



FRANKLIN CITY HALL CHAMBERS  
9229 W. LOOMIS ROAD  
FRANKLIN, WISCONSIN

**PLAN COMMISSION MEETING AGENDA**  
**Thursday, December 5, 2024 at 6:00 P.M.**

**A. Call to Order and Roll Call**

**B. Approval of Minutes**

1. Approval of the regular meeting of November 21, 2024.

**C. Public Hearing Business Matters**

1. **Kent, Area Exception.** Request for approval of an Area Exception to allow for a lot coverage increase for the installation of an inground swimming pool, upon property located 6575 W River Pointe Drive (TKN 851 0022 000).

**D. Citizen comment period.** Citizens may comment upon the Business Matter items set forth on this Meeting Agenda.

**E. Business Matters**

1. **Carma, Site Plan Amendment.** Request for approval of a Site Plan Amendment to allow for changes to the approved Site Plan including addition of carport canopies, parking changes, and landscape and lighting plan modifications on property located at 9410 S 76th St. (884 9997 000).
2. **Dunkin Donuts, Master Sign Program.** Request for approval of a Master Sign Program to allow for additional signage to exceed the maximum allowed established by our Unified Development Ordinance on property located at 5444 W. Rawson Ave (741 9003 000).

**F. Adjournment**

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The YouTube channel "City of Franklin WI" will live stream the Plan Commission meeting so the public can watch and listen to it at <https://www.youtube.com/c/CityofFranklinWIGov>. Any questions on this agenda may be directed to the Department of City Development's office at 414-425-4024, Monday through Friday, 8 AM – 4:30 PM.

\*Supporting documentation and details of these agenda items are available at City Hall during regular business hours.

\*\*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at 414- 425-7500.]

REMINDERS: Next Regular Plan Commission Meeting: December 19, 2024.

**City of Franklin**  
**Plan Commission Meeting**  
**November 21, 2024**  
**Minutes**

unapproved

**A. Call to Order and Roll Call**

Alderdwoman Courtney Day called the November 21, 2024 Plan Commission meeting to order at 6:08 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Alderdwoman Courtney Day, Commissioners Patrick Leon, Michael Shawgo, Rebecca Specht. Excused were Mayor John Nelson and Commissioner Kevin Haley. Also, present were City Attorney Jesse Wesolowski, Planning Manager Régulo Martínez-Montilva and Director of Administration Kelly Hersh.

**B. Approval of Minutes – Regular Meeting of November 7, 2024**

Commissioner Leon moved and Commissioner Shawgo seconded a motion to approve the November 7, 2024 meeting minutes. On voice vote, all voted ‘aye’; motion carried (4-0-1).

**C. Public Hearing Business Matters**

None.

**D. Citizen comment period.** Citizens may comment upon the Business Matter items set forth on this meeting agenda.

The citizen comment period opened at 6:10 p.m. and closed at 6:10 p.m.

**E. Business Matters**

- 1. Woodfield Trail, Preliminary Plat.** Request to change type of ownership from condominium to 13 single-family lots, upon property located on South Sophia Court (TKN 891 9054 000).

Planning Manager Martínez presented the Preliminary Plat request. Applicants Ken Frank and William Gentil were present.

Commissioner Leon moved and Commissioner Specht seconded a motion to recommend approval of a resolution conditionally approving a preliminary plat for Woodfield Trail subdivision with the additional condition suggested by staff in the staff report (South Sophia Court) (Home Path Financial Limited Partnership, applicant). On voice vote, all voted ‘aye’; motion carried (4-0-1).

- 2. Department of Public Works, Site Plan Amendment.** Request for approval of a Site Plan Amendment to allow for expansion of a previously approved building addition for storage, on property located at 7979 W. Ryan Road (896 9990 001).

Planning Manager Martínez presented the Site Plan Amendment request. Kevin Schlueter, Superintendent of Public Works was present.

Commissioner Leon moved and Alderwoman Day seconded a motion to adopt a resolution approving a Site Plan Amendment for the expansion of a previously approved building addition upon property located at 7979 W. Ryan Rd. (City of Franklin, Applicant and Property Owner). On voice vote, all voted 'aye'; motion carried (4-0-1).

- 3. Staff announcement.** Public open house for the rewrite of the Unified Development Ordinance (UDO) scheduled for December 9 (5:00-7:00 pm) in the Hearing Room at Franklin City Hall.

Planning Manager Martínez presented this item. No action needed.

**F. Adjournment**

Commissioner Leon moved and Commissioner Specht seconded to adjourn the meeting at 6:21 pm. On voice vote, all voted 'aye'; motion carried (4-0-1).



# CITY OF FRANKLIN

## REPORT TO THE PLAN COMMISSION

Item C.1.

Meeting of December 5, 2024

### Area Exception

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**RECOMMENDATION:** City Development Staff recommends approval of this Area Exception request to increase the lot coverage to 18%, while the maximum lot coverage permitted as of right is 15%.

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<b>Project name:</b>	<b>Kent, Area Exception</b>
<b>Property Owner:</b>	Kent, Crystal & Keith
<b>Applicant:</b>	Kent, Crystal & Keith
<b>Property Address/TKN:</b>	6575 W River Pointe Drive / 851 0022 000
<b>Aldermanic District:</b>	District 4
<b>Zoning District:</b>	R-3 – Suburban/Estate Single-Family Residence District
<b>Staff Planner:</b>	Luke Hamill, Associate Planner

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### INTRODUCTION:

Area Exception to allow for a lot coverage of 18% (4,029 square feet) for the installation of an in-ground swimming pool, exceeding the R-3 maximum lot coverage standard of 15% (3,357.5 square feet). The area of the subject property is 22,383 square feet. The dwelling, porch and attached garage cover approximately 2,995 sq. ft. and the proposed swimming pool would be 1,006.9 sq. ft.

### PROJECT ANALYSIS:

The process to grant an Area Exception involves review and recommendation of the Plan Commission followed by approval by the Board of Zoning and Building Appeals.

Per Section 15-10.0209, Area Exceptions may be granted to increase the maximum lot coverage by no more than 20%. Section 15-10.0209.G. of the Unified Development Ordinance (UDO) specifically lists Standards to be reviewed to grant or deny an Area Exception, which the Plan Commission and Board of Zoning and Building Appeals will use to consider the request.

Lot coverage is defined as “the area of a zoning lot occupied by the principal building or buildings, accessory structure(s) and accessory building(s)”. For example, structures that count towards lot coverage include: principal buildings or dwellings, garages, sheds, swimming pools and associated paved surfaces within four feet from the pool, decks, any structures with a cover or canopy, etc. This Lot Coverage definition should not be confused with Impervious Surface Ratio (ISR) as driveways and walkways count towards ISR but not for lot coverage.

**Maximum lot coverage calculation:**

- The property area is 22,383 square feet (sq. ft.).
- Per UDO Table 15-3.0204, the maximum lot coverage is 15% in the R-3 Suburban/Estate Single-Family Residence District where the subject property is located. Based on the property area, the maximum lot coverage for this property is 3,357.5 sq. ft.
- The lot coverage of the dwelling, attached garaged, porch and hot tub is 13.38% (2,995 sq. ft.), specifically dwelling and attached garage (2,482 sq. ft.), porch (455.0 sq. ft.), and Hot Tub (58 square feet).
- The proposed swimming pool for which this Area Exception has been requested would be 1,006.9 sq. ft, resulting in a lot coverage of 17.88% (4,001.9 sq. ft.). The applicant is asking for an increase to 18% (4,028.94 sq. ft.) to account for margin of error.
- With approval of an Area Exception, the maximum lot coverage may be increased up to 20% over the maximum permitted lot coverage in this zoning district (15%), resulting in 18% (4,028.94 sq. ft.). Therefore, this request falls within the allowable increase if the Area Exception is granted.

The proposed swimming pool is setback 60 feet from the rear lot line (west) which is in compliance with the minimum required setback of 10 feet for swimming pools, and the 30 foot rear yard setback.

**Engineering Department comments**

No soil disturbing permit will be required. However, we will require erosion control during construction.

**Fire Department comments**

FD has no comments.

**Police Department comments**

The PD has no comment regarding this request.

**SITE COMPLIANCE**

A site visit was performed as part of the staff report preparation process in November of 2024. No compliance issues were discovered during the site visit.

**STAFF RECOMMENDATION**

City Development Staff recommends approval of this Area Exception request to increase the lot coverage to 18%, while the maximum lot coverage permitted as of right is 15%.

Date: November 14, 2024  
To: Crystal & Keith Kent  
From: Department of City Development. Luke Hamill, Associate Planner.  
RE: Staff Comments, 6575 W River Pointe Drive / 851 0022 000

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Please be advised that city staff has reviewed the above application received on September 30, 2024, for a proposed area exception for the installation of a swimming pool on lot located at 6575 W River Pointe Drive / 851 0022 000. The following comments are for your review and consideration.

**Area Exception**

- The public hearing for this application is scheduled for the Dec. 5<sup>th</sup> Plan Commission Meeting at 6:00 PM. If recommended for approval, final decision will be at the Dec. 18<sup>th</sup> Board of Zoning and Building Appeals meeting at 6:30 PM.
- Please submit 12 copies of your application materials to the Department of City Development no later than Monday, November 25, at 4:30 PM.

**Engineering Department Comments**

- Soil Disturbing Permit will not be required. However, we will require the applicant to install erosion control. Inspection Services and Engineering will keep in contact to keep an eye on it while construction is taking place.

Planning Department  
9229 West Loomis Road  
Franklin, Wisconsin 53132  
(414) 425-4024  
[franklinwi.gov](http://franklinwi.gov)



APPLICATION DATE: \_\_\_\_\_

STAMP DATE: \_\_\_\_\_ city use only

## BOARD OF ZONING AND BUILDING APPEALS REVIEW APPLICATION

### PROJECT INFORMATION [print legibly]

#### APPLICANT [FULL LEGAL NAMES]

NAME:  
Keith and Crystal Kent

COMPANY:

MAILING ADDRESS: 6575 W River Pointe Dr

CITY/STATE: ZIP: 53132  
Franklin WI

PHONE:  
414-349-8546

EMAIL ADDRESS:  
[crystal@onsitestaffing.com](mailto:crystal@onsitestaffing.com)

#### APPLICANT IS REPRESENTED BY [CONTACT PERSON]

NAME:  
Keith and Crystal Kent

COMPANY:

MAILING ADDRESS: 6575 W River Pointe Dr

CITY/STATE: ZIP: 53132  
Franklin WI

PHONE:  
414-349-8546

EMAIL ADDRESS:  
[crystal@onsitestaffing.com](mailto:crystal@onsitestaffing.com)

### PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: 6575 W River Pointe Dr

TAX KEY NUMBER: 851-0022-000

PROPERTY OWNER:  
Keith and Crystal Kent

PHONE: 414-349-8546

MAILING ADDRESS:  
6575 W River Pointe Dr

EMAIL ADDRESS:  
[crystal@onsitestaffing.com](mailto:crystal@onsitestaffing.com)

CITY/STATE: ZIP: 53132  
Franklin WI

DATE OF COMPLETION: office use only

### APPLICATION TYPE

Please check the application type that you are applying for

☒ Area Exception ☐ Minor Variance ☐ Sign Variance and Appeals ☐ Variance and Appeals

Most requests require Board of Zoning and Building Appeals approval.

Applicant is responsible for providing Board of Zoning and Building Appeals resubmittal materials up to 12 copies pending staff request and comments.

### SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

**(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).**

☒ I, the applicant, certify that I have read the following page detailing the requirements for BZBA approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: *Crystal Soto-Kent*

APPLICANT SIGNATURE:

NAME & TITLE: DATE:  
Crystal Kent 9/20/2024

NAME & TITLE: DATE:

PROPERTY OWNER SIGNATURE:  
Keith Kent

APPLICANT REPRESENTATIVE SIGNATURE:

NAME & TITLE: DATE:  
*Keith Kent* 9/20/2024

NAME & TITLE: DATE:

## CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

### AREA EXCEPTION APPLICATION MATERIALS

- ☐ This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- ☐ \$500 Application fee payable to the City of Franklin.
- ☐ Word Document legal description of the subject property.
- ☐ Three (3) complete collated sets of application materials to include ...
  - ☐ Three (3) project narratives.
  - ☐ Three (3) the Plat of Survey, Site Plan, Building Elevations, and Outdoor Lighting Plans, as appropriate, and any other supporting documents, which illustrate the Area Exception request. *ALL plans must be collated and folded into 9x12-inch sets.*
- ☐ Two (2) photographs of the subject structure from different views, *when applicable.*
- ☐ Completed Standards in the Review of Area Exceptions form (*section 15-10.0209G. of the UDO*).
- ☐ Three (3) Affidavit forms with original and notarized signatures (*facilities and copies will not be accepted*).
- ☐ Email or flash drive with all plans / submittal materials.
  - All Area Exceptions require a public hearing at Plan Commission, Plan Commission recommendation to BZBA, and BZBA review and approval.
  - If a building permit is not issued within twelve (12) months of approval, the Area Exception will be null and void.

### MINOR VARIANCE APPLICATION MATERIALS

- ☐ Copy of the permit "Letter of Denial". (Appeals within 30 days after said denial; Variances within 60 days after said denial.)
- ☐ This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- ☐ \$420 Application fee payable to the City of Franklin.
- ☐ Word Document legal description of the subject property.
- ☐ Three (3) complete collated sets of application materials to include ...
  - ☐ Three (3) copies of the form "Questions to be Answered by the Applicant" *per Section 15-9.0107 Minor Variances of the UDO*
  - ☐ Three (3) full size, drawn to scale copies of the Plat of Survey, Site Plan, and Building Elevations, as appropriate, photographs supporting the application and any other supporting documents, which illustrate the Variance request.
- ☐ Three (3) Affidavit Forms with original and notarized signatures (*facilities and copies will not be accepted*).
- ☐ Completed "Finding and Factors in the Review of Minor Variances" form from *Sections 15-10.0206C.2. of the UDO*.
- ☐ Email or flash drive with all plans / submittal materials.
  - A Building Permit must be issued within six (6) months of approval or the variance will be null and void.

Variance Type Requested [check one]: ☐ Accessory Structure (150 square feet or less) ☐ Deck ☐ Fence

### SIGN VARIANCE AND APPEALS APPLICATION MATERIALS

- ☐ Copy of the sign permit "Letter of Denial". (Appeals within 30 days after said denial; Variances within 60 days after said denial.)
- ☐ This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- ☐ \$250 Application fee payable to the City of Franklin [\$250 per appeal or variance from Sign Code]
- ☐ Word Document legal description of the subject property.
- ☐ Three (3) complete collated sets of application materials to include ...
  - ☐ Three (3) project narratives.
  - ☐ Three (3) Sign elevations, *drawn to scale not less than 1/2" = 1', plans folded to a maximum size of 9x12 inches. The elevations should denote the sign dimensions and area. Identify the colors, materials, finishes and lighting method (if applicable).*
  - ☐ Three (3) Site Plan, *showing the location of the proposed signage relative to (1) any existing or proposed structures; (2) parking stalls and/or driveways; (3) proposed landscaping and outdoor lighting; (4) the setback distance from the street right-of-way at the proposed location; (5) height of sign above the finished grade; and (6) the vision triangle distances described in Section 15-5.0201 of the Unified Development Ordinance.*
- ☐ Three (3) Affidavit Forms with original and notarized signatures (*facilities and copies will not be accepted*).
- ☐ Email or flash drive with all plans / submittal materials.
  - Permits for construction are REQUIRED after approval. Contact the Building Inspector (414-425-0084) for additional information.

### VARIANCE AND APPEALS

- ☐ Copy of the permit "Letter of Denial". (Appeals within 30 days after said denial; Variances within 60 days after said denial.)
- ☐ This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- ☐ \$420 Application fee payable to the City of Franklin
- ☐ Word Document legal description of the subject property.
- ☐ Three (3) complete collated sets of application materials to include ...
  - ☐ Three (3) project narratives.
  - ☐ Three (3) folded full size, copies of the Plat of Survey, Site Plan, Building Elevations, Landscape Plan and Outdoor Lighting Plan, *drawn to scale as appropriate, Photographs and any other supporting documents, which illustrate the Variance request.*
- ☐ Three (3) Affidavit Forms with original and notarized signatures (*facilities and copies will not be accepted*).
- ☐ Completed "Findings and Factors in the Review of Variances" form from *Sections 15-10.0206C.1. and 15-10.0211 of the UDO*.
- ☐ Completed "Findings and Factors in the Review of Land Division Variances" form from *Sections 15-9.0310B.1 of the UDO*.
- ☐ Email or flash drive with all plans / submittal materials.

Variance Type Requested [check one]: ☐ Administrative Appeal ☐ Area Variance ☐ Use Variance ☐ Non-conforming Use(s) ☐ Land Division Variance

The legal description is:

Lot 22 in Riverview Pointe, being a Redivision of Outlot 1 of Certified Survey Map No. 7296 and a Redivision of Lot 1 of Certified Survey Map No. 7297.

## Project Narrative

We are requesting an area exception for an increase from 15% to the maximum allowed of 18% for a R-3 zoning district. The request for an area exception is to allow for the installation of an inground swimming pool, which exceeds the current maximum lot coverage of 15% in the R-3 zoning district. Attached lot coverage pdf will show existing and proposed lot coverage amounts.

## Standards in the Review of Area Exceptions

Date: 9/20/2024

Case No. \_\_\_\_\_

Property Owner: Keith and Crystal Kent

Property Address: 6575 W River Pointe Dr

Section 15-10.0209G of the City of Franklin Unified Development Ordinance specifically lists Standards to be reviewed by the Board of Zoning and Building Appeals to grant or deny an Area Exception. The Standards are:

1. That the area exception will not be detrimental to or endanger the public health, safety, comfort or general welfare.  
The pool will not be detrimental or endanger any neighbors, it will add beauty to our back yard and for our neighbors to see.  
It will be enclosed by a locked fence.

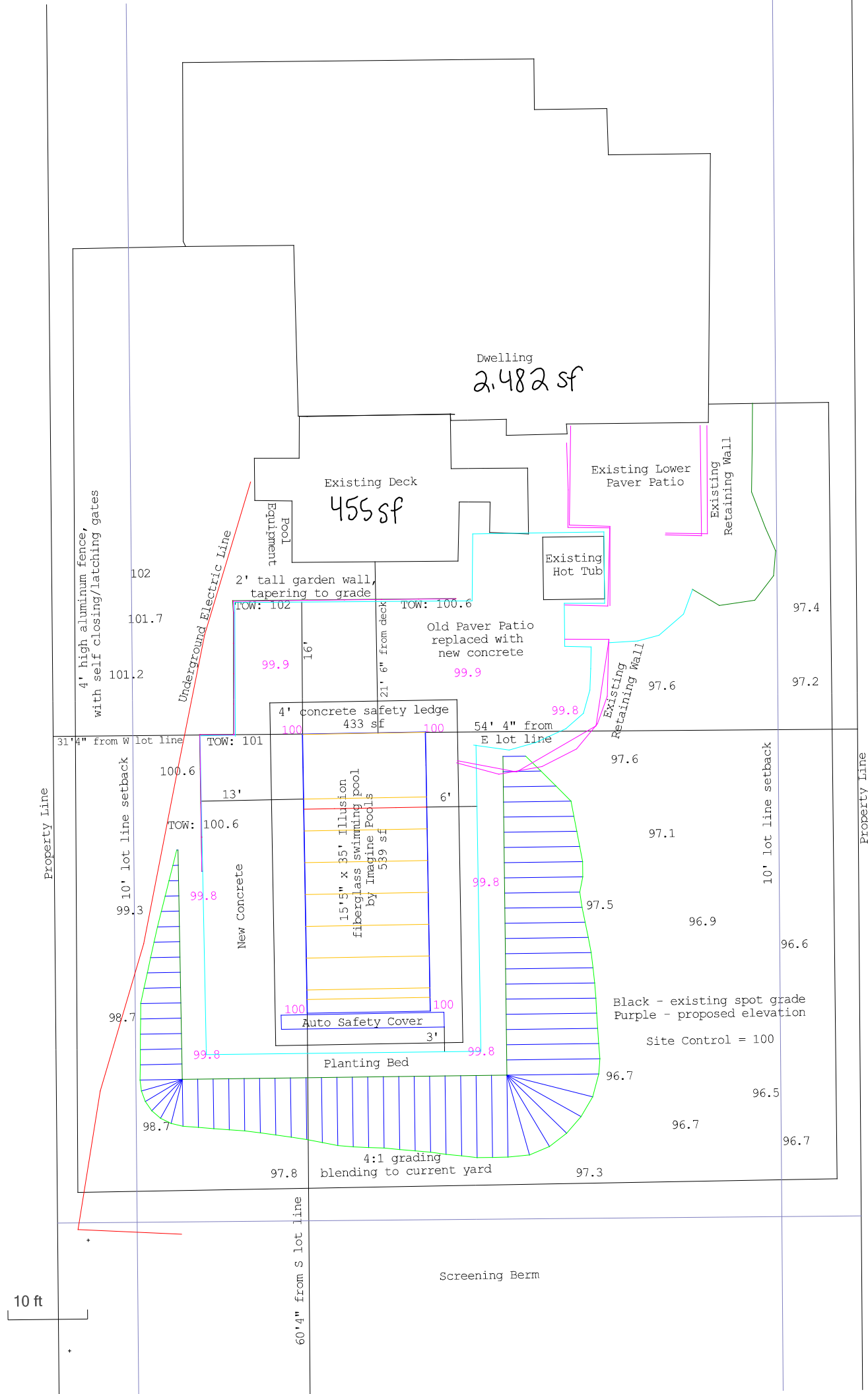
2. That the uses, values and enjoyment of other property in the neighborhood for purposes already established shall be in no foreseeable manner substantially impaired or diminished by the area exception.  
The pool will not impair or diminish anyones property. The pool has no impact on neighbors or neighborhood and does not create a hazard in anyway.

3. That the area exception will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.  
The pool has been designed to meet all square footage requirements the city has. All properties adjoining our property are not affected.

4. That the area exception will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire within the neighborhood.  
This is an inground pool for personal use and has no impact on the light or air supply of any properties bordering ours.

5. That the area exception shall be in harmony with the general purpose and intent of this Unified Development Ordinance.  
We beleive the pool designed by Brinkman Pools will only enhance our backyard and bring value to our property.

