

PLAN COMMISSION MEETING AGENDA Thursday, November 9, 2023 at 6:00 P.M.

A. Call to Order and Roll Call

B. Approval of Minutes

- 1. Approval of regular meeting of October 19, 2023.
- 2. Approval of the Special meeting of October 24, 2023.

C. Public Hearing Business Matters

- 1. **Master Halco Special Use Amendment/Miscellaneous Application.** Request for approval of a Special Use Amendment and Miscellaneous Application to allow for a fence wholesaler and distributor with indoor and outdoor storage of inventory, light fabrication of gates, and office spaces upon property located at 7407 South 27th Street (761 9994 006).
- 2. **BadAx Flats, LLC Special Use**. Request for approval of a Special Use to allow for a beer and wine sales establishment with an outdoor wine and beer garden upon property located at 7160 South Ballpark Drive (754 9006 000).

D. Business Matters

- 1. **Master Halco Site Plan Amendment.** Request for approval of various site modifications including but not limited to, construction of a 28-stall parking lot, installation of new building and parking lot lighting, adding new landscape plantings, and construction of a storm water management pond upon property located at 7407 South 27th Street (761 9994 006).
- 2. **BadAx Flats, LLC Site Plan.** Request for approval of a Site Plan to allow for the construction of a mixed-use multi-family and commercial building upon property located at 7160 South Ballpark Drive (754 9006 000). Additionally, the applicant is requesting the following waivers:
 - a) Ordinance 2019-2368, Table 15-3.0442C.1, to allow for a front setback of 10 feet, opposed to the minimum front setback of 25 feet.
 - b) Ordinance 2019-2368, Table 15-3.0442EB3.a. to reduce the required number of minimum plantings.
- 3. **City of Franklin Amendment to Planned Development District (PDD) No. 37.** Request to amend Table 15-3.0442C.1. and Table 15-3.0442D.2. related to the Minimum Total Living Area per Residential Apartment Dwelling Unit and to reduce the minimum required dwelling unit size for one bedroom dwelling units from 700 square feet to 600 square feet.
- 4. **Department of Public Works Site Plan Amendment.** Request for approval of a Site Plan Amendment to allow for redesign of the existing yard, including development of a new storage building and yard waste drop off area, on property located at 7979 W. Ryan Road (896 9990 001). Additionally, the applicant is requesting a determination from Plan Commission as to whether the proposed storage building may be considered a Principal Structure.
- 5. **WE Energies Site Plan Amendment**. Request for approval of a Site Plan Amendment to allow for a redesigned atrium including entryway, landscaping, and patio, on property located at 4800 W

E. Adjournment

The YouTube channel "City of Franklin WI" will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting. https://www.youtube.com/c/CityofFranklinWIGov. Any question regarding items on this agenda may be directed to the Department of City Development's office at 414-425-4024, Monday through Friday, 8:30 AM – 5:00 PM.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: December 7, 2023.

^{*}Supporting documentation and details of these agenda items are available at City hall during normal business hours.

^{**}Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

City of Franklin Plan Commission Meeting October 19, 2023 Minutes

A. Call to Order and Roll Call

Mayor John Nelson called the October 19, 2023 regular Plan Commission meeting to order at 6:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor John Nelson, Alderwoman Courtney Day, Assistant City Engineer Tyler Beinlich and Commissioners Patrick Léon, Patricia Hogan and Kevin Haley. Also present was City Attorney Jesse Wesolowski, Associate Planner Marion Ecks, Planning Intern Anna Kissel and Nick Johnson, Planner, MD Roofers.

B. Approval of Minutes – Regular Meeting of October 5, 2023

Commissioner Haley moved and Commissioner Leon seconded a motion to approve the October 5, 2023 meeting minutes. On voice vote, all voted 'aye'; motion carried (5-0-0).

C. Public Hearing Business Matters

1. Wamser Area Exception. Request for approval of an Area Exception to allow for a lot coverage increase for the installation of a deck upon property located at 7481 S. Cambridge Drive.

The Official Notice of Public Hearing for an Area Exception was read in to the record by Associate Planner Ecks and the Public Hearing opened at 6:09 p.m. and closed at 6:09 p.m.

Applicant Steven Wamser presented his item; along with Planner Johnson.

Commissioner Leon noted that there are three letters of support from surrounding neighbors provided to the Commission.

Commissioner Leon moved and Commissioner Hogan seconded a motion to recommend approval of an application for an Area Exception to allow for a maximum lot coverage of 16.68% (4,276 square feet) exceeding the maximum lot coverage standard of 15% in the R-3E Suburban/Estate Single-Family Residence District to allow for the installation of a deck, for property located at 7481 S. Cambridge Drive. On voice vote, all voted 'aye'; motion carried (5-0-0).

2. **Carma Rezoning**. Request for approval of an ordinance to allow for a rezoning of property located at 9410 S. 76th Street (884 9997 000) currently zoned R-8 Multiple-Family Residence District and B-3 Community Business District; and 7520 W. Ryan Road (884 9998 000), currently zoned B-3 Community Business District. contingent upon approval of the related Certified Survey Map (Item D.1. on this agenda), future Lot 1 (currently part of 9410 S. 76th

Street), is requested to be rezoned to M-1 Limited Industrial District, and future Lot 2 (currently part of 9410 S. 76th Street), and future Lot 3 (currently part of 9410 S. 76th Street and 7520 W. Ryan Road), are requested to be rezoned to B-3 Community Business District.

The Official Notice of Public Hearing for an Area Exception was read in to the record by Associate Planner Ecks and the Public Hearing opened at 6:29 p.m.. Due to incomplete information in the published agenda for this meeting, City Attorney Wesolowski recommended carrying over this item to the next meeting.

Applicant Alex Scheler spoke giving a company background of Carma Laboratories Inc.

Applicant representative Matt Mano, of Stephen Perry Smith Architects, Inc. gave an introduction of the project.

Resident Will Udesky commented on his excitement about growth of the business but had concerns:

- o Traffic management; noise and pedestrian safety
- o S. 76th Street and W. Ryan Road intersection is over taxed/unsafe
- o Intersection is loud
- Requesting sidewalks
- o Request truck approach from Hwy. 100, not S. 76th Street
- Landscape buffer
- o Natural Resources protection to preserve water quality and woods

The Commission discussed the proposal to continue public hearing to October 24, 2023 at 5:00 p.m..

Commissioner Leon moved and Commissioner Haley seconded a motion to continue this item to the next meeting. On voice vote, all voted 'aye'; motion carried (5-0-0).

Commissioner Leon is in favor of sidewalks when the City allows.

Assistant City Engineer Beinlich commented the County and State are doing an analysis.

Commissioner Haley believes there is potential.

3. **Carma Special Use** Request for approval of a Special Use to allow for overnight truck parking as part of the development of the facility to be located at 9410 S. 76th Street (884 9997 000).

The Official Notice of Public Hearing for a Special Use was read in to the record by Associate Planner Ecks and the Public Hearing opened at 6:50 p.m. and closed at 6:52 p.m.

Resident Will Udesky had two concerns:

- o Would prefer an entrance to parking off of W. Ryan Road; not S. 76th Street
- Requests that the approval for truck parking not allow for idling/engine running

Commissioner Leon suggested access off W. Ryan Road. There are safety concerns on left and right turns. Is the City working to provide access off W. Ryan Road?

Alderwoman Day asked what time will trucks be coming in and out?

Applicant Alex Scheler confirmed hours are 8:00-5:00 p.m. Monday-Thursday with shipping on Friday in cold season; no second shift.

Alderwoman Day is concerned about the number of trucks.

Applicant Alex Scheler indicated there will be trailers without engines between 6:00 p.m. - 8:00 a.m..

Alderwoman Day suggested adding landscaping.

Commissioner Leon moved and Commissioner Haley seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for overnight parking for vehicles exceeding 8,000 pounds manufactured gross vehicle weight as part of the development of a single-story building housing offices and manufacturing facilities (Carma Laboratories), upon property located at 9410 S. 76th Street (by Alex Scheler, Carma Laboratories, Inc., applicant, Carma Laboratories, Inc., property owner). On voice vote, all voted 'aye'; motion carried (5-0-0).

D. Business Matters

1. Carma CSM. Request for a three lot CSM to replat two existing lots located at 9410 S. 76th Street (884 9997 000) and 7520 W. Ryan Road (884 9998 000).

Associate Planner Ecks presented the Certified Survey Map for the properties at 9410 S. 76th Street (884 9997 000) and 7520 W. Ryan Road (884 9998 000).

Commissioner Haley had questions regarding the southwest access easements.

Assistant City Engineer Beinlich commented the City must be able to access.

Commissioner Leon left the meeting at 7:15 p.m..

Alderwoman Day asked will there be office expansion?

Applicant Alex Scheler elaborated there will be office flex workers with the option to work from home; future expansions would result first in expansion of shifts, not the facility. The current second shift ends at 1:30 a.m.

Applicant representative Matt Mano, from Stephen Perry Smith Architect, Inc., notes that the lighting plan provides zero-foot candles at property line.

Commissioner Haley commented on a concern about car headlights affecting neighbors at night.

Alderwoman Day suggested that the applicant add landscaping on west façade.

Applicant Alex Scheler indicated landscaping buffers are already provided.

Commissioner Haley asked for clarification of the timing of Site Plan approval. Given the number of necessary changes needed to limit impact on the neighborhood, he is concerned about needing future approvals for site changes. He is recommending change to access so that traffic enters the site from W. Ryan Road.

Commissioner Hogan moved and Commissioner Leon seconded a motion to recommend approval of a Resolution conditionally approving a 3 lot Certified Survey Map, being a redivision of all of the West 1/2 of the Southwest 1/4 of Section 22, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin; and also including the North 120 feet of the South 180 feet of the East 200 feet of the West 260 feet of the Southwest 1/4 of Section 22, in Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin (by Alex Scheler, Carma Laboratories, Inc., applicant, Carma Laboratories, Inc., property owner) (9410 S. 76th Street and 7520 W. Ryan Road). On voice vote, all voted 'aye'; motion carried (4-0-1).

2. Carma Site Plan. Request for approval of an approximately 195,000 sf manufacturing space and 30,000 sf office to be located at 9410 S. 76th Street (884 9997 000).

Alderwoman Day moved and Commissioner Hogan seconded a motion to adopt a Resolution approving a Site Plan for the development of a single-story building housing offices and manufacturing facilities (Carma Laboratories), upon property located at 9410 S. 76th Street (by Alex Scheler, Carma Laboratories, Inc., applicant, Carma Laboratories, Inc., property owner). On voice vote, all voted 'aye'; motion carried (4-0-1).

3. Cape Crossing Sign Review. Request to allow for a subdivision monument sign upon property located at 12200 W. Ryan Road.

Planning Intern Kissel presented the Sign Review application for Cape Crossing upon property located at 12200 W. Ryan Road.

Applicant representative, Ryan Fritsch, Ryan & Newmann Development, presented additional information for the Sign Review application regarding installation and face direction of the sign.

Commissioner Haley had concerns about the sign facing east which therefore is seen from the back to west bound traffic.

Commissioner Hogan moved and Alderwoman Day seconded a motion to adopt a Resolution approving a Monument Sign for the Cape Crossing subdivision in the Planned Development District No. 40 (12200 W. Ryan Road) (Ryan Fritsch, Neumann Developments, Inc., applicant). On voice vote, all voted 'aye'; motion carried (4-0-1).

E. Adjournment

Commissioner Haley moved and Commissioner Hogan seconded to adjourn the meeting at 7:35 p.m.. On voice vote, all voted 'aye'; motion carried (4-0-1).

City of Franklin Special Plan Commission Meeting October 24, 2023 Minutes

A. Call to Order and Roll Call

Mayor John Nelson called the October 24, 2023 Special Plan Commission meeting to order at 5:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor John Nelson, Alderwoman Courtney Day, City Engineer Glen Morrow and Commissioners Patricia Hogan and Kevin Haley. Also present was City Attorney Jesse Wesolowski and Associate Planner Marion Ecks. Excused was Commissioner Patrick Léon.

B. Approval of Minutes – None.

C. Public Hearing Business Matters

1. Carma Rezoning [Public Hearing is continued from its commencement at and during the October 19, 2023 Plan Commission meeting agenda item C.2.]. Request for approval of an ordinance to allow for a rezoning of property located at 9410 S 76th St. (884 9997 000) currently zoned R-8 Multiple-Family Residence District and B-3 Community Business District; and 7520 W Ryan Rd. (884 9998 000), currently zoned B-3 Community Business District. Contingent upon approval of the related Certified Survey Map (Item D.1. on the October 19, 2023 Plan Commission meeting agenda) future Lot 1 (currently part of 9410 S 76th St.), is requested to be rezoned to M-1 Limited Industrial District, and future Lot 2 (currently part of 9410 S 76th St.), and future Lot 3 (currently part of 9410 S 76th St. and 7520 W Ryan Rd.), are requested to be rezoned to B-3 Community Business District.

The Plan Commission may take action on this rezoning application following the Public Hearing. Mayor Nelson reopened the public hearing, which was continued from the October 19, 2023 meeting, and closed at 6:01 p.m.

Associate Planner Ecks reiterated the purpose of the submitted Rezoning application. The applicant, Carma Laboratories, Inc. is requesting approvals pertaining to the development of a toiletries and cosmetics facility. Pursuant to that, Plan Commission recommended approval of a Certified Survey Map and Special Use application to allow for overnight parking that the Commission has also recommended approval of, and a Site Plan for the factory itself.

Associate Planner Ecks went on to describe the different areas of the rezoning map. Currently, the proposed development property is zoned R-8 Multi-Family Residence District. Also discussed were the surrounding zonings.

The applicant is proposing Rezoning of the new lot 1 of the CSM from R-8 to M-1. Lot 2 and 3 will be rezoned from R-8 to B-3 to allow for commercial development in the future.

The applicant is required to provide landscape buffers, specifically the north lot line.

The newly proposed development will relocate 310 jobs from the current facilities in the Franklin Business Park to consolidate and retain Carma Labs here in Franklin.

Alderwoman Day expressed concerns regarding the two B-3 properties. Will B-3 allow a wide enough scope for future development and remain desirable? Would we need to revisit in the future to rezone again?

Associate Planner Ecks responded that B-3 does allow for a wider scope of development, including office uses.

City Engineer Morrow also commented post Covid business commercial is not going well currently but has potential for turn around. The State indicates W. Ryan Road is one of the busiest state roads and most heavily populated in the area and will increase in the future.

Associate Planner read into the record the proposed motion.

Commissioner Hogan moved and Commissioner Haley seconded a motion to recommend approval of an Ordinance to amend the Unified Development Ordinance (zoning map) to rezone lot 1 of Certified Survey Map no. ____ from R-8 Multiple-Family Residence District and B-3 Community Business District to M-1 Limited Industrial District, and lots 2 and 3 of Certified Survey Map no. ____ to B-3 Community Business District, the approval and passage of which is contingent upon the approval and recording of the related Certified Survey Map. (property located at 9410 S. 76th Street and 7520 W. Ryan Rd) (by Alex Scheler, Carma Laboratories, Inc, applicant, Carma Laboratories, Inc, property owner). On voice vote, all voted 'aye'; motion carried (4-0-1).

At the request of Mayor Nelson, a roll call vote was taken. All in favor.

D. Business Matters

1. None.

E. Adjournment

Commissioner Hogan moved and Commissioner Haley seconded to adjourn the meeting at 7:17 p.m. On voice vote, all voted 'aye'; motion carried (4-0-1).



REPORT TO THE PLAN COMMISSION

Meeting of November 9, 2023 Special Use Amendment, Miscellaneous Application, and Site Plan Amendment

RECOMMENDATION: City Development Staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based upon the recommended draft Resolution and approve the Site Plan Amendment Application.

Project Name: Master Halco

Property Owner: Platt Construction Inc. **Applicant:** Mike Uhl, Master Halco

Property Address/Tax Key Number: 7407 S 27th St./ 761 9994 006

Aldermanic District: District 4

Agent: Luke Sebald, Keller Inc.

Zoning District:B-4 South 27th St Mixed Use Commercial District **Use of Surrounding Properties:**B-4 S. 27th St Mixed Use Commercial District (north),

BP Business Park and OL-1 Office Overlay (south), R-6 Suburban Single-Family Residence and OL-1 Office

Overlay (west),

City of Oak Creek (east)

Application Request: To allow for a fence wholesale and distribution use with

light fabrication and outdoor storage and associated site

changes.

