



FRANKLIN CITY HALL CHAMBERS
9229 W. LOOMIS ROAD
FRANKLIN, WISCONSIN

PLAN COMMISSION MEETING AGENDA
Thursday, November 7, 2024 at 6:00 P.M.

A. Call to Order and Roll Call

B. Approval of Minutes

1. Approval of the regular meeting of October 17, 2024.

C. Public Hearing Business Matters

1. **Franklin Public Schools, Natural Resource Special Exception.** Request to allow disturbance of approximately 1,046 square feet of wetland, 528 square feet of wetland buffer, and 2,114 square feet of wetland setback for the construction of an asphalt path and boardwalk; for property located at 8225-8459 West Forest Hill Avenue (TKN 838 9978 001).
2. **Nehmey Construction, Inc., Unified Development Ordinance Text Amendment.** Request to amend the Unified Development Ordinance text at Table 15-3.0603 Standard Industrial Classification Title No. 1521 "Single-family housing construction", to allow for such use as a Special Use in the VB Village Business District.
3. **Nehmey Construction, Inc., Special Use.** Request to allow a design build remodeling business use to operate upon property located at 11123 West St. Martins Road (TKN 799 9989 008).

D. Citizen comment period. Citizens may comment upon the Business Matter items set forth on this Meeting Agenda.

E. Business Matters

1. None

F. Adjournment

The YouTube channel "City of Franklin WI" will live stream the Plan Commission meeting so the public can watch and listen to it at <https://www.youtube.com/c/CityofFranklinWIGov>. Any questions on this agenda may be directed to the Department of City Development's office at 414-425-4024, Monday through Friday, 8 AM – 4:30 PM.

*Supporting documentation and details of these agenda items are available at City Hall during regular business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at 414- 425-7500.]

REMINDERS: Next Regular Plan Commission Meeting: November 21, 2024.

**City of Franklin
Plan Commission Meeting
October 17, 2024
Minutes**

unapproved

A. Call to Order and Roll Call

Mayor John Nelson called the October 17, 2024 Plan Commission meeting to order at 6:01 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor John Nelson, Alderwoman Courtney Day, Acting City Engineer Mike Paulos and Commissioners Patrick Leon and Kevin Haley. Excused was Commissioner Rebecca Specht and Michael Shawgo. Also, present were City Attorney Jesse Wesolowski, Planning Manager Régulo Martínez-Montilva, Principal Planner Marion Ecks and Director of Administration Kelly Hersh. Alderman Yousef Hasan was also present.

B. Approval of Minutes – Regular Meeting of October 3, 2024

Commissioner Leon moved and Commissioner Haley seconded a motion to approve the October 3, 2024 meeting minutes. On voice vote, all voted ‘aye’; motion carried (4-0-2).

C. Public Hearing Business Matters

- 1. Black Duck Partners, Special Use.** Request to allow for a special use for a physical fitness facility under SIC Code 7991 “Physical Fitness Facilities”, within Planned Development District 16 (Franklin Centre); For property located at 7199 S 76th Street (TKN 755 1002 000).

Planning Manager Martínez-Montilva presented the Special Use. Applicant Black Duck Partners was present.

The Official Notice of Public Hearing was read in to the record by Planning Manager Martínez-Montilva and the Public Hearing opened at 6:07 pm and closed at 6:07 pm.

Commissioner Leon moved and Alderwoman Day seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a physical fitness facility located at 7199 S 76th Street (Black Duck Partners, applicant). On voice vote, all voted ‘aye’; motion carried (4-0-2).

- 2. Mayville Wis, Comprehensive Master Plan Amendment and Rezoning.** Request to amend the Future Land Use Map of the City of Franklin 2025 Comprehensive Master Plan, from Business Park to Residential use; and the Unified Development Ordinance (zoning map) from R-2 Estate Single-Family Residence District to R-6 Suburban Single-Family Residence District; for property located at 9720 S. 112th Street (892-9998-000).

Planning Manager Martínez-Montilva presented the Comprehensive Master Plan Amendment. Applicant Robert Villareal was present.

The Official Notice of Public Hearing for the rezoning application was read in to the record by Planning Manager Martínez-Montilva and the Public Hearing opened at 6:16 pm and closed at 6:19 pm.

Commissioner Leon moved and Commissioner Haley seconded a motion to deny the comprehensive master plan amendment and rezoning applications. On voice vote, all voted 'aye'; motion carried (4-0-2).

D. Citizen comment period. Citizens may comment upon the Business Matter items set forth on this meeting agenda.

The citizen comment period opened at 6:40 p.m. and closed at 6:58 p.m.

E. Business Matters

1. **Tsunami Car Wash, Special Use and Site Plan.** Request to allow for a new car wash on a vacant lot at the intersection of Lovers Lane Road and Whitnall Edge Road, 6449 S Whitnall Edge Road (TKN 705 8997 003). [The Plan Commission held a public hearing for this Special Use request on August 22, 2024].

Planning Manager Martínez-Montilva presented the Special Use and Site Plan. Applicant Miranda Seals was present.

Special Use

Commissioner Leon moved and Commissioner Haley seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for Tsunami Express Car Wash, a carwash facility located at 6449 S Whitnall Edge Road (Tsunami Express Car Wash, applicant). On voice vote, all voted 'aye'; motion carried (4-0-2).

Site Plan

Commissioner Leon moved and Commissioner Haley seconded a motion to adopt a Resolution approving a Site Plan for Tsunami Express Car Wash, a carwash facility (6449 S Whitnall Edge Road) (Tsunami Express Car Wash, applicant). On voice vote, all voted 'aye'; motion carried (4-0-2).

2. **Communities of Crocus, Special Use.** An application for a Special Use for Communities of Crocus to allow for development of up to four four-unit multifamily residential buildings (16 units total) with services for autistic adults, and related community buildings, on property located at 0 S. 31st St. (TKN: 761 9992 002). The public hearing for this item was held on August 22, 2024.

Principal Planner Marion Ecks presented the Special Use. Applicant Amy Hansel was present.

Commissioner Leon moved and Commissioner Haley seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a sixteen-unit supportive housing development, resident community center, and community hub facility, upon property located at 0 S 31st St, TKN 761 9992 002 (by Amy Hansel, Communities of Crocus, applicant, Northwestern Mutual Life Insurance, property owner). On voice vote, all voted 'aye'; motion carried (4-0-2).

3. **Communities of Crocus, Comprehensive Master Plan (CMP) Amendment and Rezoning.** An application for a Comprehensive Master Plan Amendment from office to mixed use; and an application for rezoning from R-6 Suburban Single-Family Residence District and OL-1

Office Overlay District to B-4 South 27th Street Mixed Use Commercial District. The site of the proposed CMP Amendment and Rezoning is approximately 24.5 acres (three vacant properties) located at 7521 S. 31st St. and the two lots immediately north of this property with address 0 S. 35th St. and 0 S. 31st St., (TKN: 761 9994 005, 761 9997 003, and 786 9981 004). The public hearing for the Rezoning was held on August 22, 2024.

Principal Planner Marion Ecks presented the Special Use. Applicant Amy Hansel was present

Comprehensive Master Plan

Commissioner Leon moved and Commissioner Haley seconded a motion to adopt a Resolution recommending the adoption of an Ordinance to amend the City of Franklin 2025 Comprehensive Master Plan to change the City of Ranklin 2025 Future Land Use map for three properties generally located on the east side of South 31st Street, addressed as 7521 S. 31st Street (TKN 786 9981 004), 0 S 35th Street (TKN 761 9997 003) and 0 S 31st Street (TKN 761 9994 005), from Office Use and Areas of Natural Resource Features Use to Mixed Use and Areas of Natural Resource Features pursuant to Wis. Stat. § 66.1001(4)(b). On voice vote, all voted 'aye'; motion carried (4-0-2).

Rezone

Commissioner Leon moved and Alderwoman Day seconded a motion to recommend adoption of an Ordinance to amend the Unified Development Ordinance (zoning map) to rezone three properties located on the east side of South 31st Street, addressed as 7521 S. 31st Street (TKN 786 9981 004), 0 S 35th Street (TKN 761 9997 003) and 0 S 31st Street (TKN 761 9994 005), to B-4 South 27th Street Mixed Use Business District (Amy Hansel, Communities of Crocus) (Northwestern Mutual Life Insurance, property owners). On voice vote, all voted 'aye'; motion carried (4-0-2).

4. **Loomis & Ryan Inc., Special Use Amendment.** Request to remove condition of approval requiring installation of trail or sidewalk, for property located at 9524 S. Sophia Court (891 9054 000). [The Plan Commission held a public hearing for this request on October 3, 2024].

Planning Manager Martínez-Montilva presented the Special Use Amendment.

Commissioner Leon moved and Alderwoman Day seconded a motion to recommend approval of a Resolution to amend Resolution No. 2022-7873 imposing conditions and restrictions for the approval of a Special Use for a condominium complex development use upon property located at 9524 S. Sophia Court, with this additional condition: The applicant must record the proposed sidewalk easement depicted on plan sheet C-15 dated April 9, 2024 . On voice vote, 3 voted 'aye' and 1 voted 'nay'; motion failed (3-1-2).

5. **Saputo Cheese USA, Inc., Site Plan Amendment.** Request to allow for changes from the approved site plan including alterations to building design and dimensions, parking, and inclusion of additional accessory structures. The building is located in Planned Development District (PDD) 39, the Mixed Use Business Park, at 2895 W Oakwood Rd. (TKN 951 9994 003) (Saputo Cheese USA, applicant and property owner).

Principal Planner Marion Ecks presented the Site Plan Amendment.

Alderwoman Day moved and Commissioner Haley seconded a motion to adopt a Resolution approving a Site Plan Amendment for a consumer food product converting facility, located at

2895 W Oakwood Rd. (TKN 951 9994 003) (Saputo Cheese USA, applicant and property owner). On voice vote, all voted 'aye'; motion carried (4-0-2).

F. Adjournment

Commissioner Haley moved and Commissioner Leon seconded to adjourn the meeting at 7:59 pm. On voice vote, all voted 'aye'; motion carried (4-0-2).

DRAFT



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of November 7, 2024

Natural Resource Special Exception

RECOMMENDATION: Department of City Development Staff recommends approval of the Natural Resource Special Exception request for property located at 8225-8459 W. Forest Hill Avenue, subject to the conditions listed in the attached draft Standards, Findings and Decision form.

Project Name:	Franklin Public Schools Natural Resource Special Exception
Project Location:	8225, 8255, 8429 and 8459 W. Forest Hill Avenue (Tax Key No. 838 9978 001)
Property Owner:	Franklin Public Schools
Applicant:	Andrew Chromy, Franklin Public Schools
Agent:	Jesse Becker, Point of Beginning
Current Zoning:	I-1 Institutional District
2025 Comprehensive Plan:	Institutional and Areas of Natural Resource Features
Applicant's Action Requested:	Recommendation to the Common Council for approval of the Natural Resource Special Exception Application
Planner:	Nick Fuchs, Planning Associate

Background:

On September 4, 2024, the applicant submitted an application requesting approval of a Natural Resource Special Exception to allow for the construction of a walking path and boardwalk through wetland, wetland buffer and wetland setback areas onsite.

There are disturbances to woodland areas; however, those disturbances are within the permitted disturbance limits of Part 4 of the Unified Development Ordinance.

At their April 4, 2024 meeting, the Plan Commission approved a Site Plan application for improvements at the subject property including a building addition, a storage building, parking lot, playground, soccer fields, and other site improvements.

As an alternative bid, the site plan included walking paths and a boardwalk through woodland and wetland areas onsite. As a condition of approval, these alternative bid options require Planning Department review and approval. As the path and boardwalk are proposed within protected natural resource features, a Natural Resource Special Exception Application is required as well.

The specific conditions of the site plan approval noted above, per Resolution No. 2024-002, are below.

- Detailed plans of any alternative bid options selected by the applicant, as shown on the plans City-stamped January 17, 2024, shall require final review and approval by the Planning Department.
- No improvements shall be located or constructed within protected natural resource features including but not limited to mature and young woodlands, wetlands, wetland buffers, and wetland setbacks without prior approval of a Natural Resource Special Exception.
- A revised Conservation Easement shall be reviewed and approved by the Common Council and recorded with the Milwaukee County Register of Deeds, prior to any land disturbing activities.

Pursuant to Section 15-10.0208 of the UDO, all requests for a Natural Resource Special Exception shall be provided to the Plan Commission for its review and recommendation.

Project Description:

A Natural Resource Protection Plan was completed by the applicant, and an overall NRPP map provided within the Plan Commission packets. The site contains mature and young woodlands, wetlands, and associated wetland buffers and setbacks.

Eleven wetlands were identified onsite, including seven within the area of the proposed improvements. Additional wetlands are shown on the map that were part of delineations completed in 2017. In 2017, the Franklin Public Schools recorded a Conservation Easement. As part of this project, the natural resources were delineated on the properties more recently acquired by the school as well as re-delineated within the current project area.

The attached exhibit illustrates disturbance of approximately 1,046 square feet of wetland, 528 square feet of wetland buffer, and 2,114 square feet of wetland setback for the construction of an asphalt path and boardwalk

A revised Conservation Easement shall be reviewed and approved by the Common Council and recorded with the Milwaukee County Register of Deeds, prior to any land disturbing activities. The Conservation Easement shall include language allowing for walking paths and boardwalks as depicted on the NRSE Exhibit dated October 10, 2024 shall be allowed.

