

APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 12/19/17
REPORTS & RECOMMENDATIONS	SPECIAL USE AMENDMENT TO ALLOW FOR BUILDING ARCHITECTURE ENHANCEMENTS AND IMPROVEMENTS TO THE PARKING LOT, SIDEWALKS AND LANDSCAPING FOR THE EXISTING DRIVE-THROUGH BANK PROPERTY APPROVED AS A SPECIAL USE IN ORDINANCE NO. 2002-1735, AN ORDINANCE TO AMEND ORDINANCES 92- 1229, 93-1261, 94-1298, 96-1391, 96-1400 AND 98-1508 CREATING PLANNED DEVELOPMENT DISTRICT NO. 16 (FRANKLIN CENTRE) (7745 WEST RAWSON AVENUE) (JOSEPH HAIDER, DESIGNER, LAMACCHIA GROUP, APPLICANT)	ITEM NUMBER <i>G.7</i>

At its December 7, 2017 meeting, the Plan Commission recommended approval of a Special Use Amendment to allow for building architecture enhancements and improvements to the parking lot, sidewalks and landscaping for the existing drive-through bank property approved as a Special Use in Ordinance No. 2002-1735, An Ordinance to Amend Ordinances 92-1229, 93-1261, 94-1298, 96-1391, 96-1400 And 98-1508 Creating Planned Development District No. 16 (Franklin Centre), (7745 West Rawson Avenue), (Joseph Haider, Designer, LaMacchia Group, Applicant).

COUNCIL ACTION REQUESTED

A motion to adopt Resolution No. 2017-_____, a Special Use Amendment to allow for building architecture enhancements and improvements to the parking lot, sidewalks and landscaping for the existing drive-through bank property approved as a Special Use in Ordinance No. 2002-1735, An Ordinance to Amend Ordinances 92-1229, 93-1261, 94-1298, 96-1391, 96-1400 And 98-1508 Creating Planned Development District No. 16 (Franklin Centre), (7745 West Rawson Avenue), (Joseph Haider, Designer, LaMacchia Group, Applicant).

RESOLUTION NO. 2017-_____

SPECIAL USE AMENDMENT TO ALLOW FOR BUILDING ARCHITECTURE
ENHANCEMENTS AND IMPROVEMENTS TO THE PARKING LOT, SIDEWALKS
AND LANDSCAPING FOR THE EXISTING DRIVE-THROUGH BANK PROPERTY
APPROVED AS A SPECIAL USE IN ORDINANCE NO. 2002-1735, AN ORDINANCE
TO AMEND ORDINANCES 92-1229, 93-1261, 94-1298, 96-1391, 96-1400 AND 98-1508
CREATING PLANNED DEVELOPMENT DISTRICT NO. 16 (FRANKLIN CENTRE)
(7745 WEST RAWSON AVENUE)
(JOSEPH HAIDER, DESIGNER, LAMACCHIA GROUP, APPLICANT)

WHEREAS, Joseph Haider, Designer, LaMacchia Group, having petitioned the City of Franklin for the approval of a Special Use Amendment to allow for certain building and site changes for the existing drive-through bank property (the former Anchor Bank property), approved as a Special Use in Ordinance No. 2002-1735, An Ordinance to Amend Ordinances 92-1229, 93-1261, 94-1298, 96-1391, 96-1400 and 98-1508 Creating Planned Development District No. 16 (Franklin Centre), including: construction of a new 24' tall curtain wall type entry feature for the main entrance of the building; addition of an EIFS parapet and metal lattice structure to the roof; repainting of the building; and repair of the existing parking lot, sidewalks, landscaping, etc., as needed, upon property located at 7745 West Rawson Avenue, such property being zoned Planned Development District No. 16 (Franklin Centre, *formerly* Franklin Plaza/PicknSave), more particularly described as follows:

A parcel of land located in the Northeast Quarter (NE 1/4) of the Northeast Quarter (NE 1/4) of Section Nine (9), Town Five North (T5N), Range Twenty-One East (R21E), in the City of Franklin, Milwaukee County, Wisconsin, more particularly described as follows: All of parcel four (4) of Certified Survey Map No. 7170, recorded on reel 5473 as image numbers 3108-3112 as document No. 8405275. Said parcel contains 54,957 square feet, or 1.1928 acres; Tax Key No.: 755-0192-006; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of December, 2017, and the Plan Commission thereafter having determined to recommend that the proposed amendment to Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed amendment to Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it

JOSEPH HAIDER, DESIGNER, LAMACCHIA GROUP – AMENDMENT
TO SPECIAL USE
RESOLUTION NO. 2017-_____
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will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendations and also having found that the proposed amendment to Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Joseph Haider, Designer, LaMacchia Group, for the approval of an amendment to Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this amendment to Special Use is approved only for the use of the subject property by Joseph Haider, Designer, LaMacchia Group, successors and assigns, for a credit union with a drive through facility use and building remodel and site work project, which shall be developed in substantial compliance with and constructed, operated and maintained by Joseph Haider, Designer, LaMacchia Group, pursuant to those plans City file-stamped _____, 2017 and annexed hereto and incorporated herein as Exhibit A.
2. Joseph Haider, Designer, LaMacchia Group, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for the Joseph Haider, Designer, LaMacchia Group building and site changes for the existing drive-through bank property (the former Anchor Bank property) project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Joseph Haider, Designer, LaMacchia Group and the Joseph Haider, Designer, LaMacchia Group building and site changes for the existing drive-through bank property (the former Anchor Bank property) project for the property located at 7745 West Rawson Avenue: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and

JOSEPH HAIDER, DESIGNER, LAMACCHIA GROUP – AMENDMENT
TO SPECIAL USE
RESOLUTION NO. 2017-_____

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the like, required for and applicable to the project to be developed and as presented for this approval.

4. That the applicant shall prepare detailed architectural elevations for Department of City Development review and approval prior to issuance of a Building Permit.
5. That the applicant shall prepare a revised Landscape Plan meeting all UDO standards and re-establishing the PDD No. 16 approved landscaping as it applies to the subject parcel, for Department of City Development review and approval prior to issuance of a Building Permit, and that all required landscaping shall be installed prior to issuance of an Occupancy Permit.
6. That the applicant shall obtain review and approval by the Architectural Review Board for all new and revised signage, and obtain a Sign Permit from the Building Inspection Department for such signage, prior to its installation.
7. [other conditions, etc.]

BE IT FURTHER RESOLVED, that in the event Joseph Haider, Designer, LaMacchia Group, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this amendment to Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the additional Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be an amendment to such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance, and that all of the terms and conditions of Ordinance No. 2002-1735, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

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BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of completion of the Joseph Haider, Designer, LaMacchia Group building and site changes for the existing drive-through bank property (the former Anchor Bank property).

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2017.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2017.

