CITY OF FRANKLIN PLAN COMMISSION MEETING* FRANKLIN CITY HALL COUNCIL CHAMBERS 9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN AGENDA THURSDAY, MARCH 19, 2015, 7:00 P.M.

A. Call to Order and Roll Call

- B. Approval of Minutes
 - 1. Approval of regular meeting of March 5, 2015.
- C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)
 - 1. HILLER FORD BUILDING EXPANSION AND REMODELING. Special Use Amendment, 2 Lot Certified Survey Map, and Right-of-Way Vacation applications by Hiller Ford, Inc. and Dealership Properties, Inc., for proposed building expansion and remodeling of the Hiller Ford showroom, offices and service righting area, addition to the existing body shop and construction of a new used vehicle sales building, for property zoned M-1 Limited Industrial District and C-1 Conservancy District, located at: 6381, 6411, 6455 and 6421 South 108th Street and including Tax Key Nos. 704-9974-000, 704-9975-000, 704-9976-002, 704-9976-003, 704-9976-005, 704-9977-000 and 704-9998-004 (Special Use Amendment); 6381, 6411, 6421 and 6455 South 108th Street and including Tax Key Nos. 704-9974-000, 704-9975-000, 704-9976-003, 704-9976-002, 704-9976-005, 704-9977-000 and 704-9998-004 (Certified Survey Map); and 6421 and 6455 South 108th Street and including Tax Key Nos. 704-9976-003, and 704-9977-000 (Right-of-Way Vacation). A PUBLIC HEARING IS SCHEDULED FOR THIS **MEETING UPON THE SPECIAL USE AMENDMENT APPLICATION OF THIS** MATTER.
- D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)
 - 1. **HOME DEPOT OUTDOOR SALES.** Temporary Use application by Home Depot 4907, for outdoor seasonal trees, shrubs and landscape bagged goods sales, for property zoned Planned Development District No. 14 (Jewel-Osco/Home Depot) located at 6489 South 27th Street; Tax Key No. 714-9996-015.
 - 2. **MATT TALBOT COMMUNITY BASED RESIDENTIAL FACILITY.** Site Plan application by Matt Talbot Recovery Services, Inc., for the construction of a 5 to 8 bedroom State licensed Community Based Residential Facility consisting of a 3,690 square foot building, 16 parking spaces and a basketball court, for property zoned R-3

Suburban/Estate Single-Family Residence District and C-1 Conservancy District located at 9132 South 92nd Street; Tax Key No. 886-9987-000.

3. KAYLA'S KREW ALL-ACCESSIBLE AND ALL-INCLUSIVE PLAYGROUND

development. Certified Survey Map, Land Division Variance (for a 14 foot reduction in required street right of way width), and Site Plan Amendment application by City of Franklin with authorization of the property owner Victory of the Lamb, Inc., for Kayla's Krew all-accessible and all-inclusive playground development, for property zoned I-1 Institutional District located at 11120 West Loomis Road; Tax Key No. 889-9989-000.

E. Adjournment

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS: Next Regular Plan Commission Meeting: April 9, 2015

City of Franklin Plan Commission Meeting March 5, 2015 Minutes

III.

CALL TO ORDER

MINUTES

Regular Meeting of February 5, 2015

PUBLIC HEARINGS and BUSINESS ITEMS

Southbrook Church, Inc. (Proposed 23,600 Square Foot Addition to the Rear of the Existing Southbrook Church **Building (Comprised of Fellowship and** Gathering Areas, Classrooms and Multi-**Purpose Rooms for Sunday School and** Weeknight Classes) and the Addition of a Fire Lane to Provide 360 Degree Access to the Church Building) **Property:** 10819, 19835, 19847 and 19836 West Allwood Drive and 11010 West St. Martins Road (Certified Survey Map and Site Plan Amendment); Tax Key Nos. 799-9967-004, 799-9967-005, 799-9967-006 and 799-9967-007 and 799-9967-003 (Certified Survey Map and Site Plan Amendment) Zoning: R-3 Suburban/Estate Single-Family Residence District and I-1 Institutional District (Certified Survey Map and Site Plan Amendment) **Regarding: 1. (Comprehensive Master** Plan Amendment) A RESOLUTION RECOMMENDING THE ADOPTION OF AN ORDINANCE TO AMEND THE **CITY OF FRANKLIN 2025** COMPREHENSIVE MASTER PLAN TO CHANGE THE CITY OF FRANKLIN 2025 FUTURE LAND USE MAP FOR Page Two

I. Mayor Steve Olson called the March 5, 2015 Regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Alderwoman Susanne Mayer and Commissioners David Fowler, Kevin Haley, Patricia Hogan, Scott Thinnes and City Engineer Glen Morrow. Also present were City Attorney Jesse Wesolowski, Planning Manager Joel Dietl and Senior Planner Nick Fuchs.

- II.
 A. Commissioner Fowler moved and Commissioner Haley seconded approval of the February 5, 2015 minutes of the Regular meeting of the Plan Commission as presented. On voice vote, all voted 'aye'. Motion carried.
- A. Planning Manager Dietl presented the application by Southbrook Church, Inc. for a Site Plan Amendment for the expansion of Southbrook Church, Comprehensive Master Plan Amendment, Rezoning, Right-of-Way Vacation and Certified Survey Map.

Commissioner Fowler made a motion to approve a resolution recommending the adoption of an ordinance to amend the City of Franklin 2025 Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map for properties located at 10819, 10835, 10847 and 10836 West Allwood Drive from Residential Use to Institutional Use, pursuant to Wis. Stat. § 66.1001(4)(b). Commissioner Hogan seconded the motion. On voice vote, all voted 'aye'. Motion carried (6-0).

Senior Planner Fuchs read the Official Notice of Public Hearing for the Rezoning of the properties located at 10819, 10835, 10847 and 10836 West Allwood Drive from R-3 Suburban/Estate Single-Family Residence District to I-1 Institutional District in to the record. The Public Hearing was opened at 7:17 p.m. and closed at 7:27 p.m.

Commissioner Fowler moved to recommend approval of an ordinance to amend the Unified Development Ordinance (Zoning Map) to rezone certain parcels of land from R-3 Suburban/Estate *Plan Commission ~ Minutes*

Item III.A.(continued)

PROPERTIES LOCATED AT 10819, 19835, 19847 AND 10836 WEST ALLWOOD DRIVE FROM RESIDENTIAL USE TO INSTITUTIONAL USE, PURSUANT TO WIS. STAT. § 66.1001(4)(b)

2. (Rezoning) (Public Hearing) AN ORDINANCE TO AMEND THE UNIFIED DEVLEOPMENT ORDINANCE (ZONING MAP) TO REZONE CERTAIN PARCELS OF LAND FROM R-3 SUBURBAN/ESTATE SINGLE-FAMILY RESIDENCE DISTRICT TO I-1 INSTITUTIONAL DISTRICT

3. (Site Plan Amendment) A

RESOLUTION AMENDING THE SITE PLAN FOR THE PROPERTY LOCATED AT 11010 WEST ST. MARTINS ROAD TO ALLOW FOR A 23,600 SQUARE FOOT ADDTION TO THE REAR OF THE EXISTING SOUTHBROOK CHURCH BUILDING ALONG WITH A FIRE LANE

4. (1 Lot Certified Survey Map) A RESOLUTION CONDITIONALLY APPROVING A 1 LOT CERTIFIED SURVEY MAP, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

5. (Right-of-Way Vacation)

Recommendation upon A RESOLUTION TO VACATE APPROXIMATELY 0.467 ACRES OF RIGHT-OF-WAY IN AN UNDEVELOPED CUL-DE-SAC AT THE WEST END OF WEST ALLWOOD DRIVE ADJACENT TO PROPERTY LOCATED AT 10819, 10835, 19847 AND 10836 WEST ALLWOOD DRIVE

Jack R. Styza and Alice Styza, Jack R. Styza Revocable Trust U/A Dtd. 4/25/89, Owner (Division of an Existing Lot into 2 Lots)

Property: 9745 West Woelfel Road; Tax Key No. 794-9996-006 *Page Three* Single-Family Residence District to I-1 Institutional District. Seconded by Alderwoman Mayer. On voice vote, all voted 'aye'. Motion carried.

Alderwoman Mayer made a motion to approve a resolution amending the site plan for the property located at 11010 West St. Martins Road to allow for a 23,600 square foot addition to the rear of the existing Southbrook Church building along with a fire lane conditioned on the approval of the Common Council of the Comprehensive Master Plan Amendment, Rezoning, Right-of-Way Vacation and Certified Survey Map applications. Seconded by Commissioner Hogan. On voice vote, all voted 'aye'. Motion carried (6-0).

Commissioner Fowler moved, and Commissioner Hogan seconded, a motion to recommend approval of a resolution conditionally approving a 1 lot Certified Survey Map, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 18, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin. On voice vote, all voted 'aye'. Motion carried.

Commissioner Haley moved to recommend to the Common Council to undertake Street Vacation proceedings upon the petition of Southbrook Church, Inc. to vacate approximately 0.467 acres of Right-of-Way in an undeveloped cul-de-sac at the west end of West Allwood Drive adjacent to property located at 10819, 10835, 19847 and 10836 West Allwood Drive. Commissioner Hogan seconded the motion. On voice vote, all voted 'aye'. Motion carried.

B. Planning Manager Dietl presented the application by Jack R. and Alice Styza for approval of a 2 Lot Certified Survey Map for property located at 9745 West Woelfel Road.

Commissioner Thinnes motioned to recommend Plan Commission ~ Minutes

Item III.B.(continued)

Zoning: R-3E Suburban/Estate Single-Family Residence District **Regarding: 1. (2 Lot Certified Survey Map)** A RESOLUTION CONDITIONALLY APPROVING A 2 LOT CERTIFIED SURVEY MAP, BEING A RE-DIVISION OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 7251, BEING A PART OF THE NORTHWEST 1/4 AND OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

Autumn Leaves of Franklin (The LaSalle Group, Inc., Applicant) Natural Resources Off-Site Mitigation (Carity Prairie) Plan, as Required by the Special Use and Natural Resources Special Exception Approved by the Common Council on February 17, 2015.

Plan Commission Agenda Format, Mayoral Request for Commission Review and Direction upon Commission Meeting Agenda Format

ADJOURNMENT

approval of a resolution conditionally approving a 2 lot Certified Survey Map, being a re-division of Parcel 2 of Certified Survey Map No. 7251, being a part of the Northwest 1/4 and of the Southeast 1/4 of Section 8, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin. Alderwoman Mayer seconded the motion. On voice vote, all voted 'aye'. Motion carried.

C. Planning Manager Dietl presented Natural Resource Off-Site Mitigation Plan for the development of Autumn Leaves of Franklin by The LaSalle Group, Inc., as required by the Special Use and Natural Resource Special Exception approved by the Common Council.

Commissioner Haley moved, and Alderwoman Mayer seconded, a motion to recommend approval of the Natural Resources Off-Site Mitigation Plan, subject to staff review and approval. On voice vote, all voted 'aye'. Motion carried.

- **D.** Commissioner Fowler moved to adopt the format based on Agenda Draft 2 for future Plan Commission meetings. Seconded by Commissioner Fowler. On voice vote, all voted 'aye'. Motion carried.
- **IV.** Commissioner Hogan moved and Commissioner Haley seconded to adjourn the Plan Commission meeting of March 5, 2015 at 7:49 p.m. All voted 'aye'; motion carried.

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CITY OF FRANKLIN 🧕

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REPORT TO THE PLAN COMMISSION

Meeting of March 19, 2015

Special Use Amendment, Certified Survey Map and Right-of-Way Vacation

RECOMMENDATION: Department of City Development staff recommends approval of the Special Use Amendment and Certified Survey Map, subject to the conditions in the draft resolutions. However, staff recommends denial of the Right-of-Way Vacation.

Project Name:	Hiller Ford Expansion
Project Address:	6381, 6411, 6421 & 6455 South 108 th Street
Applicant:	Hiller Ford, Inc. and Dealership Properties, Inc.
Agent:	Mark Carstensen, Mark Carstensen Developments, LLC
Property Owner:	Jay Hiller, President Hiller Ford, Inc. and Dealership Properties, Inc.
Current Zoning:	M-1 Limited Industrial District and C-1 Conservancy District
2025 Comprehensive Plan	Industrial
Use of Surrounding Properties:	Ewald dealership (formerly Hale Park Lumber) to the north, vacant Menards outlot and storm water pond to the south, Garden Plaza and Boucher Volkswagon to the east and vacant properties owned by Hiller Ford, Inc. and a gasoline service station to the west
Applicant Action Requested:	Approval of the Special Use Amendment, Certified Survey Map and right-of-way vacation for the expansion of Hiller Ford

Introduction

Please note:

- Staff recommendations are *<u>underlined</u>, in <i>italics* and are included in the draft ordinance.
- Staff suggestions are only <u>underlined</u> and are not included in the draft ordinance.

On January 22, 2015, the applicant submitted applications for a Special Use Amendment, Certified Survey Map, and Right-of-Way Vacation for an expansion to the Hiller Ford dealership. The proposed site modifications include remodeling and an expansion to the principal building (i.e. the main showroom), an addition to the service building (southernmost building), a new used car sales building, and associated parking and landscaping changes. On March 13, 2015, the applicant submitted revised materials pertaining to the Right-of Way Vacation and the Certified Survey Map (which are included in the Plan Commissioner's packets and are described in the pertinent sections of this staff report).

SIC Code No. 5511 New and used car dealers is allowed as a Special Use in the M-1 District. Hiller Ford received a Special Use for the display of automobiles in an M-1 Limited Industrial District in 1988 via Resolution No. 88-3175.

Project Description/Analysis

Special Use

Site Plan:

The subject Hiller Ford dealership project is comprised of seven properties located west of South 108th Street, east of West Forest Home Avenue and directly to the north and south of West Whitnall Edge Road. Hiller Ford also owns two additional properties abutting West Forest Home Avenue that are currently vacant and not part of the dealership operations and are not included as part of this Special Use Application. Below is a list of all seven properties, including the two parcels not part of this Special Use.

Taxkey Number	Address	Property Owner	Acreage
704-9974-000	6381 S. 108 th Street	Hiller Ford, Inc.	2.69
704-9975-000	6411 S. 108 th Street	Hiller Ford, Inc.	2.64
704-9976-002	6455 S. 108 th Street	Hiller Ford, Inc.	1.40
704-9976-003	6421 S. 108 th Street	Dealership Properties, Inc.	1.15
704-9976-005	0 W. Whitnall Edge Drive	Dealership Properties, Inc.	0.30
704-9977-000	6455 S. 108 th Street	Dealership Properties, Inc.	1.73
704-9980-002	0 W. Forest Home Avenue	Hiller Ford, Inc.	2.10
704-9980-003	1131 W. Forest Home Avenue	Hiller Ford, Inc.	2.25
704-9998-004		Hiller Ford, Inc.	2.27
TOTAL			16.53

The attached map X1.0 is an overall site plan of the Hiller Ford dealership and illustrates the areas proposed to be modified. No improvements are proposed on the northernmost parcel (6381 S. 108th Street) or the western portions of the 6411 S. 108th Street, 6455 S. 108th Street, and tax key 704-9998-004 parcels. The applicant is proposing to utilize the same ingress/egress locations that currently exist today.

The applicant has indicated that there is a net gain in Landscape Surface Ratio (LSR) as a result of the proposed improvements due to additional landscaping adjacent to the buildings. The properties that comprise the proposed Lot 1 currently have a LSR of approximately 46.98%. Following the proposed improvements the LSR will increase to approximately 47.32%. The properties comprising Lot 2 have an existing LSR of about 3.66%, which will be increased to approximately 4.36% following the proposed site improvements. The M-1 District requires a LSR of 0.4 or 40%. As an existing development, staff does not object to the improvements as there is an overall gain in greenspace area.

However, as Lot 2 is still substantially below the LSR standard of the M-1 District, staff recommends the applicant establish a ten foot parking setback from S. 108th Street, prior to issuance of a Building Permit. Furthermore, staff recommends that greenspace, landscaping and designated vehicle display areas be added in front of the Quick Lane service building, property bearing Tax Key No. 704-9998-004, for staff review and approval, prior to issuance of a Building Permit. Staff also recommends that similar improvements be made in front of the proposed used car sales building on property located at 6411 S. 108th Street, for staff review and approval, prior to issuance of a Building Permit.

<u>Staff suggests that a ten-foot parking setback be established along all Hiller Ford properties</u> <u>adjacent to S. 108th Street as well as adding designated vehicle display areas and additional</u> <u>greenspace and landscaping</u>. This would include areas of the dealership that are not currently proposed to be modified as part of this Special Use Amendment, but would create a consistent and attractive theme along S. 108th Street for the Hiller Ford properties.

Staff also suggests that a decorative concrete or asphalt (e.g. colored or stamped) be utilized for the designated vehicle display areas. In addition, staff suggests adding landscape islands to bookmark the ends of the existing parking rows and vehicle display areas that are near S. 108th Street.