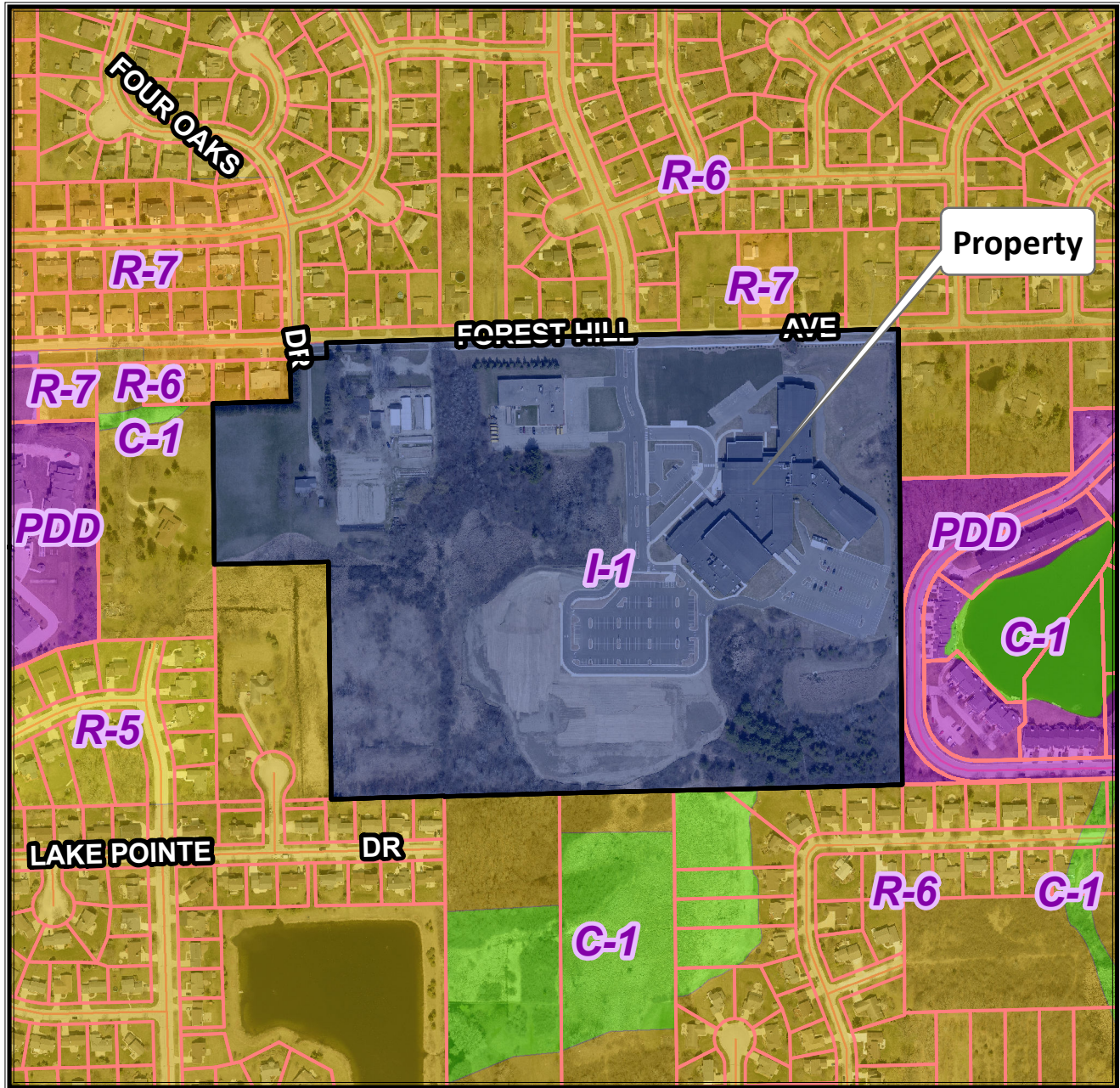
The applicant has provided the attached Natural Resource Special Exception Application, Questionnaire, Project Description, and associated information for City review and consideration.

Recommendation:

Department of City Development Staff recommends approval of the Natural Resource Special Exception request for property located at 8225-8459 W. Forest Hill Avenue, subject to the conditions listed in the attached draft Standards, Findings and Decision form.

Per Section 15-10.0208 of the Unified Development Ordinance (UDO), the applicant shall have the burden of proof to present evidence sufficient to support a Natural Resource Special Exception (NRSE) request. The applicant has presented evidence for the request by answering the questions and addressing the statements that are part of the Natural Resource Special Exception (NRSE) application. The applicant's responses to the application's questions and statements are attached for review.

8225 - 8459 W. Forest Hill Ave.
TKN 838 9978 001



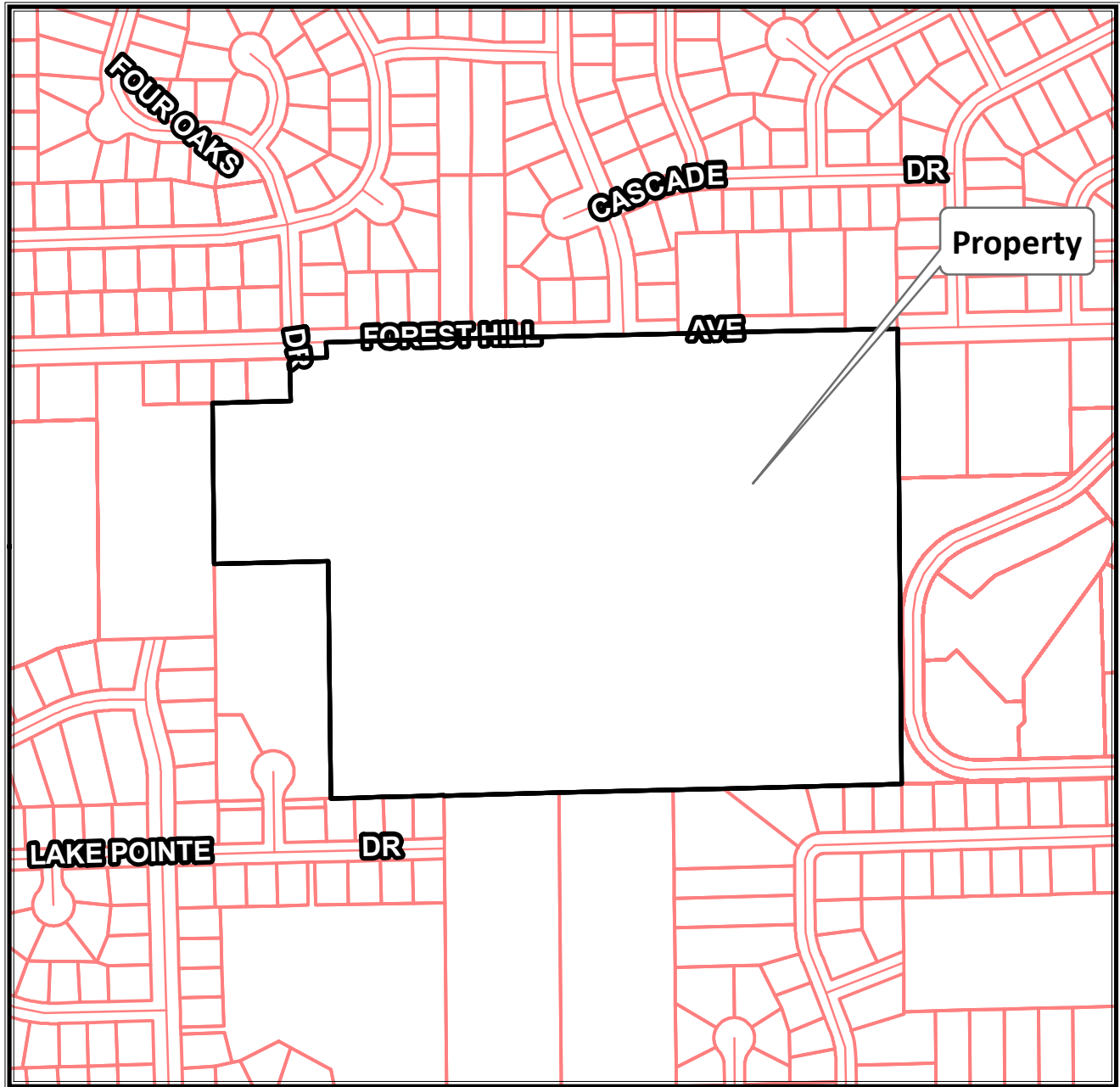
Planning Department
(414) 425-4024

0 275 550 1,100 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



8225 - 8459 W. Forest Hill Ave.
TKN 838 9978 001



Planning Department
(414) 425-4024

0 275 550 1,100 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.


NORTH
2021 Aerial Photo

Standards, Findings and Decision
of the City of Franklin Common Council upon the Application of Andrew Chromy of
the Franklin Public Schools, applicant, for a Special Exception
to Certain Natural Resource Provisions of the City of Franklin
Unified Development Ordinance

Whereas, Andrew Chromy of the Franklin Public Schools, applicant, having filed an application dated September 4, 2024, for a Special Exception pursuant to Section 15-9.0110 of the City of Franklin Unified Development Ordinance pertaining to the granting of Special Exceptions to Wetland, Wetland Buffer, and Wetland Setback Provisions; a copy of said application being annexed hereto and incorporated herein as Exhibit A; and

Whereas, the application having been reviewed by the City of Franklin Environmental Commission and the Commission having made its recommendation upon the application, a copy of said recommendation dated October 23, 2024 being annexed hereto and incorporated herein as Exhibit B; and

Whereas, following a public hearing before the City of Franklin Plan Commission, the Plan Commission having reviewed the application and having made its recommendation thereon as set forth upon the report of the City of Franklin Planning Department, a copy of said report dated _____, 2024 being annexed hereto and incorporated herein as Exhibit C; and

Whereas, the property which is the subject of the application for a Special Exception is located at 8225-8459 West Forest Hill Avenue, zoned I-1 Institutional District, and such property is more particularly described upon Exhibit D annexed hereto and incorporated herein; and

Whereas, Section 15-10.0208B. of the City of Franklin Unified Development Ordinance, as amended by Ordinance No. 2003-1747, pertaining to the granting of Special Exceptions to Wetland, Wetland Buffer, and Wetland Setback Provisions, provides in part: “The decision of the Common Council upon any decision under this Section shall be in writing, state the grounds of such determination, be filed in the office of the City Planning Manager and be mailed to the applicant.”

Now, Therefore, the Common Council makes the following findings pursuant to Section 15-10.0208B.2.a., b. and c. of the Unified Development Ordinance upon the application for a Special Exception dated September 4, 2024, by Andrew Chromy of the Franklin Public Schools, applicant, pursuant to the City of Franklin Unified Development Ordinance, the proceedings heretofore had and the recitals and matters incorporated as set forth above, recognizing the applicant as having the burden of proof to present evidence sufficient to support the following findings and that such

findings be made by not less than four members of the Common Council in order to grant such Special Exception.

1. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature): *but rather, the applicant notes the Franklin Public Schools (FPS)'s ability to develop its property are substantially limited by the Natural Resource Protection Standards enacted within UDO 15-4.001 due to the substantial amount of wetlands, wetland buffer, and wetland setback located on its property.*

2. That compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:

a. be unreasonably burdensome to the applicant and that there are no reasonable practicable alternatives: *or*

b. unreasonably and negatively impact upon the applicant's use of the property and that there are no reasonable practicable alternatives: *The applicant states compliance with the above mentioned requirements would prevent FPS from constructing an accessible route from the Middle School to the CERC facility, negatively impact neighbors by increasing traffic and parking on W. Forest Hill Ave, and be a missed opportunity to provide a nature trail for community and student use.*

3. The Special Exception, including any conditions imposed under this Section will:

a. be consistent with the existing character of the neighborhood: *The proposed special exception will leave the vast majority of natural features untouched and allow for increased access and viewing of the remaining natural features, and will be a boon for the local neighborhood as it will give people another option for walks and bike rides in the area; and*

b. not effectively undermine the ability to apply or enforce the requirement with respect to other properties: *The applicant states that "The school is in a unique situation. FPS has a unique responsibility to provide recreational and educational services for both its students as well as the local community due to the Community, Education, and Recreation Department. No neighboring properties share this responsibility."*

c. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement: *Applicant represents that, per the UDO, the intent of the code in regards to natural resources is to promote the wise use, conservation, protection, and proper development of the City's natural resources. This development will help inspire future generation to protect and restore*

ecosystems, serve as an outdoor classroom for learning, and provide an excellent outdoor recreation opportunity.; and

d. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development: *(this finding only applying to an application to improve or enhance a natural resource feature): not applicable.*

The Common Council considered the following factors in making its determinations pursuant to Section 15-10.0208B.2.d. of the Unified Development Ordinance.

1. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks: *The applicant states that "The wetland complex in question, together with extents of the property boundaries, substantially limits buildable space in the area."*

2. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district: *The applicant states that "The school district is uniquely responsible for providing educational and recreational opportunities for students and community members to the School District's Community Education & Recreation Department. The lot itself is uniquely limiting due to the location of the wetland complex relative to other improvements on the site."*

3. Existing and future uses of property; useful life of improvements at issue; disability of an occupant: *The applicant states that "The proposed walking paths will be ADA accessible, allowing students from the Middle School an accessible route to the new facility. The nature trail and board walk is intended to maintained in perpetuity, allowing access for the foreseeable future."*

4. Aesthetics: *The applicant states, "The proposed walking paths and wetland boardwalk will improve community access and visibility of the property's unique natural resources"*

5. Degree of noncompliance with the requirement allowed by the Special Exception: *The applicant states that "The proposed disturbance is very small (3688 sf) relative to overall natural resources found on the property (24.59 acres)."*

6. Proximity to and character of surrounding property: *The proposed walking paths and boardwalk should not be visible from neighboring properties due to the wooded nature of the area. The improvements will enhance surrounding properties by providing an additional recreational and educational opportunity."*

7. Zoning of the area in which property is located and neighboring area: *This lot is zoned institutional and there are no other institutional properties in the immediate area. The School District has a unique responsibility to provide educational and recreational opportunities for students and the community due its management of the Community, Education, and Recreation Department.*

8. Any negative affect upon adjoining property: *The proposed project should have no negative impacts to adjoining properties.*

9. Natural features of the property: *The proposed development will enhance local visibility and appreciation for natural resources found within the District's property by providing a new recreational opportunity.*

10. Environmental impacts: *All of the existing wetland complex's functional values in terms of stormwater storage, groundwater recharge, water quality filtration, habitat, etc. will remain. Overall, this project should be a net benefit for the community.*

11. A recommendation from the Environmental Commission as well as a review and recommendation prepared by an Environmental Commission-selected person knowledgeable in natural systems: *The Environmental Commission recommendation and its reference to the report of October 23, 2024 is incorporated herein.*

12. The practicable alternatives analysis required by Section 15-9.0110C.4. of the Unified Development Ordinance and the overall impact of the entire proposed use or structure, performance standards and analysis with regard to the impacts of the proposal, proposed design solutions for any concerns under the Ordinance, executory actions which would maintain the general intent of the Ordinance in question, and other factors relating to the purpose and intent of the Ordinance section imposing the requirement: *The Plan Commission recommendation and the Environmental Commission recommendation address these factors and are incorporated herein.*

Decision

Upon the above findings and all of the files and proceedings heretofore had upon the subject application, the Common Council hereby grants a Special Exception for such relief as is described within Exhibit C, upon the conditions:

- 1) that the natural resource features areas upon the properties to be developed be protected by a perpetual conservation easement to be approved by the Common Council prior to any development within the areas for which the Special Exception is granted prior to the issuance of any Occupancy Permits;*
- 2) that the applicant obtain all other necessary approval(s) from all other applicable governmental agencies prior to any development within the areas for which the Special Exception is granted;*

- 3) *that all development within the areas for which the Special Exception is granted shall proceed pursuant to and be governed by the approved Natural Resource Protection Plan and all other applicable plans for Andrew Chromy of the Franklin Public Schools, applicant, and all other applicable provisions of the Unified Development Ordinance.*
- 4) *that the applicant restore any temporarily disturbed wetland buffer and wetland setback to the standards of UDO §15-4.0102I for wetland setback and UDO §15-4.0103B5 for wetland buffer.*
- 5) *that the duration of this grant of Special Exception is permanent.*

Introduced at a regular meeting of the Common Council of the City of Franklin this ____ day of _____, 2024.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this ____ day of _____, 2024.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Shirley J. Roberts, City Clerk

AYES _____ NOES _____ ABSENT _____



4941 Kirschling Court, Stevens Point, WI 54481
1497 6th Street - Suite C, Green Bay, WI 54304

Franklin Public Schools
Community Education and Recreation Center
Natural Resource Special Exception - Narrative
8/28/2024

Overall Project Description:

The proposed construction project aims to redevelop the former Luxembourg Gardens site into new youth soccer fields and expand the existing ECC District Office at 8255 W Forest Hill Ave, Franklin, WI 53132, with a new Community Education and Recreation Center. This development will significantly enhance the facilities and services of the Community Education & Recreation Department, offering increased capacity for a wider range of indoor and outdoor activities.