APPROVED:

Stephen R. Olson, Mayor

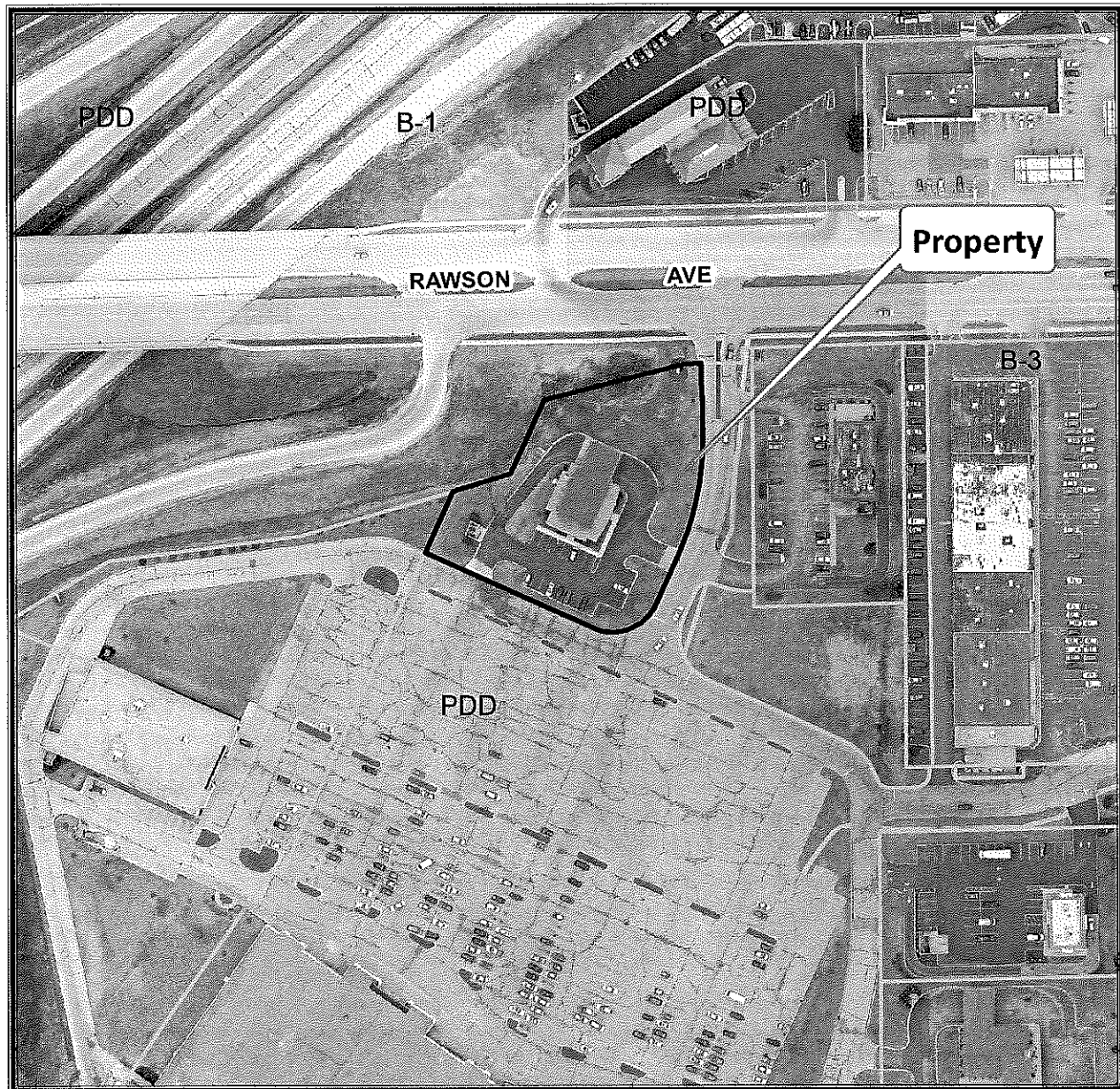
ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



7745 W. Rawson Ave.
TKN 755 0192 006



Planning Department
(414) 425-4024

0 100 200 400 Feet



2017 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of December 7, 2017

Unified Development Ordinance Text Amendment and Special Use Amendment

RECOMMENDATION: Department of City Development staff recommends approval of the proposed Unified Development Ordinance Text Amendment and Special Use Amendment for a credit union use upon property located at 7745 W. Rawson Avenue, subject to the conditions in the draft ordinance and resolution.

Project Name:	Credit Union UDO Text Amendment and Special Use Amendment
Project Address:	7745 W. Rawson Avenue
Applicant:	Joseph Haider, La Macchia Group
Property Owner:	Old National Bancorp
Current Zoning:	PDD No. 16, Franklin Centre (formerly Franklin Plaza/Pick n Save)
2025 Comprehensive Plan	Commercial
Use of Surrounding Properties:	Commercial to the north, south, east, and west
Applicant Action Requested:	Recommendation of approval of the proposed UDO Text Amendment and Special Use Amendment for a credit union use.

Introduction:

Please note:

- Staff recommendations are underlined, in italics and are included in the draft resolution.
- Staff suggestions are *in italics* and are not included in the draft resolution.

On October 17, 2017, the applicant submitted Unified Development Ordinance (UDO) Text Amendment and Special Use Amendment applications to allow a proposed credit union to locate within a vacant building (formerly Anchor Bank) at 7745 W. Rawson Avenue (zoned PDD No. 16), to remodel the existing building, and to undertake certain site work.

Currently, Standard Industrial Classification (SIC) Title No. 6061 Credit Unions Federally Chartered (with drive through facilities) and 6062 Credit Unions not Federally Chartered (with drive through facilities) are not allowed in the B-3 Community Business District.¹ The applicant is proposing to add SIC No. 6061 (with drive through facilities) and SIC No. 6062 (with drive through facilities) to the B-3 District as Special Uses.

¹ Pursuant to Ordinance No. 2002-1735 (amending PDD No. 16), the B-3 zoning district list of uses must be utilized in the determination of permitted and special uses for the four separate parcels (including the subject property) within PDD No. 16.

Staff is also proposing that SIC No. 6061 (**without** drive through facilities) and SIC No. 6062 (**without** drive through facilities) be added to the B-3 District as Permitted Uses.

Project Description/Analysis:

Unified Development Ordinance:

Table 15-3.0603 of the Unified Development Ordinance sets forth those uses which are permitted and special uses in all nonresidential zoning districts in the City of Franklin. Use designations are based on the Standard Industrial Classification (SIC) Manual (1987, or latest edition) published by the Executive Office of the President, Office of Management and Budget.

The SIC manual describes SIC Title No. 6061 Credit Unions Federally Chartered as:
“Cooperative thrift and loan associations (accepting deposits) organized under Federal charter to finance credit needs of their members.”

The SIC manual describes SIC Title No. 6062 Credit Unions not Federally Chartered as:
“Cooperative thrift and loan associations (accepting deposits) organized under other than Federal charter to finance credit needs of their members.”

Review of the City’s Unified Development Ordinance indicates that SIC Codes 6061 and 6062 (with drive through facilities) are currently allowed as special uses within the B-2, B-4, B-5, B-6, B-7, CC, OL-1, and OL-2 zoning districts. Allowing this use within the B-3 zoning district as a special use would be consistent not only with this credit union use in other similar commercial zoning districts, but with other similar uses such as banks as well.

Similarly, review of the City’s Unified Development Ordinance indicates that SIC Codes 6061 and 6062 (**without** drive through facilities) are currently allowed as permitted uses within the B-2, B-4, B-6, B-7, CC, OL-1, and OL-2 zoning districts. Allowing this use within the B-3 zoning district as a permitted use would be consistent not only with this credit union use in other similar commercial zoning districts, but with other similar uses such as banks as well.

Special Use:

The applicant intends to utilize the existing vacant building for a proposed credit union use. The applicant is also proposing certain building façade and site changes.

The applicant has supplied responses to the Special Use Standards and Regulations as required by the Unified Development Ordinance (UDO), and those responses are included in the packet materials.

Site Plan:

The subject property is identified as Parcel 4 within Planned Development District (PDD) No. 16 and is approximately 1.2 acres in size. Site improvements currently include the existing approximately 3,900 square foot building and associated parking lot and drive-thru facility.