Staff Planner: Nick Fuchs, Planning Associate

Background

The applicant, Master Halco, is seeking Special Use Amendment/Miscellaneous Application and Site Plan Amendment approval to operate a fence wholesale and distribution use with light fabrication and outdoor storage. The Special Use and Site Plan Amendment are described in detail further below.

The site is currently being utilized by Platt Construction, which first obtained Special Use approval in 1992 via Resolution No. 92-3753. This Special Use allowed for an "outdoor construction yard and storage in conjunction with an office building and indoor storage building."

The proposed use is similar in nature and will utilize the site and building in manner consistent with the original special use approval.

SPECIAL USE

The subject property is zoned B-4 South 27th Street Mixed Use Commercial District. Master Halco anticipates approximately 12 to 15 employees and hours of operation between 7:00 a.m. and 4:30 p.m. Monday through Friday.

The applicant has indicated that the business is not generally open to the public and sales are business to business. The majority of the product is stored outside within the storage yard located to the west of the

main building. This building will contain space for light fabrication of gates, racked storage, and office space.

The applicant has provided responses to the Special Use standards listed within Section 15-3.0701 of the UDO for Plan Commission and Common Council review.

SITE PLAN

The applicant is proposing a variety of site modifications. The building is also proposed to be painted as illustrated on the attached elevations.

The site changes include, but are not limited to:

- Relocating light poles, removing a walkway, and removing trees to construct a new 27-stall parking lot in front of the principal building adjacent to South 27th Street.
 - O Parking spaces are 9' wide and 19' in length (171 square feet). It appears a 20' long parking space could be achieved with adjustments to the design, in part by reducing the drive aisle to 24-feet. Staff recommends parking spaces be a minimum of 9' wide and 180 square feet in compliance with Section 15-5.0202 of the UDO. It can be noted that allowance for slightly shorter parking spaces has been allowed in past developments with the consideration of an overhang when parking spaces are abutting a curb.
- Removing parking lot landscape islands that are located to the north of the building.
- Adding 18 deciduous trees, 8 evergreen trees, and 127 shrubs, which is in conformance with landscaping quantity requirements of the UDO.
- Adding building lighting, including lighting on the multiple sheds located to the west of the main building and to the rear of the main building.
- Adding parking lot lighting for the new parking lot.
- Construction of a storm water pond at the southwest corner of the property.
- Proposing to add crushed gravel and concrete on the west side of the property.
 - O The site plan indicates an existing impervious area of 6.168 acres and greenspace of 2.186 acres. The proposed improvements will result in a total impervious area of 5.753 acres and greenspace of 2.601 acres. Staff finds that the increase in greenspace is due to the proposed storm water pond. With a site size of 8.354 acres, about 2.51 acres of greenspace is required per the 0.30 minimum LSR standard of the B-4 District.
 - O It can be noted that, in review of historical aerial photography, it is difficult to determine the extent of the existing graveled areas over the years. It does appear the existing fence location was in place and defined at the time of development. All proposed improvements are within this area.

The applicant also provided a Natural Resource Protection Plan indicating that no protected natural resources exist onsite. WDNR mapping was also reviewed and did not show any mapped wetlands onsite.

All B-4 District Development Standards are met. Note South 27th Street Design Overlay District Standards do not apply as no new buildings are proposed and no building addition that increases floor area by 50% is proposed.

Staff also finds the proposed modifications are in conformance with Part 5 Design Standards of the UDO, except for the parking space size as noted above.

STAFF RECOMMENDATION

The Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design and operation (§15-3.0701.D).

The Department of City Development staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution as attached. The resolution reflects recommended conditions of approval.

The Department of City Development staff recommends the Plan Commission approve the Site Plan Amendment application for the proposed site modifications as depicted on the attached plans.

Recommended Conditions of Approval

- Special Use
 - Outdoor storage shall be limited to the fenced-in concrete and gravel area located to the west of the principal building and shall be kept in an orderly manner as determined by the Zoning Administrator or Plan Commission.
 - o <u>No overnight parking of commercial vehicles shall be allowed outside of the storage</u> yard located behind or to the west of the principal building.
 - City Attorney review of applicant's revisions to the Special Use Resolution prior to City signatures.
- Site Plan
 - o <u>Final grading, erosion control, and stormwater management plans shall be approved</u> by the Engineering Department prior to any land disturbance activities.
 - Parking spaces shall be a minimum of 9' wide and 180 square feet in compliance with Section 15-5.0202 of the UDO. [This condition must be added to the attached draft resolution]
 - City Attorney review of applicant's revisions to the Site Plan Resolution prior to City signatures.

MASTER HALCO, INC. – SPECIAL USE AMENDMENT RESOLUTION NO. 2023-

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY [Draft 10-6-23]

RESOLUTION NO. 2023-____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE AMENDMENT FOR A FENCE WAREHOUSE, DISTRICBUTION DISTRIBUTION, AND FABRICATION BUSINESS USE WITH OUTDOOR STORAGE UPON PROPERTY LOCATED AT 7407 S 27TH ST.

(BY MIKE UHL, MASTER _HALCO, INC. APPLICANT, PLATT CONSTRUCTION INC., PROPERTY OWNER)

WHEREAS, Mike Uhl, Master Halco, Inc., having petitioned the City of Franklin for the approval of a Special Use Amendment for a fence warehouse, distribution, and fabrication business use with outdoor storage upon property located at 7407 S 27th St., zoned B-4 South 27th St Mixed Use Commercial District. The property which is the subject of the application bears Tax Key No. 761 9994 006 and is more particularly described as follows:

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5794, RECORDED ON JANUARY 14, 1993 ON REEL 2948, IMAGE 745 TO 749 AS DOCUMENT NO. 6715343, BEING A DIVISION OF LANDS IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWN 5 NORTH, RANGE 21 EAST, EXCEPTING THEREFROM LANDS CONVEYED IN WARRANTY DEED RECORDED AUGUST 21, 2014 AS DOCUMENT NO. 10387598, SAID LAND BEING IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 7th day of September, 2023, [MH WAS NOT NOTIFIED OF THIS MEETING; IS THIS ACCURATE?] and the Plan Commission thereafter having determined to recommend that the proposed Special Use be

MASTER HALCO, INC. – SPECIAL USE AMENDMENT RESOLUTION NO. 2023-

approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not

interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Mike Uhl, Master _Halco, Inc. for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

- 1. That this Special Use is approved only for the use of the subject property by Mike Uhl, Master _Halco _Inc., successors and assigns, for a fence wholesalewarehouse and distribution use with light fabrication and outdoor storage, which shall be developed in substantial compliance with, and owned and operated and maintained by Mike Uhl, Master _Halco, Inc., pursuant to those plans City file- stamped DATE _______, 2023 and annexed hereto and incorporated herein as Exhibit A.
- 2. Mike Uhl, Master _Halco _Inc., successors and assigns, shall pay to the City of Franklin the amount of all reasonable development compliance, inspection and review fees actually incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Mike Uhl, Master _Halco, Inc. Special Use Amendment, within 30 days of invoice for same; provided, however, any such fees, in the aggregate, shall not exceed \$10,000.00 (the "Cap") and Master-Halco, Inc. shall have no liability for any such fees in excess of such Cap. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to \$15-9.0502 thereof and \$1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
- 3. The approval granted hereunder is conditional upon the Mike Uhl, Master -Halco, Inc. Special Use for the property located at 7407 S 27thd

- St.: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 4. Outdoor storage shall be limited to the concrete and gravel area located to the west of the principal building and shall be kept in an orderly manner.
- 5. No overnight parking of commercial vehicles shall be allowed outside of the storage yard located behind or to the west of the principal building.

6.OTHER CONDITIONS TBD

BE IT FURTHER RESOLVED, that in the event Mike Uhl, Master _Halco, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Amendment Resolution, following a tenthirty (1030) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one yeareighteen (18)

MASTER HALCO, INC. – SPECIAL USE AMENDMENT RESOLUTION NO. 2023-

months from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use: provided, however, such 18-month period shall be extended if any delay in the issuance of an occupancy permit for such use arises by reason of delay by the City or any force majeure event. As use herein, a "force majeure event" means any strike, riot, act of God, shortage of labor or materials, war, governmental law, regulation or restriction or any other cause of any kind whatsoever which are beyond the reasonable control of Master-Halco, Inc.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting o Franklin thisday of	f the Common Council of the City of, 2023.
Passed and adopted at a regular material City of Franklin thisday of	neeting of the Common Council of the, 2023.
	APPROVED:
	John R. Nelson, Mayor
ATTEST:	John R. Neison, Mayor
ATTEST.	
Karen L. Kastenson, City Clerk	
AYESNOESABSENT	

MASTER HALCO, INC. – SPECIAL USE AMENDMENT RESOLUTION NO. 2023-

EXHIBIT A

PLANS CITY FILE- STAMPED , 2023

ATTACHED HERETO

Document comparison by Workshare 10.0 on Friday, October 27, 2023 2:31:58

Input:	
Document 1 ID	iManage://WORKSERVER/DMS/6001583/1
Description	#6001583v1 <dms> - 2023-DRAFT RES - 7407 S 27th - Master Halco Special Use Permit cl01 city</dms>
Document 2 ID	iManage://WORKSERVER/DMS/6001819/1
Description	#6001819v1 <dms> - 2023-DRAFT RES - 7407 S 27th - Master Halco Special Use Permit cl02 smc</dms>
Rendering set	Standard

Legend:	
<u>Insertion</u>	
Deletion	
Moved from	
Moved to	
Style change	
Format change	
Moved deletion	
Inserted cell	
Deleted cell	
Moved cell	
Split/Merged cell	
Padding cell	

Statistics:	
	Count
Insertions	38
Deletions	19
Moved from	0
Moved to	0
Style change	0
Format changed	0
Total changes	57

STATE OF WISCONSIN

CITY OF FRANKLIN
PLAN COMMISSION
[Revised Draft 10/07/2023]
RESOLUTION NO. 2023-____

MILWAUKEE COUNTY

A RESOLUTION APPROVING A SITE PLAN AMENDMENT FOR THE DEVELOPMENT OF A MASTER HALCO SALES BRANCH UPON PROPERTY LOCATED AT 7407 SOUTH 27TH STREET

(BY MIKE UHL, MASTER _HALCO, INC.,
APPLICANT, PLATT CONSTRUCTION, INC.,
PROPERTY OWNER)

WHEREAS, Mike Uhl, Master -Halco, Inc., having petitioned the City of Franklin for the approval of a Site Plan Amendment for the development of a Master Halco Sales Branch upon Master-Halco, Inc.'s acquisition of title of said property by conveyance from the Property Owner referenced above, upon property located at 7407 South 27th Street, zoned B-4 South 27th Street Mixed Use Commercial District. The property which is the subject of the application bears Tax Key No. 761 9994 006.

WHEREAS, the development proposes a new parking area and storm water management pond as well as modifications to landscaping and lighting onsite, and the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0304 B-4 South 27th Street Mixed Use Commercial District of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan Amendment for Master <u>-</u>Halco, <u>Inc.</u> dated the same is hereby approved, subject to the following conditions:

1. Mike Uhl, Master Halco, Inc., successors and assigns and any developer of the Master Halco project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Master Halco, Inc. project, within 30 days of invoice for same; provided, however, any such fees, in the aggregate, shall not exceed \$10,000.00 (the "Cap") and Master-Halco, Inc. shall have no liability for any such fees in excess of the Cap.

Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-

<u>9.0502</u>-<u>9.0502</u> thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

- 2. The approval granted hereunder is conditional upon the Mike Uhl, Master Halco, Inc. and the Master Halco project for the property located at 7407 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 3. The Master <u>-</u>Halco, <u>Inc.</u> project shall be developed in substantial compliance with the plans City file-stamped <u>_____.</u>
- 4. Final grading, erosion control, and stormwater management plans shall be approved by the Engineering Department prior to any land disturbance activities.

5. Additional conditions

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Master _Halco, Inc. development as depicted upon the plans City file- stamped _______, attached hereto as Exhibit A and incorporated herein, shall be developed and constructed within one yeareighteen (18) months from the date of adoption of this Resolution (provided, however, such 18-month period shall be extended if any delay in the development or construction arises by reason of delay by the City or any force majeure event), or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan Amendment for the property located at 7404 South 27th Street, as previously approved, is amended accordingly. As used herein, a "force majeure event" means any strike, riot, act of God, shortage of labor or materials, war, governmental law, regulation or restriction or any other cause of any kind whatsoever which is beyond the reasonable control of Master-Halco, Inc.

Introduced at a regu day of	3	Commission of the City of
d and adopted at a laisday of	3	Plan Commission of the City

APPROVED:

MASTER HALCO - SITE PLAN	
RESOLUTION NO. 2023-	
Page5	
	John R. Nelson, Mayor

_	ialco - site pi On no. 2023		
ATTEST:			
Karen L. k	Kastenson, Ci	ty Clerk	
AYES	NOES	ABSENT _	

EXHIBIT A

PLANS CITY FILE- STAMPED , 2023

Document comparison by Workshare 10.0 on Friday, October 27, 2023 2:49:31 PM

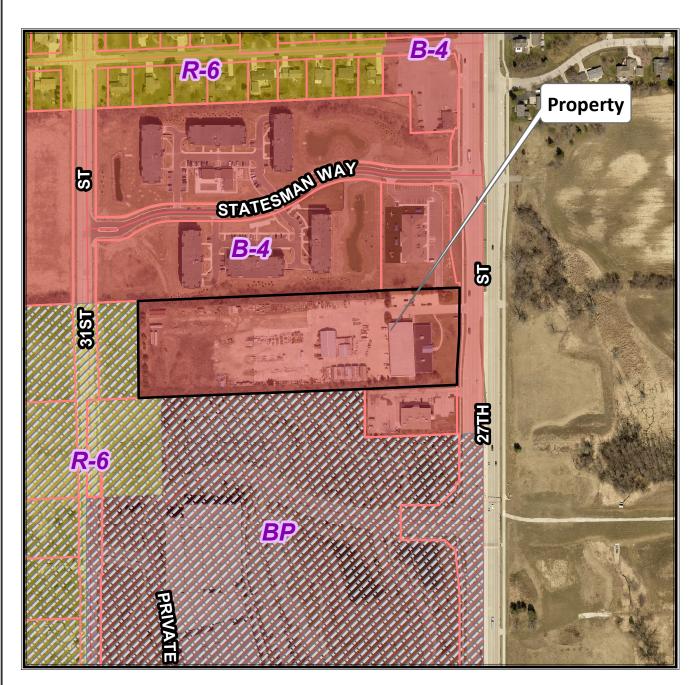
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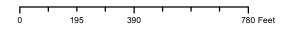
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7407 S. 27th Street TKN: 761 9994 006



Planning Department (414) 425-4024

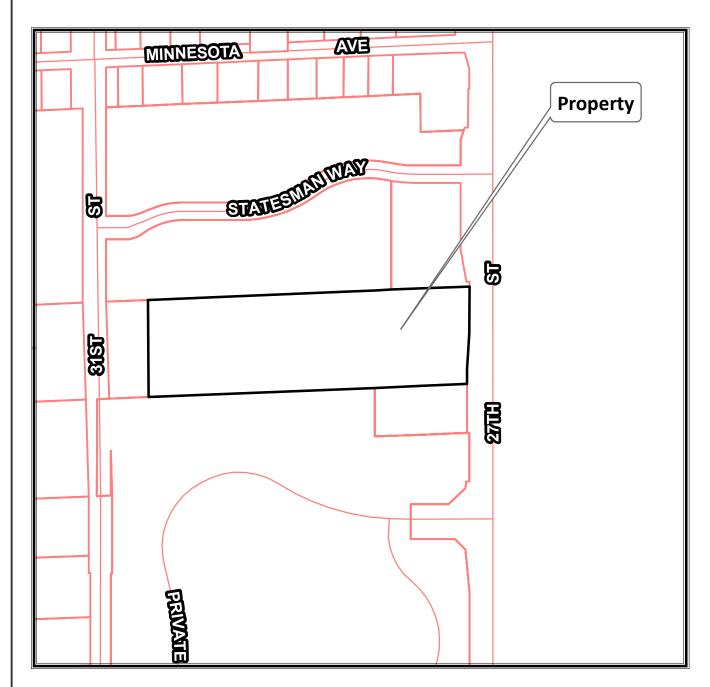


NORTH 2021 Aerial Photo

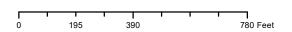
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.







