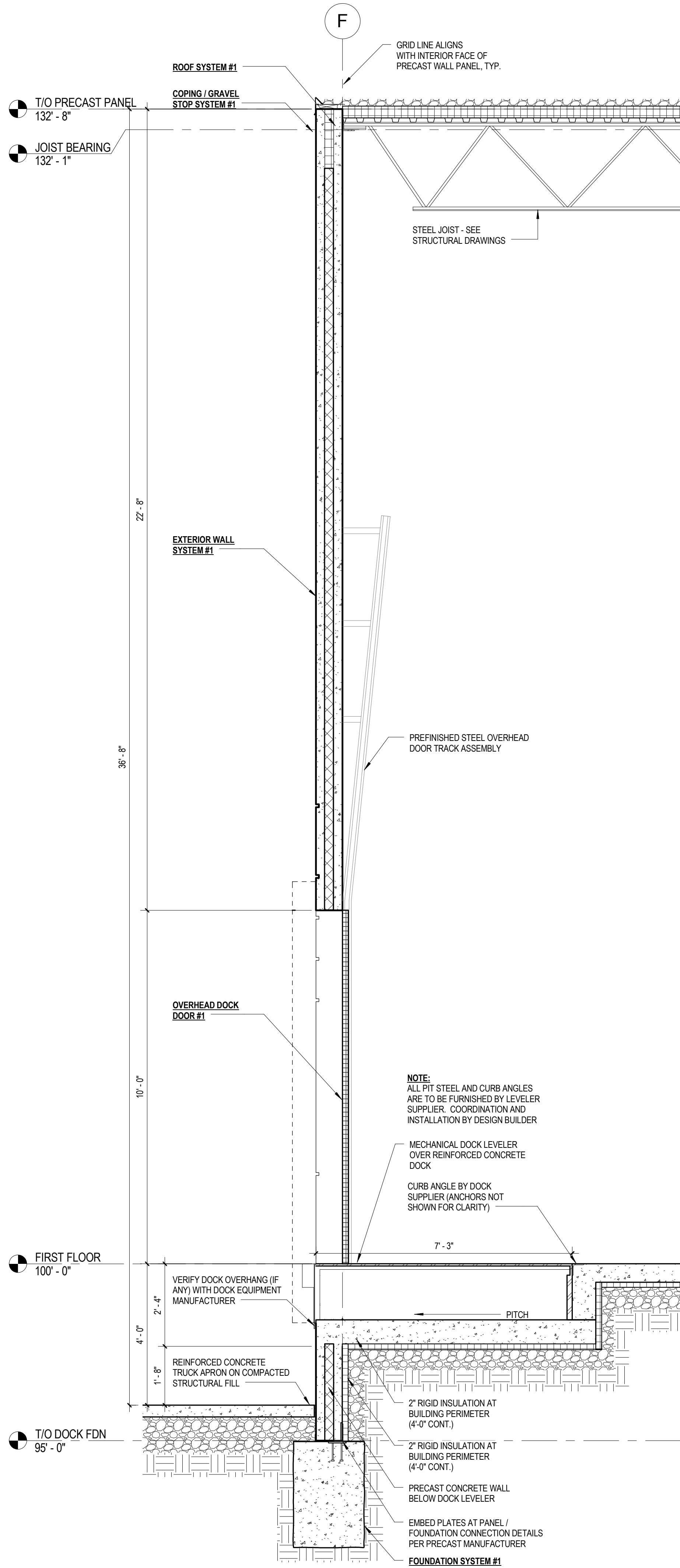
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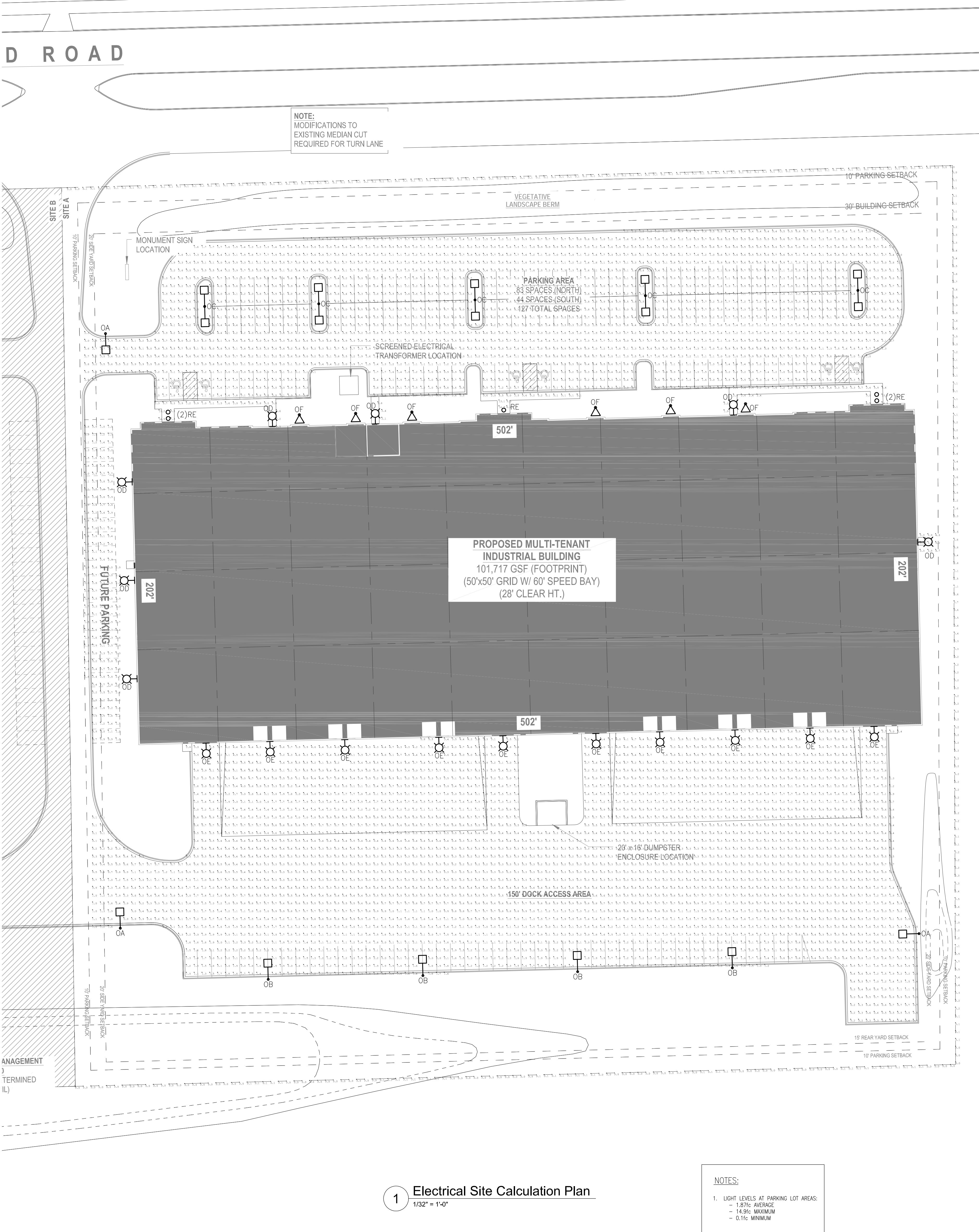
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WALL SECTIONS

A302

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- 2 Types OA / OB / OC
- Cree Edge Series, 12,000+ Lumens @ 133 watts, 4000K
20'H pole on 3" H AFG conc. base
- Type OA: Single head, Type II distribution
 - Type OB: Single head, Type III distribution
 - Type OC: Double head, Type II / III distribution

NOTE:
ALL POLE LIGHTS TO BE A HEIGHT OF 20' 0"
ABOVE SURFACE OF PARKING LOT.



- 3 Types OD / OE
- Cree Edge Series, 10,000+ Lumens @ 133 watts, 4000K
- Type OD: Type III distribution
 - Type OE: Type IV distribution



- 4 Type OF
- Cree Edge Series, 7,000+ Lumens @ 70 watts, 4000K, Type IV dist.



- 5 Types RE
- Portfolio LD6B Series, 2000+ Lumens @ 22 watts, 4000K, wide dist.

PROJECT INFORMATION:



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14045-00	JAK

ELECTRICAL SITE
CALCULATION PLAN

ES100

DIVISION 15-3.0700

SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701

GENERAL STANDARDS FOR SPECIAL USES

- A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:
1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The new development will include high quality, Class A buildings that will comply with the city regulations.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: We will work to ensure the proposed development does not have an adverse effect on our neighbors. We have designed the site so neighbors will not be able to see the majority of the parking lot in front of the building, and all loading docks and truck traffic will be located in the back of the building, shielded from Oakwood Road.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: Agreed, we have shifted the location of the entrance of the site to minimize impact on the surrounding neighborhood. Also, if requested by the city, we can install "No Left Turn" sign for trucks when leaving the site.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: Agreed

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic

congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: As stated above, we have taken measures in our site design, in addition to the modifications to Oakwood Road, to ensure there is minimal impact to the surrounding neighbors.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: The proposed development will require a nominal amount of trees to be cut down for the construction of the stormwater facilities, but we will work to ensure this is kept to a minimum and construction will not enter any wetland buffer zones.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: Agreed

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: Please see narrative regarding request for Special Use Approval.

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: The two proposed buildings are estimated to provide approximately \$11.5 million in value to the site along Oakwood Road. Please see the attached narrative and company brochure for examples of similar high-quality projects that we have built in the past. We

believe the proposed use is superior to residential development as well. For example, there would be fewer children entering the school district, the use of police/fire protection is typically minimal, and the use of City utilities is generally less. Also, the City would have less infrastructure to maintain such as snow plowing and street maintenance.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: We believe the proposed site is an excellent location for the Franklin Commerce Center due to the proximity to Interstate 94 and 27th street. Also, the site already has access to sewer & water, and the new infrastructure required will be minimal. We believe the location of the entrance to the site will result in minimal traffic impact to surrounding neighborhoods.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: We have incorporated comments from neighbors and city leaders into both our site design and building design. The colors of the building have been revised to present a neutral colored scheme that blends more easily into its surroundings. A rolling berm has been added along Oakwood Road that shields neighbors across Oakwood from viewing the parking lot. We have also designed the building such that all loading docks are positioned in the rear of the building.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: Our buildings will be of a very high quality with precast panels, glass accents and extensive landscaping. This development will be an upgrade compared to the freight and trucking companies that occupy buildings to the south of this development.

THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION THIRTY-SIX, IN TOWNSHIP FIVE NORTH, RANGE TWENTY-ONE EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.



CERTIFIED SURVEY MAP NO. _____

THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION THIRTY-SIX, IN TOWNSHIP FIVE NORTH, RANGE TWENTY-ONE EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

I, MICHAEL J BERRY, REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A REDIVISION OF THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION THIRTY-SIX, IN TOWNSHIP FIVE NORTH, RANGE TWENTY-ONE EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 21 EAST, THENCE S 00°11'55" E 1329.54 FEET ALONG THE EAST LINE OF SAID 1/4 SECTION TO A POINT; THENCE S 88°38'06" W 80.02 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF SOUTH 27TH STREET AND THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE CONTINUING S 88°38'06" W 2540.53 FEET TO A POINT ON THE WEST LINE OF SAID 1/4 SECTION; THENCE N 00°22'00" W 1266.75 FEET TO A POINT ON THE SOUTH LINE OF OAKWOOD AVENUE; THENCE N 88°34'33" E 2544.31 FEET ALONG THE SAID SOUTH LINE AND PARALLEL TO THE NORTH LINE OF SAID 1/4 SECTION TO A POINT ON THE WEST RIGHT OF WAY LINE OF SOUTH 27TH STREET; THENCE S 00°11'55" E 1079.25 FEET ALONG SAID WEST LINE TO A POINT; THENCE S 88°38'06" W 192.33 FEET; THENCE S 00°11'55" E 160.19 FEET; THENCE N 88°38'06" E 192.33 FEET; THENCE S 00°11'55" E 30.00 FEET TO THE POINT OF BEGINNING

SAID LANDS CONTAINING: 3,192,623 SQUARE FEET OR 73.2925 ACRES

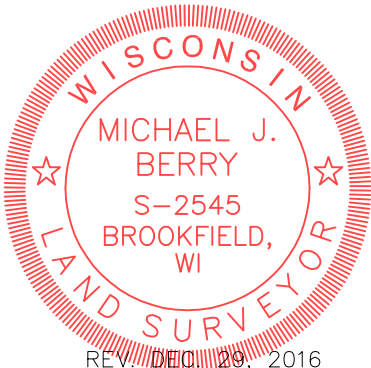
THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF JAMS, LLC THE OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN AND CHAPTER 15-7 OF THE CITY OF FRANKLIN UNIFIED DEVELOPMENT ORDINANCE, DIVIDING, AND MAPPING THE SAME.

DATED THIS 21ST DAY OF DECEMBER, 2016.


MICHAEL J BERRY
PROFESSIONAL LAND SURVEYOR, S-2545
STATE OF WISCONSIN



REV. DEC 29, 2016
REV. MARCH 30, 2017
REV. APRIL 25, 2017

CERTIFIED SURVEY MAP NO. _____

THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION THIRTY-SIX, IN TOWNSHIP FIVE NORTH, RANGE TWENTY-ONE EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

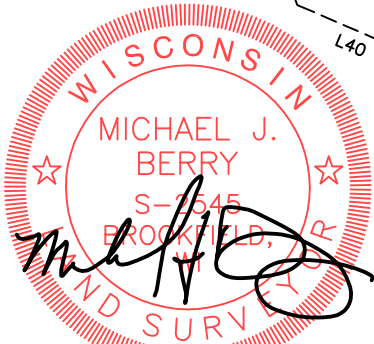
EASEMENT DETAIL



OUTLOT 1
921,818 S.F.
21.1620 AC.

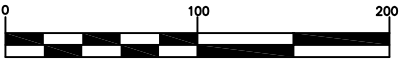
CONSERVANCY
EASEMENT

LINE TABLE		
LINE	BEARING	LENGTH
L5	N 88°38'18" E	46.70'
L6	S 25°07'10" E	54.92'
L7	N 64°03'28" E	55.37'
L8	N 46°48'14" E	71.91'
L9	S 58°55'34" E	43.37'
L10	N 14°20'27" E	3.31'
L11	N 71°37'05" E	65.10'
L12	S 74°55'40" E	50.03'
L13	S 69°35'56" E	80.17'
L14	S 20°24'04" W	41.97'
L15	S 72°09'39" E	2.47'
L16	S 61°01'00" E	59.25'
L17	S 09°20'01" E	53.10'
L18	S 06°15'18" E	51.97'
L19	N 58°58'01" E	61.36'
L20	N 46°54'11" E	45.99'
L21	N 43°14'19" E	54.06'
L22	N 75°30'13" E	37.87'
L23	N 45°40'04" E	20.21'
L24	N 34°10'51" E	18.80'
L25	N 04°40'16" W	26.71'
L26	N 37°07'05" E	88.43'
L27	N 37°07'05" E	9.27'
L28	S 52°52'55" E	11.64'
L29	S 52°52'55" E	79.16'
L30	S 10°51'40" E	63.55'
L31	S 14°18'24" W	10.47'
L32	N 80°32'19" E	36.84'
L33	S 49°14'38" E	132.15'
L34	S 64°28'40" W	130.38'
L35	N 67°24'14" W	46.45'
L36	N 85°26'57" W	26.55'
L37	S 84°12'32" W	34.86'
L38	S 76°23'54" W	31.96'
L39	S 62°22'24" W	19.82'
L40	S 23°22'40" W	60.27'
L41	S 68°55'32" W	60.68'
L42	S 53°49'32" W	41.46'
L43	S 65°51'16" W	60.76'
L44	S 56°53'22" W	59.82'
L45	N 88°11'36" W	59.51'
L46	S 33°44'15" W	6.26'
L47	S 53°20'17" W	43.97'
L48	S 80°53'14" W	53.58'
L49	N 85°46'55" W	37.88'
L50	N 90°00'00" W	17.94'
L51	S 62°43'30" W	22.39'
L52	N 88°46'05" W	28.18'
L53	S 61°24'10" W	12.58'
L54	S 48°58'42" W	24.55'
L55	S 58°46'48" W	56.01'
L56	N 63°25'32" W	41.67'
L57	N 49°27'12" E	67.16'
L58	N 35°37'04" W	3.19'
L59	N 15°45'00" W	55.32'
L60	N 12°17'52" W	76.33'
L61	N 04°56'25" E	23.74'
L62	N 24°47'46" E	4.68'
L63	N 76°15'44" W	56.57'
L64	S 86°59'23" W	35.10'
L65	S 83°39'06" W	5.91'



REV. DEC 11, 2016
REV. MARCH 30, 2017
REV. APRIL 27, 2017

GRAPHIC SCALE

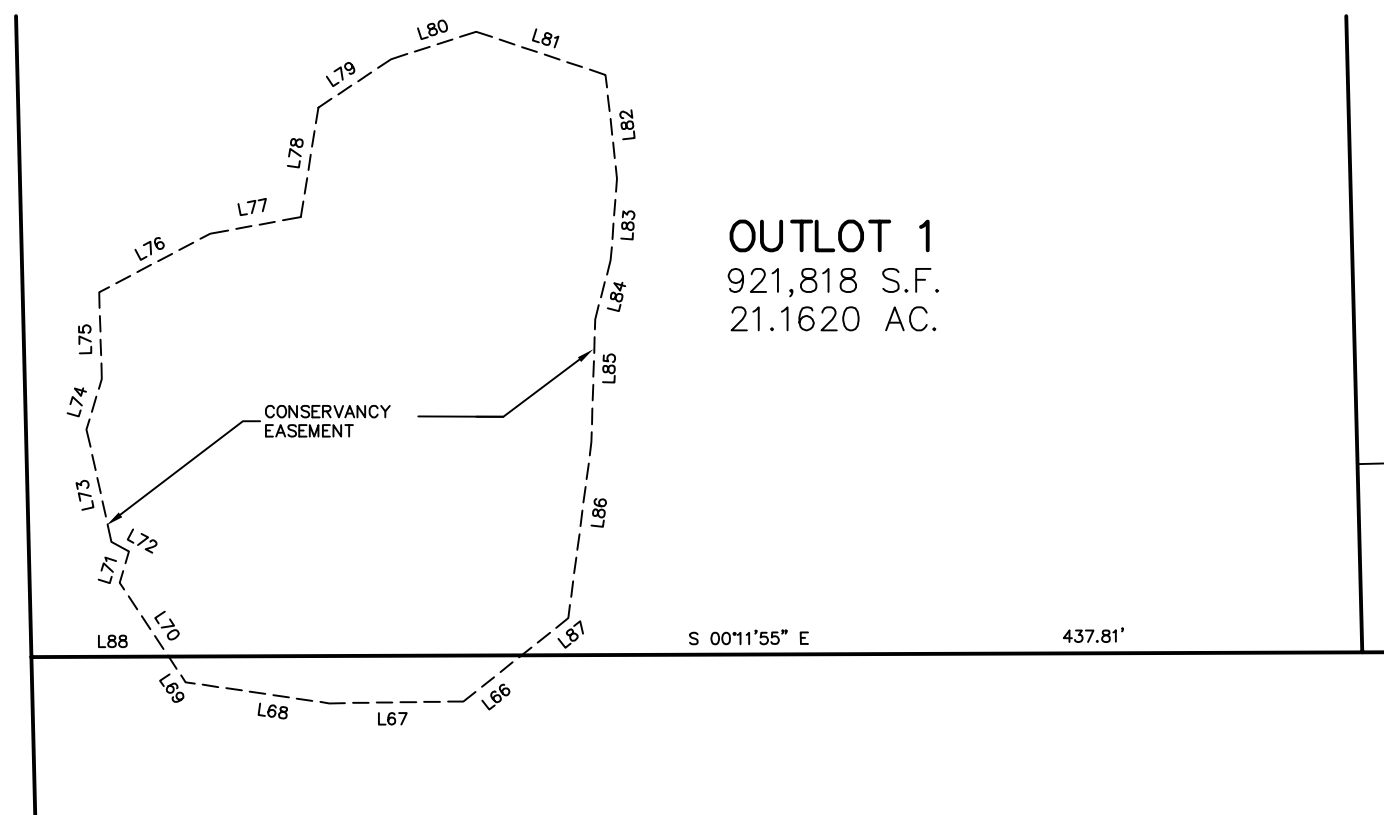


1 INCH = 100 FT.

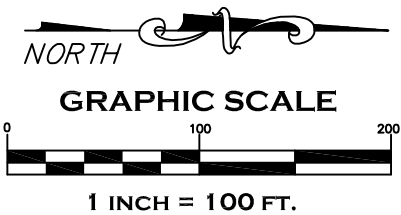
CERTIFIED SURVEY MAP NO. _____

THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION THIRTY-SIX, IN TOWNSHIP FIVE NORTH, RANGE TWENTY-ONE EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