<b>CITY OF FRANKLIN</b> <b>BUILDING PERMIT APPLICATION</b> 9229 W. LOOMIS ROAD, FRANKLIN, WI 53132 Phone (414) 425-0084 Fax (414) 425-7513 Application Forms and Handouts can be found at <a href="http://www.franklinwi.gov">www.franklinwi.gov</a>			Application No.  <hr/> Permit No.
<b>Project Address</b> 6575 W Riverpointe Drive	Unit or Suite #	Project/Business Name (if applicable)	
<b>Property Owner's Name</b> Keith & Crystal Kent		<input type="checkbox"/> Owner resides or will reside at job address <b>Email Address</b> crystal@onsitestaffing.com	
<b>Mailing Address</b> 6575 W Riverpointe Drive	<b>City</b> Franklin	<b>Zip</b> 53132	<b>Phone</b> 414-349-8546 Crystal 414-429-7361 Keith
<b>Contractor Name</b> Brinkmann Fiberglass Pools			<b>WI DC# / Exp. Date:</b>  <b>WI DCQ# / Exp. Date:</b>
<b>Dwelling Contractor Qualifier Name ( 1 or 2 family dwellings)</b>			<b>Email Address:</b> jen@brinkmannfiberglasspools.com
<b>Mailing Address</b> 2215 N Dousman Rd	<b>City</b> Oconomowoc, WI	<b>Zip</b> 53066	<b>Phone:</b> 262-567-7665 <b>Fax:</b> Jen: 262-490-3683
<b>Applicant (if other than owner or contractor)</b>			<b>Email Address</b>
<b>Mailing Address</b>	<b>City</b>	<b>Zip</b>	<b>Phone</b>
<b>Project Type:</b> <input checked="" type="checkbox"/> 1 & 2 Family <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Institutional <input type="checkbox"/> Multi Family - # of Units _____			
<b>PERMIT TYPE: *THESE ITEMS HAVE PLAN REVIEW FEES DUE WITH APPLICATION – PLEASE SEE RESPECTIVE HANDOUTS.</b>			
<div style="display: flex; justify-content: space-between;"> <div style="width: 48%;"> <input type="checkbox"/> New (other than 1 &amp; 2 family)  <input type="checkbox"/> Addition  <input type="checkbox"/> Alteration  <input type="checkbox"/> Demolition  <input type="checkbox"/> Building Damage Repair  <input type="checkbox"/> Building Move  <input type="checkbox"/> Foundation Repair  <input type="checkbox"/> Fireplace  <input type="checkbox"/> Accessory Building (wood) <input type="checkbox"/> <b>OR</b> Prefab. Storage Encl. (metal, vinyl, resin) (120 sq. ft. or &lt;) Size _____  <input type="checkbox"/> Reroofing <input type="checkbox"/> Complete Tear Off <input type="checkbox"/> Over One Layer - Type of Material _____  <input type="checkbox"/> Residing - Existing Material _____ Replacement Material _____            Additional Project Description: _____            _____         </div> <div style="width: 48%;"> <input checked="" type="checkbox"/> Fence – Type and Height <u>4' high aluminum fence w/self closing/latching gates</u>  <input type="checkbox"/> Spa/Hot Tub <input type="checkbox"/> On Slab <input type="checkbox"/> On Deck  <input checked="" type="checkbox"/> Pool <input checked="" type="checkbox"/> In Ground <input type="checkbox"/> Above Ground (Ht. above ground) _____  <input type="checkbox"/> Deck <input type="checkbox"/> Attached <input type="checkbox"/> Detached <input type="checkbox"/> Pool  <input type="checkbox"/> Occupancy - \$200 plus \$7 Technology Fee  <input type="checkbox"/> Accessory Bldg./Garage (&gt; 120 sq. ft.) Size _____ <input type="checkbox"/> on slab  <input type="checkbox"/> Other <u>2' tall garden seat wall</u> _____         </div> </div>			
<b>Estimate "Net" Total Project Cost: \$ 125,000      Estimate Total Project Cost: \$ 139,000</b> ("Net" <u>excludes</u> cost for Plumbing/Electrical/HVAC work)			
<b>Cautionary Statement To Owners Obtaining Building Permits</b>			
101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that: If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur: (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit. (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.			
Jennifer M Miller for Brinkmann Fiberglass Pools, <b>CONTACT PERSON (print)</b> on behalf of Keith & Crystal Kent <b>PHONE</b> 262-490-3683			
<b>APPLICANT'S SIGNATURE</b> <u>Jennifer M. Miller</u>			<b>DATE</b> 9/19/2024
<b>*FAILURE TO OBTAIN PERMIT PRIOR TO STARTING WORK</b> <b>FIRST OFFENSE TRIPLE FEES, SUBSEQUENT OFFENSES QUADRUPLE FEES</b> <b>SEPARATE PERMITS REQUIRED FOR PLUMBING, ELECTRICAL AND HVAC</b>			
BLDG PERMIT APP rev. 9/2019			



16851

# M.S.S. / MORTGAGE SURVEY SERVICE

6617 West Coldspring Road Greenfield, Wisconsin 53220 (414) 327- 4400

Prepared For Lamarca Developers

Location of Property 6575  
Description of Property West River Point Drive

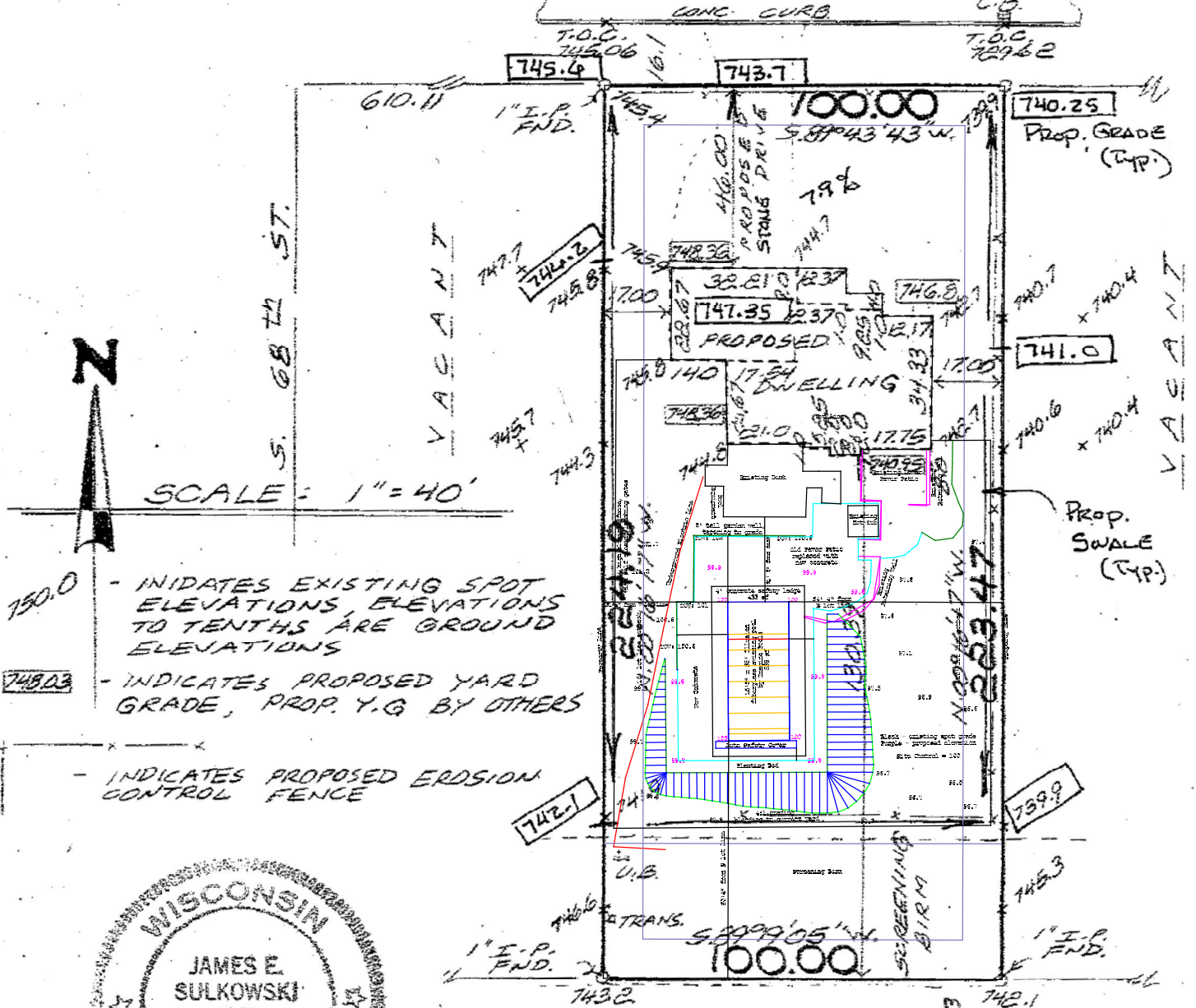
Lot 22 in RIVERVIEW POINTE, being a Redivision of Outlot 1 of Certified Survey Map No. 7296 and a Redivision of Lot 1 of Certified Survey Map No. 7297, being a part of the Northwest 1/4 and the Northeast 1/4 of the Northeast 1/4 of Section 22, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

**APPROVED**  
FINISHED GRADE ELEVATION = 747.35  
AT GARAGE FLOOR CITY OF FRANKLIN DATUM  
CITY ENGINEER WAB 2-27-04  
DATE PERKIN, WI

W. RIVER POINTE DR.

(60' R.O.W.)

BENCHMARK  
RIM - 740.92  
SAN. MH.



W. PUETZ RD.  
(80' R.O.W.)

State of Wisconsin

I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements and roadways and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within (1) year from date hereof.

Dated at Greenfield, WI, this 28th day of January, 2006

NOTE: All property corners will not be located, verified and/or reset (per Section A-E7.01 Wisconsin Administrative Code) unless specifically requested.

*James E. Sulkowski*  
Registered Land Surveyor



# CITY OF FRANKLIN

## REPORT TO THE PLAN COMMISSION

Item E. 1.

Meeting of December 5, 2024

### Site Plan Amendment

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**RECOMMENDATION:** City Development Staff recommends approval of the proposed Site Plan amendment, subject to the conditions of in the attached draft resolution.

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<b>Project name:</b>	<b>Carma Laboratories, Inc.</b>
<b>Property Owner:</b>	Carma Laboratories, Inc.
<b>Applicant:</b>	Carma Laboratories, Inc.
<b>Property Address/TKN:</b>	9410 S. 76 <sup>th</sup> St. / 884 9997 000
<b>Aldermanic District:</b>	District 1
<b>Zoning District:</b>	M-1 Limited Industrial District
<b>Staff Planner:</b>	Marion Ecks, AICP, Principal Planner
<b>Submittal date:</b>	09-13-2024
<b>Application number:</b>	PPZ24-0160

---

#### **Applicant's Request:**

The applicant, Carma Laboratories Inc., requests approval of a Site Plan Amendment to allow for changes from the Site Plan that was approved via Plan Commission Resolution No. 2023-015 on October 19<sup>th</sup>, 2023. The overall development also required approval via Special Use (RES 2023-8058 on November 7th, 2023) for overnight parking of vehicles exceeding 8,000 pounds. This special use does not affect the approval of the site plan amendment.

#### **Character of the Site and Surrounding Area:**

The property at 9410 S. 76th Street is zoned M-1 Limited Industrial District with a 195,000 Sq Ft. manufacturing space and a 30,000 Sq Ft. office building with the main façade and parking area facing south. The property at 7520 W. Ryan Road is an undeveloped lot. To the immediate north of the development is the Croatian Park soccer facility; to the east is the House of Corrections. There is a single-family home adjacent to the southeast corner of the development area which shares a property line with it. To the south, across Ryan Road, is an undeveloped lot and has a future land use designation of Commercial. To the southwest are properties with commercial uses. To the west are vacant lots with residential and commercial designations. The lots to the west are primarily vacant except for a parcel with a single-family home, but are included in the proposed Tax Increment District. Expansion of infrastructure here may invite additional development; at present they are not served by utilities. To the northwest is a residential subdivision.

#### **Project Analysis:**

The applicant has submitted a Site Plan Amendment proposing the addition of a parking canopy near the owner's entrance garage area on the southwest corner, accompanied by adjustments to

the abutting curbs to accommodate both the canopy and a revised WE Energies transformer. Additionally, the revised plan includes the installation of a generator with a surrounding plant screen for aesthetics. The amendment also includes a reduction in the number of light poles, while ensuring that adequate lighting coverage is maintained throughout the site. The height of the lighting poles will remain unchanged.

**Staff Recommendation:**

City Development Staff recommends approval of the proposed Site Plan Amendment, subject to the conditions of approval in the attached draft resolution.

Date: October 17, 2024  
To: Nick Kaminski, Ryan Companies US, Inc.  
From: Department of City Development. Marion Ecks, AICP, Associate Planner.  
RE: Staff Comments, 9410 S. 76<sup>th</sup> St. / 884 9001 000

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Please be advised that city staff has reviewed the above Site Plan Amendment application received on September 13, 2024, for a proposed development on the lot located at 9410 S. 76<sup>th</sup> St. / 884 9001 000. Please provide the following information and respond to any questions.

**Site Plan**

The current zoning of the site is M-1 Limited Industrial District.

1. Please provide detailed information on the height & setbacks of the new carport canopies.
2. In the narrative it states canopies, is there more than one canopy being constructed?
3. Need additional information on the quantity of evergreens being planted for the screen of the new generator.
4. Include a legend to identify the right of way, work areas and screen areas in the elevations site plan.
5. Label all easements on site plans.

Planning Department  
9229 West Loomis Road  
Franklin, Wisconsin 53132  
(414) 425-4024  
[franklinwi.gov](http://franklinwi.gov)

APPLICATION DATE: 9/4/2024STAMP DATE: city use only

## PLAN COMMISSION REVIEW APPLICATION

### PROJECT INFORMATION [print legibly]

APPLICANT [FULL LEGAL NAMES]		APPLICANT IS REPRESENTED BY [CONTACT PERSON]	
NAME: <u>Alex Scheler</u>		NAME: <u>Nick Kaminski</u>	
COMPANY: <u>Carma Laboratories, Inc.</u>		COMPANY: <u>Ryan Companies US, Inc.</u>	
MAILING ADDRESS: <u>5801 W Airways Ave</u>		MAILING ADDRESS: <u>309 N Water St, Suite 415</u>	
CITY/STATE: <u>Franklin, WI 53132</u>	ZIP: <u></u>	CITY/STATE: <u>Milwaukee, WI 53202</u>	ZIP: <u></u>
PHONE: <u>414-421-7707</u>		PHONE: <u>414-918-6506</u>	
EMAIL ADDRESS: <u>ascheler@carmalabs.com</u>		EMAIL ADDRESS: <u>nick.kaminski@ryancompanies.com</u>	

### PROJECT PROPERTY INFORMATION

PROPERTY ADDRESS: <u>9410 S 76th St</u>		TAX KEY NUMBER: <u>884 9997 000</u>	
PROPERTY OWNER: <u>Carma Laboratories, Inc.</u>		PHONE: <u>414-421-7707</u>	
MAILING ADDRESS: <u>9750 S Franklin Dr</u>		EMAIL ADDRESS: <u>ascheler@carmalabs.com</u>	
CITY/STATE: <u>Franklin, WI 53132</u>	ZIP: <u></u>	DATE OF COMPLETION: <u>office use only</u>	

### APPLICATION TYPE

Please check the application type that you are applying for

☐ Building Move ☐ Sign Review ☒ Site Plan / Site Plan Amendment ☐ Temporary Use

Most requests require Plan Commission review and approval.

Applicant is responsible for providing Plan Commission resubmittal materials up to 11 copies pending staff request and comments.

### SIGNATURES

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

☒ I, the applicant, certify that I have read the following page detailing the requirements for plan commission approval and submittals and understand that incomplete applications and submittals cannot be reviewed.

PROPERTY OWNER SIGNATURE: <u>DocuSigned by:</u> <u>Rich Malin</u> E2F757B38F82425...		APPLICANT SIGNATURE: <u>DocuSigned by:</u> <u>Alex Scheler</u> 15B64358695441E...	
NAME & TITLE: <u>Rich Malin, VP of Finance</u>		NAME & TITLE: <u>Alex Scheler, Sr Director of IT</u>	
DATE: <u>9/5/2024</u>		DATE: <u>9/5/2024</u>	
PROPERTY OWNER SIGNATURE:		APPLICANT REPRESENTATIVE SIGNATURE: <u>Signed by:</u> <u>Nick Kaminski</u> 1CDEA31EC0784D1...	
NAME & TITLE:		NAME & TITLE: <u>Nick Kaminski, Director of Construction</u>	
DATE:		DATE: <u>9/5/2024</u>	

## CITY OF FRANKLIN APPLICATION CHECKLIST

If you have questions about the application materials please contact the planning department.

### BUILDING MOVE APPLICATION MATERIALS

- ☐ This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- ☐ \$350 Application fee payable to the City of Franklin.
- ☐ Word Document legal description of the subject property.
- ☐ Three (3) complete collated sets of application materials to include ...
  - ☐ Three (3) project narratives.
  - ☐ Three (3) folded full size, drawn to scale copies (at least 8 ½" X 11") of the plat of survey, *showing the proposed building placement at the new location, indicate setbacks from property lines and locations of driveways and access points.*  
NOTE: Single-Family homes require an attached 2-car garage.
  - ☐ Three (3) copies of color photographs of the building's current elevations.
- ☐ Other items as may be required for specific applications, per a city planner.
- ☐ Email or flash drive with all plans / submittal materials.
  - Applications for a Building Move are governed by the City of Franklin Municipal Code Chapter 92-2 (A.) and the Wisconsin Uniform Building Code.

### SIGN REVIEW APPLICATION MATERIALS

- ☐ This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- ☐ \$40 Application fee payable to the City of Franklin.
- ☐ Word Document legal description of the subject property.
- ☐ Three (3) complete collated sets of application materials to include ...
  - ☐ Three (3) colored copies of the sign elevations, drawn to scale not less than ½" = 1'. *Plans shall be folded to a maximum size of 9" X 12". The elevations should denote the sign dimension and area. Identify the colors, materials, finishes and lighting method (if applicable).*
  - ☐ Three (3) scaled copies of the Site Plan, *showing the location of the proposed signage relative to (1) any existing or proposed structures; (2) parking stalls and/or driveways; (3) proposed landscaping and outdoor lighting; (4) the setback distance from the street right-of-way at the proposed location; (5) height of sign above the finished grade; and (6) the vision triangle distances described in Section 15-5.0201 of the Unified Development Ordinance.*
- ☐ Email or flash drive with all plans / submittal materials.
  - Required for signage in Planned Development Districts (PDD) No. 7 and 18. Additional materials / copies may be required for board/commission meetings.
  - Permits for construction are REQUIRED after approval. Contact Inspection Services (414-425-0084) for permit processes.

### SITE PLAN / SITE PLAN AMENDMENT APPLICATION MATERIALS

- ☒ This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- ☒ Application fee payable to the City of Franklin... [select one of the following]
  - ☐ Tier 1: \$3,400
  - ☐ Tier 2: \$1,700 (*lot size ≤ 1 acre*)
  - ☒ Tier 3: \$850 (*≤ 10% increase or decrease in total floor area of all structures with no change to parking; or change to parking only*).
- ☒ Word Document legal description of the subject property.
- ☒ Three (3) complete collated sets of application materials to include ...
  - ☒ Three (3) project narratives.
  - ☒ Three (3) folded full size, drawn to scale copies (at least 24" X 36") of the Site Plan / Site Plan Amendment package. *The submittal should include only those plans/items as set forth in Section 15-7.0103, 15-7.0301, and 15-0402 of the Unified Development Ordinance that are impacted by the development (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, Natural Resource Protection Report, etc.)*
- ☒ One (1) colored copy of the building elevations on 11" X 17" paper, if applicable.
- ☐ One (1) copy of the Site Intensity and Capacity Calculations, *if applicable (see division 15-3.0500 of the UDO)*
- ☒ Email or flash drive with all plans / submittal materials.
  - Some requests may require CDA approval (PDD 18) or EDC approval (PDD 7) in which additional materials / copies may be required.

### TEMPORARY USE APPLICATION MATERIALS

- ☐ This application form accurately completed with signatures or authorization letters (see reverse side for more details).
- ☐ \$50 Application fee payable to the City of Franklin.
- ☐ Three (3) complete collated sets of application materials to include ...
  - ☐ Three (3) project narrative
  - ☐ Three (3) folded, scaled copies, of the Site Plan, *see section 15-3.0804 of the UDO for information that must be denoted on each respective plan.*
- ☐ Email or flash drive with all plans / submittal materials.
  - Some requests may require CDA approval (PDD 18) or EDC approval (PDD 7) in which additional materials / copies may be required.
  - Submittal of Application for review is not a guarantee of approval. Approval of Temporary Use does not exclude potential requirement for additional licenses or permits. For information on other licenses or permits that may be required, contact the City Clerk's office at (414) 425-7500, the Health Department at (414) 425-9101, and Inspection Services at (414) 425-0084.

## **Carma Laboratories Legal Description of Subject Property**

Property description per the parcel title policy:

The West 1/2 of the Southwest 1/4 of Section 22, in Township 5 North, Range 21 East in the City of Franklin, County of Milwaukee, State of Wisconsin.

Excepting that part conveyed to Milwaukee County by deed recorded as Document No. 2328870 and bounded and described as follows:

Commencing at the Southwest corner of said 1/4 Section; Running thence North along the west line of said 1/4 Section, 400 feet to a point; thence East on a line to a point 60 feet east of (measured at right angles) the West line of said 1/4 Section; thence South on a line 60 feet east of and parallel with the West line of said 1/4 Section to a point 60 feet North of (measured at right angles) the South line of said 1/4 Section; thence East on a line 60 feet north of and parallel with the South line of said 1/4 Section to a point in the East line of said West 1/2 of the Southwest 1/4 of Section 22; thence South along the East line of said West 1/2 to a point in the South line of said 1/4 Section; thence West along said South line to the Place of Beginning.

Also Excepting therefrom those lands conveyed by warranty deed recorded as Document No. 3533054, Warranty Deed recorded as Document No. 3861132, and Quit Claim Deed recorded as Document No. 4081857.

More particularly described as follows:

Commencing at the Southwest corner of Section 22, Township 5 North, Range 21 East; thence North 88°35'30" East, along the south line of the SW 1/4, of said Section 22, 60.01 feet; thence North 00°26'01" West, parallel with the west line of said SW 1/4, 60.01 feet to the intersection of the north line of S.T.H.100 (Ryan Rd.) with the east line of S. 76 St. and the Point of Beginning; thence North 00°26'01" West, along said east line of S. 76th St. and parallel with said west line of the SW 1/4, 338.97 feet; thence South 89°33'59" West, at a right angle, 60.00 feet to said west line of the SW 1/4; thence North 00°26'01" West, along said west line, 1,238.81 feet; thence North 89°18'43" East, 1,311.68 feet to the east line of the West 1/2, of said SW 1/4; thence South 00°24'42" East, along said east line, 1,022.24 feet; thence South 88°35'30" West, parallel with said south line of the SW 1/4, 300.05 feet; thence South 00°24'42" East, parallel with said east line of the West 1/2, of the SW 1/4, 540.08 feet to said south line of the SW 1/4; thence South 88°35'30" West, along said south line of the SW 1/4, 951.20 feet to the Point of Beginning.

Containing 1,877,182 square feet / 43.094 acres of land, more or less, inclusive of land dedicated for public road purposes, and 1,790,224 square feet / 41.098 acres of land, more or less, exclusive of land dedicated for public road purposes.



September 13, 2024

City of Franklin  
Ms. Marion Ecks  
Principal Planner  
9229 W Loomis Road  
Franklin, WI 53132

Ms. Ecks:

The development and construction of the new headquarters of Carma Laboratories, Inc. at 9410 S. 76<sup>th</sup> Street is progressing and anticipating occupancy in December. There are several design modifications that have arose, and these are summarized below for review and approval.

There are no proposed changes that would affect conditions of approval of the Special Use Permit Resolution No. 2023-8058, specifically that no overnight parking shall be permitted outside in the office garage area located at the southwest corner of the building.

**Site Plan Amendment Changes:**

**Change #1 – Owner’s garage area**

The enclosed building elevations, renderings and site plan captures enhancements to this area including new carport canopies with materials to match the building façade, masonry brick screen wall on the south side of the carport and landscaping modifications to accommodate these design changes. The curbs were adjusted to shift the drive into this area further west, which results in a straight curb line on the west edge and additional greenspace to the east of this drive.

**Change #2 – Access for We Energies Transformer (tied to Change #1)**

The curb lines and asphalt pavement are also slightly modified (extended north) to accommodate We Energies requirements for hardscape accessible proximity to their transformer that is located just north of this area.

**Change #3 – Site lighting photometrics plan**

The enclosed site lighting photometrics redesign and light fixture and pole cut sheets will reflect our final proposed plan. This plan reduces the quantity of light poles and light pollution, while providing coverage where it is needed most. It adds sidewalk bollard lighting at the front as well. No proposed changes to pole mounting height nor ordinance compliance. If the future parking bay to the south is needed in the future, additional light poles to the south will be needed at that time.

**Change #4 – Location of new generator and screening**

The facility requires the need of emergency power backup for a few critical systems. The updated elevations, renderings and site plan show the size, height and location of the generator, which is in close proximity to the We Energies transformer and the switchgear room. The generator product data sheets are included and is approximately 4.5’ high. We are proposing to screen the generator with year-round evergreen arbor vitae. Additionally, part of the generator is already screened from the road/ROW via



landscape berming along the frontage (part of the approved plans in 2023). The generator will have an approximate datum height elevation of 766' to 767' and the berm(s) top elevations range from 765' to 769'.

Please reach out to either me or Nick Kaminski (applicant representation) with questions or needs.

Sincerely,

Alex Scheler  
Senior Director of IT  
Carma Laboratories, Inc.