In 2018, Franklin Public Schools conducted a community-wide needs assessment, identifying specific program preferences and optimal scheduling. This expansion will directly address those needs, particularly by enabling the introduction of weekday senior programming, which was highlighted as a top priority by the community.

NRSE Narrative:

A Natural Resource Special Exception (NRSE) is being sought for the Community Education and Recreation Center project, specifically for the construction of a wetland boardwalk and associated walkways near the existing wetlands. This boardwalk, located south of the proposed facility, will serve multiple functions:

1. Offer a natural walking trail that fosters community and student engagement with local natural resources.
2. Establish an accessible path connecting the new soccer fields and Community Education and Recreation Center to Forest Park Middle School.
3. Enhance area walkability and community access to the Recreation Department facility by providing an additional access route.
4. Promote additional on-site parking during larger events, such as Saturday soccer events in the fall.

The proposed walking trail and boardwalk will actively promote engagement with natural resources among students and community members, while improving accessibility to the site from Forest Park Middle School, thereby delivering a significant benefit to the Franklin community.

Site Statistics:

- Existing Zoning: I-1
- Proposed Zoning: I-1
- Current Land Use: Institutional
- Proposed Land Use: Institutional

Construction Timeline: March 2025 – March 2026

Construction Budget: \$8.6 million

Natural Resource Special Exception Question and Answer Form

Section 1: Per Section 15-9.0110, Applications for a Special Exception to stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback provisions, and for improvements or enhancements to a natural resource feature of this Ordinance shall include the following:

- A. Name and address of the applicant and all abutting and opposite property owners of records.
(Please attach supplemental documents as necessary)
- B. Plat of survey. Plat of survey prepared by a registered land surveyor showing all of the information required under §15-9.0102 of this Ordinance for a Zoning Compliance Permit.
(Please attach)
- C. Questions to be answered by the applicant. Items on the application to be provided in writing by the applicant shall include the following:

- 1. Indication of the section(s) of the UDO for which a Special Exception is requested.

Section 15-4.001 Natural Resource Protection Standards

- 2. Statement regarding the Special Exception requested, giving distances and dimensions where appropriate.

The Special Exception is requested to allow for the construction of a wetland boardwalk and associated walking path. See attached Exemption Exhibit for locations and sizes of disturbance.

- 3. Statement of the reason(s) for the request.

Franklin Public Schools seeks NRSE approval for construction of a wetland boardwalk and walking paths. The main walking path will connect the proposed youth athletic fields to an existing parking lot, creating an additional access route for the facility, providing overflow parking for youth soccer events and creating a natural walking trail for community and student use, promoting engagement with local natural resources.

- 4. Statement of the reasons why the particular request is an appropriate case for a Special Exception, together with any proposed conditions or safeguards, and the reasons why the proposed Special Exception is in harmony with the general purpose and intent of the Ordinance. In addition, the statement shall address any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district, including a practicable alternative analysis as follows:

The proposed walking path and raised wood wetland boardwalk will allow for more community access and engagement with local wetlands and allow for improved access to the new Recreational Department facility and youth soccer fields. The existing wetland area separates the District Office/Soccer area from the Middle School. The proposed board walk has been reviewed by WI DNR and determined to not require wetland fill permitting due to the proposed puncheon design and limited disturbance.

a. Background and Purpose of the Project.

- i. Describe the project and its purpose in detail. Include any pertinent construction plans.

The proposed boardwalk/paths are part of a larger Community, Education, and Recreational Department development that will improve community access to activities such as youth sports, yoga, pilates, fitness classes, etc. The proposed wetland boardwalk will improve access to the site, provide a community walking trail, and serve as a space for natural resource engagement/education. See attached plans.

- ii. State whether the project is an expansion of an existing work or new construction.

The proposed wetland boardwalk and paths are new construction but will directly serve the proposed CERC building expansion and youth soccer fields, which is an expansion of the existing district office building.

- iii. State why the project must be located in or adjacent to the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback to achieve its purpose.

There is an existing wetland area adjacent to the proposed development which limits access to the site.

b. Possible Alternatives.

- i. State all of the possible ways the project may proceed without affecting the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback as proposed.

The overall CERC development could proceed without the proposed wetland boardwalk and walkin path. This would limit access to the site by the community, which would require more use of the adjacent West Forest Hill Ave.

- ii. State how the project may be redesigned for the site without affecting the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback.

The proposed boardwalk/pathway can be omitted without redesign.

- iii. State how the project may be made smaller while still meeting the project's needs.

The boardwalk/paths could be narrower (currently 8' wide), but not recommended as this would make the path feel very tight when people pass each other and could increase construction costs due to minimum paving width for standard paving machines.

- iv. State what geographic areas were searched for alternative sites.

N/A, expansion to existing facility.

- v. State whether there are other, non-stream, or other non-navigable water, non-shore buffer, non-wetland, non-wetland buffer, and/or non-wetland setback sites available for development in the area.

N/A, expansion to existing facility.

- vi. State what will occur if the project does not proceed.

Increased traffic and parking on W Forest Hill Ave, especially during youth Soccer Events. New CERC facility becomes less accessible by walking/biking. Missed opportunity for youth and community engagement with local natural resources.

- c. Comparison of Alternatives.

- i. State the specific costs of each of the possible alternatives set forth under sub.2., above as compared to the original proposal and consider and document the cost of the resource loss to the community.

Financially, the District would save money by not building the proposed paths and wetland boardwalk. The proposed walking paths may slightly increase sediment discharge to the wetland. Boardwalk design allows for plants to grow beneath it.

- ii. State any logistical reasons limiting any of the possible alternatives set forth under sub. 2., above.

Not providing this walking path will limit access to the site from the south. Decreasing walking and biking path access. This also results in more parents needing to access the site by parking in and around W. Forest Hill Ave. This has safety implications, i.e. more likely for youth to cross traffic.

- iii. State any technological reasons limiting any of the possible alternatives set forth under sub. 2., above.

N/A

- iv. State any other reasons limiting any of the possible alternatives set forth under sub. 2., above.

The proposed boardwalk / walking paths will establish a much shorter accessible route from the Middle School to the proposed development, improving ADA accessibility and access equity.

- d. Choice of Project Plan. State why the project should proceed instead of any of the possible alternatives listed under sub.2., above, which would avoid stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback impacts.

The proposed walking trail and boardwalk will actively promote engagement with natural resources among students and community members, while improving accessibility to the site from Forest Park Middle School, thereby delivering a significant benefit to the Franklin community.

- e. Stream or Other Navigable Water, Shore Buffer, Wetland, Wetland Buffer, and Wetland Setback Description. Describe in detail the stream or other navigable water shore buffer, wetland, wetland buffer, and/or wetland setback at the site which will be affected, including the topography, plants, wildlife, hydrology, soils and any other salient information pertaining to the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback.

Wetland 3 is 3.745-acres of wet meadow/shallow marsh, willow and buckthorn thickets located within a depression and continues beyond the study area to the west. The wetland boundaries were marked by a change in topography, vegetation, and soil indicators. The soils were probed until redox features dropped out and change in surficial soil colors. All three wetland parameters were met within this wetland.

- f. Stream or Other Navigable Water, Shore Buffer, Wetland, Wetland Buffer, and Wetland Setback Impacts. Describe in detail any impacts to the above functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback:

- i. Diversity of flora including State and/or Federal designated threatened and/or endangered species.

Additional hard surface area will slightly decrease green space and total amount of flora. No threatened or endangered flora species. The proposed project should have minimal impact on the wetlands's flora.

- ii. Storm and flood water storage.

No Impact. The proposed project involves no wetland fill, therefore there will be no change to the wetland's storm and flood water storage.

- iii. Hydrologic functions.

No Impact. The proposed project involves no wetland fill, therefore there will be no change to the wetland's hydrologic function.

-
-
- iv. Water quality protection including filtration and storage of sediments, nutrients or toxic substances.

No Impact. The proposed project involves no wetland fill, therefore there will be no change to the wetland's ability to provide filtration and storage of sediments, nutrients, or toxic substances.

- v. Shoreline protection against erosion.

N/A (no shoreline)

- vi. Habitat for aquatic organisms.

The proposed project should have negligible habitat impact.

- vii. Habitat for wildlife.

Negligible impact. Increased human activity may frighten large mammals. Increased hard surface will slightly decrease available green space.

- viii. Human use functional value.

Substantial positive impact. The proposed project will provide educational and recreational opportunities that were not previously available.

- ix. Groundwater recharge/discharge protection.

No Impact.

- x. Aesthetic appeal, recreation, education, and science value.

Substantial positive impact. Proposed project will allow for students and community members to better view the wetland area, allowing for classes and community groups to use the wetland area as a learning opportunity, fostering community support for natural resources.

- xi. Specify any State or Federal designated threatened or endangered species or species of special concern.

Rusty Patch Bumble Bee (Federal: LE; State: SC)

Prairie Crayfish (Federal: N/A, State: SC/N)

Blandings Turtle (Federal: SC/P; State - SOC)

- xii. Existence within a Shoreland.

N/A

- xiii. Existence within a Primary or Secondary Environmental Corridor or within an Isolated Natural Area, as those areas are defined and currently mapped by the Southeastern Wisconsin Regional Planning Commission from time to time.

N/A

- g. Water Quality Protection. Describe how the project protects the public interest in the waters of the State of Wisconsin.

Since the proposed project involves no wetland fill, the functional water quality / treatment value of the wetland will not be impacted by the proposed project.

5. Date of any previous application or request for a Special Exception and the disposition of that previous application or request (if any).

N/A

- D. Copies of all necessary governmental agency permits for the project or a written statement as to the status of any application for each such permit. *(Please attach accordingly)*

Section 2: Staff recommends providing statements to the following findings that will be considered by the Common Council in determining whether to grant or deny a Special Exception to the stream, shore buffer, navigable water-related, wetland, wetland buffer and wetland setback regulations of this Ordinance and for improvements or enhancements to a natural resource feature, per Section 15-10.0208B.2. of the Unified Development Ordinance.

- a. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature):

Franklin Public Schools (FPS)'s ability to develop its property are substantially limited by the Natural Resource Protection Standards enacted within UDO 15-4.001 due to the substantial amount of wetlands, wetland buffer, and wetland setback located on its property.

- b. Compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:

- i. be unreasonably burdensome to the applicants and that there are no reasonable practicable alternatives:

_____ ; or

- ii. unreasonably and negatively impact upon the applicants' use of the property and that there are no reasonable practicable alternatives:

Compliance with the above mentioned requirements would prevent FPS from constructing an accessible route from the Middle School to the CERC facility, negatively impact neighbors by increasing traffic and parking on W. Forest Hill Ave, and be a missed opportunity to provide a nature trail for community and student use.

- c. The Special Exception, including any conditions imposed under this Section will:

- i. be consistent with the existing character of the neighborhood:

The proposed special exception will leave the vast majority of natural features untouched and allow for increased access and viewing of the remaining natural features, and will be a boon for the local neighborhood as it will give people another option for walks and bike rides in the area.

_____ ; and

- ii. not effectively undermine the ability to apply or enforce the requirement with respect to other properties:

The school is in a unique situation. FPS has a unique responsibility to provide recreational and educational services for both its students as well as the local community due to the Community, Education, and Recreation Department. No neighboring properties share this responsibility.

_____ ; and

- iii. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement:

Per the UDO, the intent of the code in regards to natural resources is to promote the wise use, conservation, protection, and proper development of the City's natural resources. This development will help inspire future generation to protect and restore ecosystems, serve as an outdoor classroom for learning, and provide an excellent outdoor recreation opportunity.

_____; and

- iv. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development (*this finding only applying to an application to improve or enhance a natural resource feature*):

N/A

- d. In making its determinations, the Common Council shall consider factors such as:

- i. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks:

The wetland complex in question, together with extents of the property boundaries, substantially limits buildable space in the area.

- ii. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district:

The school district is uniquely responsible for providing educational and recreational opportunities for students and community members to the School District's Community Education & Recreation Department. The lot itself is uniquely limiting due to the location of the wetland complex relative to other improvements on the site.

- iii. Existing and future uses of property; useful life of improvements at issue; disability of an occupant:

The proposed walking paths will be ADA accessible, allowing students from the Middle School an accessible route to the new facility. The nature trail and board walk is intended to maintained in perpetuity, allowing access for the foreseeable future.

- iv. Aesthetics:

The proposed walking paths and wetland boardwalk will improve community access and visibility of the property's unique natural resources.

- v. Degree of noncompliance with the requirement allowed by the Special Exception:

The proposed disturbance is very small (3688 sf) relative to overall natural resources found on the property (24.59 acres).

-
-
- vi. Proximity to and character of surrounding property:
The proposed walking paths and boardwalk should not be visible from neighboring properties due to the wooded nature of the area. These improvements will enhance surrounding properties by providing an additional recreational and educational opportunity.
-
- vii. Zoning of the area in which property is located and neighboring area:
This lot is zoned institutional and there are no other institutional properties in the immediate area. The School District has a unique responsibility to provide educational and recreational opportunities for students and the community due its management of the Community, Education, and Recreation Department.
-
- viii. Any negative affect upon adjoining property:
The proposed project should have no negative impacts to adjoining properties.
-
-
- ix. Natural features of the property:
The proposed development will enhance local visibility and appreciation for natural resources found within the District's property by providing a new recreational opportunity.
-
-
- x. Environmental impacts:
All of the existing wetland complex's functional values in terms of stormwater storage, groundwater recharge, water quality filtration, habitat, etc. will remain. Overall, this project should be a net benefit for the community.
-
-

CITY OF FRANKLIN

REPORT TO THE PLAN COMMISSION

Meeting of November 7, 2024

Unified Development Ordinance Text Amendment and Special Use

RECOMMENDATION: City Development Staff recommends approval of the Unified Development Ordinance and Special Use applications for Nehmey Construction, Inc., subject to the staff recommended conditions of approval.