EASEMENT DETAIL



LINE TABLE		
LINE	BEARING	LENGTH
L66	S 38°27'28" E	38.68'
L67	S 00°47'26" E	69.87'
L68	S 08°20'36" W	75.60'
L69	S 56°19'47" W	16.12'
L70	S 56°19'47" W	46.06'
L71	N 73°21'20" W	17.22'
L72	S 28°27'32" W	10.39'
L73	S 77°30'22" W	59.92'
L74	N 73°11'30" W	27.42'
L75	S 88°19'10" W	45.19'
L76	N 27°49'08" W	65.34'
L77	N 10°23'21" W	48.00'
L78	N 80°52'04" W	57.70'
L79	S 33°39'38" W	45.46'
L80	N 17°55'47" W	46.59'
L81	N 18°26'10" E	71.07'
L82	N 83°40'18" E	54.42'
L83	S 85°31'27" E	42.59'
L84	S 75°09'19" E	31.81'
L85	S 88°20'08" E	63.92'
L86	S 82°29'03" E	92.47'
L87	S 38°27'28" E	31.02'
L88	S 00°11'55" E	71.46'

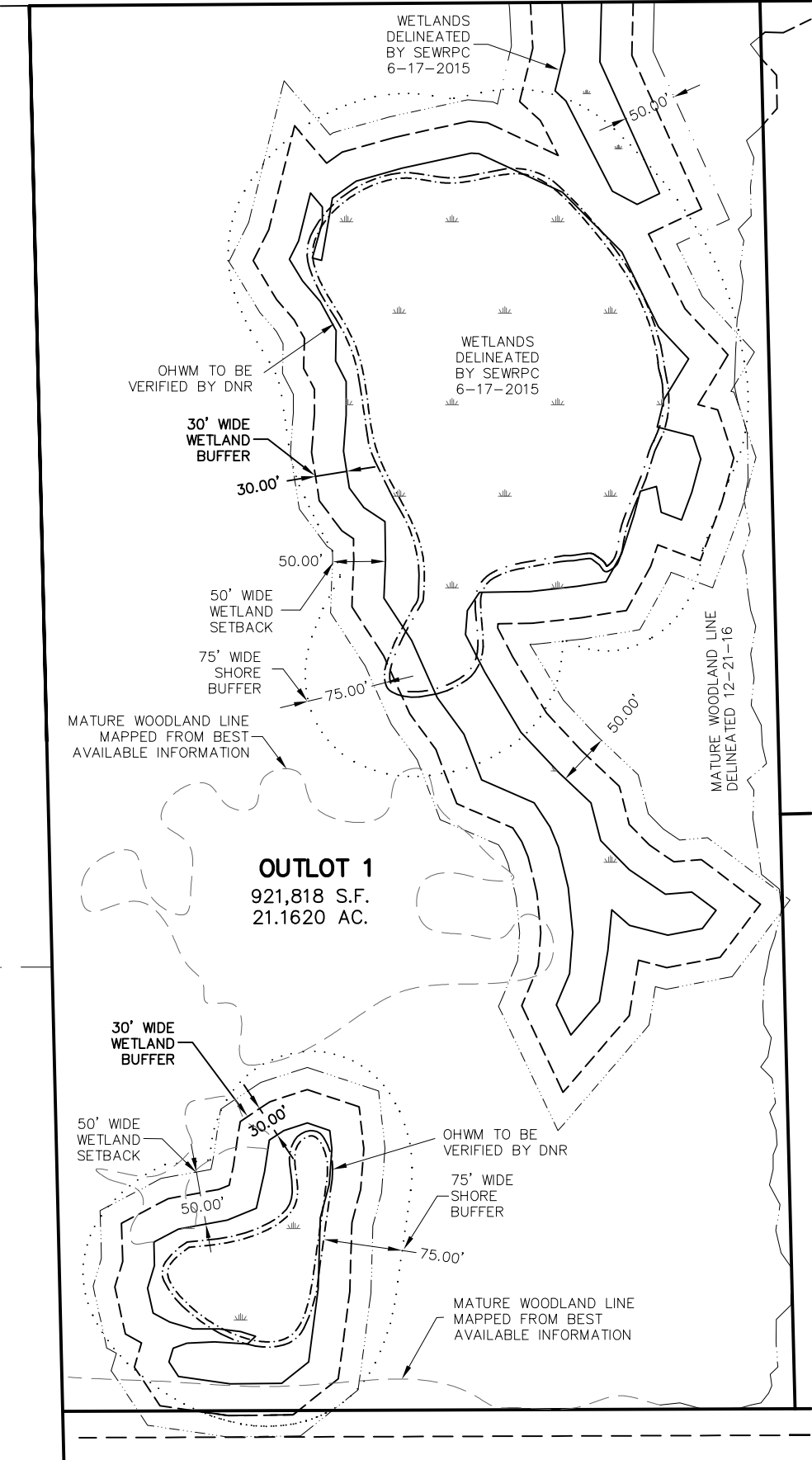


REV. DEC. 29, 2016
REV. MARCH 30, 2017
REV. APRIL 25, 2017

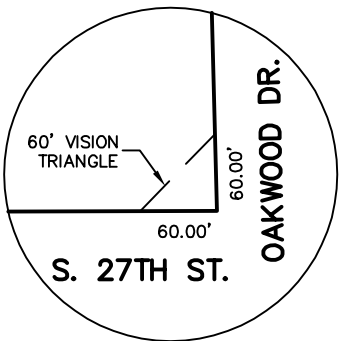
CERTIFIED SURVEY MAP NO. _____

THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION THIRTY-SIX, IN TOWNSHIP FIVE NORTH, RANGE TWENTY-ONE EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

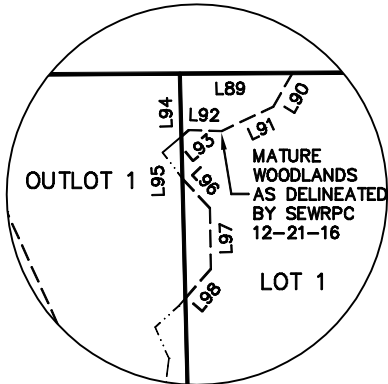
OUTLOT 1 DETAIL



VISION TRIANGLE
DETAIL
SCALE: 1" = 150'

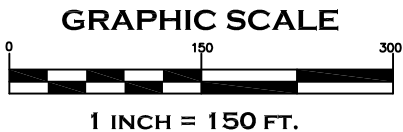


MATURE WOODLANDS
DETAIL
SCALE: 1" = 100'



LINE TABLE		
LINE	BEARING	LENGTH
L89	N 00°22'00" W	58.72'
L90	N 59°51'59" W	20.22'
L91	N 25°28'54" W	29.64'
L92	N 01°36'37" E	17.15'
L93	N 40°19'50" W	5.06'
L94	N 88°34'33" E	32.66'
L95	N 88°34'33" E	21.98'
L96	N 47°07'25" E	21.06'
L97	N 89°09'00" E	31.54'
L98	S 49°09'22" E	20.25'

WOODLANDS ON LOT 1 AND OUTLOT ARE AN ISOLATED NATURAL RESOURCE AREA AS DEFINED BY SEWRPC.



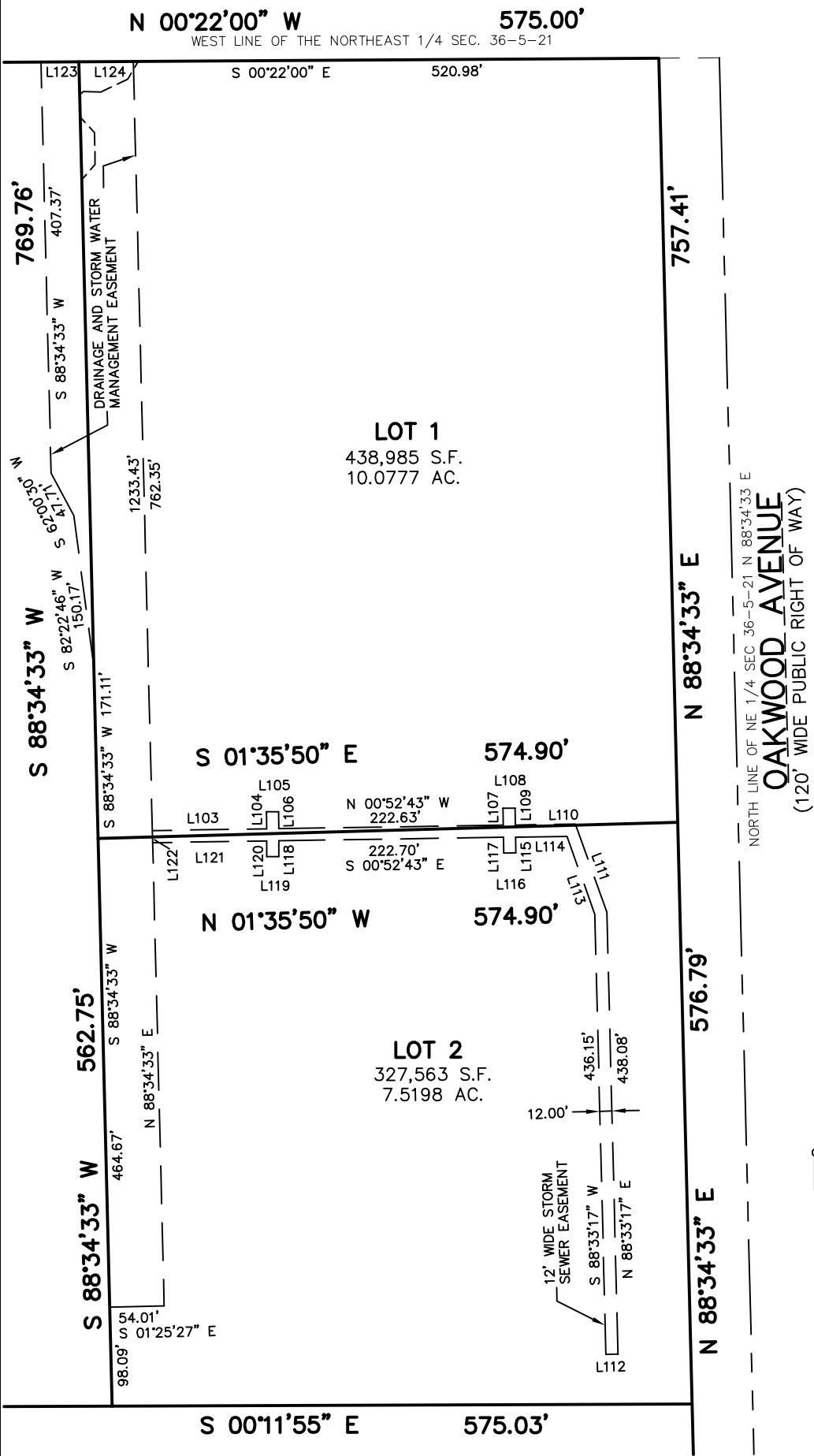
REV. DEC. 29, 2016
REV. MARCH 30, 2017
REV. APRIL 25, 2017