Enclosures

- 1) Completed Application
- 2) Application Fee (via website direct payment)
- 3) Word Doc legal description of subject property
- 4) Project Narrative (this document)
- 5) Project Design Documents
  - a. 3D colored Renderings and 2D Elevations in 11x17 format
  - b. Building Elevations full size (1 sheet)
  - c. C102 - Overall site layout plan (1 sheet)
  - d. C102A – Site layout plan (1 sheet)
  - e. Site lighting photometric plan/calcs (1 sheet)
  - f. Site lighting fixtures cut sheets (48 pages)
  - g. E100 – Site power plan (1 sheet) with light pole base detail
  - h. Generator Submittal (7 pages)

## RESOLUTION NO. 2024-\_\_\_\_\_

A RESOLUTION APPROVING A SITE PLAN AMENDMENT FOR A PARKING  
CANOPY AND ADJUSTMENT OF CURBS, REDUCTION IN LIGHTING POLES, AND  
THE INSTALLATION OF A GENERATOR AND PLANTING SCREEN  
LOCATED AT 9410 S 76<sup>TH</sup> STREET (TKN 884 9001 000)  
(CARMA LABORATORIES INC., APPLICANT AND PROPERTY OWNER)

---

WHEREAS, Carma Laboratories Inc having petitioned the City of Franklin for the approval of a Site Plan amendment to allow for design changes to the overall development, such Site Plan having been previously approved via PC RES 2022-015 on October 19<sup>th</sup>, 2023; upon property located at 9410 S. 76<sup>th</sup> St., zoned M-1 Limited Industrial District. The property which is the subject of the application bears Tax Key No. 884 9001 000; and

WHEREAS, the building constructed was modified from the approved Site Plan with changes to parking canopies, curb lines and asphalt pavement; changes to number of lighting poles, and an addition of a generator and planting screen; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0309 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan Amendment as depicted upon the plans dated October 19<sup>th</sup>, 2023, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Carma Laboratories facility, dated October 19<sup>th</sup>, 2023.
2. Carma Laboratories Inc., successors and assigns, and any developer of the Carma Laboratories Inc development shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Carma Laboratories Inc. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

CARMA LABORATORIES INC – SITE PLAN AMENDMENT

RESOLUTION NO. 2024-\_\_\_\_\_

Page 2

3. The approval granted hereunder is conditional upon the Carma Laboratories Inc., for the property located at 9410 S. 76<sup>th</sup> St. (Tax Key No. 884 9001 000): (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Carma Laboratories Inc development shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. The approval granted applies exclusively to the site plan changes and additions outlined in the submitted proposal. It does not extend to any future modifications or projects not explicitly specified in the original submission. Approval is conditional based on any permits that are needed to be obtained from DNR or Engineering Department.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Carma Laboratories development as depicted upon the plans City file-stamped October 9, 2023, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan Amendment for the property located at 9410 S. 76<sup>th</sup> St.. (Tax Key No. 884 9001 000) as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

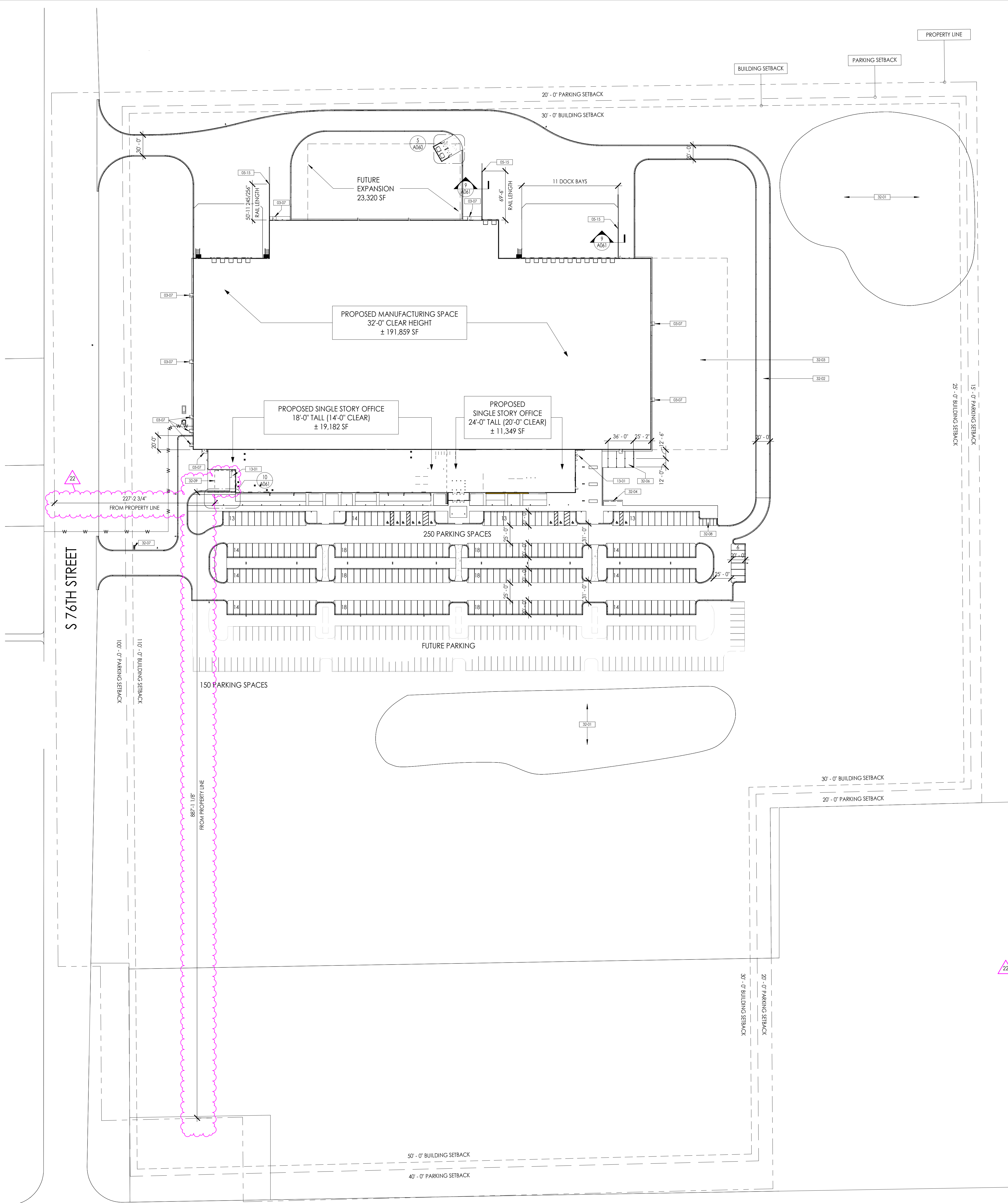
APPROVED:

ATTEST:

\_\_\_\_\_  
John R. Nelson, Mayor

\_\_\_\_\_  
Shirley J. Roberts, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



SHEET KEYNOTES

- 03-07 CONCRETE STOOP
- 05-15 PREFINISHED 1-1/2" DIAMETER GUARDRAIL
- 13-01 SNOW MELT SYSTEM
- 32-01 ONSITE DETENTION BASIN - REFER TO CIVIL DRAWINGS
- 32-02 FIRE LANE
- 32-03 FUTURE EXPANSION
- 32-04 BIKE RACKS
- 32-06 CANOPY
- 32-07 MONUMENT SIGN - PROVIDE \$50,000 ALLOWANCE
- 32-08 MOTORCYCLE PARKING - REFER TO CIVIL DRAWINGS
- 32-09 DASHED LINES INDICATE CARPORT CANOPY



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
T 414.277.9700 | F 414.277.9705  
spsarchitects.com



PROJECT

CARMA  
LABORATORIES  
CORPORATE HQ

FRANKLIN, WISCONSIN

OWNER



CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE
05	CONSTRUCTION BULLETIN 05	03.12.2024
14	CONSTRUCTION BULLETIN 12	07.27.2024
19	CONSTRUCTION BULLETIN 17	10.01.2024
22	CITY REVIEW COMMENTS	10.21.2024

SITE STATISTICS

	ZONING	PROPOSED	
SITE ZONING	R-8	M-1	
SITE AREA	N/A	1,853,178 SF	
TOTAL BUILDING AREA	N/A	225,062 SF	
BUILDING HEIGHT	40-0 FT	37-0 FT	TABLE 15-3.0309
CARPORT HEIGHT	25-0 FT	10-11 1/2 FT	TABLE 15-3.0309
STORIES	3	1	
LANDSCAPE SURFACE RATIO (LSR)	0.4	72%	TABLE 15-3.0309
GROSS FLOOR AREA (GFAR)	0.42	12%	TABLE 15-3.0309

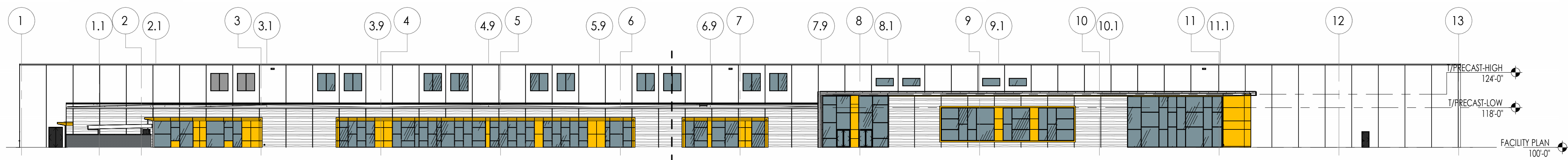
SETBACKS	BUILDING	PARKING	
FRONT YARD	30-0 FT	10-0 FT	TABLE 15-3.0309
SIDE YARD	20-0 FT	10-0 FT	
REAR YARD	10-0 FT	10-0 FT	

PARKING CALCULATIONS	RATIO	AREA	TOTAL	
COMMERCIAL OFFICE	3.33/1000	30,476	101	TABLE 15-5.0203
LIGHT INDUSTRIAL	2/1000	192,456	385	
TOTAL			486	

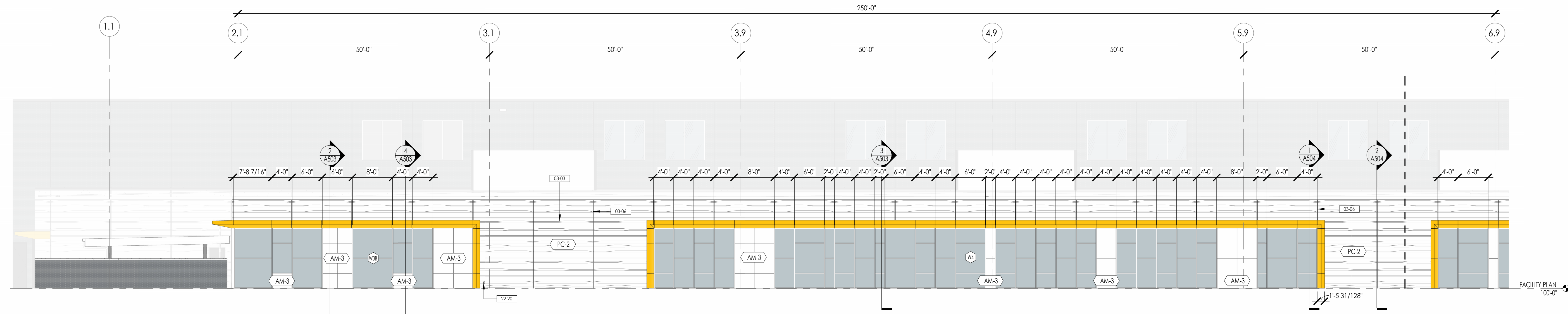
PARKING	STANDARD	ACCESSIBLE	TOTAL	
PROPOSED	243	7	250	
FUTURE	148	2	150	
TOTAL	391	9	400	

PARKING SIZE	9'-0" x 20'-0"	180SF	15-5.0202B
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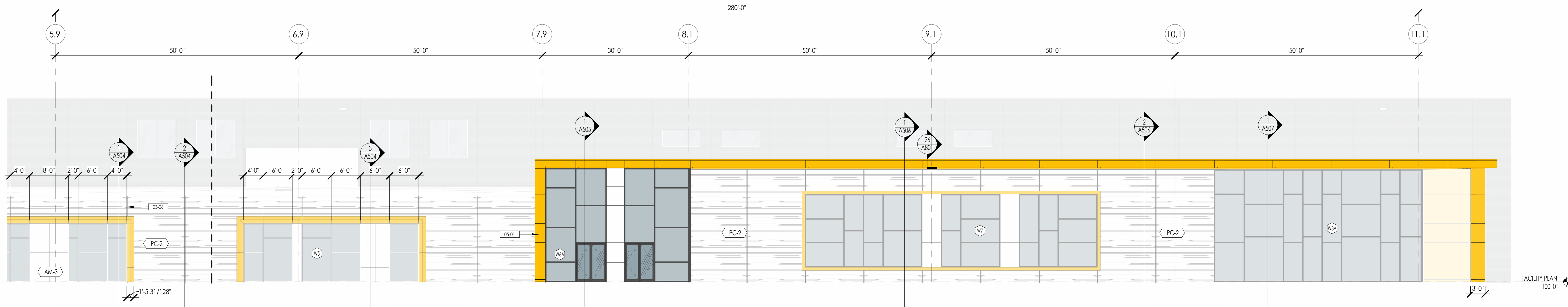




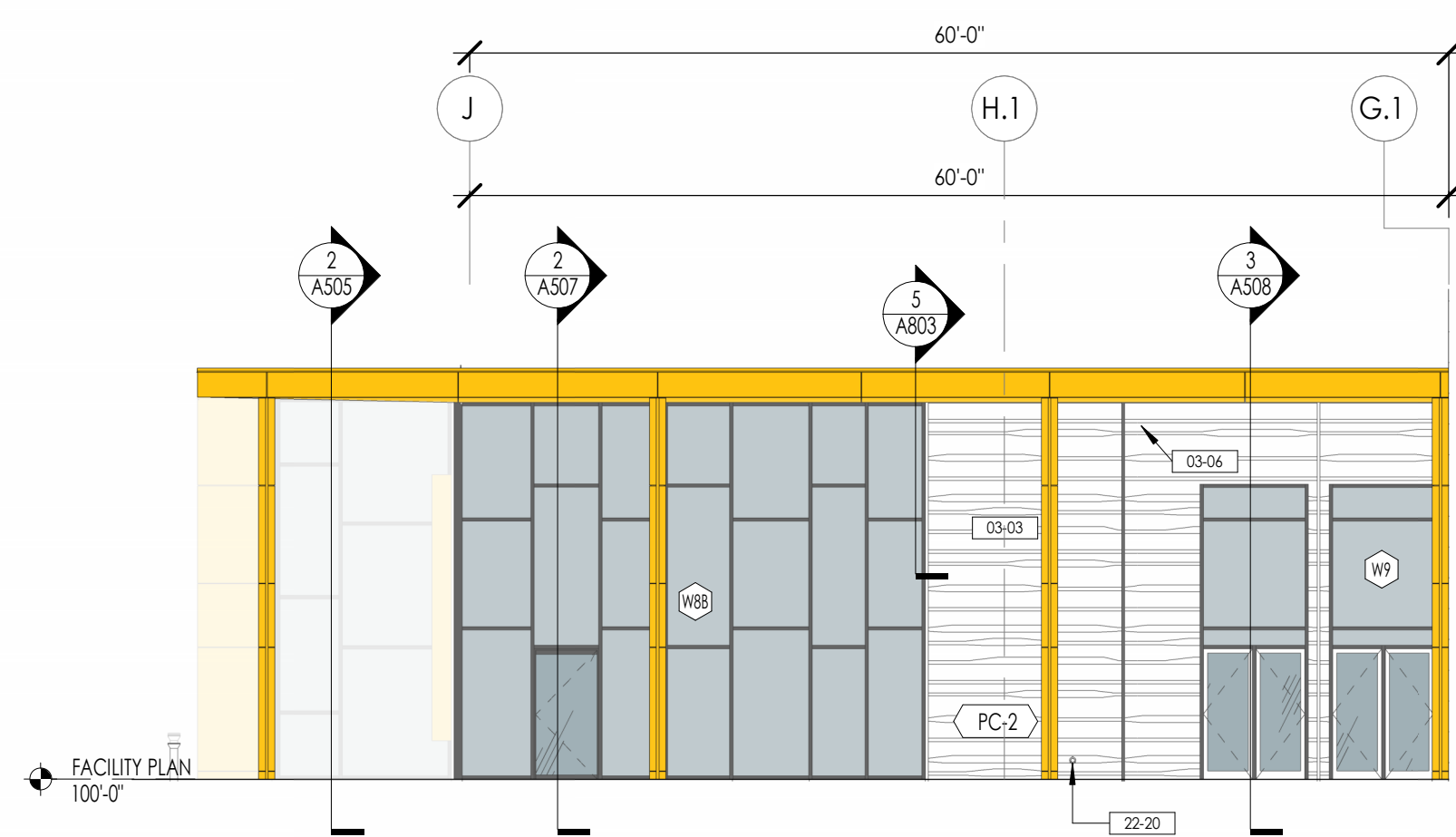
1 SOUTH ELEVATION - OFFICE  
SCALE 1/32" = 1'-0"



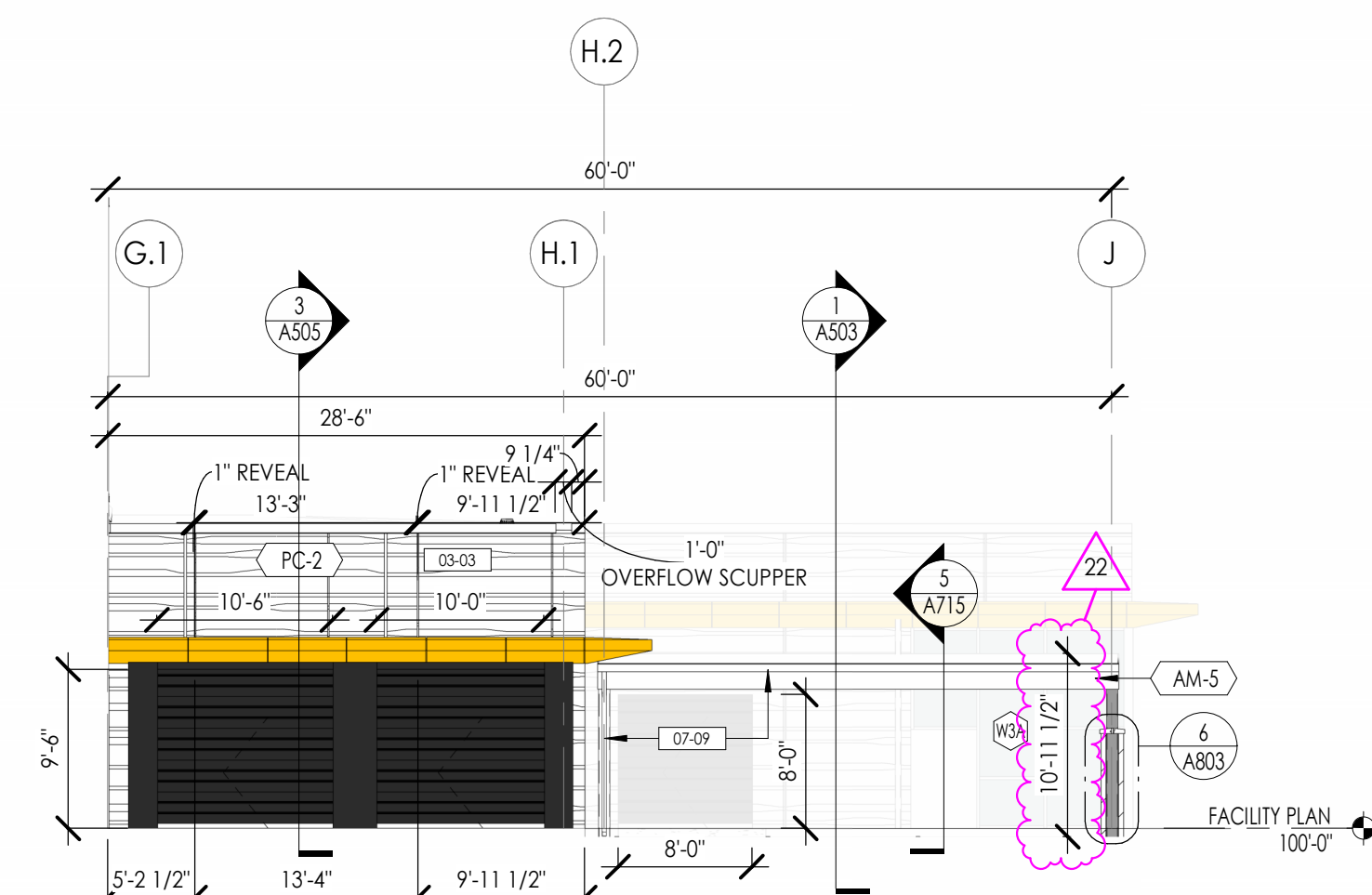
2 SOUTH ELEVATION - OFFICE A  
SCALE 3/32" = 1'-0"



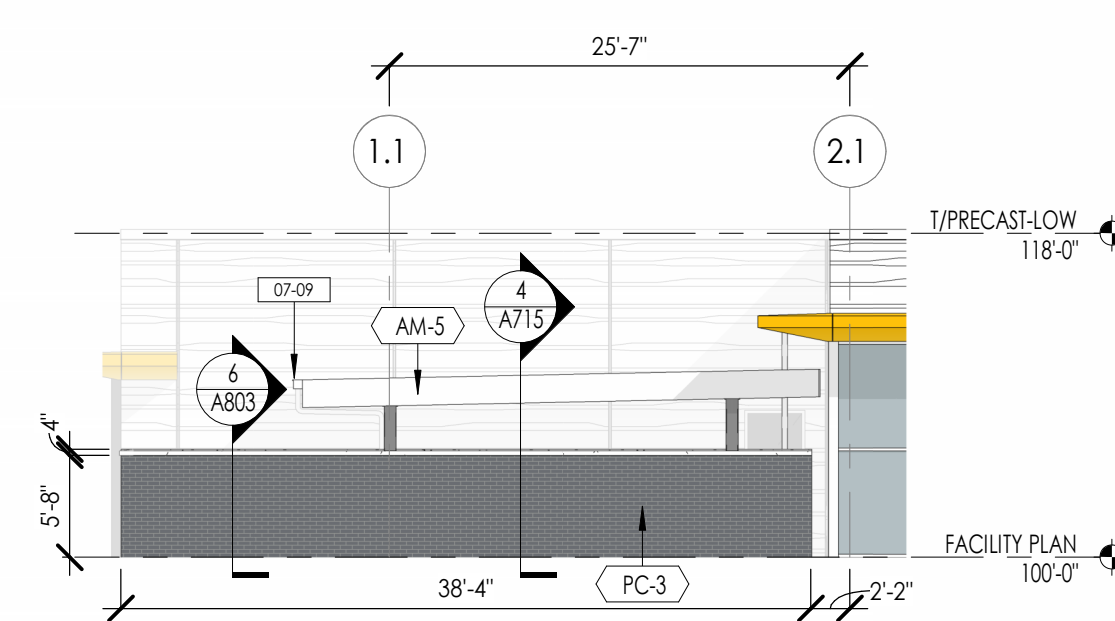
3 SOUTH ELEVATION - OFFICE B  
SCALE 3/32" = 1'-0"



4 EAST ELEVATION - OFFICE  
SCALE 3/32" = 1'-0"



5 WEST ELEVATION - OFFICE  
SCALE 3/32" = 1'-0"



6 PRIVATE CARPORT - SOUTH  
SCALE 3/32" = 1'-0"

## SHEET KEYNOTES

03-03	INSULATED PRECAST
03-06	1" VERTICAL REVEAL
05-01	PREFINISHED COMPOSITE WALL PANEL
07-09	PREFINISHED METAL GUTTER AND DOWNSPOUT
22-20	OVERFLOW DRAIN



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PROJECT

CARMA  
LABORATORIES  
CORPORATE HQ

FRANKLIN, WISCONSIN

OWNER



CONTRACTOR



## REVISIONS

NO.	DESCRIPTION	DATE
02	PLAN REVIEW CLARIFICATIONS	12.11.2023
16	CONSTRUCTION BULLETIN 14	09.06.2024
20	CONSTRUCTION BULLETIN 18	10.17.2024
22	CITY REVIEW COMMENTS	10.21.2024

## INFORMATION

PROJECT NUMBER: 221201

ISSUED FOR:

CONSTRUCTION

DATE:

12.11.2023

## SHEET

BUILDING ELEVATIONS - OFFICE

A410

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SHEET KEYNOTES

22-17 TRENCH DRAIN



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
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spsarchitects.com



PROJECT

CARMA  
LABORATORIES  
CORPORATE HQ

FRANKLIN, WISCONSIN

OWNER



CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE
05	CONSTRUCTION BULLETIN 05	03.12.2024
14	CONSTRUCTION BULLETIN 12	07.27.2024
15	CONSTRUCTION BULLETIN 13	08.21.2024
16	CONSTRUCTION BULLETIN 14	09.06.2024
17	CONSTRUCTION BULLETIN 15	09.13.2024
18	CONSTRUCTION BULLETIN 16	09.17.2024
20	CONSTRUCTION BULLETIN 18	10.17.2024
22	CITY REVIEW COMMENTS	10.21.2024