Project Name:	Nehmey Construction, Inc. Unified Development Ordinance Text Amendment and Special Use
Project Address:	City-wide/11123 W. St. Martin's Road
Applicant:	John Nehmey, Nehmey Construction, Inc.
Property Owner(s):	St. Martin's Holdings, LLC
Current Zoning:	VB – Village Business District
2025 Future Land Use:	Mixed Use
Use of Surrounding Properties:	VB to the north and west, P-1 to the south, R-3 and I-1 across the street to the east
Applicant Action Requested:	Approval of the Unified Development Ordinance Text Amendment and Special Use

Introduction:

Please note:

- Staff recommendations are underlined, in italics and are included in the draft resolution.
- Staff suggestions are underlined only and are not included in the draft resolution.

The applicant has filed a Unified Development Ordinance Text Amendment and Special Use applications requesting approval of a Special Use Permit for Nehmey Construction, Inc. to locate and operate a design build remodeling business use at 11123 W. St. Martins Road.

Unified Development Ordinance (UDO) Text Amendment

The UDO Text Amendment requests to allow Standard Industrial Classification No. 1521, Single-family housing construction, as a Special Use in the VB Village Business District. Currently this SIC Code is not allowed.

Note this would allow uses classified under this SIC Code as a Special Use for all VB District zoned properties. SIC Code No. 1521 includes the following:

1521 General Contractors-Single-Family Houses

General contractors primarily engaged in construction (including new work, additions, alterations, remodeling, and repair) of single-family houses.

- Building alterations, single-family-general contractors
- Building construction, single-family-general contractors
- Custom builders, single-family houses-general contractors
- Designing and erecting combined: single-family houses-general con-
- Home improvements, single-family-general contractors
- House construction, single-family-general contractors
- House: shell erection, single-family-general contractors
- Mobile home repair, on site-general contractors
- Modular housing, single-family (assembled on site)-general
- One-family house construction-general contractors
- Prefabricated single-family houses erection-general contractors
- Premanufactured housing, single-family (assembled on site)-general
- Remodeling buildings, single-family-general contractors
- Renovating buildings, single-family-general contractors
- Repairing buildings, single-family-general contractors
- Residential construction, single-family-general contractors
- Rowhouse (single family) construction-general contractors
- Townhouse construction-general contractors

Special Use

Nehmey Construction intends to utilize the existing building and site for a design center, offices, conference room, workshop, and interior storage. The proposed hours of operations are Monday through Friday from 9:00 a.m. to 5:00 p.m. According to the applicant, no outdoor storage is proposed.

The attached project narrative submitted by the applicant provides additional details regarding the proposed use. The applicant also submitted responses to Section 15-3.0701, General Standards for Special Uses, for Plan Commission review and consideration.

Project Description/Analysis:

The subject site has an area of approximately 1.264 acres or 55,060 square feet. The property currently consists of a one-story building, gravel parking lot, and a 5-bay detached garage building.

The applicant is generally proposing to occupy the site in its current condition, but has noted building and site changes consisting of a new front door/entrance, installation of ADA compliant railings along the exterior ramps and stairs, and the delineation of parking spaces with parking barriers. The interior of the building will also be remodeled.

The applicant has stated that there are plans to pave the parking lot in the future. At that time, the applicant plans to reduce the size of the parking lot slightly, add greenspace, and stripe the parking lot. The applicant anticipates this would be completed within four years of occupying the site.

A landscape and lighting plan were not provided. The applicant intends to add plantings to the site in spring 2025. Exterior lighting is also anticipated in the future. Once proposed, staff recommends that a Landscape Plan and Lighting Plan shall be provided for Plan Commission review and approval. Alternatively, the Plan Commission may direct staff to review and approve landscaping and lighting in the future via a Minor Site Plan Amendment Application.

Staff suggests that the parking lot be paved as part of this project, prior to issuance of an Occupancy Permit. Staff further suggests that the paving require a Minor Site Plan Amendment Application for staff review and approval. The proposed Site Plan shall include the following:

- a. In accordance with Section 15-5.0202.B. of the UDO, parking spaces shall be a minimum of 9-feet wide and 180 square feet in area. Parking spaces abutting curbs may be 9-feet and 18-feet in length, which would account for an overhang.
- b. Establishment of a minimum 10-foot setback for the parking lot and drives per Section 15-5.0202.C.4.
- c. Elimination of the front parking spaces that abut and would back up directly onto W. St. Martins Road.
- d. Installation of concrete curb and gutter as required by Section 15-5.0202E.1. (Note this section specifically states that the Plan Commission may waive this requirement.)
- e. Creation of a single ingress/egress opening in accordance with Section 15-5.0207.
- f. Provide landscaping quantities in compliance with [Table 15-5.0302](#).
- g. Submittal of completed Site Intensity and Capacity Calculations worksheets, which can be found within [Division 15-3.0500 of the UDO](#).

Alternatively, the above items may be considered at a later date, if and when improvements are proposed. It should be noted that Plan Commission or staff review would be required in the future depending upon the improvements and compliance with current UDO standards.

Parking

The parking lot contains 18 parking spaces, including one ADA accessible space, which is in compliance with UDO standards. This quantity of parking is also compliant with a general office type use with a ratio of about 3.33 parking spaces per 1,000 square feet of gross floor area.

It should also be noted that the VB District does not necessarily require off-street parking. In this case, considering this specific site and use, staff finds the proposed parking to be appropriate.

“Special Consideration for the Provision of Off-Street Parking in the VB District. Generally, off-street parking is not required in this district. However, the City Plan Commission may require off-street parking under those circumstances where a property is under single ownership and sufficient space is available on-site.”

Natural Resources

Wisconsin Department of Natural Resources mapping shows a mapped wetland located on the adjacent parcel to the southeast. The mapped wetland area is over 100-feet from any future land

disturbing activities of this project. The potential future modifications are also existing impervious areas. As such, staff did not recommend or require completion of a Natural Resource Protection Plan.

Signs

Any proposed signage is subject to review and approval of a Sign Permit and must be in compliance with City of Franklin sign regulations.

Staff Recommendation:

City Development Staff recommends approval of the Unified Development Ordinance and Special Use applications for Nehmey Construction, Inc., subject to the staff recommended conditions of approval.

ORDINANCE NO. 2023-____

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE TEXT
AT TABLE 15-3.0603 STANDARD INDUSTRIAL CLASSIFICATION TITLE NO. 1521
“SINGLE-FAMILY HOUSING CONSTRUCTION” TO ALLOW SUCH USE AS A
SPECIAL USE IN THE VB VILLAGE BUSINESS DISTRICT
(NEHMEY CONSTRUCTION, INC., APPLICANT)

WHEREAS, Table 15-3.0603 of the Unified Development Ordinance sets forth the permitted and special uses in nonresidential zoning districts; and

WHEREAS, Nehmey Construction, Inc. having applied for a text amendment to Table 15-3.0603 to amend the Unified Development Ordinance text at Table 15-3.0603 Standard Industrial Classification (SIC) Title No. 1521 “Single-family housing construction”, to allow for such use as a Special Use in the VB Village Business District.

WHEREAS, the Plan Commission having reviewed the proposed amendment to change SIC Code No. 1521 “Single-family housing construction” to a Special Use in the VB Village Business District, and having held a public hearing on the proposal on the 7th day of November, 2024 and thereafter having recommended approval of such amendment; and

WHEREAS, the Common Council having accepted the recommendation of the Plan Commission and having determined that the proposed amendment is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and will serve to further orderly growth and development and promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: Table 15-3.0603 of the Unified Development Ordinance of the Municipal Code of the City of Franklin, Wisconsin, only as it pertains to: Standard Industrial Classification Title No. 1521 “Single-family housing construction”, is hereby amended as follows: insert “S” (Special Use) in the VB column

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2024.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2024.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Shirley J. Roberts, City Clerk

AYES _____ NOES _____ ABSENT _____

STATE OF WISCONSIN CITY OF FRANKLIN MILWAUKEE COUNTY

Draft 10/30/2024

RESOLUTION NO. 2024-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE FOR A DESIGN BUILD REMODELING
BUSINESS USE UPON PROPERTY LOCATED AT 11123 WEST ST. MARTINS
ROAD (NEHMEY CONSTRUCTION, INC., APPLICANT)
(ST MARTINS HOLDINGS, LLC, PROPERTY
OWNER)

WHEREAS, Nehmey Construction, Inc., having petitioned the City of Franklin for the approval of a Special Use for a design build remodeling business use upon property located at 11123 W. St. Martins Road, zoned VB Village Business District. The property which is the subject of the application bears Tax Key No. 799 9989 008 and is more particularly described as follows:

PARCEL 2 OF CERTIFIED SURVEY MAP NO. 5209, BEING A PART OF
THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4
OF SECTION 18, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF
FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15- 9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of November, 2024, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use Amendment, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of

NEHMEY CONSTRUCTION, INC. – SPECIAL USE RESOLUTION
NO. 2024-_____

the City of Franklin, Wisconsin, that the petition of Nehmey Construction, Inc. for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Nehmey Construction, Inc., successors and assigns, for a design build remodeling business use, which shall be developed in substantial compliance with, and owned and operated and maintained by Nehmey Construction, Inc., pursuant to those plans City dated _____, 2024 and annexed hereto and incorporated herein as Exhibit A.
2. Nehmey Construction, Inc., successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Nehmey Construction, Inc. Special Use, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Nehmey Construction, Inc. Special Use for the property located at 11123 W. St. Martins Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. The submission of a Landscape Plan and Lighting Plan shall be provided for Plan Commission review and approval prior to installation of any landscaping or lighting for the subject property.
5. **Other conditions as may be determined.**

BE IT FURTHER RESOLVED, that in the event Nehmey Construction, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as

NEHMEY CONSTRUCTION, INC. – SPECIAL USE RESOLUTION
NO. 2024-_____

may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Amendment Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2024.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2024.

APPROVED:

John R. Nelson, Mayor

ATTEST:

Shirley J. Roberts, City Clerk

AYES _____ NOES _____ ABSENT _____

NEHMEY CONSTRUCTION, INC. – SPECIAL USE RESOLUTION
NO. 2024-_____

EXHIBIT A

PLANS DATED _____

ATTACHED HERETO

11123 W. St. Martins Road
TKN 799 9989 008



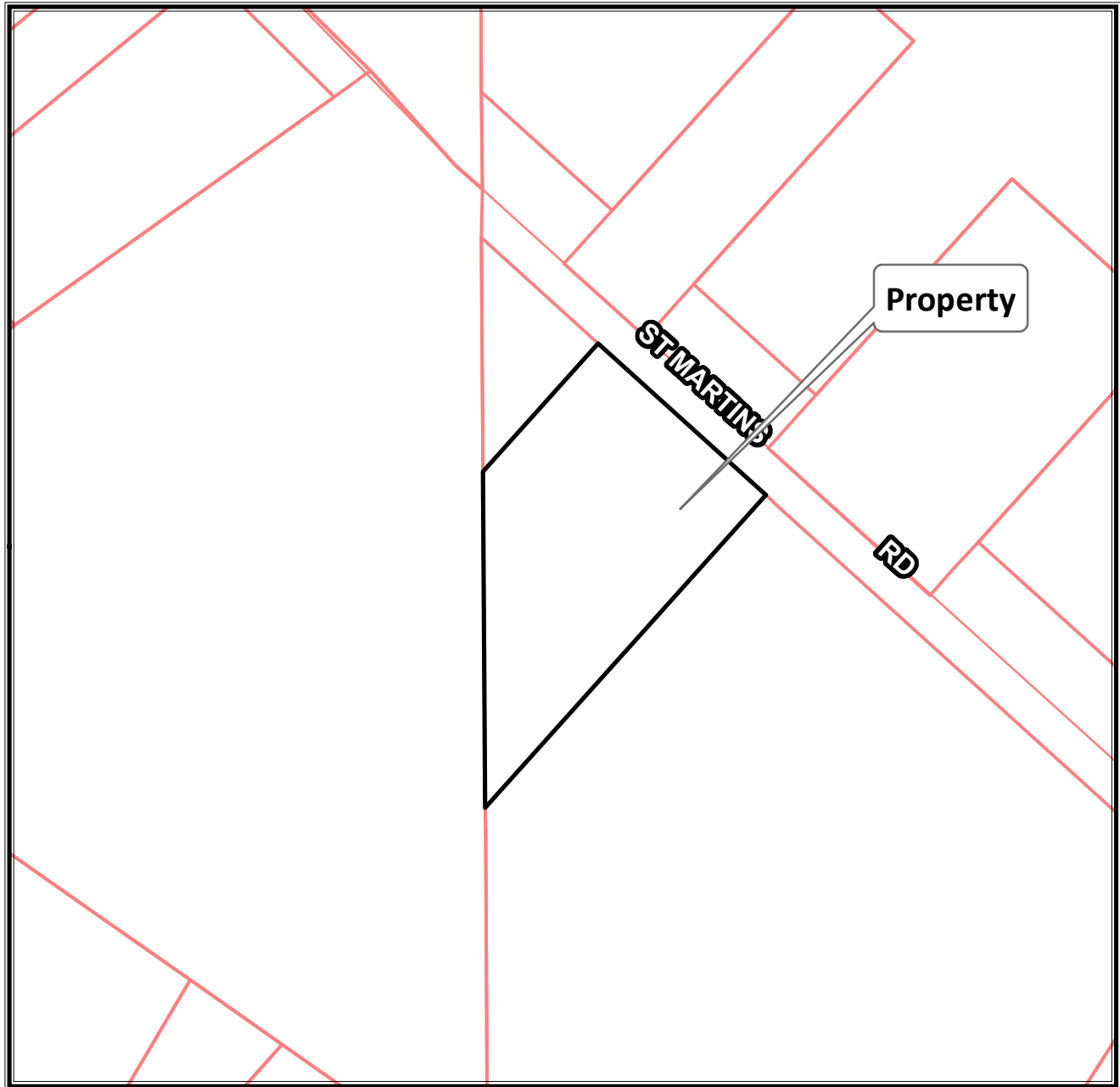
Planning Department
(414) 425-4024

0 87.5 175 350 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

NORTH
2021 Aerial Photo

11123 W. St. Martins Road
TKN 799 9989 008



Planning Department
(414) 425-4024

0 87.5 175 350 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.