Parking:

Table 15-5.0203 of the UDO requires a Standard Parking Ratio of 2 parking spaces per 1,000 square feet of Gross Floor Area and 4 spaces per service bay for Vehicle Repair Shop (without the Dispensing of Gasoline). According to the applicant, the Hiller Ford dealership has 26 service bays and approximately 58,173 square feet of gross floor area. The 26 service bays require 104 parking spaces and the gross floor area requires 117 parking spaces, thus requiring a total of 221 parking spaces.

The applicant has indicated that approximately 519 parking spaces currently exist throughout the development, including the outlined parking rows. The applicant has also noted that it is difficult to state an exact number of parking spaces. The dealership has individual striped parking spaces, outlined parking rows and non-striped areas. Most of the parking is utilized for dealership parking and vehicle display areas, while a small part of the parking, located closest to the existing buildings, is utilized for customer and employee parking.

Staff estimates that there are over 180 striped parking spaces, not including vehicle display areas and non-striped parking, currently within the areas of proposed modifications. Currently there are approximately 6 parking spaces around the front of the existing body shop building and approximately 18 parking spaces around the showroom building, primarily for customer parking.

In conjunction with the building additions, the parking around the buildings will be redone. The applicant is now proposing 5 parking spaces in front of the body shop and 14 parking spaces adjacent to the showroom. This results in a loss of about 5 parking spaces primarily intended for customer parking. In addition, the new used car sales building will be constructed over a current parking area for a loss of about 20 parking spaces. However, 9 individually striped parking

spaces will be added north of the showroom building, where there is currently just an outlined row of parking.

Overall, the Hiller Ford properties contain several large parking areas. The loss of approximately 16 parking spaces is not significant as customers also utilize other parking areas onsite. Staff does not have concerns with the quantity of parking provided. <u>However, staff recommends that</u> <u>additional designated customer parking be provided north of the showroom building, near the</u> <u>area where the nine customer parking spaces are already proposed, for staff review and</u> <u>approval, prior to issuance of a Building Permit</u>.

One ADA accessible parking space is adjacent to the Quick Lane building and showroom. The applicant is proposing parking spaces that are 9.5-feet wide and 19-feet long (180.5 square feet), per Section 15-5.0202B. of the UDO, and 24-foot wide drive aisles.

Landscaping:

Table 15-5.0302 of the UDO requires one canopy/shade tree, one evergreen tree, one decorative tree and one shrub for every five provided parking spaces. As discussed above, staff estimates approximately 180 striped parking spaces within and adjacent to the areas to be impacted, thus requiring 36 plantings of each type.

The applicant is proposing 3 canopy/shade trees, 4 decorative trees, 0 evergreen trees and 43 shrubs, adjacent to the buildings and the vehicle display areas. There are few plantings existing onsite, except for a wooded area primarily located on the back half of 6411 S. 108th Street. Staff is not aware of the size or species of trees located within this area.

As this is an existing development with modest changes to the buildings and parking areas, staff is not recommending that the applicant be required to meet current UDO landscaping standards for the entire Hiller Ford dealership.

Staff has made several recommendations and suggestions under the Site Plan section of this report, which would help in creating greenspace and landscape areas for the applicant to provide additional plantings to bring the development further into compliance with current UDO standards.

Lighting:

The applicant is not proposing any new or modifications to the existing lighting.

Architecture:

The primary material utilized for the building additions is a prefinished aluminum composite metal. The new used car sales building will also be comprised of metal wall panels, including a matching entrance feature to the showroom and Quick Lane service buildings.

Staff suggests that the showroom building include more variation in its façade, such as use of a greater variety of building materials, wall panel systems, greater variation in window types, sizes, and treatments, etc.

Signage:

The applicant has included signs for reference only. Signs will require separate review and approval by the Architectural Review Board and issuance of a Sign Permit from the Inspection Department.

Stormwater Management:

Storm water will be piped to a drainage ditch along the rear of the properties. Storm water drainage is considered an essential service; therefore, any resulting impacts to protected natural resource features are permitted with the required restoration per Section 15-4.0102I. of the UDO. *Staff recommends that the applicant shall obtain final approval of the stormwater management plan from the City Engineer, prior to issuance of a Building Permit.*

Natural Resource Protection Plan and Conservation Easement:

The applicant has not yet provided a detailed Natural Resource Protection Plan (NRPP). An exhibit has been submitted illustrating the approximate location of the wetland, wetland buffer and wetland setbacks. The applicant has conservatively estimated the location of the wetland up to or over current pavement. Site work is occurring over existing paved areas that are over 500 feet from the approximate wetland locations, except for essential services.

The applicant is requesting to proceed through the subject application process, prior to providing detailed natural resource information. Staff does not object, but <u>recommends that the applicant</u> <u>submit a detailed Natural Resource Protection Plan, prior to recording the Certified Survey</u> <u>Map. Furthermore, protected natural resources shall be shown upon the face of the CSM. Staff</u> <u>also recommends that a written Conservation Easement shall be submitted for review and</u> <u>approval by the Common Council and recorded with the Milwaukee County Office of the</u> <u>Register of Deeds, prior to issuance of an Occupancy Permit</u>.

Right-of-way Vacation

As originally proposed by the applicant, all of the right-of-way associated with Whitnall Edge Road between Hwy. 100 and Forest Home Avenue was to be vacated. Based on that information, a Common Council meeting on the introduction of a request to vacate the Whitnall Edge Road right-of-way was held, and a public hearing notice on this matter was published.

As such, please note that the public hearing notice for the right-of-way vacation included the full vacation of 79,672 square feet of right-of-way, and that the Right-of Way Resolution reflects the amount of vacation as initially presented by the applicant to the Council (and noticed in the public hearing).

The applicant is now requesting to vacate only a portion of W. Whitnall Edge Road, from Highway 100 extending approximately 317 feet to the west (to the easternmost property line of 6431-6435 S. 108th Street, not owned by Hiller Ford). Whitnall Edge Road is a 60-foot wide public right-of-way. The applicant is proposing to vacate a total of approximately 18,754 square feet of this right-of-way.

Staff believes the application may move forward, with the proposed vacation as originally

proposed by the applicant, or as subsequently revised by the applicant, as long as such vacation does not exceed the amount set forth in the published public hearing notice.

Both the originally submitted materials, as well as the revised materials submitted by the applicant on March 13, 2015 are attached. The applicant has also revised the Certified Survey Map, reflecting the revised right-of-way vacation.

However, it is important to note that vacating all of the Whitnall Edge Road right-of-way, as originally proposed by the applicant, would result in a landlocked parcel (the parcel located at 6431 S. 108th Street), which is prohibited by State Statute and the Unified Development Ordinance. Vacating a portion of the right-of-way, as currently proposed by the applicant, eliminates public access from that parcel to Hwy. 100 (which parcel is not owned by Hiller Ford and is not part of the subject applications).

Therefore, <u>staff recommends denial of both requests to vacate the W. Whitnall Edge Road right-of-way.</u>

Certified Survey Map (CSM)

As proposed by the applicant, Lot 1 combines the three Hiller Ford properties adjacent to S. Lovers Lane Road, north of W. Whitnall Edge Road, as well as the northern portion of the right-of-way to be vacated, into one parcel with an area of approximately 6.82 acres. Lot 2 combines the four Hiller Ford properties adjacent to S. Lovers Lane Road, south of W. Whitnall Edge Road, and the southern portion of the right-of-way to be vacated, into a second parcel with an area of approximately 5.71 acres.

The CSM also shows the currently proposed vacation of a portion of W. Whitnall Edge Road. A cross access easement is proposed in its stead to continue to allow property located at 6431-3435 S. 108th Street to access S. 108th Street.

Staff recommends that the Certified Survey Map be revised to reflect the Whitnall Edge Road right-of-way as it currently exists, that proposed Lots 1 and 2 be revised accordingly, and that the proposed cross access easement be removed, for staff review and approval prior to recording of the Certified Survey Map with the Milwaukee County Register of Deeds Office.

<u>Staff also recommends that the Hiller Ford Site Plan be modified to remove any proposed</u> <u>improvements from the right-of-way, and that the applicant apply for a variance to the Board of</u> <u>Zoning and Building Appeals for any parking or building setbacks that are not being met, prior</u> <u>to the issuance of a Building Permit</u>.

In the event that the Certified Survey Map would be approved as currently submitted, <u>staff</u> <u>recommends that the applicant submit a recorded cross access easement agreement to</u> <u>Department of City Development staff, prior to issuance of an Occupancy Permit</u>. Please note that this condition is not currently included in the draft CSM resolution. If the Plan Commission wishes to approve the CSM and right-of-way vacation as submitted by the applicant with this condition it must be specifically added to the draft CSM resolution. In addition, the two other conditions noted above (Condition Nos. 9 and 10 of the draft CSM Resolution and Condition

Nos. 10 and 11 of the draft Special Use Resolution) must be removed from the draft CSM and Special Use resolutions.

Staff Recommendation

Department of City Development staff recommends approval of the Special Use Amendment, Certified Survey Map and Right-of-Way Vacation, subject to the conditions in the draft resolutions. CITY OF FRANKLIN

RESOLUTION NO. 2015-____

A RESOLUTION TO AMEND RESOLUTION NOS. 88-3175, 95-4217, 99-4875, 99-4933, 2004-5733 (NOT RECORDED), AND 2004-5736, IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR PROPERTIES LOCATED AT 6381, 6411, 6455 AND 6421 SOUTH 108TH STREET TO ALLOW FOR BUILDING EXPANSION AND REMODELING OF THE HILLER FORD NEW AND USED CAR DEALERSHIP SHOWROOM, OFFICES AND SERVICE RIGHTING AREA, AN ADDITION TO THE EXISTING BODY SHOP, CONSTRUCTION OF A USED VEHICLE SALES BUILDING AND ASSOCIATED PARKING AND LANDSCAPING CHANGES (HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC., APPLICANTS)

WHEREAS, Hiller Ford, Inc. and Dealership Properties, Inc. having petitioned the City of Franklin for the approval of an amendment to Resolution Nos. 88-3175, 95-4217, 99-4875, 99-4933, 2004-5733 (not recorded), and 2004-5736, conditionally approving a Special Use, such prior Resolutions authorizing an automobile display dealership upon property located at 6411 South 108th Street, such property being zoned M-1 Limited Industrial District and C-1 Conservancy District, more particularly described as follows:

Being a part of the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the southeast corner of the Northeast 1/4 of said Section 6; thence North $00^{\circ}26'45''$ West along the east line of said Northeast 1/4, 1134.14 feet to the west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and the point of beginning;

Thence South 89°30'41" West along the north line Lot 1 of Certified Survey Map No. 7721 and then Outlot A of Certified Survey Map No. 7435, 800.00 feet to the east line of Parcel 2 of Certified Survey Map No. 4056; thence North 00°26'45" West along said east line, 125.02 feet to the northeast corner of said Parcel 2; thence South 89°30'45" West along the north line of said Parcel 2, 2.65 feet; thence North 00°26'45" West, 173.02 feet to the south right of way line of Whitnall Edge Road; thence North 87°52'15" East along said east right of way line, 103.04 feet to the east right of way line (terminus) of said Whitnall Edge Road; thence North 00°26'45" West along said east right of way line, 30.015 feet to the vacate centerline of Whitnall Edge Road; thence North 87°52'15" East along said vacated centerline, 355.79 feet; thence North 01°35'24" West, 200.21 feet; thence South 87°52'15" West, 479.57 feet to the

HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. – AMENDMENT TO SPECIAL USE RESOLUTION NO. 2015-____ Page 2

southeast corner of Certified Survey Map No. 3988; thence North 03°41'31" West along said east line, 299.98 feet; thence North 87°52'15" East, 782.57 feet to aforesaid west right of way line of South 108th Street - South Lovers Land Road - State Trunk Highway "100"; thence South 00°24'39" East, 119.23 feet to point of curvature; thence southeasterly along the arc of said curve to the left and said west right of way line 422.68 feet, whose radius is 2361.83 feet and whose chord bears South 05°32'16" East, 422.12 feet; thence south 00°26'45" East along said westerly right of way line, 185.78 feet; thence North 89°33'15" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 124.04 feet to the point of beginning.

Containing in all 556,172 square feet (12.7678 acres) of land, more or less; Tax Key Numbers: 704-9974-000, 704-9975-000, 704-9976-002, 704-9976-003, 704-9976-005, 704-9977-000 and 704-9998-004; and

WHEREAS, such proposed amendment being for the purpose of remodeling of and construction of a 2,414 square foot expansion of the Hiller Ford showroom and administrative offices and Service Righting Area, a body shop addition consisting of 6 service bays and customer waiting area for a 3,615 square foot Quick Lane service area, construction of a 2,304 square foot Used Vehicle Sales building and associated parking and landscaping changes; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 19th day of March, 2015, and the Plan Commission thereafter having determined to recommend that the proposed amendment to Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed amendment to Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendations and also having found that the proposed amendment to Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified

HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. – AMENDMENT TO SPECIAL USE RESOLUTION NO. 2015-____ Page 3

Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Hiller Ford, Inc. and Dealership Properties, Inc. for the approval of an amendment to Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

- 1. That this amendment to Special Use is approved only for the use of the subject property by Hiller Ford, Inc. and Dealership Properties, Inc., successors and assigns, for the Hiller Ford building expansion, remodeling and addition construction, which shall be developed in substantial compliance with and constructed, operated and maintained by Hiller Ford, Inc. and Dealership Properties, Inc., pursuant to those plans City file-stamped March 9, 2015 and annexed hereto and incorporated herein as Exhibit A.
- 2. Hiller Ford, Inc. and Dealership Properties, Inc., successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for the the Hiller Ford building expansion, remodeling and addition construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
- 3. The approval granted hereunder is conditional upon Hiller Ford, Inc. and Dealership Properties, Inc. and the Hiller Ford building expansion, remodeling and addition construction project for the properties located at 6381, 6411, 6455 and 6421 South 108th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 4. Applicant shall submit a revised Site Plan establishing a ten foot parking setback from S. 108th Street for properties located at 6455, 6421 and 6411 S. 108th Street and property bearing Taxkey No. 704-9998-004, for staff review and approval, prior to issuance of a Building Permit.
- 5. Applicant shall submit a revised Site and Landscape Plan illustrating additional greenspace, landscaping and designated vehicle display areas in front of the Quick Lane service building (property bearing Tax Key No. 704-9998-004) and the

HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. – AMENDMENT TO SPECIAL USE RESOLUTION NO. 2015-____ Page 4

proposed used car sales building on property located at 6411 S. 108th Street, for staff review and approval, prior to issuance of a Building Permit.

- 6. Applicant shall submit a revised Site Plan with additional designated customer parking provided north of the showroom building, near the area where the nine customer parking spaces are already proposed, for staff review and approval, prior to issuance of a Building Permit.
- 7. Applicant shall obtain final approval of the stormwater management plan from the City Engineer, prior to issuance of a Building Permit.
- 8. Applicant shall submit a detailed Natural Resource Protection Plan, prior to issuance of an Occupancy Permit.
- 9. Applicant shall submit a written Conservation Easement for review and approval by the Common Council and recorded with the Milwaukee County Office of the Register of Deeds, prior to issuance of an Occupancy Permit.
- 10. Applicant shall submit a revised Certified Survey Map to reflect the West Whitnall Edge Road right-of-way as it currently exists, that proposed Lots 1 and 2 be revised accordingly, and that the proposed cross access easement be removed, for staff review and approval prior to recording of the Certified Survey Map with the Milwaukee County Register of Deeds Office.
- 11. Applicant shall modify the Site Plan to remove any proposed improvements from the right-of-way, and that the applicant apply for a variance to the Board of Zoning and Building Appeals for any parking or building setbacks that are not being met, prior to the issuance of a Building Permit.

12. [other conditions, etc.]

BE IT FURTHER RESOLVED, that in the event Hiller Ford, Inc. and Dealership Properties, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this amendment to Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the additional Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to \$15-9.0502 thereof and \$1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a

HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. – AMENDMENT TO SPECIAL USE RESOLUTION NO. 2015-____ Page 5

separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be an amendment to such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance, and that all of the terms and conditions of Resolution Nos. 88-3175, 95-4217, 99-4875, 99-4933, 2004-5733 (not recorded), and 2004-5736, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of completion of the construction of the Hiller Ford building expansion, remodeling and addition.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of ______, 2015.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this ______, 2015.

APPROVED:

ATTEST:

Stephen R. Olson, Mayor

Sandra L. Wesolowski, City Clerk
AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2015-____

A RESOLUTION CONDITIONALLY APPROVING A 2 LOT CERTIFIED SURVEY MAP, BEING PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN (HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC., APPLICANTS) (APPROXIMATELY 6381, 6411, 6421 AND 6455 SOUTH 108TH STREET)

WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a certified survey map, such map being part of the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, more specifically, of the property located at approximately 6381, 6411, 6421 and 6455 South 108th Street, bearing Tax Key Nos. 704-9974-000, 704-9975-000, 704-9976-003, 704-9976-002, 704-9976-005, 704-9977-000 and 704-9998-004, Hiller Ford, Inc. and Dealership Properties, Inc., applicants; said certified survey map having been reviewed by the City Plan Commission and the Plan Commission having recommended approval thereof pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and City of Franklin Plan Commission recommendation and the Common Council having determined that such proposed certified survey map is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Certified Survey Map submitted by Hiller Ford, Inc. and Dealership Properties, Inc., as described above, be and the same is hereby approved, subject to the following conditions:

- 1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and made by the applicant, prior to recording.
- 2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9. of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such Code and Ordinance provisions may be amended from time to time.
- 3. Each and any easement shown on the Certified Survey Map shall be the subject of separate written grant of easement instrument, in such form as provided within the

HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. – CERTIFIED SURVEY MAP RESOLUTION NO. 2015-____ Page 2

City of Franklin Design Standards and Construction Specifications and such form and content as may otherwise be reasonably required by the City Engineer or designee to further and secure the purpose of the easement, and all being subject to the approval of the Common Council, prior to the recording of the Certified Survey Map.