SHEET 6 OF 8

CERTIFIED SURVEY MAP NO. _____

THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION THIRTY-SIX, IN TOWNSHIP FIVE NORTH, RANGE TWENTY-ONE EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

STORM WATER EASEMENT DETAIL



LINE TABLE		
LINE	BEARING	LENGTH
L103	N 00°52'43" W	113.24'
L104	N 89°30'38" W	16.86'
L105	N 00°29'22" W	12.00'
L106	N 89°30'38" E	16.77'
L107	S 89°10'33" W	16.79'
L108	N 00°49'27" W	12.00'
L109	N 89°10'33" E	16.78'
L110	N 00°52'43" W	59.63'
L111	N 70°20'44" E	92.54'
L112	S 01°26'43" E	12.00'
L113	S 70°20'44" W	82.02'
L114	S 00°52'43" E	51.05'
L115	N 89°10'33" E	15.62'
L116	S 00°49'27" E	12.00'
L117	S 89°10'33" W	15.61'
L118	N 89°30'38" E	15.63'
L119	S 00°29'22" E	12.00'
L120	S 89°30'38" W	15.55'
L121	S 00°52'43" E	113.05'
L122	S 88°34'33" W	12.00'
L123	N 00°38'49" W	37.55'
L124	N 00°22'00" W	54.02'

CERTIFIED SURVEY MAP NO. _____

THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION THIRTY-SIX, IN TOWNSHIP FIVE NORTH, RANGE TWENTY-ONE EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

CORPORATE OWNER'S CERTIFICATE

JAMS, LLC, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFIES THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, MAPPED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF FRANKLIN CODE OF ORDINANCES.

THIS AGREEMENT SHALL BE BINDING ON THE UNDERSIGNED AND ASSIGNS.
IN WITNESS WHERE OF, JAMS, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY, MARILYN SPENCER, ITS REPRESENTATIVE, AT THE CITY OF FRANKLIN, WISCONSIN, THIS _____ DAY OF _____, 2017.

IN THE PRESENCE OF:

(WITNESS) MARILYN SPENCER

STATE OF WISCONSIN) ss
COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2017, MARILYN SPENCER, OF THE ABOVE NAMED CORPORATION, TO ME KNOW AS THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE THE REPRESENTATIVE OF THE ABOVE CORPORATION, AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER AS THE DEED OF THE CORPORATION, BY ITS AUTHORITY.

NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES: _____

CONSENT OF CORPORATE MORTGAGE

TRI-CITY BANK, INC., A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF JAMS, LLC, AS OWNER OF SAID LAND.

IN WITNESS WHEREOF, TRI-CITY BANK, INC., HAS CAUSED THESE PRESENTS TO BE SIGNED BY NATE SCHARTZBACH AND ITS CORPORATE SEAL HEREUNTO AFFIXED, THIS _____ DAY OF _____, 2017

(WITNESS) NATE SCHARTZBACH

STATE OF WISCONSIN) ss
COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2017, THE ABOVE NAMED NATE SCHARTZBACH, TO ME KNOWN AS THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES: _____

CITY OF FRANKLIN COMMON COUNCIL APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE COMMON COUNCIL OF THE CITY OF FRANKLIN ON THIS _____ OF _____, 2017.

STEPHEN OLSON, MAYOR DATE

SANDRA L. WESOLOWSKI, CITY CLERK DATE



REV. DEC 29, 2016
REV. MARCH 30, 2017
REV. APRIL 25, 2017

NATURAL RESOURCE PROTECTION PLAN

**Oakwood Business Center
West Oakwood Road
Franklin, WI**

March 24, 2017

TRC Project No: 268924-0000-0000

Prepared For:

Interstate Partners
N16 W23217 Stone Ridge Drive, Suite 120
Waukesha, Wisconsin 53188

Prepared By:

Ronald A. Londré, PWS
TRC Environmental Corporation
150 N. Patrick Blvd., Suite 180
Brookfield, WI 53045



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Appendices

Appendix A: NATURAL RESOURCE PROTECTION PLAN

Appendix B: TABLE 15-3.0502 – WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
TABLE 15-3.0505 – WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT
NRPP CHECKLIST

Appendix C: SEWRPC WETLAND LOCATION MAPS

1.0 INTRODUCTION

On behalf of Interstate Partners and JAMS-4, LLC, TRC Environmental Corporation (TRC) has developed a Natural Resource Protection Plan (NRPP, Appendix A) for a proposed Business Center development project. The property is approximately 73.3 acres and located in part of the northeast ¼ of Section 36 Township 5 north, Range 21 East near the southwest corner of West Oakwood Road and South 27th Street in the City of Franklin, Milwaukee County, Wisconsin.

Landowner Information:

JAMS, LLC
10467 South 27th Street
Franklin, WI 53132

The purpose of this NRPP was to determine the current location and extent of City of Franklin regulated natural resources for the proposed development of a business park. The results of our study is presented here in terms of methodology, results, and conclusions.

2.0 METHODS

The City of Franklin Unified Development Ordinance (UDO) Requires Natural Resource Protection of Steep Slopes, Mature Woodlands, Young Woodlands, Lakes and Pond, Streams, Shore Buffers, Floodplains/Floodways/Floodlands, Wetland Buffers, and Wetlands and Shoreland Wetlands. It was determined that mature woodlands, mature trees, ponds, a stream, shore buffer, wetlands, shore land wetland, and wetland buffers were present within the property. The following sections describe the methodology used to determine the locations and extents of these natural resources.

2.1 Steep Slopes

Three categories of steep slopes are defined within the UDO. These categories are based upon the relative degree of the steepness of the slope as follows: ten (10) to twenty (20) percent, twenty (20) to thirty (30) percent and greater than thirty (30) percent. No land area is considered a steep slope unless the steep slope area has at least a ten (10) foot vertical drop and has a minimum area of five thousand (5,000) square feet. Steep slopes exclude man-made steep slopes.

In order to determine steep slopes, TRC used a partial site topographic survey conducted by Capitol Survey. Topography for the remaining area was sourced from online resources.

2.2 Mature Woodlands

A Mature Woodland is an area or stand of trees whose total combined canopy covers an area of one (1) acre or more and at least fifty (50) percent of which is composed of canopies of trees

having a diameter at breast height (DBH) of at least (10) ten inches; or any grove consisting of eight (8) or more individual trees having a DBH of at least twelve (12) inches whose combined canopies cover at least fifty (50) percent of the area encompassed by the grove. However, no trees grown for commercial purposes are considered a mature woodland.

The location of the drip line along the northern edge of proposed Outlot 3 was flagged in the field by Amanda Larsen of TRC and was surveyed by Capitol Survey. The remaining areas of drip line were determined based on desktop photo-interpretation.

2.3 Mature Trees

The location, size, and species of all healthy trees having a diameter of eight (8) inches or greater diameter at breast height, a Mature Tree, that are located in woodland and forest areas within twenty-five (25) feet of any proposed land disturbance were identified for the NRPP. TRC scientist Amanda Larsen tagged, identified, and measured all mature trees (trees with a DBH of 8" or greater) within 25 feet of proposed land disturbance. The survey of tagged trees was completed by a Registered Land Surveyor of Capitol Survey.

2.4 Pond

A pond is defined by the UDO as all bodies of water less than two (2) acres in area as measured by the shoreline at its maximum condition rather than the permanent pool condition, if there is any difference.

The northern edge of the northwestern pond is within 100 feet of proposed disturbances. The location of this portion of the pond is based on a survey of the area provided by Capitol Survey. The remaining portion of the shoreline of the northwestern pond and the second pond, located southeast of Pone 1, was based on desktop photo-interpretation combined with topographic maps.

2.5 Stream

The UDO defines a stream as course of running water, either perennial or intermittent, flowing in a channel.

The waterway identified by SEWRPC is assumed to be navigable for the purposes of this NRPP. The location is beyond 100 feet from proposed disturbances and is shown on the NRPP as an approximate location based on the data from the SEWRPC wetland delineation digital files.

2.6 Shore Buffer

A shore buffer is defined as the undisturbed land area (including undisturbed natural vegetation) within seventy-five (75) feet landward of the ordinary high water mark of all navigable waters (lakes, ponds, and streams) and parallel to that ordinary high water mark.

The shore buffer of the northern pond is based in part on the surveyed location of the shoreline of the pond. The remaining shore buffers that are related to shorelines beyond 100 feet from proposed disturbance are based off of a combination of desktop photo-interpretation and mapped topography.

2.7 Wetlands

The UDO defines a wetland as an area where water is at, near, or above the land surface long enough to be capable of supporting aquatic or hydrophytic vegetation and which has soils indicative of wet conditions.

TRC used data from a wetland delineation report prepared by SEWRPC for Area D Proposed TIF District (SW Corner of Oakwood Road and South 27th Street). Due to the report having been prepared for a larger geographic area, the physical number of pages, and TRC's understanding that the City of Franklin has a copy of the report on file, it is not included with this NRPP report. Please refer to the copy of this report held by the City of Franklin to obtain specific information on the individual(s) who conducted the wetland delineation and the dates the wetland delineation was conducted.

The wetland delineation covered only a select portion of the entire property. The locations of wetlands that were not formally delineated by SEWRPC were obtained from a sketched map prepared by SEWRPC.

