


APPROVAL 	REQUEST FOR COUNCIL ACTION	MEETING DATE 8/7/2018
REPORTS & RECOMMENDATIONS	Kayla's Playground Ambassador Program: A Volunteer Program Approved by the Parks Commission	ITEM NUMBER G.10.

At their meeting of July 17, 2018, the Common Council tabled to the August 7, 2018 meeting item G.1(c), "Kayla's Playground Ambassador Program: A Volunteer Program Approved by the Parks Commission."

The program as discussed was not scheduled to begin until June 1, 2019, so there is no immediate rush. Importantly, the issues raised by the Common Council require greater attention than was available since the item was last addressed, particularly since budget development efforts are well under way. Additionally, it would be valuable to have more time to work with representatives of the City of Kenosha to learn from their program experiences.

Based on the Council's previous discussion, the subsequent review will, at a minimum, consider the following:

- 1) Liability waiver forms;
- 2) Control of T-shirts;
- 3) Relationship, if any, to other programs being considered by the Library Board within the parks;
- 4) Supervision or oversight of the volunteers;
- 5) Program liability;
- 6) Clarification of program components and details; and
- 7) Collection of park-use statistics by the volunteers.

Therefore, based, in part, on immediate priorities, the 2019 start date, and the range of issues to investigate, the Director of Administration requests referral of the issue to staff for further evaluation. It will be brought back when the information gathering is completed but in time so that the Common Council may fully vet and approve or reject the idea prior to any potential implementation.

COUNCIL ACTION REQUESTED

Motion to refer to staff.

BLANK PAGE

APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 08/07/18
REPORTS & RECOMMENDATIONS	RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR PROPERTY LOCATED AT 2875 WEST RYAN ROAD TO ALLOW FOR DEMOLITION OF THE EXISTING HALQUIST STONE OFFICE/SHOWROOM AND CONSTRUCTION OF AN APPROXIMATELY 4,207 SQUARE FOOT REPLACEMENT OFFICE/SHOWROOM AND TO ALLOW FOR CHANGES TO THE OUTDOOR LANDSCAPING SHOWROOM AND OFF-STREET PARKING (HALQUIST STONE COMPANY, INC., APPLICANT)	ITEM NUMBER <i>G. 11.</i>

At the July 19, 2018 meeting of the Plan Commission the following action was approved: move to recommend approval of a resolution to amend Resolution No. 92-3901, imposing conditions and restrictions for the approval of a Special Use for Halquist Stone located at 2875 West Ryan Road to allow for demolition of the existing Halquist Stone office/showroom and construction of an approximately 4,207 square foot replacement office/showroom and to allow for changes to the outdoor landscaping showroom and off-street parking, subject to striking Condition Nos. 7 and 8.

Per the above motion, Staff struck the following conditions from the draft resolution:

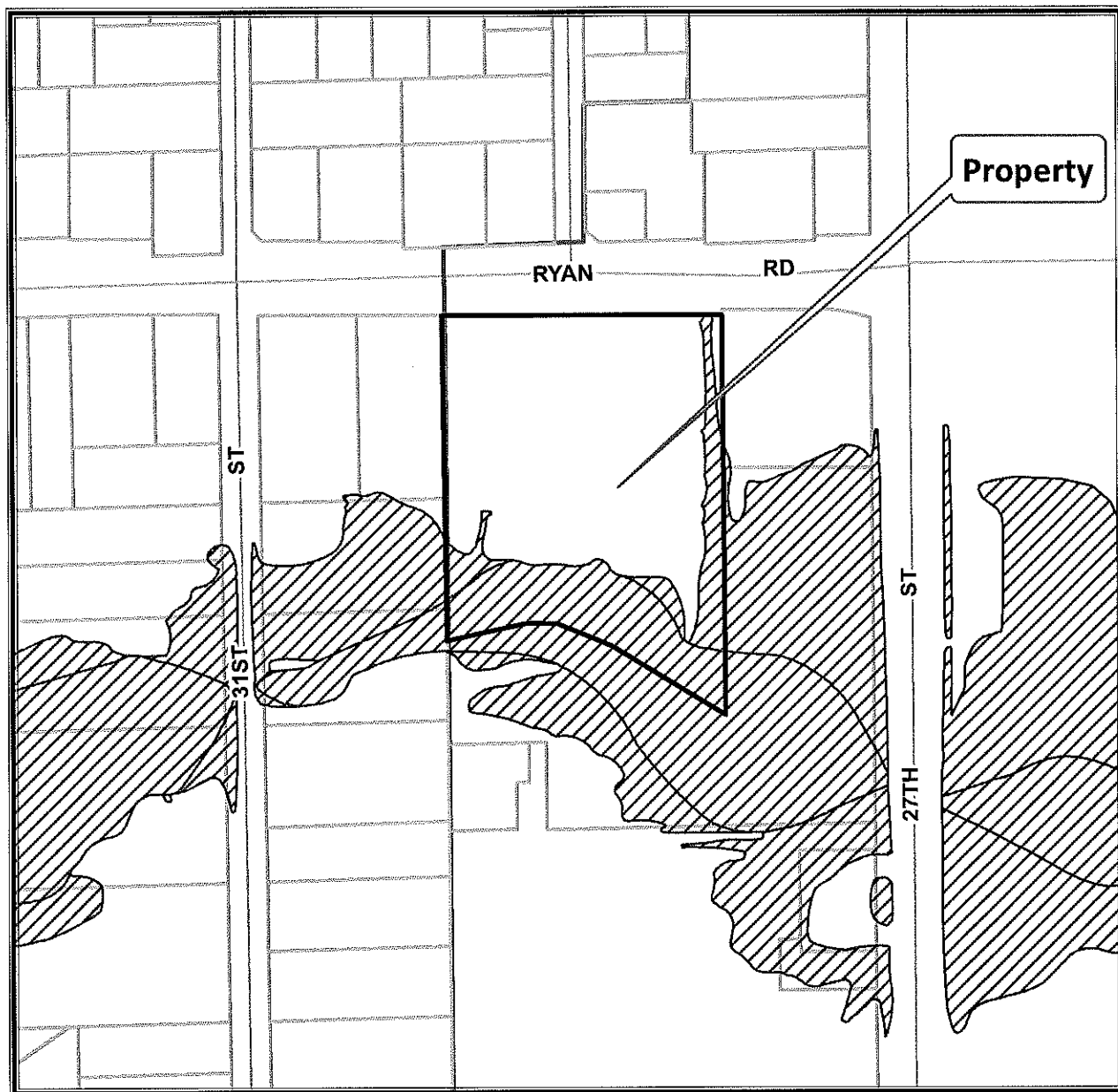
7. Approval of the requested waiver for Section 15-3.0353B.7. (Pedestrian Considerations), provided the applicant adds a porch, awning, or portico above the main entrance, which compliments the building's exterior.
8. Approval of the requested waiver from Section 15-3.0355B.3.b. (Building Materials and Colors), provided the applicant use wood siding, cementitious siding (e.g. JamesHardie) or engineered wood siding (e.g. LP SmartSide) in place of corrugated metal siding on the west and south elevations of the building, the gables, and along the roofline.

COUNCIL ACTION REQUESTED

A motion to adopt Resolution No. 2018-_____, a resolution imposing conditions and restrictions for the approval of a Special Use for property located at 2875 West Ryan Road to allow for demolition of the existing Halquist Stone office/showroom and construction of an approximately 4,207 square foot replacement office/showroom and to allow for changes to the outdoor landscaping showroom and off-street parking (Halquist Stone Company, Inc., Applicant)



2875 W. Ryan Road
TKN: 902 9965 009



Planning Department
(414) 425-4024

0 190 380 760 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2018 Aerial Photo

RESOLUTION NO. 2018-_____

A RESOLUTION TO AMEND RESOLUTION NO. 92-3901 IMPOSING
CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR
HALQUIST STONE LOCATED AT 2875 WEST RYAN ROAD TO ALLOW FOR
DEMOLITION OF THE EXISTING HALQUIST STONE OFFICE/SHOWROOM AND
CONSTRUCTION OF AN APPROXIMATELY 4,207 SQUARE FOOT REPLACEMENT
OFFICE/SHOWROOM AND TO ALLOW FOR CHANGES TO THE OUTDOOR
LANDSCAPING SHOWROOM AND OFF-STREET PARKING
(HALQUIST STONE COMPANY, INC., APPLICANT)

WHEREAS, Halquist Stone Company, Inc., having petitioned the City of Franklin for the approval of an amendment to Resolution No. 92-3901, conditionally approving a Special Use for the establishment of an open sales lot of wholesale and retail sale of bulk landscape materials, upon property located at 2875 West Ryan Road, such property being zoned B-4 South 27th Street Mixed-Use Commercial District, South 27th Street Design Overlay District, FW Floodway District and FC Floodplain Conservancy District, more particularly described as follows:

Lot 1 of Certified Survey Map No. 8003, being a redivision of Parcel 1 of Certified Survey Map No. 5782 in the Northeast 1/4 of the Northeast 1/4 of Section 25, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin; Tax Key No.: 902-9965-009; and

WHEREAS, such proposed amendment being for the purpose of demolishing the existing office/showroom and constructing an approximately 4,207 square foot replacement office/showroom, changing the outdoor landscaping showroom and off-street parking; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 5th day of July, 2018, and the Plan Commission thereafter having determined to recommend that the proposed amendment to Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed amendment to Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

HALQUIST STONE COMPANY, INC. – AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2018-_____

Page 2

WHEREAS, the Common Council having received such Plan Commission recommendations and also having found that the proposed amendment to Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Halquist Stone Company, Inc., for the approval of an amendment to Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this amendment to Special Use is approved only for the use of the subject property by Halquist Stone Company, Inc., successors and assigns, for the Halquist Stone Company, Inc. office/showroom replacement, outdoor landscaping showroom changes and off-street parking project, which shall be developed in substantial compliance with and constructed, operated and maintained by Halquist Stone Company, Inc., pursuant to those plans City file-stamped July 9, 2018 and annexed hereto and incorporated herein as Exhibit A.
2. Halquist Stone Company, Inc., successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for the Halquist Stone Company, Inc. office/showroom replacement, outdoor landscaping showroom changes and off-street parking project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Halquist Stone Company, Inc. and the Halquist Stone Company, Inc. office/showroom replacement, outdoor landscaping showroom changes and off-street parking project for the property located at 2875 West Ryan Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. Native species of landscape plantings shall be planted adjacent to the perimeter row of off-street parking spaces, as this area is within the Shore Buffer.

HALQUIST STONE COMPANY, INC. – AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2018-_____

Page 3

5. A written conservation easement document shall be submitted for Common Council review and approval and recording with the Milwaukee County Register of Deeds, prior to issuance of a Building Permit.
6. Signage shall be reviewed and approved separately by the Architectural Review Board and subject to the issuance of a Sign Permit by the Inspection Department.

BE IT FURTHER RESOLVED, that in the event Halquist Stone Company, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this amendment to Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the additional Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be an amendment to such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance, and that all of the terms and conditions of Resolution No. 92-3901, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of completion of the Halquist Stone Company, Inc. office/showroom replacement, outdoor landscaping showroom changes and off-street parking.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

HALQUIST STONE COMPANY, INC. – AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2018-_____

Page 4

Introduced at a regular meeting of the Common Council of the City of Franklin this
_____ day of _____, 2018.

Passed and adopted at a regular meeting of the Common Council of the City of
Franklin this _____ day of _____, 2018.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

**CITY OF FRANKLIN****REPORT TO THE PLAN COMMISSION**

Meeting of July 19, 2018

Special Use Amendment

RECOMMENDATION: City Development Staff recommends approval of the proposed Special Use Amendment for Halquist Stone Company, Inc. upon property located at 2875 West Ryan Road, subject to the conditions set forth in the draft Resolution. Staff further recommends approval of the waivers to the South 27th Street Design Overlay District Standards subject to the conditions also set forth in the draft Resolution.

Project Name:	Halquist Stone Company, Inc. Special Use Amendment
Project Address:	2875 West Ryan Road
Applicant:	Halquist Stone Company, Inc.
Owners (property):	Halquist Brothers Real Estate Partnership
Current Zoning:	B-4 South 27 th Street Mixed Use Commercial District and South 27 th Street Design Overlay District
2025 Comprehensive Master Plan	Mixed Use and Areas of Natural Resource Features
Use of Surrounding Properties:	Commercial (to the north, south and east), Single-Family Residence District (to the west).
Applicant Action Requested:	Request to table the item to the July 19 th Plan Commission meeting.

Please note:

- Staff recommendations are underlined, in italics and are included in the draft resolution.
- Staff suggestions are only underlined and are not included in the draft resolution.

INTRODUCTION:

On May 24, 2018, Brandon Reinke of Galbraith Carnahan Architects submitted a Special Use Amendment Application on behalf of Halquist Stone Company, Inc. requesting approval to demolish the existing Halquist Stone office/showroom and replace it with a new approximately 4,207 square foot office/showroom. The new showroom will allow more products to be displayed and provide space for customers to meet with designers and contractors. The applicant is also proposing to use the exterior of the building to change stone veneers by wall sections to display stone veneer products. Changes to the outdoor landscaping showroom and off-street parking are also being proposed. The existing warehouse portion of Halquist's building will remain unchanged.

HISTORY:

At the July 5, 2018 Plan Commission meeting, the following action was approved: move to postpone and continue the item to the July 19, 2018 Plan Commission meeting.

PROJECT DESCRIPTION AND ANALYSIS:

The subject property is approximately 8.42-acres and is located south of W. Ryan Road and west of S. 27th Street. The property is Lot 1 of Certified Survey Map No. 8003.

Site Plan:

Halquist Stone Company, Inc. is proposing a new approximately 4,207 square foot office/showroom to replace an existing 2,500 square foot showroom. An approximately 5,500 square foot warehouse building and 3-acre outdoor storage yard will remain undisturbed. The applicant is proposing approximately 48% of onsite greenspace (a minimum of 30% is required by the B-4 zoning district standards). The site will have seventeen (17) off-street parking spaces, including one (1) accessible parking space, in accordance with UDO minimum requirements.

Landscape Plan:

Staff recommends the use of native species for the landscape plantings adjacent to the perimeter row of off-street parking spaces, as this area is within the Shore Buffer.

Natural Resource Protection Plan:

Eric Parker of Stantec prepared a Natural Resource Protection Plan (NRPP) for the subject property on September 27, 2017. *Staff recommends the applicant prepare a written conservation easement document for Common Council review and approval and recording with the Milwaukee County Register of Deeds, prior to issuance of a Building Permit.*

Dumpster Enclosure:

According to Section 15-3.0803I of the Unified Development Ordinance, "All garbage cans, trash dumpsters, trash containers, and other storage devices situated on any property shall be closed containers with lids and shall be concealed or suitably screened from public view. Sight-proof fencing (wood or masonry) and landscaping shall be used to totally obstruct vision into the storage areas. Where such facilities are provided outside of a building, they shall be screened from public rights-of-way and adjacent property by an enclosure constructed of materials compatible with the materials on the front building wall of the main building." Currently, an unscreened dumpster is being stored outside, southeast of the building adjacent to the outdoor storage yard. Therefore, *Staff recommends submittal of a revised site plan depicting the location of a dumpster enclosure, along with a dumpster enclosure elevation drawing to the Department of City Development for review and approval by Staff.*

Signage:

The building elevations depict wall signs for reference only. *Staff recommends signage be reviewed and approved separately by the Architectural Review Board and subject to the issuance of a Sign Permit by the Inspection Department.*

South 27th Street Design Overlay District Standards and Necessary Waivers:

The subject property is located within the South 27th Street Design Overlay District. This zoning district contains special architectural, parking and landscaping standards for sites with new buildings or for projects that result in an increase in floor area of fifty (50) percent or more over the floor area of the existing building at the time of the addition. The proposed new building must meet these standards.