- 4. Hiller Ford, Inc. and Dealership Properties, Inc., successors and assigns and any developer of the 3 lot certified survey map project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the 3 lot certified survey map project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
- 5. The approval granted hereunder is conditional upon Hiller Ford, Inc. and Dealership Properties, Inc., and the 3 lot certified survey map project for the property located at approximately 6381, 6411, 6421 and 6455 South 108th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 6. Applicant shall submit a detailed Natural Resource Protection Plan, prior to recording the Certified Survey Map.
- 7. Applicant shall submit a revised Certified Survey Map illustrating the protected natural resources upon the face of the Certified Survey Map, prior to recording.
- 8. Applicant shall submit a written Conservation Easement for review and approval by the Common Council and recorded with the Milwaukee County Office of the Register of Deeds, prior to issuance of an Occupancy Permit
- 9. Applicant shall submit a revised Certified Survey Map to reflect the West Whitnall Edge Road right-of-way as it currently exists, that proposed Lots 1 and 2 be revised accordingly, and that the proposed cross access easement be removed, for staff review and approval prior to recording of the Certified Survey Map with the Milwaukee County Register of Deeds Office.
- 10. Applicant shall modify the Site Plan to remove any proposed improvements from the right-of-way, and that the applicant apply for a variance to the Board of

HILLER FORD, INC. AND DEALERSHIP PROPERTIES, INC. – CERTIFIED SURVEY MAP RESOLUTION NO. 2015-____ Page 3

Zoning and Building Appeals for any parking or building setbacks that are not being met, prior to the issuance of a Building Permit.

11. [other conditions, etc.]

BE IT FURTHER RESOLVED, that the Certified Survey Map, certified by owners, Hiller Ford, Inc., Dealership Properties, Inc. and PMP 1 LLC, be and the same is hereby rejected without final approval and without any further action of the Common Council, if any one, or more than one of the above conditions is or are not met and satisfied within 180 days from the date of adoption of this Resolution.

BE IT FINALLY RESOLVED, that upon the satisfaction of the above conditions within 180 days of the date of adoption of this Resolution, same constituting final approval, and pursuant to all applicable statutes and ordinances and lawful requirements and procedures for the recording of a certified survey map, the City Clerk is hereby directed to obtain the recording of the Certified Survey Map, certified by owners, Hiller Ford, Inc., Dealership Properties, Inc. and PMP 1 LLC, with the Office of the Register of Deeds for Milwaukee County.

Introduced at a regular meeting of the Common Council of the City of Franklin this

_____ day of ______, 2015.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this ______ day of ______, 2015.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

STATE OF WISCONSIN

CITY OF FRANKLIN

RESOLUTION NO. 2015-____

A RESOLUTION TO VACATE APPROXIMATELY 1.8290 ACRES OF RIGHT-OF-WAY WHICH EXTENDS APPROXIMATELY 60 FEET ALONG WHITNALL EDGE ROAD BETWEEN SOUTH 108TH STREET AND WEST FOREST HOME AVENUE ADJACENT TO PROPERTY LOCATED AT 6421, 6431-6435 AND 6455 SOUTH 108TH STREET, 11131 WEST FOREST HOME AVENUE AND PROPERTY ADJACENT TO WEST FOREST HOME AVENUE BEARING TAXKEY NO. 704-9980-002

WHEREAS, the Common Council of the City of Franklin finds that the public interest requires that approximately 1.8290 acres of right-of-way which extends approximately 60 feet along Whitnall Edge Road between South 108th Street and West Forest Home Avenue adjacent to property located at 6421, 6431-6435 and 6455 South 108th Street, 11131 West Forest Home Avenue and property adjacent to West Forest Home Avenue bearing Taxkey No. 704-9980-002 be discontinued, pursuant to Wis. Stat. § 66.1003(4); and

WHEREAS, such portion of the approximately 1.8290 acres of right-of-way which extends approximately 60 feet along Whitnall Edge Road between South 108th Street and West Forest Home Avenue adjacent to property located at 6421, 6431-6435 and 6455 South 108th Street, 11131 West Forest Home Avenue and property adjacent to West Forest Home Avenue bearing Taxkey No. 704-9980-002 is more particularly described upon Exhibit A annexed hereto and the map annexed hereto as Exhibit B; and

WHEREAS, notice of pendency of proceedings to vacate the subject property was submitted to the Office of the Register of Deeds for Milwaukee County on ______, 2015, by way of a copy of this Resolution as introduced, for recording as may be required pursuant to Wis. Stat. § 840.11; and

WHEREAS, this Resolution was first introduced before the Common Council of the City of Franklin at its regular meeting on February 17, 2015; and

WHEREAS, the Common Council scheduled a Public Hearing upon this Resolution pursuant to Wis. Stat. § 66.1003(4)(b) for April 7, 2015; with notice of such hearing being published as a Class III notice in the Official City Newspaper, with the first publication date being March 12, 2015; and

WHEREAS, a Public Hearing as so duly noticed having been held on April 7, 2015, before the Common Council of the City of Franklin, and a report having been received from

WHITNALL EDGE ROAD – STREET RIGHT-OF-WAY VACATION RESOLUTION NO. 2015-____ Page 2

the Plan Commission, upon all of the foregoing pursuant to law, the Common Council having been so informed and having made its determinations.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that pursuant to the authority vested in the Common Council

by Wis. Stat. § 66.1003(4)(b), that the portion of the approximately 1.8290 acres of right-ofway which extends approximately 60 feet along Whitnall Edge Road between South 108th Street and West Forest Home Avenue adjacent to property located at 6421, 6431-6435 and 6455 South 108th Street, 11131 West Forest Home Avenue and property adjacent to West Forest Home Avenue bearing Taxkey No. 704-9980-002 as described upon Exhibit A and Exhibit B annexed hereto and incorporated herein, be and the same is hereby discontinued and vacated.

BE IT FURTHER RESOLVED, that the City Clerk be and the same is hereby directed to record a copy of this Resolution with the Register of Deeds for Milwaukee County.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of ______, 2015.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this ______ day of ______, 2015.

APPROVED:

Stephen R. Olson, Mayor

WHITNALL EDGE ROAD – STREET RIGHT-OF-WAY VACATION RESOLUTION NO. 2015-____ Page 3

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

LEGAL DESCRIPTION

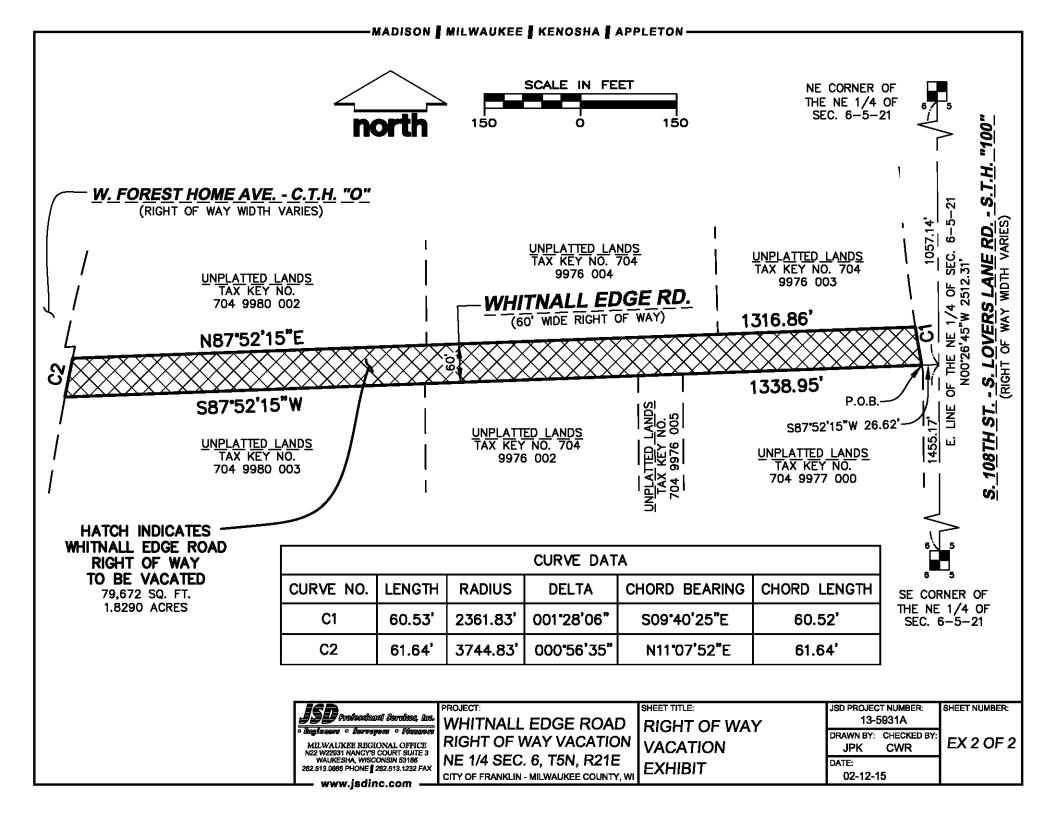
Being a part of the Northeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

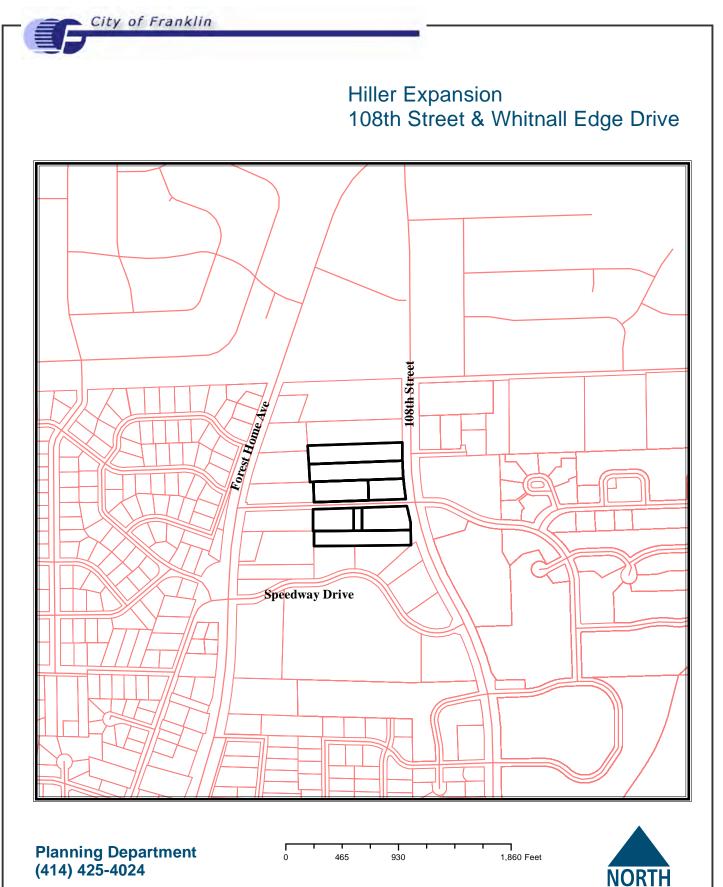
Commencing at the southeast corner of the Northeast 1/4 of said Section 6; thence North 00°26'45" West along the east line of said Northeast 1/4, 1455.17 feet; thence South 87°52'15" West, 26.62 feet to a point of intersection with the south right of way line of Whitnall Edge Road and the west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and the point of beginning;

Thence South 87°52'15" West along said south right of way line, 1338.95 feet to a point on a curve on the east right of way line of West Forest Home Avenue - County Trunk Highway "O"; thence northeasterly along the arc of said curve to the right and said east right of way line 61.64 feet, whose radius is 3744.83 feet and whose chord bears North 11°07'52" East, 61.64 feet to the north right of way line of Whitnall Edge Road; thence North 87°52'15" East along said north right of way line, 1316.86 feet to the aforesaid west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and a point on a curve; thence southeasterly along the arc of said curve to the left and said west right of way line 60.53 feet, whose radius is 2361.83 feet and whose chord bears South 09°40'25" East, 60.52 feet to the point of beginning.

Containing in all 79,672 square feet (1.8290 acres) of land, more or less.

ISD producetsual survivae, inc.	PROJECT:	SHEET TITLE:	JSD PROJECT NUMBER:	SHEET NUMBER:
332 Professional Services, Inc.	WHITNALL EDGE ROAD	RIGHT OF WAY	13-5931A	
· Inglacore · Serveyore · Planuers			DRAWN BY: CHECKED BY:	
MILWAUKEE REGIONAL OFFICE	RIGHT OF WAY VACATION	VACATION	JPK CWR	EX 1 OF 2
N22 W22931 NANCY'S COURT SUITE 3 WAUKESHA, WISCONSIN 53186	NE 1/4 SEC & TEN DO1E			
262.513.0666 PHONE 262.513.1232 FAX	NE 1/4 SEC. 6, T5N, R21E		DATE:	
www.isdinc.com	CITY OF FRANKLIN - MILWAUKEE COUNTY, WI		02-12-15	





This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

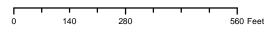
2013 Aerial Photo

City of Franklin

Hiller Expansion 108th Street & Whitnall Edge Drive



Planning Department (414) 425-4024





This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



9130 W. Loomis Rd. Ste. 950 Franklin, WI 53132 (414) 235-3571 www.meccd.com

Project Summary

January 21, 2015

Franklin

MAR - 9 2015

City Development

Business Name:	Hiller Ford, Inc.
	6455 South 108 th Street
	Franklin, WI 53132

Type of Business:Hiller Ford sells new and used cars and trucks. They also lease vehicles and
repair all type of vehicles. Their business offers many services and has been at
their current location for over 70 years.

Hiller Ford employs more than 100 people and is one of the largest businesses in Franklin. They are Wisconsin's 2nd largest Ford Dealership.

Project Description: Ford Motor Company is requiring "Ford Dealerships" around the country to "update and enhance" their current facilities to meet Ford's strict "Dealership Guidelines" The design of these new features are the requirement(s) of Ford Motor Company. The "Architectural Design" are Ford Motor Company's "Branding". You will see this as you drive by other "Ford Dealerships".

> Hiller Ford is planning to remodel their current "Showroom, Administrative Offices and Service Righting Area. They will also be adding a new addition to the current "Body Shop". This will be a new Ford "Quick Lane" Service area consisting of six new service bays, a new customer waiting area and a new service righting area. They will be also be constructing a new "Used Car Sales" building.

Residential | Multi-family | Commercial Leaders in Development Since 1980 **Estimated Project Cost:** The estimated project cost including site work and construction will be approx. (\$2,300,000.00) TWO MILLION, THREE HUNDERED THOUSAND DOLLARS.

Project Size: See attached schedule.

Environmental Effect: The project results in a net increase of green space and is served by municipal sanitary sewer and water.

Sales and Service Bldg.		
	Square Feet	Square Feet
Existing Bldg	38,216.48	
Approx Area of Demolition	6,914.45	
Additional Showroom Area	3,070.94	
Additional Parts Warehouse	7,680.00	
Proposed Bldg Area		48,967.42
% of Work		46.22%
Area of Work		17,665.39
Quick Lane Bldg.		
	Square Feet	Square Feet
Existing Bldg	9,360.00	
Approx Area of Demolition	408.00	
Additional Bldg Area	3,661.90	
Additional Canopy Area	636.38	
Proposed Bldg Area		13,658.28
% of Work		50.28%

	2,418.00	New Bldg
Square Feet	Square Feet	c
		Ised Car Bldg.

Area of Work

4,706.78

SECTION 15-3.0502

CALCULATION OF BASE SITE AREA

The *base site area* shall be calculated as indicated in Table 15-3.0502 for each parcel of land to be used or built upon in the City of Franklin as referenced in Section 15-3.0501 of this Ordinance.