2.8 Shore Land Wetland, Wetland Buffers

Shore land wetlands are wetlands located within 1,000 feet of a lake, pond, or flowage and wetland located within 300 feet of a river or stream, or to the landward side of floodplain areas. Wetland buffers are 30 feet landward of a delineated wetland boundary.

TRC used best available information to determine which of the SEWRPC delineated and approximated wetlands meet the criteria for being classified as shore land wetlands. TRC used best available information to measure and graphically depict the location of wetland buffers off of the SEWRPC delineated and approximated wetland locations.

3.0 RESULTS

It was determined that no Steep Slopes, Floodplain Fringe, Floodway, or Floodlands were present within the property.

It was determined that mature woodlands, mature trees, ponds, a stream, shore buffer, wetlands, shore land wetland, and wetland buffers were present within the property.

3.1 Mature Woodlands

There are 16.49-acres of mature woodlands present within the property.

3.2 Mature Trees

There are a total of 157 individual mature trees (DBH \geq 8 inches) within approximately 25 feet of proposed disturbance. Twenty-six trees are within the limits of proposed disturbance and will most likely be

removed for the purposes of the project. Four trees are within five feet of the limits of disturbance and might be impacted for the purposes of this project.

3.3 Ponds

There are two ponds within the property. Pond 1 is 2.25-acres (98,119 Sq. Ft.) in size and Pond 2 is 0.33-acres (14,354 Sq. Ft.) in size.

3.4 Streams

There is one stream (Stream 1) within the property. The location is beyond 100 feet from proposed disturbances and is shown on the NRPP as an approximate centerline based on the data from the SEWRPC wetland delineation digital files.

3.5 Shore Buffer

There are two shore buffers within the property totaling approximately 4.72-acres (205,603 Sq. Ft.) of shore buffer. Shore Buffer 1 is 3.33-acres (145,020 Sq. Ft.) in size and Shore Buffer 2 is 1.40-acres (14,354 Sq. Ft.) in size. Note that because the width is not measured, it is not accounted for in the Worksheet for the Calculation of Natural Resource Protection Land. However, this will not change the adjusted natural resource protection land.

3.6 Wetlands

There are seven wetlands within the property. Only a portion of the wetlands were delineated by SEWRPC. The remaining wetland locations are based on a map prepared by SEWRPC. The delineated wetland boundaries are differentiated from the approximated wetland boundaries on the NRPP. In total there are approximately 2.35-acres of wetlands in the property, which includes the delineated wetland, approximated wetlands, and shore land wetlands. Wetland 1 is approximately 0.15-acres (7,839 Sq. Ft.), Wetland 2 is approximately 0.97-acres (42,435 Sq. Ft.), Wetland 3 is approximately 0.04-acres (1,704 Sq. Ft.), Wetland 4 is approximately 0.09-acres (3,839 Sq. Ft.), Wetland 5 is approximately 0.18-acres (12,104 Sq. Ft.), Wetland 6 is approximately 0.88-acres (38,268 Sq. Ft.), and Wetland 7 is approximately 0.03-acres (759 Sq. Ft.).

3.7 Shore Land Wetland, Wetland Buffers

Wetlands 1 through 5 are entirely shore land wetlands and Wetland 7 is partially a shore land wetland, totaling approximately 2.24-acres (97,574 Sq. Ft.) of shore land wetlands.

There are a total of five wetland buffers in the property totaling approximately 3.35-acres of wetland buffers. Some of the buffers of each individual wetland overlap/combine with buffers of nearby wetlands, which results in five wetland buffers rather than seven wetland buffers.

3.8 Wetland Building Setbacks

Wetland building setbacks, 50 feet from delineated or approximated wetland boundaries, are located on the property. There are five wetland building setbacks totaling approximately 6.14-acres (267,485 Sq. Ft.).

4.0 DISCUSSION

The proposed project is avoiding impacts to the ponds, shore buffers, wetland buffers, shore land wetlands, and wetlands within the property, and no buildings or impervious surfaces are proposed to be located within the wetland building setbacks.

The protection standard for mature woodlands (11.54-acres / 70%) is being met by the proposed project. Proposed mature woodland impacts are limited to 0.41-acres leaving 16.08-acres of mature woodland non-impacted.

There is no Natural Resource Preservation being proposed. It is TRC's understanding that once the property is subdivided, there will be no regulated natural resources, and other than a slender portion of mature tree drip line along the south property boundary no mature trees will remain rooted in the project area.

Protection requirements for all present regulated natural resources are being met; therefore, there is no proposed compensatory mitigation.

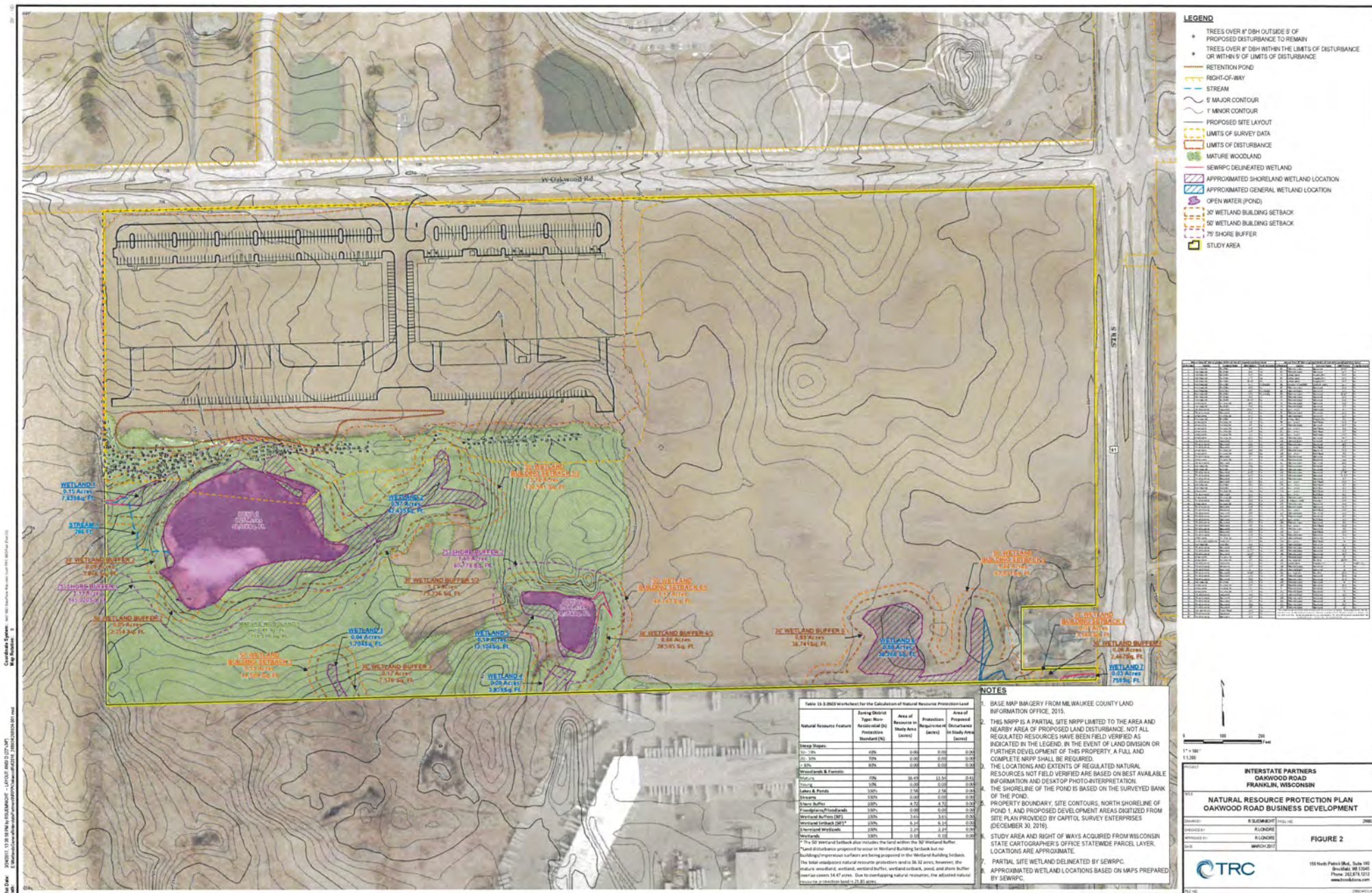
5.0 CONCLUSION

This NRPP was prepared for the purposes of a Business Center development project. Based on the information provided to TRC, the protection requirement of all present regulated natural resources are being met.

This NRPP is a partial site NRPP, limited to the area and nearby area of proposed land disturbance. Not all regulated natural resources have been field located/verified. The results of this NRPP are based on best available information at the time the NRPP was prepared. In the event of further land division or development of this property, a full and complete NRPP shall be required.

Changes in the City of Franklin's Unified Development Ordinance or the interpretation of the UDO or changes to the project's design may result in changes to the findings of this NRPP.