The Design Overlay District authorizes the Plan Commission to waive any of the District standards by 5 votes of all the members of the Plan Commission, provided that supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the waiver of the particular standard, or, in the case of parking provisions, where it can be demonstrated that the required parking is excessive or where specified areas are provided for the future provision of additional parking if necessary.

The applicant has provided a Project Summary in which they outline the waivers being requested. Below, is a comprehensive list of the waivers being requested, along with the applicant's response and staff's recommendation to each requirement.

1. **Section 15-3.0353(B)(7). Pedestrian Considerations.** The building shall provide awnings or other weather protection features within thirty (30) feet of all customer entrances along a building.

Applicant's response: "Under Section 15-3.0353(B)(7) an awning or weather protection is required within 30 feet of all customer entrances. We feel the modern look of the building would be detracted with the use of an awning above the entrance of the building. The entrance is currently shown as windows from the ground to the roof, which we feel attracts one's eyes to the entrance and the stone on the inside of the vestibule."

Staff's Recommendation/Suggestion: Staff recommends adding a porch, awning or portico above the main entrance, which compliments the building's exterior.

2. **Section 15-3.0355(B)(3)(b). Building Materials and Colors.** Exterior building materials shall convey an impression of durability. Materials such as masonry, stone, stucco, and wood are encouraged. Metal is not allowed as the primary exterior building material, though it may be used for accents, including awnings.

Applicant's response: "Included in the east and west elevations of the building is the use of metal siding in the roof peak area. This siding and color are consistent with the look of the roof and adds visual appeal and blending of the building. Metal siding is also a very durable material."

Staff's Recommendation/Suggestion: Staff recommends using wood siding, cementitious siding (e.g. JamesHardie) or engineered wood siding (e.g. LP SmartSide) in place of corrugated metal siding on the west and south elevations of the building, the gables, and along the roofline.

STAFF RECOMMENDATION:

City Development Staff recommends approval of the propose Special Use Amendment for Halquist Stone Company, Inc. upon property located at 2875 West Ryan Road, subject to the conditions set forth in the draft Resolution. Staff further recommends approval of the waivers to

the South 27th Street Design Overlay District Standards subject to the conditions also set forth in the draft Resolution.

Exhibit A



July 2, 2018

City of Franklin
Mr. Orrin Sumwalt
9229 W. Loomis Road
Franklin, WI 53132

Mr. Sumwalt:

This letter accompanies the resubmitted Special Use Amendment Application for Halquist Stone Company, Inc. located at 2875 W. Ryan Road in the City of Franklin.

Halquist Stone Company, Inc. has been located at 2875 W. Ryan Road since 1992. Halquist Stone Company, Inc. is a manufacturer and reseller of natural stone products and cultured stone products used in the building and landscaping projects of residential and commercial applications.

SUMMARY OF THE PROJECT

The site is approximately 8 acres in size and currently has an approximate 5,500 square foot warehouse, an approximate 2,500 square foot office and retail space, a decorative only landscaping pond with outdoor landscaping showroom, and approximately 3 acres of outside storage which is screened and enclosed with fencing.

Our plans include demolishing the current office and retail space, reconfiguring the parking lot, constructing a new office and retail space in place of the old space, and completing an extensive outdoor landscaping show area. If all approvals are granted, we would like to begin demolition and site grading in September 2018 with an expected completion in February 2019. We would expect landscaping would continue in into spring as weather permits, but should be completed prior to July of 2019.

We do not intend to disturb the current outdoor storage or warehouse space. Those areas will remain the same as they are now.

We estimate the total cost to demolish and reconstruct the office and retail area to be \$550,000 and the total cost to construct the outdoor landscaping display area to be \$350,000. The current assessed value of the land is \$1,184,700 and the buildings are assessed at \$260,300.

Our new retail and office space will look much more visually appealing from Ryan Road. The front contains three sections of ground to roof windows and three sections of natural stone veneer with first floor windows. We intend the three section of stone veneer to be different variations of products within the Lannon stone product line. The colors will not clash, but will be different variations of the same stone. The vestibule will be windows from ground to roof with views to the inside stone, which will again be a Lannon stone product. We have not included an awning on the front entrance as we feel that feature would detract from the modern look of the building and also block the views to the inside of the vestibule.

From the east and west sides we are utilizing natural stone, which will blend with the building look. We are proposing a metal siding material in the peak of the roof which will match the roof materials and help blend the entire building.

The current metal storage warehouse space will not be changed with this project. Our warehouse space is used for overnight storage of our equipment, vehicles and inventory which is susceptible to weather.

All outdoor storage would remain with the current fencing in place. No vehicles are stored overnight outdoors.

Halquist Stone Company, Inc. has been operating this location since the early 1990's. We intend this location to employ 3 full time persons year round and increasing to 7 full time persons during the building months. Our hours of operations at this location is Monday through Friday 7:00 am to 5:00 pm and Saturdays from 7:00 am to 12:00 pm.

MARKET ANALYSIS

Since Halquist Stone Company, Inc. has been in this location since the early 1990's, we hope this narrative will serve as the market analysis as required under the UDO Section 15-7.0103-AA.

Over the past 30 years, the stone industry has diversified and added many new natural stone colors, natural stone styles and cultured stone products. Our updated showroom displays will allow us to easily adapt to new products by quickly changing the display units. Without the ability to quickly change the display units, we will be left with outdated displays which will decrease market penetration.

Based on our history at this location, we expect annual sales to be between \$1,500,000 and \$2,000,000 with growth based on the market.

REQUESTED WAIVERS

We are requesting three waivers from the UDO.

1. Under Section 3.0353(B)(7) an awning or weather protection is required within 30 feet of all customer entrances. We feel the modern look of the building would be detracted with the use of an awning above the front entrance of the building. The entrance is currently shown as windows from the ground to the roof which we feel attracts one's eyes to the entrance and the stone on the inside of the vestibule.

July 2, 2018
City of Franklin
Page 3

2. Included in the east and west elevations of the building is the use of metal siding in the roof peak area. This siding and color are consistent with the look of the roof and adds visual appeal and blending of the building. Metal siding is also a very durable material. We would request a waiver to use these metal products in the areas as shown.
3. We have included a short market analysis above and would ask that analysis satisfy the requirements of UDO Section 15-7.0103-AA.

If you should have any additional questions please do not hesitate to call me at 262-246-9000.

Sincerely,

A handwritten signature in blue ink, reading "Wade Balson". The signature is fluid and cursive, with a large, sweeping initial "W".

Wade Balson, CFO

SECTION 15-3.0502**CALCULATION OF BASE SITE AREA**

The *base site area* shall be calculated as indicated in Table 15-3.0502 for each parcel of land to be used or built upon in the City of Franklin as referenced in Section 15-3.0501 of this Ordinance.

Table 15-3.0502

**WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT**

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	8.47 acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	- acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space. <i>From 15-3.0503</i>	- acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	- acres
STEP 5:	Equals "Base Site Area"	= 8.47 acres

SECTION 15-3.0503**CALCULATION OF THE AREA OF NATURAL RESOURCES TO BE PROTECTED**

All land area with those natural resource features as described in Division 15-4.0100 of this Ordinance and as listed in Table 15-3.0503 and lying within the *base site area* (as defined in Section 15-3.0502), shall be measured relative to each natural resource feature present. The actual land area encompassed by each type of resource is then entered into the column of Table 15-3.0503 titled "Acres of Land in Resource Feature." The acreage of each natural resource feature shall be multiplied by its respective *natural resource protection standard* (to be selected from Table 15-4.0100 of this Ordinance for applicable agricultural, residential, or nonresidential zoning district) to determine the amount of resource protection land or area required to be kept in open space in order to protect the resource or feature. The sum total of all resource protection land on the site equals the *total resource protection land*. The *total resource protection land* shall be calculated as indicated in Table 15-3.0503.

Table 15-3.0503

WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X _____ = _____	_____
20-30%	0.65	0.75	0.70	X _____ = _____	_____
+ 30%	0.90	0.85	0.80	X _____ = _____	_____
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X <u>0.621</u> = _____ X _____	_____
Young	0.50	0.50	0.50	= <u>0.435</u> = _____	_____
Lakes & Ponds	1	1	1	X _____ = _____	_____
Streams	1	1	1	X _____ = _____	_____
Shore Buffer	1	1	1	X <u>2.42</u> = <u>2.42</u>	_____
Floodplains	1	1	1	X <u>0.396</u> = <u>0.396</u>	_____
Wetland Buffers	1	1	1	X _____ = _____	_____
Wetlands & Shoreland Wetlands	1	1	1	X _____ = _____	_____
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)				<u>3.251</u>	_____

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

Table 15-3.0505

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>8.47</u> Multiply by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X <u>0.3</u> Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE = <u>2.5</u> acres	
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>8.47</u> Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: <u>- 3.251</u> Equals NET BUILDABLE SITE AREA <u>From 15-3.0502</u> = <u>5.2</u> acres	
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take <i>Net Buildable Site Area</i> (from Step 2 above): _____ Multiply by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X _____ Equals MAXIMUM NET FLOOR AREA YIELD OF SITE = _____ acres	N/A
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): _____ Multiply by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X _____ Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE = _____ acres	N/A
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above); (Multiple results by 43,560 for maximum floor area in square feet):	<u>5.2</u> acres <u>(226,512 s.f.)</u>

Exemptable
 188190 SF
 Prop Imp Onsite
 188190 + 2904
 = 191094 SF
 Prop Total Open Space
 = 4.08 Acres or 48%
 of 8.47 acres

Natural Resource Protection Plan

Halquist Ryan Road Retail
Facility
City of Franklin, Milwaukee
County, Wisconsin
Stantec Project #: 193705595
Lead Investigator: Eric C. Parker



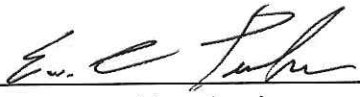
Prepared for:
Mr. Bill Halquist
Halquist Stone Company, Inc.
N51 W23563 Lisbon Road
Sussex, WI 53089

Prepared by:
Stantec Consulting Services Inc.
12075 Corporate Parkway,
Suite 200
Mequon, Wisconsin 53092
Phone: (414) 218-4450
Fax: (262) 241-4901

September 27, 2017

Sign-off Sheet

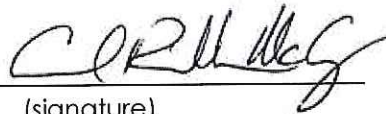
This document entitled Natural Resource Protection Plan was prepared by Stantec Consulting Services Inc. ("Stantec") for the account of Halquist Stone Company (the "Client"). Any reliance on this document by any third party is strictly prohibited. The material in it reflects Stantec's professional judgment considering the scope, schedule and other limitations stated in the document and in the contract between Stantec and the Client. The opinions in the document are based on conditions and information existing at the time the document was published and do not consider any subsequent changes. In preparing the document, Stantec did not verify information supplied to it by others. Any use which a third party makes of this document is the responsibility of such third party. Such third party agrees that Stantec shall not be responsible for costs or damages of any kind, if any, suffered by it or any other third party because of decisions made or actions taken based on this document.

Prepared by 
(signature)

Eric C. Parker, PWS, Senior Scientist

Reviewed by 
(signature)

Brian S. Lennie, Associate/Senior Scientist/CWS

Independent Review by 
(signature)

Carol R. McCoy, Associate/Project Manager

NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company
TABLE OF CONTENTS
September 27, 2017

Table of Contents

1.0	INTRODUCTION	1.1
2.0	METHODS.....	2.1
2.1	FEATURE DETERMINATIONS.....	2.1
2.2	STEEP SLOPES	2.1
2.3	WOODLANDS AND FORESTS.....	2.1
2.4	LAKES AND PONDS	2.1
2.5	STREAMS	2.2
2.6	SHORE BUFFERS.....	2.2
2.7	FLOODPLAIN/FLOODWAY	2.2
2.8	WETLANDS AND SHORELAND WETLANDS	2.2
2.9	WETLAND BUFFERS.....	2.2
2.10	WETLAND SETBACKS	2.2
3.0	RESULTS	3.3
3.1	SITE DESCRIPTION	3.3
3.2	STEEP SLOPES	3.3
3.3	WOODLANDS AND FORESTS.....	3.3
3.4	LAKES AND PONDS	3.3
3.5	STREAMS	3.3
3.6	SHORE BUFFERS.....	3.4
3.7	FLOODPLAIN/FLOODWAY	3.4
3.8	WETLANDS AND SHORELAND WETLANDS	3.4
3.9	WETLAND BUFFERS.....	3.4
3.10	WETLAND SETBACKS	3.4
4.0	CONCLUSION	4.5
5.0	REFERENCES	A.1

LIST OF TABLES

Table 1 Summary of Wetlands Identified within the Property	3.4
--	-----

LIST OF APPENDICES

APPENDIX A	– FIGURES.....	A.2
APPENDIX B	– SITE PHOTOGRAPHS.....	B.3

NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company, Inc.
INTRODUCTION
August 27, 2017

1.0 INTRODUCTION

Stantec Consulting Services Inc. (Stantec) performed an investigation of natural resources per the City of Franklin's Unified Development Ordinance (UDO) for the Halquist Retail Stone Facility property (the "Property") on behalf of Halquist Stone Company, Inc (Halquist). The Property is approximately 8.45 acres in size and located in Section 25, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin. Specifically, the Property is located south of Ryan Road - State Trunk Highway (STH) 100 and between STH 241 and South 31st Street (Figure A).

The purpose and objective of the investigation was to: 1) determine the type, location, and extent of natural resources within the Property; and 2) for the natural resource types present, to delineate their boundaries. Field work was completed by Eric C. Parker of Stantec on August 29th, and September 14th, 2017. One shoreland wetland, two waterways, one landscape pond, two areas of mature woodland, and floodplain were identified within the Property.

The wetlands identified in this report may be subject to federal regulation under the jurisdiction of the U.S. Army Corps of Engineers (USACE), state regulation under the jurisdiction of the Wisconsin Department of Natural Resources (WDNR), and local jurisdiction under the City of Franklin. The remaining natural resources are subject to the City of Franklin's UDO. Stantec recommends Stantec's wetland delineation report (provided as a separate report) be submitted to City planning staff, the WDNR, and USACE for final jurisdictional review and concurrence.

NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company, Inc.
METHODS
August 27, 2017

2.0 METHODS

2.1 FEATURE DETERMINATIONS

The following natural resources features were investigated for presence on the Property per Section 15-4.0102 of the UDO: Steep Slopes, Woodlands and Forests, Lakes and Ponds, Streams, Shore Buffers, Floodplain/Floodway, Wetlands and Shoreland Wetlands, Wetland Buffers, and Wetland Setbacks.

2.2 STEEP SLOPES

Steep slopes as defined in the UDO are greater than or equal to 10 percent. The protection standard varies for slopes steeper than 20 percent, and additionally for slopes steeper than 30 percent.

Contours available through the United States Digital Service / Natural Resource Conservation Service (USDS/NRCS) National Elevation Data 30 meter (NED) for Milwaukee County were obtained and slopes were identified using GIS, calculated from the NED.

2.3 WOODLANDS AND FORESTS

The UDO defines woodlands and forests as either "Mature" or "Young":

Mature: An area or stand of trees whose total combined canopy covers an area of one (1) acre or more and at least fifty (50) percent of which is composed of canopies of trees having a diameter at breast height (DBH) of at least ten (10) inches; or any grove consisting of eight (8) or more individual trees having a DBH of at least twelve (12) inches whose combined canopies cover at least fifty (50) percent of the area encompassed by the grove. However, no trees planted and grown for commercial purposes should be considered a mature woodland.

Young: An area or stand of trees whose total combined canopy covers an area of one-half (0.50) acre or more and at least fifty (50) percent of which is composed of canopies of trees having a diameter at breast height (DBH) of at least three (3) inches. However, no trees planted and grown for commercial purposes shall be considered a young woodland.

Once determined as either young or mature based on the above definitions, the vertical plane of the outer drip-line of the exterior trees defines the edges of the woodland.

2.4 LAKES AND PONDS

Determinations of navigability and jurisdiction of waterbodies such as lakes or ponds, was beyond the scope of the investigation. However, if observed, waterbodies and/or other connections to off-site wetland or aquatic features that may be under federal or state authority were identified.

NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company, Inc.
METHODS
August 27, 2017

2.5 STREAMS

Determinations of navigability and jurisdiction of waterways such as rivers, streams, and ditches, was beyond the scope of the investigation. However, if observed, waterways and/or other connections to off-site wetland or aquatic features that may be under federal or state authority were identified.

2.6 SHORE BUFFERS

The UDO defines shore buffers as: All of that land area located within seventy-five (75) feet landward of the ordinary high water mark of all ponds, streams, lakes, and navigable waters (as determined by the Wisconsin Department of Natural Resources) and parallel to that ordinary high water mark, which is to remain undisturbed as a Natural Resource Feature (including undisturbed natural vegetation). Shore buffers do not include any area of land adjacent to any stream enclosed within a drainage structure, such as a pipe or culvert. The area of shore buffers (in square feet and acres) shall be measured and graphically delineated on the "Natural Resource Protection Plan." A shore buffer is also a setback.

2.7 FLOODPLAIN/FLOODWAY

Floodplain boundaries were identified and delineated based on the Federal Emergency Management Agency (FEMA) Flood Hazard Zone Mapping per the Flood Insurance Rate Map for the City of Franklin, obtained from FEMA.

2.8 WETLANDS AND SHORELAND WETLANDS

Wetland determinations and delineations on the Property were based on the methods described in Stantec's "Wetland Delineation Report" (dated September 11, 2017). Wetlands identified and delineated on the Property may be considered Shoreland Wetland because they are adjacent to Oak Creek and its tributary on the south and east sides of the Property.

The uppermost wetland boundaries were surveyed with a Global Positioning System (GPS) capable of sub-meter accuracy and mapped using Geographical Information Systems (GIS) software.

2.9 WETLAND BUFFERS

The UDO defines the buffer for wetlands and shoreland wetlands as 30 feet out from the wetland boundary.

2.10 WETLAND SETBACKS

The UDO defines the setbacks for wetlands and shoreland wetlands as 50 feet out from the wetland boundary. This is also defined as 20 feet out from the wetland buffer.

NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company, Inc.

RESULTS

August 27, 2017

3.0 RESULTS

3.1 SITE DESCRIPTION

The Property is currently comprised of a retail facility for various stone products for Halquist. Woodlands are located on the east, south and west perimeters, with waterways located along the east and south Property lines. Elevations range between approximately 697-706 feet mean sea level (msl) with the lowest part of the Property in the southeast corner and the highest elevation in the northwest corner. Residential properties lie to the north, south, and west, and commercial properties are present to the north and east. Contiguous off-site wetlands are present just outside the Property to the south and east.

3.2 STEEP SLOPES

No areas on the Property were identified through GIS as having slopes greater than 10 percent. Contours for the Property are depicted on Figure 5 in Appendix A of Stantec's wetland delineation report.

3.3 WOODLANDS AND FORESTS

Two areas of mature woodland were identified on the perimeter of the Property (Figure B, Appendix A). The canopy trees in this woodland averaged approximately 10-12 inches in diameter at breast height (DBH). The portions of mature woodlands on the Property total 2.16-acre and the tree canopy is dominated by (dying) green ash (*Fraxinus pennsylvanica*, FACW), cottonwood (*Populus deltoides*, FAC), black locust (*Robinia pseudoacacia*, FACU), silver maple (*Acer saccharinum*, FACW), box elder (*Acer negundo*, FAC). Other woody species observed in these woodlands included bur oak (*Quercus macrocarpa*, FAC), white mulberry (*Morus alba*, FAC), hybrid bush honeysuckle (*Lonicera x bella*, FACU), common buckthorn (*Rhamnus cathartica*, FAC), and riverbank grape (*Vitis riparia*, FACW). The woodlands are depicted in the photographs in Appendix B.

3.4 LAKES AND PONDS

There are no lakes located on the Property. One 0.11-acre excavated landscape pond is near the north edge of the Property for display purposes. This pond, which is depicted on Figure B and may be considered artificial, was excavated over 15 years ago in non-wetlands. This pond is also shown in the photographs included in Appendix B.

3.5 STREAMS

There are two waterways (WW-1 and WW-2, Figure B) on or immediately adjacent to the Property. Oak Creek (WW-1) is along the southern edge of the Property while its tributary (WW-2) is located along the east edge of the Property. The approximate locations of the ordinary high water marks of these waterways are depicted on Figure B.

NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company, Inc.
RESULTS
August 27, 2017

3.6 SHORE BUFFERS

Shore buffers on the Property are depicted on Figure B as being 75 feet from the ordinary high water mark of WW-1 and WW-2. The shore buffer on the Property totals 2.42 acres. Oak Creek is navigable waterway of the State of Wisconsin; however, no navigability determination is known to have been made by the WDNR on the tributary waterway along the east side of the Property. As observed, the channel dimensions make it probable that WDNR will consider this waterway to be a state navigable waterway.

3.7 FLOODPLAIN/FLOODWAY

Per the Federal Emergency Management Agency (FEMA), there are 2.40-acres of mapped floodplain and floodway in the south and east sides of the Property proximate to waterways WW-1 and WW-2.

3.8 WETLANDS AND SHORELAND WETLANDS

One shoreland wetland area (W-1) was identified and delineated within the Project Area. Details on the wetland and how it was delineated may be viewed in Stantec's wetland delineation report. The wetlands delineated by Stantec are summarized in Table 2 below.

Table 1 Summary of Wetlands Identified within the Property

Wetland	Wetland Classification (WWI Type)	Adjacent Surface Waters	Acreage (in Property)
Wetland 1 (W-1)	Floodplain Forest / Broad-leaved deciduous forest, palustrine (T3K)	Drains directly to Oak Creek or to its tributary	0.88 acre
		Total Acres	0.88

3.9 WETLAND BUFFERS

Wetland buffers are depicted on Figure B, which are 30 feet out from the edges of all delineated wetlands, which total 1.95 acres.

3.10 WETLAND SETBACKS

Wetland setbacks are also depicted on Figure B, which are 20 feet further out from the edges of all delineated wetlands than the wetland buffers. Altogether this is 2.54 acres.

NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company, Inc.
CONCLUSION
August 27, 2017

4.0 CONCLUSION

Stantec identified and delineated natural resources that must be protected and mitigated per the City of Franklin's UDO on the Property on behalf of Halquist Stone Company. This work was completed based on the field work completed by Eric Parker on August 29th and September 14th, 2017.

The Property is comprised of a retail facility for various stone products for Halquist. Woodlands are on the east, south, and west perimeters, with waterways also along the east and south Property lines. The Property is approximately 8.45 acres in size and located in Section 25, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin. Specifically, the Property is located south of Ryan Road - STH 100 and between STH 241 and South 31st Street (Figures 1-4, Appendix A). The purpose and objective of the natural resources investigation was to identify the extent and spatial arrangement of natural resources as defined by the City of Franklin's UDO within the Property.

The following natural resources were identified and delineated on the Property: mature woodlands, one artificial landscape pond, two waterways with their associated shoreland buffer and floodplain and floodway areas, one shoreland wetland area, and their associated wetland buffers and setbacks.

Prior to beginning work on the Property or disturbing or altering identified natural resources in any way, Stantec recommends that the owner obtain the necessary permits or other agency regulatory review and concurrence regarding the proposed work to comply with applicable regulations. Stantec can assist with identification and/or assessment of additional regulated resources at your request, to the extent that the work is within our range of expertise.

NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company, Inc.
Appendix A– Figures
August 27, 2017

5.0 REFERENCES

Federal Emergency Management Agency (FEMA). Flood Insurance Rate Mapping (FIRM) floodplain mapping. City of Franklin, Milwaukee County, WI.

USDS/NRCS – National Cartography & Geospatial Center. National Elevation Data 30 meter (NED), Milwaukee County, WI.

United States Geological Survey (USGS). *Wisconsin 7.5 Minute Series (Topographic) Maps*. 1:24,000. Reston, VA: United States Department of the Interior, USGS.

WDNR, Division of Water. (2010). [24k hydrography geospatial data layer]. Available online: ftp://dnrftp01.wi.gov/geodata/hydro_24k/.

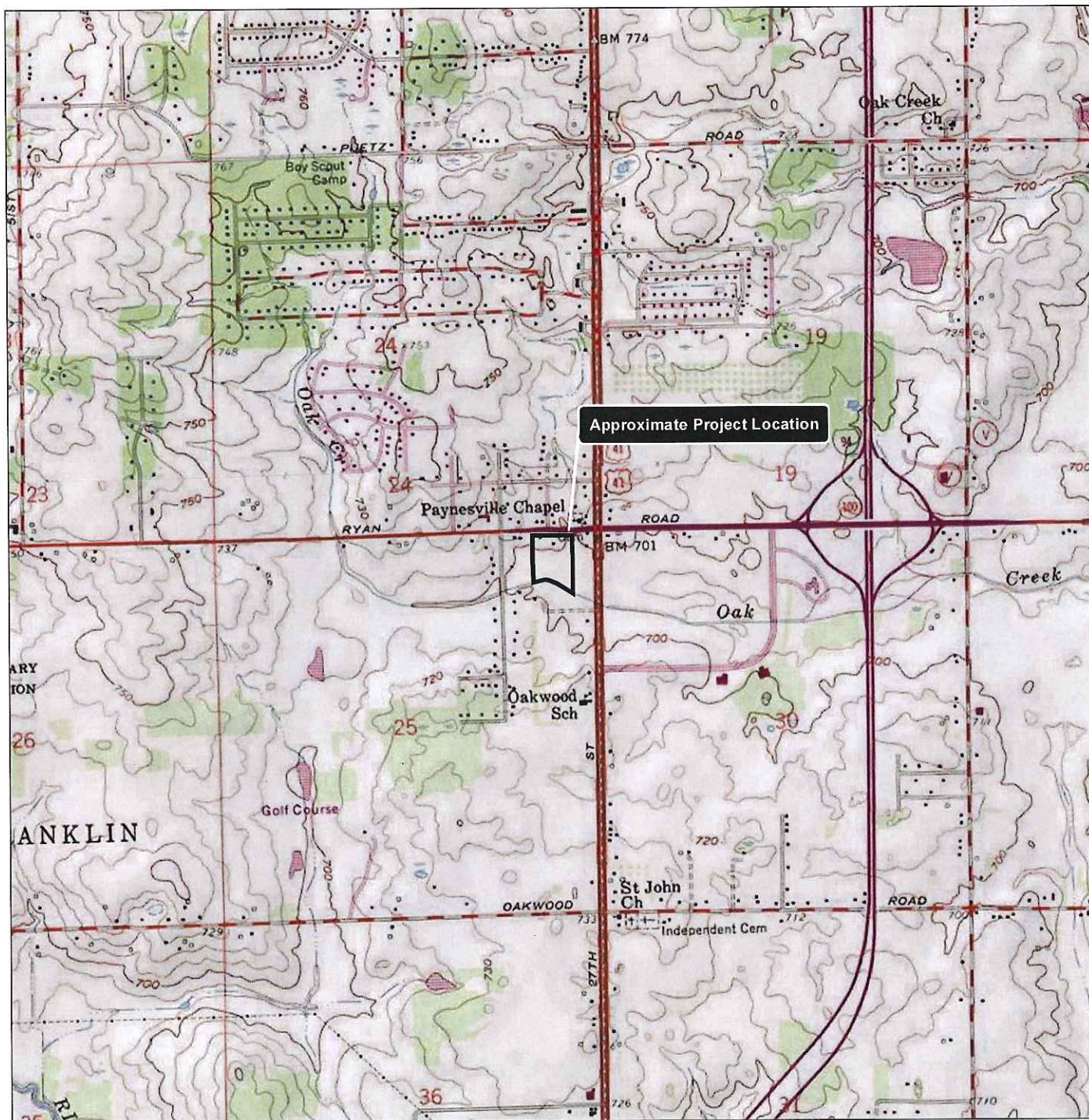
NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company, Inc.
Appendix A– Figures
August 27, 2017

Appendix A – Figures

Figure A. Project Location and Topography

Figure B. Natural Resource Protection Plan



Legend

 Approximate Project Location

Figure No.