Planning Department (414) 425-4024



NORTH 2021 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

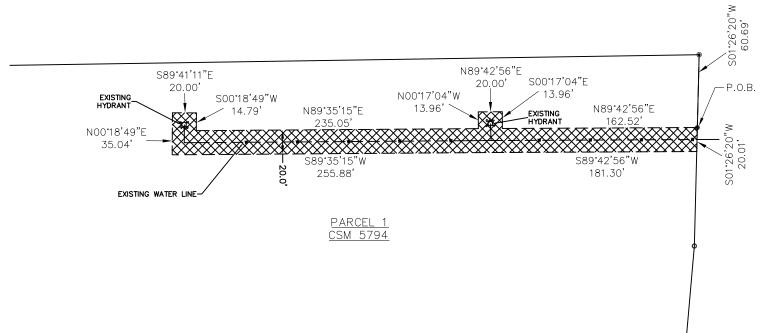
CITY OF FRANKLIN

WATER MAIN EASEMENT

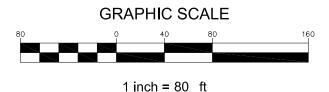
PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5794, RECORDED ON JANUARY 14, 1993 ON REEL 2948, IMAGE 745 TO 749 AS DOCUMENT NO. 6715343, BEING A DIVISION OF LANDS IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWN 5 NORTH, RANGE 21 EAST, EXCEPTING THEREFROM LANDS CONVEYED IN WARRANTY DEED RECORDED AUGUST 21, 2014 AS DOCUMENT NO. 10387598, SAID LAND BEING IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

EASEMENT DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER OF PARCEL 1 CSM 5794; THENCE S 01°26′20" W, 60.69 FEET TO THE POINT OF BEGINNING; THENCE S 01°26′20" W, 20.01 FEET; THENCE S 89°42′56" W, 181.30 FEET; THENCE S 89°35′15" W, 255.88 FEET; THENCE N 00°18′49" E, 35.04 FEET; THENCE S 89°41′11" E, 20.00 FEET; THENCE S 00°18′49" W, 14.79 FEET; THENCE N 89°35′15" E, 235.05 FEET; THENCE N 00°17′04" W, 13.96 FEET; THENCE N 89°42′56" E, 20.00 FEET; THENCE S 00°17′04" E, 13.96 FEET; THENCE N 89°42′56" E, 162.52 FEET TO THE POINT OF BEGINNING.

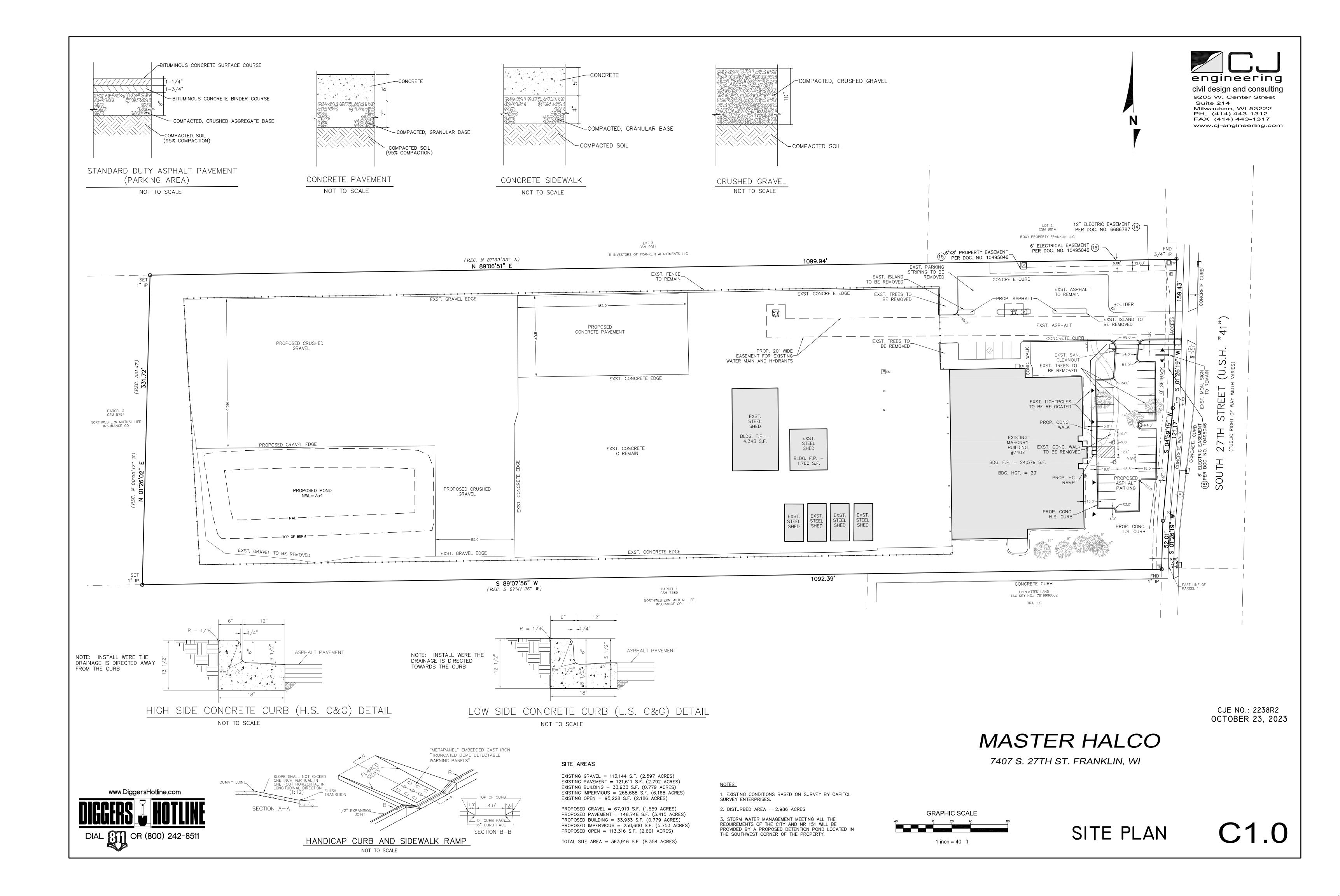


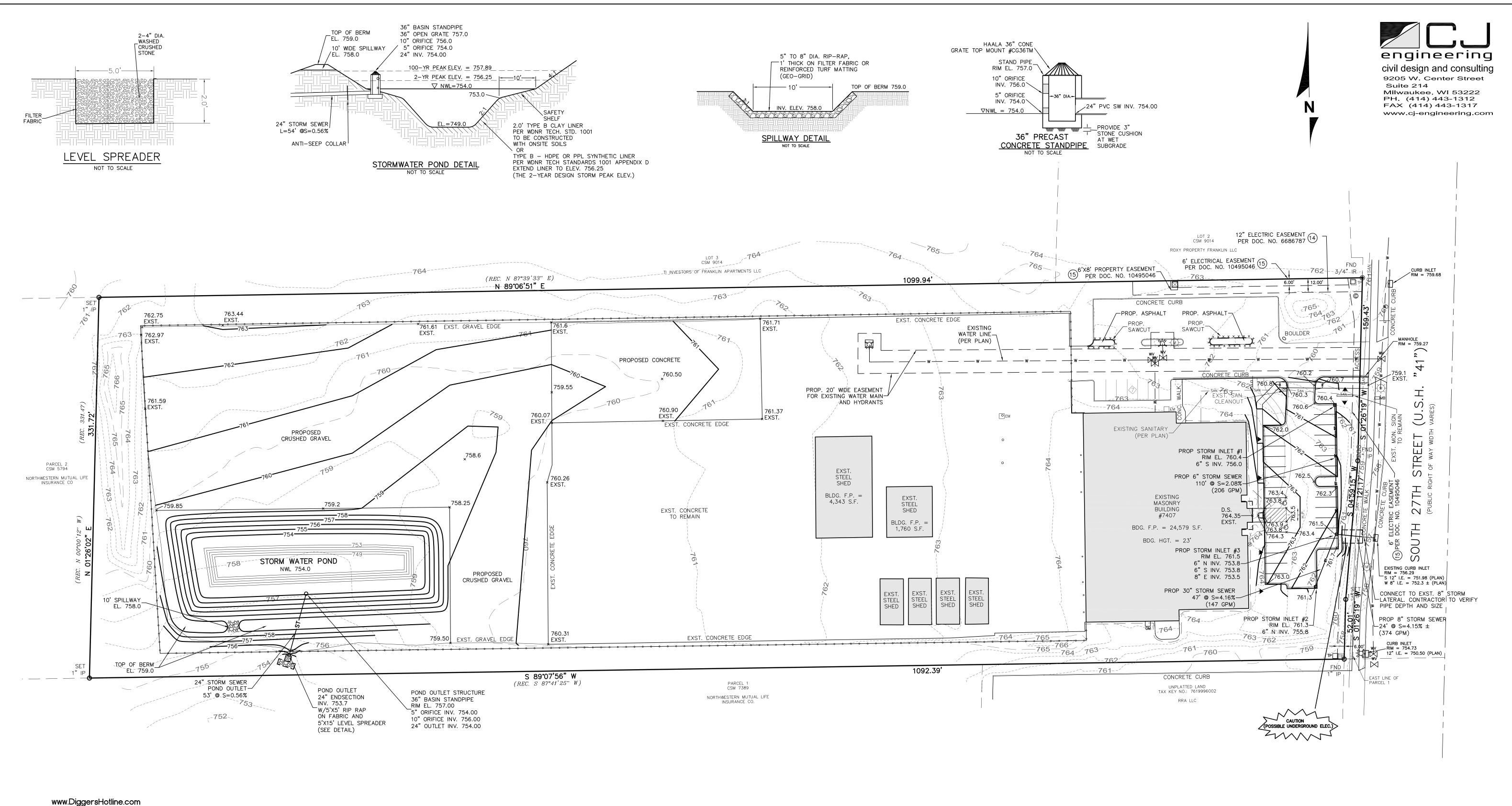
engineering
civil design and consulting
9205 W. Center Street
Sulte 214
Milwaukee, WI 53222
PH. (414) 443-1312
vww.oj-engineering.com



CJE NO.: 2238R2 OCTOBER 23, 2023

27TH STREET (U.S.H. "41")





LEGEND EXISTING CONTOUR

PROPOSED STORM SEWER

PROPOSED ELEVATION

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.

2. DISTURBED AREA = 2.986 ACRES

3. STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY AND NR 151 WILL BE PROVIDED BY A PROPOSED DETENTION POND LOCATED IN THE SOUTHWEST

4. UNLESS OTHERWISE LABELED ON THE PLAN, STORM SEWER PIPE SHALL BE PVC ASTM D3034 OR ADS HDPE.

5. THE CONTRACTOR SHALL VERIFY STORM SEWER CONNECTION PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

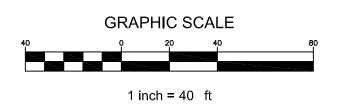
6. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 8.43.4 AND PER FILE NO.4 COMPACTED SECTION (CLASS "B" BEDDING).

7. EXISTING FENCE OVER POND OUTLET SHALL BE REMOVED AND REPLACED ONCE OUTLET PIPE HAS BEEN INSTALLED.

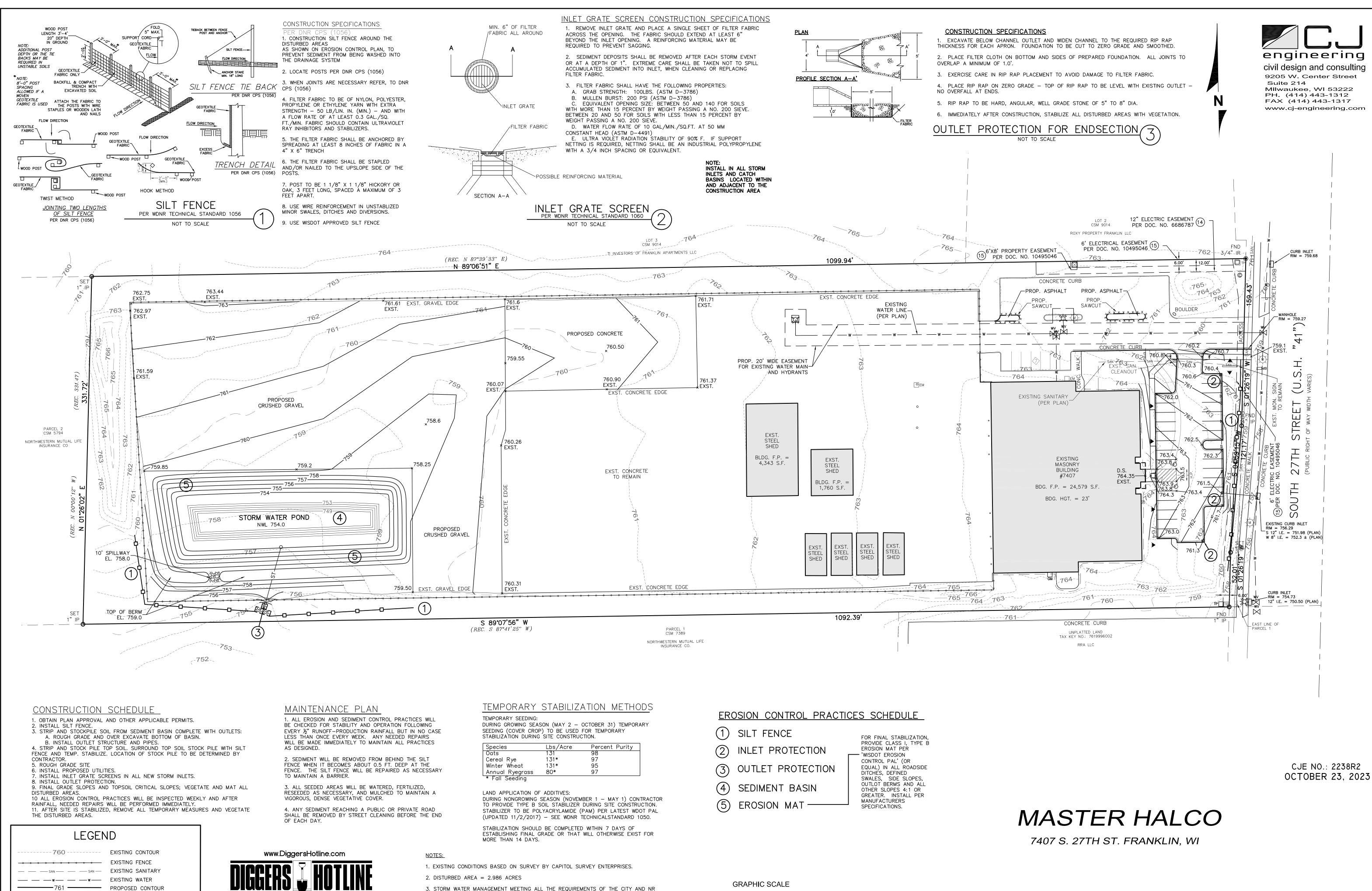
MASTER HALCO

CJE NO.: 2238R2 OCTOBER 23, 2023

7407 S. 27TH ST. FRANKLIN, WI



SITE GRADING AND UTILITY PLAN C2.0



1 inch = 40 ft

151 WILL BE PROVIDED BY A PROPOSED DETENTION POND LOCATED IN THE SOUTHWEST

4. ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF

FRANKLIN STANDARDS AND WDNR CPS TECHNICAL STANDARDS.

CORNER OF THE PROPERTY.