APPENDIX A:
NATURAL RESOURCE PROTECTION PLAN



APPENDIX B:
**TABLE 15-3.0502 – WORKSHEET FOR THE CALCULATION OF BASE SITE
AREA**

**TABLE 15-3.0505 – WORKSHEET FOR THE CALCULATION OF SITE
INTENSITY AND CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

NRPP CHECKLIST

Table 15-3.0502

**WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT**

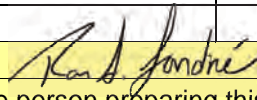
STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	73.29 acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of way, land located within the ultimate road rights-of-way of existing roads, the rights of-way of major utilities, and any dedicated public park and/or school site area.	0.00 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0.00 acres
STEP 4:	In the case of <i>"Site Intensity and Capacity Calculations" for a proposed nonresidential use</i> , subtract (-) the land proposed for residential uses.	0.00 acres
STEP 5:	Equals "Base Site Area"	73.29 acres

Table 15-3.0505
WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take Base Site Area (from Step 5 in Table 15-3.0502): 73.29 acres Multiple by Minimum Landscape Surface Ratio (LSR) (see specific zoning district LSR standard): X 0.25 Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =	18.32 acres
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take Base Site Area (from Step 5 in Table 15-3.0502): 73.29 acres Subtract Total Resource Protection Land from Table 15-3.0503) or Minimum Required Landscape Surface (from Step 1 above), whichever is greater: - 21.85 acres Equals NET BUILDABLE SITE AREA =	51.44 acres
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take Net Buildable Site Area (from Step 2 above): 4.58 acres Multiple by Maximum Net Floor Area Ratio (NFAR) (see specific nonresidential zoning district NFAR standard): X 0.85 Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =	NA No NFAR listed for B-7 in UDO
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take Base Site Area (from Step 5 of Table 15-3.0502): 11.01 acres Multiple by Maximum Gross Floor Area Ratio (GFAR) (see specific nonresidential zoning district GFAR standard): X 0.55 Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =	NA
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the lowest of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above): (Multiple results by 43,560 for maximum floor area in square feet):	NA

NATURAL RESOURCE PROTECTION PLAN CHECKLIST

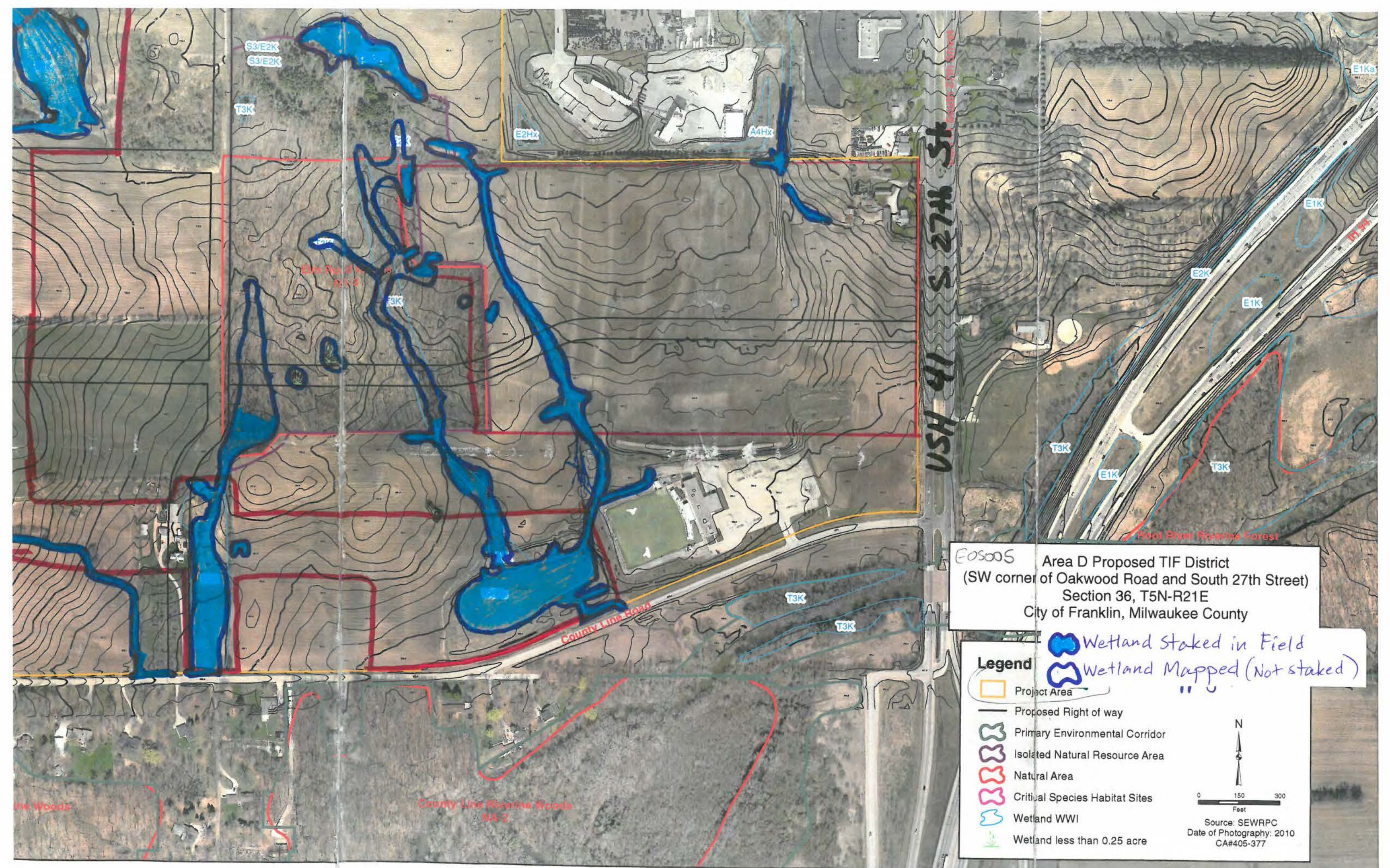
Staff Use	Complete or NA	Natural Resources that must be Identified, Measured, Graphically Depicted	Ordinance #
	NA	Steep Slopes, measured & graphically Indicated	15-4.0102-A
	X	Woodlands and Forests, as defined, measured & graphically Indicated	15-4.0102-B
	X	Lakes and Ponds, measured & graphically Indicated	15-4.0102-C
	X	Streams, measured & graphically Indicated	15-4.0102-D
	X	Shore Buffers, measured & graphically Indicated	15-4.0102-E
	NA	Floodplain(s), Floodway(s) & Floodland(s), measured & graphically Indicated	15-4.0102-F
	NA	Drainageways (as defined in the City of Franklin Unified Development Ordinance), measured & graphically Indicated	15-4.0102-G
	X	Wetlands and Shoreland Wetlands, measured & graphically Indicated	15-4.0102-H
	X	Project Name	15-7.0201-A
	X	Location (physical address and/or Section - 1/4 Section information)	15-7.0201-B
	X	Scale, North Arrow, Contours (2' interval)	15-7.0702-L
	X	Names, Addresses, Telephone #s of Owners, Subdividers, Lessee & Developer	15-7.0201-C
	X	Date and all applicable revision dates	15-7.0201-D
	X	Site Boundary	15-7.0201-E
	X	Lot Lines, Right-of-Way lines and Easements	15-7.0201-F
	X	Existing Streets	15-7.0201-G
	X	Easements along property boundaries adjacent to the site	15-7.0201-H
	X	Location and extent of existing Natural Resource features	15-7.0201-I
	X	Disturbed and Preserved Nat. Resource Features (shown graphically and in numerical sequence on plan)	15-7.0702-J
	NA	Method of Natural Resource Preservation (Conservation Easements)	15-7.0702-K
	X	Site Intensity Calculations	15-7.0702-N
	NA	Mitigation Plan (See attached pages)	15-4.0103
	See Wetland Report	Name of Person Performing Wetland Delineation	
	See Wetland Report	Date of Wetland Delineation	
	X	50' Wetland Building Setback Lines, identified & dimensioned	
	X	75' Shoreland Buffer Areas, identified & dimensioned	


 Signature of the person preparing this checklist

Staff Notes

Reviewer's Initials: _____

**APPENDIX C:
SEWRPC WETLAND LOCATION MAPS**



E05005 Area D Proposed TIF District
(SW corner of Oakwood Road and South 27th Street)
Section 36, T5N-R21E
City of Franklin, Milwaukee County

Legend

- Project Area
- Proposed Right of way
- Primary Environmental Corridor
- Isolated Natural Resource Area
- Natural Area
- Critical Species Habitat Sites
- Wetland WWI
- Wetland less than 0.25 acre

Wetland Staked in Field

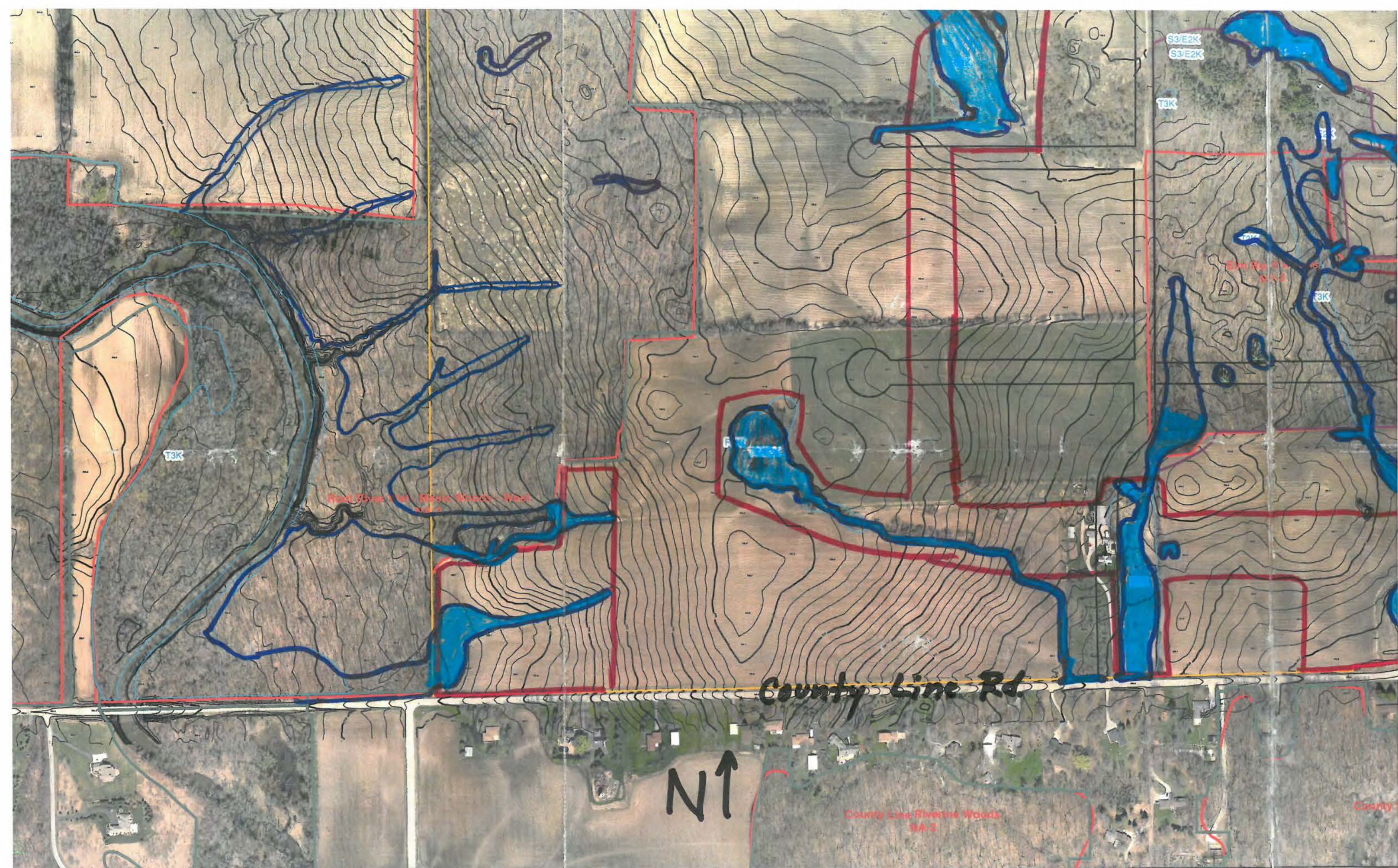
Wetland Mapped (Not staked)