NORTH
2021 Aerial Photo

PROJECT NARRATIVE

Date: September, 5 ,2024

Submitted to: City of Franklin Plan Commission

Applicant: Nehmey Construction Inc.
John Nehmey Founder/President
2411 W. Southland Dr.
Oak Creek, WI, 53154

Property Owner: 11123 W. St Martins Rd. LLC.
11123 W. St. Martins Rd.
Franklin, WI 53132

Zoning District: Village Business (VB)

Formal Amendment and Special Use Request:

Nehmey Construction, Inc requests to amend Table 15-3.0603 of the Unified Development Ordinance (UDO) to allow Single-Family housing Construction SIC No. 1521 elsewhere Classified as a Special Use within the Village Business District (VB). Currently this SIC Code is not allowed.

Special Use:

Nehmey Construction, Inc plans to utilize the existing building to operate a Design Center, Offices, Conference room, workshop and internal storage area for construction materials.

Project Overview:

This Project is Proposing an Amendment to the Zoning District Table (15-3.0603) of the Unified Development Ordinance (UDO) of the City of Franklin to allow Nehmey Construction Inc. to Occupy, and Operate out of the 11123 W. St. Martins Rd. Property, currently owned by the 11123 W. St. Martins Rd. LLC. Currently the Property's Zoning code is Village Business (VB) which would not permit Nehmey Construction Inc. to operate out of the property. Therefore, Nehmey Construction Inc. is requesting that the City of Franklin formally amend their Unified Development Ordinance (UDO) so that the Village Business (VB) zoning designation allows for Special Use permission for the Standard Industrial Classification (SIC) 1521 (Single Family Housing Construction), which would allow Nehmey Construction Inc. to operate out of the property. Subsequently, Nehmey Construction Inc. will also remodel the interior of the property to adequately allow for business operations to begin on the property.

Project Goals and Outcomes:

The Goal of Nehmey Construction Inc.'s request for an Amendment to the Zoning District Table (15-3.0603) of the Unified Development Ordinance is to allow Nehmey Construction Inc. to occupy and utilize the 11123 W. St. Martins Rd. property as the home for their Design Build Remodeling Firm. Nehmey Construction Inc. is committed to retaining the Historic character of the property while also modernizing the interior spaces to bring it up to ADA compliance. Nehmey Construction Inc. plans to convert the 11123 W. St. Martins Rd. property into a building suitable to operate a Design Center, Offices, Conference room, Workshop and internal storage area to adequately run their Design, Build, Remodel Firm. The basement of the property will act as a workshop and storage area for any and all construction materials that would be used by Nehmey Construction Inc. On the Main Floor, the Design Center, Offices and Conference Room

will all facilitate the ability of Nehmey Construction Inc., and its prospective customers, to plan any and all steps of the remodeling process. There are no plans to change the exterior siding and roof of the building, instead it is preferred that the original design is retained, including the current door locations with a new door installed at the front of the building and ADA compliant railings on the exterior ramps and stairs. In an effort to celebrate the vibrant history of not only the 11123 W. St. Martins Rd. property but the area in general, they plan to have the side entrance lead to a Gallery that contains signage and historic pictures from and of the original hardware store, which will also be accessible from the Design Center at the front of the building. Alongside the aforementioned efforts, Nehmey Construction also plans to refurbish and integrate the original exposed Timber in the design layout of the building as another way to celebrate the rich history of the property. Nehmey Construction Inc. plans to operate this project within all of the outlined standards in Section 15-3.0701A of the Franklin UDO. Nehmey Construction plans to keep the property layout the same (aside from paving the parking lot) therefore this project will not have any Undue Adverse Impact, nor will it Interfere with Surrounding Development or cause Traffic Congestion. Likewise, Nehmey Construction Inc. plans to keep the existing exterior therefore not destroying the Significant Historical Feature of the 11123 W. St. Martins Rd. property. Finally, Nehmey Construction Inc. is fully committed to be in compliance with all Standards required by the Franklin Common Council. Outside of remodeling the property, Nehmey Construction Inc. will continue the existing practices regarding the property and the St. Martins Rd. Fair.

History of Nehmey Construction:

Ever since its founding in 1996, Nehmey Construction Inc. has been committed to providing Residential Remodeling to the Greater Milwaukee Area. Not only is Nehmey Construction committed to providing this service to the citizens of the Greater Milwaukee Area, but it is also committed to working with other small businesses that operate in the Milwaukee Area. They work closely with a select group of Subcontractors and suppliers that are all located and operate in the Milwaukee Area to foster and grow small businesses in Southeast Wisconsin. This commitment has been highlighted by the numerous positions Founder John Nehmey has held within the Milwaukee Chapter of the National Association of the Remodeling Industry (NARI) of which Nehmey Construction Inc. has been a proud member since 2002. John is a NARI Master Certified Remodeler and has held positions on the NARI Board of Directors and its Home Improvement Show Committee. John also is the 2007 NARI Certified Professional of the Year, recipient of the 2021 NARI Remodeler of the Year Professionalism Award the 2009 recipient of the Gordy Ziglinski "Spirit of Education" Award for his commitment to the improvement of youth education in the Remodeling Industry. Nehmey Construction Inc. is also certified through the State of Wisconsin for Lead Safe Remodeling. They have also worked closely with Veterans Affairs to provide any and all remodeling needs of Veterans in the Greater Milwaukee Area to assure that their homes are ADA compliant. Nehmey Construction is also dedicated to increasing youth involvement in the trades has primarily been through the Milwaukee NARI chapter and Thomas Hermann, the Youth Apprentice Coordinator of the Southwest Milwaukee Consortium School to Career Program. Nehmey Construction has hired multiple Youth Apprentices through their work in this Program and has been present at numerous Job Fairs run by this group to provide insight into the trades for students of the Greater Milwaukee Area. Aside from the Youth Apprenticeship Program, Nehmey Construction is also involved in the Milwaukee NARI chapter's youth outreach program. Currently they are partnered with Oak Creek High School in the Milwaukee NARI Next Gen Trade Challenge which aims for an Increase in the involvement of Trades programs in High Schools across the Greater Milwaukee Area.

City of Franklin
Department of City Development

Date: October 22, 2024

To: John Nehmey, Nehmey Construction, Inc.

From: Nick Fuchs, Associate Planner
Department of City Development

RE: Staff Comments – Unified Development Ordinance Text Amendment (City-wide) and
Special Use (11123 W. St. Martins Road)

Please be advised that City Staff has reviewed the above applications. Department comments are as follows for the Unified Development Ordinance and Special Use:

Department of City Development

1. Please confirm that no outdoor storage is proposed. ***All Storage of Materials will be inside of the building on the property***
2. Please provide responses to special use standards, [Section 15-3.0701A. & C.](#) of the UDO. ***See Attached Sheet***
3. What are the proposed hours of operation? ***M-F 9AM-5PM or by Appt.***
4. It appears it is proposed to repave the existing parking lot. Is that correct? Are the boundaries of the parking lot changing? ***Initial plan is to not pave parking lot but designate parking spaces with parking barriers, but to pave the lot at a later date. We plan to shrink the parking lot slightly to allow for more green spaces around the building and at the edge of the property. (See attached Plans)***
5. It is recommended that plantings and a bufferyard be established between this property and the adjacent single-family use. ***See Attached Plans for Green Spaces on Front and Sides of Property, as of right now Nehmey Construction Inc. does not have any specifics on what will be in these green spaces but that they will be there.***
6. Will the parking lot be striped? ***Once Paved, yes***
7. Please provide a site data table on the Site Plan that includes site size, proposed number of parking spaces, and existing and proposed impervious surface and greenspace (in square feet). ***See the Updated Attached Plans***
8. Please submit completed Site Intensity and Capacity Calculations worksheets, which can be found within [Division 15-3.0500 of the UDO](#).
9. Is any landscaping proposed? Install additional landscape plantings within or around the perimeter of the parking lot as required by Section 15-5.0202H (below). ***Due to the Timeframe of which these comments were returned to us and the October 28th deadline for all paperwork submitted to the City of Franklin, Nehmey Construction does not have a specific plan of Landscaping for the property, but is currently working on one.***
Landscaping. All public off-street parking areas which serve five vehicles or more and are created or redesigned and rebuilt subsequent to the adoption of this Ordinance shall be provided with accessory landscape areas meeting all applicable requirements of [Division 15-5.0300 of this Ordinance](#).
10. Note that there is a mapped wetland adjacent to the property to the southeast. As site work is occurring over existing impervious surface areas and the mapped wetland is over

100 feet from any proposed disturbance, staff is not recommending or requiring submittal of a Natural Resource Protection Plan. Note that ultimately it is up to the Plan Commission if that plan or a letter indicating no natural resources are located onsite is needed.

11. Is any new lighting proposed? If so, please provide a Lighting Plan that includes mounting heights, a photometric plan as well as cut sheets or catalog pages of the proposed light fixtures. ***Due to the Timeframe of which these comments were returned to us and the October 28th deadline for all paperwork submitted to the City of Franklin, Nehmey Construction does not have a lighting plan with proposed fixtures at this time but is working on one.***
12. Are there any details that could be provided for the proposed improvements to the front entrance? ***We plan to have a Standard Commercial Aluminum storefront door to match side entrance door.***
13. Staff understands that this is a redevelopment and improvement of existing conditions of the property. With that said, the following are suggested improvements to conform with current UDO standards. Staff anticipates recommending that the Plan Commission review any unresolved items and require modifications that they find are commensurate with the proposed site improvements. Staff anticipates recommending that improvements to conform with the following suggestions be allowed via staff review of a Minor Site Plan Amendment.
 - a. In accordance with Section 15-5.0202.B. of the UDO, parking spaces should be a minimum of 9-feet wide and 180 square feet in area. Parking spaces abutting curbs may be 9-feet and 18-feet in length, which would account for an overhang.
 - b. Establish a minimum 10-foot setback for the parking lot and drives per Section 15-5.0202.C.4.
 - c. Eliminate the front parking spaces that abut and would back up directly onto W. St. Martins Road.
 - d. Install concrete curb and gutter as required by Section 15-5.0202E.1. Note this section specifically states that the Plan Commission may waive this requirement.
 - e. Create a single ingress/egress opening in accordance with Section 15-5.0207.
 - f. Provide landscaping quantities in compliance with [Table 15-5.0302](#).

Health Department Comments

Facility must comply with all Wisconsin Food Code requirements including obtaining a Retail Food Establishment License from Franklin Health Dept. Any formal plans for building or plumbing must be submitted to the health dept for review. Prior to issuing license, a complete plan review will be conducted. FHD will need Specs for kitchen equipment, menu and application submitted. Plan review letter will be issued once all information is submitted.

Fire Department Comments

1. Follow all relevant WI DSPS and IBC code requirements for fire protection systems for given occupancy, use, and construction types.
2. Fire Extinguisher placement as per NFPA 10.
3. At no time may any Hazardous, Combustible, or Flammable Materials exceed allowable quantities.
4. Master Key set required for placement in Knox Box.
5. Permitting and submittal instructions for fire protection system review and inspection can be found at: <https://www.franklinwi.gov/Departments/Fire.htm>

§ 15-3.0701 General Standards for Special Uses.

A.

General Standards. No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1.

Ordinance and Comprehensive Master Plan Purposes and Intent. The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof. ***Nehmey Construction Inc. is committed to working with the City of Franklin Comprehensive Master Plan and operate within its guidelines.***

2.

No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood. ***Being a small family-owned remodeling company, Nehmey Construction Inc. will not have any adverse effects on the surrounding area, but instead wants to work with the community to create a strong, lasting, and positive relationship.***

3.

No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations. ***Because Nehmey Construction Inc. plans to mainly focus on renovating the interior with minor changes to the exterior (new front door, more green spaces, etc...) we believe that there will be no interference with the development of the surrounding areas.***

4.

Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities. ***As a Design Build Remodeling Firm, Nehmey Construction Inc. will have all necessary services required for commercial occupation of the property, all of which are marked on the proposed renovation plans.***

5.

No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. ***Nehmey Construction Inc. believes that the building in its current iteration does not cause any undue traffic congestion due to its location, and with an already adequate parking area will allow for Nehmey***

Construction Inc. to facilitate any and all facets of its Residential Design Build Remodeling firm, while still allowing for the proper flow of traffic.

6.

No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance. **Nehmey Construction Inc. plans to keep the exterior of the building mainly intact, but does plan to add a new front door to the property.**

7.

Compliance with Standards. The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use. **Nehmey Construction is Committed to complying with all of the above standards while occupying this property.**

C.

Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1.

Public Benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community. **Nehmey Construction Inc. has and will continue to service Families within the City of Franklin and across the Greater Milwaukee Metro Area since its founding. Nehmey Construction's ability to occupy this property will allow further strengthening of this already strong relationship, while also fostering a relationship with the City of Franklin itself.**

2.