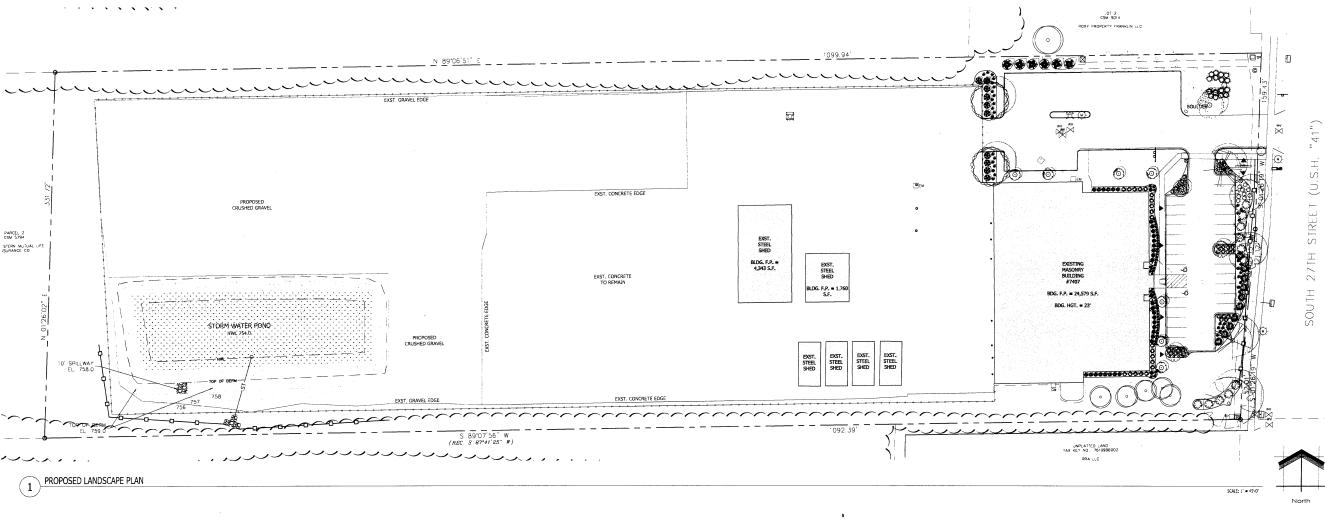
PROPOSED ELEVATION

— PROPOSED SILT FENCE

PROPOSED STORM SEWER

C3.0

EROSION CONTROL PLAN



SITE INFORMATION

USDA PLANT HARDINESS ZONE LOT ZONING OT AREA SITE BUILDING AREA TOTAL IMPERVIOUS TOTAL GREENSPACE SITE LANDSCAPE PERCENTAGE TOTAL PARKING STALLS

5b (-15 to -10 Degrees F)

35 STALLS

363.916 SQ. FT. (8.35 Acres 22,245 SQ. FT. 250,600 SQ. FT. (5.75 Acres) 113,316 SQ. FT. (2.60 Acres) 31.1%

UNDERGROUND SEWER AND UILITY INFORMATION
AS SHOWN IS OBTAINED FROM THE RECORDS OF
MINICIPALITY AND LOCAL ILIUITY COMPANIS
THE ACCURACY OF WHICH CAN PANIS
GUARANTEED OR CERRIFED TO, THE LOCATIONS
OF EXISTING UITIPET NSTALLATIONS AS SHOWN ON.
THIS SURVEY ARE APPROXIMATE. THERE MAY 36
OTHER UNDERGROUND UITIET INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

OR

10 DB ANN LOCATION OF ARRIVED AND SHOWN ON.

11 DB ANN LOCATION OF ARRIVED AND SHOWN ON.

12 JUNE 11 SEPTIME 1 STANLAR SHOWN ON.

14 DB ANN LOCATION OF AREA THAT AREA NOT SHOWN.

OR

15 JUNE 11 SEPTIME 1 STANLAR SHOWN ON.

16 JUNE 11 SEPTIME 1 STANLAR SHOWN ON.

16 JUNE 11 SEPTIME 1 STANLAR SHOWN ON.

17 JUNE 11 SEPTIME 1 STANLAR SHOWN ON.

18 JUNE 11 STANLAR SHOWN ON.

18 JUNE 11 STANLAR SHOWN ON.

19 JUNE 11 STANLAR SHOWN ON.

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18 JUNE 12 JUNE 1 STANLAR SHOWN ON.

19 JUNE 12 JUNE 1 STANLAR SHOWN ON.

10 JUNE 12 JUN



EXISTING CONDITIONS GENERAL NOTES

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS INFORMATIVE TO THEIR NEW WORK. REPORT ANY DISCAPENACIES BETWEEN THE RENAMINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PREPORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.

1. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL MOREOGRAPH.

ALL UNDERGROUND UTILITIES. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO

FABRICATION / CONSTRUCTION BEGINS. VERIFY LOCATION OF ACCESS PANELS W, MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.

VERIFY LOCATION OF ALL EXISTING EASEMENTS. VERHY LOCATION OF ALL STATING RESEMENT. SET IN INSTELLANDSCAPE DESIGN, INC.

PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSTELLANDSCAPE DESIGN, INC.

DESIGN COMPLIANCE: THIS LANGEAGE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE COMPLIANCE THIS LANGEAGE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE COMPLIANCE WITH THE

Interior Landscaping for Off-street Parking Areas.

On-site perimeter greenbelts at least 10 feet in width shall be installed along any street side and along all interior lot lines when parking is located on that side of any building on the site.

15-3,0351 Lanstage and Site Design General Stantiants.

15-3,0351 Lanstage and Site De

Commercial, Office, Institutional and Similar Uses

ar Uses
Minimum Quantity
1 per 5 provided parking spaces
1 per 5 provided parking spaces Planting Size
2.5 inch caliper
4 feet tall
1.5 inch caliper
3 feet tall

Minimum Quantity

1 per 10 provided parking spaces

1 per 10 provided parking spaces

1 per 10 provided parking spaces

1 per 10 provided parking spaces Evergreens

CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATED. THE ALMOSCAPE CONTRACTOR ARE ASSO RESPONSIBLE FOR VERTIFIED AND SCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONTRACTOR AND FILE THAT AFFIDMANT WITH THE CITY OF FRANKLIN.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE FLECTRIC, GAS. TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNERS REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNERS REPRESENTATIVE. ALSO REVIEW OWNERS "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR OF COMPMENION. CORDINATE WITH OWNER SEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.

ALL PLANTINGS SPECIFIED FOR THE MASTER HALCO PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.

ALL DEVIATIONS FROM THE APPROVED MASTER HALCO PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS. BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.

ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, F EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.

PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.

ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR "REE PITS ARE TO BE TOPSOILED 3" DEPE (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS, LANDSCAPE CONTRACTOR SHALL INCORDED COST PER SQUARE TWO FOR ADDITIONAL SEED GENERATIONS AS MAY BE POSSISK PEQUIRED TO REESTABLISH ADJACENT "URF GRASS AREAS MINIOH MAY BECOME AMARGED DURING THE CONSTRUCTION PROCESS OR TO BEPAIR DAMAGE DOWN BY OTHERS.

CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING

QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.

CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS. SHOULD BE FIELD VERIFIED WITH SITE

10. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION

ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.

12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.

13. ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S

FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.4 FOR FURTHER INFORMATION.

15. ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY EQUIRE ADUSTMENT DEPRIORING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.4 FOR FURTHER INFORMATION. PER EVERY 100 SQUARE PET ADDS: ONE -2 CUBIC "FOR THAT OF PRET MOSS, 2 POUNDS OF 5 -10 -5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.

ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.4 FOR FURTHER

17 PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILLHOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LIST 4 FOR FURTHER

18. ALL TREES TO BE INSTALLED. STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.4 FOR FURTHER INFORMATION.

19. PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.

20. ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.

WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOODM OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSLAWE CONTRACTOR FOR POWDLE A SAME TO OWNERS FOR APPROVIA. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LISH 14 OR PRINTER INFORMATION.

22. LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. :F STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.

23. DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301

20% KENTUCKY BLUE GRASS 15% NEWPORT KENTUCKY BLUE GRASS 15% SR 2100 Kentucky Bluegrass

25% Creeping Red Fescue 15% Replikator Perennial Ryegrass 10% Fiesta 4 Perennial Ryegrass
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION

DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.

MAINTENANCE NOTE: MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE

MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:

NECESSARY IRRIGATION (if REQUIRED) INTEGRATED PEST MANAGEMENT

PROPER FERTILIZATION TREE CARE AND PRUNING. SHRUB TIP CLIPPING AND SHAPING AS REQUIRED

REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE

FOLLOWING PLANTING SEASON IN PERPETUITY. WEED MANAGEMENT AND BED CARE.

25. ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECIEVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONJEFROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECIEVE AN APPLIATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.

26. MAINTENANCE, THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED. PLAN PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFLISE & DERRIS, ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE YEXT PLANTING SEASON, WHICHEVER COMES FIRS

27. :ANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG HEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

Landscape Consulting
& Master Planning Design Sevices

11525 W. North Avenue, Suite 1B Wanwatosa WI 53226 Tel (414) 476-1204 www.insitedesigninc.com mdavis@insitedesigninc.com

Project

MASTER HALCO

7407 South 27th Street Franklin, WI 53132

THESE

Issuance and Revisions:

Number Description Date 12/12/22 Client Review

> 01/05/23 Re-Submittal

10/27/23 Revisions Based on Staff

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Sheet Title:

PROPOSED LANDSCAPE PLAN. AND PLANT MATERIAL TABLE

10/27/23 Scale: I" = 40'-0" Drawn By: MCD Job Number L22-079

SP1

 Otent	 Taisla

Broadleaf Deciduous Shrub

Quantity Code Name Symbol Scientific Name

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comment
3	AcpsN	0	Acer pseudosieboldianum 'Northwind'	Northwind Korean Maple	1 1/2" Cal - 8&8	1
1	GibiPS	100	Ginko billoba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2"-Cal - B&B	1. 7
2	GltrS	- 3€	Gleditsia triacanthos finermis 'Skycole'	Skyline Thornless Honeylocust	2 1/2"-Cal - B&8	1
7	МаМ	0	Malus 'Marilee'	Marilee Flowering Crab	1 1/2" Cal - B&B	1
1	Quru		Quercus rubra	Northern Red oak	2 1/2"-Cal - 8&8	1
2	TiamS	0	Tillia americana 'Sentry'	Sentry Linden	2 /2"-Cal - B&B	11
2	ulmoA		Ulmus 'Morton' Accolade	Accolade Elm	2 1/2"-Cal - B&B	1
4	Extg	0	Existing to Remain	Existing to Remain	Existing 8" Cal	2
1	Extg	0	Existing to Remain	Existing to Remain	Existing 14" Cal	2
1	Extg	(E)	Existing to be Removed	Existing to be Removed	Extg 14" Cal Demo	3
2	ēxtg	()	Existing to be Removed	Existing to be Removed	Extg 18" Cal Demo	3

Cal Demo 3	
Size Com	nments
&B 4	
SB 4	
2	
Cal Demo 3	
38	3&8 4

- Straight central leader full & even crown. Prune only after planting.

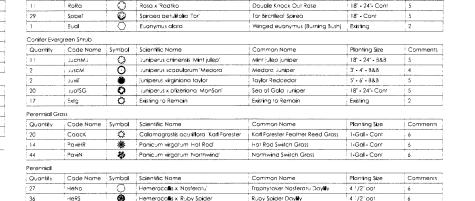
 Prune existing tree, remove any dead, assessed or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.

 Remove reen it is entirely and grind stump to a minimum of 6" below adjacent grade. Remove grinding ships and fill hole with topsall and sow furf gross seed as required.

 Evenly snaped upignit tree/shrup with full pranching to the ground.

 Full, well rooted alant.

 Male only



arpus opulifolius Hoogi02

Common Name

Little Joker Nineba

Diabolo Ninebark

Unforgettable Fire Burning Bush 30" - 36" - 8&B

Planting Size

18" - 24"- Cor

18" - 24"- Con



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Project:

MASTER **HALCO**

7407 South 27th Street Franklin, WI 53132

Issuance and Revisions:

Date	Number	Description
12/12/22		Client Review Submittal
01/05/23		Plan Commissi

10/27/23

Revisions Ba on Staff

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Sheet Title:

PROPOSED LANDSCAPE PLAN, GENERAL NOTES, AND PLANT MATERIAL TABLE

Data of Danisia as	
Date of Drawing:	10/27/23
Scale:	1" = 30'-0"
Drawn By:	MCD
Job Number:	L22-079
Clara at Niversia and	

LSP1.2

PROPOSED PARTIAL LANDSCAPE PLAN - WEST

Upper Third of the Bowl - Economy Prairie Seed Mix Storm Water Management Pond area from Cardno

Quantity	Symbol	Supplier	Туре
OVERALL 10.200 sq. ft. VERIFY		Cardno	Economy Prairie Seed Mix - mixture contains 6 of 7 native permanent grass/ sedge species and 10 of 13 native foro species. Apply at 40.95 PLS pounds per acre. Refer to cut sneets for mix specifics and installation instructions.

lower Two-Thirds of the Bowl - Stormwater Prairie Seed Mix & Storm Water Management Pond area from Cardno

Quantity	Symbol	Supplier	Туре
14,800 sq. ft. VERIFY		Cardno	Stormwater Prairie Seed Mix - mixture contains 10 of 12 native permanent grass/ sedge species and 12 of 16 native forb species. Refer to cut sneets for mix specifics and installation instructions.



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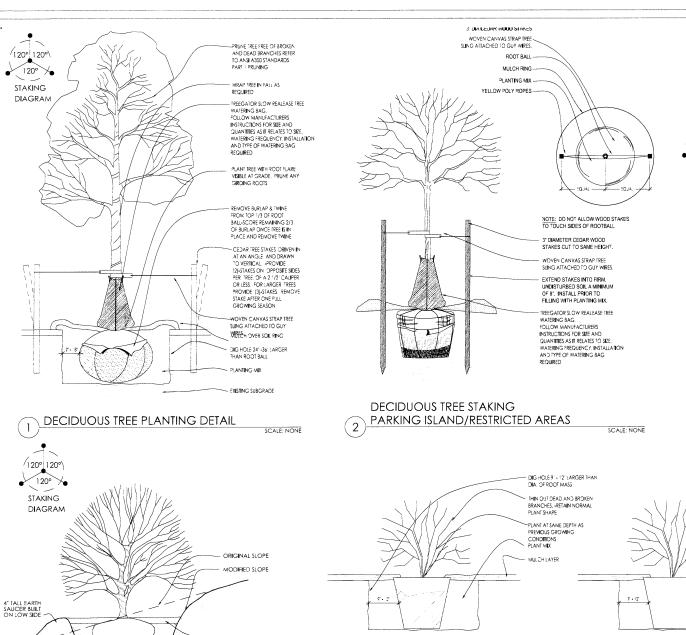
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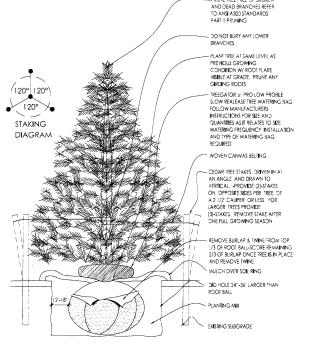
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PROPOSED LANDSCAPE PLAN, GENERAL NOTES, AND PLANT MATERIAL TABLE

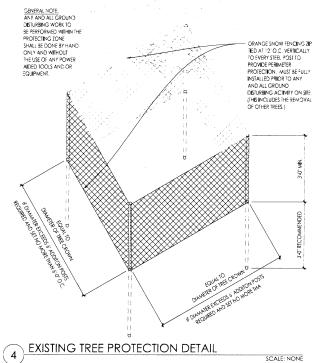
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g.	10/27/23
Scale:	1" = 30'-0"
Drawn By:	MCD
Job Number:	L22-079

LSP1.3





-PRUNE TREE FREE OF BROKEN



CONIFEROUS TREE PLANTING DETAIL - DIG HOLE 9" + 12" LARGER THAN DIA. OF ROOT BALL PRUNE OUT ANY BROWN BRANCHES DO NOT BURY ANY BOTTOM BRANCHES

PAPER FIBER POT CONTAINER GROWN REMOVE ENTIRE POT IF IT IS POSSIBLE. IF ROOTS HAVE PENETRATED POT, REMOVE RIM AND SCORE SIDES WITH KNIFE "REFER TO CONFER BALLED AND BURLAPPED INSTALLATION CAREFULLY REMOVE FROM PLASTIC POT AND SCORE ROOTS DEEP WITH A SHARP KNIFE

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12/12/22

01/05/23

10/27/23

HALCO

PROPOSED LANDSCAPE PLAN, PLANTING DETAILS

InSite Landscape Design Inc.