The applicant is proposing to remodel the existing building and repair as needed the existing landscaping, parking lot, sidewalks, etc. As the applicant is not requesting expansion of the

parking lot or enlargement of the developed portion of the site, staff has not requested updated Site Intensity and Capacity Calculations or a Natural Resource Protection Plan.

As a sidewalk is located on the east side of the entrance drive from/to Rawson Avenue (east of the subject property), but as only minor changes are proposed to the site, *staff suggests that a sidewalk connection from the building to the existing sidewalk be constructed.*

Architecture:

The applicant has provided conceptual elevations, and proposes:

- reconfiguration of the building entrance with the addition of glass curtain walls and an approximately 24' tall canopy feature with a standing seam metal roof and cedar wrapped columns;
- addition of a metal lattice structure and additional EIFS to the roof (essentially screening the existing curved standing seam metal roof); and
- painting of the exterior walls and roof.

However, the applicant has not provided details about the new building materials and colors. Therefore, *staff recommends that the applicant shall prepare detailed architectural elevations for Department of City Development review and approval prior to issuance of a Building Permit.*

It is important to note that the building height limit within PDD No. 16 is 25' and cannot be exceeded without prior City approvals.

Parking:

As originally identified in the 2002 Special Use approval for Anchor Bank, 21 parking spaces, including two ADA accessible spaces, are provided. No changes are envisioned by the applicant at this time. Therefore, the parking standards for this development continue to be met.

Landscaping:

The applicant has submitted a Landscape Plan partially addressing the current UDO landscaping standards. However, it should also be noted that the 2002 Special Use approval for Anchor Bank included a landscape plan that provided slightly more landscaping than is required by the UDO standards. Furthermore, it can be noted that the original PDD No. 16 approval included a landscape plan for all of the entrance drives and parking lot perimeters, which partially extends unto the subject parcel. In regard to the portion of this landscaping on the subject parcel (comprising 15 trees), some have subsequently died, are dying, or are no longer present.

Staff recommends that the applicant shall prepare a revised Landscape Plan meeting all UDO standards and re-establishing the PDD No. 16 approved landscaping as it applies to the subject parcel, for Department of City Development review and approval prior to issuance of a Building Permit, and that all required landscaping shall be installed prior to issuance of an Occupancy Permit.

Alternatively, *staff would suggest that the applicant revise the landscape plan to re-establish the landscaping as set forth in the 2002 Special Use approval for Anchor Bank.*

Signage:

The applicant is proposing to replace the existing signage, but has not provided any details at this time. Pursuant to Ordinance No. 92-1229, *staff recommends that the applicant shall obtain review and approval by the Architectural Review Board for all new and revised signage, and obtain a Sign Permit from the Building Inspection Department for such signage, prior to its installation.*

Lighting:

The applicant indicates that the existing exterior lighting is to remain.

Fire Protection:

As the interior automatic sprinkler system has been vacated, the Fire Department has indicated that the sprinkler and alarm systems must be restored upon occupancy and approved by the Fire Department.

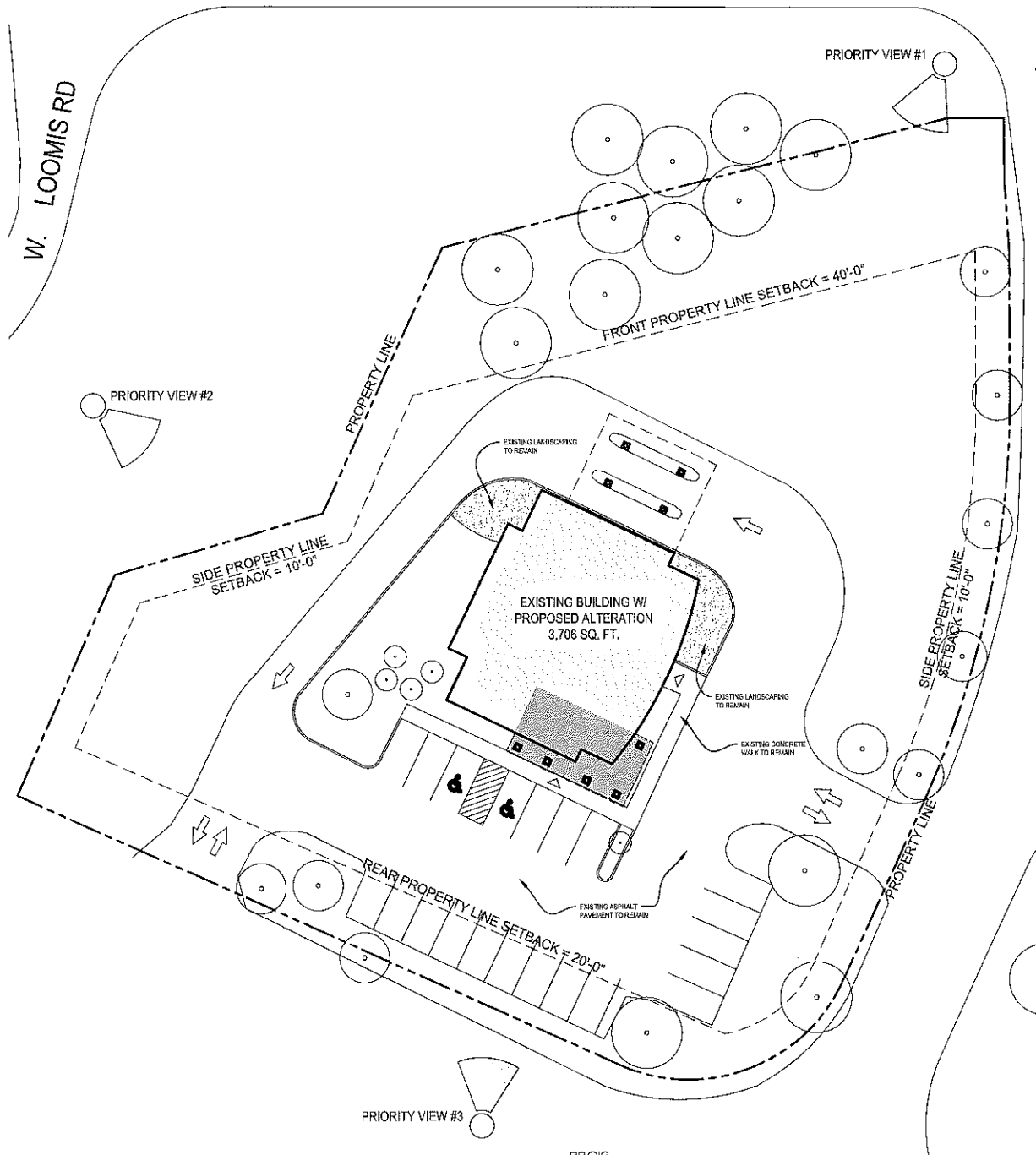
Staff Recommendation

Department of City Development staff recommends approval of the Unified Development Ordinance Amendment and Special Use Amendment for a credit union use upon property located at 7745 W. Rawson Avenue, subject to the conditions in the attached draft ordinance and draft resolution.

PROPOSED FINANCIAL INSTITUTION

Franklin Centre - 7745 W Rawson Ave.
Franklin, WI

W. RAWSON AVE



PRO'S:

- 1.) ALL LANDSCAPING WILL BE REVIEWED AND REPLACED IF IN POOR CONDITION. ALL LANDSCAPING AFFECTED DURING CONSTRUCTION TO BE REPLACED IN KIND.
- 2.) EXISTING EXTERIOR LIGHTING TO REMAIN.