INFORMATION

PROJECT NUMBER: 221.201

ISSUED FOR: CONSTRUCTION

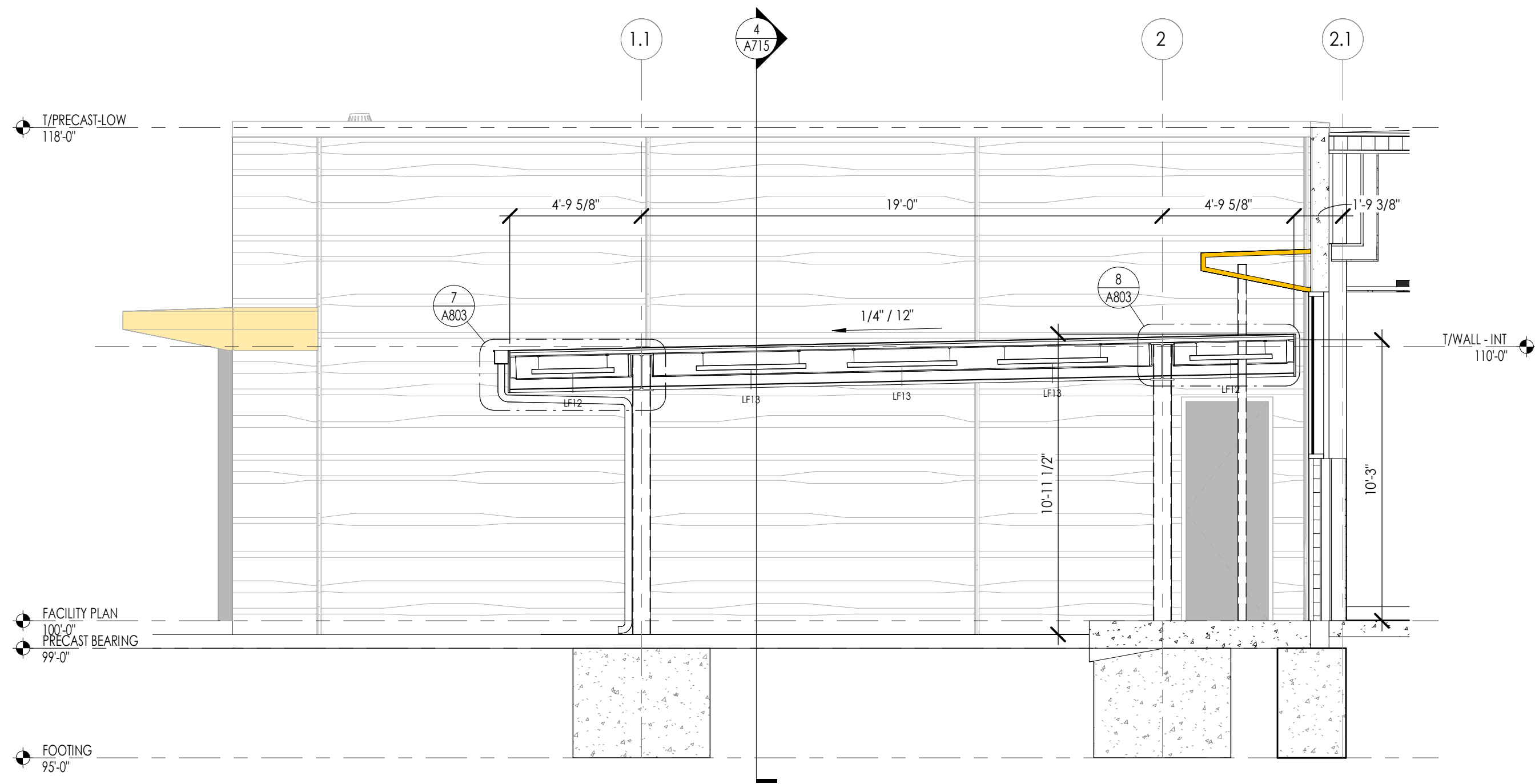
DATE: 12.11.2023

SHEET

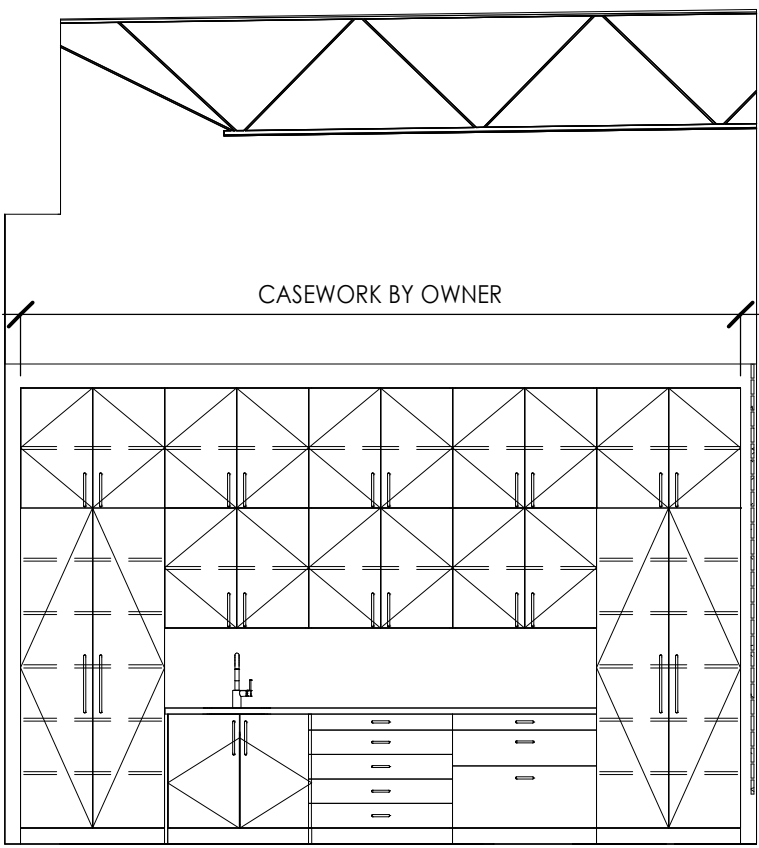
ENLARGED PRIVATE GARAGE

A715

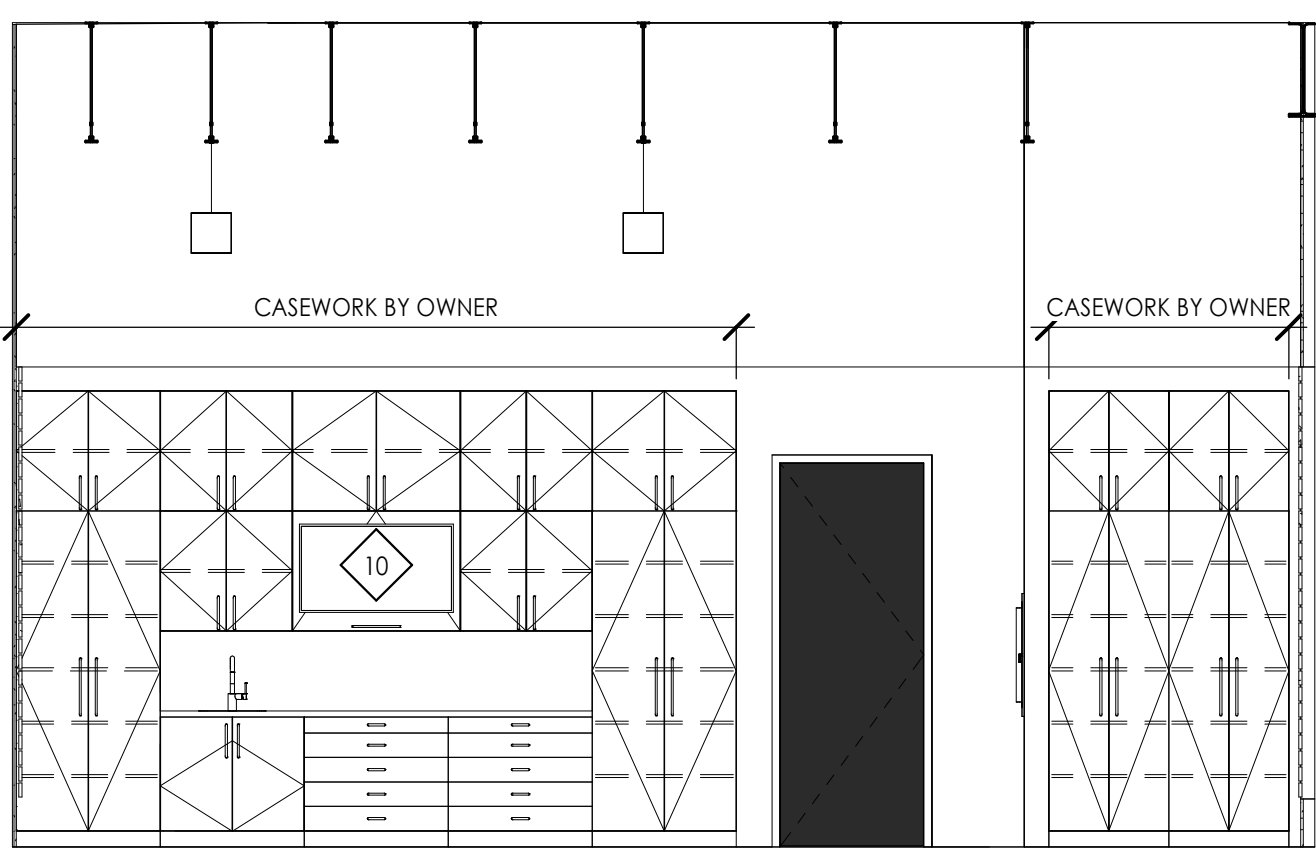
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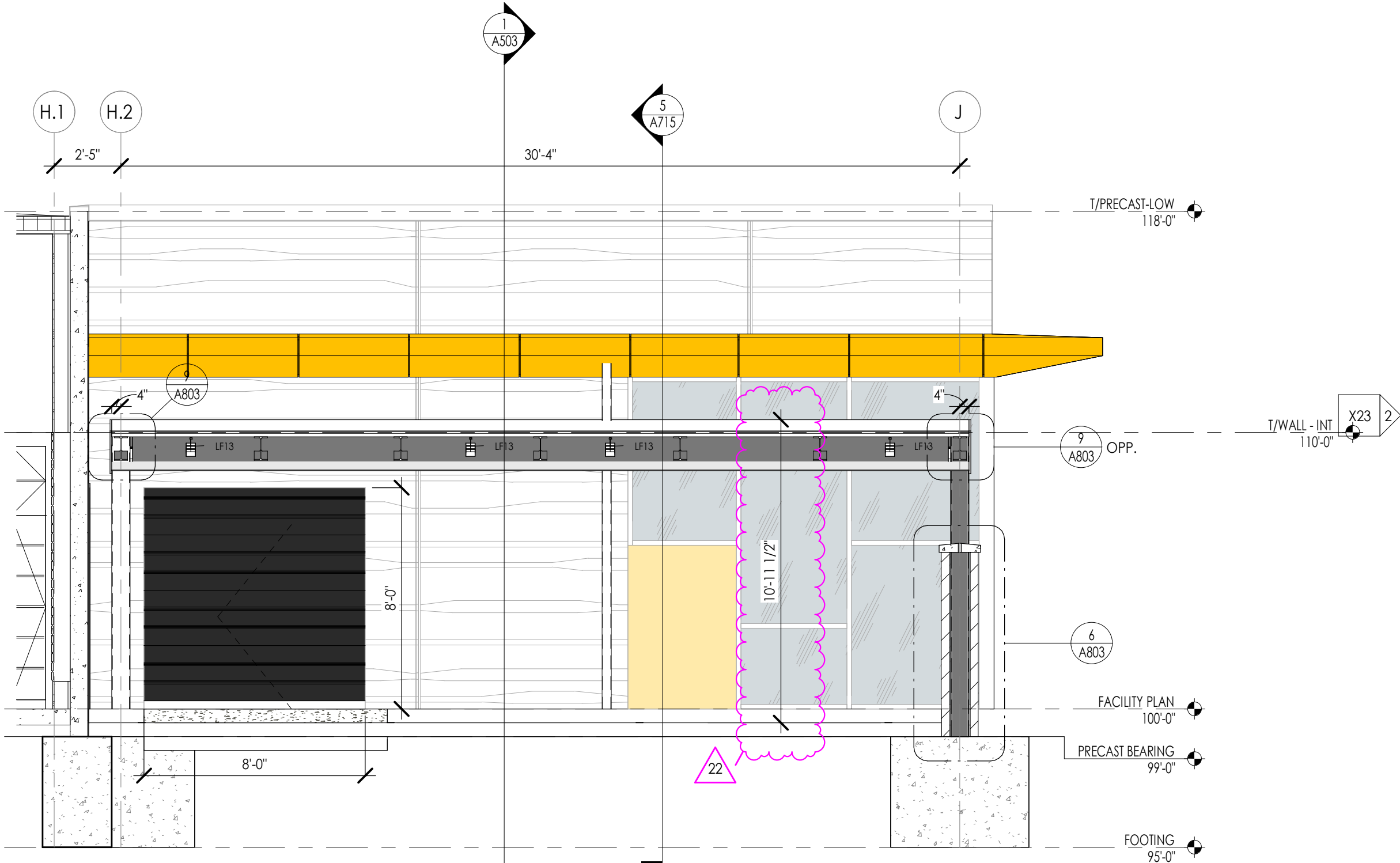
5 PRIVATE CARPORT SECTION - NORTH  
SCALE 1/4" = 1'-0"



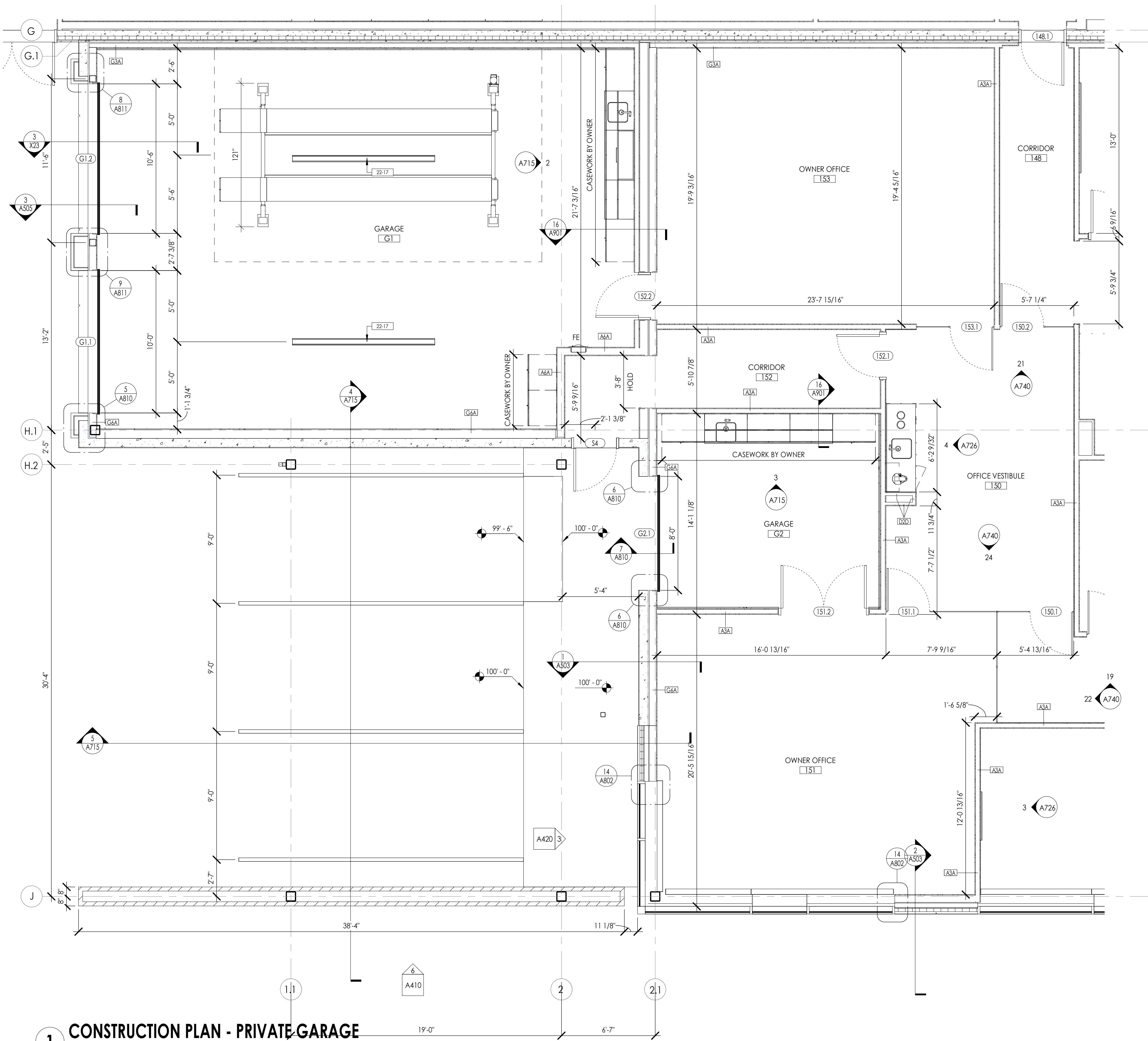
3 INTERIOR ELEVATION - GARAGE G2  
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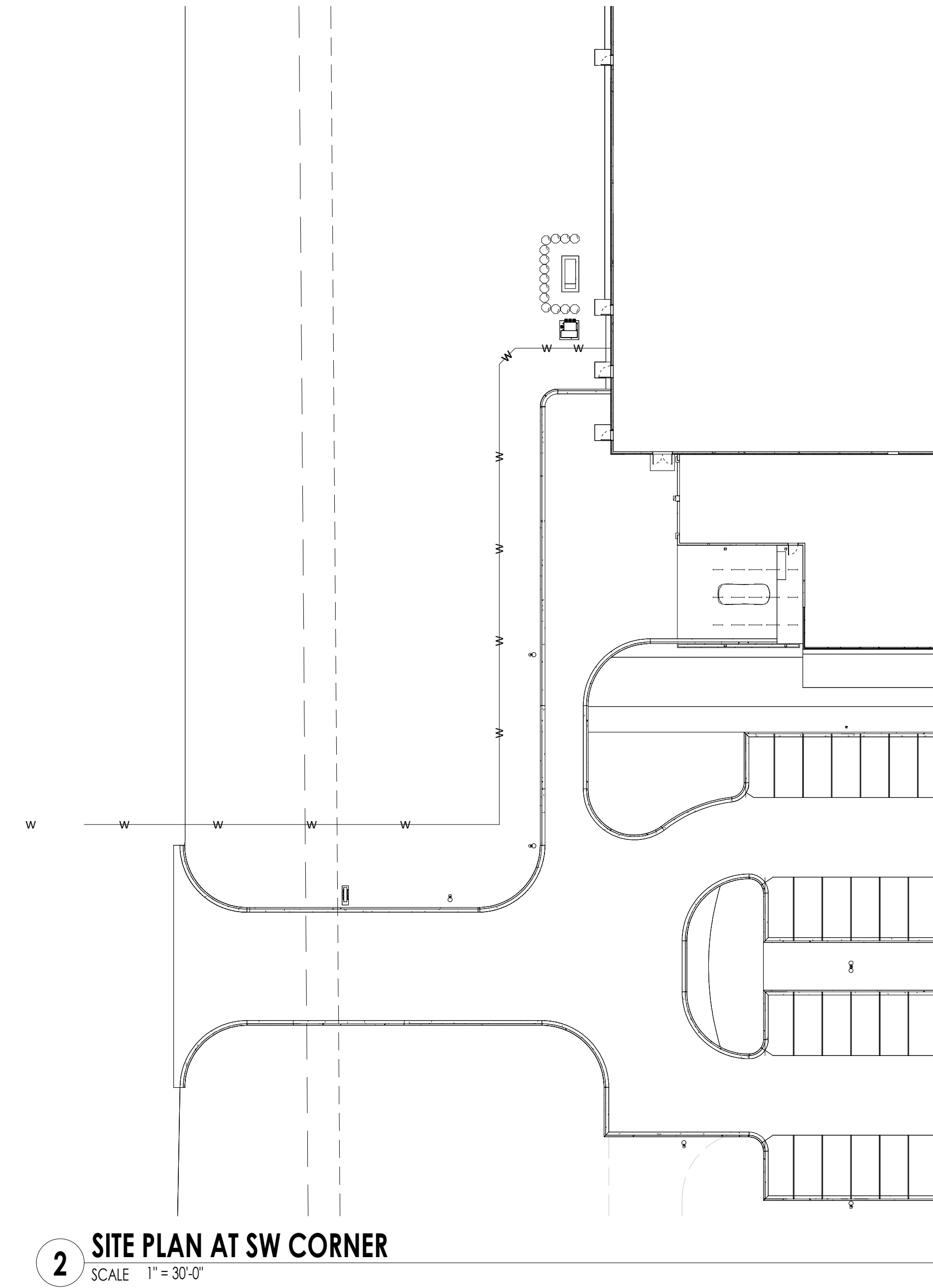
2 INTERIOR ELEVATION - GARAGE G1  
SCALE 1/4" = 1'-0"



4 PRIVATE CARPORT SECTION - EAST  
SCALE 1/4" = 1'-0"



1 CONSTRUCTION PLAN - PRIVATE GARAGE  
SCALE 1/4" = 1'-0"



# CARMA LABORATORIES CORPORATE HQ

FRANKLIN, WISCONSIN





SHEET ISSUE: 07/24/24

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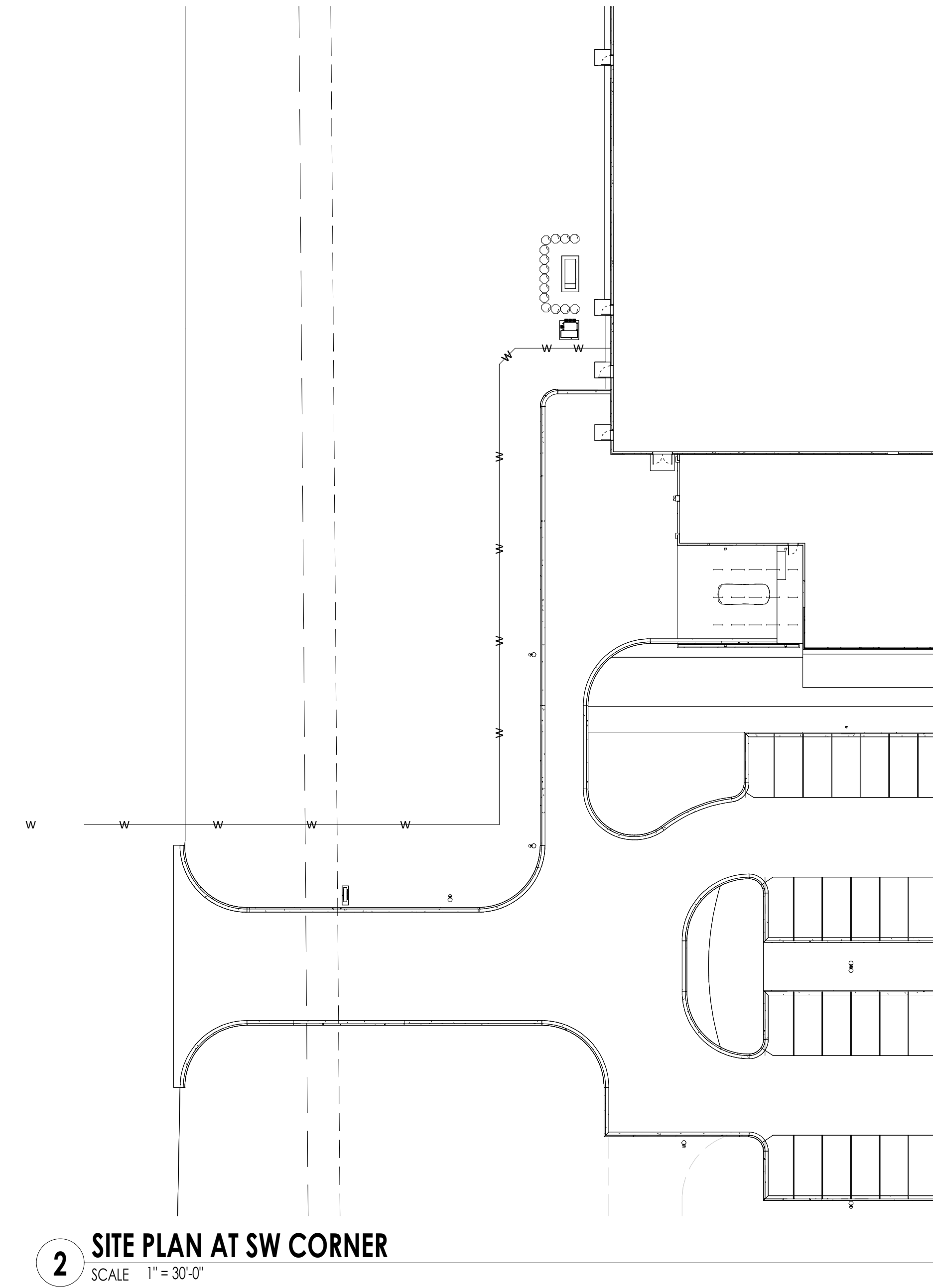


SHEET ISSUE: 07/24/24

# CARMA LABORATORIES CORPORATE HQ

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FRANKLIN, WISCONSIN





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PROJECT

CARMA  
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CORPORATE HQ

FRANKLIN, WISCONSIN

APPLICANT:  
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RYAN COMPANIES  
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joe.hildebrand@ryancompanies.com