10/27/23 As Noted
As Noted
MCD
L22-079

LSP1.4

PERIMETER OF BUILDING SHREDDED HARDWOOL SPADE FOGE FARTHER BED EDGE STANDARD TURE GRASS JNDISTURBED EARTH VARIES W/ BEDS REFER TO PLANS

PERENNIAL BED PLANTING DETAIL

(5) SLOPE PLANTING DETAIL

REFER TO TYPICAL DECIDUOUS TREE DETAIL FOR STAKING

9 SPADE EDGE PLANT BED EDGE DETAIL

TOPSOIL / PLANTING MIX TOP OF MULICH SHOULD BE

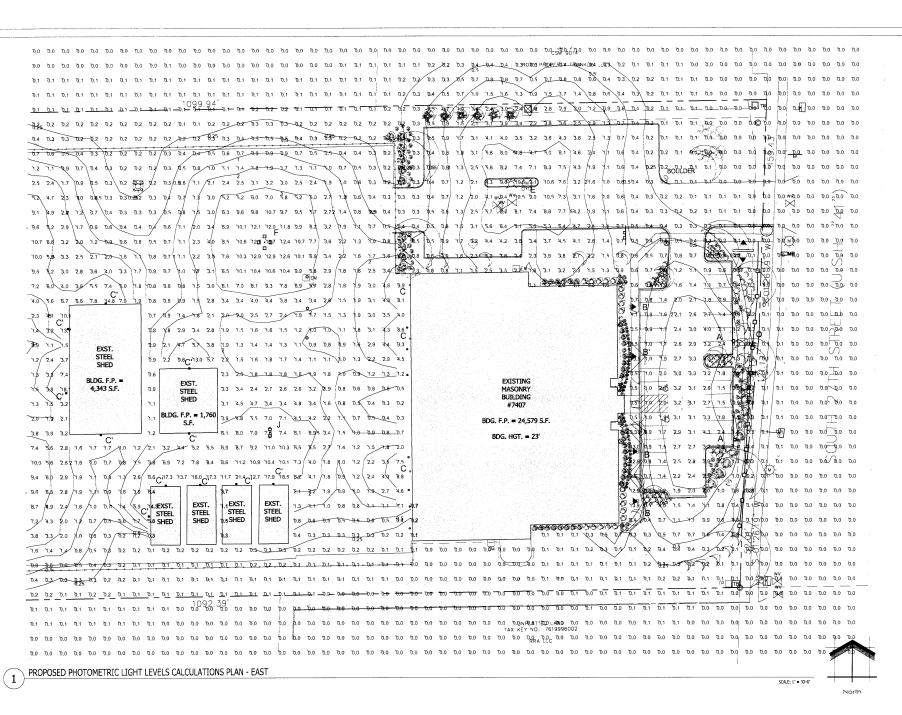
(3) DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE

CONIFEROUS SHRUB PLANTING DETAIL

SCALE: NONE

CONTAINER GROWN
CAREFULLY REMOVE FROM PLASTIC POT AND SCORE
ROOTS 1" DEEP WITH A SHARP KNIFE

Sheet Title:



Symbol	Label	Qty	Catalog Number	Description		Lamp		File	Lumens	LLF	Watts
0	A	2	OSQ-Axx-4ME-U- 40K-ULxxxxx w/OSQ-BLSMF CONFIGURED	Cree OSO SE Luminaire. Ty w/ Backlight S Input Power I 4000K CONF FROM Cree (Area Luminai Medium w/ 83 Shield. U Inpu Designator, 4	pe II Medium Shield, U Designator, IGURED DSQ Series re, Type III acklight at Power	MDA		OSQ-A-xx- 4ME-U-40K- ULxxxxx_PL07 690-001A.IES	Absolute	1.00	214.51
	B B'	2	PR640	EXISTING FL OPTIC	.00D	EXISTING HORIZONTA POSITION FL	_	PR640-250.ies	40000	1.00	450
	B' IS TO		VN FOR REFERENCE C OCATED INTO THE NE								
	C C'	3 11	LAC417SBL	16" x 9" AREA ' W/BACK LT, SI		EXISTING BUILDING MOUNTED W	/ALL	LAC417SBL.ie s	14000	1.00	185
FIXTURE		RE FOR	IN FOR REFERENCE ONLY WARD THROUGH LED S	AT		PACK FLOO	U				
	Е	1	VPR694	22" VERTICA PARKING/RO TYPE IV		EXISTING PARKING/RO HORIZONTA POSITION FL	L	VPR694.ies	44000	1.00	970
			VN FOR REFERENCE C	DNLY	0	W-77 1272				MWARLE	,
STAT	ISTIC	5		***							
Descripti	on	Sy	mbol Avg	Max	Min	Max/Min	Avg/Mi	n UG	CV	,	Avg/Max

PHOTOMETRIC PLAN GENERAL NOTES

- SASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LIMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION.
 THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
- THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINATIRE CHARACTERISTICAL
 DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE
 OF ANY MANUFACTURE'S LUMINATIES MAY MANY FROM LABORATORY "EST RESULTS DUE TO MANIATIONS IN: ELECTRICAL MOLTAGE, TOLERANCE IN LAMPS, AND OTHER
 WARRIEL FIELD CONDITIONS.
- IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & DUR BEST ESTIMATION.
- ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG JASTING AESTHETIC.

EXISTING CONDITIONS GENERAL NOTES

- 1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL CRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSTEL ANDSCARE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCUARCY. CONTRACTOR TO FIELD VERIEY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCES EXTEVEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCARE ACCUARCY. DRAW FEFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
- VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL
 ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE TIEMS.
- 3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.



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PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

Date of Drawing:	10/27/23
Scale:	1" = 20'-0
Drawn By:	MCE
Job Number:	L22-079

Sheet Number:

PHO1.1

1.4 18 79 17 13 1.1 10 0.7 0.5 0.3 0.5 0.3 0.5 0.7 10 1.1 1.3 1.7 1.9 1.8 1.4 1.1 10 0.8 0.5 0.3 0.2 0.2 0.2 0.3 0.6 0.8 1.0 1.2 1.5 1.9 1.9 1.7 1.2 06 n3 n3 n3 n3/06/10/19 24 25 30 32 3.1 25 24 21 12 060504 03 n2 04 n3 n4 n3 13/23 25 26 32 33 29 25 24 1.7 n9 n5 n3/02 609 p2 03/086/1.1/21 24 25 3.1 32 30 25 24 08,5 0.3 0.30.282 0.3 0.4 0.7 1.9 3.0 5.2 5.2 6.0 7.0 5.8 5.2 5.0 1/8 3.1/6.0 9.9 11.7 12.1 12.2 10.2 7.2 3.5 \$\frac{1}{2}\$ 1.2 0.7 0.5 0.5 0.6 0.6 1.3 2.4 3/9 8.2 10.4 12.5 12.4 11.3 9.6 4.5 3.8 4.0 5.6 8.7 6.6 7.8 14.8 7.0 1.9 D.8 D.6 1.2 PROBQSED6 3.6 4.2 4.7 4.0 3.6 3.6 2.9 1.5 1.1 0.9 0.8 0.7 0.7 0.9 1.3 2.5 3.5 3.4 3.8 CRUSHED GRAVEL 7.0 no po no 1.2 1.6 1/9 2.2 2.1 2.3 2.8 2.8 2.5 2.1 2.0 1.8 1.5 1.4 1.3 1.2 1.4 2.5 2.4 21.9 2.1 2.1 4.9 2.6 2.4 1.4 8.9 8.9 1.0 1/8 2.6 2.2 2.0 2.1 2.0 2.1 2.6 1.8 0.6 8 0.6 8.7 8 8 8 9 1.9 10 1.1 EXST. STEEL SHED 0.9 2.2 9.8 13.0 5.7 2.2 1.5 1.6 1.8 De 12 22 36 35 46 48 33 35 18 09 08 05 01 14 28 32 42 43 44 33 31 17 4.343 S.F. STEEL 19 33 27 33 32 26 32 16 08 04 06 12 26 29 30 36 31 31 29 21.7 12 10 10 12 15 16 0.1, 0.2 0.25 0.4 0.7 PROPOSED 7.4 9.8 13.2 12.8 13.1 9.8 7.3 3.5 10.2 0.2 0.4 0.5 RUSHED GRAVEL 7.7 9.8 12.8 12.5 9.8 7.6 3.5 C' A.EXST. 1.3 4.4-1.0 STEEL STEEL D.7 D.5 D.6 T.Z B SHED 1,0 0,7 0.4 0.3 0.3 0.3 0.3 0.5 0.8 1.5 2.7 3.5 4.5 5.2 5.9 5.3 3.8 3.3 2.0 7.0 01 02 03 06 10 1.5 14 19 25 29 24 18 14 19 10 06 04 03 02 02 03 03 04 07 11 1.5 14 19 25 28 28 16 1.4 19 08 05 00 01 01 01 02 03 03 04 05 05 05 05 04 03 03 03 02 02 02 02 02 02 02 03 03 03 04 04 05 05 05 04 03 03 03 02 02 01 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN - WEST

	CONCRESSBLE FILLER AT CONCRETE PAVING ONLY INSTALL (4) 5/6" DIA RENHORONG RODS, SPACES 5 FROM ANCHOR BOUTS MANITAIN 11/2" mm CONC COVER ON SIDES BOTTOM & TOP EVEND CONDOUT MIN 2" INTO TRENCH, DIRECT BURY ELEC, FEED OR ROOME CONDUIT PER LOCAL CODE SIS 18 10/0 COPPER GROUND ROD CAST CONCRETE BASE	LIGHT POLE BASE AND CONCRETE PER STAIN GREY TO MANCH BUILDING STAIN GRADE CONCRETE PER STAIN GREY TO MANCH BUILDING STAIN GRADE AND CONCRETE PARKS STAIN GR
2 LIGHT POLE BASE - SEC	SCALE 3/4" -0"	3 LIGHT POLE BASE - ELEVATION SCALE 3/4 * - C

ALL EXISTING AND NEW CONCRETE LIGHT PICE BASES ARE 1D HAVE ALL FORM MARKS REMOVED. GROWND FLUSH AND THE SURFACE IS TO BE PROPERLY
PREPARED TO RECEIVE A HAND TROWERD MASONRY SKIM COAT OF APPROPRIATE INJURIES TO ACHIEVE A DURBASE SURFACE AND LONG LATTING AESTHETIC

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
000	F	5	OSG-A-xx-4ME-K- 40K-ULxxxxx CONFIGURED FROM OSG-A-xx- 4ME-B-30K- ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium Distribution, K Input Power Designator, 4000K CONFIGURED FROM Cree OSQ Series Area Luminaire. Type IV Medium Distribution, B Input Power Designator, 3000K	CONFIGURED FROM Eight Cree MDA LEDS	OSQ-A-XX- 4ME-K-40K- ULXXXXX_CON FIGURED.ies	Absolute	1.00	520
	G	2	OSQ-A-xx-4ME-T- 40K-ULxxxxx CONFIGURED FROM OSQ-A-xx- 4ME-U-40K- ULxxxxx	Cree OSO Series Area Luminaire, Type IV Medium. T Input Power Designator, 4000K CONFIGURED FROM Cree OSO Series Area Luminaire. Type IV Medium. U Input Power Designator, 4000K	CONFIGURED FROM MDA	OSQ-A-XX- 4ME-T-40K- ULXXXXX_CON FIGURED.ies	Absolute	1.00	498
Û.	н	4	OSQ-A-xx-4ME-T- 40K-ULXXXXX W/OSQ-BLSLF CONFIGURED FROM OSQ-A-xx- 4ME-U-57K- ULXXXXX W/OSQ- BLSLF	Cree OSO Series Area Luminaire, Type IV Medium wil Backlight Shield, T Input Power Designator, 4000K CONFIGURED FROM Cree OSO Series Area Luminaire, Type IV Medium wil Backlight Shield, T Input Power Designator, 4000K	CONFIGURED FROM MDA	OSQ-A-XX- 4ME-T-40K- ULXXXXX W_OSQ- BLSLF_CONFI GURED.ies	Absolute	1.00	166
Q.D	J	1	OSQ-A-XX-4ME-T- 40K-ULXXXXX W/OSQ CONFIGURED FROM OSQ-A-XX- 4ME-U-40K- ULXXXXX W/OSQ- BLSLF	Cree OSQ Series Area Luminaire. Type IV Medium w/ Backlight Shield, Tinput Power Designator, 4000K CONFIGURED FROM Cree OSQ Series Area Luminaire. Type IV Medium w/ Backlight Shield, Tinput Power Designator, 4000K	CONFIGURED FROM MDA	OSQ-A-XX- 4ME-T-40K- ULXXXXX W_OSQ_CONFI GURED.ies	Absolute	1.00	332

LUMINAIRE NOTES

TRY THE TALL (2) IS A NEW POLE LOGATION W/ NEW POLE MOUNTED FIXTURES (SINGLE HEAD AND TENON). PIXTRURES ARE TO BE INSTALLED ON A NEW 21-6" TALL REINFORCES POURED CONCRETE FOUNDATION AND NEW 201-D'SQUARE POLE. BITURE HEAD TO BE DARKSKY COMPLIANT AND HAVE HARDWARE WITH JESNA FULL CUTOFF HOUSE SIDE 5-JELDING. FIELD VERY TO MATCH EXISTING. VERFY WITH CITY OF FRANKLIN HEIGHT FOTURE ORDINANCE.

HIXTURE TE (2) IS A NEW POLE LOCATION W/ NEW POLE MOUNTED FIXTURES (TWIN HEAD AND TENONS) IS AN EXISTING FOLE LOCATION. SHOWN FOR REFERENCE ONLY

GESTIONER LATE 6-2 WAR A PO CELLAZION BE OF SAN ESTURINS. LIVENED CHARLOW SHOW AND ALLOW HAVE NOT MODE SHOW WAR A BLICK THE STORE CHARLOW CHAR

TRIBLET OF 12) IS A NEW POLE LOCATION W/ NEW POLE WOUNTED BRUIRES, TRIPLETEAD AND TEVON, FIRTRIPES ARE TO BE INSTALLED ON A NEW 25-5" TALL REPROPRIED POLICED CONCRETE FOLINDATION AND NEW 26-5" SOLARE POLICE BRUIRET. FEAR IN THE STATE FOR THE PROPRIED FOR THE PR

MINURE >= (2) IS A NEW POLE LOCATION ALNEW POLE ADUNIED HINTERS, SINGLE HEAD AND TENON; ENTRURES ARE TO BE INSTALLED ON A NEW 21-5" TALL, REINFORCED POURED CONCRETE FOUNDATION AND NEW 23-0" SQUARE POLE. MOURE HEAD TO SE DARKSKY COMPLIANT AND HAVE HARDWARE WITH ESSAF FULL CULOFF HOUSE SIDE SHIELDING. TRED VERY TO VATCH ENISTING. VERIF" WITH CITY OF PRANKLIN HEIGHT TRIVIES ORDINANCE.

5. FATURE ST. 12 IS A NEW POLE LOCATION W. NEW POLE MOUNTED TRYDING THAT WE CARE AND EXPORTED THAT WE START AS A PROPERTY OF THE PROPERTY OF T ALL PROPOSED FIXTURE HEADS ARE TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH IESNA FULL CUTOFF HOUSE SIDE SHIELDING WHERE REQUIRED. NEW PROPOSED

POLE MOUNTED PIXTURES ("EADS AND TENONS; FINISH IS TO MATCH EXISTING W/ OPTIONAL PHOTOCELL CONTROL

2. ALL NEW CONCRETE LIGHT POLE BASES ARE 10 HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS 10 BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SUBMICIOAL OF APROPRIATE THICKNESS TO ACHEVE A DURASLE SURFACE AND LONG LASTING A ESTHETIC.

9 ALL NEW PROPOSED AREA BIGHT POLES SHALL BE LOCATED 3-0" FROM \$ACK OF CURB 100 11-BE EDGE OF 3-ACE OF 1-B REINFORCED THOM LASH DIGGE THOM IN THE STATE OF 1-BE BASE. UNLESS NOTED

I IC. INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING

11. CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION 12. PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS), ARE TO HAVE A SILVER RINISH W/ OPTIONA, PHOTOCELL CONTROL

13. ALL BUILDING MOUNTED LIGHT FIXTURES ARE 10 85 COORDINATED WITH THE ARCHIESCITUAL ELEVATIONS FOR EXACT MOUNTING HEIGHTS AND, OCATIONS, FOR PLAPOSES OF CALCULATING THE SITE LIGHTING AITO 2-OTOMETRIC OUTPUT ALL BUILDING MOUNTED FLOOD LIGHTS WERE PLACED AT 22-21 ABOVE PRINSHED FLOOR ELEVATION.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENTS

"HIS LIGHING PLAN REPRESENTS ELLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ELLUMINATING SHOPLERING SOCIETY INST/APPROVED VIEN-DIS, ACTUAL PREPORMANCE OF ANY JAMBUFACTURERS LUMINARS MAY VARY DUTE TO CHANGES IN ELECTRICAL VOLTAGE "DIEPARICE IN LAMPS LEDS AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TO JERANCE IN LAMPS LEDS AND OTHER VARIABLE HELD CONDITIONS. CALCULATIONS DONOT INCLIDE DISS'RICHING'S SUCH AS SHILDINGS CHIRS, NANDSCARNG, SIR AVY OTHER ARCHITECTURAL ELEMENTS ULLESS NOTED.