CONTACT INFORMATION:

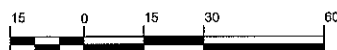
CURRENT OWNER:
Old National Bancorp
1 Main St
Evansville, IN 47708

CLIENT REPRESENTATIVE
La Macchia Group
157 N Milwaukee St
Milwaukee, WI 53202



CONCEPT SITE PLAN

09.13.17



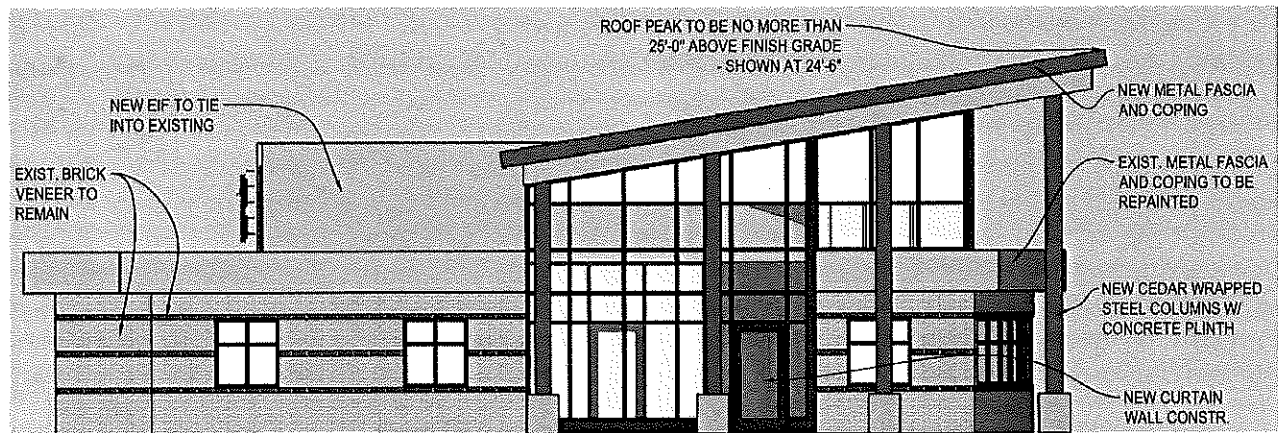
(IN FEET)
1 inch = 30 ft.

OUR BUSINESS IS BUILDING YOURS

LaMACCHIA
GROUP

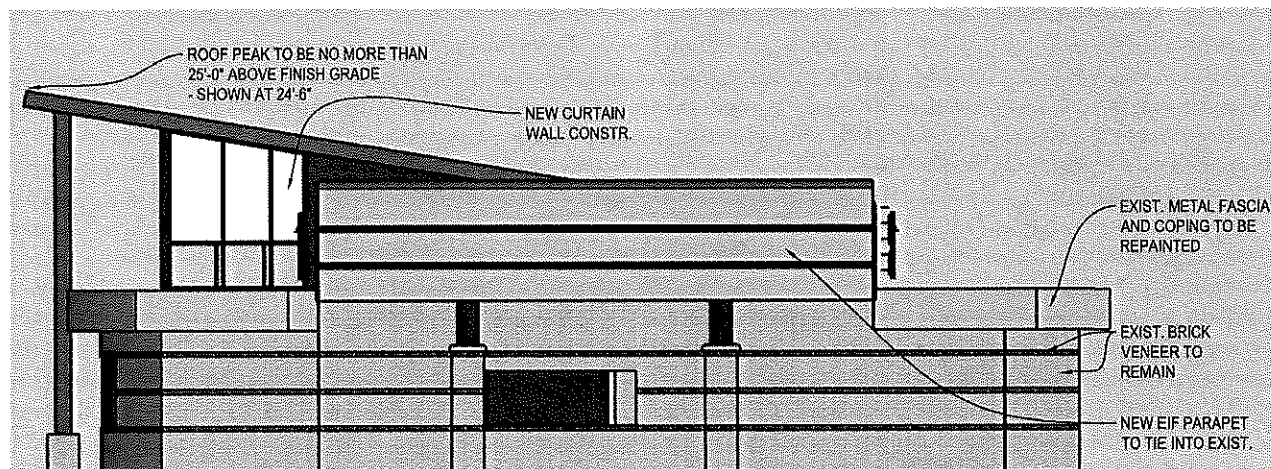
PROPOSED FINANCIAL INSTITUTION

Franklin Centre - 7745 W Rawson Ave.
Franklin, WI



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

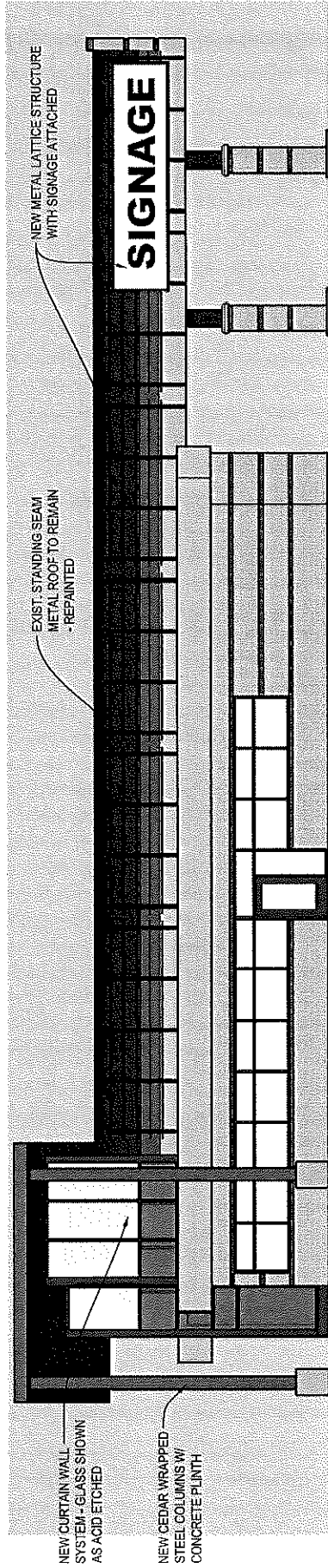
SCALE: 1/8" = 1'-0"