HILLER FORD - LOT 1

(2015.03.09)

Table 15-3.0502

WORKSHEET FOR THE CALCULATION OF BASE SITE AREA FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	6.81	le acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of- way, land located within the ultimate road rights-of-way of existing roads, the rights- of-way of major utilities, and any dedicated public park and/or school site area.	. 0	acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	- 0	acres
STEP 4:	In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	- 0	acres
STEP 5:	Equals "Base Site Area"	-6.81	6 acres

SECTION 15-3.0503 CALCULATION OF THE AREA OF NATURAL RESOURCES TO BE PROTECTED

All land area with those natural resource features as described in Division 15-4.0100 of this Ordinance and as listed in Table 15-3.0503 and lying within the *base site area* (as defined in Section 15-3.0502), shall be measured relative to each natural resource feature present. The actual land area encompassed by each type of resource is then entered into the column of Table 15-3.0503 titled "Acres of Land in Resource Feature." The acreage of each natural resource feature shall be multiplied by its respective *natural resource protection standard* (to be selected from Table 15-4.0100 of this Ordinance for applicable agricultural, residential, or nonresidential zoning district) to determine the amount of resource protection land or area required to be kept in open space in order to protect the resource or feature. The sum total of all resource protection land on the site equals the *total resource protection land*. The *total resource protection land* shall be calculated as indicated in Table 15-3.0503.

Franklin

MAR - 9 2015

City Development

Page 3-70

PROTECTION LAND

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non- Residential District.		
Steep Slopes: 10-19%	0.00	0.60	0.40	x _ O	0
20-30%	0.65	0.75	0.70	= X	0
+ 30%	0.90	0.85	0.80	= X =	0
Woodlands & Forests:				x O	0
Mature	0.70	0.70	0.70	= X 0	0
Young	0.50	0.50	0.50	=	
Lakes & Ponds	1	1	1	X	0
Streams	1	1	1	X 0	0
Shore Buffer	1	1	1	X 0	٥
Floodplains/Floodlands	1	1	1	X	0
Wetland Buffers	1	1	1	X 0.066	0.066
Wetlands & Shoreland Wetlands	1	1	1	x 0.008	800.6
TOTAL RESOURCE PROTECT Total of Acres of Land in Resour				<u>a participante de la constante de la constante</u>	0.074

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

CALCULATION OF SITE INTENSITY AND CAPACITY FOR NONRESIDENTIAL USES

In order to determine the maximum floor area which may be permitted on a parcel of land zoned in a nonresidential zoning district, the site intensity and capacity calculations set forth in Table 15-3.0505 shall be performed.

Table 15-3.0505

WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR NONRESIDENTIAL DEVELOPMENT

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take Base Site Area (from Step 5 in Table 15-3.0502): Multiple by Minimum Landscape Surface Ratio (LSR) (see specific zoning district LSR standard): X Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE	2.726 acres
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take Base Site Area (from Step 5 in Table 15-3.0502): Subtract Total Resource Protection Land from Table 15-3.0503) or Minimum Required Landscape Surface (from Step 1 above), whichever is greater: Equals NET BUILDABLE SITE AREA	= A.090 acres
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take Net Buildable Site Area (from Step 2 above): Multiple by Maximum Net Floor Area Ratio (NFAR) (see specific nonresidential zoning district NFAR standard): X Equals MAXIMUM NET FLOOR AREA YIELD OF SITE	= 3.An acres
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take Base Site Area (from Step 5 of Table 15-3.0502): Multiple by Maximum Gross Floor Area Ratio (GFAR) (see specific nonresidential zoning district GFAR standard): X Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE	2.863 acres
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above): (Multiple results by 43,560 for maximum floor area in square feet):	2.863 acres

SECTION 15-3.0502

CALCULATION OF BASE SITE AREA

The *base site area* shall be calculated as indicated in Table 15-3.0502 for each parcel of land to be used or built upon in the City of Franklin as referenced in Section 15-3.0501 of this Ordinance.

HILLER FORD - LOT 2

(2015.03.09)

Table 15-3.0502

WORKSHEET FOR THE CALCULATION OF BASE SITE AREA FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	5.952	acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of- way, land located within the ultimate road rights-of-way of existing roads, the rights- of-way of major utilities, and any dedicated public park and/or school site area.	. 0	acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	. 0	acres
STEP 4:	In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	_ 0	acres
STEP 5:	Equals "Base Site Area"	=5.952	acres

SECTION 15-3.0503 CALCULATION OF THE AREA OF NATURAL RESOURCES TO BE PROTECTED

All land area with those natural resource features as described in Division 15-4.0100 of this Ordinance and as listed in Table 15-3.0503 and lying within the *base site area* (as defined in Section 15-3.0502), shall be measured relative to each natural resource feature present. The actual land area encompassed by each type of resource is then entered into the column of Table 15-3.0503 titled "Acres of Land in Resource Feature." The acreage of each natural resource feature shall be multiplied by its respective *natural resource protection standard* (to be selected from Table 15-4.0100 of this Ordinance for applicable agricultural, residential, or nonresidential zoning district) to determine the amount of resource protection land or area required to be kept in open space in order to protect the resource or feature. The sum total of all resource protection land on the site equals the *total resource protection land*. The *total resource protection land* shall be calculated as indicated in Table 15-3.0503.

PROTECTION LAND

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non- Residential District.		
Steep Slopes: 10-19%	0.00	0.60	0.40	x_ 0	0
20-30%	0.65	0.75	0.70	= X	0
+ 30%	0.90	0.85	0.80	= X =	0
Woodlands & Forests:				x O	0
Mature	0.70	0.70	0.70	= X 0	0
Young	0.50	0.50	0.50	=	
Lakes & Ponds	1	1	1	X	0
Streams	1	1	1	X	0
Shore Buffer	1	1	1	X 0	0
Floodplains/Floodlands	1	1	1	X 0	0
Wetland Buffers	1	I	1	X 0.213	0.213
Wetlands & Shoreland Wetlands	1	1	Ī	X 0.165	0.165
TOTAL RESOURCE PROTECT Total of Acres of Land in Resource	0.378				

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

SECTION 15-3.0505

CALCULATION OF SITE INTENSITY AND CAPACITY FOR NONRESIDENTIAL USES

In order to determine the maximum floor area which may be permitted on a parcel of land zoned in a nonresidential zoning district, the site intensity and capacity calculations set forth in Table 15-3.0505 shall be performed.

Table 15-3.0505

WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR NONRESIDENTIAL DEVELOPMENT

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take Base Site Area (from Step 5 in Table 15-3.0502): Multiple by Minimum Landscape Surface Ratio (LSR) (see specific zoning district LSR standard): X Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE	2.381 acres
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take Base Site Area (from Step 5 in Table 15-3.0502): Subtract Total Resource Protection Land from Table 15-3.0503) or Minimum Required Landscape Surface (from Step 1 above), whichever is greater: Equals NET BUILDABLE SITE AREA	s.sna acres
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take Net Buildable Site Area (from Step 2 above): S.SA Multiple by Maximum Net Floor Area Ratio (NFAR) (see specific nonresidential zoning district NFAR standard): X 0.85 Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =	4.738 acres
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take Base Site Area (from Step 5 of Table 15-3.0502): S.952 Multiple by Maximum Gross Floor Area Ratio (GFAR) (see specific nonresidential zoning district GFAR standard): X 0.42 Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =	2.500 acres
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above): (Multiple results by 43,560 for maximum floor area in square feet):	Z.500 acres (108,900 s.f.)

AREA OF SPECIAL USE

Being a part of the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the southeast corner of the Northeast 1/4 of said Section 6; thence North 00°26'45" West along the east line of said Northeast 1/4, 1134.14 feet to the west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and the point of beginning;

Thence South 89°30'41" West along the north line Lot 1 of Certified Survey Map No. 7721 and then Outlot A of Certified Survey Map No. 7435, 800.00 feet to the east line of Parcel 2 of Certified Survey Map No. 4056; thence North 00°26'45" West along said east line, 125.02 feet to the northeast corner of said Parcel 2; thence South 89°30'45" West along the north line of said Parcel 2, 2.65 feet; thence North 00°26'45" West, 173.02 feet to the south right of way line of Whitnall Edge Road; thence North 87°52'15" East along said south right of way line, 103.04 feet to the east right of way line (terminus) of said Whitnall Edge Road; thence North 00°26'45" West along said east right of way line, 30.015 feet to the vacate centerline of Whitnall Edge Road; thence North 87°52'15" East along said vacated centerline, 355.79 feet; thence North 01°35'24" West, 200.21 feet; thence South 87°52'15" West, 479.57 feet to the southeast corner of Certified Survey Map No. 3988; thence North 03°41'31" West along said east line, 299.98 feet; thence North 87°52'15" East, 782.57 feet to aforesaid west right of way line of South 108th Street - South Lovers Land Road - State Trunk Highway "100"; thence South 00°24'39" East, 119.23 feet to point of curvature; thence southeasterly along the arc of said curve to the left and said west right of way line 422.68 feet, whose radius is 2361.83 feet and whose chord bears South 05°32'16" East, 422.12 feet; thence south 00°26'45" East along said westerly right of way line, 185.78 feet; thence North 89°33'15" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 124.04 feet to the point of beginning.

Containing in all 556,172 square feet (12.7678 acres) of land, more or less.

Being a part of the Northeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the southeast corner of the Northeast 1/4 of said Section 6; thence North 00°26'45" West along the east line of said Northeast 1/4, 1455.17 feet; thence South 87°52'15" West, 26.62 feet to a point of intersection with the south right of way line of Whitnall Edge Road and the west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and the point of beginning;

Thence South 87°52'15" West along said south right of way line, 316.95 feet; thence North 01°35'24" W, 60.00 feet to the north right of way line of Whitnall Edge Road; thence North 87°52'15" East along said north right of way line, 308.44 feet to the aforesaid west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and a point on a curve; thence southeasterly along the arc of said curve to the left and said west right of way line 60.53 feet, whose radius is 2361.83 feet and whose chord bears South 09°40'25" East, 60.52 feet to the point of beginning.

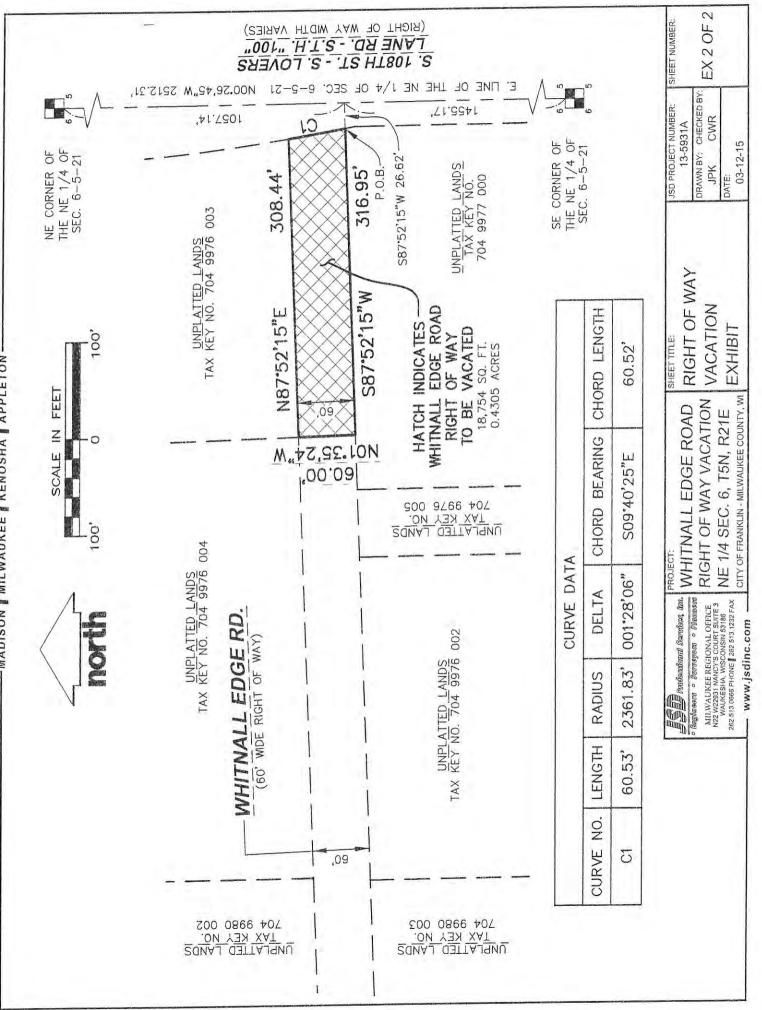
Containing in all 18,754 square feet (0.4305 acres) of land, more or less.

Franklin

MAR 13 2015

City Development

ISD protocolonal Services, Ins.	PROJECT.	RIGHT OF WAY	JSD PROJECT NUMBER: 13-5931A	SHEET NUMBER:
• Englagens • Surveyons • Planners MILWAUKEE REGIONAL OFFICE		VACATION	DRAWN BY: CHECKED BY: JPK CWR	EX 1 OF 2
	NE 1/4 SEC. 6, T5N, R21E CITY OF FRANKLIN - MILWAUKEE COUNTY, WI	EXHIBIT	DATE: 03-12-15	



MADISON MILWAUKEE KENOSHA APPLETON

Being a part of the Northeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the southeast corner of the Northeast 1/4 of said Section 6; thence North 00°26'45" West along the east line of said Northeast 1/4, 1455.17 feet; thence South 87°52'15" West, 26.62 feet to a point of intersection with the south right of way line of Whitnall Edge Road and the west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and the point of beginning;

Thence South 87°52'15" West along said south right of way line, 316.95 feet; thence North 01°35'24" W, 60.00 feet to the north right of way line of Whitnall Edge Road; thence North 87°52'15" East along said north right of way line, 308.44 feet to the aforesaid west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and a point on a curve; thence southeasterly along the arc of said curve to the left and said west right of way line 60.53 feet, whose radius is 2361.83 feet and whose chord bears South 09°40'25" East, 60.52 feet to the point of beginning.

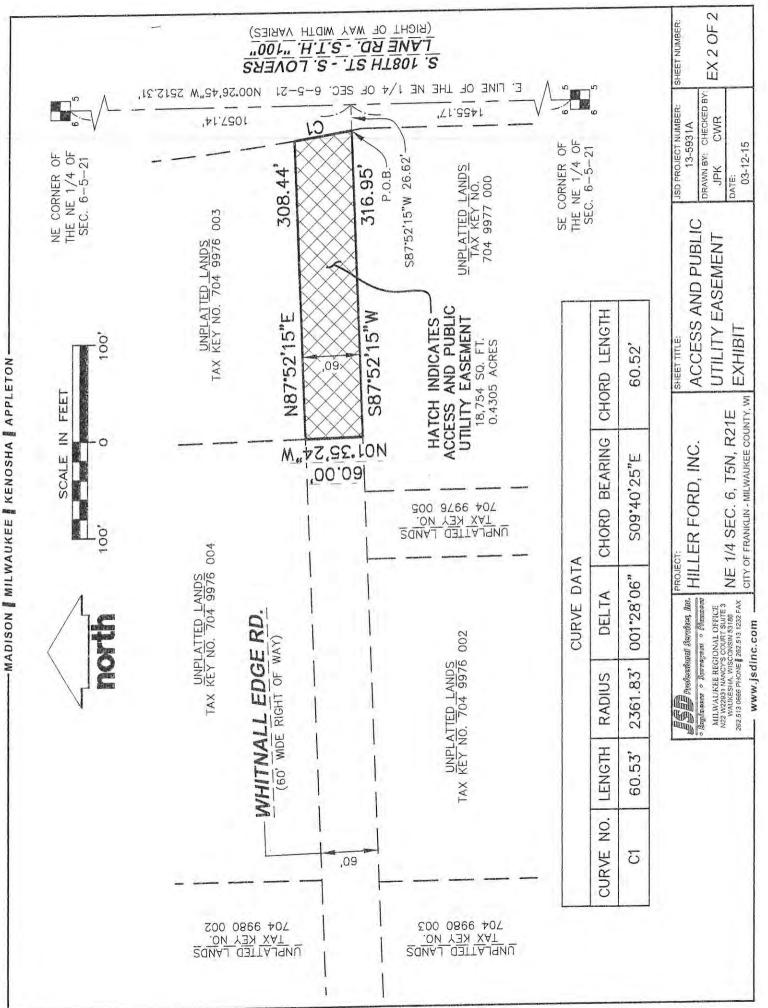
Containing in all 18,754 square feet (0.4305 acres) of land, more or less.