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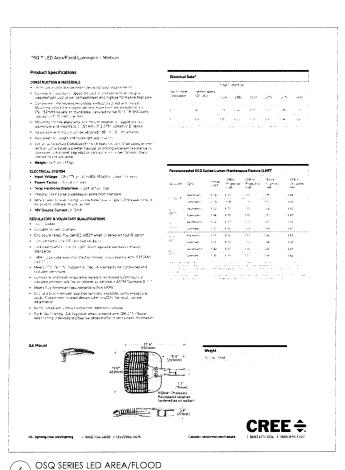
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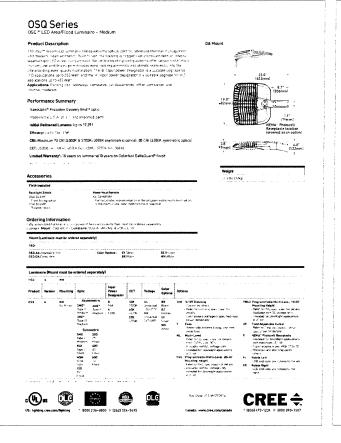
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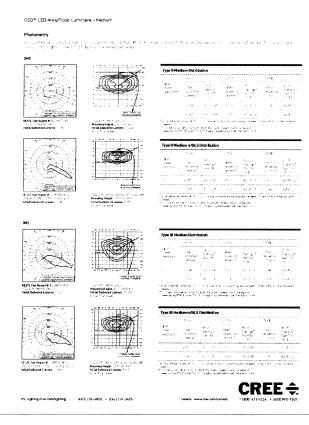
PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

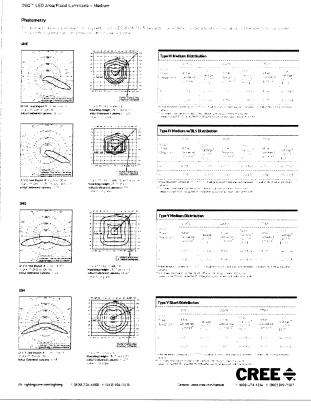
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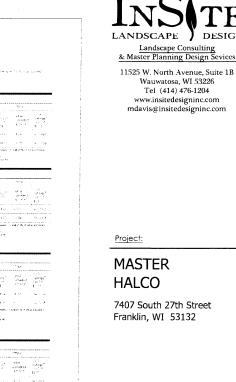
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Issuance and Revisions:

Number Description

Client Review Submittal

Re-Submittal

on Staff

Date

12/12/22

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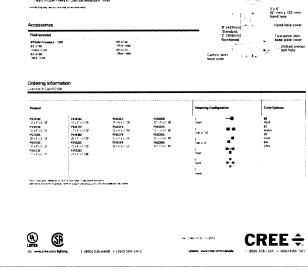
Wauwatosa WI 53226 Tel (414) 476-1204 www.insitedesigninc.com

Sheet Title:

PROPOSED LIGHT FIXTURES

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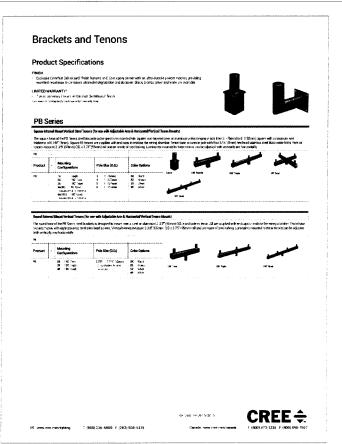


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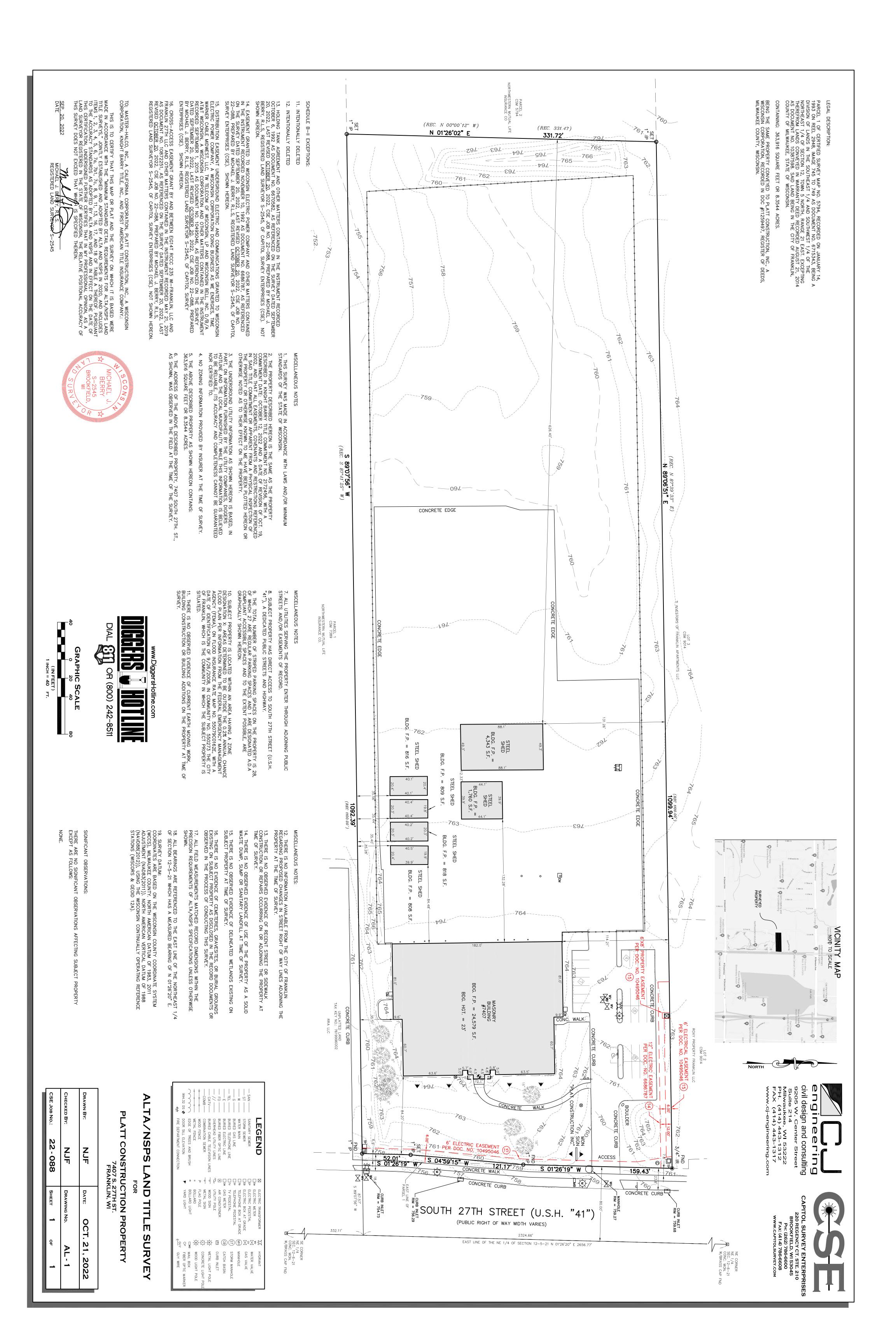
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PS SERIES SQUARE STEEL POLE



5 PB SERIES SQUARE STEEL POLE BRACKET





REPORT TO THE PLAN COMMISSION

Meeting of November 9, 2023 Special Use

RECOMMENDATION: City Development Staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based upon the recommended draft Resolution with conditions as attached.

Project Name:BadAx Flats, LLC Special UseProperty Owner:ZIM-MAR Properties, LLCApplicant:Emily Cialdini, Land By Label

Property Address/Tax Key Number: 7160 S. Ballpark Drive, Unit 130 / 754 9006 000

Aldermanic District: District 2

Agent: Emily Cialdini, Land By Label

Zoning District: Planned Development District No. 37

Use of Surrounding Properties: PDD No. 37 zoned properties to the north, south and

west, and

Vacant land zoned R-6 Single-Family Residence District

to the east

Application Request: To allow for an application for a Special Use to allow for a

beer and wine sales establishment with an outdoor wine and

beer garden

Staff Planner: Nick Fuchs, Planning Associate

Special Use

The applicant filed a Special Use Application to allow for a beer and wine sales establishment with an outdoor wine and beer garden. The proposed use will be located within the southernmost first floor tenant space of the BadAx Flats mixed use development.

The proposed use sells beer and wine for consumption at their facility as well as "bar snacks," which include premade food such as pizza, cheese boards, popcorn, and nuts. A full commercial kitchen is not included within the tenant space. The use also includes retail sales of beer and wine.

Hours of operation are Monday through Thursday from 3:00 p.m. to 9:00 p.m. and Friday and Saturday from 12:00 p.m. to 11:00 p.m.

The building and site will be utilized as proposed as part of the BadAx Flats development. The use is not anticipated to require any changes to those building and site plans.

STAFF RECOMMENDATION

The Plan Commission may recommend, and the Common Council may impose, conditions and limitations on a Special Use application related to use, design and operation (§15-3.0701.D).

The Department of City Development staff recommends the Plan Commission forward the Special Use application to the Common Council for decision based on the recommended draft Resolution as attached. The resolution reflects recommended conditions of approval.

Recommended Conditions of Approval

1. Hours of operations shall not extend later than 9:00 p.m. on Sunday through Thursday and 11:00 p.m. on Friday and Saturday without approval of an amendment to this Special Use.

CITY OF FRANKLIN

MILWAUKEE COUNTY [Draft 11-1-23]

RESOLUTION NO. 2023-

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR A BEER AND WINE SALES ESTABLISHMENT WITH AN OUTDOOR PATIO UPON PROPERTY LOCATED AT 7160 SOUTH BALLPARK DRIVE, SUITE 130
(BY BADAX FLATS, LLC, APPLICANT, ZIM-MAR PROPERTIES, LLC, PROPERTY OWNER)

WHEREAS, BadAx Flats, LLC, having petitioned the City of Franklin for the approval of a Special Use for a beer and wine sales establishment with an outdoor patio upon property located at 7160 South Ballpark Drive, Suite 130, zoned Planned Development District No. 37. The property which is the subject of the application bears Tax Key No. 754 9006 000 and is more particularly described as follows:

Lot 1 of Certified Survey Map No. 9078 recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on October 16, 2018 as Document No. 10820171, being a redivision of Lots 3 and 4 of Certified Survey Map No. 9042 and lands in the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 9, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin.

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 9th day of November 2023, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that they will not have an undue adverse impact upon adjoining property; that they will not interfere with the development of neighboring property; that they will be served adequately by essential public facilities and services; that they will not cause undue traffic congestion; and that they will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meet the standards set forth under §15-3.0701 of the Unified Development Ordinance.

BADAX FLATS, LLC – SPECIAL USE RESOLUTION NO. 2023-____ Page 2

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of BadAx Flats, LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

- 1. That this Special Use is approved only for the use of the subject property by BadAx Flats, LLC, successors and assigns, for a beer and wine sales establishment with an outdoor patio, which shall be developed in substantial compliance with, and operated and maintained by BadAx Flats, LLC, pursuant to those plans City file-stamped DATE, 2023 and annexed hereto and incorporated herein as Exhibit A.
- 2. BadAx Flats, LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the BadAx Flats, LLC, Special Use, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
- 3. The approval granted hereunder is conditional upon the BadAx Flats, LLC, Special Use for the property located at 7160 South Ballpark Drive, Suite 130: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 4. Hours of operations shall not extend later than 9:00 p.m. on Sunday through Thursday and 11:00 p.m. on Friday and Saturday without approval of an amendment to this Special Use.

5. OTHER CONDITIONS TBD

BE IT FURTHER RESOLVED, that in the event BadAx Flats, LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19 of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as

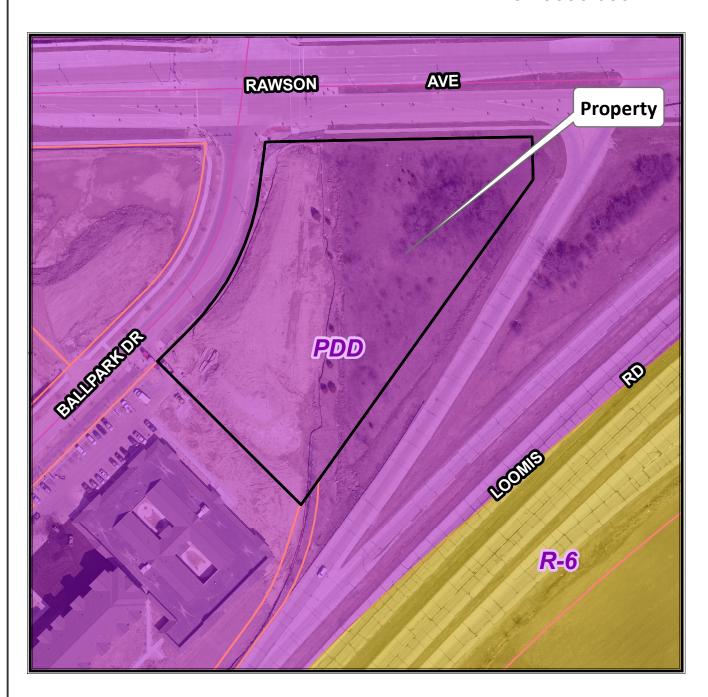
BADAX FLATS, LLC – SPECIAL USE RESOLUTION NO. 2023 Page 3
may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.
BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.
BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.
BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.
Introduced at a regular meeting of the Common Council of the City of Franklin this day of, 2023.
Passed and adopted at a regular meeting of the Common Council of the City of Franklin this day of, 2023.
APPROVED:
John R. Nelson, Mayor
ATTEST:

Karen L. Kastenson, City Clerk

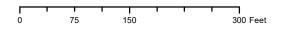
AYES _____ NOES ____ ABSENT ____



7160 S. Ballpark Drive TKN 754 9006 000



Planning Department (414) 425-4024

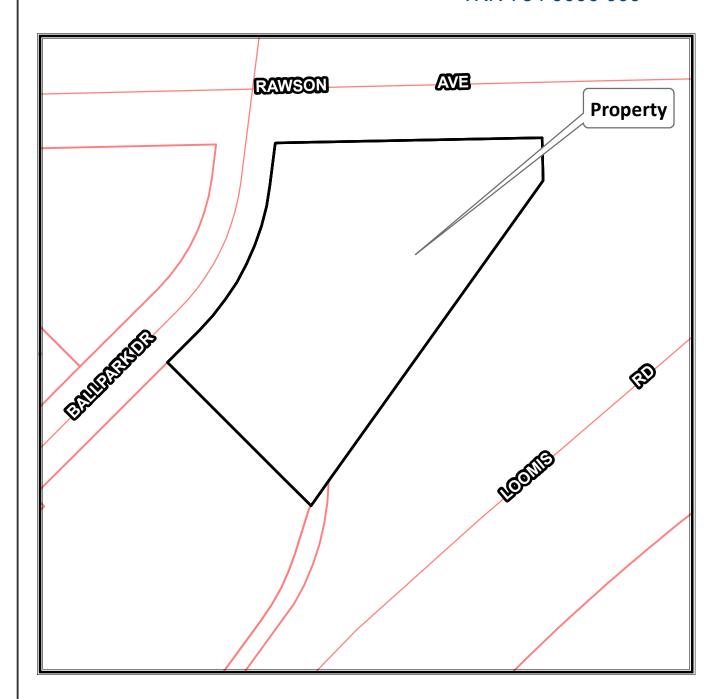


NORTH 2021 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



7160 S. Ballpark Drive TKN 754 9006 000



Planning Department (414) 425-4024



NORTH 2021 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



CITY OF FRANKLIN REPORT TO THE PLAN COMMISSION

Meeting of November 9, 2023

Site Plan

RECOMMENDATION: City Development Staff recommends approval of the Site Plan Application and landscape waiver to allow construction of the proposed BadAx Flats mixed use development upon property located at 7160 South Ballpark Drive.