Conceptual Elevations

09.13.17

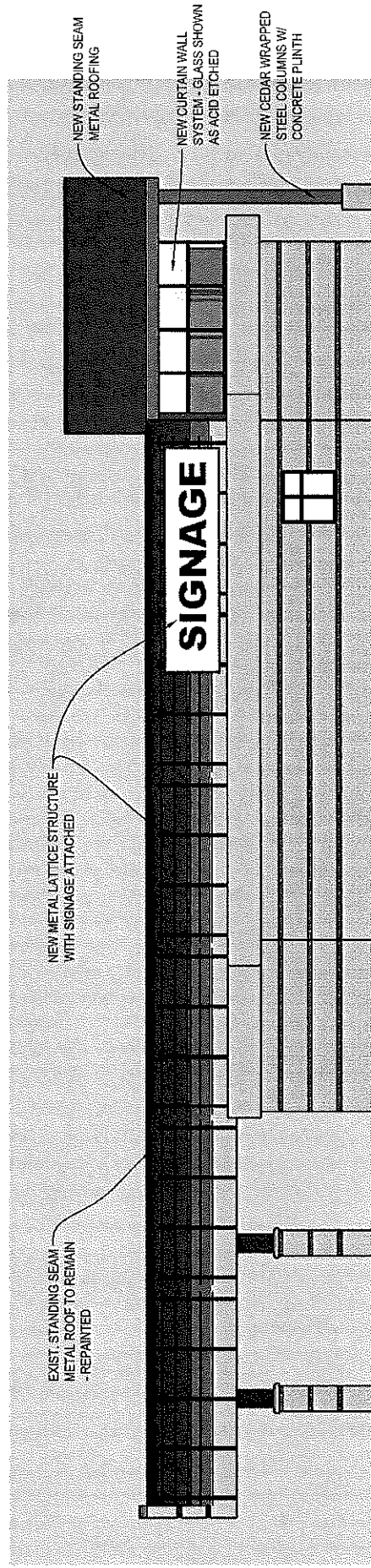
PROPOSED FINANCIAL INSTITUTION

Franklin Centre - 7745 W Rawson Ave.
Franklin, WI



EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

OUR BUSINESS IS BUILDING YOURS



Conceptual Elevations

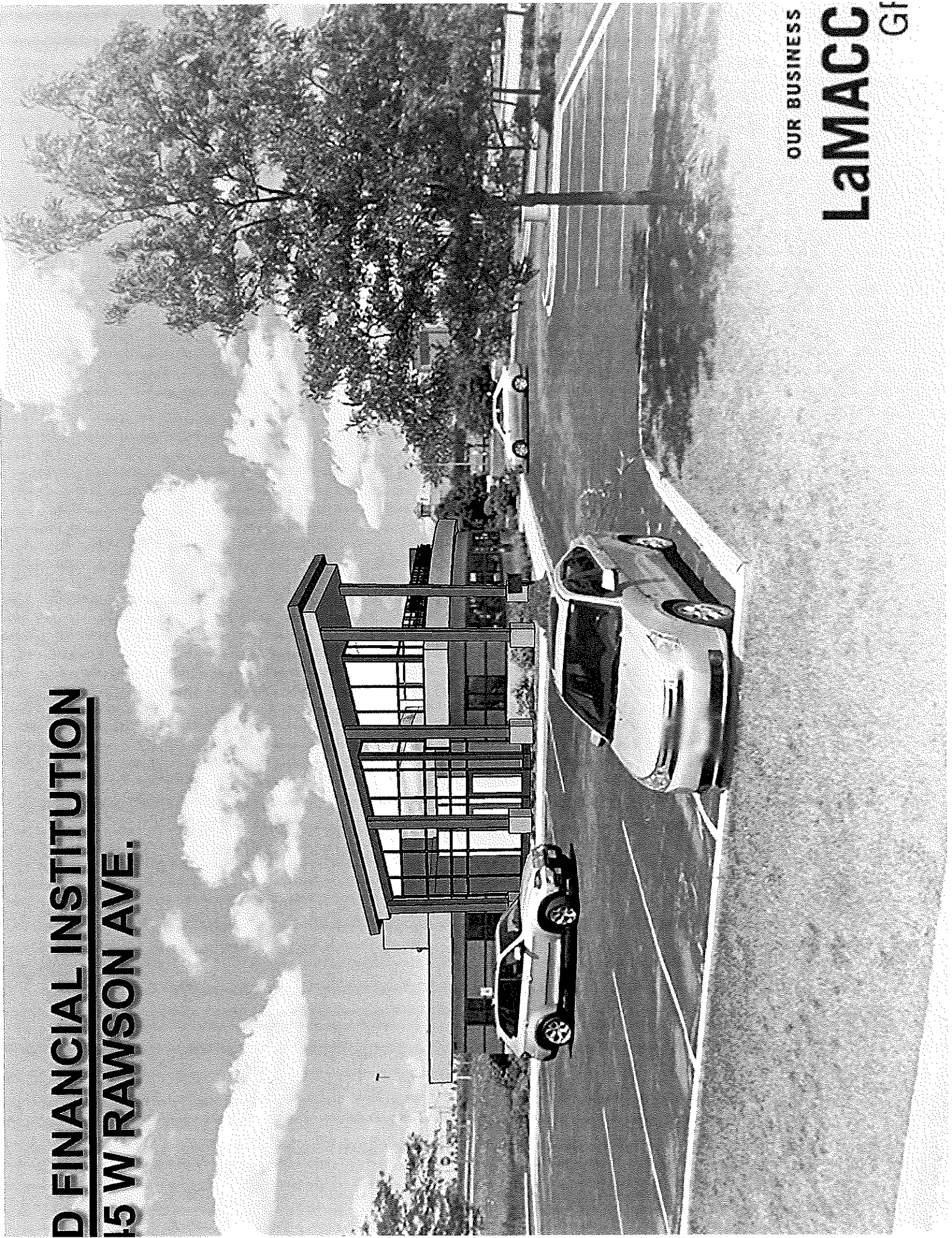
09.13.17

OUR BUSINESS

LaMAC



D FINANCIAL INSTITUTION
15 W RAWSON AVE.



OUR BUSINESS

LaMACC
Gf



HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
www.widewheel.com
726.539.9733
david@widewheel.com



PROJECT
**RAWSON AVE.
BANK**
7745 W. Rawson Avenue
Franklin, WI

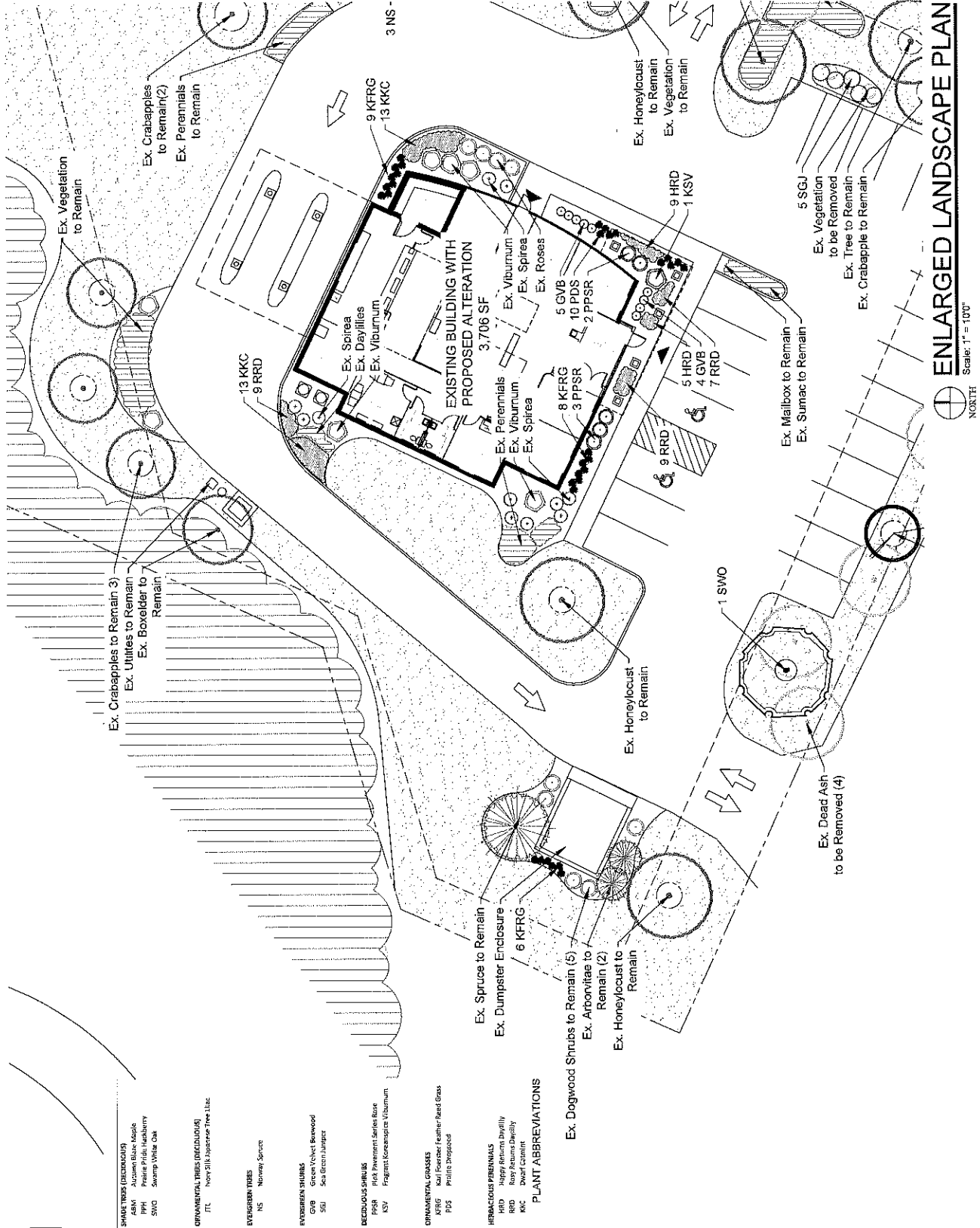
ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
0.18.17	ISSUE TO OWNER
1.27.17	REVISED SITE PLAN