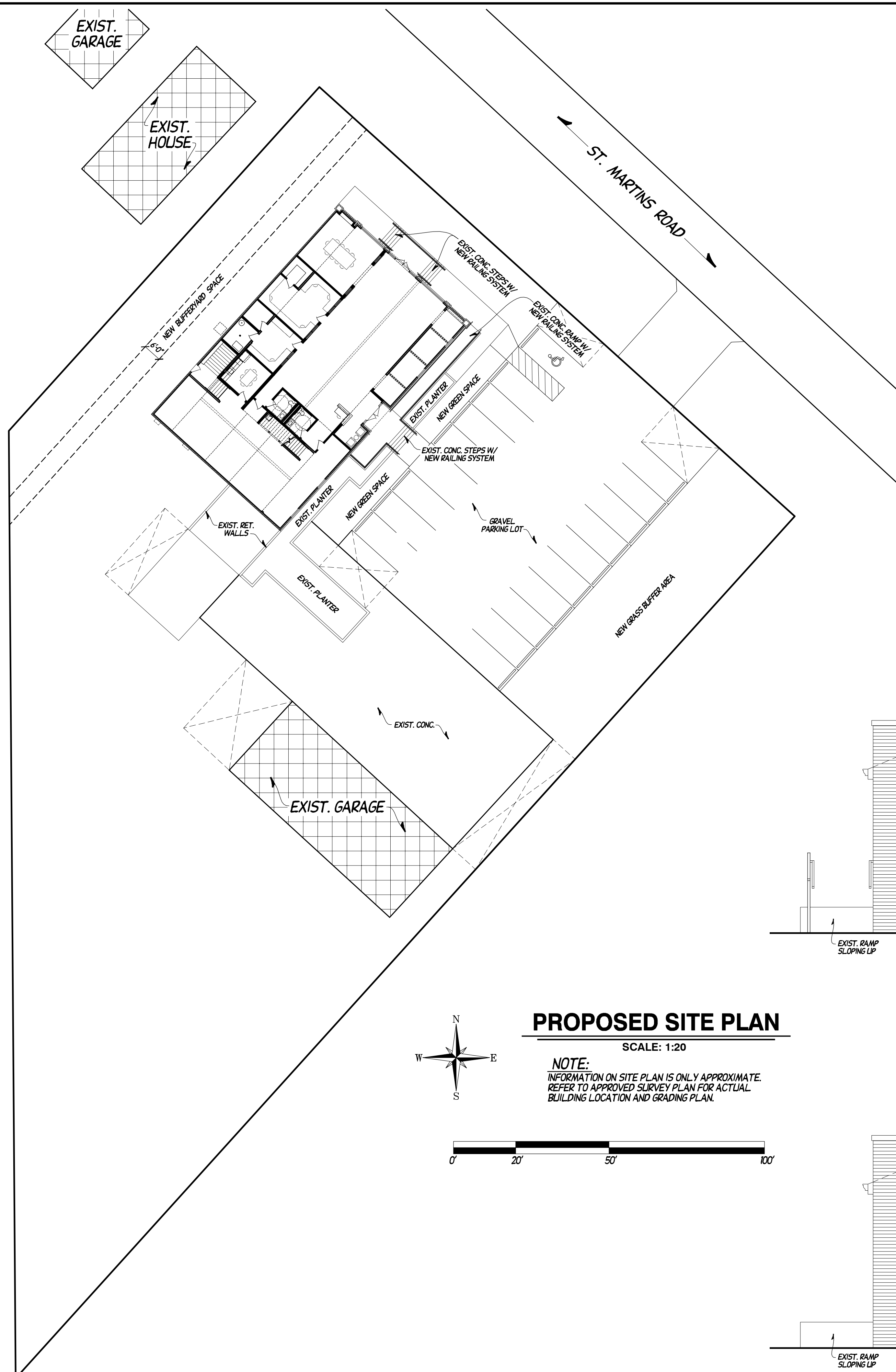
Alternative Locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site. **There are no alternative locations that Nehmey Construction Inc. has that would suit its needs as well as the 11123 W. St. Martins Rd. property, due to its location within the City of Franklin and the layout of the building itself.**

3.

Mitigation of Adverse Impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening. **See 15-30701 A #2-3**

4.

Establishment of Precedent of Incompatible Uses in the Surrounding Area. Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.



PROPOSED COMMERCIAL INTERIOR ALTERATION
11123 WEST SAINT MARTINS ROAD, FRANKLIN, WI
BUILDING OWNER
DIBBAGE LLC
2411 W. SOUTHLAND DRIVE, OAK CREEK, WI
BUILDING TENANT
NEHMEY CONSTRUCTION
Phone: (414)-761-8101
SHEET INDEX
1 - TITLE SHEET, SITE & PROPOSED FRONT ELEV.
2 - PROPOSED SITE PLAN
3 - EXIST. FOUND. PLAN
4 - EXIST. & DEMO FIRST FL. PLAN
5 - PROPOSED FIRST FL. PLAN
6 - PROPOSED SECOND FL. PLAN
7 - SECTIONS

ALTERATION BUILDING INFORMATION
CODES USED: 2015 IEBC, 2015 IBC, 2009 ICC A117.1
PRIMARY BUILDING OCCUPANCY = B - BUSINESS
ACCESSORY BUILDING OCCUPANCY = S-1 STORAGE
OVERALL EXIST. BUILDING SIZE = 5,053 SQ.FT.
PROPOSED ALTERATION AREA = 4,848 SQ.FT.
ALTERATION TYPE = ALTERATION - LEVEL 3
BUILDING CONST. TYPE = TYPE VB
SPRINKLERED = YES
NUMBER OF STORIES = 2 STORY
LOT INFORMATION
LOCAL ZONED USE = VB (VILLAGE BUSINESS DISTRICT)
LOT SIZE (GROSS) = 1.264 ACRES (GIS)

OCCUPANT LOAD
IBC TABLE 1004.1.2

B-BUSINESS OCCUPANCY:	3,138 SQ.FT. ± 100 GROSS TOTAL = 32 PERSONS
S-1 STORAGE OCCUPANCY:	1,710 SQ.FT. ± 500 GROSS TOTAL = 4 PERSONS
TOTAL OCCUPANT LOAD	= 36 PERSONS

EGRESS & ACCESSIBLE ROUTE
EGRESS BASED ON OCCUPANT LOAD & COMMON PATH OF EGRESS TRAVEL DISTANCE (IBC 1006.2.1) (TABLE 1006.2.1)
1.) OCCUPANT LOAD > 30
2.) TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE THE DESIGN OCCUPANT LOAD OR THE COMMON PATH OF EGRESS TRAVEL DISTANCE EXCEEDS THE VALUES LISTED IN TABLE 1006.2.1.
3.) (2) EXITS REQUIRED & (3) EXITS PROVIDED
DOOR WIDTH REQUIRED:
EGRESS WIDTH: (IBC 1010.1.1)
32" (MINIMUM CLEAR WIDTH REQUIREMENT)
DIRECTION OF SWING (IBC 1010.1.2.1)
PIVOT OR SIDE-HINGED SWINGING DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE.

PLUMBING FIXTURES
(IBC TABLE 2902.1)

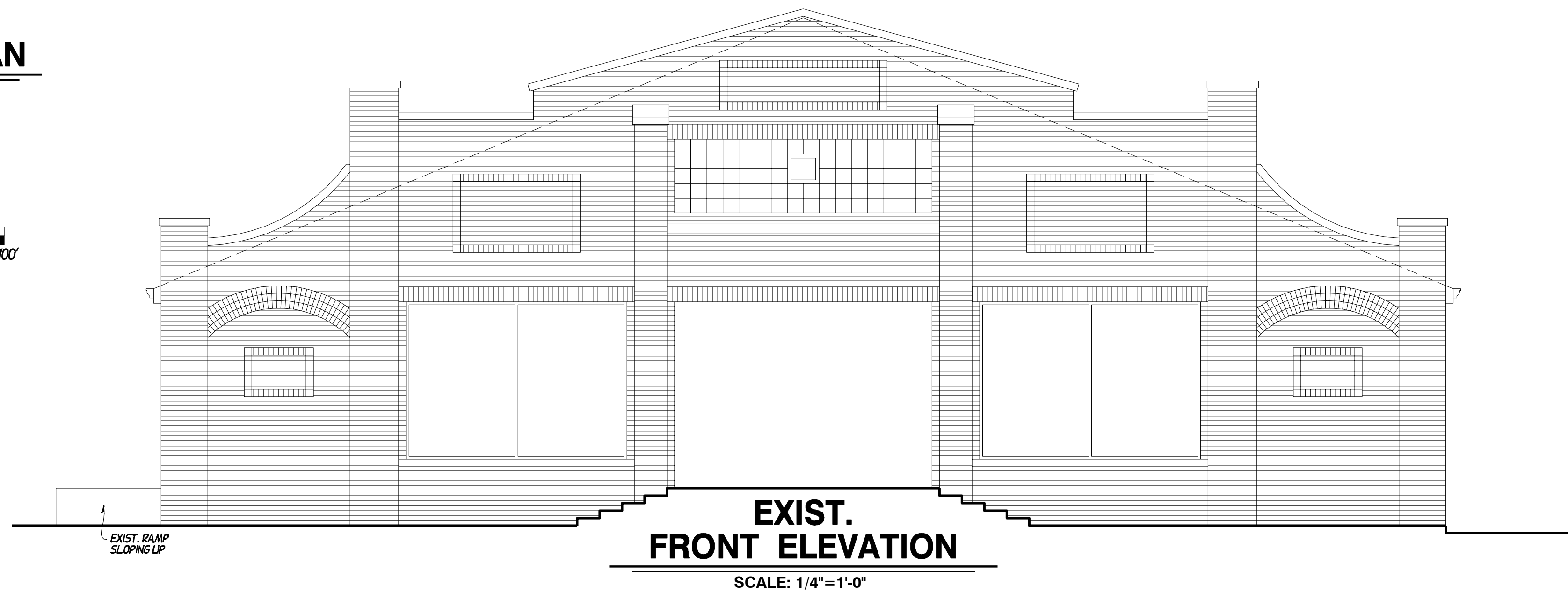
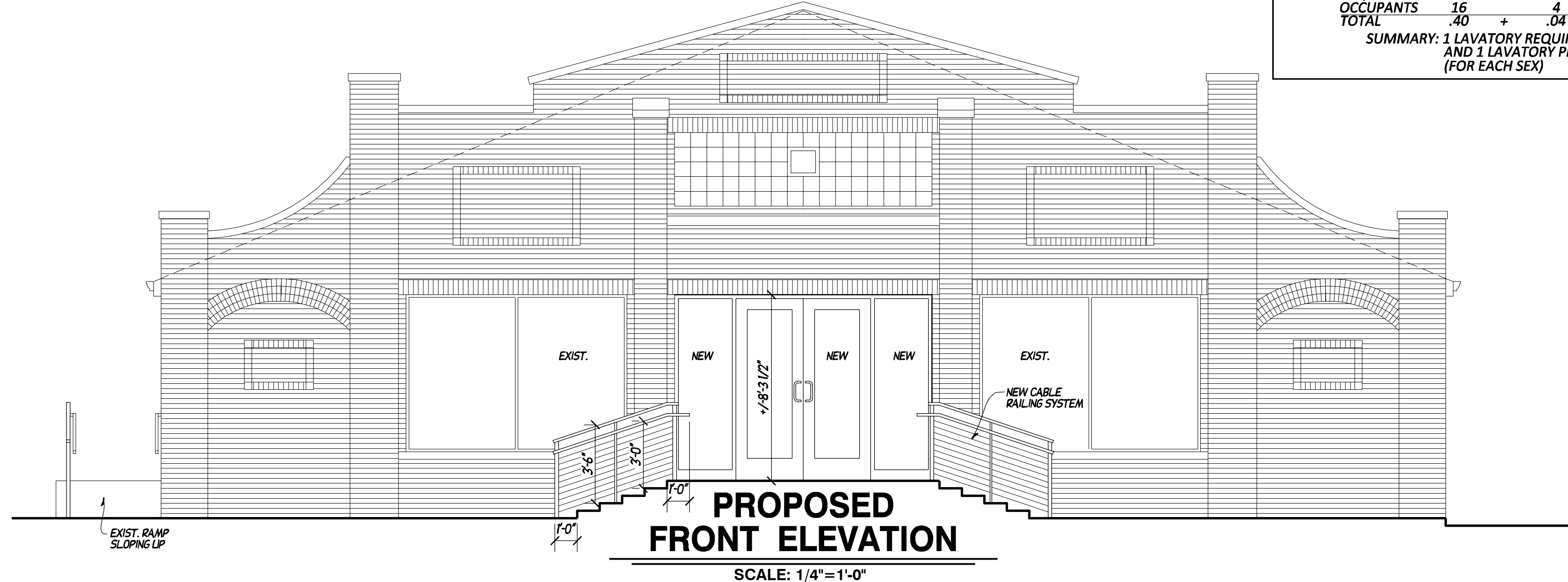
OCCUPANT LOADS PER OCCUPANT CLASSIFICATION
B-BUSINESS = 32 OCCUPANTS = 16 MEN AND 16 WOMEN
S-1 = 4 OCCUPANTS = 2 MEN AND 2 WOMEN

WATER CLOSET (MEN & WOMEN SAME)

OCC. CLASS.	B	S-1
REQMTS	1 PER 25	1 PER 100
OCCUPANTS	16	4
TOTAL	.64	.04
SUMMARY: 1 WATER CLOSET REQUIRED AND 1 WATER CLOSET PROVIDED (FOR EACH SEX)		

LAVATORIES (MEN & WOMEN SAME)

OCC. CLASS.	B	S-1
REQMTS	1 PER 40	1 PER 100
OCCUPANTS	16	4
TOTAL	.40	.04
SUMMARY: 1 LAVATORY REQUIRED AND 1 LAVATORY PROVIDED (FOR EACH SEX)		



PROPOSED SITE PLAN
SCALE: 1:20
NOTE:
INFORMATION ON SITE PLAN IS ONLY APPROXIMATE. REFER TO APPROVED SURVEY PLAN FOR ACTUAL BUILDING LOCATION AND GRADING PLAN.

FRANKLIN SUBMITTAL - 2 10/25/24

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BUILDER
NEHMEY CONSTRUCTION
2411 W. SOUTHLAND DRIVE
OAK CREEK, WISCONSIN 53064
PHONE: (414)-761-8101

PROJECT LOCATION
NEHMEY OFFICE & SHOWROOM
1123 WEST SAINT MARTINS ROAD
FRANKLIN, WISCONSIN

DESIGNED BY	COMPLETION DATE	REVISIONS
B. TOM	NOT COMPLETE ADS X	
DRAWN BY		
M.L.V.		
CHECKED		
B. TOM		

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www.architecturaldevelopment-services.com
150 NORTH SUNNY SLOPE RD STE 260
BROOKFIELD, WI 53005
(262) 787-1701