Project Name: BadAx Flats

Project Address/Tax Key: 7160 S. Ballpark Drive/754 9006 000

Property Owner: Zim-Mar Properties, LLC

Applicant: BadAx Flats, LLC

Aldermanic District: District 6

Zoning District:: Planned Development District No. 37

Staff Planner: Nick Fuchs, Planning Associate

Background

The applicant, BadAx Flats, LLC, submitted an application for a Special Use and Site Plan approval for the development of a mixed-use building upon property located at the southeast corner of W. Rawson Avenue and S. Ballpark Drive.

These applications were previously reviewed at the June 22, 2023 Plan Commission meeting. At that meeting, the Plan Commission recommended approval of the Special Use, but tabled the Site Plan Application due to issues related to the average unit size, landscape requirements and inclusion of a trash enclosure.

The Common Council subsequently approved the Special Use Permit at their July 5, 2023 meeting.

The June 22nd Plan Commission staff report is attached for additional details regarding the proposed development.

Analysis

On July 11, 2023, the applicant submitted revised plans to address Planning Staff and Plan Commission concerns.

Dwelling Unit Size

As a reminder, the applicant is proposing a minimum dwelling unit size of 600 square feet. Staff has recommended a minimum dwelling unit size of 700 square feet, which is the minimum dwelling unit size required for other Areas of PDD No. 37.

The attached project narrative argues that the interpretation made by staff related to dwelling unit size is incorrect. The applicant also submitted a PDD amendment in an attempt to move the project forward.

Staff has continued to review and consider the language within PDD No. 37. Staff acknowledges that there is an error within PDD No. 37 as it references the incorrect table for dwelling unit size requirements. As this is an issue with the drafting of PDD No. 37, Planning Staff has submitted a PDD Amendment request to correct this reference. The staff report for this PDD Amendment, under Item D.3 of this Plan Commission agenda, provides additional information related to the specific changes.

As the PDD does not reference the correct table, staff finds that the minimum dwelling unit sizes of the R-8 District standards are applicable and required to be met. Note that Section 15-3.0442C.A.6. of The Mixed Use Area of PDD No. 37 requires that new residential development meet the R-8 Multiple-Family Residence District Development Standards. The R-8 District requires a minimum dwelling unit size of 750 square feet for One Bedroom Dwelling Units (see Table 15-3.029B).

With that said, staff does not object to the allowance of 600 square feet for a minimum dwelling unit size for PDD No. 37. As such, as part of the PDD Amendment requested by staff, the amendment includes the revision within the PDD to allow for a minimum of 600 square feet.

Dumpster Enclosure

A dumpster enclosure is included at the southeast corner of the site. This will serve commercial uses within the building.

Landscaping

The applicant's project narrative states that a PDD Amendment was submitted to change required landscaping standards within the PDD. Upon further consideration, staff has recommended that a request to reduce landscaping standards is most appropriately accomplished through a waiver request. Section 15-3.0442E Design Standards allows for Plan Commission waivers by 4 votes of all members and Section 15-3.0442EB.3.a. contains language that states landscaping shall be provided as required by 15-3.0302 or as approved by the Plan Commission. As such, staff finds that there is no need for a PDD Amendment.

The applicant's project narrative discusses their reasoning for providing less landscaping than what is required by the Unified Development Ordinance for Plan Commission consideration.

Staff has acknowledged that the UDO landscaping requirements requires a large number of plantings for multi-family uses. It should also be noted that the UDO landscaping requirements have been typically met based upon the density that is allowed within the R-8 District. This PDD and development allows a greater density, which requires even more plantings. As allowed density increases, the same standard may not necessarily be feasible to meet.

It is recommended that the Plan Commission review this site and the proposed landscape plan specifically to determine if sufficient plantings are provided.

Staff finds that a significant number of trees and shrubs are provided. There is little area remaining onsite to provide additional plantings. As the density has been approved and accepted by the City, staff does not object to the quantity of landscaping provided for this development. Staff considers the quantity provided by the applicant to continue to meet and maintain a high standard, consistent with City of Franklin design principles.

Staff Recommendation

City Development Staff recommends approval of the Site Plan Application and landscape waiver to allow construction of the proposed BadAx Flats mixed use development upon property located at 7160 South Ballpark Drive.

STATE OF WISCONSIN

CITY OF FRANKLIN PLAN COMMISSION

MILWAUKEE COUNTY [Draft 11-1-23]

RESOLUTION NO. 2023-____

A RESOLUTION APPROVING A SITE PLAN TO ALLOW FOR A THREE-STORY MIXED-USE BUILDING AND EXTERIOR IMPROVEMENTS, AND WAIVERS FOR A REDUCED FRONT SETBACK OF 10 FEET AND A REDUCTION IN THE QUANTITY OF LANDSCAPING TO BE PROVIDED (GENERALLY THE SOUTHEAST CORNER OF WEST RAWSON AVENUE AND SOUTH BALLPARK DRIVE) (BADAX FLATS LLC, APPLICANT, ZIM-MAR PROPERTIES, LLC, PROPERTY OWNER)

WHEREAS, BadAx Flats LLC, having applied for approval of a proposed site plan to allow for a three-story mixed-use building for commercial use and apartments with waivers to allow for a 10-foot front setback, opposed to the minimum front setback of 25-feet, and to allow for a reduction in the quantity of landscaping provided, property generally located at the southeast corner of West Rawson Avenue and South Ballpark Drive, within Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan to allow for a three-story mixed-use building for commercial use and apartments with waivers to allow for a 10-foot front setback, opposed to the minimum front setback of 25-feet, and to allow for a reduction in the quantity of landscaping provided, as depicted upon the plans dated July 13, 2023, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

- 1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the BadAx Flats LLC mixed-use building and exterior improvements dated July 13, 2023.
- 2. BadAx Flats LLC, successors and assigns, and any developer of the BadAx Flats LLC mixed-use building and exterior improvements construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the BadAx Flats LLC mixed-use building and exterior improvements construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to

BADAX FLATS LLC – SITE PLAN RESOLUTION NO. 2023-____ Page 2

6 [other conditions etc.]

AYES NOES ABSENT

§15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

- 3. The approval granted hereunder is conditional upon the BadAx Flats LLC mixed-use building and exterior improvements construction project, generally located at the southeast corner of West Rawson Avenue and South Ballpark Drive, within Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons): (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 4. That the BadAx Flats LLC mixed-use building and exterior improvements construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
- 5. Final approval of grading, erosion control, storm water management, and utilities, as may be applicable, be granted by the Engineering Department prior to any land disturbing activities.

o. Louier con	rations, etc.	
	ed at a regular meeting	of the Plan Commission of the City of Franklin this, 2023.
	nd adopted at a regula	ar meeting of the Plan Commission of the City of, 2023.
		APPROVED:
ATTEST:		John R. Nelson, Chairman
Karen L. Kasten	son, City Clerk	

Item C.3.



CITY OF FRANKLIN REPORT TO THE PLAN COMMISSION

Meeting of June 22, 2023

Special Use and Site Plan

RECOMMENDATION: City Development Staff recommends <u>approval of the Special Use</u> application to allow for a maximum density yield of 81 dwelling units; <u>to table the Site Plan</u> application to allow the applicant time to revise the site plan to comply with the average unit size, minimum landscape requirements, and inclusion of a trash enclosure.

Project Name: BadAx Flats

Project Address/Tax Key: Not Assigned/754 9006 000
Property Owner: Zim-Mar Properties, LLC

Applicant: BadAx Flats, LLC

Aldermanic District: District 6

Zoning District:: Planned Development District No. 37

Staff Planner: Régulo Martínez-Montilva, AICP CNUa, Principal Planner

Project Description/Analysis

Please note:

- Recommendations are *underlined*, *in italics* and are included in the draft resolution.
- Suggestions are only <u>underlined</u> and are not included in the draft resolution.

The applicant, BadAx Flats, LLC, submitted an application for a Special Use and Site Plan approval for the development of a mixed-use building upon property located at the southeast corner of W. Rawson Avenue and S. Ballpark Drive.

The proposed building is approximately 84,685 square feet (79,730 sq. ft. of residential, and 4,955 sq. ft. of commercial). The majority of the building will contain 78 market rate apartments, consisting of studio, one and two-bedroom dwelling units, with amenities such as a clubroom, fitness center and outdoor swimming pool and grilling area.

The southwest corner of the first floor along S. Ballpark Drive will contain about 5,000 square feet of commercial space. It is anticipated that a craft beer and wine operator will occupy about 3,450 square feet and a salon currently located within Franklin will relocate to about 1,505 square feet. An outdoor patio area is also included on the plans.

Note that any tenant occupying these tenant spaces will be subject to the requirements and approval process as outlined within PDD No. 37 and the Unified Development Ordinance (UDO). Based upon a preliminary review only, it appears the craft wine and beer use would require Special Use approval and the salon would be allowed as a Permitted Use.

Special Use

PDD No. 37 originally allowed, as a Permitted Use, mixed use buildings up to four stories in height, with residential apartments on the upper three floors. A recent amendment to PDD No. 37 revised the ordinance to allow a mixed-use building to have both commercial and residential space on the first floor. As previously mentioned, the proposed building includes ground floor commercial spaces as well as ground floor apartments, with apartments above on the 2nd and 3rd floors of the building. As such, the commercial space and multi-family residential use are Permitted.

The Special Use Application is being requested to accommodate the proposed higher density. The applicant is proposing to construct up to 81 dwelling units. The parcel has a gross Base Site Area of 3.12 acres and a Net Buildable Site Area of 2.02 acres. As such, the applicant is requesting a Net and Gross Density standards of approximately 40 units per acre.

With the current required maximum Gross Density and Net Density standard of eight, the property is allowed a maximum of 16 dwelling units. According to the applicant, the project is not feasible without the requested density. The applicant has also provided responses within their project narrative to the Special Use Standards listed within Section 15-3.0700 of the UDO.

Dwelling Unit Size

Pursuant to Ord. 2019-2368, Table 15-3.0442C.1, the Mixed Use Area of PDD No. 37 requires that apartments in mixed use buildings with more than three dwelling units meet the living area standards of the Multi-Family Residence Area of PDD No. 37, which is 700 sq. ft. average size for one bedroom apartments and 200 sq. ft. for each additional bedroom per Table 15-3.0442D.2.

Unit type	Average unit size	Average unit size per Ord. 2019-2368 Table 15-3.0442D.2.
Studio & One Bedroom Units	647 sq. ft.	700 sq. ft.
Two Bedroom Units	1,121 sq. ft.	900 sq. ft.
Three Bedroom Units	1,323 sq. ft.	1,100 sq. ft.

City Development staff recommends that the applicant shall revise the proposed building design to meet the average size of each unit type (studio and 1-bedroom, 2-bedroom and 3-bedroom apartments) pursuant to Ord. 2019-2368, Table 15-3.0442D.2 and/or amend the PDD to allow for studio and one bedroom apartments at a lower average unit size.

Site Plan

The total site has an area of approximately 3.12 acres (135,980 square feet) and is currently vacant. The development will result in 78,548 square feet of impervious surface and 57,432 square feet of greenspace, which equates to a Landscape Surface Ratio (LSR) of about 0.42 or 42%. This meets the PDD No. 37 minimum of 0.35 for commercial apartments. <u>As required by PDD No. 37, the LSR for the entire PDD shall be maintained at a minimum of 0.50.</u>

Garbage and trash receptacles for the apartments will be kept within the lower level of the building. Staff recommends that exterior trash areas and dumpsters, if any, be stored within an enclosure constructed of materials that are compatible with the principal building, subject to review and approval of the Department of City Development.

Reduced Setback Request

The required minimum front yard building setback is 25-feet. The applicant is requesting a front yard setback along S. Ballpark Drive of 10-feet. According to the applicant's project narrative, the reduced setback will allow for greater visibility and pedestrian accessibility for the retail uses within the first floor of the building. Section 15-3.0442B.13. and Table 15-3.0442C.1. of PDD No. 37 allows the Plan Commission to approve smaller building setbacks, up to zero feet, abutting public right-of-way, traffic visibility setbacks, bufferyards, and parking lot setbacks.

The senior living facility to the south is setback roughly 65-feet from S. Ballpark Drive. However, the apartments on the opposite side of S. Ballpark Drive have been granted reduced setbacks.

As buildings along this drive have already been granted reduced setbacks, there is not opposition to continue to do so; although, it is suggested that the required setback be met or as closely adhered to as much as possible. It appears that parking and drive areas could be shifted and/or modified to set the building back further from S. Ballpark drive while maintaining the same building design and layout.

All other setback and Development Standards of Table 15-3.0442C.1. are met.

Site Furnishings and Pedestrian Amenities

PDD No. 37 requires bicycle parking and pedestrian amenities and lighting, and site furnishings, such as benches, trash receptacles, and bicycle racks. The site plan includes seating within the outdoor patio, and there is also a sidewalk connection to the existing sidewalk along S. Ballpark Drive as well as trash receptacles, dog refuse bins and bicycle parking.

Parking

The development includes 83 surface parking spaces, four ADA accessible stalls, and 80 underground parking spaces for a total of 167 spaces. Table 15-5.0203 of the Unified Development Ordinance (UDO) suggests a minimum parking ratios, below is a table showing the suggested amount of parking to be provided per use.

Use	Number of Units or Size of Tenant Space	Parking Ratio per UDO Table 15-5.0203	Suggested Parking
Studio & One Bedroom Units	55 units	1 space per unit	55 parking spaces
Two Bedroom Units	20 units	2 spaces per unit	40 parking spaces
Three Bedroom Units	3 units	2.5 spaces per unit	8 parking spaces
Commercial Retail	3,450 square feet	5/1,000 SF GFA	18 parking spaces
Outdoor Patio	1,169 square feet	10/1,000 SF GFA	12 parking spaces
Commercial Service	1,505 square feet	3/1,000 SF GFA	5 parking spaces
Total			138

GFA: gross floor area.

The total provided parking, 167 spaces, exceeds the minimum required parking of 138 spaces for this development. However, <u>City Development staff recommends that the provided ADA parking should be increased to five spaces pursuant to UDO Table 15-5.0202(I)(1). It's worth noting that the parking surplus (29 spaces) could be utilized to meet landscaping standards as follows: first, by reducing the provided parking the required landscaping is also reduced (commercial uses only); second, the area</u>

intended for the parking surplus could be redesigned as landscaped areas to meet the required number of landscape features discussed below.

Landscaping

For Multi-Family developments, Table 15-5.0302 of the UDO requires 1.5 canopy/shade tree, one evergreen, one decorative tree, and three shrubs per dwelling unit. For Commercial uses, one canopy/shade tree, one evergreen, one decorative tree and one shrub is required per every five provided parking spaces.

Below is a breakdown of the required number of plantings and the quantity currently provided. The applicant is requesting a substantial reduction in the number of plantings, particularly canopy/shade trees.

Type		Provided	% Requested Reduction		
Туре	Multi-Family 78 units	Commercial 35 parking spaces	Total		
Canopy/Shade Tree	117	7	124	15	88%
Evergreens	78	7	85	47	45%
Decorative Trees	78	7	85	23	73%
Shrubs	234	7	241	147	36%

The requested reduction, in part, is due to the requested increase in density. The site could likely meet landscaping standards under the required maximum density of eight units per acre; However, under the current proposal, (40 units per gross acre and 83 surface parking spaces), there is not enough available space to accommodate 109 more canopy trees, 38 more evergreens, 62 more decorative trees, and 94 more shrubs in a manner that is attractive and conducive to the plants survivability. Section 15-3.0442B.14 of PDD No. 37 allows for the overall quantity of landscape plantings to be reduced by 25% from the UDO standards, subject to review and approval by the Plan Commission. However, the requested reduction is more than 25% for every category of plantings. *City Development staff recommends that the applicant either:*

- *a)* Reduce the density of dwelling units;
- b) Reduce the amount of surface parking, while still achieving total parking requirements required per UDO standards, to accommodate, at a minimum, 25% less of the required number of plantings; or
- c) a combination of solutions noted in a) and b).

Outdoor Lighting

The outdoor lighting plan identifies parking lot lighting only, which includes three single fixture light poles and six double fixture light poles. All poles are 20-feet tall on a two-foot concrete base for a peak height of 22-feet. Light levels are minimal at the property lines. The maximum light level is approximately 1.2 foot candles at the property lines.

Natural Resource Protection Plan (NRPP)

A NRPP was already completed as part of PDD No. 37 and included the subject property. Wetlands were found; however, they were exempted in 2017. As such, no protected natural resources exist onsite.

No additional review related to natural resources is necessary.

Architecture

The building consists of fiber cement siding and brick. Balconies are included on the upper floors of the building and are constructed with composite decking and metal railings. The plan does not indicate whether or not the lower apartments will access to a concrete patio. The proposed fenestration of windows and patio doors have been done in a logical and attractive pattern.