This plan was prepared by
W. David Heller, AIA
Registered Landscape Architect
No. 1000000000
License No. 1000000000

SHEET TITLE
**ENLARGED
LANDSCAPE
PLAN**

PROJECT MANAGER	MDH
PROJECT NUMBER	174804
DATE	11.27.17
SHEET NUMBER	

L 1.1



[illegible]

Seed Commodities
Global Food Security
Food and Agriculture Organization
16, Avenue Kennedy, Geneva
Switzerland
Tel: +41 22 319 7211
Fax: +41 22 319 7212
E-mail: seeds@fao.org
Web: www.fao.org/seeds

LANDSCAPE GENERAL NOTES

[illegible]

Figure 1 consists of two diagrams, (a) and (b), illustrating the construction of Evergreen Tree Plantings. Diagram (a) is a plan view showing a central building with a chimney, surrounded by a dense planting of evergreen trees. The trees are arranged in rows, with a central path or driveway leading to the building. Diagram (b) is a cross-section view showing the building's foundation and the surrounding soil profile. It highlights the placement of trees and mulch, showing how the trees are planted in a trench or pit, with mulch applied around the base of the trees. The diagrams are labeled with letters A through F, corresponding to the text descriptions.

PLANT & MATERIAL SCHEDULE

[illegible]

PLANTING & HARDSCAPE DETAILS

A vertical color calibration bar. It features a grayscale ramp at the top, transitioning from black to white, with numerical values ranging from 0 to 100. Below the grayscale ramp are several color patches, including primary and secondary colors, used for ensuring color accuracy in digital imaging.



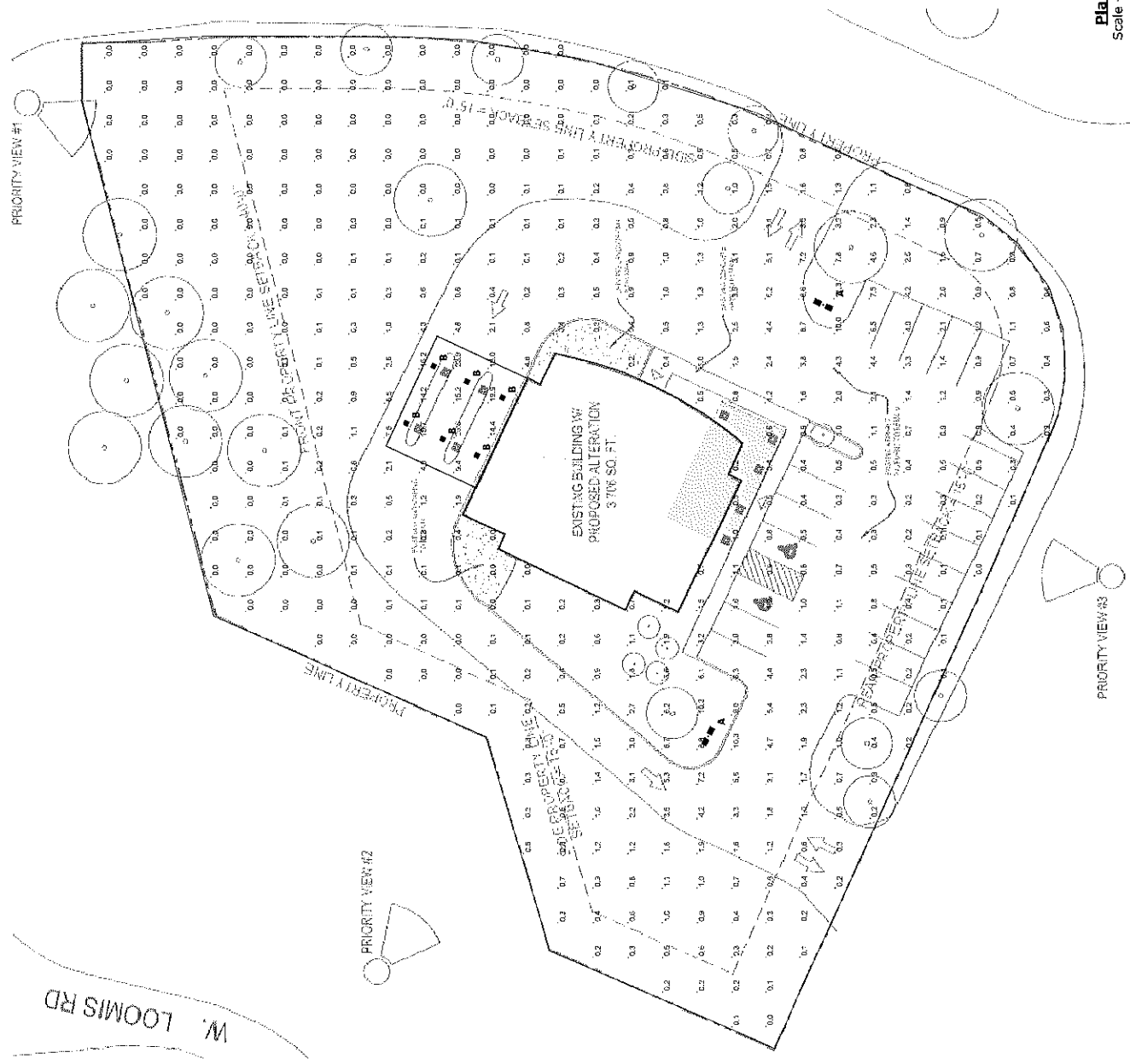
FRANKLIN BANK
EXISTING LIGHTING

Project Name: Franklin Bank
Project No.: 12100217
Drawing No.: 01-01
Drawing Date: 01-01-00
Drawing Title: Summary

1 of 1

NO.	DESCRIPTION	UNIT	QTY	AMOUNT
1	EXISTING LIGHTING - 110V 60	1	1	1.00
2	EXISTING LIGHTING - 110V 60	1	1	1.00
3	EXISTING LIGHTING - 110V 60	1	1	1.00
4	EXISTING LIGHTING - 110V 60	1	1	1.00
5	EXISTING LIGHTING - 110V 60	1	1	1.00
6	EXISTING LIGHTING - 110V 60	1	1	1.00
7	EXISTING LIGHTING - 110V 60	1	1	1.00
8	EXISTING LIGHTING - 110V 60	1	1	1.00
9	EXISTING LIGHTING - 110V 60	1	1	1.00
10	EXISTING LIGHTING - 110V 60	1	1	1.00