Franklin

MAR 13 2015

City Development

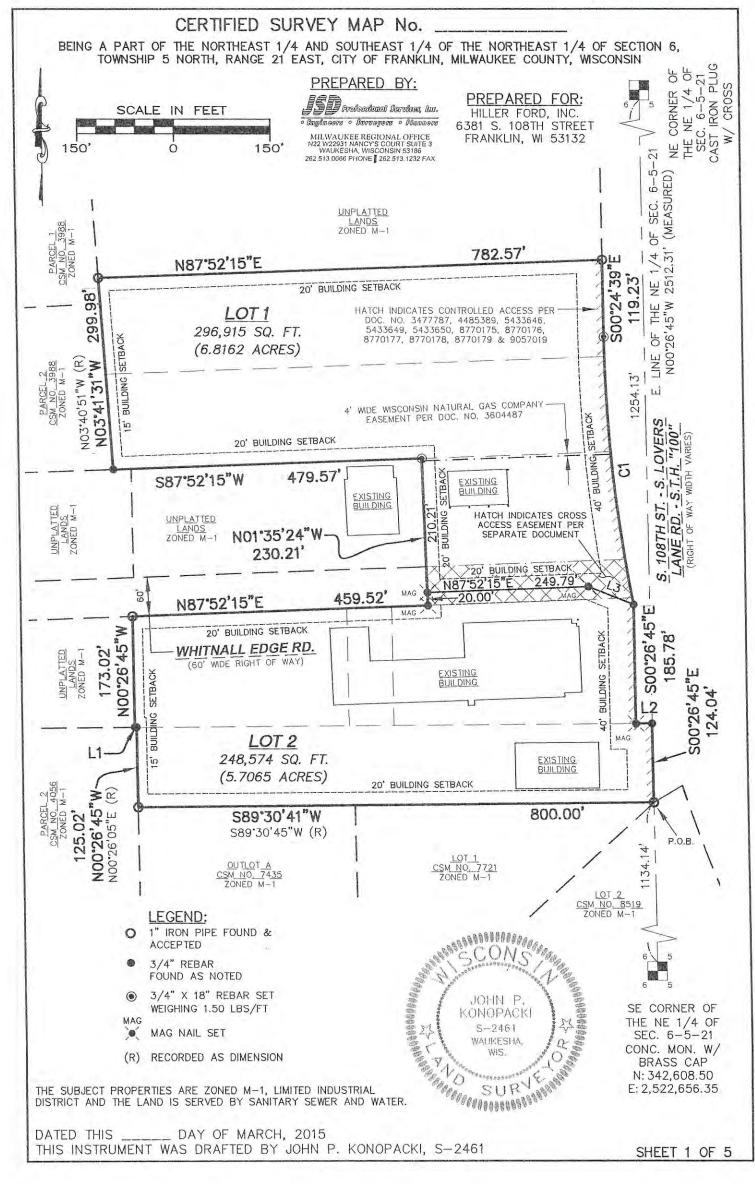
Clambasser: Sorveyor: Planaters Glaghasser: Sorveyor: Planaters MILWAUKEE REGIONAL OFFICE N22 W22931 NANCY'S COURT SUITE 3 WAUKESHA, WISCONSIN 53186	HILLER FORD, INC.	SHEET TITLE: ACCESS AND PUBLIC UTILITY EASEMENT	13-5931A DRAWN BY: CHECKED BY: JPK CWR DATE:	SHEET NUMBER: EX 1 OF 2
	NE 1/4 SEC. 6, T5N, RZTE CITY OF FRANKLIN - MILWAUKEE COUNTY, WI		03-12-15	



Franklin

MAR 1 3 2015

City Development



CERTIFIED SURVEY MAP No.

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, MISCONSIN

	LINE TABLE	
LINE NO.	BEARING	DISTANCE
L1	S89*30'45"W	2.65'
L2	N89'33'15"E	24.75'
L3	S68°09'08"E	75.00'

			CURVE DAT	A	
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	422.68'	2361.83'	010°15'14"	S05'32'16"E	422.12'

BEARING BASIS ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 21 EAST WAS USED AS NORTH 00'26'45" WEST.

ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.

ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

S. 108TH ST., S. LOVERS LAND RD., S.T.H. "100" "00" FOREST HOME T.H. 0ⁱ E X NE 1/4 SEC. 6, T5N, R21E SCALE 1" = 1,500' JOHN KONOPACK S-2461 WAUKESHA WIS. SURVERMANNE CON CON

VICINITY MAP

DATED THIS _____ DAY OF MARCH, 2015 THIS INSTRUMENT WAS DRAFTED BY JOHN P. KONOPACKI, S-2461 DATED THIS

CERTIFIED SURVEY MAP No.

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, MISCONSIN

SURVEYOR'S CERTIFICATE

)SS

State	of	Wis	cons	sin	

County of Milwaukee

I, John P. Konopacki, Professional Land Surveyor, do hereby certify that I have surveyed, divided and mapped a part of the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the southeast corner of the Northeast 1/4 of said Section 6; thence North 00°26'45" West along the east line of said Northeast 1/4, 1134.14 feet to the west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and the point of beginning;

Thence South 89°30'41" West along the north line Lot 1 of Certified Survey Map No. 7721 and then Outlot A of Certified Survey Map No. 7435, 800.00 feet to the east line of Parcel 2 of Certified Survey Map No. 4056; thence North 00°26'45" West along said east line, 125.02 feet to the northeast corner of said Parcel 2; thence South 89°30'45" West along the north line of said Parcel 2, 2.65 feet; thence North 00°26'45" West, 173.02 feet to the south right of way line of Whitnall Edge Road; thence North 87°52'15" East along said south right of way line, 459.52 feet to the east right of way line (terminus) of said Whitnall Edge Road; thence North 01°35'24" West along said east right of way line and then continuing, 230.21 feet; thence South 87°52'15" West, 479.57 feet to the southeast corner of Certified Survey Map No. 3988; thence North 03°41'31" West along said east line, 299.98 feet; thence North 87°52'15" East, 782.57 feet to aforesaid west right of way line of South 108th Street - South Lovers Land Road - State Trunk Highway "100"; thence South 00°24'39" East, 119.23 feet to point of curvature; thence southeasterly along the arc of said curve to the left and said west right of way line 422.68 feet, whose radius is 2361.83 feet and whose chord bears South 05°32'16" East along said westerly right of way line, 185.78 feet; thence North 89°33'15" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 24.75 feet; thence South 00°26'45" East along said westerly right of way line, 24.75

Containing in all 545,489 square feet (12.5227 acres) of land, more or less.

All subject to easements and restrictions of record and potential future road widening and government restrictions, if any.

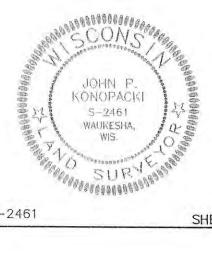
That I have made such survey, land division and map by the direction of Hiller Ford, Inc. and Dealership Properties, Inc. owners of said land.

That such map is a correct representation of all exterior boundaries and the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and Division 15-7.0700 of the City of Franklin Unified Development Ordinance in surveying, dividing and mapping the same.

DATED THIS _____ DAY OF MARCH, 2015

John P. Konopacki, P.L.S. Professional Land Surveyor, S-2461



THIS INSTRUMENT WAS DRAFTED BY JOHN P. KONOPACKI, S-2461

CERTIFIED SURVEY MAP No.

BEING A PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, MISCONSIN

CORPORATE OWNER'S CERTIFICATE

Hiller Ford, Inc., a Wisconsin Corporation and existing under and by virtue of the Laws of the State of Wisconsin, as owner, certifies that said corporation caused the land described on this map, to be surveyed, divided, and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin State Statutes and Division 15-7.0700 of the City of Franklin Unified Development Ordinance.

Hiller Ford, Inc. a Wisconsin Corporation:

State of)	2	
) SS County)	5	
Personally came before me the , and	is day of	, 2015, the above named, , of the above named corporation, to me
known to be such	_, and	of said corporation, and acknowledged that they d of said corporation by its authority.

Notary Public, _____ County, _____

My Commission Expires

CORPORATE OWNER'S CERTIFICATE

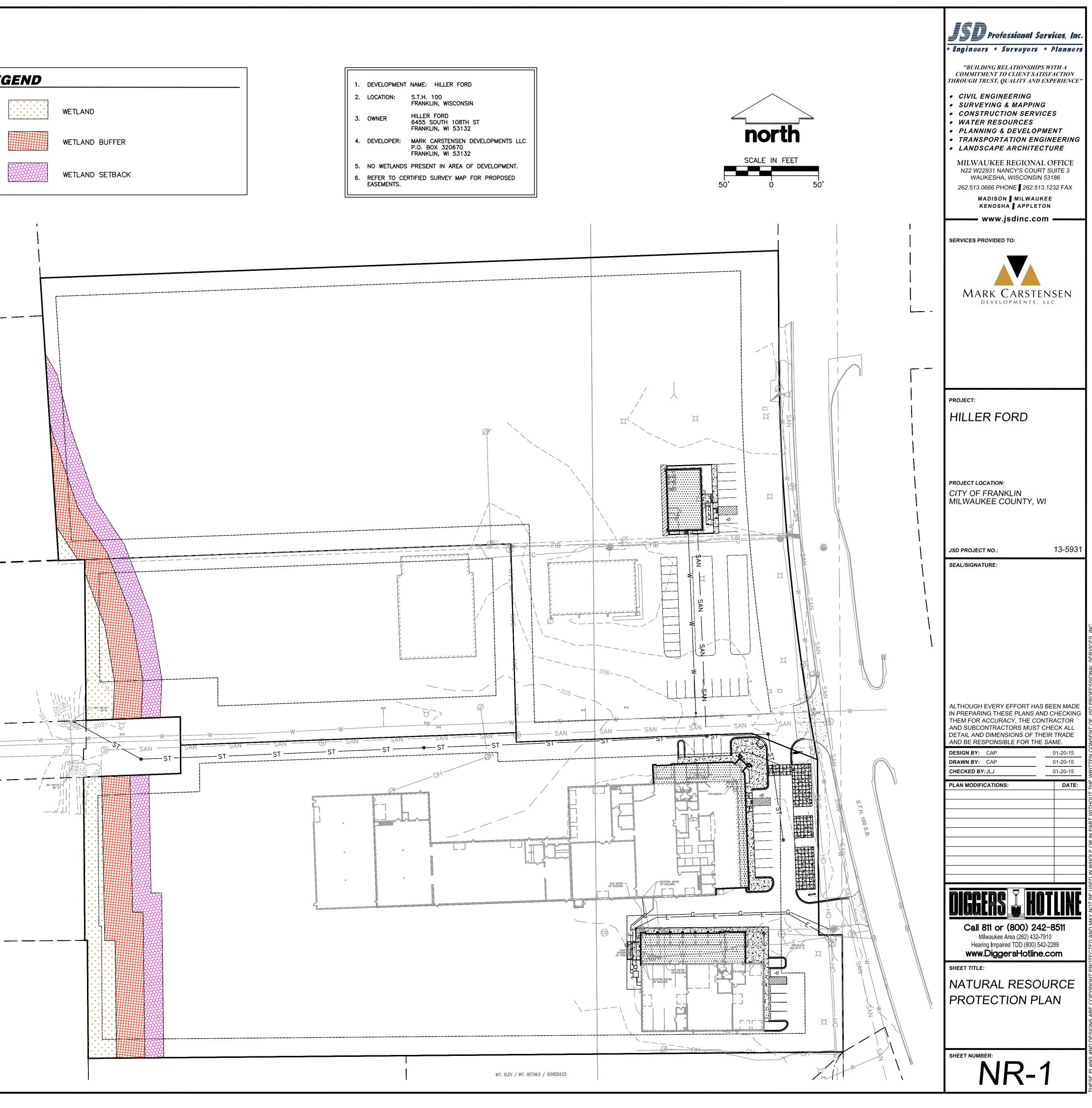
Dealership Properties, Inc., a Wisconsin Corporation and existing under and by virtue of the Laws of the State of Wisconsin, as owner, certifies that said corporation caused the land described on this map, to be surveyed, divided, and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin State Statutes and Division 15-7.0700 of the City of Franklin Unified Development Ordinance.

Dealership Properties, Inc., a Wisconsin Corporation:

State of) County)	SS	
Personally came before me	this day of	, 2015, the above named, , of the above named corporation, to me of said corporation, and acknowledged that they
known to be such	, and	of said corporation, and acknowledged that they ed of said corporation by its authority.
Notary Public, My Commission Expires		JOHN P. KONOPACKI S-2461 4 Waukesha, O-
		WIS WIS CONTROL OF THE

BEING A PART OF THE NORTHEAST 1/4 A TOWNSHIP 5 NORTH, RANGE 21 EAS	EY MAP NO ND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 O T, CITY OF FRANKLIN, MILWAUKEE COUNTY, WIS	F SECTION 6, CONSIN
ITY OF FRANKLIN COMMON		
is Certified Survey Map is hereby approved by, 2015.	the Common Council of the City of Franklin, o	n this day o
r: Stephen Olson, Mayor	Date:	
Stephen Olson, Mayor		
y: Sandra L. Wesolowski, City Clerk	Date:	-0
Sandra L. Wesolowski, City Clerk		
	Supervision of the second s	in the second
	JOHN P. KONOPACKI S-2461	
	JOHN P.	

Natural Resource Feature	Protection SI Based Upon District Type (circle applic from Table 1 the type of zo in which the is located) Agricultural District	2 Zoning able standard 5-4.0100 for oning district parcel			s of Land in rce Feature	Acres of Land Required to be Preserved	Acres of Land to be Impacted	Acres of Land Required to be Mitigated	Acres of Land to be Mitigated*		LEG
Steep Slopes 10-19%	0	0.6	0.4	x	0.00 =	0.00	0.00	0.00	N/A		I
20-30%	0.65	0.75	0.4	x	0.00 =		0.00	0.00	N/A		
10% +	0.9	0.85	0.8	x	0.00 =	0.00	0.00	0.00	N/A		I
Voodlands & Forests /lature	0.7	0.7	0.7	x	0.00 =		0.00	0.00	N/A		
′oung akes & Ponds	0.5	0.5	0.5 1	x	0.00 =		D.00 D.00	0.00	N/A N/A		
Streams	1	1	1	x	0.00 =	0.00	0.00	0.00	N/A N/A		
Shore Buffer	1	1	1	x	0.00 =	0.00	0.00	0.00	N/A	1 /	
loodplains/Floodlands Vetland Buffers	1	1	1	x x	0.00 = 0.40 =	0.00	0.00 0.00	0.00	N/A N/A	/	
Netlands & Shoreland	1	1	1	X	0.40 =	11 "L	0.00	0.00	N/A N/A	ļ į	
Vetlands OTAL RESOURCE PROT Total of Acres of Land in Re	ECTION LAN	ID.									
					/ / / / / / /	/ / / 					
Г І					, 		/ // // //	/			



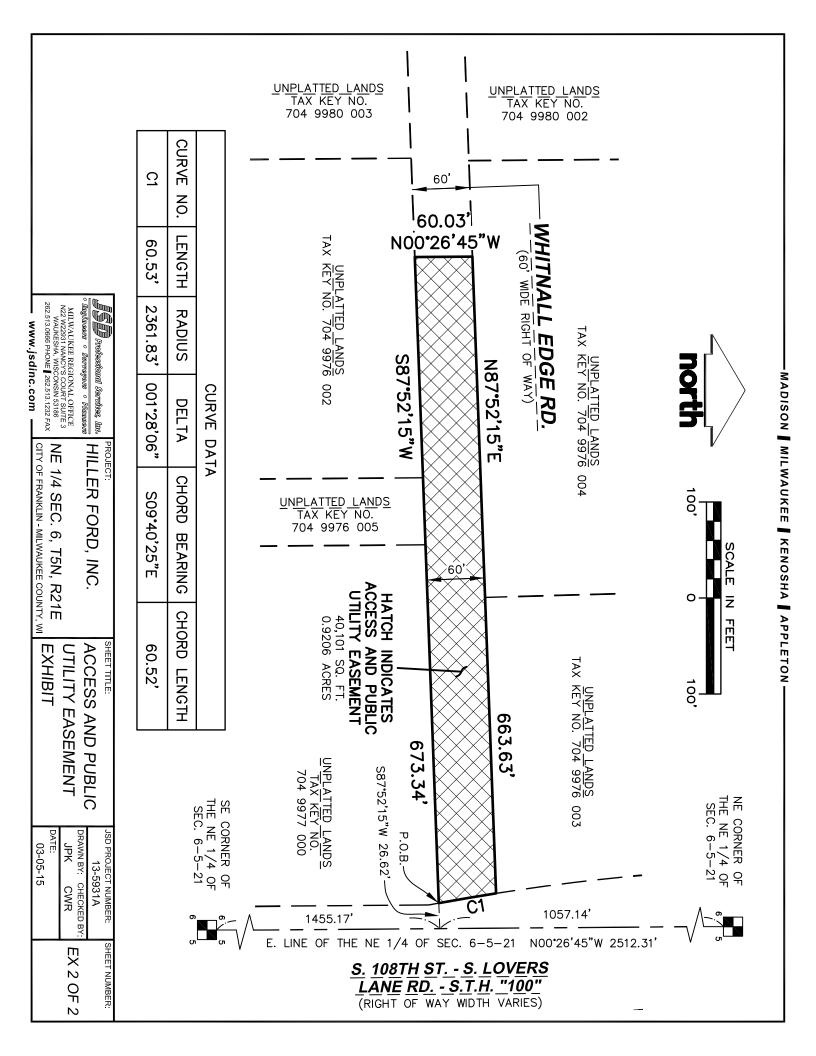
Being a part of the Northeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, bounded and described as follows:

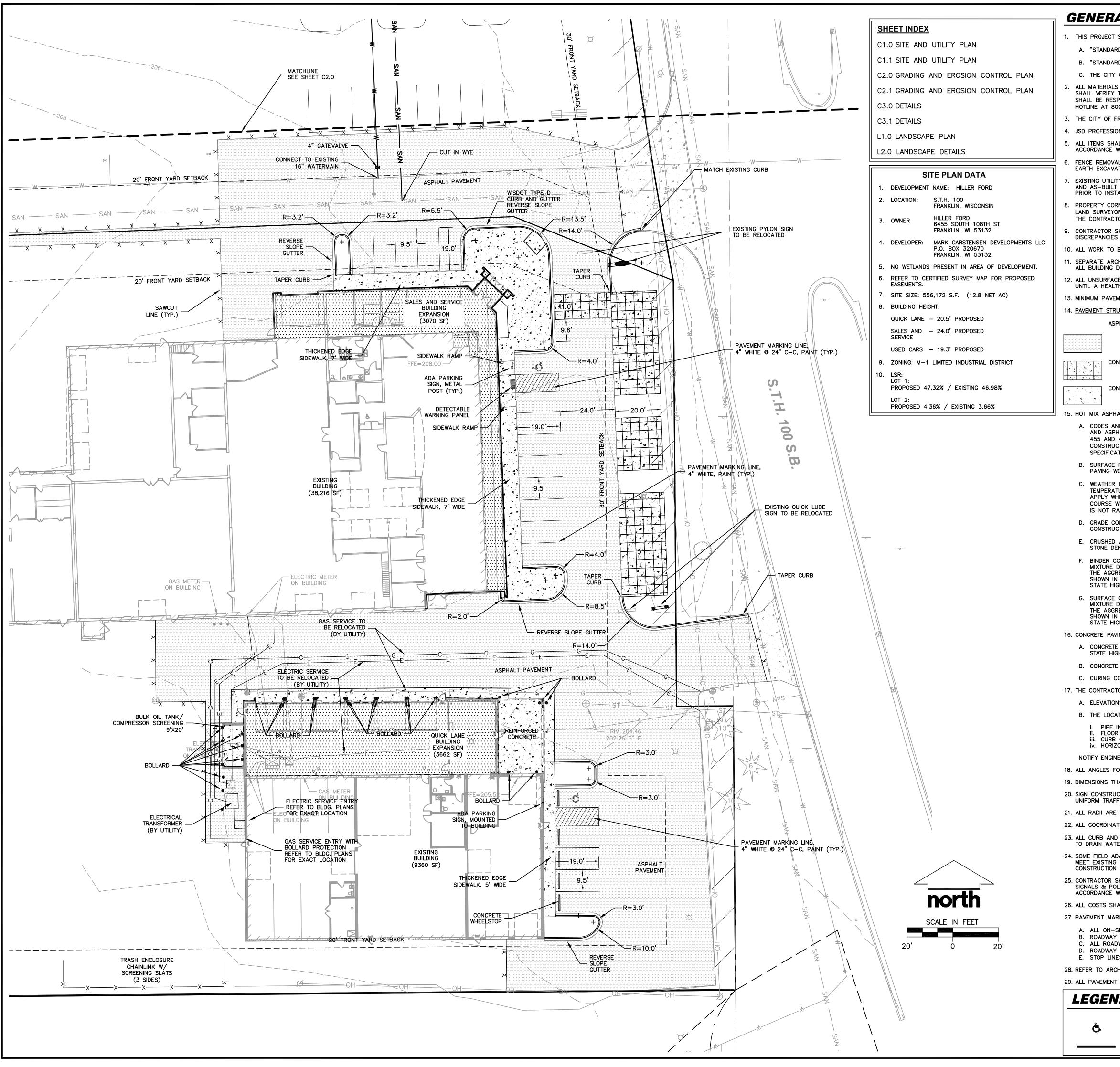
Commencing at the southeast corner of the Northeast 1/4 of said Section 6; thence North 00°26'45" West along the east line of said Northeast 1/4, 1455.17 feet; thence South 87°52'15" West, 26.62 feet to a point of intersection with the south right of way line of Whitnall Edge Road and the west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and the point of beginning;

Thence South 87°52'15" West along said south right of way line, 673.34 feet; thence North 00°26'45" W, 60.03 feet to the north right of way line of Whitnall Edge Road; thence North 87°52'15" East along said north right of way line, 663.63 feet to the aforesaid west right of way line of South 108th Street - South Lovers Lane Road - State Trunk Highway "100" and a point on a curve; thence southeasterly along the arc of said curve to the left and said west right of way line 60.53 feet, whose radius is 2361.83 feet and whose chord bears South 09°40'25" East, 60.52 feet to the point of beginning.

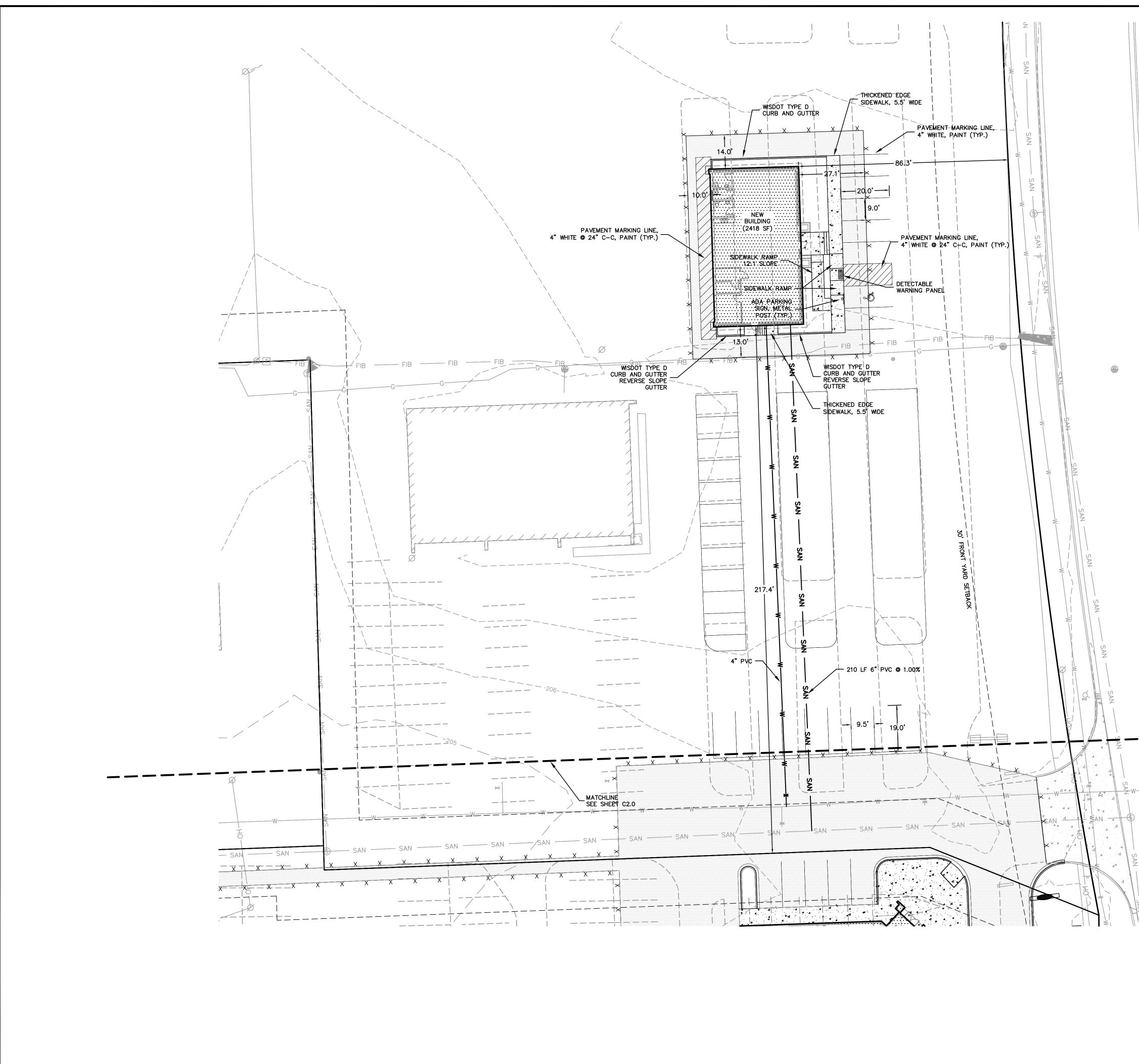
Containing in all 40,101 square feet (0.9206 acres) of land, more or less.

PROJECT:	SHEET TITLE:	JSD PROJECT NUMBER:	SHEET NUMBER:
	ACCESS AND PUBLIC	13-5931A	
		DRAWN BY CHECKED BY	
	UTILITY EASEMENT	JPK CWR	EX 1 OF 2
NE 1/4 SEC. 6, T5N, R21E		DATE:	
CITY OF FRANKLIN - MILWAUKEE COUNTY, WI		03-05-15	
	HILLER FORD, INC. NE 1/4 SEC. 6, T5N, R21E	NE 1/4 SEC. 6, T5N, R21E	NE 1/4 SEC. 6, T5N, R21E ACCESS AND POBLIC DRAWN BY: CHECKED BY: JPK CWR DATE: DATE:

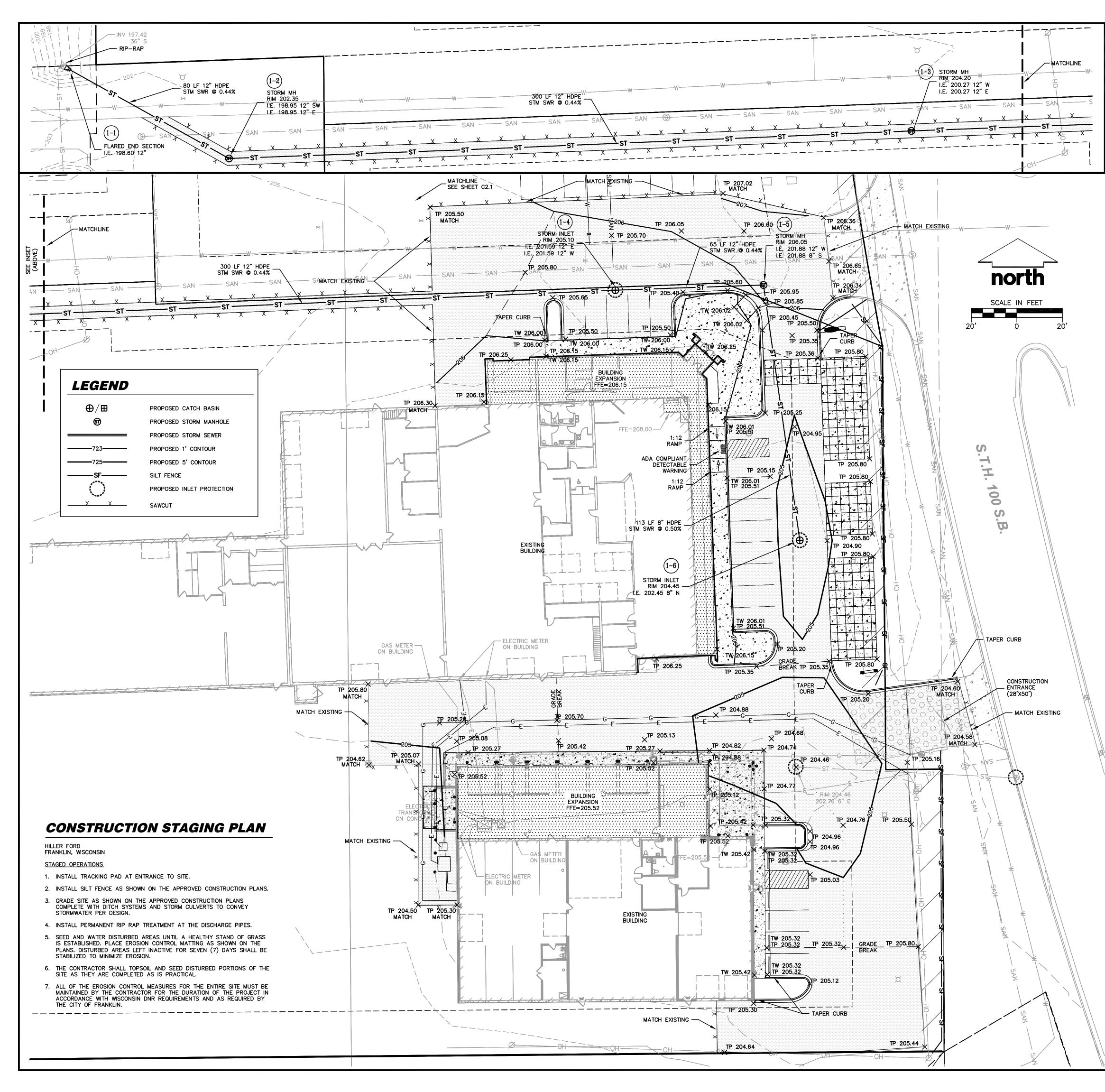




ENERAL N	IOTES		_ IER
THIS PROJECT SHALL BE	CONSTRUCTED IN ACCORDANCE WIT	THE FOLLOWING:	Engineers & Supressional Services, Inc.
		WISCONSIN", CURRENT EDITION, WITH ADDENDA.	• Engineers • Surveyors • Planners
	ICATIONS FOR HIGHWAY AND STRUCT KLIN UNIFIED DEVELOPMENT ORDINAN	URE CONSTRUCTION IN WISCONSIN", CURRENT EDITION.	"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"
		KLIN ENGINEER PRIOR TO INSTALLATION. CONTRACTOR UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND	• CIVIL ENGINEERING
SHALL BE RESPONSIBLE HOTLINE AT 800-242-8		NY DAMAGE DURING CONSTRUCTION (CALL DIGGERS	 SURVEYING & MAPPING CONSTRUCTION SERVICES
		VANCE OF PERFORMING ANY CONSTRUCTION.	 WATER RESOURCES PLANNING & DEVELOPMENT
ALL ITEMS SHALL INCLU	DE ALL THE NECESSARY MATERIALS	AND LABOR TO CONSTRUCT THE FACILITIES IN	 TRANSPORTATION ENGINEERING LANDSCAPE ARCHITECTURE
ACCORDANCE WITH THE FENCE REMOVALS (IF AF		S INCIDENTAL TO THE PRICE PER CUBIC YARD FOR	MILWAUKEE REGIONAL OFFICE N22 W22931 NANCY'S COURT SUITE 3
EARTH EXCAVATION.	·	RK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS,	WAUKESHA, WISCONSIN 53186 262.513.0666 PHONE 262.513.1232 FAX
	S. EXACT LOCATIONS AND ELEVATION	NS OF UTILITIES SHALL BE DETERMINED BY CONTRACTO	R MADISON MILWAUKEE KENOSHA APPLETON
	RTY MONUMENTS DISTURBED BY THE	L THEY HAVE BEEN REFERENCED BY A PROFESSIONAL E CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT	www.jsdinc.com
	RIFY ALL GRADES, MAKE SURE ALL A ENGINEER PRIOR TO CONSTRUCTION.	AREAS DRAIN PROPERLY AND SHALL REPORT ANY	SERVICES PROVIDED TO:
		LICABLE STATE AND LOCAL CODES AND ORDINANCES.	
ALL BUILDING DIMENSION	IS AND DETAILS.	ALL BUILDINGS. REFER TO ARCHITECTURAL PLANS FOR	
UNTIL A HEALTHY STAN		TOPSOIL AND BE SEEDED, MULCHED AND WATERED TO LANDSCAPE PLANS FOR FURTHER INFORMATION. HNICAL ENGINEER:	MARK CARSTENSEN DEVELOPMENTS, LLC
PAVEMENT STRUCTURE	AVEMENT (TYPE E-0.3)		
12" CRI	USHED AGGREGATE BASE COURSE (1	-1/4" DENSE GRADED BASE)	
1 1 /2 "	ASPHALTIC CONCRETE BASE ASPHALTIC CONCRETE SURFACE		
	AVEMENT SHED AGGREGATE BASE COURSE R—REINFORCED CONCRETE		
CONCRETE S			PROJECT:
4" CON			HILLER FORD
A. CODES AND STAND	ARDS - THE PLACING, CONSTRUCTIO	ON AND COMPOSITION OF THE ASPHALT BASE COURSE CORDANCE WITH THE REQUIREMENTS OF SECTION 450,	
455 AND 460 OF ⁻	THE STATE OF "WISCONSIN STANDAR	D SPECIFICATIONS FOR HIGHWAY AND STRUCTURE PUBLICATION WILL BE REFERRED TO AS "STATE HIGHWAY	λY
		NER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN	IG. IG. CITY OF FRANKLIN
TEMPERATURE HAS APPLY WHEN BASE COURSE WHEN ATM	NOT BEEN BELOW 35°F (1°C) FOR 1 IS WET OR CONTAINS EXCESS OF IOSPHERIC TEMPERATURE IS ABOVE	BIENT TEMPERATURE IS ABOVE 50°F (10°C) AND WHEN 2 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NO MOISTURE. CONSTRUCT ASPHALT PAVEMENT SURFACE 40°F (4°C) AND WHEN BASE IS DRY AND WHEN WEATHE AIR TEMPERATURE IS ABOVE 30°F (-1°C).	MILWAUKEE COUNTY, WI
D. GRADE CONTROL - CONSTRUCTION.	ESTABLISH AND MAINTAIN REQUIRED	D LINES AND ELEVATIONS FOR EACH COURSE DURING	JSD PROJECT NO.: 13-5931
		R OF BASE COURSE SHALL CONFORM TO THE 1-1/4 IN PER SECTION 305.2.2.1, STATE HIGHWAY SPECIFICATION	
MIXTURE DESIGN PE THE AGGREGATE FO	ER TABLE 460–2 MIXTURE REQUIREM OR THE BINDER COURSE SHALL CONF 60–1 AGGREGATE GRADATION MASTI	DER COURSE SHALL CONFORM TO THE E-0.3 HMA ENTS, SECTION 460.2.7, STATE HIGHWAY SPECIFICATION FORM TO THE 19.0MM NOMINAL SIZE GRADATION AS ER RANGE AND VMA REQUIREMENTS, SECTION 460.2.2.3	
MIXTURE DESIGN PE THE AGGREGATE FO SHOWN IN TABLE 4 STATE HIGHWAY SF	ÈR TABLE 460–2 MIXTURÉ REQUIREM OR THE SURFACE COURSE SHALL CO 60–1 AGGREGATE GRADATION MAS PECIFICATIONS.	URFACE COURSE SHALL CONFORM TO THE E-0.3 HMA ENTS, SECTION 460.2.7, STATE HIGHWAY SPECIFICATION NFORM TO THE 12.5MM NOMINAL SIZE GRADATION AS TER RANGE AND VMA REQUIREMENTS, SECTION 460.2.2.	
CONCRETE PAVING SPEC A. CONCRETE PAVING		REQUIREMENTS OF SECTIONS 415 AND 416 OF THE	
STATE HIGHWAY SP	ECIFICATIONS.	OMESH 950 (OR EQUAL) FIBER REINFORCEMENT.	
		OF THE STATE HIGHWAY SPECIFICATIONS.	ALTHOUGH EVERY EFFORT HAS BEEN MADE
	FIELD VERIFY THE FOLLOWING:		IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR
	E BENCHMARKS PRIOR TO COMMENC	NG WORK.	AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.
i. PIPE INVERTS ii. FLOOR ELEVATI	ONS		DESIGN BY: CAP 01-20-15
	MENT WHERE MATCHING INTO EXISTII ONTROL BY REFERENCING SHOWN CO	NG WORK. ORDINATES TO KNOWN PROPERTY LINES	DRAWN BY: CAP 01-20-15 CHECKED BY: JLJ 01-20-15
		OR HORIZONTAL CONTROL PRIOR TO PROCEEDING.	PLAN MODIFICATIONS:DATE:REVISED PER CITY COMMENTS03-06-2015
DIMENSIONS THAT LOCA	TE THE BUILDING ARE MEASURED TO	THE FACE OF BUILDING.	
	D PAVEMENT MARKINGS SHALL CONF ROL DEVICES, CURRENT EDITION.	ORM TO THE REQUIREMENTS OF THE MANUAL ON	
	NED TO THE FACE OF CURB UNLESS	S OTHERWISE NOTED. IE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.	
ALL CURB AND GUTTER	IS WISDOT TYPE D, 18", UNLESS NO	TED OTHERWISE. USE HIGH SIDE CURB AS NECESSARY	,
	TS MAY BE NECESSARY AT POINTS	WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS	
CONSTRUCTION OF WORK	κ.	ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO S FOR ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC	
SIGNALS & POLES, ETC.	AS REQUIRED TO COMPLETE PROPO	SPOR ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SED ITEMS IN PLACE. ALL WORK SHALL BE IN AND SHALL BE APPROVED AS SUCH.	Call 811 or (800) 242-8511
ALL COSTS SHALL BE IN	ICLUDED IN THE BID.		Call 811 OF (800) 242-8511 Milwaukee Area (262) 432-7910 Hearing Impaired TDD (800) 542-2289
	TING SHALL BE 4" TRAFFIC WHITE.		www.DiggersHotline.com
 B. ROADWAY CENTERL C. ALL ROADWAY DIAC D. ROADWAY LANE LIN 	INE SHALL BE 4" HIGH-VISIBILITY EF	G SHALL BE 4" HIGH-VISIBILITY EPOXY YELLOW. POXY WHITE.	SHEET TITLE: SITE AND
	AL PLANS FOR SITE LIGHTING ELECTI		UTILITY PLAN
LEGEND	TANDARD DUTY PAVEMENT, UNLESS	NOILD UITERWISE.	
			SHEET NUMBER:
G SYM	POSED ADA PARKING		C1.0
	PPOSED CONCRETE	EASEMENT LINE	