A

Title

Project Location and Topography

Client/Project

Halquist Stone
Ryan Road Delineation

Project Location

T05N, R21E, S25,
C. of Franklin,
Milwaukee Co., WI

193705595

Prepared by bl on 2017-08-22

Technical Review by mp on 2017-08-22

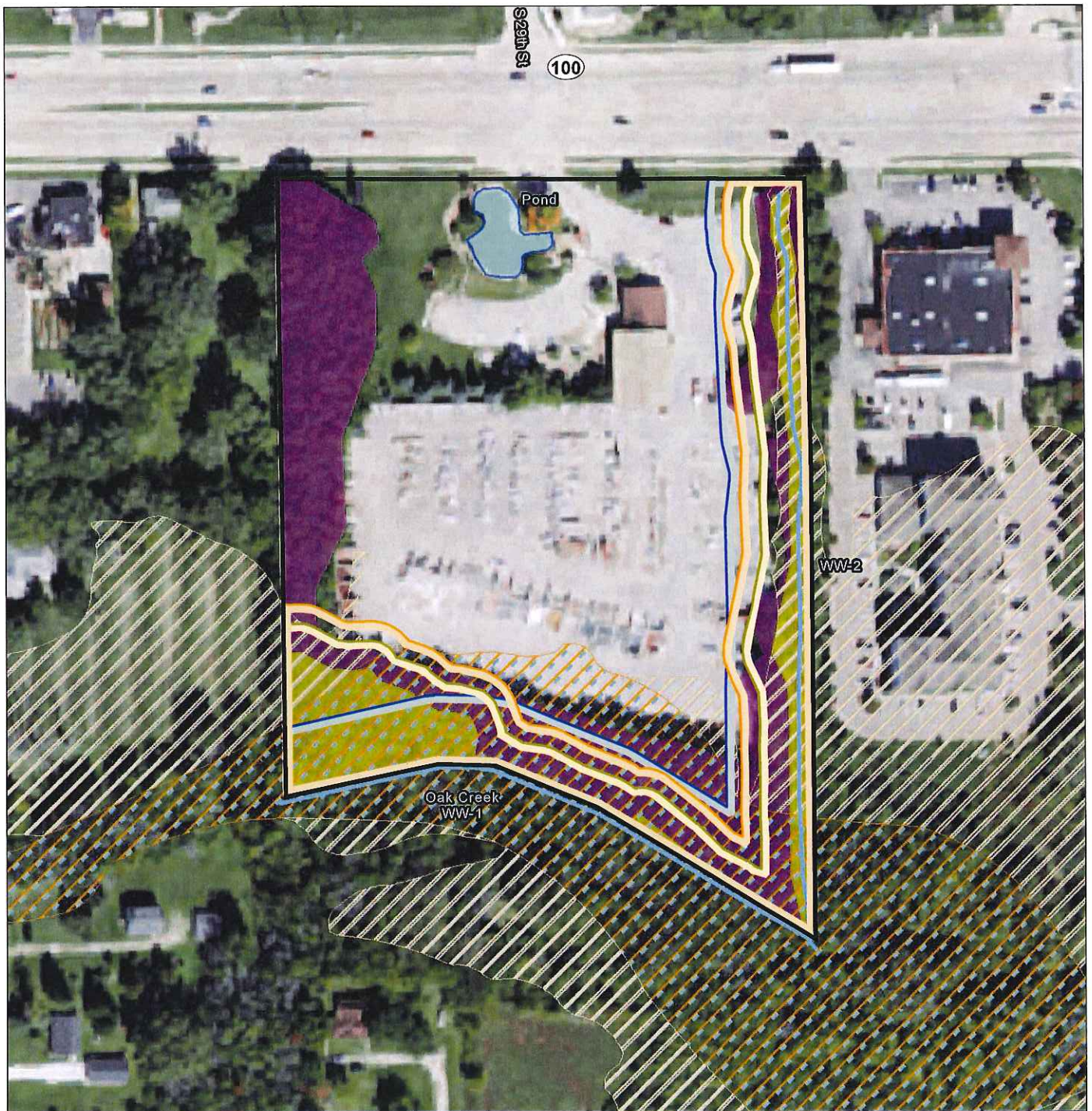
Independent Review by ep on 2017-09-13

- Notes**
1. Coordinate System: NAD 1983 StatePlane Wisconsin South FIPS 4803 Feet
 2. Data Sources Include: Stantec, WDNR, WisDOT
 3. Background: USGS 7.5 Topographic Quadrangles

Disclaimer: Stantec assumes no responsibility for data supplied in electronic format. The recipient accepts full responsibility for verifying the accuracy and completeness of the data. The recipient releases Stantec, its officers, employees, consultants and agents, from any and all claims arising in any way from the content or provision of the data.

0 1,000 2,000 Feet
1:24,000 (of original document size of 8.5x11)





- Notes**
1. Coordinate System: NAD 1983 StatePlane Wisconsin South FIPS 4803 Feet
 2. Data Sources: Stantec, WDNR, WisDOT, FEMA
 3. Orthophotography: 2015 NAIP

Disclaimer: Stantec assumes no responsibility for data supplied in electronic format. The recipient accepts full responsibility for verifying the accuracy and completeness of the data. The recipient releases Stantec, its officers, employees, consultants and agents, from any and all claims arising in any way from the content or provision of the data.

Legend

- Approximate Project Location
- Streams
- 75ft Shore Buffer
- Shoreland Wetland
- 30ft Wetland Buffer
- 50ft Wetland Setback
- Mature Woodland
- Pond
- FEMA Floodplain/Floodway
- 100-year Flood Zone
- 100-year Floodway

Figure No.
B

Title
Natural Resources Protection Plan

Client/Project
Halquist Stone
Ryan Road Delineation

Project Location
T05N, R21E, S25,
C. of Franklin,
Milwaukee Co., WI

Prepared by sf on 2017-09-18
Technical Review by JH on 2017-09-19
Independent Review by EP on 2017-09-27

0 75 150 Feet
1:1,800 (at original document size of 8.5x11)



NATURAL RESOURCE PROTECTION PLAN

Halquist Stone Company, Inc.
Appendix B– Site Photographs
August 27, 2017

Appendix B – Site Photographs



Photo Log

Project Name: Halquist Stone Ryan Road NRPP

Project Location: City of Franklin,
Milwaukee County, WI

Client: Halquist Stone Company

Stantec Project #: 193705595

Photo No.
1

Date
09/14/2017

Direction Photo Taken:
Southwest

Photo Description:
Mature Woodland in the
northeast part of the
Property.



Photo No.
2

Date
09/14/2017

Direction Photo Taken:
North

Photo Description:
Mature woodland on the
west side of the Property.





Photo Log

Project Name: Halquist Stone Ryan Road NRPP

Project Location: City of Franklin,
Milwaukee County, WI

Client: Halquist Stone Company

Stantec Project #: 193705595

Photo No.
3

Date
09/14/2017

Direction Photo Taken:
South

Photo Description:
Mature woodland in the
upland floodplain of Oak
Creek on the south side of
the Property.



Photo No.
4

Date
09/11/2017

Direction Photo Taken:
West

Photo Description:
Mature woodland in the
wetland floodplain of Oak
Creek on the south side of
the Property.




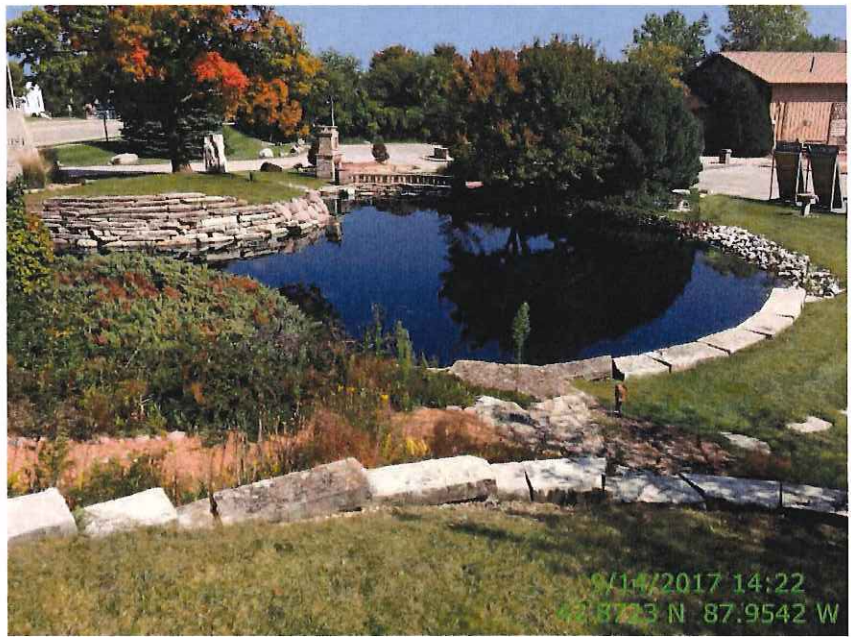
 Stantec	Photo Log
Project Name: Halquist Stone Ryan Road NRPP	Project Location: City of Franklin, Milwaukee County, WI
Client: Halquist Stone Company	Stantec Project #: 193705595

Photo No. 5	Date 09/14/2017	
Direction Photo Taken: East Photo Description: View of artificial landscape pond on the north edge of the Property.		



HAND ROCKFACED LANNON (STN-3)
COLOR TONES: BUFF, GREY



HUDSON VALLEY CUT STONE (STN-4)
COLOR TONES: BEIGE, ORANGE



CLEAR CEDAR (WD-1)
COLOR TONES: BROWN, GOLD,
ORANGE, YELLOW



STANDING SEAM METAL (SSM-1 / 2)
COLOR: BLACK



KENSINGTON (STN-1)
COLOR TONES: CREAM, TAN, BUFF,
GOLD, GREY UNDERTONE



ODESSA CUT STONE (STN-2)
COLOR TONES: BEIGE, TAUPE



6528 W North Ave
Wauwatosa, WI 53213
414.291.0772
www.galbraithcarman.com

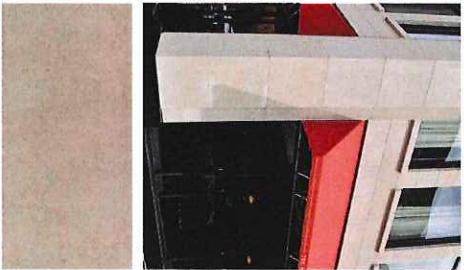
HALQUIST STONE
2875 WEST RYAN ROAD
FRANKLIN, WI 53132

EXTERIOR MATERIALS
[NORTHEAST FACADE]

DATE: 07/19/18
PROJECT: 17-23

©2018 GALBRAITH CARMAN
ARCHITECTS
LLC

SD001



CLEAR CEDAR (WD-1)
COLOR TONES: BROWN, GOLD,
ORANGE, YELLOW

STANDING SEAM METAL (SSM-1 / 2)
COLOR: BLACK

KENSINGTON (STN-1)
COLOR TONES: CREAM, TAN, BUFF,
GOLD, GREY UNDERTONE

ODESSA CUT STONE (STN-2)
COLOR TONES: BEIGE, TAUPE

CORRUGATED METAL (MP-1)
COLOR: BLACK



6528 W North Ave
Wauwatosa, WI 53213
414.291.0772
www.galbraithcarman.com

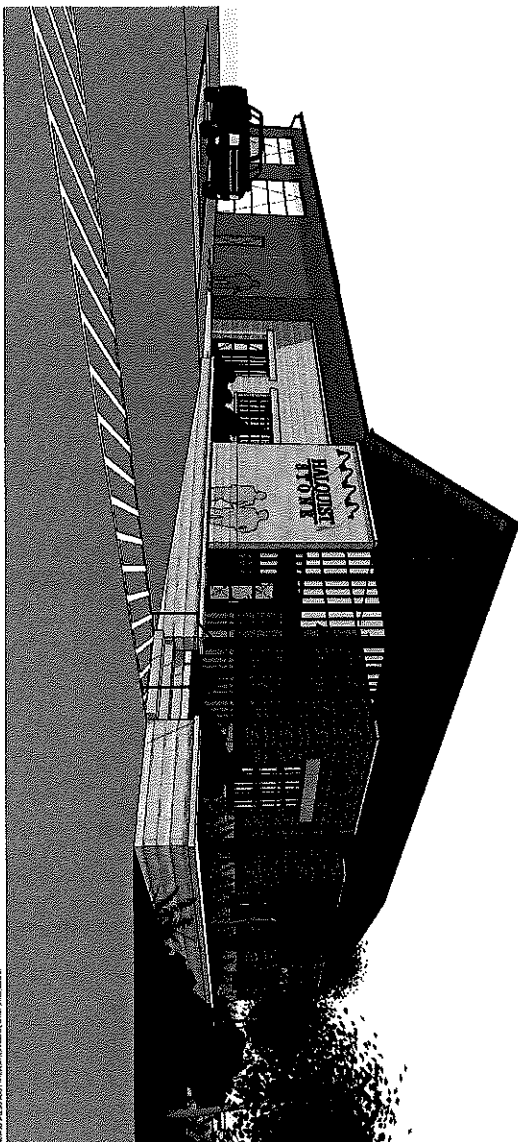
HALQUIST STONE
2875 WEST RYAN ROAD
FRANKLIN, WI 53132

EXTERIOR MATERIALS
[SOUTHWEST FACADE]
DATE: 07/25/18
PROJECT: 17-25

© 2018 GALBRAITH CARMAN
ARCHITECTS, L.L.C.

SD002

2875 WEST RYAN ROAD
FRANKLIN, WI 53132

AL RENTMESSTER, PH
alr@alrentmesster.com

1. **Introduction**
 2. **Background**
 3. **Methodology**
 4. **Results**
 5. **Conclusion**
 6. **References**

Age	Age in decades
Age 2	Age in decades

NOT FOR CONSTRUCTION

2875 WEST RYAN ROAD
FRANKLIN, WI 53132



5520 Woodlark Avenue
Alhambra, California 91801
(414) 281-0772 ext. 404
www.godaddy.com

G100

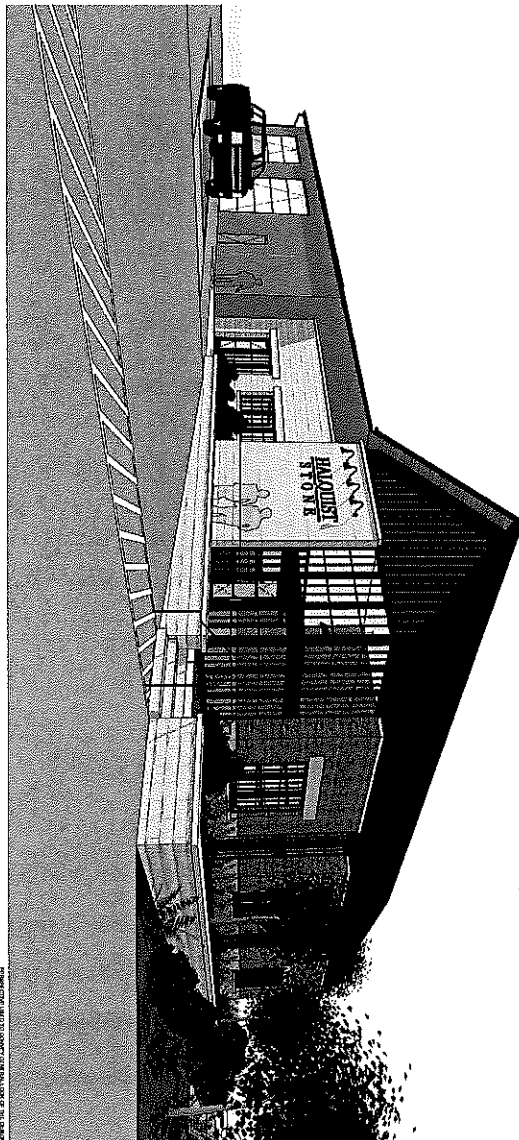
PROJECT # 172

COVER SHEET

0208 CALBERTH CANNON
ARCHITECTS, L.L.C.

HALQUIST STONE

2875 WEST RYAN ROAD
FRANKLIN, WI 53132



CONTACT INFORMATION

OWNER:
HALQUIST STONE
N51 W2856 LISBON ROAD
BROOKLYN, WI 53008

ARCHITECT:
GAUBARTH CARRILHAN ARCHITECTS
GALLERY CARILHAN ARCHITECTS
MILWAUKEE, WI 53213
(414) 291-0772

CONTACT:
BRANDON KENNEDY
BRANDON.KENNEDY@GCAARCHITECTS.COM

CIVIL ENGINEER:
K. RINGH ENGINEERING
2000 WISCONSIN STREET
WYOMING, WI 53190
(262) 831-1171

CONTACT:
JIM RINGH
JIM@KREENGINEERING.COM

LANDSCAPE:

FLAEGSTONE LANDSCAPING
1000 WISCONSIN STREET
CEDARBURG, WI 53512
(262) 377-7827

CONTACT:
PETER KODLA
PETER@FLAEGSTONELANDSCAPING.COM

STRUCTURAL ENGINEER:

SPRUE ENGINEERING INCORPORATED
1000 WISCONSIN STREET, SUITE 102
MILWAUKEE, WI 53224
(414) 278-8200

CONTACT:
AL RENTHUSSEN, PE
AL@SPRUEENGINEERING.COM

ABBREVIATIONS

Symbol	Abbreviation	Meaning
1	1st Floor	First Floor
2	2nd Floor	Second Floor
3	3rd Floor	Third Floor
4	4th Floor	Fourth Floor
5	5th Floor	Fifth Floor
6	6th Floor	Sixth Floor
7	7th Floor	Seventh Floor
8	8th Floor	Eighth Floor
9	9th Floor	Ninth Floor
10	10th Floor	Tenth Floor
11	11th Floor	Eleventh Floor
12	12th Floor	Twelfth Floor
13	13th Floor	Thirteenth Floor
14	14th Floor	Fourteenth Floor
15	15th Floor	Fifteenth Floor
16	16th Floor	Sixteenth Floor
17	17th Floor	Seventeenth Floor
18	18th Floor	Eighteenth Floor
19	19th Floor	Nineteenth Floor
20	20th Floor	Twentieth Floor
21	21st Floor	Twenty-first Floor
22	22nd Floor	Twenty-second Floor
23	23rd Floor	Twenty-third Floor
24	24th Floor	Twenty-fourth Floor
25	25th Floor	Twenty-fifth Floor
26	26th Floor	Twenty-sixth Floor
27	27th Floor	Twenty-seventh Floor
28	28th Floor	Twenty-eighth Floor
29	29th Floor	Twenty-ninth Floor
30	30th Floor	Thirtieth Floor
31	31st Floor	Thirty-first Floor
32	32nd Floor	Thirty-second Floor
33	33rd Floor	Thirty-third Floor
34	34th Floor	Thirty-fourth Floor
35	35th Floor	Thirty-fifth Floor
36	36th Floor	Thirty-sixth Floor
37	37th Floor	Thirty-seventh Floor
38	38th Floor	Thirty-eighth Floor
39	39th Floor	Thirty-ninth Floor
40	40th Floor	Fortieth Floor
41	41st Floor	Forty-first Floor
42	42nd Floor	Forty-second Floor
43	43rd Floor	Forty-third Floor
44	44th Floor	Forty-fourth Floor
45	45th Floor	Forty-fifth Floor
46	46th Floor	Forty-sixth Floor
47	47th Floor	Forty-seventh Floor
48	48th Floor	Forty-eighth Floor
49	49th Floor	Forty-ninth Floor
50	50th Floor	Fiftieth Floor
51	51st Floor	Fifty-first Floor
52	52nd Floor	Fifty-second Floor
53	53rd Floor	Fifty-third Floor
54	54th Floor	Fifty-fourth Floor
55	55th Floor	Fifty-fifth Floor
56	56th Floor	Fifty-sixth Floor
57	57th Floor	Fifty-seventh Floor
58	58th Floor	Fifty-eighth Floor
59	59th Floor	Fifty-ninth Floor
60	60th Floor	Sixtieth Floor
61	61st Floor	Sixty-first Floor
62	62nd Floor	Sixty-second Floor
63	63rd Floor	Sixty-third Floor
64	64th Floor	Sixty-fourth Floor
65	65th Floor	Sixty-fifth Floor
66	66th Floor	Sixty-sixth Floor
67	67th Floor	Sixty-seventh Floor
68	68th Floor	Sixty-eighth Floor
69	69th Floor	Sixty-ninth Floor
70	70th Floor	Seventieth Floor
71	71st Floor	Seventy-first Floor
72	72nd Floor	Seventy-second Floor
73	73rd Floor	Seventy-third Floor
74	74th Floor	Seventy-fourth Floor
75	75th Floor	Seventy-fifth Floor
76	76th Floor	Seventy-sixth Floor
77	77th Floor	Seventy-seventh Floor
78	78th Floor	Seventy-eighth Floor
79	79th Floor	Seventy-ninth Floor
80	80th Floor	Eightieth Floor
81	81st Floor	Eighty-first Floor
82	82nd Floor	Eighty-second Floor
83	83rd Floor	Eighty-third Floor
84	84th Floor	Eighty-fourth Floor
85	85th Floor	Eighty-fifth Floor
86	86th Floor	Eighty-sixth Floor
87	87th Floor	Eighty-seventh Floor
88	88th Floor	Eighty-eighth Floor
89	89th Floor	Eighty-ninth Floor
90	90th Floor	Ninetieth Floor
91	91st Floor	Ninety-first Floor
92	92nd Floor	Ninety-second Floor
93	93rd Floor	Ninety-third Floor
94	94th Floor	Ninety-fourth Floor
95	95th Floor	Ninety-fifth Floor
96	96th Floor	Ninety-sixth Floor
97	97th Floor	Ninety-seventh Floor
98	98th Floor	Ninety-eighth Floor
99	99th Floor	Ninety-ninth Floor
100	100th Floor	Hundredth Floor

SYMBOL KEY

Symbol	Meaning
1	Room Number
2	Room Name
3	Room Type
4	Room Area
5	Room Volume
6	Room Height
7	Room Length
8	Room Width
9	Room Depth
10	Room Perimeter
11	Room Surface Area
12	Room Volume
13	Room Height
14	Room Length
15	Room Width
16	Room Depth
17	Room Perimeter
18	Room Surface Area
19	Room Volume
20	Room Height
21	Room Length
22	Room Width
23	Room Depth
24	Room Perimeter
25	Room Surface Area
26	Room Volume
27	Room Height
28	Room Length
29	Room Width
30	Room Depth
31	Room Perimeter
32	Room Surface Area
33	Room Volume
34	Room Height
35	Room Length
36	Room Width
37	Room Depth
38	Room Perimeter
39	Room Surface Area
40	Room Volume
41	Room Height
42	Room Length
43	Room Width
44	Room Depth
45	Room Perimeter
46	Room Surface Area
47	Room Volume
48	Room Height
49	Room Length
50	Room Width
51	Room Depth
52	Room Perimeter
53	Room Surface Area
54	Room Volume
55	Room Height
56	Room Length
57	Room Width
58	Room Depth
59	Room Perimeter
60	Room Surface Area
61	Room Volume
62	Room Height
63	Room Length
64	Room Width
65	Room Depth
66	Room Perimeter
67	Room Surface Area
68	Room Volume
69	Room Height
70	Room Length
71	Room Width
72	Room Depth
73	Room Perimeter
74	Room Surface Area
75	Room Volume
76	Room Height
77	Room Length
78	Room Width
79	Room Depth
80	Room Perimeter
81	Room Surface Area
82	Room Volume
83	Room Height
84	Room Length
85	Room Width
86	Room Depth
87	Room Perimeter
88	Room Surface Area
89	Room Volume
90	Room Height
91	Room Length
92	Room Width
93	Room Depth
94	Room Perimeter
95	Room Surface Area
96	Room Volume
97	Room Height
98	Room Length
99	Room Width
100	Room Depth

SHEET INDEX

Sheet	Description
1	COVER SHEET
2	GENERAL NOTES
3	FOUNDATION PLAN
4	1ST FLOOR PLAN
5	2ND FLOOR PLAN
6	3RD FLOOR PLAN
7	4TH FLOOR PLAN
8	5TH FLOOR PLAN
9	6TH FLOOR PLAN
10	7TH FLOOR PLAN
11	8TH FLOOR PLAN
12	9TH FLOOR PLAN
13	10TH FLOOR PLAN
14	11TH FLOOR PLAN
15	12TH FLOOR PLAN
16	13TH FLOOR PLAN
17	14TH FLOOR PLAN
18	15TH FLOOR PLAN
19	16TH FLOOR PLAN
20	17TH FLOOR PLAN
21	18TH FLOOR PLAN
22	19TH FLOOR PLAN
23	20TH FLOOR PLAN
24	21ST FLOOR PLAN
25	22ND FLOOR PLAN
26	23RD FLOOR PLAN
27	24TH FLOOR PLAN
28	25TH FLOOR PLAN
29	26TH FLOOR PLAN
30	27TH FLOOR PLAN
31	28TH FLOOR PLAN
32	29TH FLOOR PLAN
33	30TH FLOOR PLAN
34	31ST FLOOR PLAN
35	32ND FLOOR PLAN
36	33RD FLOOR PLAN
37	34TH FLOOR PLAN
38	35TH FLOOR PLAN
39	36TH FLOOR PLAN
40	37TH FLOOR PLAN
41	38TH FLOOR PLAN
42	39TH FLOOR PLAN
43	40TH FLOOR PLAN
44	41ST FLOOR PLAN
45	42ND FLOOR PLAN
46	43RD FLOOR PLAN
47	44TH FLOOR PLAN
48	45TH FLOOR PLAN
49	46TH FLOOR PLAN
50	47TH FLOOR PLAN
51	48TH FLOOR PLAN
52	49TH FLOOR PLAN
53	50TH FLOOR PLAN
54	51ST FLOOR PLAN
55	52ND FLOOR PLAN
56	53RD FLOOR PLAN
57	54TH FLOOR PLAN
58	55TH FLOOR PLAN
59	56TH FLOOR PLAN
60	57TH FLOOR PLAN
61	58TH FLOOR PLAN
62	59TH FLOOR PLAN
63	60TH FLOOR PLAN
64	61ST FLOOR PLAN
65	62ND FLOOR PLAN
66	63RD FLOOR PLAN
67	64TH FLOOR PLAN
68	65TH FLOOR PLAN
69	66TH FLOOR PLAN
70	67TH FLOOR PLAN
71	68TH FLOOR PLAN
72	69TH FLOOR PLAN
73	70TH FLOOR PLAN
74	71ST FLOOR PLAN
75	72ND FLOOR PLAN
76	73RD FLOOR PLAN
77	74TH FLOOR PLAN
78	75TH FLOOR PLAN
79	76TH FLOOR PLAN
80	77TH FLOOR PLAN
81	78TH FLOOR PLAN
82	79TH FLOOR PLAN
83	80TH FLOOR PLAN
84	81ST FLOOR PLAN
85	82ND FLOOR PLAN
86	83RD FLOOR PLAN
87	84TH FLOOR PLAN
88	85TH FLOOR PLAN
89	86TH FLOOR PLAN
90	87TH FLOOR PLAN
91	88TH FLOOR PLAN
92	89TH FLOOR PLAN
93	90TH FLOOR PLAN
94	91ST FLOOR PLAN
95	92ND FLOOR PLAN
96	93RD FLOOR PLAN
97	94TH FLOOR PLAN
98	95TH FLOOR PLAN
99	96TH FLOOR PLAN
100	97TH FLOOR PLAN