1	EXISTING LIGHTING - 110V 60	1	1	1.00
2	EXISTING LIGHTING - 110V 60	1	1	1.00
3	EXISTING LIGHTING - 110V 60	1	1	1.00
4	EXISTING LIGHTING - 110V 60	1	1	1.00
5	EXISTING LIGHTING - 110V 60	1	1	1.00
6	EXISTING LIGHTING - 110V 60	1	1	1.00
7	EXISTING LIGHTING - 110V 60	1	1	1.00
8	EXISTING LIGHTING - 110V 60	1	1	1.00
9	EXISTING LIGHTING - 110V 60	1	1	1.00
10	EXISTING LIGHTING - 110V 60	1	1	1.00



Plan View
Scale - 1" = 14ft

DIVISION 15-3.0700

SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701

GENERAL STANDARDS FOR SPECIAL USES

- A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The project will move forward with matching the use and development standards of the Comprehensive Master Plan established by City of Franklin

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: The project will not have substantial or undue adverse effects upon adjacent properties.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: The project will not be constructed, arranged, and operated in a dominant fashion which in turn would interfere with the surrounding neighborhood.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: The project will use these facilities properly.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The project will not affect overall traffic flow into the development or surrounding streets.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: The projects will not affect the surrounding natural, scenic, or historic features.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: The project will conform with all regulations of the district.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: The project will require all necessary permits during the planning process.

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: The project will strive to benefit the surrounding neighborhood and community.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: The project has been designed specifically for this site.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: The project has been designed to incorporate the clients brand with minimizing the adverse effects of the development on the immediate vicinity.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: The building use will not affect the surrounding area.

City of Franklin Department of City Development

Date: November 2, 2017

To: Mr. Joseph Haider, La Macchia Group

From: City Development Staff

RE: Credit Union UDO Text Amendment and Special Use Amendment
Staff Comments

Please be advised that City Staff has reviewed the above applications for the property located at 7745 West Rawson Avenue. Department comments are as follows for the Unified Development Ordinance (UDO) Text Amendment and the Special Use Amendment applications submitted by Mr. Haider and date stamped by the City of Franklin on October 17, 2017.

City Development Staff Comments

UDO Text Amendment Requirements: Division 15-9.0200 of the UDO.

1. Pursuant to Section 15-9.0203C., please revise the Project Summary to clearly identify the type of zoning change requested. – Please see Updated Project Summary document for items below:
 - a. Please indicate that you are requesting that Table 15-3.0603 of the UDO be amended to allow SIC Codes 6061 (federal credit unions with drive through facilities) and 6062 (state credit unions with drive through facilities) be amended to be a Special Use within the B-3 zoning district.
 - i. Please note that as the applicant, you may request that this use be either a Permitted Use or a Special Use. However, as previously discussed, staff would not support a change to a Permitted Use as other similar uses (banks with drive through facilities, most other uses with drive through facilities, etc.) are all Special Uses. And furthermore, that such uses are uniformly Special Uses in the B-2, B-3, B-4, B-5, B-6, B-7, and CC zoning districts.
 - ii. Please note that while not required for your project, staff will likely also recommend an additional change for SIC Codes 6061 federal credit unions **without** drive through facilities and 6062 state credit unions **without** drive through facilities (to be a Permitted Use in the B-3 zoning district).
 1. Should you agree (or have concerns) with the further change noted above, staff would suggest that be included within your project summary as well.
 - b. You may continue to note that your requested change is also specifically intended to allow a credit union at the former Anchor Bank site.
2. Please note that staff comments relating to Sections 15-9.0203E. through I. are provided in the Special Use/Site Plan sections below.

Special Use Requirements: Division 15-3.0700 of the UDO.

1. Pursuant to Sections 15-3.0701A. and C., please provide responses to each Special Use standard and consideration (please utilize the attached handout). Please note that Section 15-3.0701B. does not apply to the proposed project, and can be noted as such on the handout). – Please see attached responses on Special Use Standards and Regulations document
2. Pursuant to Sections 15-9.0103C., 15-3.0701D., and 15-9.0203E. through I., please submit a complete Site Plan (including associated Architectural, Building Elevation, Landscaping, Natural Resource, etc. plans), hours of operation, and Site Intensity and Capacity Calculations for staff review. More specific comments are provided in the Site Plan section below. – Please refer to attached Architectural Site Plan for reference.

Site Plan Requirements: Division 15-7.0100 of the UDO.

1. Please note that the full sized plans (Site Plan and various associated plans) that were submitted were for the previously approved and developed Anchor Bank. Such plans are not needed for this project submittal or review. – This document will not be included in the overall documents for submittal.
 - a. Please note that staff does not object to provision of a 11" x 17" Site Plan and various associated plans for the proposed building revisions, as long as no major site changes (i.e. parking lot addition) are proposed. Should you wish to proceed with the parking lot addition, at a minimum, full size copies of a more detailed Site Plan will be required.
2. Please note that pursuant to Sections 15-7.0102A. and 15-7.0102L., any approval of the Special Use Amendment must be subsequent to or conditioned upon approval of the subject UDO Text Amendment.
3. Pursuant to Section 15-7.0102B.:
 - a. Please verify that the existing and proposed buildings and structures conform with the subject area requirements (i.e. Site Intensity and Capacity Calculations, lot coverage, etc.). Be sure to include the proposed entry feature and parking lot expansion in the lot coverage calculation. – The client has chosen to eliminate the additional parking stalls from the project scope. Please see the attached updated Architectural Site Plan for reference.
 - b. Please revise the side and rear yard setbacks. Pursuant to Ordinance 2002-1735, Section 3H., the minimum setbacks are per the B-3 zoning district, which has a side yard setback of 10' and a rear yard setback of 20'. Please note that the parking lot setback is 10'. – Please see attached Architectural Site Plan for updates.
 - c. Per Section 15-7.0103J. of the UDO, please verify the maximum height of the proposed building alterations. Staff recommends that detailed Building Elevations be provided depicting the height of the building, of the new entry feature, etc. – Please see attached Architectural Exterior Elevations for updates.