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CIVIL ENGINEER:  
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OWNER

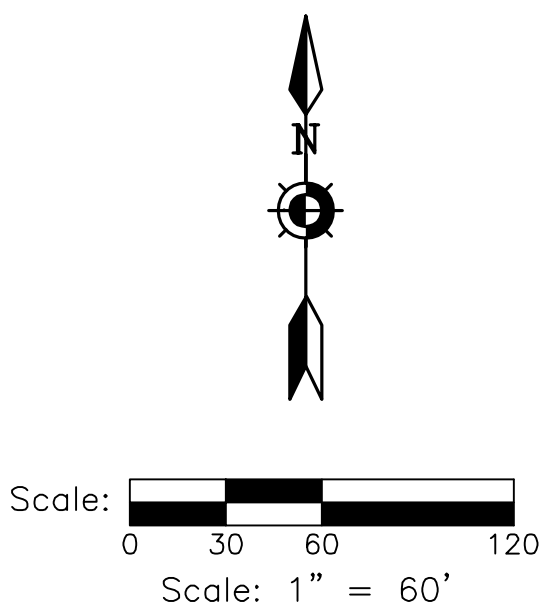


CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE
CB#3	TURN LANE, EASEMENTS, AND FRANKLIN REVIEW COMMENTS	01/17/24
CB#15	CONSTRUCTION BULLETIN # 15	09/13/24



**DIGGERSHOTLINE**  
Dial 811 or (800)242-8511  
www.DiggersHotline.com

KEY INDEX	
	PROJECT LIMITS
	PROPERTY LINE
	RIGHT OF WAY LINE
	EASEMENT LINE
	30' WETLAND BUFFER — NO TOUCH
	50' WETLAND SETBACK — NO BUILD
	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	ASPHALTIC CONCRETE (LIGHT DUTY) <span>1 C202</span>
	ASPHALTIC CONCRETE (HEAVY DUTY) <span>1 C202</span>
	CONCRETE SLAB <span>2 C202 3 C202</span>
	HEAVY DUTY CONCRETE SLAB <span>2 C202 3 C202</span>
	ASPHALTIC CONCRETE AND STONE BASE TO MATCH EXISTING ROADWAY SECTION. <span>1 C207 2 C207</span>
	SNOW STORAGE AREA
	GRAVEL SHOULDER TO MATCH EXISTING SECTION ALONG 76TH STREET.
	HIGH-SIDE CONCRETE CURB & GUTTER 18" BARRIER UNLESS OTHERWISE NOTED <span>4 C202</span>
	LOW-SIDE CONCRETE CURB & GUTTER 18" BARRIER UNLESS OTHERWISE NOTED <span>4 C202</span>
	DEPRESSED CONCRETE CURB & GUTTER 18" DEPRESSED UNLESS OTHERWISE NOTED <span>5 C202</span>

INFORMATION

PROJECT NUMBER: 221201

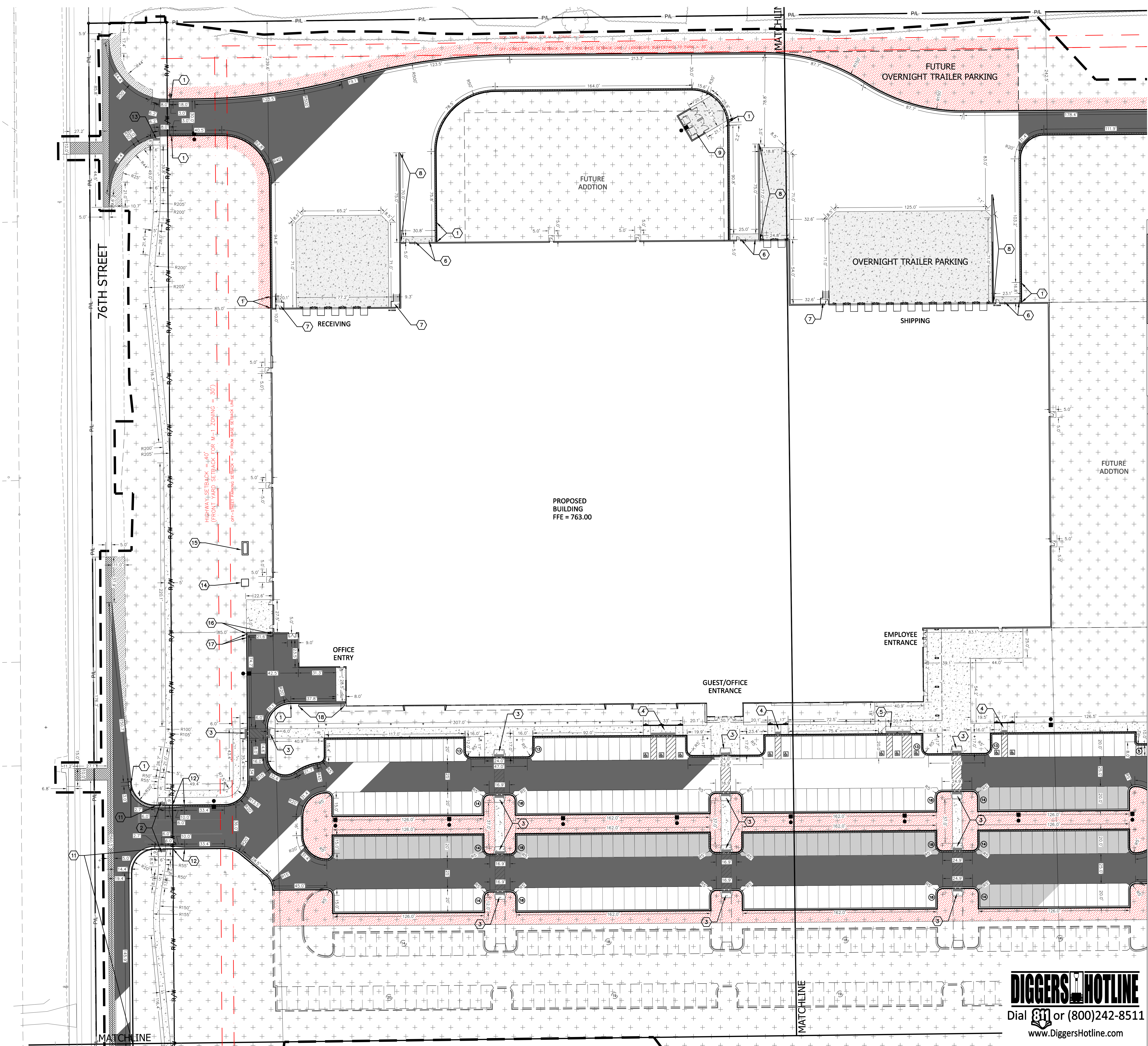
ISSUED FOR: RECORD DRAWINGS

DATE: 12.06.2023

SHEET

OVERALL SITE LAYOUT PLAN

C102

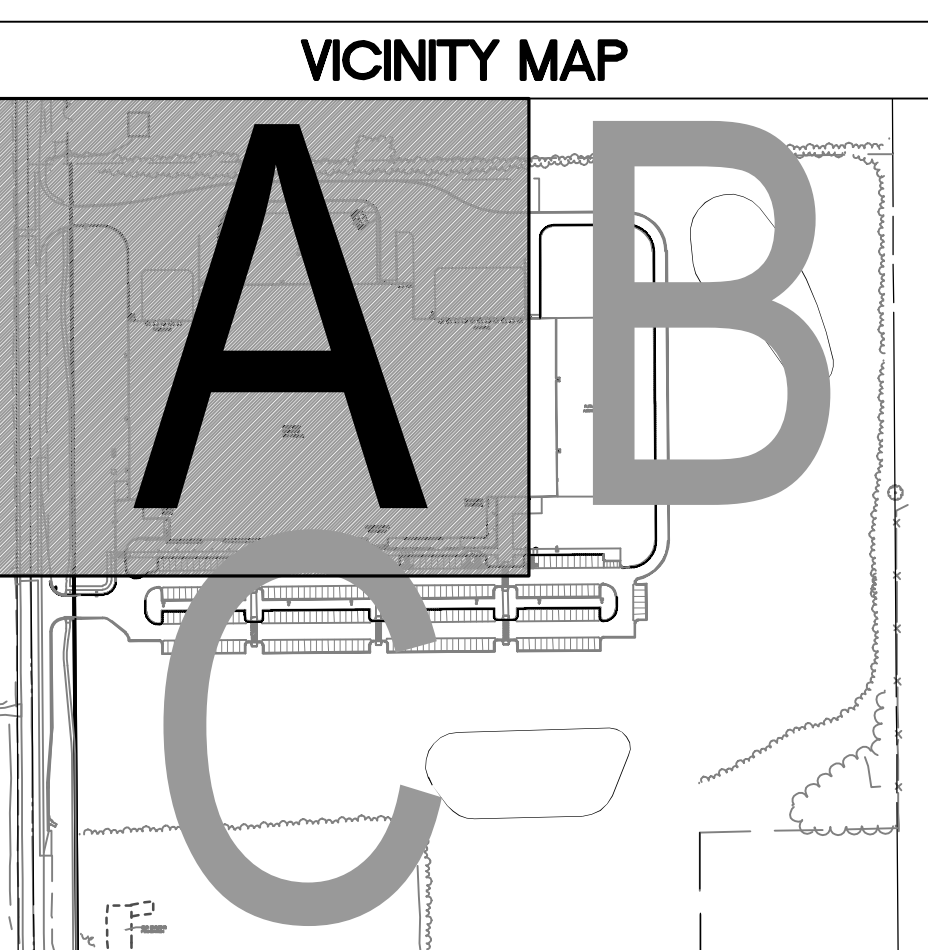


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Scale: 1" = 30'



# KEY INDEX

	PROJECT LIMITS	
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	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.	
	ASPHALTIC CONCRETE (LIGHT DUTY)	1 C202
	ASPHALTIC CONCRETE (HEAVY DUTY)	1 C202
	CONCRETE SLAB	2 C202    3 C202
	HEAVY DUTY CONCRETE SLAB	2 C202    3 C202
	ASPHALTIC CONCRETE AND STONE BASE TO MATCH EXISTING ROADWAY SECTION.	1 C207    2 C207
	SNOW STORAGE AREA	
	GRAVEL SHOULDER TO MATCH EXISTING SECTION ALONG 76TH STREET.	
	HIGH-SIDE CONCRETE CURB & GUTTER 18" BARRIER UNLESS OTHERWISE NOTED	4 C202
	LOW-SIDE CONCRETE CURB & GUTTER 18" BARRIER UNLESS OTHERWISE NOTED	4 C202
	DEPRESSED CONCRETE CURB & GUTTER 16" DEPRESSED UNLESS OTHERWISE NOTED	5 C202
	CONCRETE CURB & GUTTER TRANSITION TO ZERO-FACE CURB	6 C202
	WSDOT TYPE 4B1 CURB RAMP	
	ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS	7 C202    10 C202
	ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS	8 C202    10 C202
	ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS	9 C202    10 C202
	6" BOLLARD	12 C202
	METAL STAIR AND PLATFORM. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.	
	RETAINING WALL AND RAILING. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.	
	TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.	
	CONCRETE FLUME	4 C206
	31" BARRIER CURB AND GUTTER	5 C206
	10" TRANSITION FROM 18" BARRIER CURB AND GUTTER TO 31" BARRIER CURB AND GUTTER	4 C202    5 C206
	TRUNCATED DOME DETECTABLE WARNING FIELDS	10 C202
	TRANSFORMER BY OTHERS. INSTALL CONCRETE PAD PER MANUFACTURER SPECIFICATIONS & DETAILS.	
	GENERATOR BY OTHERS. INSTALL CONCRETE PAD PER MANUFACTURER SPECIFICATIONS & DETAILS.	
	24" MOUNTABLE CURB & GUTTER	10 C202
	3" TRANSITION FROM 24" MOUNTABLE CURB AND GUTTER TO 18" BARRIER CURB AND GUTTER	4 C202    3 C207
	SCREEN WALL. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.	

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PROJECT

CARMA LABORATORIES CORPORATE HQ

FRANKLIN, WISCONSIN

OWNER

Carmex

CONTRACTOR

RYAN

REVISIONS

NO.	DESCRIPTION	DATE
CB#3	TURN LANE, EASEMENTS, AND FRANKLIN REVIEW COMMENTS	01/17/24
CB#15	CONSTRUCTION BULLETIN # 15	09/13/24

INFORMATION

PROJECT NUMBER: 221201

ISSUED FOR: RECORD DRAWINGS

DATE: 12.06.2023

SHEET

SITE LAYOUT PLAN - AREA A

C102A

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Scale: 0 30 60 120  
Scale: 1" = 60'

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HATCH LEGEND

	PROJECT LIMITS
	PROPERTY LINE
	EASEMENT LINE
	30' WETLAND BUFFER - NO TOUCH
	50' WETLAND SETBACK - NO BUILD
	IRRIGATION LIMITS
	AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, NO MOW FESCUE WITH ANNUAL RYE GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, NATIVE SEED MIX WITH NURSE CROP AND STRAW EROSION MAT (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	DECORATIVE STONE MULCH ON WEED BARRIER FABRIC.

INFORMATION

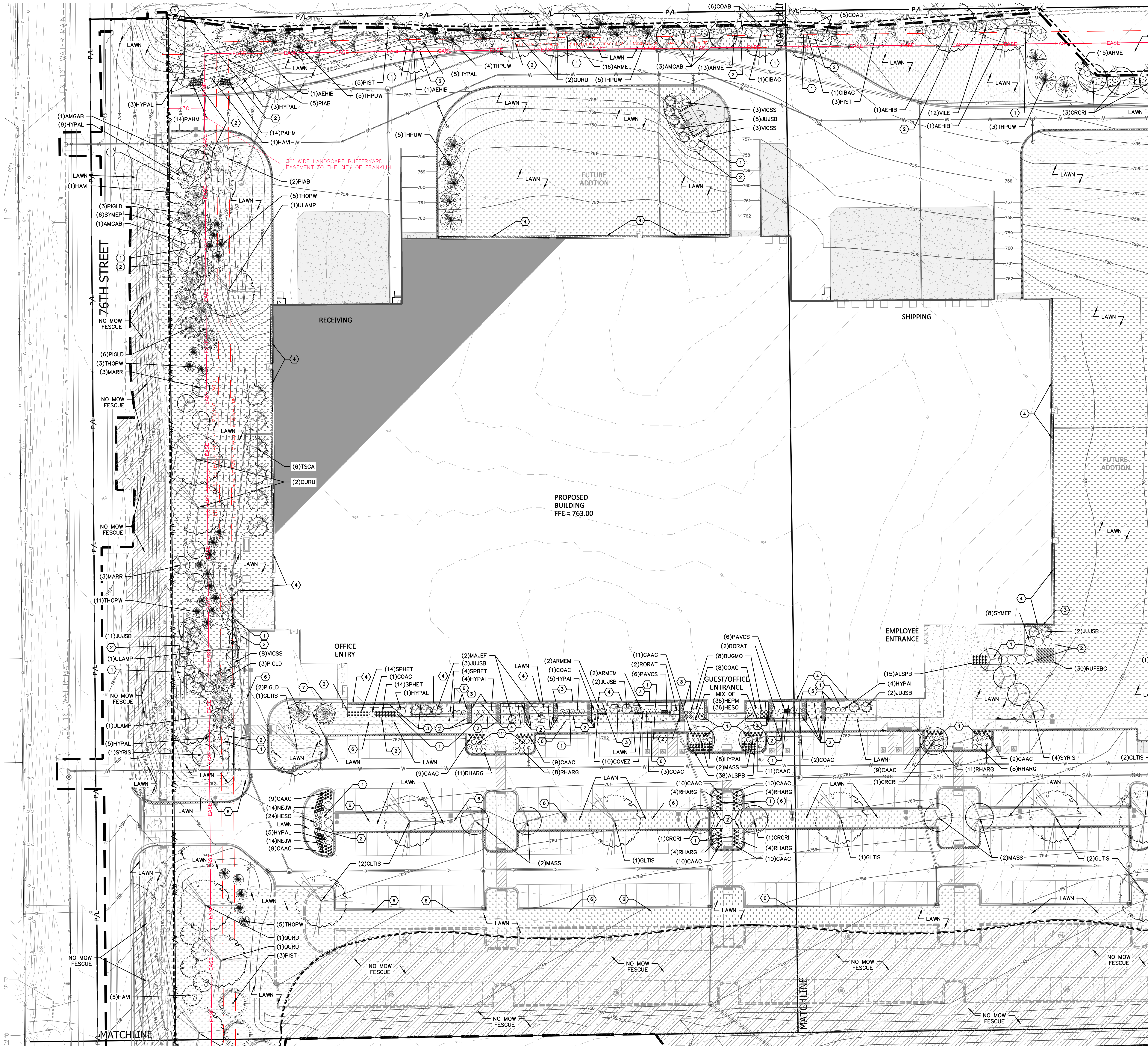
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SHEET

OVERALL SITE LANDSCAPE PLAN



APPLICANT:  
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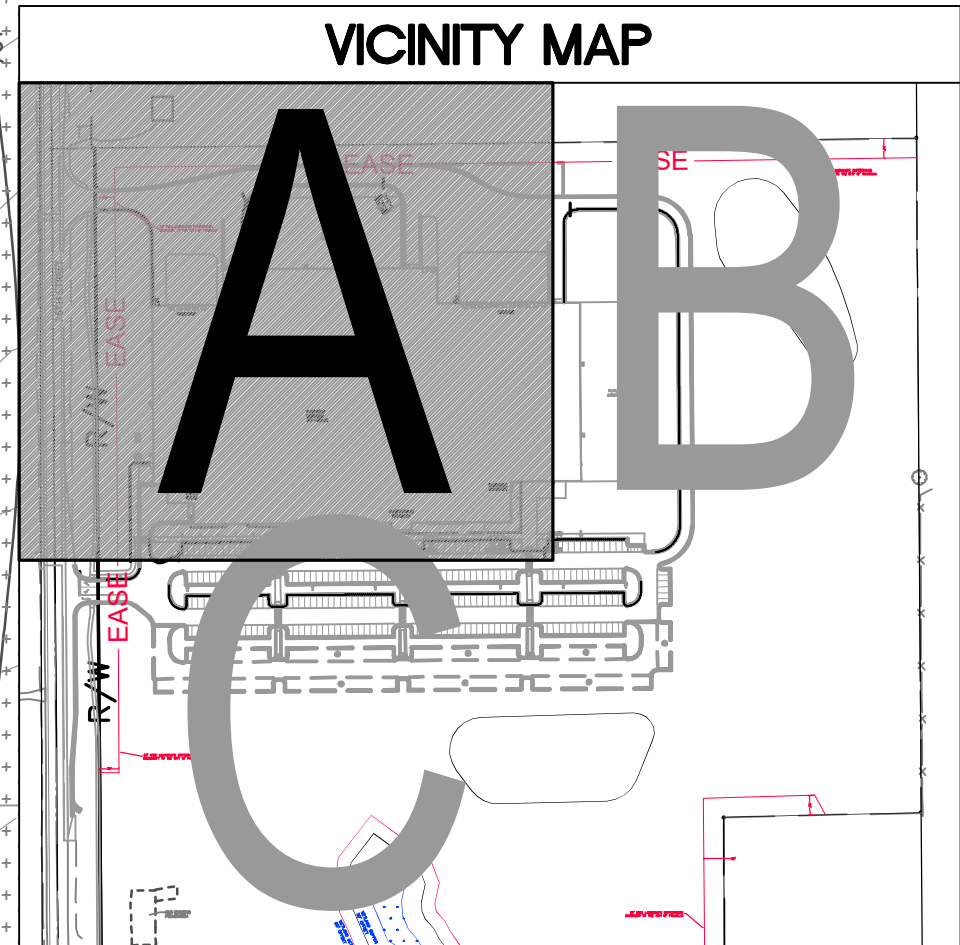
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#### HATCH LEGEND

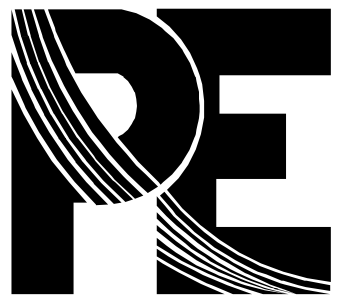
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- DECORATIVE STONE MULCH ON WEED BARRIER FABRIC.
- PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE
- QUANTITY OF PLANTS IN THE PLANT GROUPING
- LEADER LINE
- PLANT SYMBOL (SYMBOL VARIES)

#### KEY INDEX

- SHREDDED HARDWOOD MULCH
- ALUMINUM EDGING AT PLANTING BED
- ALUMINUM EDGING AT MULCH SEPERATION
- 2 FOOT WIDE MAINTENANCE STRIP
- UNDISTURBED AREA
- LIGHT POLE (SEE SITE LIGHTING PLAN FOR OFFICAL LOCATIONS)
- SCREEN WALL, REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.



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FRANKLIN, WISCONSIN

#### OWNER



#### CONTRACTOR



#### REVISIONS

NO.	DESCRIPTION	DATE
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CB#15	CONSTRUCTION BULLETIN #15	09/13/24

#### INFORMATION

PROJECT NUMBER: 221201

ISSUED FOR: RECORD DRAWINGS

DATE: 12.06.2023

#### SHEET

SITE LANDSCAPE PLAN - AREA A

**L101A**

Plant Schedule

Symbol	Scientific Name	Common Name	Quantity	Spacing	Install Size	Size
						Maturity in ft. (Height/Spread)
<b>Deciduous Trees: (Install in accordance with detail 4/L201)</b>						
AHIB	Aesculus hippocastanum 'Baumannii'	Double Flowering Horsechestnut	5	Per Plan	2.5" caliper B&B	50'-75/40'-70'
GIBAG	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginko (male)	5	Per Plan	2.5" caliper B&B	50/30'
GLTIS	Gleditsia tricanthos 'Shademaster' PP1,515	Shademaster Honeylocust	9	Per Plan	2.5" caliper B&B	60/35'
QURU	Quercus rubra	Red Oak	6	Per Plan	2.5" caliper B&B	60'-75/60'-75'
ULAMP	Ulmus americana 'Princeton'	Princeton Elm	6	Per Plan	2.5" caliper B&B	60'-80/40'-60'
<b>Ornamental Trees: (Install in accordance with detail 4/L201)</b>						
AMGAB	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	5	Per Plan	8" multi-stem B&B	20'-25/20'-25'
CRCRI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	6	Per Plan	1.5" caliper B&B	20'-30/25'-35'
MAJGF	Malus 'Jefgreen' PP23,863	Emerald Spire Crabapple	2	Per Plan	1.5" caliper B&B	15/16'
MARR	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple	6	Per Plan	1.5" caliper B&B	20/16'
MASS	Malus x 'Spring Snow'	Spring Snow Crabapple	6	Per Plan	1.5" caliper B&B	20-25/15-20'
SYRIS	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	5	Per Plan	1.5" caliper B&B	25/15'
<b>Evergreen Trees: (Install in accordance with detail 5/L201)</b>						
JUSB	Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper	25	Per Plan	6" tall B&B	17/7'-9'
PIAB	Picea abies	Norway Spruce	7	Per Plan	6" tall B&B	50'-70/25'-30'
PIGLD	Picea glauca var. densata	Black Hills Spruce	14	Per Plan	6" tall B&B	25'-45/15'-25'
PIST	Pinus strobus	Eastern White Pine	11	Per Plan	6" tall B&B	50'-80/20'-40'
THOPW	Thuja occidentalis x plicata 'Wintergreen'	Wintergreen Arborvitae	24	Per Plan	6" tall B&B	60'-30/15'-10'
THPUW	Thuja plicata x occidentalis 'UW'	UW Arborvitae	22	Per Plan	6" tall B&B	25'-35/20'
TSCA	Tsuga canadensis	Canadian Hemlock	6	Per Plan	6" tall B&B	25'-45/15'-25'
<b>Deciduous Shrubs: (Install in accordance with detail 6/L201)</b>						
ARME	Aronia melanocarpa var. 'Elate'	Glossy Black Chokeberry	44	Per Plan	18" tall pot	5'-7/4'-6'
ARMEM	Aronia melanocarpa 'Morton'	Iroquois Beauty Chokeberry	4	Per Plan	18" tall pot	2'-3/4'-5'
COAB	Cornus alba 'Ballhalo'	Ivory Halo Dogwood	11	Per Plan	30" tall pot	5'-6/5'-7'
COAC	Cornus sericea 'Alleman's Compact'	Alleman's Compact Dogwood	15	Per Plan	24" tall pot	5'-6/5'-6'
COLU	Cotoneaster lucidus	Hedge Cotoneaster	8	Per Plan	30" tall pot	8'-10/15'-6'
HYPJAI	Hydrangea paniculata 'ILVOBO' PP22,782	Bobo Hydrangea	21	Per Plan	38" tall pot	3/3'-4'
HAYI	Hamamelis virginiana	Common Witchhazel	7	Per Plan	36" tall B&B	15-20/15-20'
HYPAL	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	31	Per Plan	36" tall B&B	6'-8/16'-9'
RHARG	Rhus aromatica 'Gre-Low'	Gre-Low Sumac	54	Per Plan	18" spread pot	2'-3/16'-8'
RORAT	Rosa rugosa 'Radtko' PP16,202	Double Knockout Rose	4	Per Plan	18" tall pot	3'-4/13'-4'
SPBET	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	4	Per Plan	18" tall pot	2'-3/3'
SYMCP	Syringa meyeri 'Palibin'	Meyer Lilac (Dwarf Korean Lilac)	14	Per Plan	36" tall B&B	4'-5/5'-7'
VICSS	Viburnum carlesii 'J.N. Select S'	Sugar n' Spice Koreanspice Viburnum	14	Per Plan	36" tall B&B	6'-8/16'-9'
VILE	Viburnum lentago	Nannyberry Viburnum	12	Per Plan	30" tall B&B	12'-15/18'-10'
<b>Evergreen Shrubs: (Install in accordance with detail 6/L201)</b>						
BUGMO	Buxus x 'Green Mound'	Green Mound Boxwood	8	Per Plan	18" tall B&B	3/3'
<b>Perennials: (Install in accordance with detail 7/L201)</b>						
ALSPB	Allium x 'Summer Peek-a-Boo'	Summer Peek-a-Boo Globe Lily	53	Per Plan	#1 cont.	8"-12"/16"-24"
CAAC	Calamagrostis x acutiflora Karl Foerster	Karl Foerster Reed Grass	116	Per Plan	#1 cont.	5'-6/18"-24"
COVEZ	Coreopsis verticillata 'Zagreb'	Zagreb Threadleaf Coreopsis	10	Per Plan	#1 cont.	20"-24"/15"-18"
HEPM	Hemerocallis 'Pardon Me'	Pardon Me Daylily	36	Per Plan	#1 cont.	12'-16"/16"-24"
HEJO	Hemerocallis 'Stella De Oro'	Stella De Oro Daylily	60	Per Plan	#1 cont.	16'-18"/16"-24"
NEJW	Nepeta x 'Junior Walker'	Junior Walker Catmint	28	Per Plan	#1 cont.	15'-18"/30"-36"
PAHM	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	28	Per Plan	#1 cont.	3'-4/12'-3'
PAVCS	Panicum virgatum 'Cheyenne Sky'	Cheyenne Sky Switchgrass	12	Per Plan	#1 cont.	18"-24"/12"-18"
RUFEBG	Rudbeckia fulgida 'Early Bird Gold'	F. Early Bird Gold Black-eyed Susan	30	Per Plan	#1 cont.	20"-24"/18"-24"
SPHET	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	28	Per Plan	#1 cont.	18"-24"/18"-24"

NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

1  
L201  
PLANT SCHEDULE  
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES" PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- LANDSCAPE EDGING TO BE ALUMINUM EDGING. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR WEED FABRIC WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
- REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
- INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
- STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- STONE CHIP MAINTENANCE STRIP TO BE 3-INCHES DEEP OVER WEED FABRIC WITH ALUMINUM EDGING. CONTRACTOR TO INSTALL MAINTENANCE STRIP 2- FEET WIDE ALONG BUILDING EDGE, WHERE INDICATED ON SITE LANDSCAPE PLAN.
- STONE CHIP TO BE ¾-INCH RAVENS BLACK DECORATIVE STONE CHIP FROM HALQUIST STONE. CONTRACTOR TO CONTACT HALQUIST STONE N51 W23653 LISBON ROAD SUSSEX, WI 53089 TELEPHONE: (262)246-9000 EMAIL: INFO@HALQUISTSTONE.COM.
- NO MOW TO BE NO MOW FESCUE SEED MIX WITH ANNUAL RYE NURSE CROP FROM PRAIRIE NURSERY, INC. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. PRAIRIE NURSERY ADDRESS: PO BOX 306 WESTFIELD, WI 53964. TELEPHONE: 1-800-476-9453 FAX: 608-296-2741.
- NATIVE SEED MIX TO BE "RAINWATER RENEWAL" SEED MIX WITH ANNUAL RYE NURSE CROP FROM AGRECOL, LLC. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. AGRECOL, LLC ADDRESS: 10101 NORTH CASEY ROAD EVANSVILLE, WI 53536. TELEPHONE: 608-223-3571 FAX: 608-884-4640 EMAIL: ECOSOLUTIONS@AGRECOL.COM.
- REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.
- IRRIGATION: PROVIDE IRRIGATION FOR ALL AREAS WITHIN THE INDICATED IRRIGATION LIMITS. AREAS OF FUTURE BUILDING EXPANSIONS WITHIN 100 FEET OF HOSE BIBS MAY BE IRRIGATED WITH HOSES FROM HOSE BIBS IN LIEU OF PERMANENT IRRIGATION SYSTEM TO BE DETERMINED IN THE FUTURE. CONTRACTOR TO COORDINATE AND SUPPLY A CODE COMPLIANT IRRIGATION SYSTEM DESIGN, MATERIALS, AND INSTALLATION AS A DESIGN-BUILD CONTRACT. THIS WORK SHALL INCLUDE CONNECTION TO THE EXISTING WATER SUPPLY SYSTEM, IRRIGATION CONTROLLER, RAIN SENSOR, AND ELECTRONIC POWER SUPPLY SYSTEM. CONTRACTOR SHALL PROVIDE AND COORDINATE PLACEMENT OF ALL SLEEVES UNDER PAVEMENT. SLEEVES SHALL BE 4" SCHEDULE 40 PVC PIPE WITH MINIMUM 24" COVER. IRRIGATION SYSTEM SHALL NOT SPRAY WATER ONTO ADJACENT PAVEMENTS. PROVIDE AN IRRIGATION PLAN SHOP DRAWING THAT INDICATES THE LOCATION, SIZE, MANUFACTURER AND MODEL OF PROPOSED IRRIGATION PIPING, SLEEVES, CONTROL VALVES, SPRAY HEADS FOR LAWN AREAS (WITH SPRAY ARC), DRIP IRRIGATION LINES FOR PLANTING BED AREAS, POINT OF WATER CONNECTION, BACKFLOW PREVENTER, RAIN SENSOR AND IRRIGATION CONTROLLER.

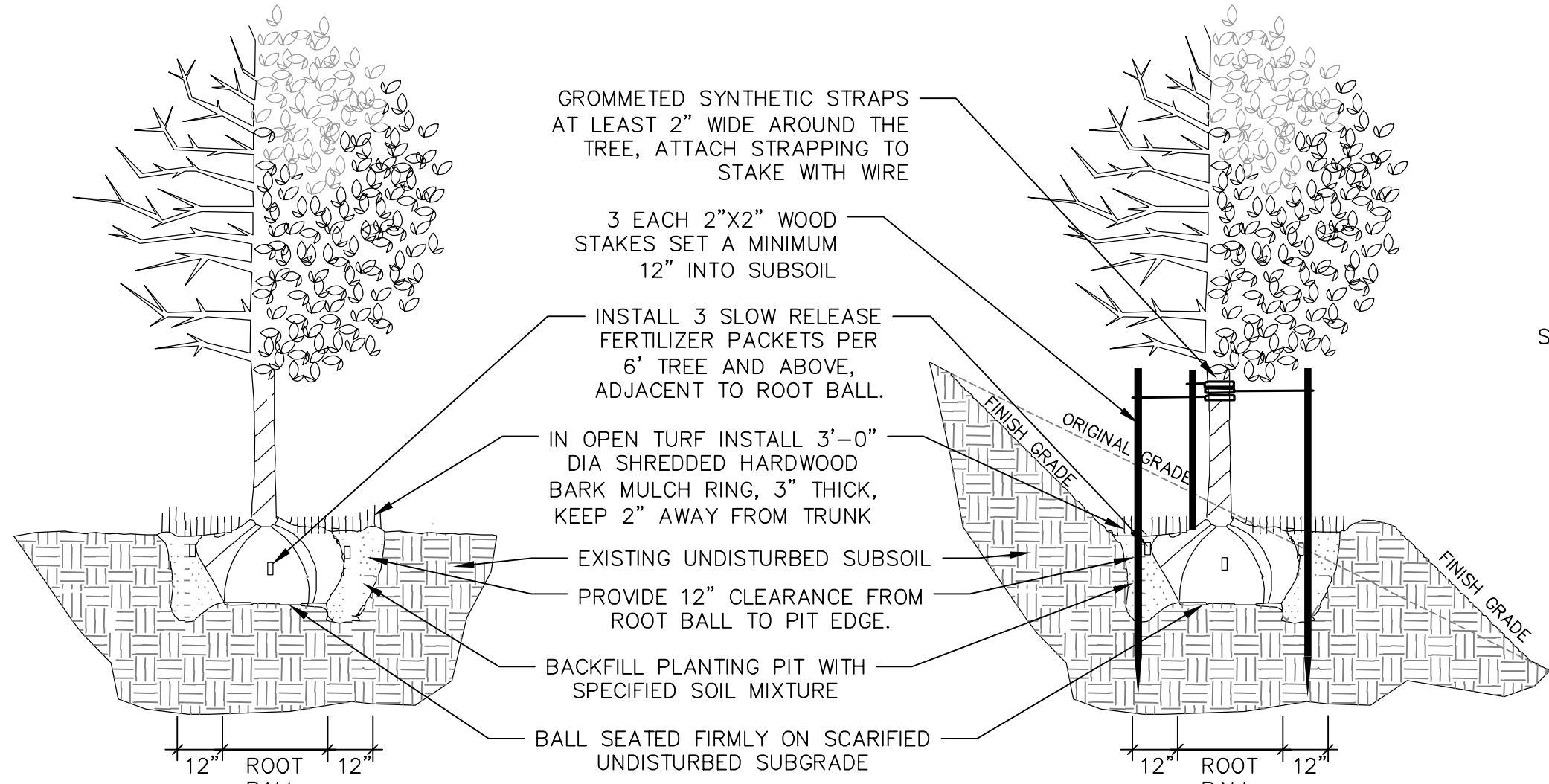
2  
L201  
LANDSCAPE NOTES  
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

City of Franklin Landscaping Requirements

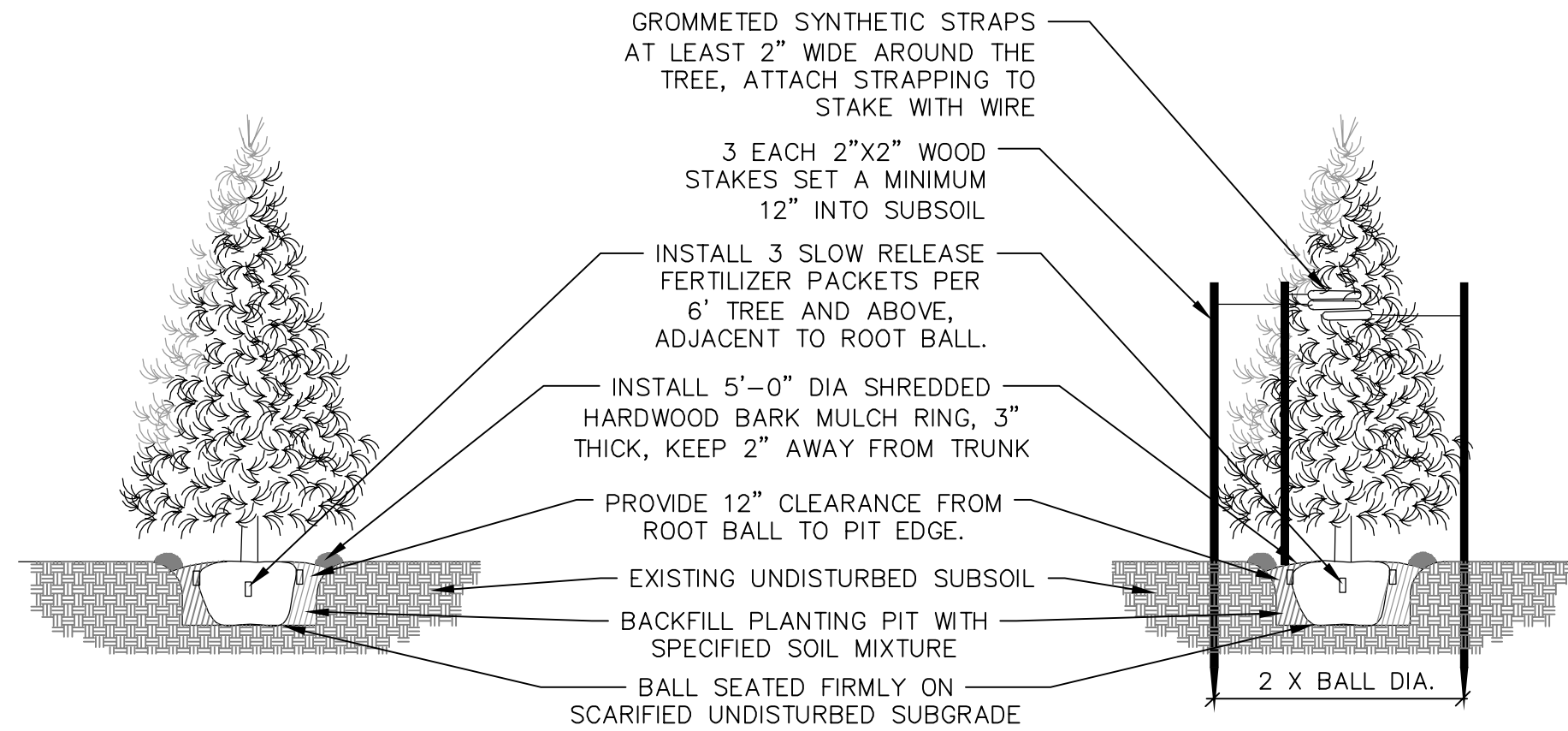
Site Use = Manufacturing (Industrial)  
Proposed parking stalls = 250 parking stalls  
Future parking stalls = 150 parking stalls (not used in landscape calculations)

Required	Provided
<b>Minimum Plant Units or Manufacturing (Industrial) use with bufferyard</b>	
Canopy/Shade Trees (2.5" caliper minimum) - 1 tree per 10 parking spaces + 20% increase for bufferyard	(250 parking spaces / 10) = 25 x 1.20 = 30 canopy trees required 31 canopy trees provided
Evergreen Trees (4' tall minimum & 6' tall minimum in bufferyard) - 1 tree per 10 parking spaces + 20% increase for bufferyard	(250 parking spaces / 10) = 25 x 1.20 = 30 evergreen trees required 102 evergreen trees provided
Decorative Trees (1.5" caliper minimum) - 1 tree per 10 parking spaces + 20% increase for bufferyard	(250 parking spaces / 10) = 25 x 1.20 = 30 decorative trees required 30 decorative trees provided
Shrubs (3' tall minimum) - 1 shrub per 10 parking spaces + 20% increase for bufferyard	(250 parking spaces / 10) = 25 x 1.20 = 30 shrubs required 66 shrubs provided (3' tall)
<b>Species of Plantings</b>	
Variation in required plantings (21-30 plantings) per type	Minimum Number of Species: 4 Minimum number of each species planted: 5 Provided species: 5
Shade Tree Species	At least 2 species should be native to the City: Ash, Elm, Sugar Maple, Red Oak, Basswood, or Walnut Included Elm and Red Oak
<b>Irrigation</b>	
On site irrigation providing complete coverage to all new living landscaped areas	Permanent irrigation or Hose bibs within 100' of any landscaped areas Irrigation limits indicated

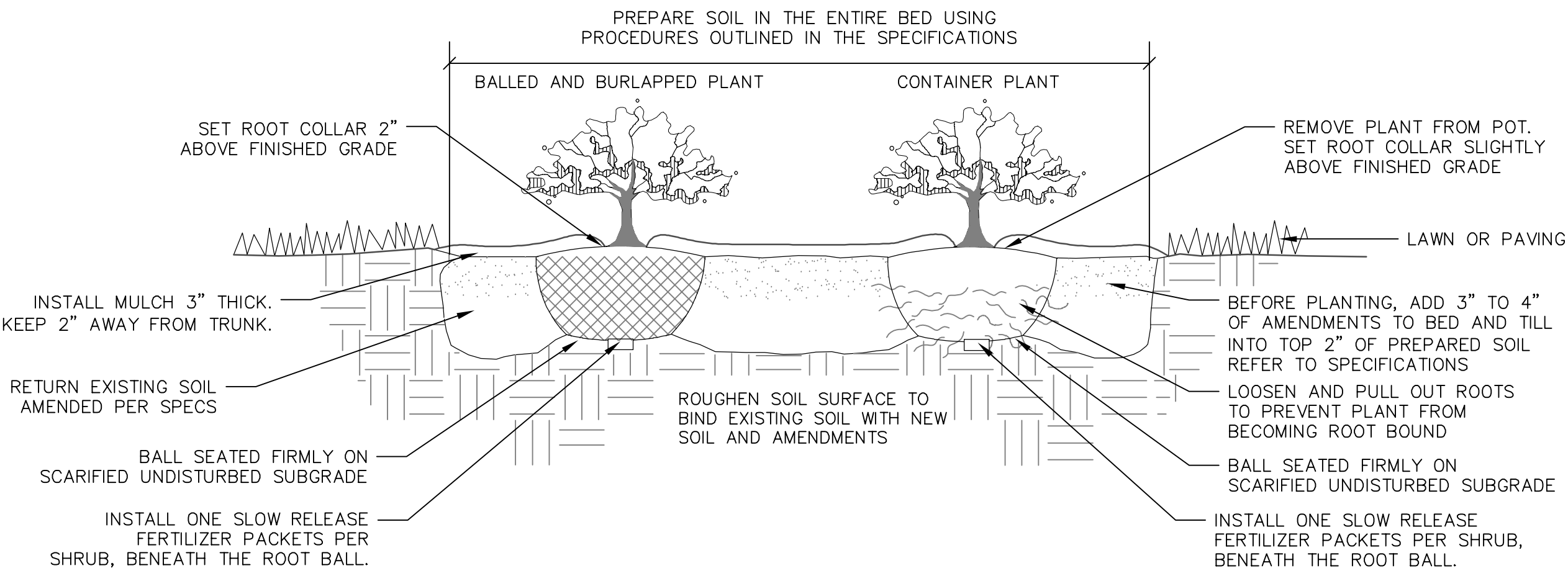
3  
L201  
CITY LANDSCAPE REQUIREMENTS  
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



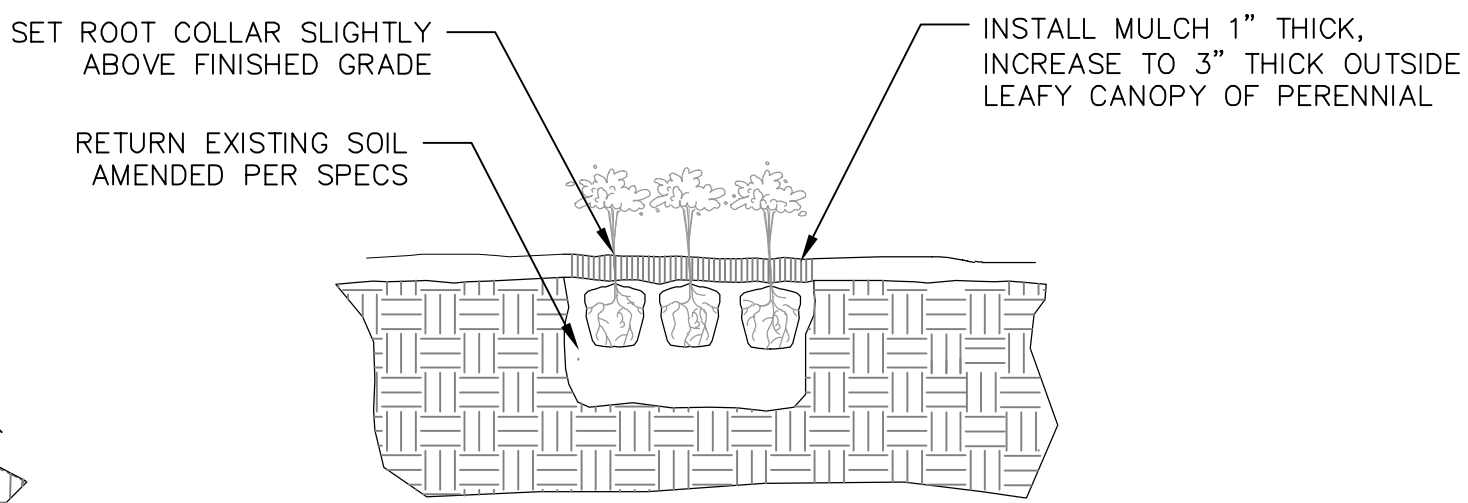
4  
L201  
DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE  
N.T.S.



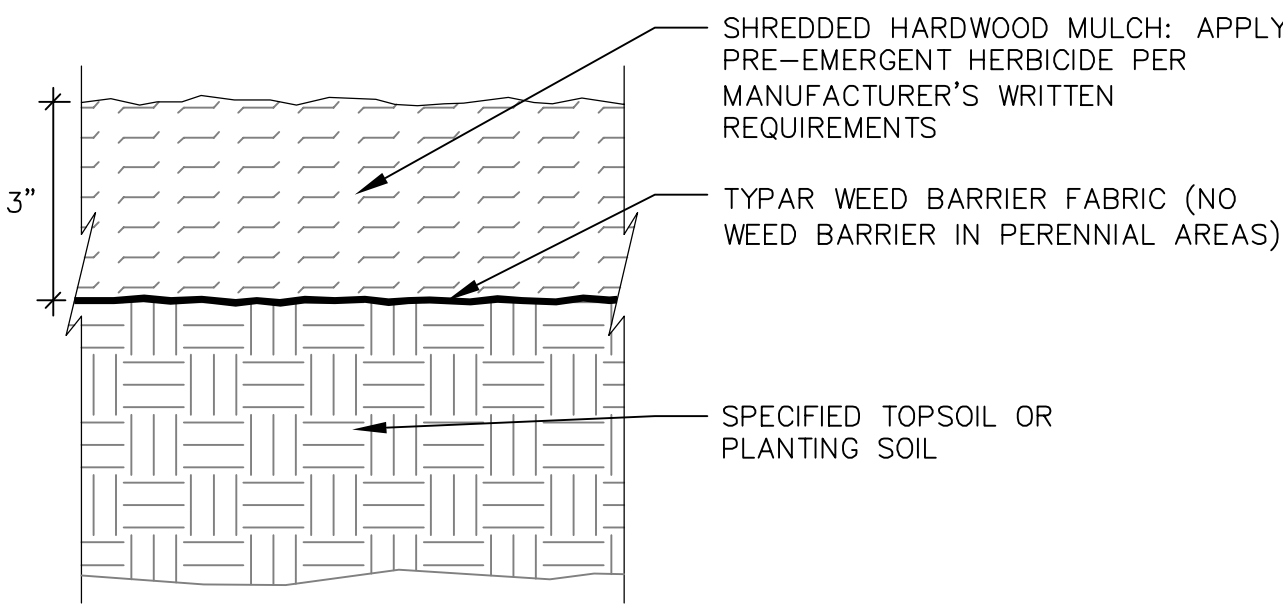
5  
L201  
EVERGREEN TREE PLANTING & STAKING  
N.T.S.



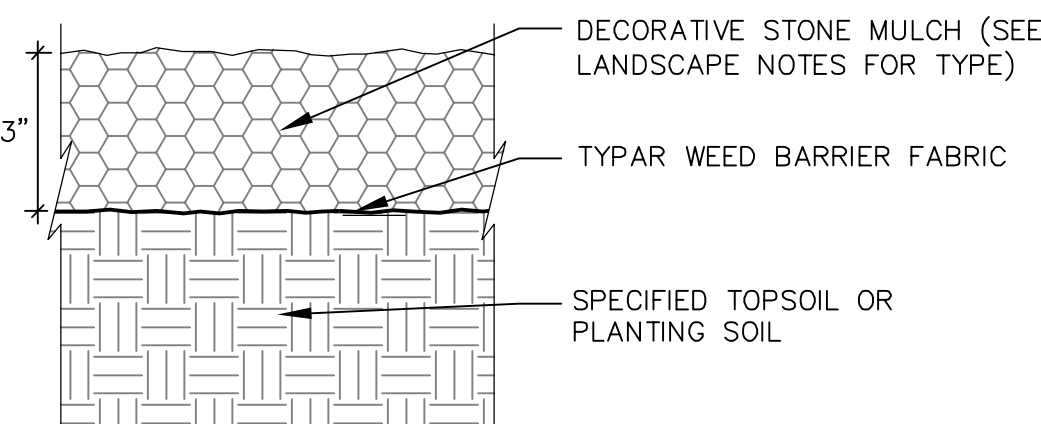
6  
L201  
DECIDUOUS & EVERGREEN SHRUB PLANTING  
N.T.S.