N

0 150 300

Feet

Source: SEWRPC
Date of Photography: 2010
CA#405-377



W. Oakwood Rd



S. 27th St
1st Hsa

S/M Rd

S3/E2K

WOH

T3/WOH

W

T3

S3/E2K

WOHx

WOHx

WOHx

S3K

S3K

T3K

S3/E2K
S3/E2K

WOHx

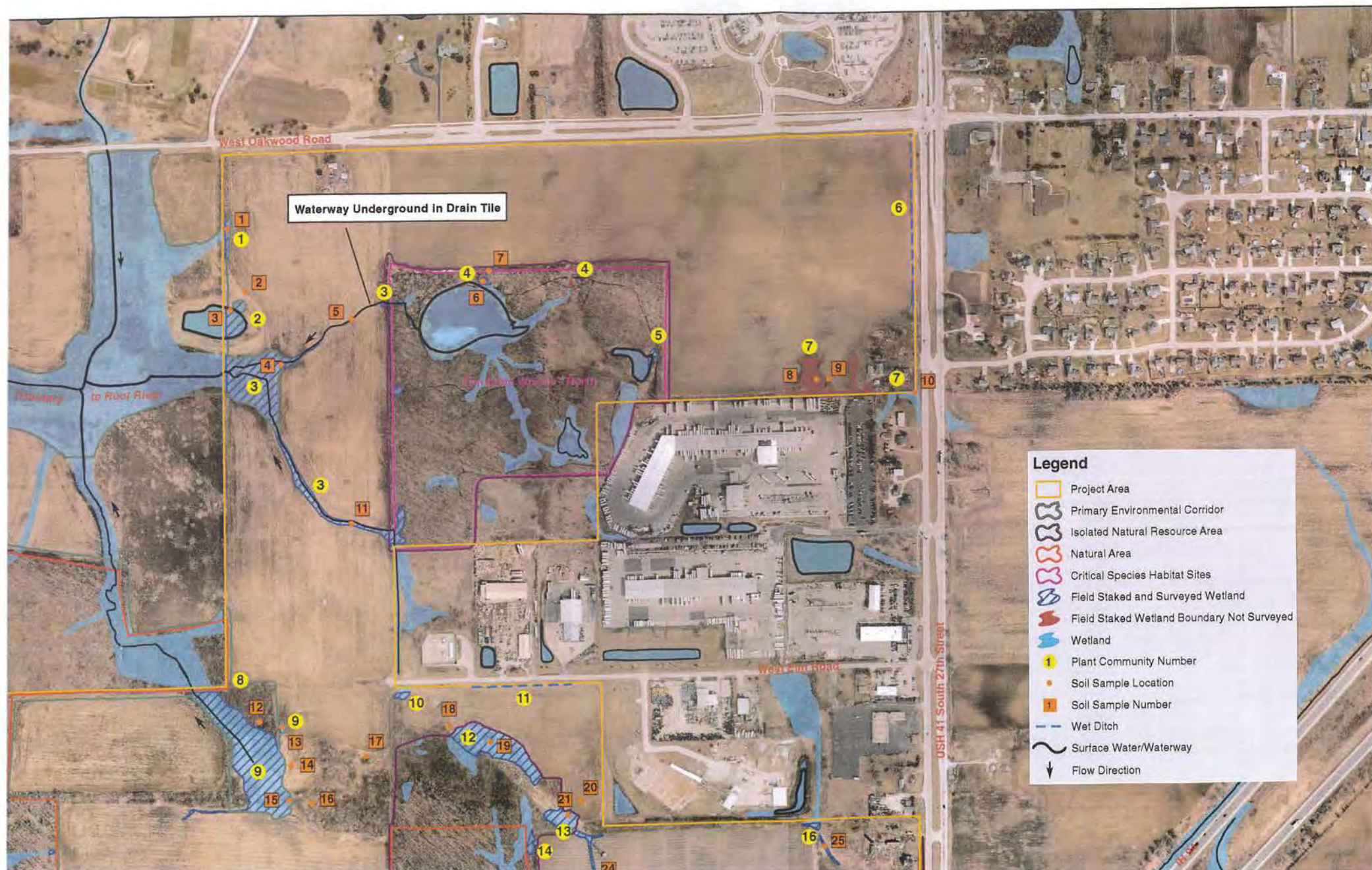
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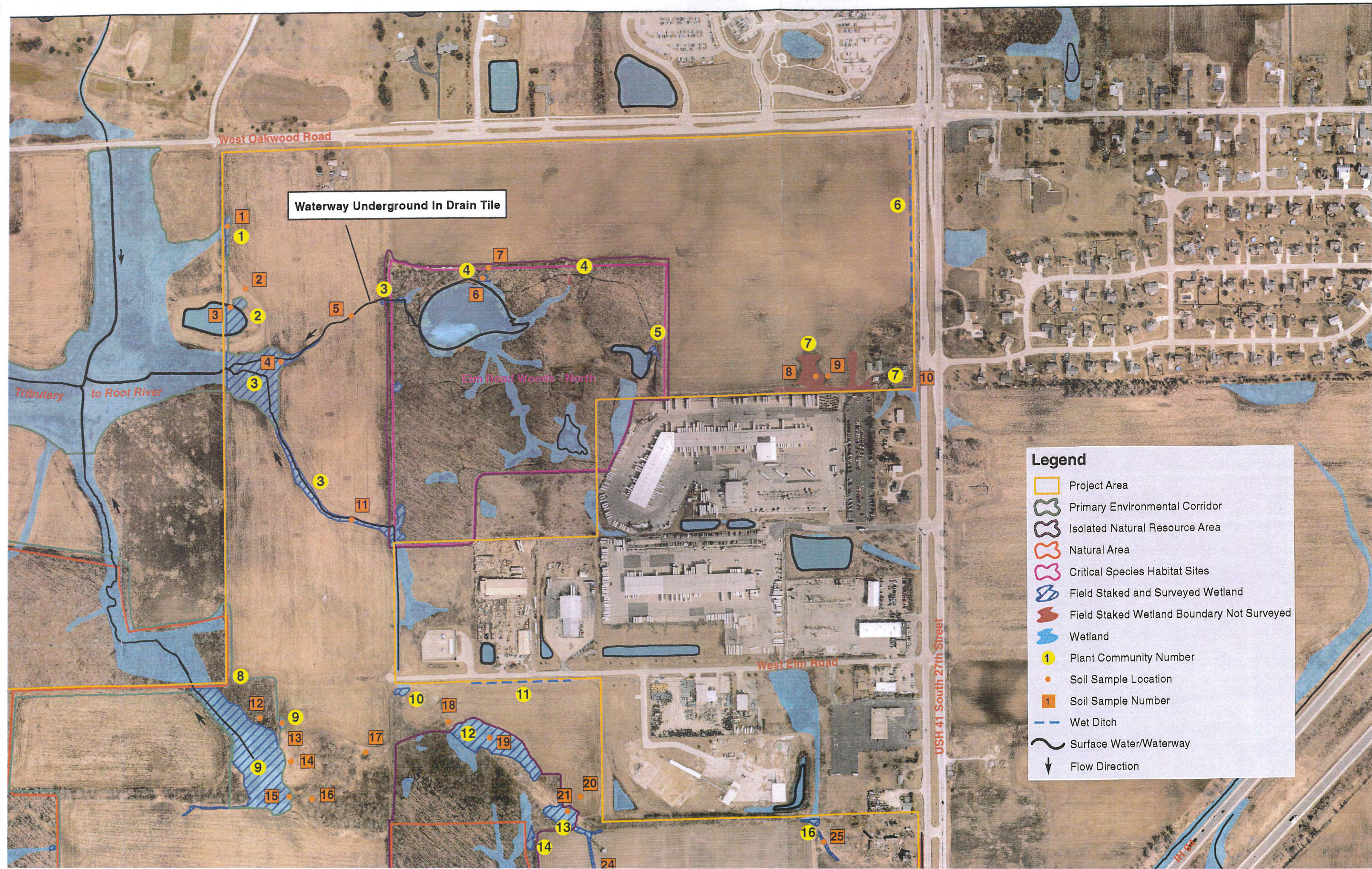
WOHx

T3K

E2K

E2K





CONSERVATION EASEMENT

JAMS-4 Oakwood Business Center(DEVELOPMENT NAME)

This Conservation ~~e~~Easement is made by and between the CITY OF FRANKLIN, a municipal corporation of the State of Wisconsin, hereinafter referred to as "Grantee," and ~~Owner/Developer Name, LLC, Inc. JAMS-4, L.L.C., a e.g. Wisconsin L~~limited ~~L~~iability ~~Corporation company~~, hereinafter referred to as "Grantor," and shall become effective upon the recording of this ~~Grant of~~ Conservation Easement, together with the Acceptance following, with the Office of the Register of Deeds for Milwaukee County, pursuant to §700.40(2)(b) of the Wisconsin Statutes.