4. Pursuant to Sections 15-7.0102C. and 15-7.0103S., please provide the Site Intensity and Capacity Calculations (please utilize the attached handout). – The client has chosen to eliminate the additional parking stalls from the project scope. Please see the attached updated Architectural Site Plan for reference.
 - a. Please note that should no new development be proposed (i.e. the parking lot addition), this information would not be required.
 - b. Please note that Ordinance 2002-1735 requires that a minimum landscape surface ratio of 35% be maintained at all times between the four parcels comprising Certified Survey Map No. 7170. See the previously provided calculations, and revise accordingly.
5. Pursuant to Sections 15-7.0102G. and 15-7.0103Q., please provide a Natural Resource Protection Plan for the subject parcel. – The client has chosen to eliminate the additional parking stalls from the project scope. Please see the attached updated Architectural Site Plan for reference.
 - a. Please note that while the Wisconsin Department of Natural Resources approved filling of the wetland on the subject property by letter dated September 30, 2002, review of aerial photographs indicate that adjacent wetlands may have grown, and now extend onto the subject parcel.
 - b. Please note that should no new development be proposed (i.e. the parking lot expansion), a Natural Resource Protection Plan would not be required.
 - c. Please note that per Section 15-7.0103M. of the UDO, all required wetland setbacks, wetland buffers, etc. must be shown on the Site Plan. Staff does not object if this information is only shown on the Natural Resource Protection Plan, if the Site Plan becomes crowded with too much information.
6. Pursuant to Sections 15-7.0102H. and 15-7.0103R., please provide a Landscape Plan. – Please see attached Landscaping Plan for reference.
 - a. Please note that staff does not object to re-establishment of the previously approved landscape plan for the Anchor Bank development dated 7-8-02, subject to replacement of the Ash Trees with some other native trees, verification that all originally proposed landscaping still exists and is healthy, and with additional landscaping added based upon any parking stalls added (per the standards set forth in Section 15-5.0300 of the UDO).
7. Pursuant to Section 15-7.0103B., please provide the owner's/developer's name and contact information on the Site Plan. – Please see attached Architectural Site Plan for updates.
8. Pursuant to Section 15-7.0103C., please provide the architect's/engineer's name, contact information, and seal on the Site Plan. – Please see attached Architectural Site Plan for updates.
9. Pursuant to Section 15-7.0103F., please provide existing and proposed topography on the Site Plan. – The client has chosen to eliminate the additional parking stalls from the project scope. Please see the attached updated Architectural Site Plan for reference.
 - a. Please note that should no new development be proposed (i.e. the parking lot expansion), the topographic information would not be required.

10. Pursuant to Section 15-7.0103H., please provide additional details of the drive thru queuing lanes, and justification for the additional parking. - The client has chosen to eliminate the additional parking stalls from the project scope. Please see the attached updated Architectural Site Plan for reference.
 - a. Please note that Ordinance No. 2002-1735 requires a minimum vehicle queuing of 5 for each drive thru lane.
 - i. Staff believes that inadequate queuing is provided, and that such queuing is unsafe due to potential conflicts with the proposed additional parking. Therefore, staff recommends that the additional parking be removed or relocated.
 - b. Please note that Ordinance No. 2002-1735, as well as the standards in Table 15-5.0203 of the UDO, only require 20 parking stalls. As proposed, 28 stalls, or 40% more than required, would be provided. Per Section 15-5.0203B.ii. of the UDO, detailed justification for this parking increase is required.
 - i. Absent appropriate detailed justification for the additional parking, staff recommends removal of the additional parking.
11. Please note that pursuant to Section 15-7.0103I., and as set forth in Ordinance 92-1229, Section .02, 17. Signage, all signage shall obtain a Sign Permit (from the Building Inspection Department) after review and approval by the Architectural Review Board. A separate application, fee, review, and approval will therefore be required. - Further action will be taken after Common Council approval in regards to Signage requirements, approvals, and permits.
12. Pursuant to Section 15-7.0103O., please note if any exterior work/changes will be made to any existing or proposed sanitary sewers, storm sewers, and water mains. If so, please depict those changes on a Site Plan or Utility Plan map. - All existing utilities coming into the site will remain. No sanitary sewers, storm sewers and water mains will be affected.
13. Pursuant to Section 15-7.0103V., staff recommends that more architectural details be provided, including the height of the various proposed building features, and the specific materials and colors associated with the building changes. - Please see attached Architectural Exterior Elevations for updates.
14. Pursuant to Section 15-7.0103W., please provide details of any new/revised lighting. If parking lot lighting is added or revised, a Lighting Plan meeting the standards of Section 15-5.0400 of the UDO will be required. - The existing exterior lighting is to remain. Please see attached Photometric Plan for reference.
15. Pursuant to Section 15-3.0803I., please identify the location of the trash dumpster, which must be screened from public view with a sight proof enclosure and landscaping, and constructed of the same materials as the principal building. - Please see attached Architectural Site Plan and Landscaping plan for updates.

Other Staff Comments, Suggestions, Recommendations.

1. Staff suggests that a sidewalk connecting the building to the existing sidewalk to the east be constructed along with the parking lot changes. Should additional site changes be proposed now or in the future, staff would recommend the sidewalk connection at this time. - The client has chosen to eliminate the additional parking

stalls from the project scope. Please see the attached updated Architectural Site Plan for reference.

Police Department Staff Comments

The Franklin Police Department has no issues with this project.

Fire Department Staff Comments

- Due to the current status of the building, the automatic fire sprinkler system has been vacated with the permission of the fire department. The sprinkler and alarm systems must be restored upon occupancy. – The sprinkler system will be restored to original design prior to scheduled occupancy.
- The Fire department has no other concerns regarding the proposed special use amendment at this location.

Engineering Department Staff Comments

- Prior to the construction/modification of said existing Anchor Bank, an erosion control plan must be submitted for review and approval. - The client has chosen to eliminate the additional parking stalls from the project scope. Please see the attached updated Architectural Site Plan for reference.
- Future expansion of the parking lot must be reviewed and approved by the Engineering Department. - The client has chosen to eliminate the additional parking stalls from the project scope. Please see the attached updated Architectural Site Plan for reference.
- Any work that will be done in the parking lot needs to ensure protection of the inlets from any debris and sediments coming from the work areas. - The client has chosen to eliminate the additional parking stalls from the project scope. Please see the attached updated Architectural Site Plan for reference.

09.25.17

Nick Fuchs
Planning Department: City of Franklin
9229 W. Loomis Rd
Franklin, WI 53132

7745 W Rawson Ave. Project Summary

Mr. Fuchs,

The primary purpose of this summary is to apply for a special use amendment for the drive-thru function located at 7745 W Rawson Ave. The property currently has an existing building used as Anchor bank. The future owner of the building will also be a financial institution, and does not plan to change the use of the building. The future owner would like to utilize the existing drive-thru function, and this special use amendment does not transfer to the new owner. During the same special use approval, the future owner has decided to renovate the building to better match their prototype.

This renovation intent includes: building a new entry feature, adding lattice work, and adjusting the paint colors of the building to better match their brand. The new entry feature will rise above the existing building to a height of approximately 24'-0" above grade to allow better site lines from Rawson Ave. and Loomis Rd. This height will meet the City of Franklin code by not exceeding the maximum height of 25'-0". The entry will be built of steel framing with curtain wall system on three sides with a standing seam metal roof. The structure will be supported with rectangular columns clad in stained premium grade cedar boards. The lattice work will be included on the east and west elevations, and the existing standing seam metal roof and metal fascia will be repainted.

The overall building footprint will not be changed. The site will be affected slightly by the five new columns supporting the new structure located at the main entry. The existing concrete curb and gutter, asphalt pavement, and concrete walks will remain unless damaged during construction. The existing landscaping will be reviewed and replaced if damaged during construction or if in poor condition. All replaced landscaping will be replaced in kind. The exterior lighting will remain. Additional exterior wall mounted lighting may be included through the design process, and will be included in overall information packet prior to scheduled Plan Commission meeting.

The exterior signage locations have been shown for reference only on the exterior elevations and renderings, however, will not be reviewed until the signage documents have been completed and approved by the client.



If there is any additional information you may need through this review process, please feel free to contact us at La Macchia Group. Our contact information is located below. Thank you for your time during this review.

Sincerely,

Joe Haider
Designer
Direct: 414.727.4395
Fax: 414.223.4488
jhaider@lamacchiagroup.com
www.lamacchiagroup.com

Enclosure/s

- 1.) Application
- 2.) Architectural Conceptual Site Plan
- 3.) Exterior Elevations
- 4.) Three (3) Exterior Renderings
- 5.) Existing Drawings of Anchor bank

Items to Follow (prior to Plan Commission):

- 1.) Landscaping Plan
- 2.) Photometric Plan



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