7  
L201  
PERENNIAL PLANTING  
N.T.S.



8  
L201  
SHREDDED HARDWOOD MULCH SECTION  
N.T.S.



9  
L201  
DECORATIVE STONE MULCH SECTION  
N.T.S.



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202

T 414.277.9700 | F 414.277.9705  
spsearchitects.com



all in

PROJECT

CARMA  
LABORATORIES  
CORPORATE HQ

FRANKLIN, WISCONSIN

OWNER



CONTRACTOR



REVISIONS

NO.	DESCRIPTION	DATE
CB#15	CONSTRUCTION BULLETIN #15	09/13/24

INFORMATION

PROJECT NUMBER: 221201

ISSUED FOR: RECORD DRAWINGS

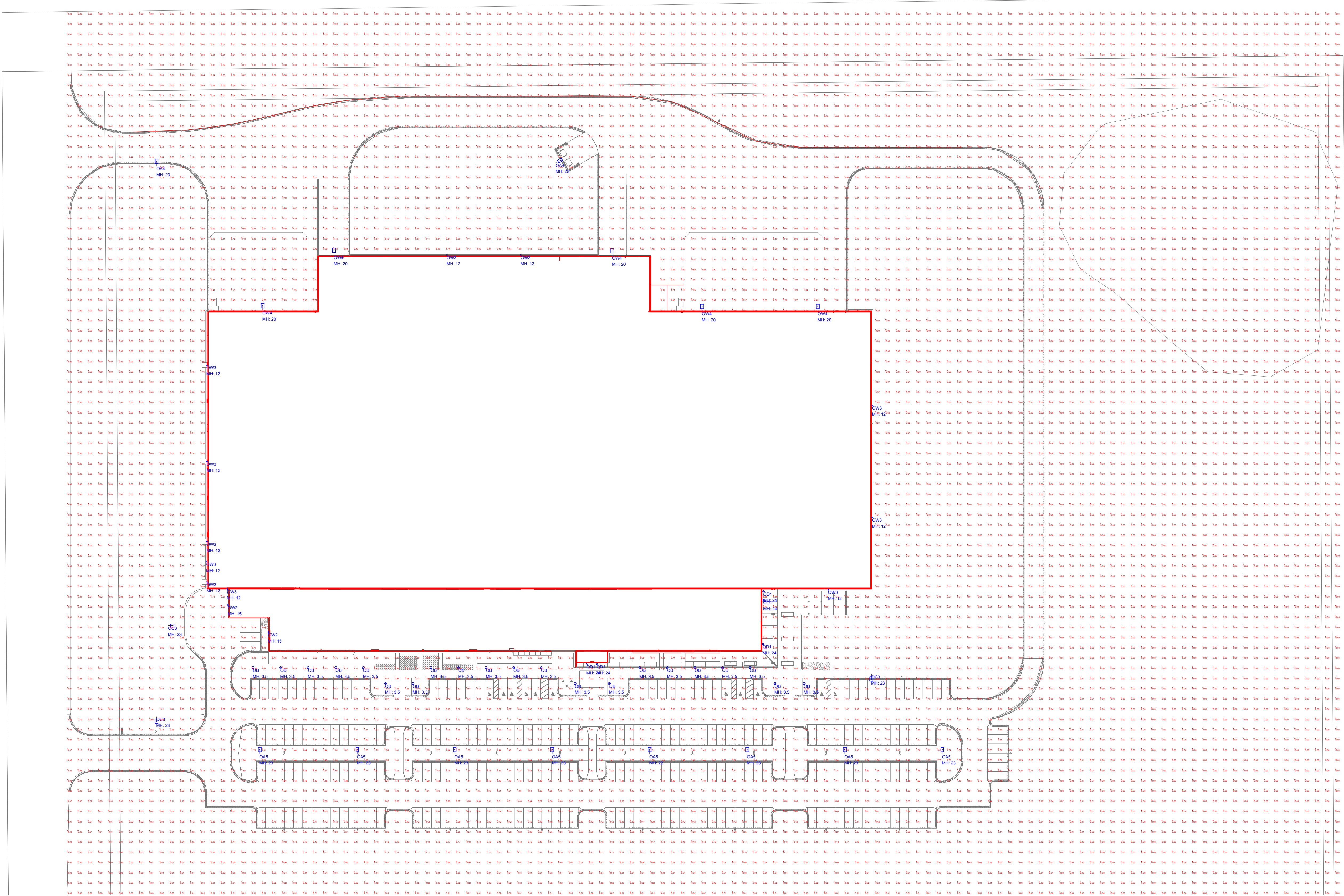
DATE: 12.06.2023

SHEET

SITE LANDSCAPE DETAILS

L201

Luminaire Schedule							
Qty	Label	Arrangement	LF	MFR	Description	Lum. Watts	Total Watts
2	OAS	SINGLE	0.950	LITHONIA	RSX1 LED P2 x4K R4-20FT POLE 3 FT BASE	72.95	145.9
8	OAS	SINGLE	0.950	LITHONIA	RSX1 LED P4 x4K R5-20FT POLE 3 FT BASE	133.14	1065.12
21	OB	SINGLE	0.950	TGS	RBL-28W-C-U-O-x	26	546
3	OCS	SINGLE	0.950	LITHONIA	RSX1 LED P2 x4K R3-20FT POLE 3 FT BASE	72.95	218.85
5	OD1	SINGLE	0.950	LITHONIA	LDN6 x425 L6AR LBS	28.25	141.25
2	OW2	SINGLE	0.950	LITHONIA	WPX1 LED P1 x4K MacR	11.47	22.94
11	OW3	SINGLE	0.950	LITHONIA	WPX0 LED ALD-1 x4K MVOLT	6.0096	66.1056
5	OW4	SINGLE	0.950	LITHONIA	RSX1 LED P2 x4K R4- WBA	72.95	364.75
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.21	37.39	0.00	N.A.	N.A.
PARKING AREA	Illuminance	Fc	1.14	3.2	0.2	5.70	16.00



ENTERPRISE  
Lighting & Control

PROJECT RED CAP	FRANKLIN, WISCONSIN	SITE LAYOUT	DRAWN BY : AD	DATE : AUG 21, 2024	SCALE : 1" = 50'- 0"	REVISIONS	#	DATE	COMMENTS

PROJECT NAME:

CARMA LABS

PROJECT ADDRESS:

FRANKLIN, WI

PROJECT NO. 24303

REVISIONS

Date	Description
07.12.2024	REVISION #1
08.31.2024	REVISION #2

SHEET INFO

SHEET NAME:

SITE - OVERALL

SCALE:

PROJECT MANAGER:

DRAWN BY:

ISSUE DATE:

SHEET NO:

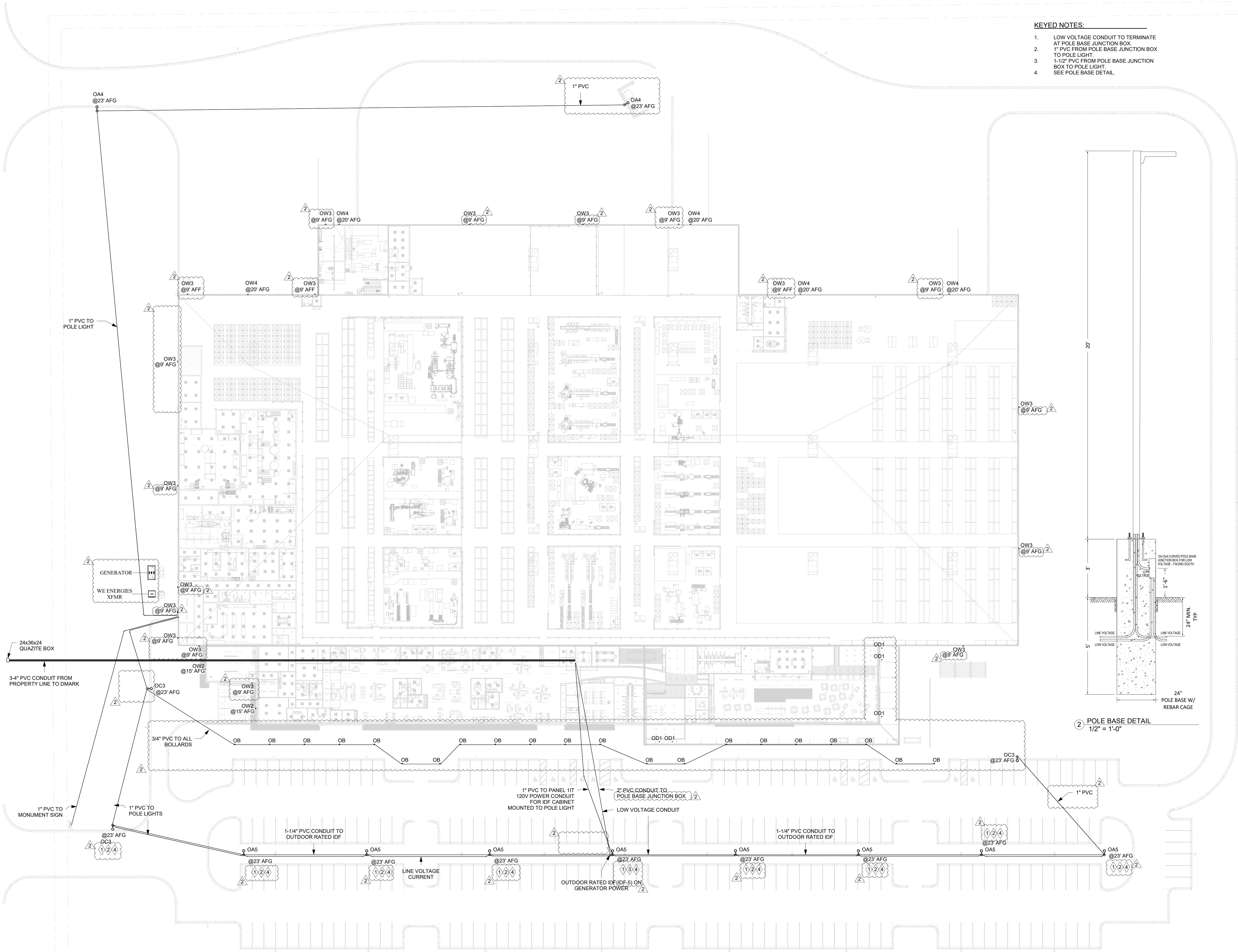
As indicated

SCOTT K.

M. KRAUSE

12.07.23

E100





# CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of December 5, 2024

### Master Sign Program

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**RECOMMENDATION:** City Development Staff recommends to **approval** of the Master Sign Program for the Dunkin Donuts/Baskin Robbins development located 5444 W.

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<b>Project Name:</b>	Dunkin Donuts/Baskin Robbins
<b>Project Address:</b>	5444 W. Rawson Ave
<b>Applicant:</b>	Kardo Rasha, The Kardo Group
<b>Property Owner:</b>	Kardo Rasha
<b>Current Zoning:</b>	M-1 Limited Industrial District & OL-2 General Business Overlay District
<b>2025 Comprehensive Plan</b>	Commercial
<b>Use of Surrounding Properties:</b>	Limited industrial and business overlay district to the North, East and West, General industrial & business use to the South
<b>Applicant Action Requested:</b>	Approval of the proposed Master Sign Program
<b>Planner:</b>	David Serna, Planning Intern

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### **Introduction and Project Description:**

On November 13, 2024 the applicant applied for a Master Sign Program (MSP) for the property located at 5444 W. Rawson Ave. The applicant is applying for a Master Sign Program for their property to allow for signage to exceed the maximum number of signs outlined in our Unified Development Ordinance. The total amount of signage would be eight signs including the existing two wall signs and directional signs. The applicant is also requesting a 27.6% increase in allowable signage.

### **Master Sign Program**

The Municipal Code (§210-9. E(1), §210-9.F(6), etc.) requires that any Master Sign Program provide for consistent and cohesive signage throughout a development. This applies to materials, design, and color selection. The MSP for Dunkin Donuts/Baskin Robbins stipulates that “the intent of the MSP is to set forth a theme as to placement, lettering style, color and related design considerations of signs, while at the same time reducing sign clutter.”

### **Project Description**

Dunkin Donuts/Baskin Robbins have submitted a Master Sign Program for the installation of 6 signs total. 3 of these signs are for the Dunkin Donuts (3 wall signs), 2 wall signs for Baskin Robbins, and a combined Monument Sign for both Dunkin Donuts & Baskin Robbins.

The applicant is requesting an increase over the maximum allowable signage due to both Dunkin Donuts & Baskin Robbins sharing the same building. The Applicant is proposing five additional wall signs for Dunkin Donuts/Baskin Robbins, with three existing directional signs being illuminated. They are also proposing an internally illuminated monument sign.

Planning Staff has drafted a Master Sign Program resolution for Dunkin Donuts/Baskin Robbins. The attached draft resolution includes how the proposed signage would comply with the Master Sign Program set forth.

### **Additional Comments**

Staff has made the applicant aware that a Sign Permit shall be issued prior to installation of any new sign and a Zoning Compliance and Commercial Occupancy Permit be obtained prior to any Sign Permit.

### **Staff Recommendation**

City Development Staff recommends **approval** the Master Sign Program for the Dunkin Donuts & Baskin Robbins development located at 5444 W. Rawson Ave.

STATE OF WISCONSIN

CITY OF FRANKLIN  
PLAN COMMISSION

MILWAUKEE COUNTY

RESOLUTION NO. 2024- \_\_\_\_

A RESOLUTION APPROVING A MASTER SIGN PROGRAM  
FOR BASKIN ROBBINS & DUNKIN DONUTS  
(5444 WEST RAWSON AVENUE)  
(KARDO RASHA, THE KARDO GROUP, APPLICANT)

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WHEREAS, Dunkin Donuts & Baskin Robbins having applied for a Master Sign Program approval for the Baskin Robbins and Dunkin Donuts development, at 5444 West Rawson Avenue, and such application having been reviewed by City staff and the application and staff recommendations and suggested considerations having been reviewed by the Plan Commission at its meeting on December 5, 2024; and

WHEREAS, the Plan Commission having determined that the Dunkin Donuts & Baskin Robbins Master Sign Program application, together with those staff recommendations and suggested considerations meets the purposes and intent of §210-9. of the Municipal Code of the City of Franklin and will promote the health, safety and welfare of the Community.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Dunkin Donuts & Baskin Robbins Master Sign Program application, be and the same is hereby approved, subject to the Master Sign Program Application and plans City file-stamped on September 6, 2024 together with the following additional conditions, which conditions shall be incorporated into the Master Sign Program – Baskin Robbins & Dunkin Donuts:

1. Dunkin Donuts & Baskin Robbins, successors and assigns, and any developer of the Franklin Village Master Sign Program shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Franklin Village Master Sign Program, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
2. Compliance with the “City of Franklin – Master Sign Program” document annexed hereto and incorporated herein.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this 5th day of December, 2024.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this 5th day of December, 2024.

APPROVED:

\_\_\_\_\_  
John R. Nelson, Chairman

ATTEST:

\_\_\_\_\_  
Shirley J. Roberts, City Clerk

AYES \_\_\_\_ NOES \_\_\_\_ ABSENT \_\_\_\_

Date: November 25, 2024  
To: Kardo Rasha, The Kardo Group  
From: Department of City Development. Luke Hamill, Associate Planner. David Serna, Planning Intern  
RE: Application for Master Sign Program, 5444 W. Rawson Ave / 741 9003 000

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Staff comments are as follows for the Master Sign Program application submitted November 13, 2024 to allow for a signage upon Building 6 as set in the Master Sign Program for the Shoppes at Wyndham Village Development.

**City Development Department Comments**

Please note that all signage requires a sign permit from the Department of City Development. Staff has put your sign permit applications on hold until the Master Sign Program Amendment receives approval.

City Development Department comments are as follow:

1. Remove "Franklin Village" language from the proposal summary. The property is not located in Franklin Village therefore this would not be applicable.
2. Remove the "Pylon Sign" label from the proposal summary and rename it to "Monument Sign" since the text refers to that sign.
3. Include the percentage increase that you are asking for over the allowable 100% increase of signage. The calculated percentage you are asking for is 27.6%. Include this in the background info portion of the proposal summary.
4. Correct the zoning district mentioned throughout the whole proposal summary. The property is located in the M-1 & OL-2 zoning districts.
5. Change the address on the application to the correct one which is 5444 W. Rawson Ave.

Planning Department 9229 West Loomis Road Franklin, Wisconsin 53132 <a href="mailto:generalplanning@franklinwi.gov">generalplanning@franklinwi.gov</a> (414) 425-4024 <a href="http://franklinwi.gov">franklinwi.gov</a>	APPLICATION DATE: 8/13/2024 STAMP DATE: _____ city use only
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## MASTER SIGN PROGRAM/AMENDMENT APPLICATION

PROJECT INFORMATION [print legibly]	
<b>APPLICANT [FULL LEGAL NAMES]</b>	<b>APPLICANT IS REPRESENTED BY [CONTACT PERSON]</b>
NAME: Raymond Mandarino	NAME: Kardo Rasha
COMPANY: All Signs Skokie Inc	COMPANY: DUNKIN
MAILING ADDRESS: 8088 McCormick Blvd.	MAILING ADDRESS: 5100 W Rawson Ave.,
CITY/STATE: Skokie, IL ZIP: 60076	CITY/STATE: Franklin, WI ZIP: 53132
PHONE: 847-324-5500	PHONE: 847-668-6842
EMAIL ADDRESS: sales@allsignscorp.com	EMAIL ADDRESS: kardo@thekardogroup.com
PROJECT PROPERTY INFORMATION	
PROPERTY ADDRESS: 5100 W Rawson Ave., Franklin, WI 53132	TAX KEY NUMBER: Click or tap here to enter text.
PROPERTY OWNER: Kardo Rasha	PHONE: 847-668-6842
MAILING ADDRESS: 5100 W. Rawson Ave.	EMAIL ADDRESS: kardo@thekardogroup.com
CITY/STATE: Franklin, WI ZIP: 53132	DATE OF COMPLETION: _____ office use only
SIGNATURES	
<p>The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.</p> <p><i>(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).</i></p> <p><input type="checkbox"/> I, the applicant, certify that I have read the following page detailing the requirements for Administrative review approval and submittals and understand that incomplete applications and submittals cannot be reviewed.</p>	
PROPERTY OWNER SIGNATURE: 	APPLICANT SIGNATURE: 
NAME & TITLE: Kardo Rasha (Owner) DATE: 8/13/2024	NAME & TITLE: Raymond Mandarino (President) DATE: 8/13/2024
PROPERTY OWNER SIGNATURE:	APPLICANT REPRESENTATIVE SIGNATURE:
NAME & TITLE: Click or tap here to enter text. DATE: Click or tap to enter a date.	NAME & TITLE: Click or tap here to enter text. DATE: Click or tap to enter a date.

This file has been cleaned of potential threats.

If you confirm that the file is coming from a trusted source, you can send the following SHA-256 hash value to your admin for the original file.

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To view the reconstructed contents, please SCROLL DOWN to next page.

City of Franklin-Master Sign Program

As required by the City of Franklin Municipal Code-Section 210-9 (Ordinance No. 2007-1934)

Project Name: Dunkin

Property Address: 5444 Rawson Rd

Current Zoning: M-1 & OL-2 Zoning District

Applicant Name: Kardo Rasha

Contact Person: Neal Patel

Applicant Address: 5444 Rawson Rd

City: Franklin, WI Zip: 53005

Phone – 847-980-1632

Email – [nilax@resaconstruction.com](mailto:nilax@resaconstruction.com)

### **Intent**

To allow additional signage on east and west elevation.

### **Background Info:**

The subject, Franklin, is zoned M-1 & OL-2 Zoning District and is subject to the standards and specific approvals of the City of Franklin Plan Commission and Common Council. The property in question has 32' of building frontage along Rawson and 65' of building frontage along the access road. The calculated percentage that we are asking is 27.6%.

### **Approval Procedure**

Amendments to this document require Plan Commission review and approval in the form of a Master Sign Program Amendment. Any future signage outside the requirements of the master sign program shall not be permitted without the applicant receiving approval of a master sign program amendment from the Plan Commission.

When considering an application for an amendment to a Master Sign Program, the Plan Commission may, at its discretion, require amendment to any other requirement or condition of the Master Sign Program and shall not be limited to the items contained in the application for amendment to the Master Sign Program.

Separate sign permits are required for each individual sign in the development and will be issued by the Inspection Department. Prior to application, the tenant shall obtain initial approval from the Owner of

Franklin and the application must bear the signature and/or stamp of the appropriate Franklin representative(s). Additional requirements apply as noted in Section 210-9(c)

"Each individual sign proposed in accordance with an approved master sign program must be applied for and permitted separately in accordance with this chapter, and in no event shall any recommendation or approval of a master sign program be deemed an approval of or a permission to construct any particular sign under that program. All applications for permits for such signs must be filed with the Inspection Department for approval under the terms and conditions of the previously approved master sign program, except the application must specify in exact terms any sign characteristics which the master sign program considered in general or nonspecific terms or measurements. The Building Inspector may approve or deny such application or may forward the application to the Plan Commission for its denial, approval, or approval with conditions or modifications, including but not limited to modification of the previously approved master sign program, provided such modification was duly noticed and the master sign program application fee is paid."

### **Applicability of Sign, Zoning, and Municipal Codes**

**Conflict.** If any provision, sentence, or clause of the Master Sign Program as approved herein, or as maybe amended from time to time, is found to be in conflict with the requirements of the Municipal Code of the City of Franklin, including but not limited to Chapter 201- Signs and Billboards, the requirements of the Municipal Code shall prevail.

**Severability.** If any provision, sentence, or clause of the Master Sign Program as approved herein, or as maybe amended from time to time, is declared invalid or unenforceable, such invalidity or unenforceability shall not affect the whole Master Sign Program, but the whole remaining Master Sign Program shall be construed and enforced accordingly and such provision, sentence or clause shall be severable. **Enforcement.** If the City fails to enforce any requirement of the Master Sign Program or fails to exercise any right or remedy available under this Master Sign Program or the Municipal Code of the City of Franklin, including but not limited to Chapter 210- Signs and Billboards, that failure shall not be construed as a waiver of any requirement, right, or remedy and shall not restrict the City from enforcing any such requirement or exercising any such right or remedy.

### **Professionally Prepared**

All signs and sign plans shall be "professionally" prepared and demonstrate materials, color selection, and craftsmanship. Applications to the City of Franklin Inspection Department for sign permits shall include professionally rendered imagery and dimension scaled drawings and shall depict the type of light source, all materials, and colors.

### **City Of Franklin Sign Types**

#### ***Monument Sign***

The Master Identification sign location is shown in Exhibit A (Labeled D) and further discussed in the rendering on page 6.

***The Location of the Monument sign will meet the following guidelines***

- i. Within the property lines
- ii. Sign is within the setback requirement.

### **Directional Signs**

The direction sign location is shown in Exhibit A (C1 and C3) and further discussed in the rendering in on page 5.

The 3 directional signs are *existing signs*. All we are requesting is to have them illuminated.

Reason for illumination – we ask that we are allowed to illuminate these signs, as they provide direction for customers and allows for a safer environment. Also, during the winter time it gets Dark around 4:30PM and the visibility is less. We would like to make sure customer don't end up running into the wrong direction or into the sign/pole in the dark specially when they're going to the Drive thru order. The lighted/illuminated direction signs will be visible form a distance which can guide the driver to correct way/turning.

### **Wall Signs.**

We request to allow additional wall signs on the east and west elevations. There will be total of 5 wall signs where 4 of them are channel letter wall signs and 1 of it is non-illuminated PVC letters.