north SCALE IN FEET	<section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header>
	PROJECT: HILLER FORD PROJECT LOCATION: CITY OF FRANKLIN MILWAUKEE COUNTY, WI JSD PROJECT NO.: 13-5931 SEAL/SIGNATURE:
	ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME. DESIGN BY: CAP DI-20-15 01-20-15 DI-20-15 03-06-15 DI-20-15 DI-20-15 DI-20-15 DI-20-15 DI-20-15 DI-20-15 DI-20-15 DI-20-15 DI-20-15 DI-20-15
	DIGGERSS Image: Dispersive of the second



GRADING NOTES 1. THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING: A. ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK B. LOCATION AND ELEVATION OF: EXISTING PIPE INVERTS FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. CIVIL ENGINEERING NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING SURVEYING & MAPPING CONSTRUCTION SERVICES ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEEDED, MULCHED AND WATER RESOURCES WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. PLANNING & DEVELOPMENT THIS GRADING PLAN IS BASED ON AN TOPOGRAPHIC SURVEY BY JSD PROFESSIONAL SERVICES. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES MEET EXISTING. LANDSCAPE ARCHITECTURE REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED. MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. WAUKESHA, WISCONSIN 53186 PROPOSED CONTOURS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ALL CONSTRUCTION SHALL BE BASED UPON PROPOSED SPOT ELEVATIONS WHERE PROVIDED. MADISON | MILWAUKEE 6. STORM SEWER SPECIFICATIONS KENOSHA APPLETON A. PIPE - ALL PIPE MATERIAL BENEATH STREET PAVEMENT SHALL BE REINFORCED CONCRETE PIPE. - www.jsdinc.com -STORM SEWER OUTSIDE OF RIGHT-OF-WAY SHALL BE HIGH DENSITY POLYETHYLENE. REFER TO FOLLOWING SPECIFICATIONS: SERVICES PROVIDED TO: REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM C-76, CLASS III (MINIMUM) WITH RUBBER GASKET JOINTS ASTM C-443. HIGH DENSITY POLYETHYLENE SMOOTH-WALLED INTERIOR CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, MANNING "N" VALUE OF 0.010 AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE S. MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D3350, D2412, AND D2321 WITH ELASTOMERIC GASKETS CONFORMING TO ASTM F477. B. INLETS AND FRAMES DEVELOPMENTS, LLC

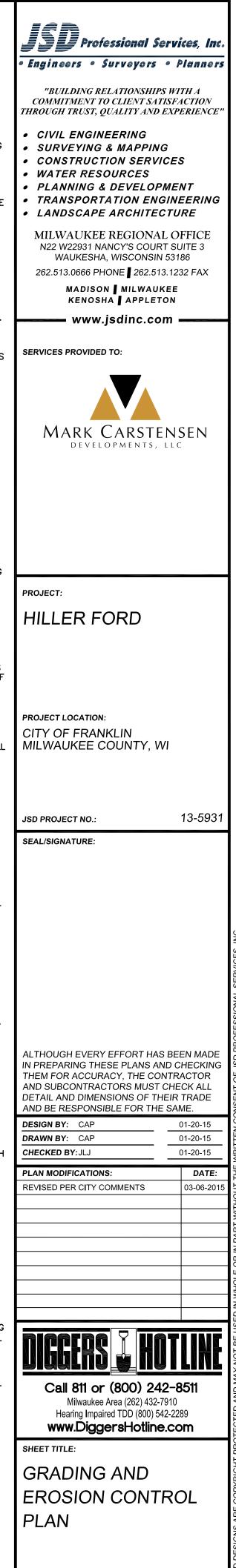
- INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.36(9)B.3.
- FRAMES AND GRATES SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES / CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS.
- C. MANHOLES AND FRAMES
- MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.35(8)a,b
- FRAMES AND LIDS SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES/CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS. INTERNAL CHIMNEY SEALS SHALL BE CRETEX SPECIALTY PRODUCTS, OR EQUAL.
- D. CLEANOUTS CLEANOUTS SHALL BE EQUIPPED WITH FROST SLEEVES IN ACCORDANCE WITH SPS 382.35(5)(A)2. (REFER TO DETAIL)
- E. BACKFILL AND BEDDING STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS B BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL AND CLASS B BEDDING. LANDSCAPED AREAS MAY BE CLASS C BEDDING WITH COMPACTED SPOIL BACKFILL CONFORMING TO SECTION 643.5 OF THE "STANDARD SPECIFICATIONS."
- RIP-RAP AT ALL INLETS AND OUTLET FLARED END SECTIONS A 3' X 5' AREA OF MEDIUM RIP-RAP OVER TYPE R FABRIC PER WISDOT SPECIFICATION, SHALL BE INSTALLED.
- G. FIELD TILE CONNECTION ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER AND SHALL BE INSPECTED BY THE CITY OF FRANKLIN PRIOR TO BACKFILLING.

CONSTRUCTION SITE EROSION CONTROL

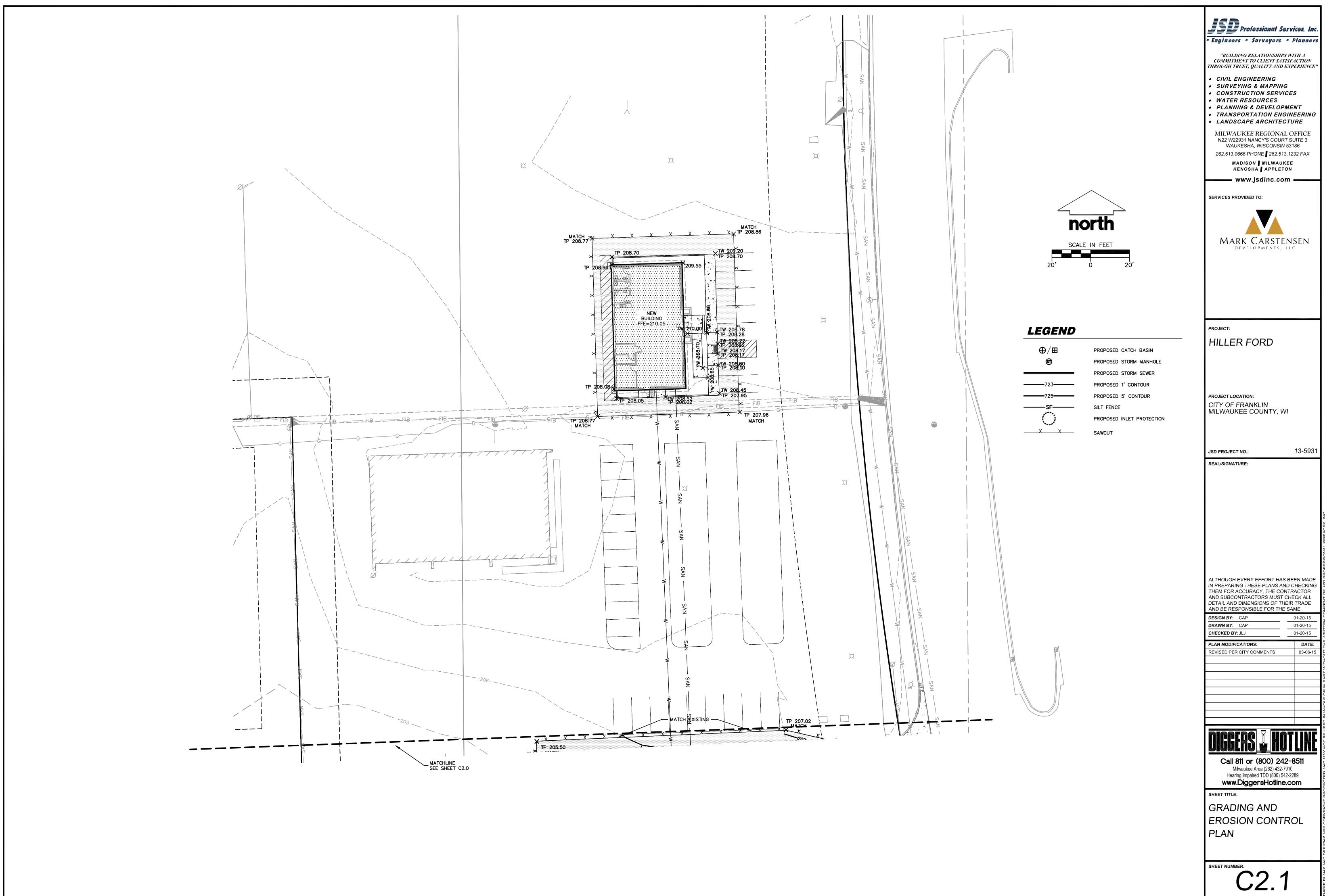
- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND APPROPRIATE OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF FRANKLIN OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- 2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND THE CITY OF FRANKLIN ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF FRANKLIN PRIOR TO DEVIATION OF THE APPROVED PLAN.
- 4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- 5. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- 6. A CONSTRUCTION ENTRANCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057 SHALL BE INSTALLED AT THE LOCATION OF VEHICLE INGRESS/EGRESS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES, AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS.
- INLET PROTECTION IN ACCORDANCE WITH WONR TECHNICAL STANDARD 1060 SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- 8. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IN ACCORDANCE WIT WDNR TECHNICAL STANDARDS 1053 & 1062 IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- 9. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- 10. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF FRANKLIN ORDINANCE.
- 11. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- 12. ALL DISTURBED SLOPES EXCEEDING 5:1, SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE, WHEN NECESSARY OR REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF
- 14. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.): A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH.

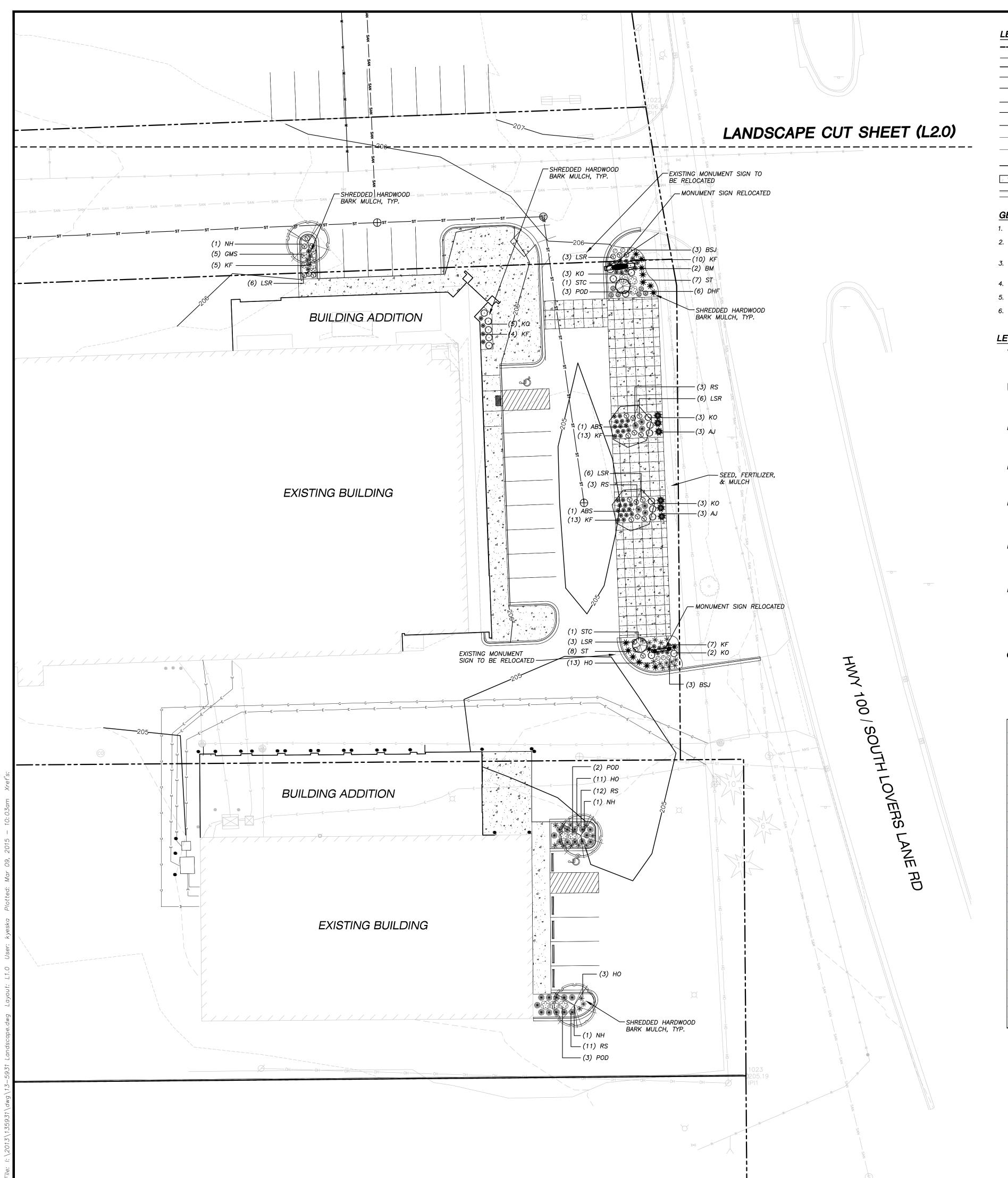
ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