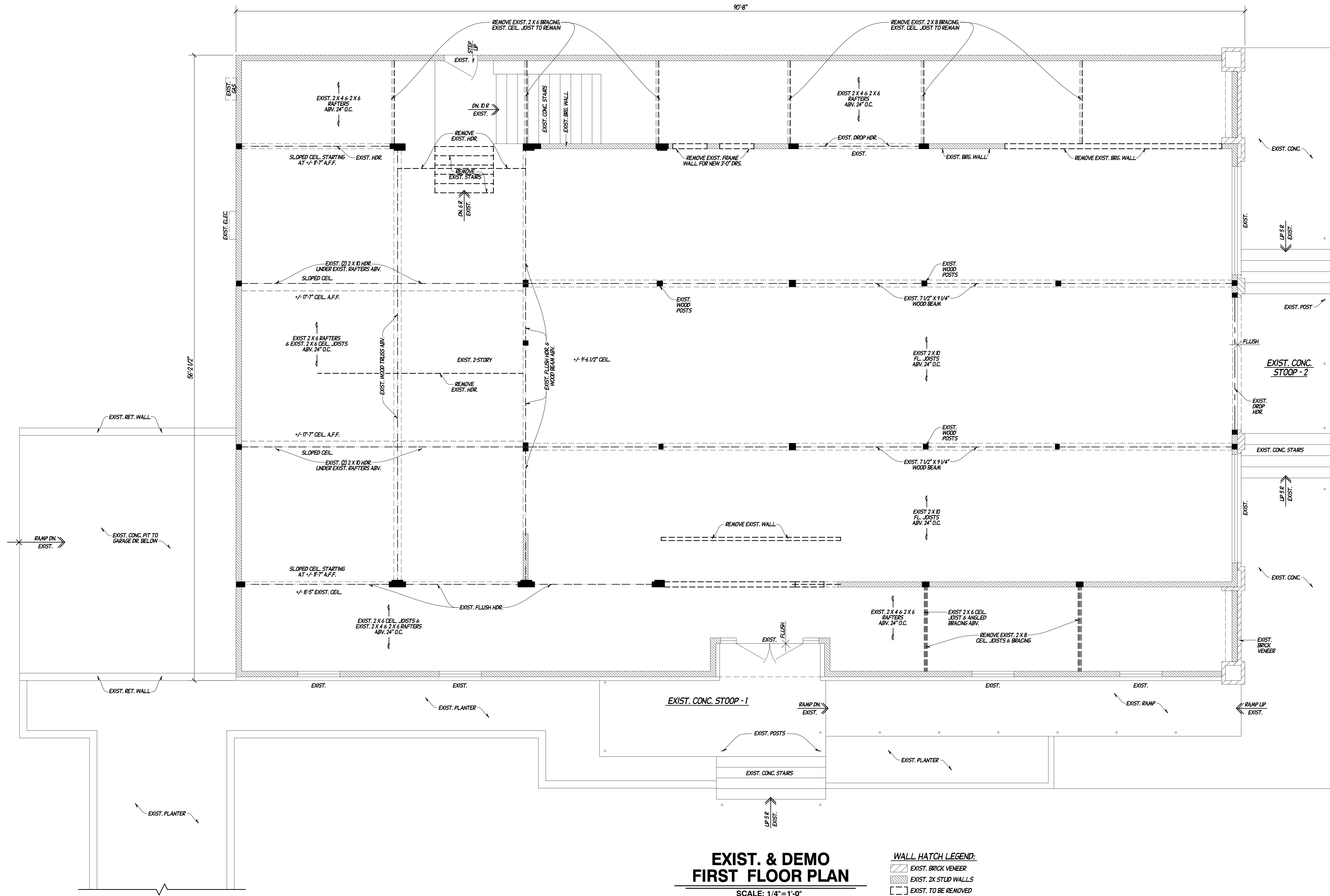
JOB NUMBER
181524-D

SHEET NO.
1 OF 7



NOTES:

- RELOCATE EXIST. HVAC VENTS & REGISTERS AS REQ'D.
- RELOCATE EXIST. PLUMBING AS REQ'D.
- RELOCATE EXIST. ELECTRICAL AS REQ'D.




EXIST. & DEMO
FIRST FLOOR PLAN

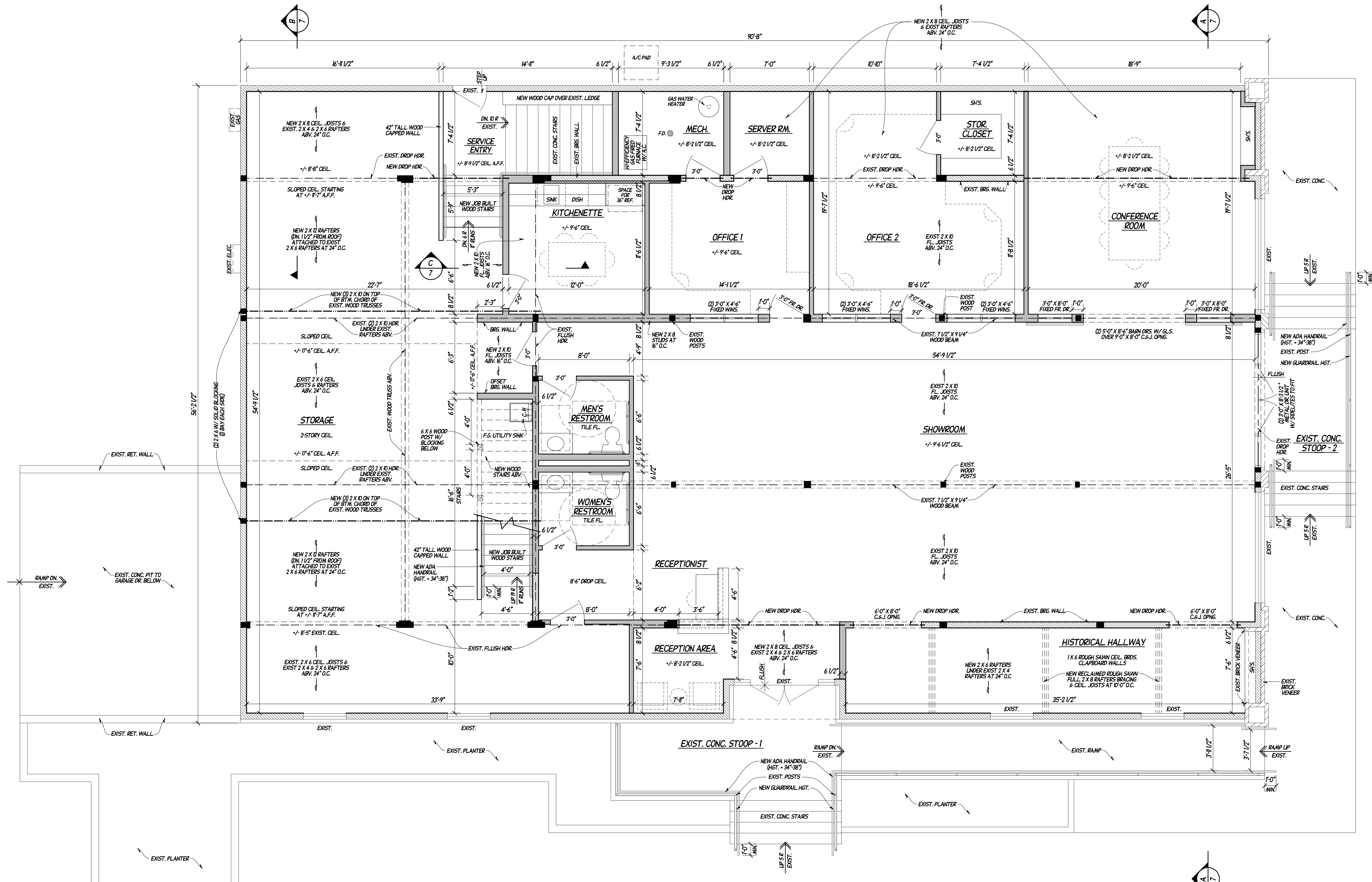
SCALE: 1/4" = 1'-0"

WALL HATCH LEGEND:

- EXIST. BRICK VENEER
- EXIST. 2X STUD WALLS
- EXIST. TO BE REMOVED

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DRAWN BY M.I.V.		CHECKED B. TOM					
JOB NUMBER 181524-D		SHEET NO. 4 OF 7		BUILDER		<small>THESE CONSTRUCTION DOCUMENTS AND ANY REPRODUCTION THEREOF ARE THE PROPERTY OF ARCHITECTURAL DEVELOPMENT SERVICES INC. AND SHALL REMAIN THE PROPERTY OF ARCHITECTURAL DEVELOPMENT SERVICES INC. UNLESS OTHERWISE AGREED UPON IN WRITING. NO PART OF THESE CONSTRUCTION DOCUMENTS SHALL BE REPRODUCED OR TRANSMITTED IN ANY MANNER OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL DEVELOPMENT SERVICES INC. © COPYRIGHT 2024</small>	



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
OVERALL EXIST. BUILDING SIZE: 5053 SQ.FT.
PROPOSED ALTERATION AREA: 4848 SQ.FT.

WALL HATCH LEGEND:	
	EXIST. BRICK VENEER
	EXIST. 2X STUD WALLS
	NEW 2X STUD WALLS

- NOTES:
- +/- 9'-6 1/2" FIRST FL. WALL HGT. MATCH EXIST.
 - ALL DIMENSIONS ARE +/-; FIELD VERIFY & ADJUST AS NEEDED.
 - ALL WALL DIMENSIONS REFER TO FINISH WALL SIZES.
 - ALL NEW DOORS TO BE 8'-0" HGT.
 - RELOCATE EXIST. HVAC VENTS & REGISTERS AS REQ'D.
 - RELOCATE EXIST. PLUMBING AS REQ'D.
 - RELOCATE EXIST. ELECTRICAL AS REQ'D.

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DESIGNED BY
B. TOM

ARCHITECTURAL
DEVELOPMENT
SERVICES
INC.

DRAWN BY
M.I.V.

CHECKED
B. TOM

COMPLETION DATE
NOT COMPLETE ADS X

REVISIONS

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JOB NUMBER
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DESIGNED BY	COMPLETION DATE	NOT COMPLETE	ADDITIONAL REVISIONS
B. TOM			
DRAWN BY	CHECKED	DATE	BY
M.I.V.			
B. TOM			

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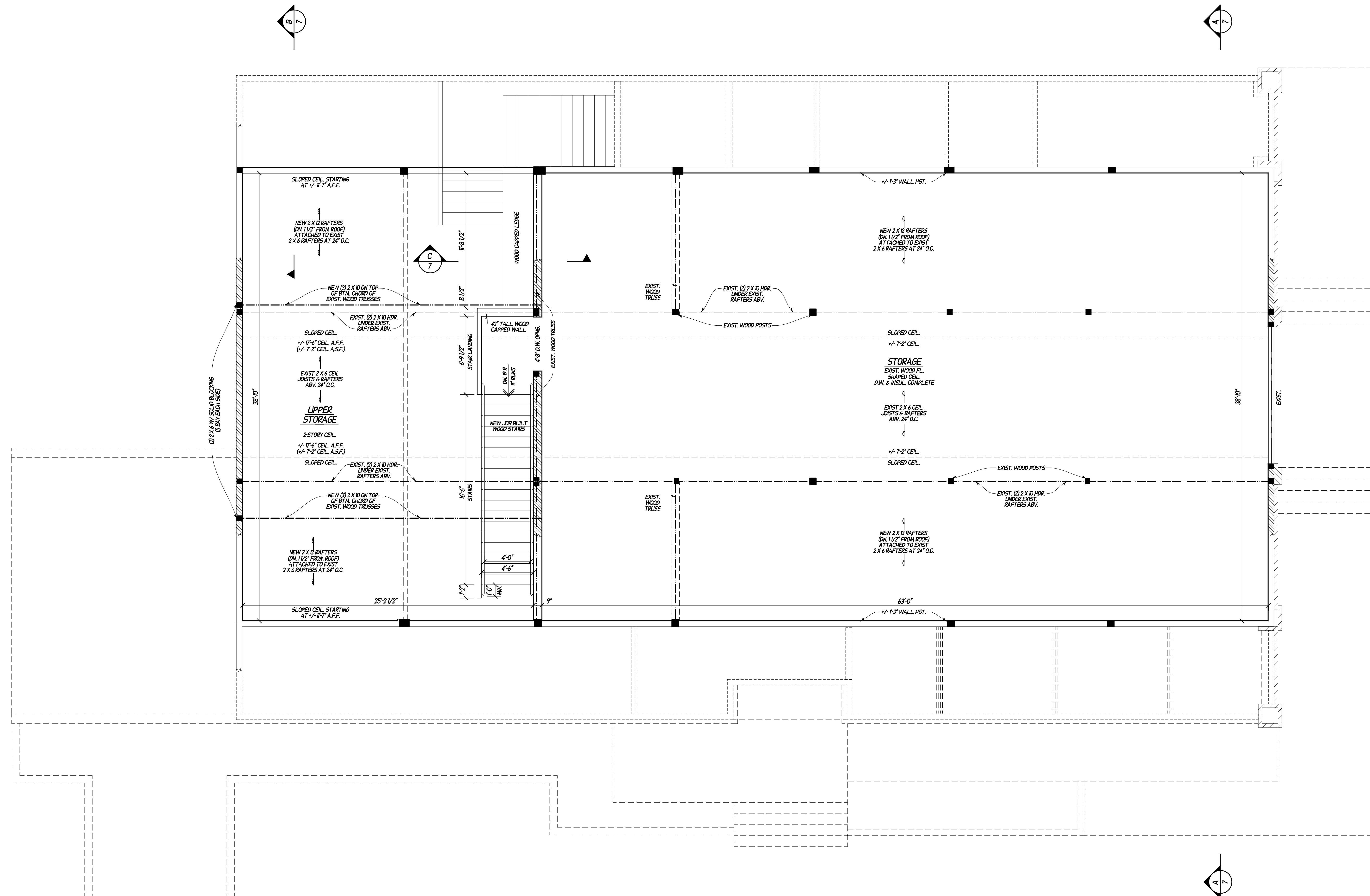
PROPOSED SECOND FLOOR PLAN

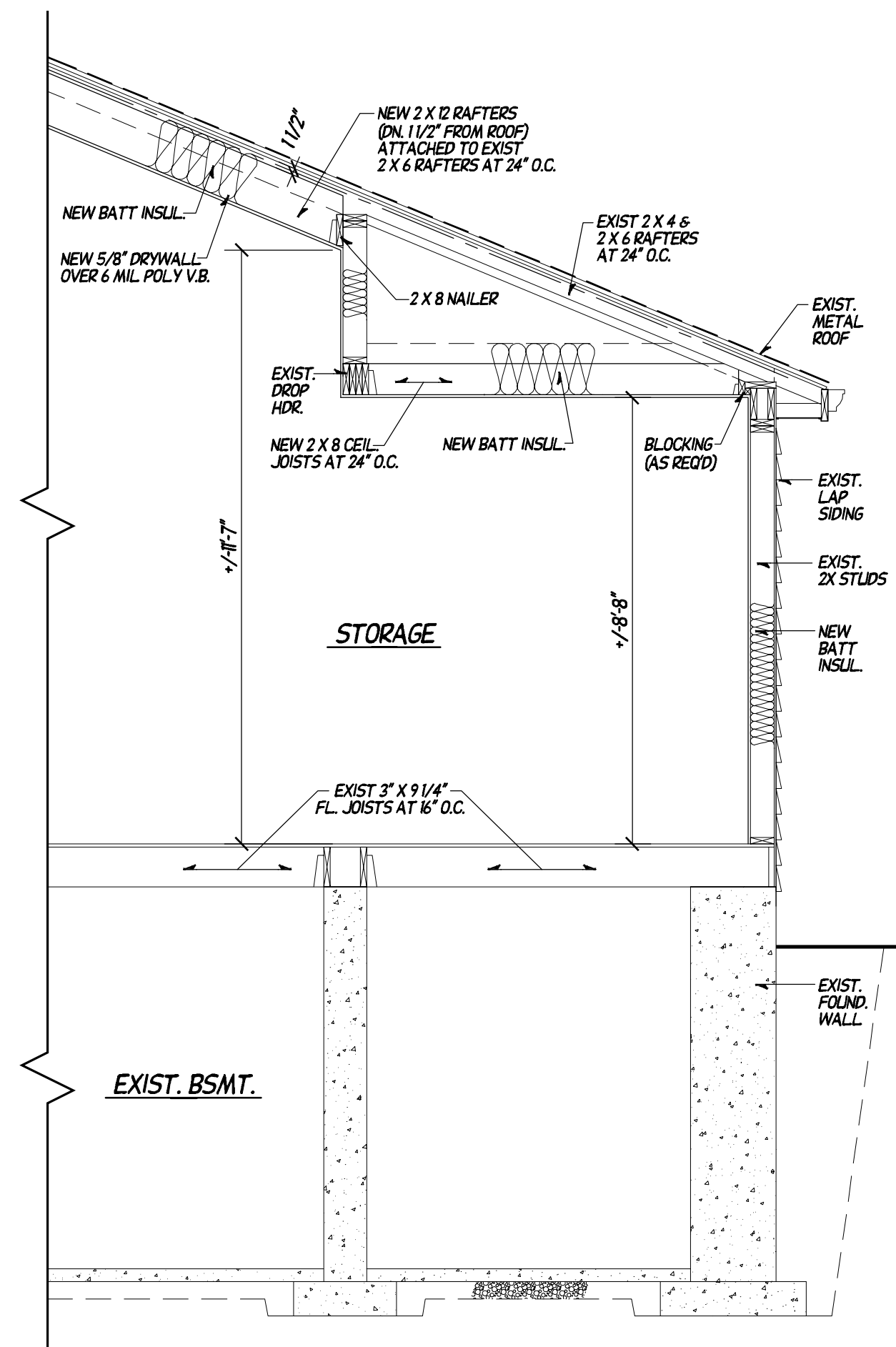
SCALE: 1/4" = 1'-0"

FINISHED STORAGE AREA: 2,445 SQ.FT.