Sign A1: 129"W x 25"H -- Channel letter wall sign --- illuminated 22.4 sqft

Sign A2: 122"W x 24"H -- Channel letter wall sign --- illuminated 20.3 sqft

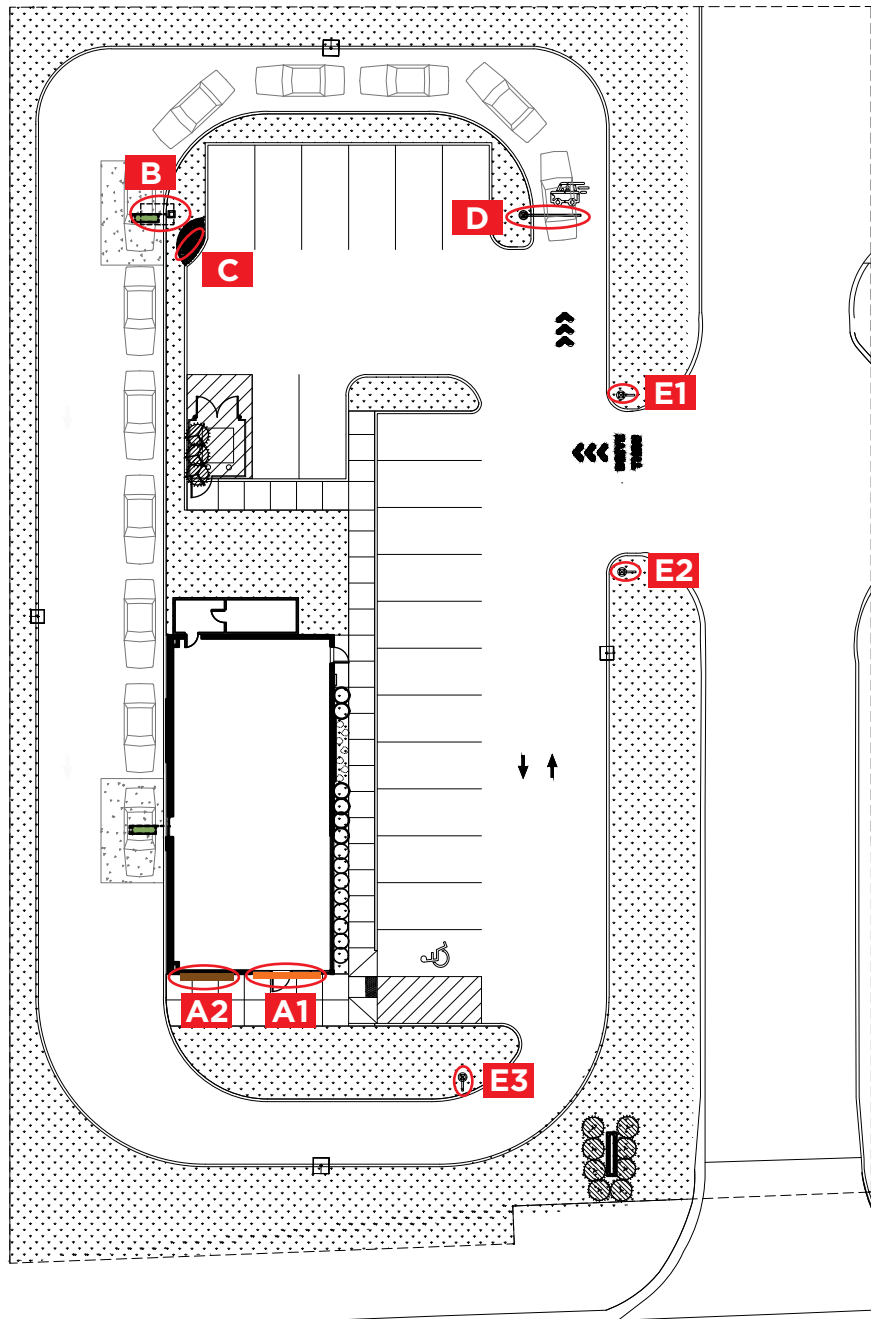
Sign A3: 122"W x 24"H -- Channel letter wall sign --- illuminated 20.3 sqft

Sign A4: 50"W x 70"H -- Channel letter wall sign --- illuminated 24.3 sqft

Sign B: 80"W x 28"H -- PVC letters wall sign --- Non-illuminated 15.5 sqft

### **Reasons for the signage request are:**

1. Visibility - the way the building is constructed, our visibility off Rawson Road is limited. Potential customers will be well past the building before they would be able to see our signage. Adding signage to the East and West elevation will give the exposure required for our success
2. Branding – The signs we are requesting are a typical brand requirement. They offer brand awareness which is vital to our success.
3. Dual Brand – We are a dual brand, therefore need additional signage to bring awareness for both the Dunkin and Baskin Brand.



## DUNKIN' & BASKIN

5100 W Rawson Ave.  
Franklin, WI 53132

- A1-A2** Illuminated Channel Letter (*Flush Mounted*)
- B** Drive Thru Canopy w/ built-in mic & speaker
- C** Digital Menuboard
- D** Clearance Bar
- E1-E3** Directional Signs

Customer Contact: DUNKIN' BASKIN FRANKLIN WI Sales Rep: Ray

Design By: NV

Approval states that contents of this proof are correct and the responsibility of the client

Please review Art for accuracy in:

Dimension • Layout • Spelling • Color

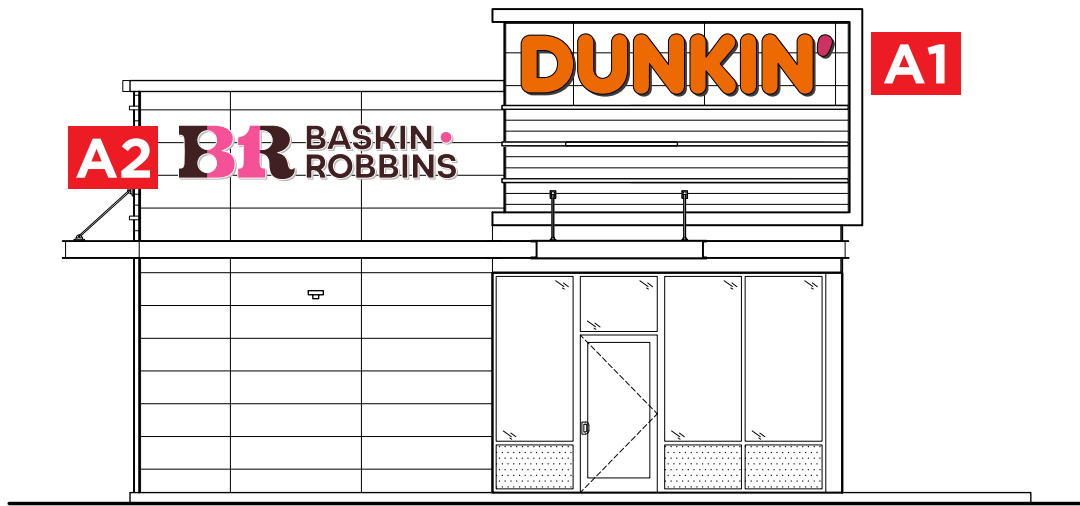
Approval Signature: \_\_\_\_\_

Date: \_\_\_\_\_

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**A1 - A2**

# Illuminated Channel Letter (*Flush Mounted*)



170"

**A1**

33"

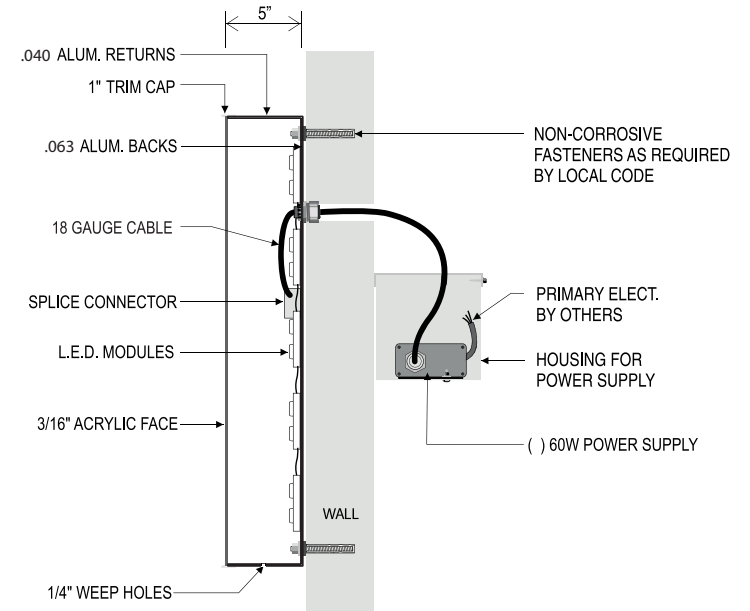
**DUNKIN'**

152"

**A2**

30"

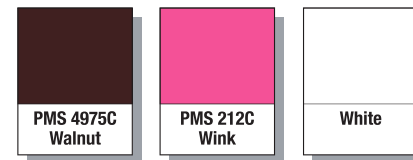
**BASKIN-ROBBINS**



## DUNKIN' COLORS

3M 3630-3123 Orange vinyl  
3M 3630-1379 Magental vinyl  
313 Bronze trimcap  
Stock alumet charcoal gray returns

## BASKIN' COLORS



Customer Contact: DUNKIN' BASKIN FRANKLIN WI Sales Rep: Ray

Design By: NV

Approval states that contents of this proof are correct and the responsibility of the client

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**Dimension • Layout • Spelling • Color**

Approval Signature:

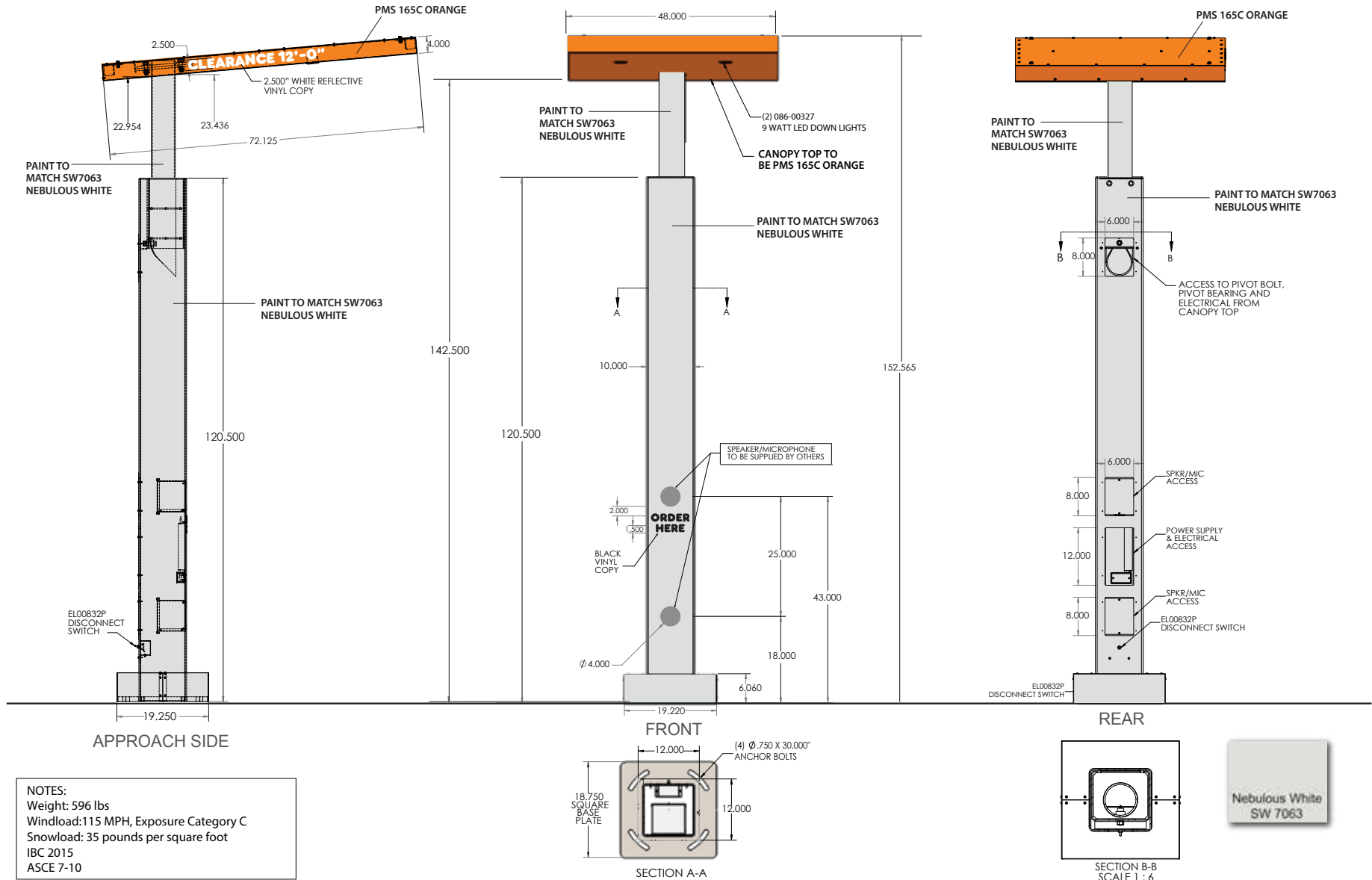
Date:

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**B**

Aug 14, 2024 / - V 2.0

# Canopy w/ built-in mic & speakers



Customer Contact: DUNKIN' BASKIN FRANKLIN WI Sales Rep: Ray

Design By: NV

Approval states that contents of this proof are correct and the responsibility of the client

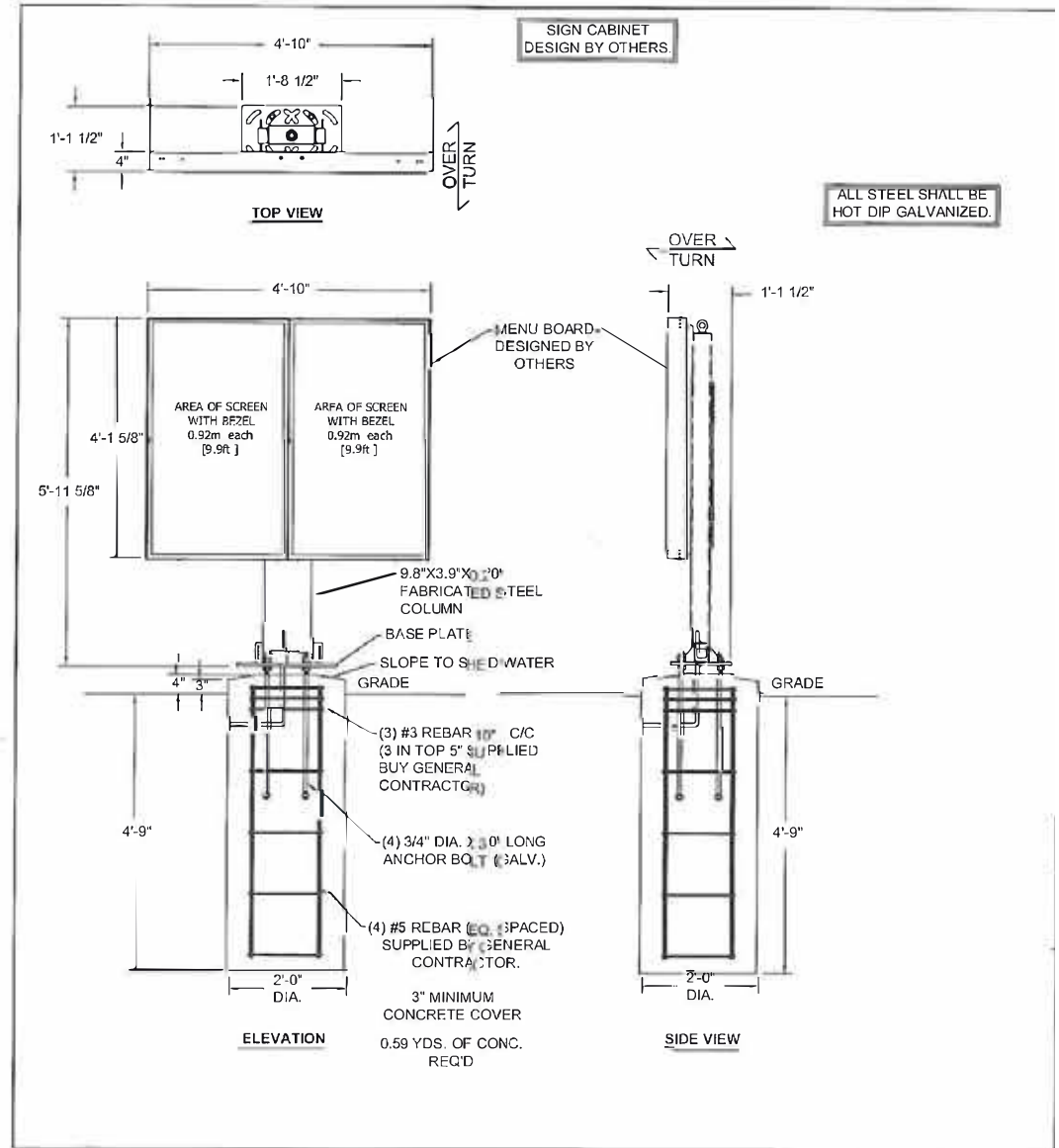
Please review Art for accuracy in:

**Dimension • Layout • Spelling • Color**

Approval Signature: \_\_\_\_\_

Date: \_\_\_\_\_

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Customer Contact: DUNKIN' BASKIN FRANKLIN WI Sales Rep: Ray

Design By: NV

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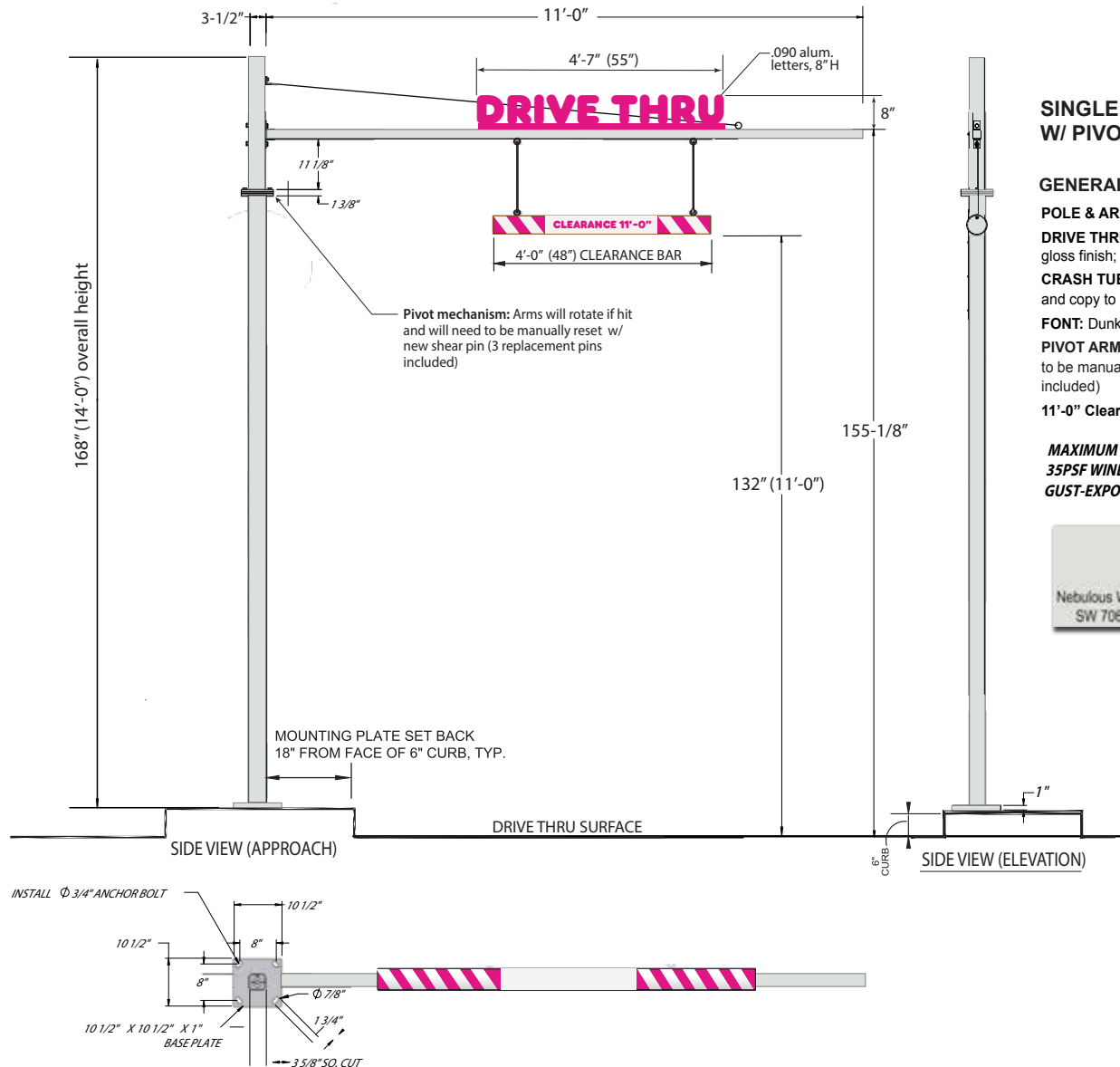
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### SINGLE LANE VEHICLE HEIGHT DETECTOR W/ PIVOT ARM, 11'-0" CLEARANCE

#### GENERAL SPECIFICATIONS:

**POLE & ARM:** Ptd. SW 7063 Nebulous White

**DRIVE THRU LETTERS:** Ptd. to match PMS 219 Magenta, gloss finish; Letters are .090 aluminum, 8" H

**CRASH TUBE:** Covered with reflective white vinyl with stripes and copy to be 3630-1379 Magenta vinyl

**FONT:** Dunkin Sans Display

**PIVOT ARM:** Arm will rotate if struck by vehicle and will need to be manually reset w/ new shear pin (3 replacement pins included)

**11'-0" Clearance per site requirements**

**MAXIMUM DESIGN WIND LOAD:**  
35PSF WIND SPEED 3-SECOND  
GUST-EXPOSURE C



Customer Contact: DUNKIN' BASKIN FRANKLIN WI Sales Rep: Ray

Design By: NV

Approval states that contents of this proof are correct and the responsibility of the client

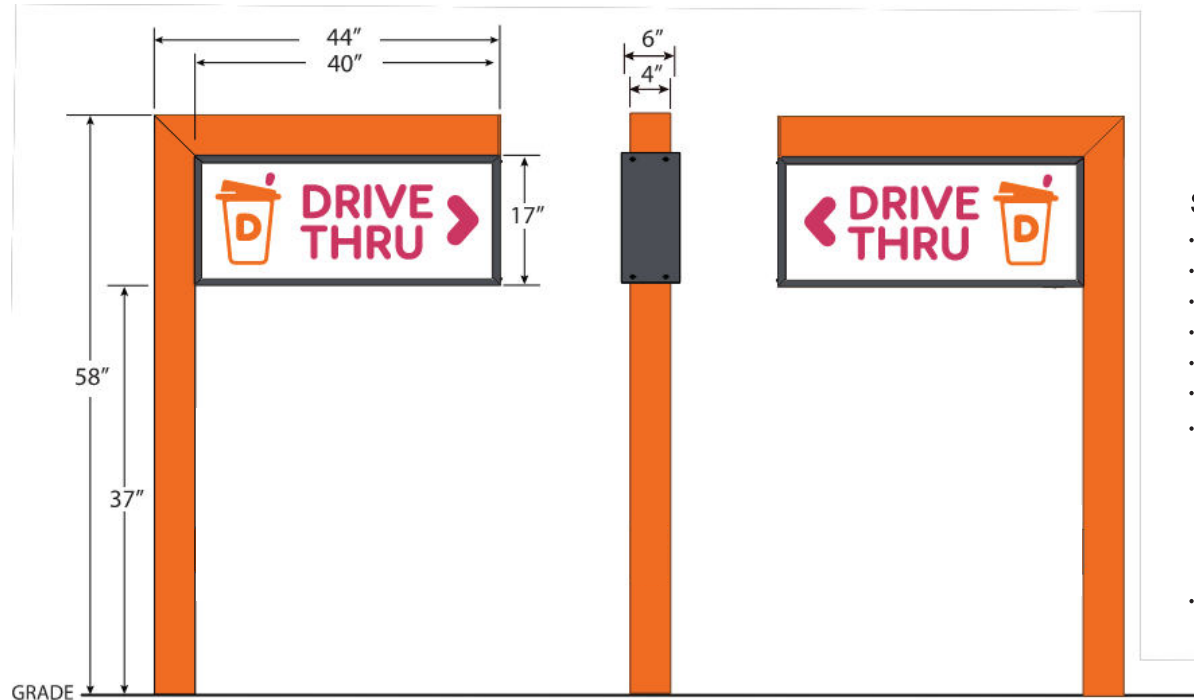
Please review Art for accuracy in:

Dimension • Layout • Spelling • Color

Approval Signature: \_\_\_\_\_

Date: \_\_\_\_\_

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## SPECIFICATIONS:

- 5" x 1" x .063" aluminum extrusion frame
- 1" aluminum face retainer
- 4" x 4" x .075" square tube support
- Cabinet and retainer painted PMS 7540C Gray
- Pole ptd. PMS 165C Orange
- Retainers removeable for service access
- Flat translucent white polycarbonate faces w/ 1st surface digitally printed decoration
- PMS 165C Orange
- PMS 219C Magenta
- PMS 7540C Gray (Copy and arrows)
- White background
- Direct bury installation

## FACE OPTIONS



Customer Contact: DUNKIN' BASKIN FRANKLIN WI Sales Rep: Ray

Design By: NV

Approval states that contents of this proof are correct and the responsibility of the client

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Date: \_\_\_\_\_

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