- 13. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF FRANKLIN.
- 14. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- 15. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION. 16. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH



SHEET NUMBER





LEGEND (PROPOSED)

206 205 	PROPOSED 5 FOOT CONTOUR POLYETHLENE EDGING
W STST	
SAN SAN	SANITARY UTILITY
———Е———Е———Е———	ELECTRICAL UTILITY
GG	GAS UTILITY
	PROPOSED BUILDING ADDITION
<u>с</u> <u>с</u> <u>с</u> <u>с</u> <u>с</u> <u>с</u> <u>с</u>	CONCRETE PAVEMENT
	18" STANDARD CURB & GUTTER

GENERAL NOTES:

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND. 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF FRANKLIN STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE
- 4. DRAWING FOR REVIEW NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- 5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- 6. REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN

LEGEND

TALL CLIMAX DECIDUOUS TREES



MEDIUM DECIDUOUS SHRUBS

Ē First Editions Little Devil Ninebark

MEDIUM EVERGREEN SHRUBS

Green Mountain Japanese Boxwood

LOW DECIDUOUS SHRUBS

\odot	Knock Out Rose
\mathfrak{B}	Goldmound Spirea

LOW EVERGREEN SHRUBS 数 Arcadia Juniper

700-	Areadia bumper
Ø	Blue Star Juniper

PERENNIALS

 (\cdot)

*	Lady Betty Fretz' Daylily
\otimes	Little Spire Russian Sage
*	Shirley Temple Peony

ORNAMENTAL GRASSES

æ	Karl Foerester Feather Reed Grass
*	Shenandoah Red Switchgrass

✤ Dwarf Hamein Fountain Grass

I ANDSCAPE PLANT LIST

LAI	VDS	CAPE PLANT LIST	
SYM	QTY.	COMMON NAME	BOTANIC
TALL	CLIM	AX DECIDUOUS TREES	
NH	3	New Horizon Elm	ULMUSx
LOW	DECID	UOUS TREES	
ABS	2	Autumn Brilliance Serviceberry	AMELANC
STC	2	Sargent Tina Crabapple	MALUS Sa
MED		CIDUOUS SHRUBS	
POD	8	First Editions Little Devil Ninebark	PHYSOCA
MED		ERGREEN SHRUBS	
BM	2	Green Mountain Japanese Boxwood	BUXUS m
LOW	DECID	UOUS SHRUBS	
KO	16	Knock Out Rose	ROSA 'RA
GMS	5	Goldmound Spirea	SPIREA ja
LOW	EVER	GREEN SHRUBS	
AJ	6	Arcadia Juniper	JUNIPER
BSJ	6	Blue Star Juniper	JUNIPER
PERE	NNIAL	S	
HO	27	Lady Betty Fretz' Daylily	HEMEROO
LSR	24	Little Spire Russian Sage	PEROVSK
ST	15	Shirley Temple Peony	PAEONIA
ORNA	MENT	AL GRASSES	
KF	52	Karl Foerester Feather Reed Grass	CALAMAG
RS	29	Shenandoah Red Switchgrass	PANICUM
DHF	6	Dwarf Hamein Fountain Grass	PENISETU

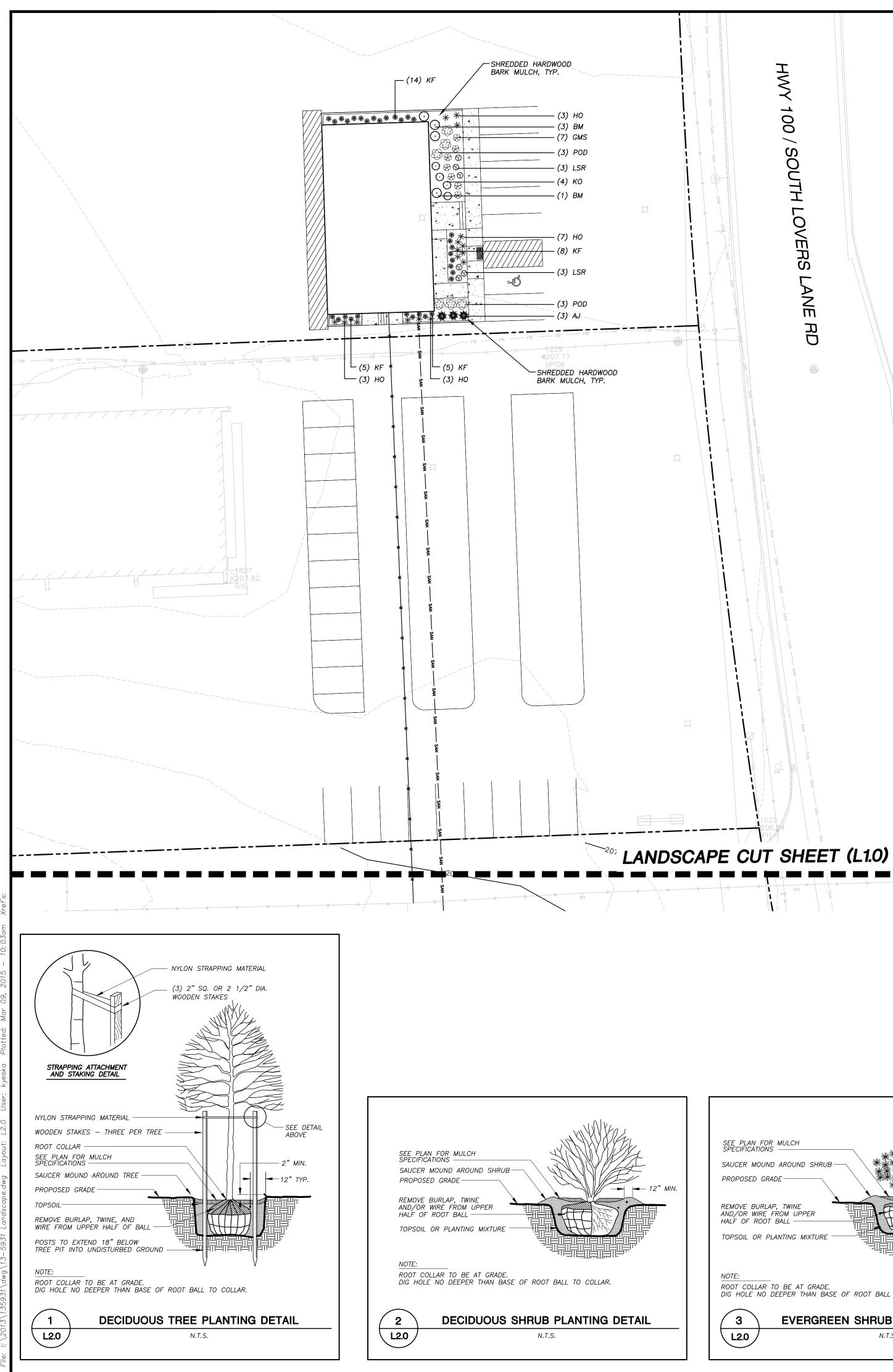
JSD Professional Servi	
• Engineers • Surveyers • F "Building relationships wi commitment to client satisfa	TH A
COMMITMENT TO CLIENT SATISFA THROUGH TRUST, QUALITY AND EXP CIVIL ENGINEERING SURVEYING & MAPPING CONSTRUCTION SERVICES WATER RESOURCES PLANNING & DEVELOPMEN TRANSPORTATION ENGINE STRUCTURAL ENGINEERIN LANDSCAPE ARCHITECTU MADISON REGIONAL OFF 161 HORIZON DRIVE, SUITE 1 VERONA, WISCONSIN 53593 608.848.5060 PHONE 608.848.223 MADISON MILWAUKEE KENOSHA APPLETON WWW.jsdinc.com	ERIENCE" S NT EERING VG RE FICE 01 3
SERVICES PROVIDED TO:	
MARK CARSTEN DEVELOPMENTS, LLC 9120 W Loomis Rd Franklin, WI 59192 414-529-4588	
PROJECT:	
HILLER FORD	
project location: CITY OF FRANKLIN MILWAUKEE COUNTY, WI	
	13-5931
SEAL/SIGNATURE:	
ALTHOUGH EVERY EFFORT HAS BEI IN PREPARING THESE PLANS AND C THEM FOR ACCURACY, THE CONTR, AND SUBCONTRACTORS MUST CHE DETAIL AND DIMENSIONS OF THEIR AND BE RESPONSIBLE FOR THE SAI	HECKING ACTOR CK ALL TRADE
DRAWN: KJY	03-09-15 03-09-15 03-09-15
PLAN MODIFICATIONS:	DATE:
Toll Free (800) 242–8 Milwaukee Area (414) 259-1181 Hearing Impaired TDD (800) 542-224 www.DiggersHotline.co	511 89
SHEET TITLE: LANDSCAPE PLAN	
sheet number:	

L NAME	SIZE	ROOT
lew Horizon'	2-1/2" Cal.	B&B
lIER x grandiflora 'Autumn Brilliance'	1 1/2" Cal.	B&B
gentii' 'Tina'	1 1/2" Cal.	B&B
RPUS opulifolius 'Donna May'	36" Min. Ht.	# 2 Cont.
crophylla 'Green Mountain'	36" Min. Ht.	# 2 Cont.
razz'	15-18" Min. Ht.	# 2 Cont.
oonica 'Goldmound'	15-18" Min. Ht.	# 2 Cont.
0 - 1 - 1	45 400 10 10	# 2 0
S sabina 'Arcadia'	15-18" Min. Ht.	# 3 Cont.
S squamata 'Blue Star'	15-18" Min. Ht.	# 3 Cont.
	10 10/11/	
ALLIS 'Lady Betty Fretz'	10 - 12" Ht.	# 1 Cont.
A atriplicifolia 'Little Spire'	10 - 12" Ht.	# 1 Cont.
Shirley Temple'	10 - 12" Ht.	# 1 Cont.
ROSTIS x acutiflora 'Karl Foerester'	10 - 12" Ht.	# 1 Cont.
virgatum 'Shenandoah'	10 - 12" Ht.	# 1 Cont.
Malopecuroides 'Hamein'	10 - 12" Ht.	# 1 Cont.

north

SCALE IN FEET

APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.



LEGEND

	PROPERTY LINE PROPOSED 1 FOOT CONTOUR PROPOSED 5 FOOT CONTOUR
	POLYETHLENE EDGING STORM SEWER
SAN SAN SAN	
GG	
··· <u>A</u> ··· <u>A</u> ··· <u>A</u> ··· <u>A</u> ··· <u>A</u> ··· <u>A</u>	PROPOSED BUILDING ADDITION CONCRETE PAVEMENT
	18" STANDARD CURB & GUTTER

GENERAL NOTES:

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF FRANKLIN STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- 4. DRAWING FOR REVIEW NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- 5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR

LEGEND (PROPOSED)

MEDIUM DECIDUOUS SHRUBS

First Editions Little Devil Ninebark

MEDIUM EVERGREEN SHRUBS

Green Mountain Japanese Boxwood

LOW DECIDUOUS SHRUBS

- \odot Knock Out Rose
- Goldmound Spirea

LOW EVERGREEN SHRUBS

- PERENNIALS
- Lady Betty Fretz' Daylily ⊯

Arcadia Juniper

Little Spire Russian Sage

ORNAMENTAL GRASSES

Karl Foerester Feather Reed Grass

LAI	NDS	CAPE PLANT LIST			
SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
MED	IUM DE	ECIDUOUS SHRUBS			
POD	6	First Editions Little Devil Ninebark	PHYSOCARPUS opulifolius 'Donna May'	36" Min. Ht.	# 2 Cont.
MED		/ERGREEN SHRUBS			
BM	4	Green Mountain Japanese Boxwood	BUXUS microphylla 'Green Mountain'	36" Min. Ht.	# 2 Cont.
LOW	DECID	DUOUS SHRUBS			
KO	4	Knock Out Rose	ROSA 'RADrazz'	15-18" Min. Ht.	# 2 Cont.
GMS	7	Goldmound Spirea	SPIREA japonica 'Goldmound'	15-18" Min. Ht.	# 2 Cont.
LOW	EVER	GREEN SHRUBS			
AJ	3	Arcadia Juniper	JUNIPERUS sabina 'Arcadia'	15-18" Min. Ht.	# 3 Cont.
PERE	NNIAL	.S			
НО	16	Lady Betty Fretz' Daylily	HEMEROCALLIS 'Lady Betty Fretz'	10 - 12" Ht.	# 1 Cont.
LSR	6	Little Spire Russian Sage	PEROVSKIA atriplicifolia 'Little Spire'	10 - 12" Ht.	# 1 Cont.
ORN/		TAL GRASSES			
KF	32	Karl Foerester Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerester'	10 - 12" Ht.	# 1 Cont.

SJ PI RE AN HJ TC NC RC	SEE PLAN FOR MULCH AUCER MOUND AROUND SHRUB ROPOSED GRADE MOVE BURLAP, TWINE ND/OR WIRE FROM UPPER ALF OF ROOT BALL OPSOIL OR PLANTING MIXTURE OTE: DOT COLLAR TO BE AT GRADE. IG HOLE NO DEEPER THAN BASE OF ROOT BALL TO COLLAR.	SEE PLAN FOR MULCH SPECIFICATIONS SAUCER MOUND AROUND PERENNIAL PROPOSED GRADE REMOVE ENTIRE CONTAINER FROM ROOTS AND SPREAD ROOTS OUT CAREFULLY PLANTING MIXTURE EXISTING SOIL NOTE: ROOT COLLAR TO BE AT GRADE. DIG HOLE NO DEEPER THAN BASE OF ROOT CONTAINER OR BAREROOT TO BARK MULCH IS TO BE PULLED AWAY FROM THE TRUNK/BASE OF EACH TO	
	3 EVERGREEN SHRUB PLANTING DETAIL L2.0 N.T.S.	4 ORNAMENTAL GRASS/ PERENNIAL PLANTING DETAIL L2.0 N.T.S.	



LANDSCAPE NOTES AND SPECIFICATIONS

- 1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF FRANKLIN, WISCONSIN. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- 2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- 3. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF TWO (2) YEARS AFTER ACCEPTANCE BY OWNER (PER CITY ORDINANCES). PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY PLANT MATERIALS INCLUDED IN AN APPROVED LANDSCAPING PLAN THAT DO NOT SURVIVE A PLANT ESTABLISHMENT PERIOD OF TWO (2) YEARS AFTER INSTALLATION SHALL BE REPLACED BY THE CONTRACTOR, WITHOUT COST TO THE OWNER, WITH PLANT MATERIAL(S) OF THE SAME OR LIKE SPECIES OF EQUAL SIZE WITHIN THE NEXT PLANTING SEASON, BUT IN ANY EVENT, WITHIN SIX (6) MONTHS OF THE PLANT'S DEMISE. REPAIR AND REPLACE ALL LANDSCAPING MATERIALS AND BARRIERS AS NECESSARY (PER CITY ORDINANCES). RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, GRASS, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- 4. MATERIALS PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1–2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND. HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY. HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- 5. MATERIALS SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS: 1. PLANTING AREAS = 24" 2. TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- 6. MATERIALS ALL LANDSCAPE PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH SPREAD TO A CONSISTENT DEPTH OF 3 INCHES OVER ENTIRE PLANTING AREA. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- 7. MATERIALS WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- 8. MATERIALS EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- 9. SEED: ALL DISTURBED LAWN AREAS SHALL BE SEEDED WITH EARTH CARPET'S 'MADISON PARKS' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- 10. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK. TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- 11. CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPFRTY
- 12. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. ALL PLANTINGS AND LAWN TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- 13. MAINTENANCE: (OWNER) FOLLOWING THE TWO (2) YEAR CONTRACTOR'S GUARANTEE PERIOD, MAINTENANCE OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER, LESSEE, HEIRS, ASSIGNS, AGENTS, OR OTHER LIABLE ENTITY OF THE PROPERTY AND SHALL CONSIST OF REGULAR WATERING, PRUNING, MOWING, FERTILIZING, ARCHITECTURAL FEATURES, AND REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND BARRIERS AS NECESSARY (PER CITY ORDINANCES). THE OWNER OR LIABLE ENTITY IN CONTROL OF ANY PRIVATE PREMISES SHALL AT ALL TIMES MAINTAIN THE PREMISES FREE OF LITTLER AND WEEDS. AREAS OF DEVELOPMENT DESIGNATED AS LANDSCAPE EASEMENT SHALL BE MAINTAINED BY THE PROPERTY OWNER AND KEPT FREE OF ALL DEBRIS, WEEDS, AND TALL GRASS.

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