NOT FOR CONSTRUCTION

HALQUIST STONE

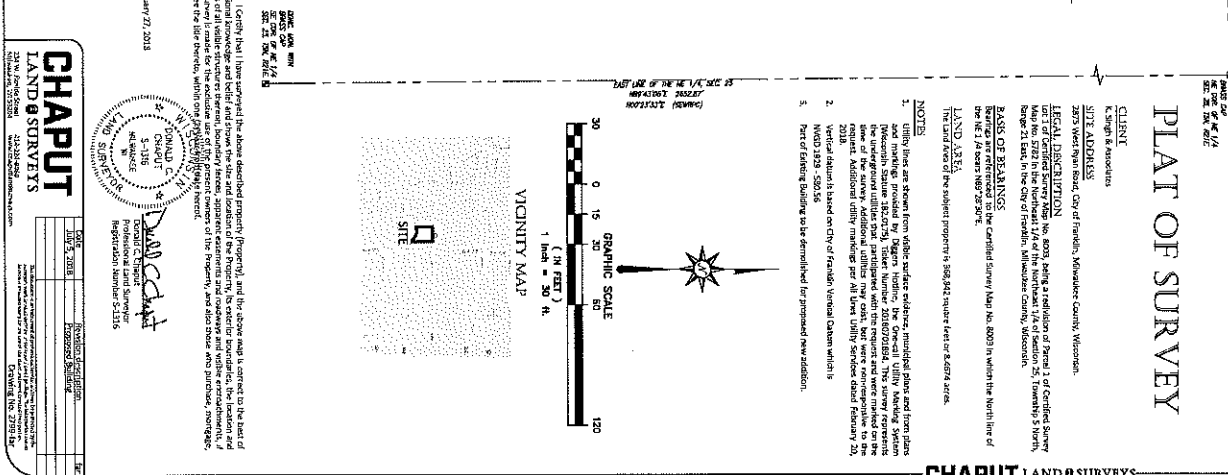
2875 WEST RYAN ROAD
FRANKLIN, WI 53132



GAUBARTH CARRILHAN ARCHITECTS
1000 WISCONSIN STREET, SUITE 102
MILWAUKEE, WI 53224
(414) 278-8200
GCA@GCAARCHITECTS.COM

G100

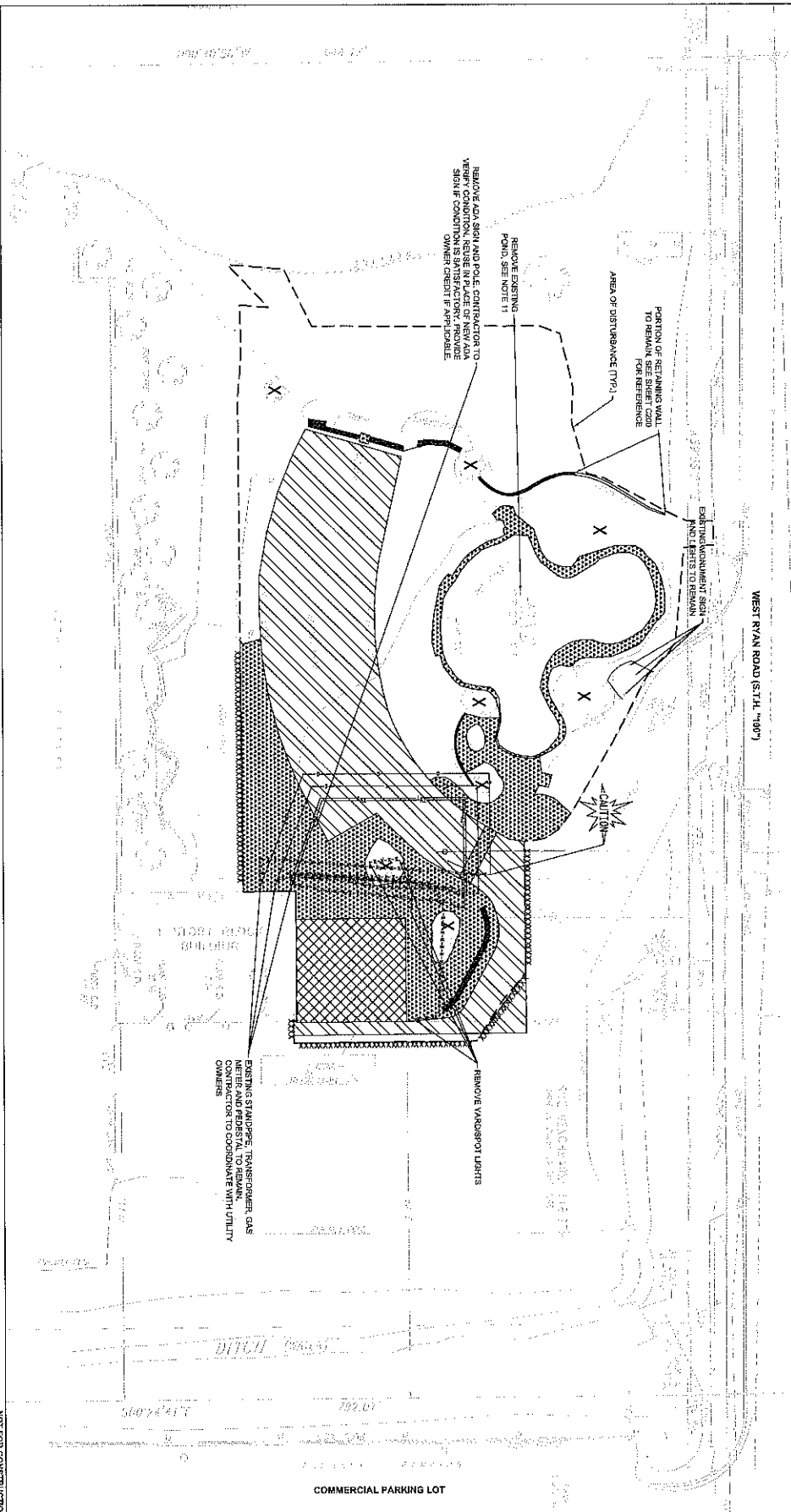
GAUBARTH CARRILHAN ARCHITECTS, LTD.



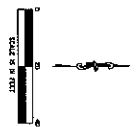
-CHAPUT LAND SURVEYS-

- DEMOLITION NOTES:**
1. CONTRACTOR SHALL REMOVE PIPE IF PREVIOUSLY ABANDONED AND PIPE IN CONFLICT WITH NEW CONSTRUCTION.
 2. CLEARING AND GRUBBING REQUIRED WITHIN GRADING EXTENTS.
 3. UNLESS OTHERWISE NOTED, ALL REMOVED ITEMS WILL BECOME PROPERTY OF THE CONTRACTOR.
 4. SAWCUT EXISTING PAVEMENTS TO MAKE A FLUSH MATCH TO NEW PAVEMENTS.
 5. REMOVE AND REPLACE CONCRETE PAVEMENTS AND WALKS SIDE-TO-SIDE.
 6. ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED AT THE MAIN.
 7. ALL WORK IN CITY RIGHT OF WAY SHALL CONFORM TO CITY STANDARDS, SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.
 8. ALL WORK IN WISDOT RIGHT OF WAY SHALL CONFORM

- TO WISDOT STANDARDS, SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.**
9. CONTRACTOR TO COORDINATE REMOVALS BEYOND PROPERTY LIMITS WITH NEIGHBORING PROPERTY OWNERS AND CITY.
 10. DEMOLITION ITEMS NOT SHOWN TO BE REMOVED WITHIN CONSTRUCTION LIMITS SHALL BE PROTECTED, UNLESS VERIFIED WITH OWNER, ENGINEER, OR ARCHITECT.
 11. DEMOLITION OF EXISTING LANDSCAPED MANUADE DECORATIVE POND SHALL CONFORM TO ALL CITY, WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND NATURAL RESOURCE PROTECTION PLAN RULES, REGULATIONS, SPECIFICATIONS AND ORDINANCES.



- LEGEND**
- STRUCTURE DEMOLITION
 - REMOVE EXISTING ASPHALTIC PAVEMENT
 - REMOVE EXISTING CONCRETE PAVEMENT/SIDEWALK/CUTLER
 - REMOVE EXISTING WALL
 - SAWCUT
 - ABANDON PSEALITY
 - REMOVE PSEALITY/FENCE
 - REMOVE TREE



NOT FOR CONSTRUCTION

COMMERCIAL PARKING LOT

HALQUIST STONE

2875 WEST RYAN ROAD
FRANKLIN, WI 53132

KSMITH
Karl Smith
ARCHITECT
2875 WEST RYAN ROAD
FRANKLIN, WI 53132
www.ksmitharchitect.com

GGA
GAILBREATH CARNAHAN ARCHITECTS
2875 WEST RYAN ROAD
FRANKLIN, WI 53132
www.ggaarchitects.com

C100

**DEMOLITION
PLAN**

PROJECT # 7225

DATE 08/11/2011
DRAWN BY J. H. H. H.
CHECKED BY J. H. H. H.
APPROVED BY J. H. H. H.

-



GGA
GALBRAITH CARNAHAN ARCHITECTS

0670 West North Avenue
Bilbrouds, Worcester 01507
(414) 281-8772 phone
www.gilboud.com/bilbrouds

- GENERAL NOTES:**
1. SITE LOCATION: 2875 WEST RYAN ROAD, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.
 2. BEARINGS ON THIS PLAN ARE REFERENCED TO THE CERTIFIED SURVEY AND NO. 8003 IN WHICH THE NORTH LINE OF THE NE 1/4 BEARS N89°29'00"E. SURVEY COMPLETED BY CHADWICK LAND SURVEYORS - SEE PLAN OF SURVEY.
 3. VERTICAL DATUM IS BASED ON CITY OF FRANKLIN VERTICAL DATUM - SEE PLAN OF SURVEY.
 4. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, MILWAUKEE COUNTY, LOCAL MUNICIPALITIES, AND WISCONSIN DEPARTMENT OF TRANSPORTATION. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 5. ALL UTILITIES SHOWN ARE BASED ON FIELD MARKINGS PROVIDED BY DIGGERS HOTLINE AND RECORD DRAWINGS BY OTHERS. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AT 811 OR 1-800-485-8811 PRIOR TO ANY EXCAVATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OTHER UTILITIES WHICH MAY BE PRESENT WHICH ARE NOT PART OF THE ONE CALL SYSTEM.
 6. SEE PLAN OF SURVEY FOR EASEMENTS RESTRICTIONS.
 7. ANY WORK OUTSIDE OF PROPERTY LINE AND IN RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF FRANKLIN AND WISCONSIN STANDARD SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.

BUILDING EXPANSION AREA:
FIRST FLOOR AREA: 4215 S.F.

PARKING DATA:
TOTAL PARKING SPACES = 60
ADA ACCESSIBLE PARKING SPACES = 15
TOTAL NORTH OF FRONT FACE OF BUILDING = 8 (60N)
TOTAL SOUTH OF FRONT FACE OF BUILDING = 52 (52S)

SITE DATA (WITHIN DISTURBED AREA):
TOTAL AREA OF DISTURBED AREA = 14.52 ACRES
PROPOSED IMPROVEMENTS = 20,125 S.F. = 0.462 ACRES
EXISTING IMPROVEMENTS = 20,125 S.F. = 0.462 ACRES
TOTAL IMPROVEMENTS = 40,250 S.F. = 0.924 ACRES
TOTAL AREA OF DISTURBED AREA = 14.52 ACRES
TOTAL IMPROVEMENTS = 40,250 S.F. = 0.924 ACRES

PARCEL ADDRESS:
2875 WEST RYAN ROAD
FRANKLIN, WI

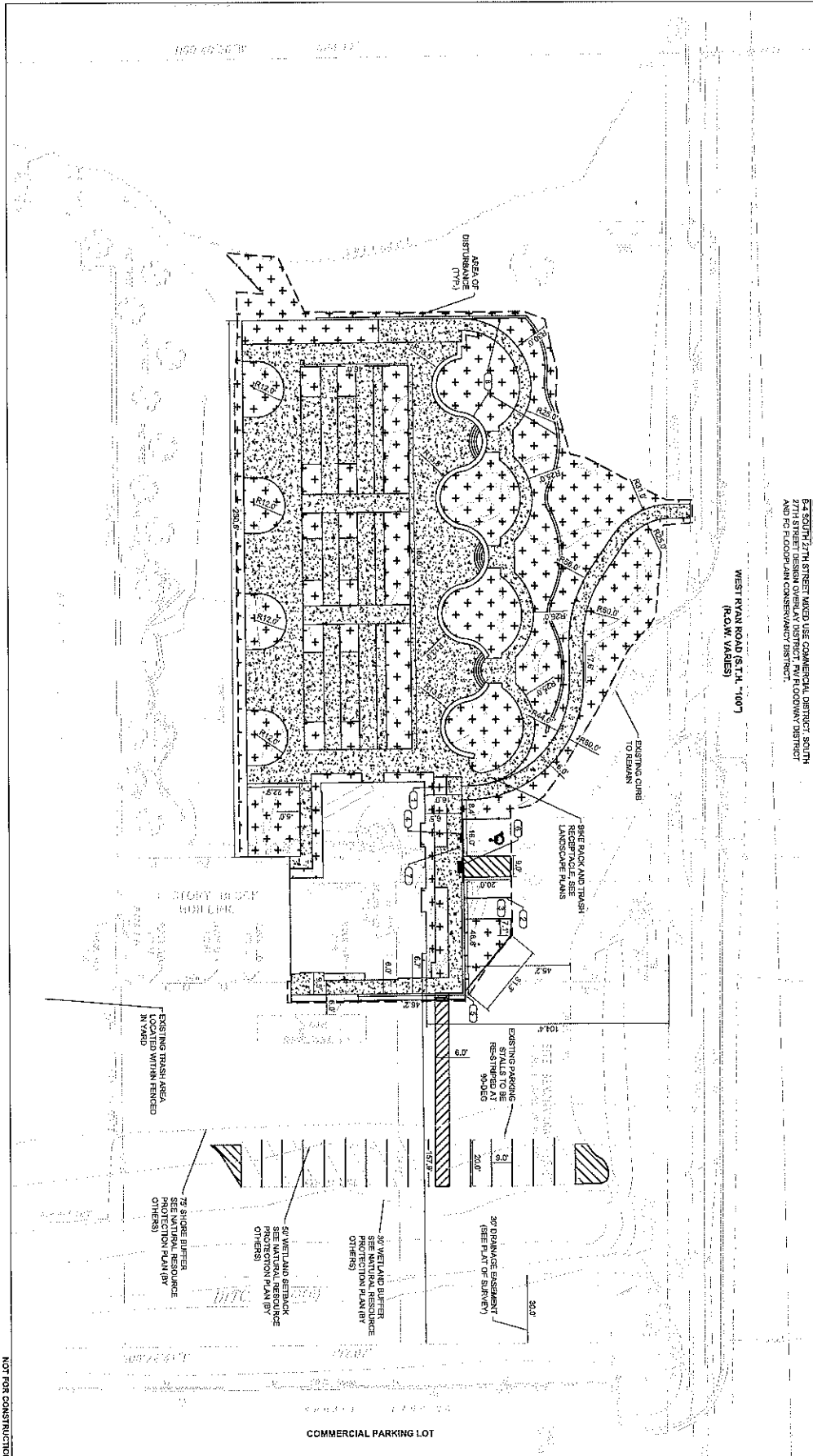
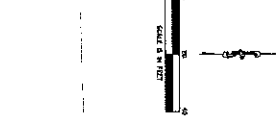
ZONING:
RESIDENTIAL 27TH STREET MAJOR USE COMMERCIAL DISTRICT SOUTH
FRANKLIN, WI

- PLAN NOTES:**
1. 5" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C201.
 - 1.1. SEE LANDSCAPE PLANS FOR SHOWN AREA IMPROVEMENT LAYOUT.
 2. PAVEMENT MARKING: LANECH WHITE, TYP. SEE DETAIL 5, C201.
 3. HMA PAVEMENT, SEE DETAIL 2, SHEET C201.
 4. RTMA RESERVED PARKING SIGN, TUBULAR STEEL POST, SEE DETAILS 1 & 2, SHEET C201.
 5. RETAINING WALL, SEE ARCHITECTURAL PLANS.
 6. CURB RAMP DETAIL, SEE DETAIL 4, SHEET C201.
 7. VERTICAL CONCRETE CURB, SEE DETAIL 4, SHEET C201.
 8. RETAINING WALL, SEE LANDSCAPE PLANS.