WALL HATCH LEGEND:
EXIST. BRICK VENEER
EXIST. 2X STUD WALLS
NEW 2X STUD WALLS

- NOTES:**
- ALL DIMENSIONS ARE +/-, FIELD VERIFY & ADJUST AS NEEDED.
 - ALL WALL DIMENSIONS REFER TO FINISH WALL SIZES.
 - RELOCATE EXIST. HVAC VENTS & REGISTERS AS REQ'D.
 - RELOCATE EXIST. PLUMBING AS REQ'D.
 - RELOCATE EXIST. ELECTRICAL AS REQ'D.

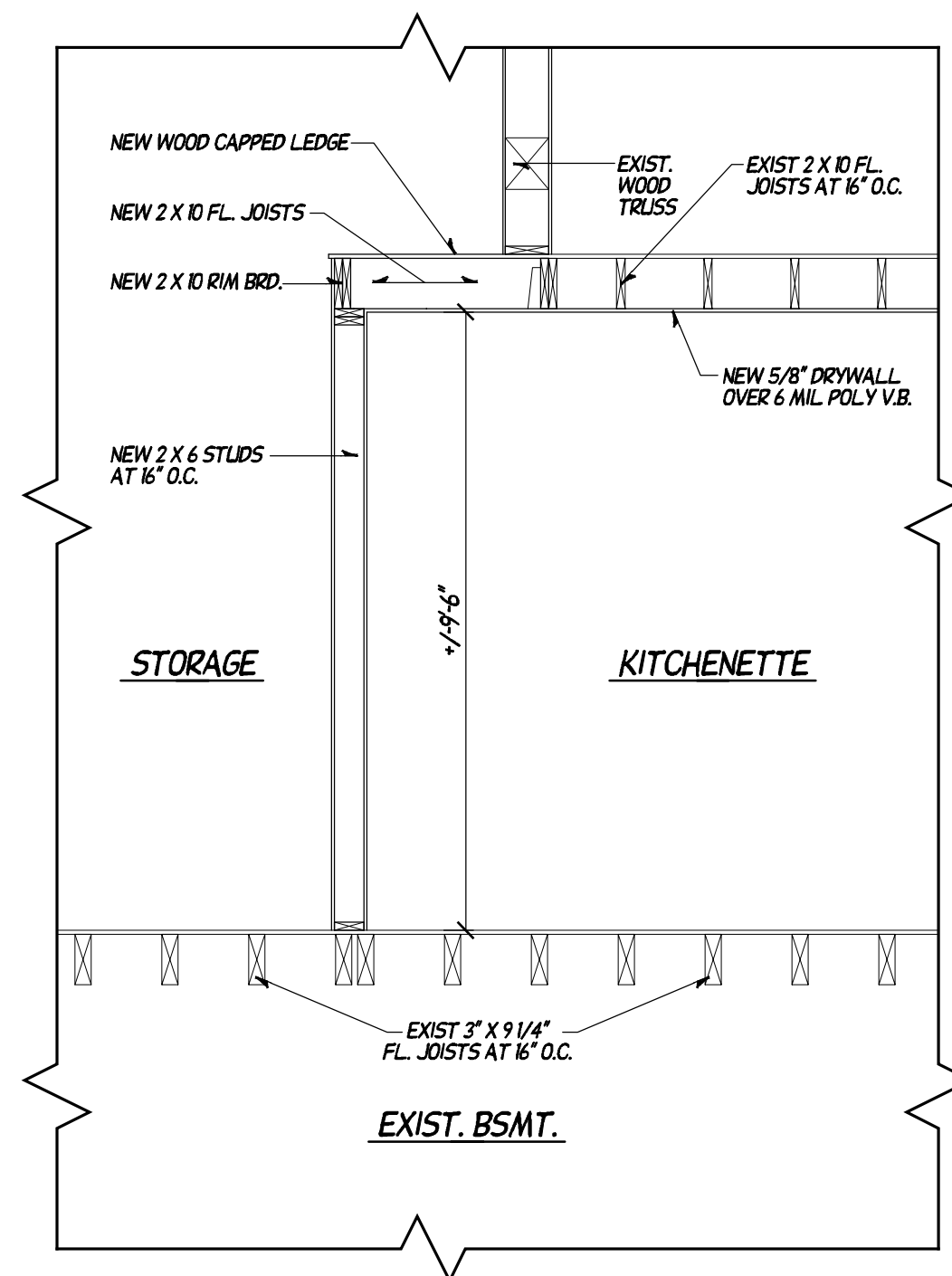




SECTION B

SCALE: 3/8"=1'-0"

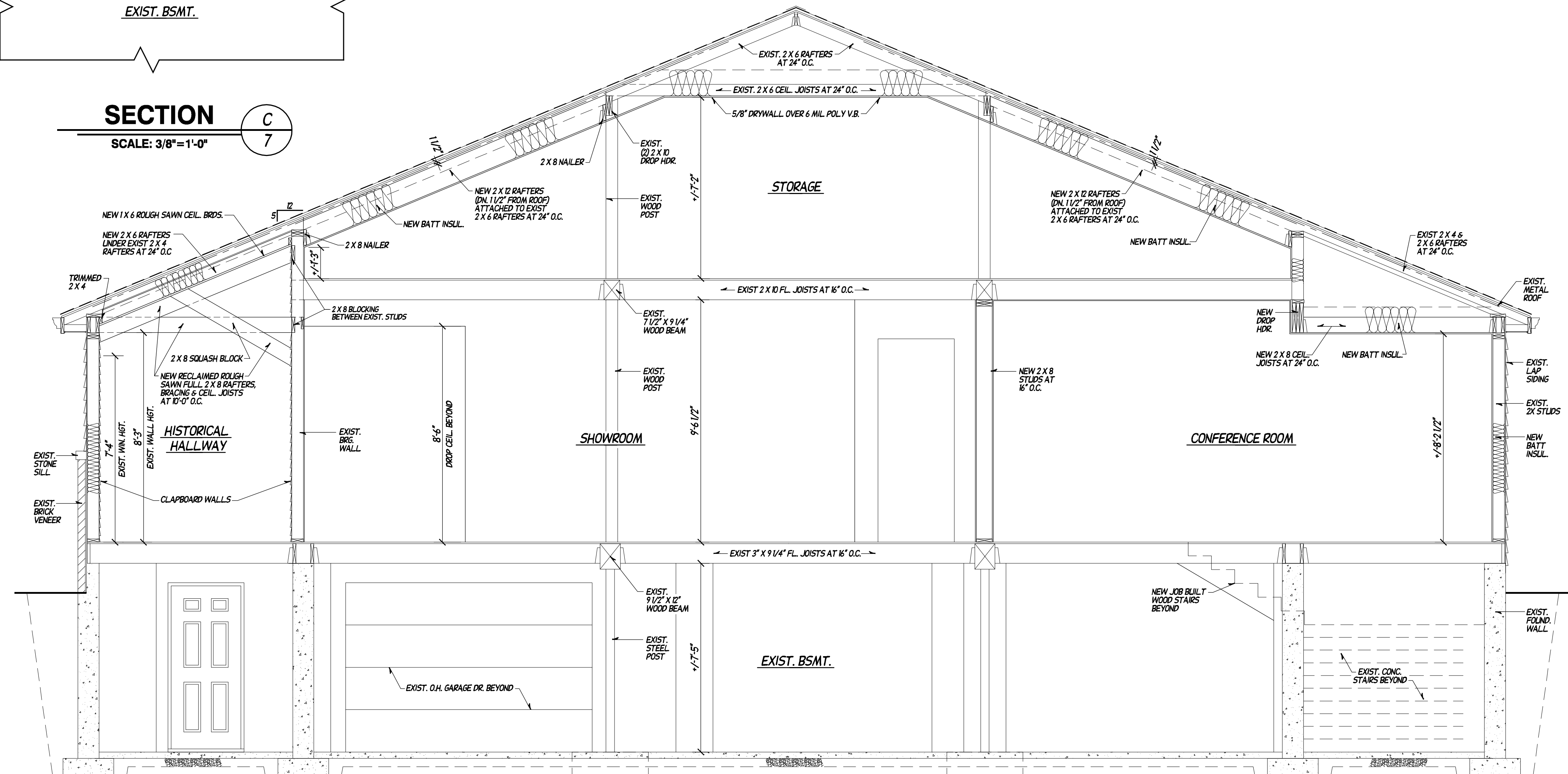
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SECTION C

SCALE: 3/8"=1'-0"

7



SECTION A

SCALE: 3/8"=1'-0"

7

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B. TOM
REVISIONS

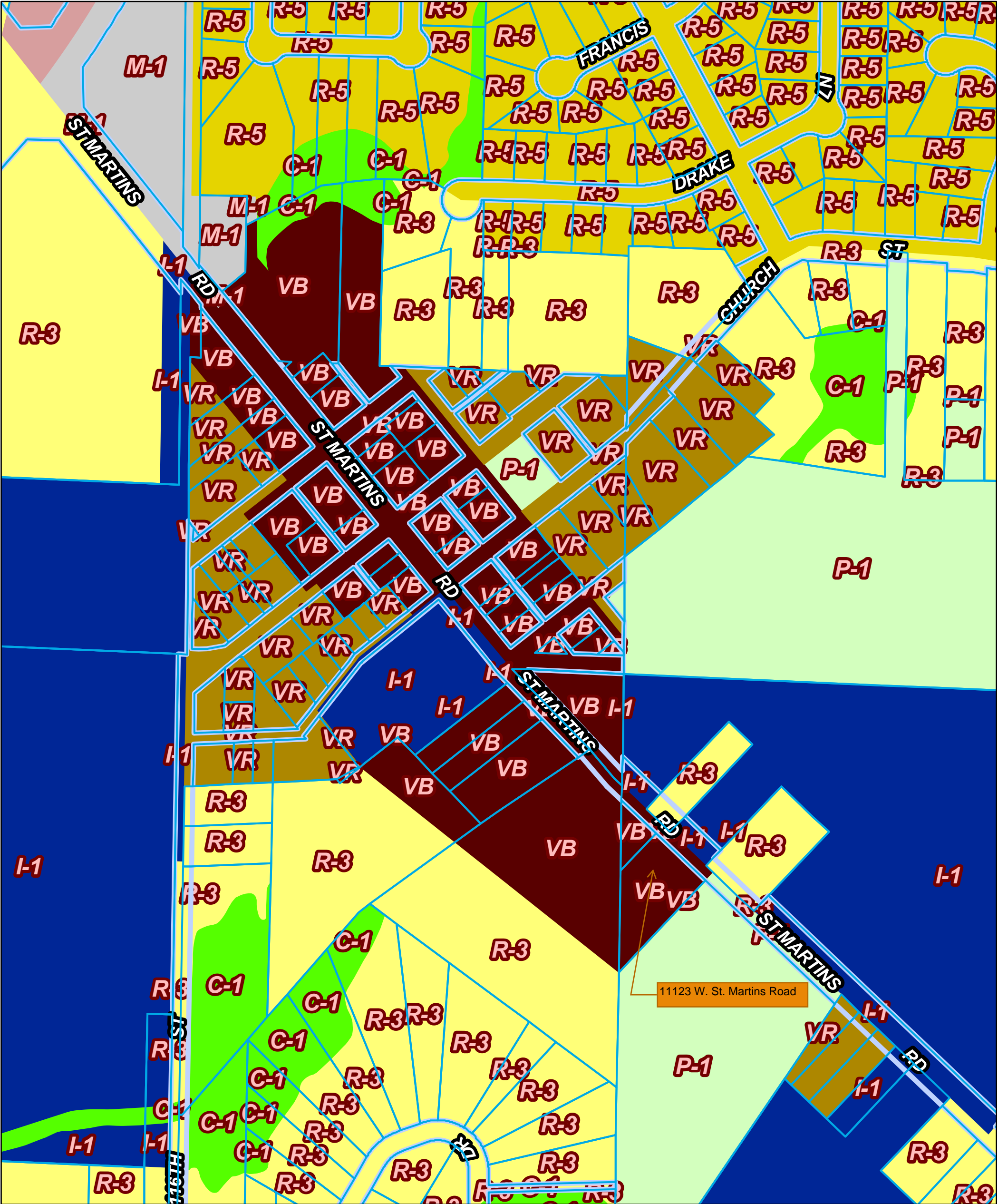
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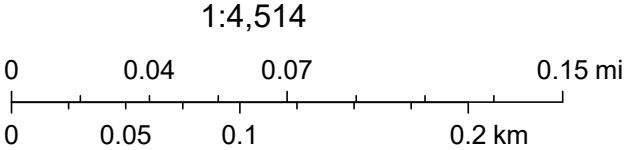
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