WITNESSETH

WHEREAS, Grantor is the owner in fee simple of certain real property, located within the City of Franklin, Milwaukee County, Wisconsin, known as Outlot 1 of Certified Survey Map No. _____, being the Northwest ¼ and part West ½ of the Northeast ¼ of the Northeast ¼ of Section 29 36, Township 5 North, Range 21 East, portions of which are protected as described ~~in~~ Exhibit A attached hereto and hereby made a part hereof (protected property); and

WHEREAS, the Grantor desires and intends that the natural elements and the ecological and aesthetic values of the protected property including, without limitation, ~~steep slopes, mature woodlands, young woodlands, lakes,~~ ponds, streams, floodplains, floodways, floodlands, shore buffers, wetland buffers, wetlands and shoreland wetlands, and ~~refer to depicted in the~~ Natural Resource ~~Investigation Protection Plan~~ by ~~NRPP Consultant Name TRC Environmental Corporation~~, dated ~~January 1, 2005, with all applicable revision dates (dated January 2, 2005) March 17, 2017, which is located on file~~ in the office of the Department of City Development, be preserved and maintained by the continuation of land use that will not interfere with or substantially disrupt the natural elements or the workings of natural systems; and

WHEREAS, Grantee is a "holder", as contemplated by §700.41(1)(b)1. of the Wisconsin Statutes, whose purposes include, while exercising regulatory authority granted to it, *inter alia*, under §62.23 and §236.45 of the Wisconsin Statutes, the conservation of land, natural areas, open space, and water areas; and

WHEREAS, the Grantor and Grantee, by the conveyance to the Grantee of the conservation easement on, over, and across the protected property, desire to conserve the natural values thereof and prevent the use or development of the protected property for any purpose or in any manner inconsistent with the terms of this conservation easement; and

WHEREAS, the Grantee is willing to accept this conservation easement subject to the reservations and to the covenants, terms, conditions, and restrictions set out herein and imposed hereby;

~~WHEREAS, Mortgage Holder Name, mortgagee of the Protected Property ("Mortgagee"), consents to the grant of this Easement by Grantor to Grantee and Mortgagee's consent is attached hereto and identified as "Mortgage Holder Consent";~~

NOW, THEREFORE, the Grantor, for and in consideration of the foregoing recitations and of the mutual covenants, terms, conditions, and restrictions subsequently contained, and as an absolute and unconditional dedication, does hereby grant and convey unto the Grantee a conservation easement in perpetuity on, over, and across the protected property.

Grantee's rights hereunder shall consist solely of the following:

1. To view the protected property in its natural, scenic, and open condition;
2. To enforce by proceeding at law or in equity the covenants subsequently set forth, including, and in addition to all other enforcement proceedings, proceedings to obtain all penalties and remedies set forth under Division 15-9.0500 of the Unified Development Ordinance of the City of Franklin, as amended from time to time, any violation of the covenants subsequently set forth being and constituting a violation of such Unified Development Ordinance, as amended from time to time, or such local applicable ordinance as may be later adopted or in effect to enforce such covenants or the purposes for which they are made, it being agreed that there shall be no waiver or forfeiture of the Grantee's right to insure compliance with the covenants and conditions of this grant by reason of any prior failure to act; and

3. To enter the protected property at all reasonable times, upon at least two days' written notice and without unreasonably interfering with Grantor's use, for the purpose of inspecting the protected property to determine if the Grantor is complying with the covenants and conditions of this grant.

And in furtherance of the foregoing affirmative rights of the Grantee, the Grantor makes the following covenants which shall run with and bind the protected property in perpetuity, namely, that, on, over, or across the protected property, the Grantor, without the prior consent of the Grantee, shall not:

1. Construct or place buildings or any structure;
2. Construct or make any improvements, unless, notwithstanding Covenant 1 above, the improvement is specifically and previously approved by the Common Council of the City of Franklin, upon the advice of such other persons, entities, and agencies as it may elect; such improvements as may be so approved being intended to enhance the resource value of the protected property to the environment or the public and including, but not limited to animal and bird feeding stations, park benches, the removal of animal blockage of natural drainage or other occurring blockage of natural drainage, and the like;
3. Excavate, dredge, grade, mine, drill, or change the topography of the land or its natural condition in any manner, including any cutting or removal of vegetation, except for the removal of dead or diseased trees;
4. Conduct any filling, dumping, or depositing of any material whatsoever, including, but not limited to soil, yard waste, or other landscape materials, ashes, garbage, or debris;
5. Plant any vegetation not native to the protected property or not typical wetland vegetation.;
6. Notwithstanding the foregoing, Grantor reserves the right to continue to use the protected property consistent with Grantor's past uses, including but not limited to, holding family and friend gatherings, maintaining and using walking paths, various recreational uses such as fishing, hunting and interacting with wildlife, riding horses, collecting maple sap and Operating snowmobiles, dune buggies, motoreyes, all-terrain vehicles or any other types of motorized vehicles.

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To have and to hold this conservation easement unto the Grantee forever. Except as expressly limited herein, the Grantor reserves all rights as owner of the protected property, including, but not limited to, the right to use the protected property for all purposes not inconsistent with this grant. Grantor shall be responsible for the payment of all general property taxes levied, assessed, or accruing against the protected property pursuant to law.

The covenants, terms, conditions, and restrictions set forth in this grant shall be binding upon the Grantor and the Grantee and their respective agents, personal representatives, heirs, successors, and assigns, and shall constitute servitudes running with the protected property in perpetuity. This grant may not be amended, except by a writing executed and delivered by Grantor and Grantee or their respective personal representatives, heirs, successors, and assigns. Notices to the parties shall be personally delivered or mailed by U.S. Mail registered mail, return receipt requested, as follows:

To Grantor:

JAMS-4, L.L.C. Owner/Developer
c/o Marilyn Spencer Attn:
10467 S. 27th Street Mailing Address
Franklin, WI 53132 City, State, Zip

To Grantee:

City of Franklin
Office of the City Clerk
9229 W. Loomis Road
Franklin, Wisconsin 53132

In witness whereof, the grantor has set its hand and seals this on this date of _____, 2017.

JAMS-4, L.L.C. Company Name

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BY
Its
By:

Name and Title

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STATE OF WISCONSIN)
) ss
COUNTY OF MILWAUKEE)

This instrument was acknowledged before me on the _____ day of _____, A.D. 2017 by _____ as a member of JAMS-4, L.L.C., Name(s) of person(s) as Title (type of authority, e.g., officer, trustee, etc.) of (name of party on behalf of whom instrument was executed) To me known to be the person(s) who executed the foregoing Easement and acknowledged the same as the voluntary act and deed of said ~~corporation~~, limited liability company, ~~etc.~~

Notary Public

My commission expires _____

Acceptance

The undersigned does hereby consent to and accepts the Conservation Easement granted and conveyed to it under and pursuant to the foregoing Grant of Conservation Easement. In consideration of the making of such Grant Of Conservation Easement, the undersigned agrees that this acceptance shall be binding upon the undersigned and its successors and assigns and that the restrictions imposed upon the protected property may only be released or waived in writing by the Common Council of the City of Franklin, as contemplated by §236.293 of the Wisconsin Statutes.

In witness whereof, the undersigned has executed and delivered this acceptance on the ____ day of _____, A.D.2017.

CITY OF FRANKLIN

By: _____
Stephen R. Olson, Mayor

By: _____
Sandra L. Wesolowski, City Clerk

STATE OF WISCONSIN)
) ss
COUNTY OF MILWAUKEE)

Personally came before me this _____ day of _____, A.D. 2017, the above named Stephen R. Olson, Mayor and Sandra L. Wesolowski, City Clerk, of the above named municipal corporation, City of Franklin, to me known to be such Mayor and City Clerk of said municipal corporation, and acknowledged that they executed the foregoing instrument as such officers as the Deed of said municipal corporation by its authority and pursuant to Resolution No. _____, adopted by its Common Council on the _____ day of _____, 2017.

Notary Public

My commission expires _____

This instrument was drafted by the City of Franklin.

Approved as to contents:

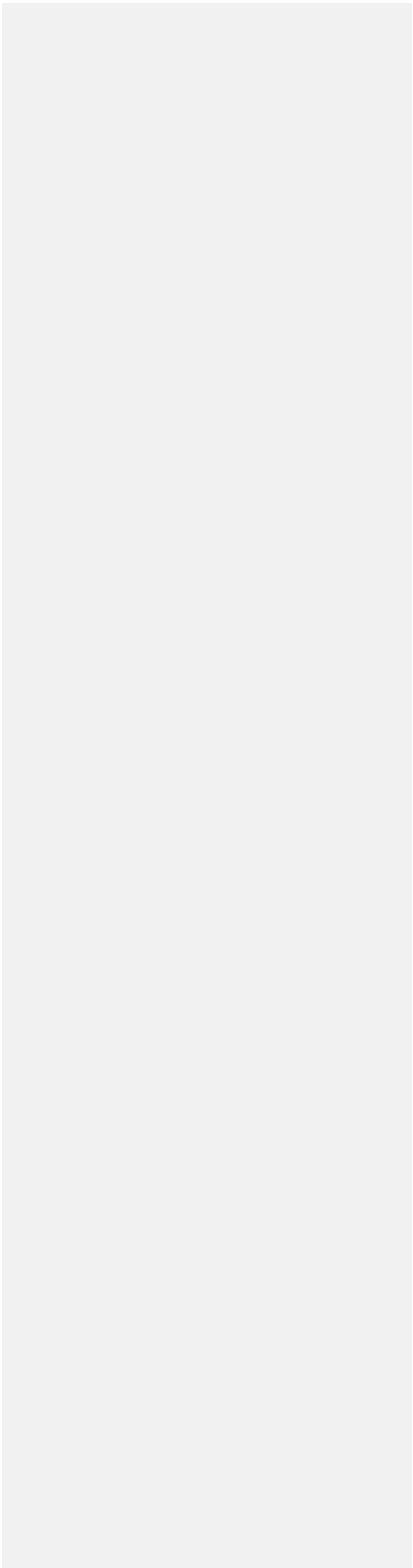
Nicholas Fuchs, Principal Planner
Department of City Development

Date

Approved as to form only:

Jesse A. Wesolowski
City Attorney

Date



MORTGAGE HOLDER CONSENT

The undersigned, (name of mortgagee), a Wisconsin banking corporation ("Mortgagee"), as Mortgagee under that certain Mortgage encumbering encumbering the Property and recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on _____, 20____, as Document No. _____, hereby consents to the execution of the foregoing easement and its addition as an encumbrance title to the Property.

IN WITNESS WHEREOF, Mortgagee has caused these presents to be signed by its duly authorized officers, and its corporate seal to be hereunto affixed, as of the day and year first above written.

Name of Mortgagee

a Wisconsin Banking Corporation

By: _____

Name: _____

Title: _____

STATE OF WISCONSIN _____)
_____)ss
COUNTY OF MILWAUKEE _____)

On this, the _____ day of _____, 20____, before me, the undersigned, personally appeared name of officer of mortgagee, the (title of office, i.e.: VP) of (name of mortgagee), a Wisconsin banking corporation, and acknowledged that (s)he executed the foregoing instrument on behalf of said corporation, by its authority and for the purposes therein contained.

Name: _____

Notary Public, State of Wisconsin

My commission expires _____

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