LEGEND

- CONCRETE SIDEWALK IMPROVEMENT
- LANDSCAPED AREA, REFER TO LANDSCAPE PLANS
- AREA OF DISTURBANCE

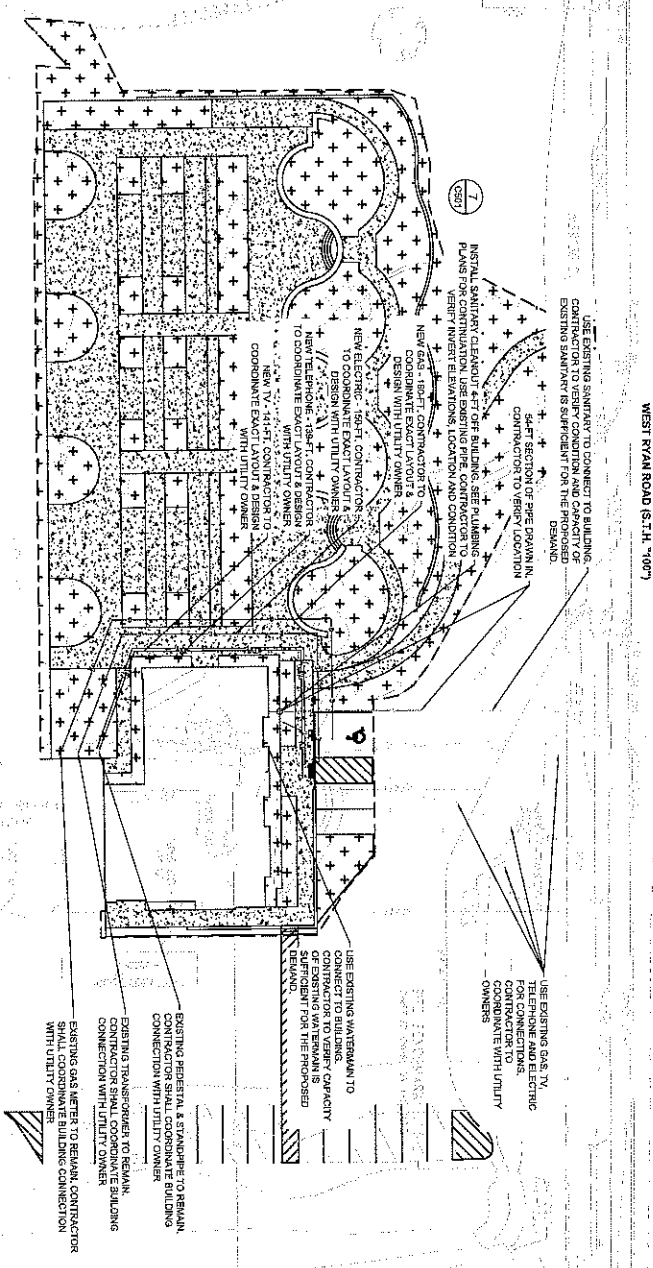
DEVELOPER: HALQUIST STONE COMPANY, INC., 1871 WISCONSIN ROAD, DUNES, WI 53001



- | LEGEND | |
|------------|-------------------------------|
| ♂ 72145 | NEW SPOT GRADE |
| ♂ 42734 | EXISTING SPOT GRADE |
| ♂ 72140001 | NEW SPOT GRADE BACK OF CURB |
| ♂ 72140002 | NEW SPOT GRADE TOP OF WALL |
| ♂ 72140003 | NEW SPOT GRADE BOTTOM OF WALL |
| ♂ 72140000 | NEW GRADING CONTROL |
| 751 | DRAPED ELOW PATH |
- NOTE: EXISTING FINISHED FLOOR VARIES, ELEVATION
 125.00 TO 125.1272



- PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- SEE RELOCATION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- CLEANOUTS SHALL BE LOCATED NOT MORE THAN 10 FEET AWAY, THE CLEANOUT NEAR THE CLEANOUT SHALL BE IN THE STREET OR WALKER SIDE OF THE STREET. THE CLEANOUT MAY BE LOCATED EITHER INSIDE OR OUTSIDE OF BUILDING.
- PROVIDE TRACER WIRE FOR NON-METALLIC WATER SERVICE. SEE NON-METALLIC WATER SERVICE. PROVIDE WATER PIPE SHALL BE BLUE.
- CONTRACTOR TO COORDINATE WITH UTILITIES OWNER FOR CONNECTION TO EXISTING AND CONSTRUCTION OF NEW GAS, ELECTRIC, TELEPHONE AND TV.



- LEGEND**
- NEW TELEPHONE SERVICE
- NEW ELECTRIC SERVICE
- NEW TV SERVICE
- NEW GAS SERVICE
- UTILITY TRENCHING UNDER
LANDSCAPING/PAVEMENT
(TYPE)
- 8
(250)
- 9
(250)

COMMERCIAL PARKING LOT

NOT FOR CONSTRUCTION

HALQUIST STONE

2875 WEST RYAN ROAD
FRANKLIN, WI 53132

GALBRAITH CARNAHAN ARCHITECTS

(416) 291-0772 phone
 www.galileiarchitects.com
 Kimpri
 3725 N. Denison
 Waukegan, IL 60087
 (847) 674-1177
 email: gary@kimpri.com

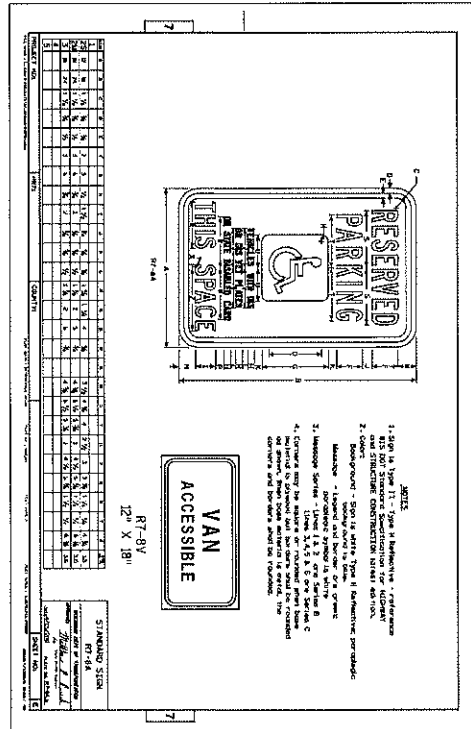
C400

UTILITY PLAN

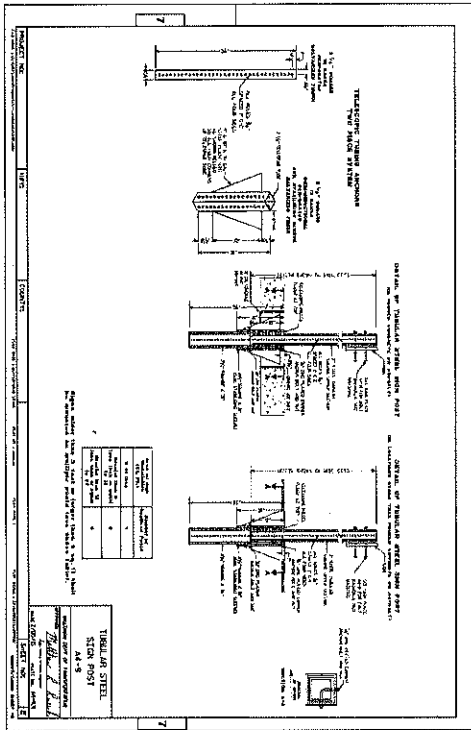
PROJECT# 1721

COA PARTS BASIC	DATE
ALUMINUM HT & HYDRA THERM	06/25/03
ALUMINUM HT & HYDRA THERM	01/20/04





1 SIGN PLATE
C502 NIS



2 TUBULAR STEEL SIGN POST
C502 NIS

NOT FOR CONSTRUCTION

C502

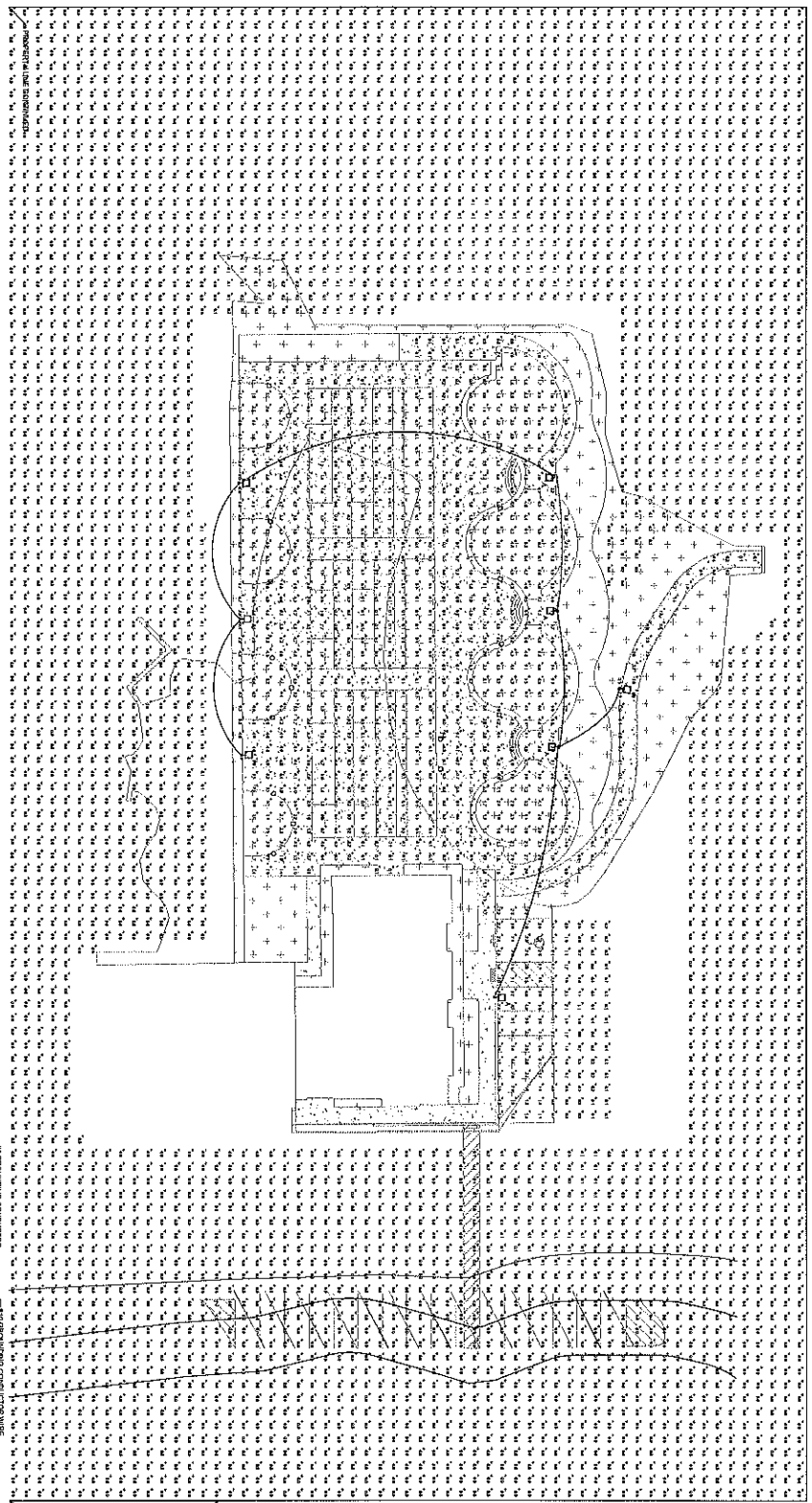
CONSTRUCTION
DETAILS

REVISIONS

HALQUIST STONE
2875 WEST RYAN ROAD
FRANKLIN, WI 53132

GGA
GAIBRAITH CARNAHAN ARCHITECTS

Knap
Knap Construction



**SITE LIGHTING
PHOTOMETRIC PLAN**

LIGHTING FIXTURE SCHEDULE

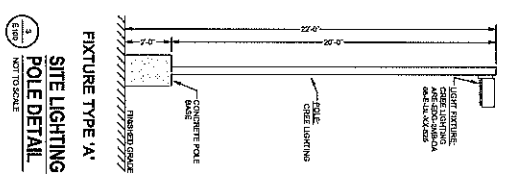
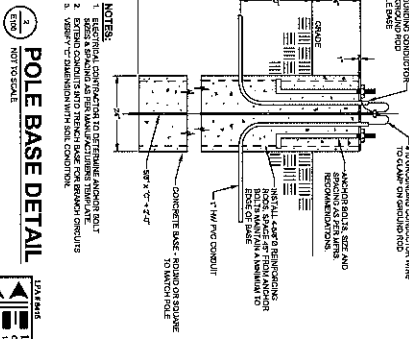
QTY	DESCRIPTION	LAMP DATA		LIGHTING FIXTURE		SURFACE	
		WATT	TYPE	WATT	TYPE	WATT	TYPE
1	CHIEF EDCS SERIES PARABOLIC	1	LED	1	CHIEF	1	WALL
1		1	LED	1	CHIEF	1	WALL
1		1	LED	1	CHIEF	1	WALL

1. FOR EXISTING THE EXISTING COLOR, VERIFY WITH OWNER THE EXISTING COLOR.

STATISTICS

Category	Symbol	Avg	Min	Max	Median	Range	Notes
Footcandle	+	1.75	0.16	0.16	0.087	17.21	1
Lux	+	1.86	0.16	0.16	0.087	18.21	2

POLE BASE DETAIL



LEADY & BETZOLD ASSOCIATES, LLC
Consulting Electrical Engineers/Planners
1111 West Wisconsin Ave., Suite 201
Milwaukee, WI 53233
Tel: 414.224.1544 Fax: 414.224.1545
www.leadybetzold.com

HALQUIST STONE
2875 WEST RYAN ROAD
FRANKLIN, WI 53132

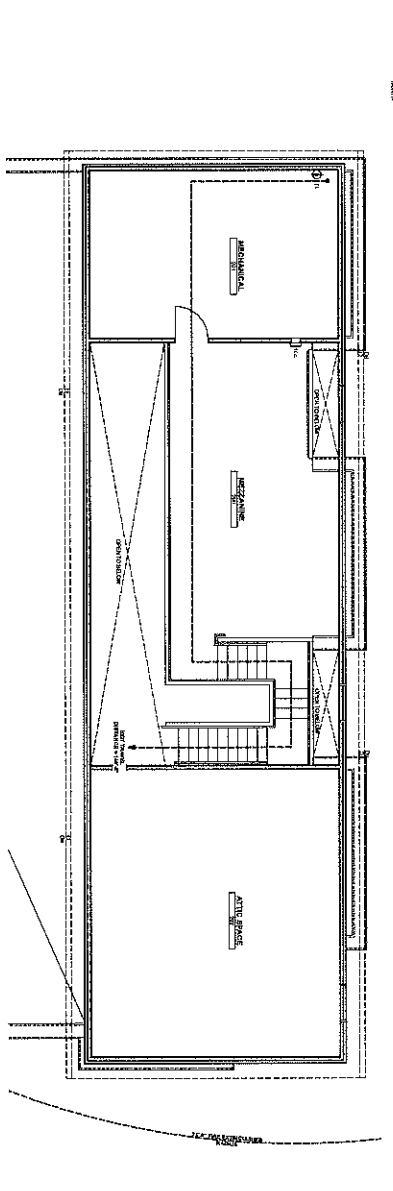
GGA
GALBRAITH CARRAHAN ARCHITECTS
4000 West North Avenue
Milwaukee, Wisconsin 53233
www.ggalbarch.com
Tel: 414.224.1544 Fax: 414.224.1545

E100

**SITE LIGHTING
PHOTOMETRIC
PLAN**

PROJECT #
1722

NOT FOR CONSTRUCTION

[illegible][illegible][illegible][illegible]

MEZZANINE CODE PLAN
SCALE 3/8" = 1'-0"

0208 CALDWELL CARNALIAN
ARCHITECTS LLC

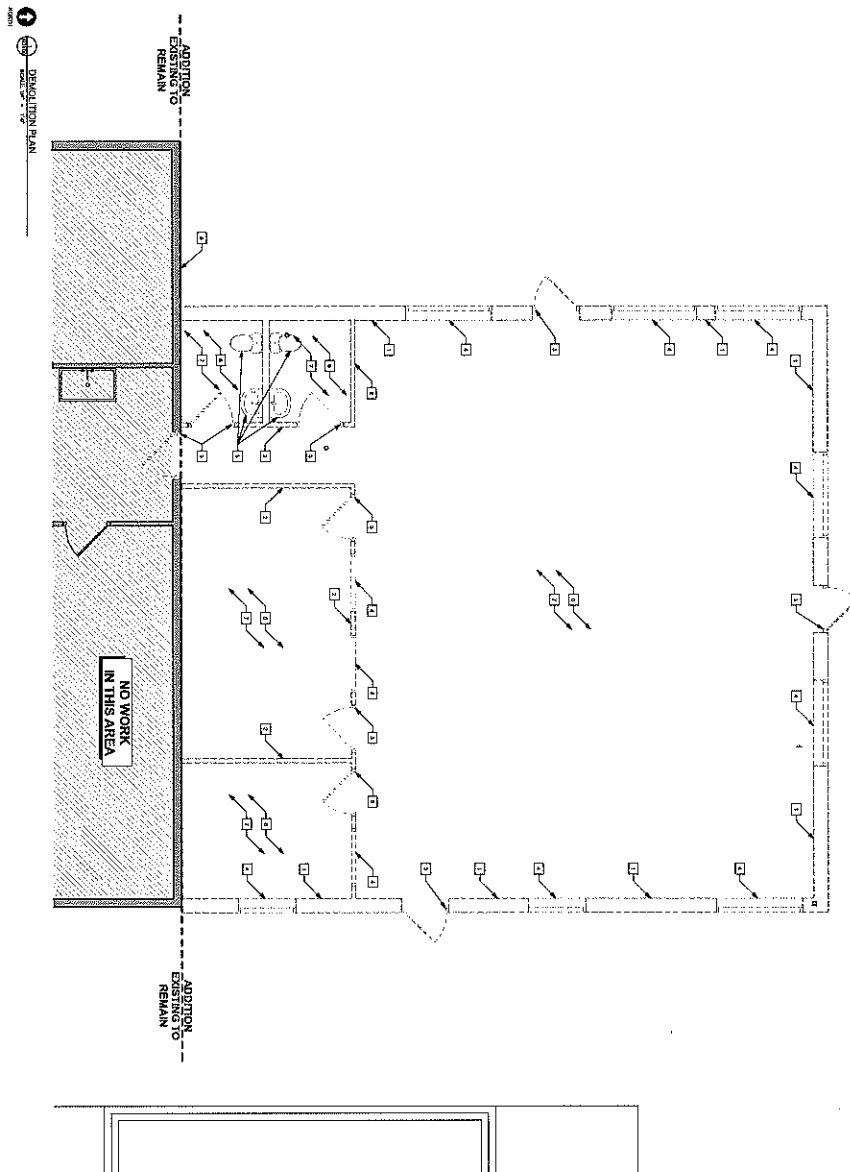
A001

PROJECT #	1725
CODE PLAN	

DATE: 04/08
 NAME: JAMES R. JONES
 ADDRESS: 1000 N. 10TH ST. SPOKANE, ID 83201
 PHONE: (208) 325-1234

HALQUIST STONE
2875 WEST RYAN ROAD
FRANKLIN, WI 53132





DEMOLITION PLAN KEY NOTES

- 1. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
- 2. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
- 3. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
- 4. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
- 5. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
- 6. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
- 7. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
- 8. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
- 9. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
- 10. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.

DEMOLITION - GENERAL NOTES

1. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
2. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
3. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
4. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
5. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
6. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
7. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
8. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
9. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
10. DEMOLITION OF THE BUILDING SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.

HALQUIST STONE

2875 WEST RYAN ROAD
FRANKLIN, WI 53132

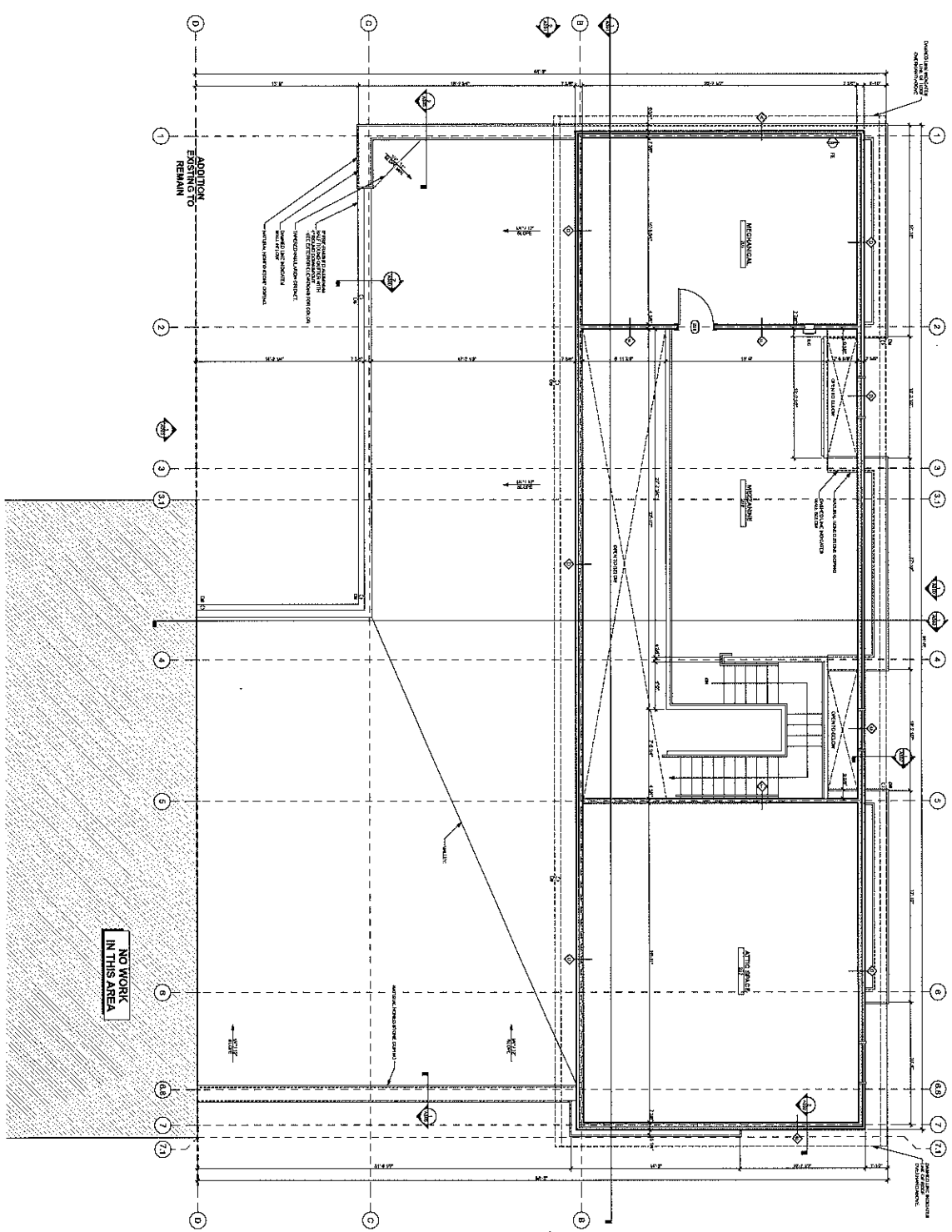


AD100

NOT FOR CONSTRUCTION



NEW MEZZANINE PLAN
SCALE: 1/4" = 1'-0"



NO WORK
IN THIS AREA

WALL TYPE LEGEND

NEW WALL
EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURAL ELEMENTS AND FINISHES.
5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FLOOR FINISHES AND WALLS.
6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CEILING FINISHES.
7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DOOR AND WINDOW THRESHOLDS.
8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LIGHT FIXTURES.
9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING VENTILATION SYSTEMS.
10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FIRE PROTECTION SYSTEMS.
11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SECURITY SYSTEMS.

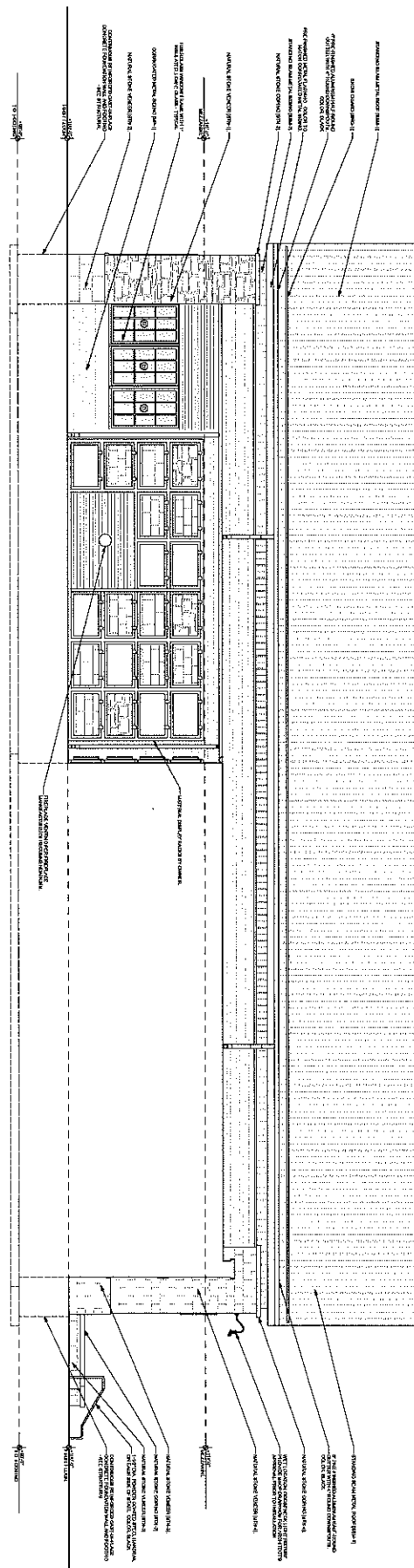
NOT FOR CONSTRUCTION

HALQUIST STONE
2875 WEST RYAN ROAD
FRANKLIN, WI 53132

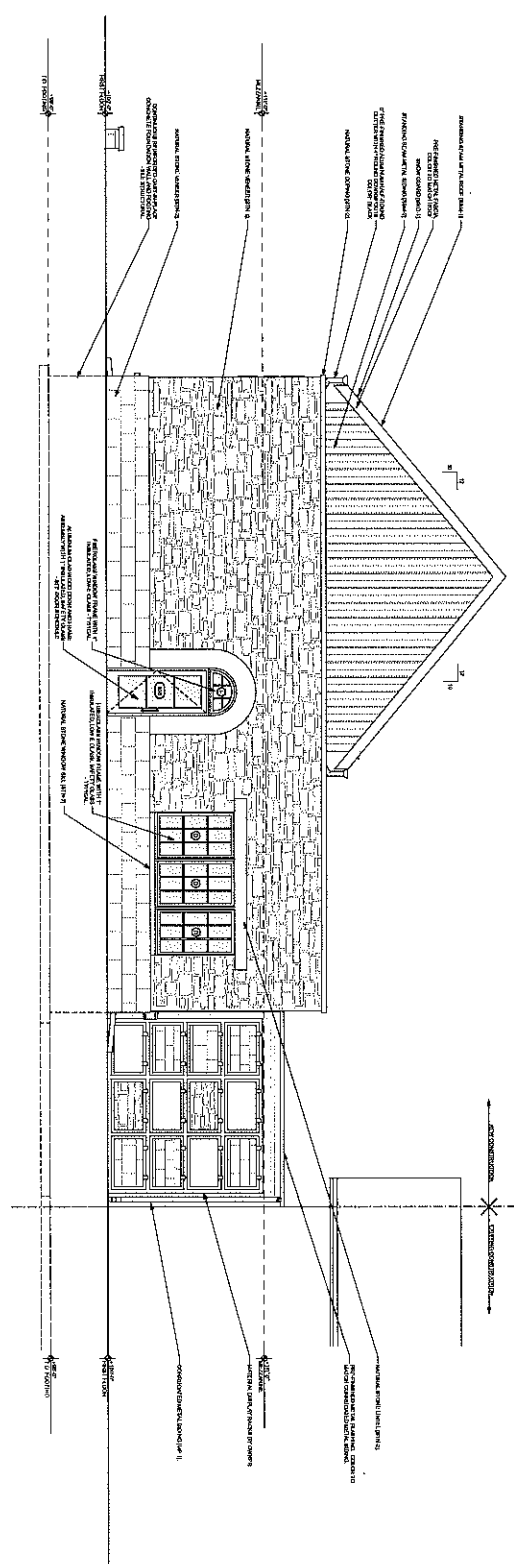


PROJECT # 1723
NEW MEZZANINE
FLOOR PLAN
A101





NEW SOUTH ELEVATION
SCALE 1/4" = 10'



NEW WEST ELEVATION
BOULDER - 1st

NOT FOR CONSTRUCTION

HALQUIST STONE

2875 WEST RYAN ROAD
FRANKLIN, WI 53132



A201

PRODUCT # 1722

NEW EXTERIOR
ELEVATIONS

DATE: 06/02/16
 INCIDENT APPLICATION - A
 MATERIALS APPLICATION - B

Exterior Materials Legend

Item	Material Name	Manufacturer	Product Name	Finish	Notes
101	White Concrete	White Concrete	White Concrete	White Concrete	
102	Light Gray Concrete	Light Gray Concrete	Light Gray Concrete	Light Gray Concrete	
103	Dark Gray Concrete	Dark Gray Concrete	Dark Gray Concrete	Dark Gray Concrete	
104	Black Concrete	Black Concrete	Black Concrete	Black Concrete	
105	White Stucco	White Stucco	White Stucco	White Stucco	
106	Light Gray Stucco	Light Gray Stucco	Light Gray Stucco	Light Gray Stucco	
107	Dark Gray Stucco	Dark Gray Stucco	Dark Gray Stucco	Dark Gray Stucco	
108	Black Stucco	Black Stucco	Black Stucco	Black Stucco	
109	White Brick	White Brick	White Brick	White Brick	
110	Light Gray Brick	Light Gray Brick	Light Gray Brick	Light Gray Brick	
111	Dark Gray Brick	Dark Gray Brick	Dark Gray Brick	Dark Gray Brick	
112	Black Brick	Black Brick	Black Brick	Black Brick	
113	White Tile	White Tile	White Tile	White Tile	
114	Light Gray Tile	Light Gray Tile	Light Gray Tile	Light Gray Tile	
115	Dark Gray Tile	Dark Gray Tile	Dark Gray Tile	Dark Gray Tile	
116	Black Tile	Black Tile	Black Tile	Black Tile	
117	White Siding	White Siding	White Siding	White Siding	
118	Light Gray Siding	Light Gray Siding	Light Gray Siding	Light Gray Siding	
119	Dark Gray Siding	Dark Gray Siding	Dark Gray Siding	Dark Gray Siding	
120	Black Siding	Black Siding	Black Siding	Black Siding	

NOT FOR CONSTRUCTION

HALQUIST STONE

2875 WEST RYAN ROAD
FRANKLIN, WI 53132



6025 West Lake Avenue
Suite 200, Franklin, WI 53132
Phone: 262.773.7773
www.galbraitharchitects.com

Copyright

A202

EXTERIOR
MATERIALS LEGEND
AND DETAILS

PROJECT # 17-03

DATE: 10/1/2017
DRAWN BY: J. H. H.
CHECKED BY: J. H. H.

© 2017 Galbraith Architects, Inc.

BLANK PAGE