The proposed three-story building is 38-feet tall which is in compliance with the maximum height of 4.0 stories or 60 feet allowed within PDD No. 37.

It can be noted that PDD No. 37 requires that buildings located on prominent sites, shall be multi-story and exhibit quality architectural design to serve as landmarks. This building is multi-story, and the Plan Commission shall determine if the quality of architecture meets this standard as well as the Design Standards of PDD No. 37.

Signage

Sign details have not yet been provided. A separate Sign Review and Sign Permit will be required prior to installation.

Storm water Management

A bio-retention basin is shown within the northeast corner of the site. Also, development wide storm water management facilities have been approved and completed by the developer. *It is recommended that final approval of grading, erosion control, storm water management, and utilities, as may be applicable, be granted by the Engineering Department prior to any land disturbance activities.*

Staff Recommendation:

City Development Staff recommends <u>approval of the Special Use</u> application to allow for a maximum density yield of 81 dwelling units.

City Development Staff recommends to <u>table the Site Plan</u> application to allow the applicant to time to revise the site plan to comply with the average unit size, minimum landscape requirements, and inclusion of a trash enclosure.



7044 South Ballpark Drive Suite 305 Franklin, WI 53132

Main: 414-285-3470

July 13, 2023

Mr. Regulo Martinez-Montliva Principal Planner City of Franklin 9229 West Loomis Road Franklin, WI 53132

Via hand-delivery and email to RMartinez-Montilva@franklinwi.gov

Re: BadAx Flats Site Plan Review, PDD 37 Amendment and Special Use

Dear Regulo,

In response to the matters identified in the Report to the Plan Commission Meeting of June 22, 2023 for Special Use and Site Plan ("Staff Report") which was published on June 16, 2023 we submitting revised plans for Site Plan review and applications for a Major PDD Amendment to PDD 37 to permit BadAx Flats as designed. Under cover of this letter you will find the following:

- PDD Amendment and Special Use Application (Item 1);
- Twelve (12) copies of the revised plan set for BadAx Flats, including civil engineering and landscaping plans prepared by Sigma and dated 7-11-2023 (Items 3 and 4);
- Three (3) copies Responses to General Standards for Special Use (Item 5); and,
- Word document legal description (Item 9).

We respectfully request to be placed on the <u>August 17, 2023</u> Plan Commission meeting agenda.

Responses to Staff Report

- Pg 2 Dwelling Unit Size
 - O Applicant believes Staff is incorrect in their read of PDD 37. BadAx Flats minimum dwelling unit size is consistent with the requirements in PDD 37. BadAx falls under the Ballpark Commons Mixed-Use Area (15-3.0442C) because it lies at the southeast corner of Ballpark Drive and Rawson Avenue. The Area Standards for Ballpark Commons Mixed-Use Area are set forth in Table 15-3.0442C.1. The Minimum Total Living Area per Residential Apartment Dwelling Unit (D.U.) in Mixed Use Commercial Buildings for 3 or more D.U.'s per structure states to see Table 15-3.0442D.1. That table does not include any minimum dwelling unit sizes; therefore, there is no minimum dwelling unit size.







Main: 414-285-3470

We advanced our design and spent significant dollars doing so because no minimum dwelling unit size applies to our development.

Staff has unilaterally imposed a minimum dwelling unit size by stating that the reference to Table 15-3.0442D.1 is a mistake and that it should have referenced Table 15-3.0442D.2.

In order to advance our development, we are now applying for the Major PDD Amendment to "correct" Table 15-3.0442C.1 to refer to Table 15-3.0442D.2 <u>AND</u> reduce the average minimum dwelling unit size from 700 square feet to 600 square feet. The reduction in square footage allows us to deliver the development as designed which meets an identified need in the market for smaller studio and one-bedroom units.

• Pg 2 – Site Plan

o Understood that the LSR of 0.42 meets the PDD minimum of 0.35. Understood that the LSR for the entire PDD shall be maintained at a minimum of 0.50.

The exterior trash area that serves the commercial space already includes an enclosure. Detailed trash enclosure details (ASP 100) prepared by JLA and dated 6.2.2023 are included (Item 6). Please note, architectural site plan will be updated to reflect the parking counts and landscaping as represented on the civil and landscape plans included herein.

Pg 3 – Reduced Setback Request

Staff noted that it appears the parking and drive areas could be shifted to set the building further back from S Ballpark Drive. This is not feasible with the steep grade change at the east side of the site. Furthermore, the reduced setback was intentional to allow for greater visibility and pedestrian accessibility to first floor retail uses. The decreased setback creates an activated urban edge, which has been a design driver and accepted, even encouraged strategy throughout Ballpark Commons.

• Pg 3 – Parking

Staff did not review all plan sheets related to ADA parking. The development includes a total of six (6) ADA accessible stalls – four (4) in the surface lot and two (2) in the underground parking. Therefore, the development satisfies the required number of ADA parking stalls pursuant to UDO Table 15-5.0202(I)(1). Applicant has reduced the number of surface stalls by 29 stalls for a total of 138 parking.

• Pg 4 – Landscaping





7044 South Ballpark Drive Suite 305 Franklin, WI 53132

Main: 414-285-3470

We are requesting a Major PDD Amendment to allow for the landscaping plan to be approved as identified in the quantity and type of materials on our landscape plan prepared by Sigma and dated 7-11-2023. Again, we wanted to expand upon the issue as the Major PDD Amendment to allow for the landscaping as designed because it treats our development approvals differently than other multifamily developments such as The Statesman, Velo Village and The Seasons whose landscaping does not comply with the UDO Landscape Standards.

BadAx Flats' building footprint and identified use as a mixed-use residential development has not changed since the adoption of PDD 37. The quantity of residential plantings required per the code are extreme and based on our proposed use would require 100% of the site to be landscaped.

Staff's recommendation to reduce the number of units to comply with landscaping requirements is diametrically opposed to their recommendation for approval of the special use for a density of 81 units, which was approved by Plan Commission and Common Council. Even if the density were reduced as staff suggested to accommodate the code required plantings, the unit count would be reduced by 40 to 50 units. A development of that size is not economically feasible and would also drastically reduce the taxes below City projections in TID 5.

We agreed to eliminate the 29 parking stalls and have filled that area with additional landscaping. The total landscape counts are now as follows:

- 18 canopy/shade trees
- 53 evergreen trees
- 50 decorative trees
- 180 shrubs

To demonstrate the extreme nature of the landscaping requirements for residential, if the site were to be developed as a commercial development, 56 shade trees and 56 shrubs would be required. As approved with a density of 78 multifamily units and 5,000 square feet of retail, we are required to install 124 shade trees and 234 shrubs - over three times the requirement for commercial. Said differently, the requirement would result in roughly 41 trees and 78 shrubs per acre, that's equivalent to the tree density of a North American forest.

It should also be noted that in the staff review of The Seasons at Franklin, the most recent multifamily development approved in the City of Franklin, the planning manager in his staff report from March 3, 2022 noted that the landscape requirements are "very difficult to meet" for multifamily development and that if the development proposed "was a high-rise development, it would require the planting of a forest to accommodate this requirement". He goes on further to note that the landscape requirements are a "subject for further review and amendment





7044 South Ballpark Drive Suite 305

Franklin, WI 53132

under the UDO Rewrite project". The Seasons staff report is included herein (Item 8).

Special Use

The Special Use allows for the intended high-end beer and wine operator, Three Cellars, to conduct their operations. The Responses to the General Standards for Special Use address the reasoning for the Special Use (Item 5).

Three Cellars

Three Cellars is a high-end beer and wine operator that offers hundreds of options of select wines with amazing service to make your visit fun and easy. It's a special experience for everyone from the casual drinker to the connoisseur. We are friendly, non-elitist, and here to help. Of course, we can help you find beverages to take home or give as gifts, but we also offer something else you're going to love — we invite you to kick back, relax, and enjoy any of our wines or beers in the Cellar Lounge or our Wine and Beer Garden (in season).

In 2016, Gino Gaglianello brought the Three Cellars experience to Menomonee Falls and we have enjoyed every minute of being a part of the community. With a constantly rotating selection, fun tastings and events, unparalleled service and product knowledge - Three Cellars is truly the most unique wine and beer destination in the area! If you've never been to Three Cellars, we hope you'll stop in and become a regular customer. We'll do all we can to make that happen.

Awards & Recognition

A-List's Best Wine and Beer Shop 2007-2014: Voted Top 5

2016-2017: Voted #1

Milwaukee Magazine's Best of the Burbs

2022: Voted #1 2023: Voted #1

It should be noted that the Major PDD Amendment for both dwelling unit size and landscaping puts additional risk on our development by requiring an additional layer of approvals that are not necessary. It also delays our project schedule by over a month if scheduled for the August Plan Commission meeting. If, for some reason, the Plan Commission and Council do not approve the proposed PDD Amendment we would be forced to seek other recourse.

Please reach out with any questions or comments.





7044 South Ballpark Drive Suite 305 Franklin, WI 53132

Main: 414-285-3470

Sincerely,

Emily Cialdini

Vice President of Development

Land By Label

Cc: Ian Martin (via email to ian.m@landbylabel.com)

Mike Zimmerman (via email to mikez@rocventures.org)



Divsion 15-3.0700. Special Use Standards and Regulations § 15-3.0701. General Standards for Special Uses.

- A. General Standards. No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:
 - Ordinance and Comprehensive Master Plan Purposes and Intent. The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.
 - BadAx Flats along with the high-end beer and wine operator is consistent with the intended uses identified within the Ballpark Commons PDD 37. The building was always intended to be a residential mixed-use development with active first floor food and beverage operations.
 - No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.
 - BadAx Flats will not cause undue adverse impact. As a residential mixed-use
 development it is consistent and complementary to the adjacent multi-family uses.
 It enhances the area by completing the vision of the area and converting the vacant
 parcel into a high-quality residential and commercial development.
 - No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.
 - BadAx Flats as a residential mixed-use development was always contemplated and realizes the vision for Ballpark Commons south of Rawson in accordance with PDD 37.
 - Adequate Public Facilities. The proposed use and development will be served adequately by
 essential public facilities and services such as streets, public utilities including public water
 supply system and sanitary sewer, police and fire protection, refuse disposal, public parks,
 libraries, schools, and other public facilities and utilities or the applicant will provide adequately
 for such facilities.
 - BadAx Flats has completed its engineering review with the City Engineering Department. There are adequate public facilities to serve the development.
 - No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic

congestion in the public streets.

- BadAx Flats will not generate traffic congestion. It was always planned as a residential mixed-use development and Ballpark Drive and the nearby infrastructure was sized appropriately to facilitate the development.
- No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.
 - There are no ecological features on site; therefore, there is no destruction of significant features.
- Compliance with Standards. The special use shall, in all other respects, conform to the
 applicable regulations of the district in which it is located, except as such regulations may, in
 each instance, be modified by the Common Council pursuant to the recommendations of the
 Plan Commission. The proposed use and development shall comply with all additional
 standards imposed on it by the particular provision of this Division and Ordinance
 authorizing such use.
 - BadAx Flats complies with all other standards of PDD 37 and the UDO.
- B. Special Standards for Specified Special Uses. When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in § 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.
 - Section 15-3.0702 and 15-3.0703 do not apply as the special use is for a Drinking Place Pursuant to Table 15-3.0603.
- C. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:
 - Public Benefit. Whether and to what extent the proposed use and development at the
 particular location requested is necessary or desirable to provide a service or a facility
 that is in the interest of the public convenience or that will contribute to the general
 welfare of the neighborhood or community.
 - BadAx Flats and the high-end beer and wine operator will contribute to the general welfare of the community by completing the vision of Ballpark Commons and offering additional places to eat and recreate. We have heard from neighbors and community members a desire for more high-end options to eat and drink.
 - Alternative Locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.
 - The location has always been contemplated as a residential mixed-use

development with activated, first floor uses. As such it meets the requirements of the PDD and is an ideal solution for the site. There are no other alternative locations for the proposed developments within Ballpark Commons.

- Mitigation of Adverse Impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.
 - BadAx Flats is a mixed-use residential development which is complementary
 and similar use to New Perspective Senior Living and Velo Village and therefore
 are no adverse impacts on adjacent development. Site design, landscaping and
 lighting has been sensitive to the adjacent uses.
- Establishment of Precedent of Incompatible Uses in the Surrounding Area. Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.
 - BadAx Flats completes one of the last remanding development sites within Ballpark Commons so there is little opportunity for future more intensive uses in the area.

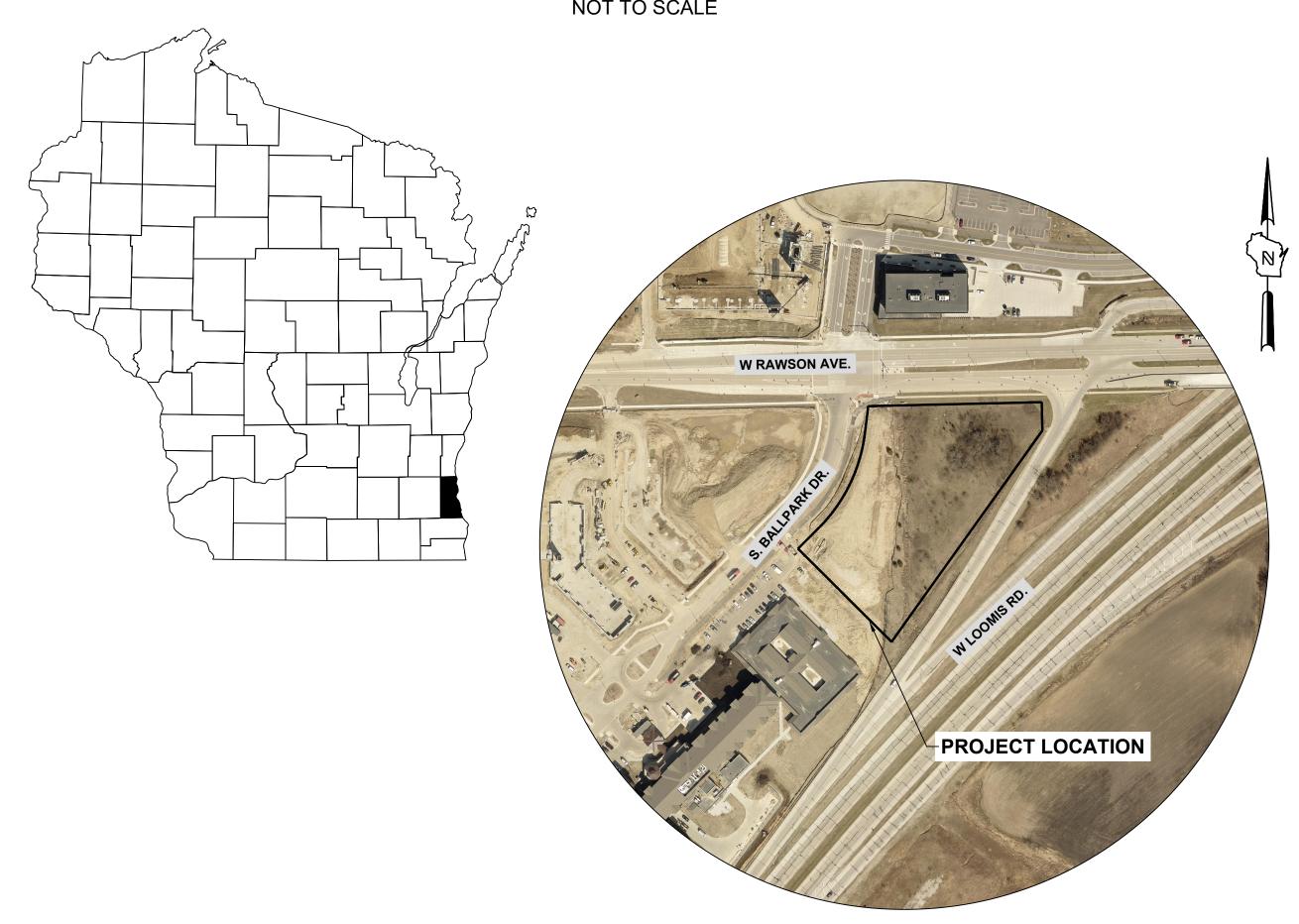
BADAX S BALLPARK DRIVE, FRANKLIN, WI CIVIL ENGINEERING PLANS

PREPARED BY:

Single Source. Sound Solutions. GROUP

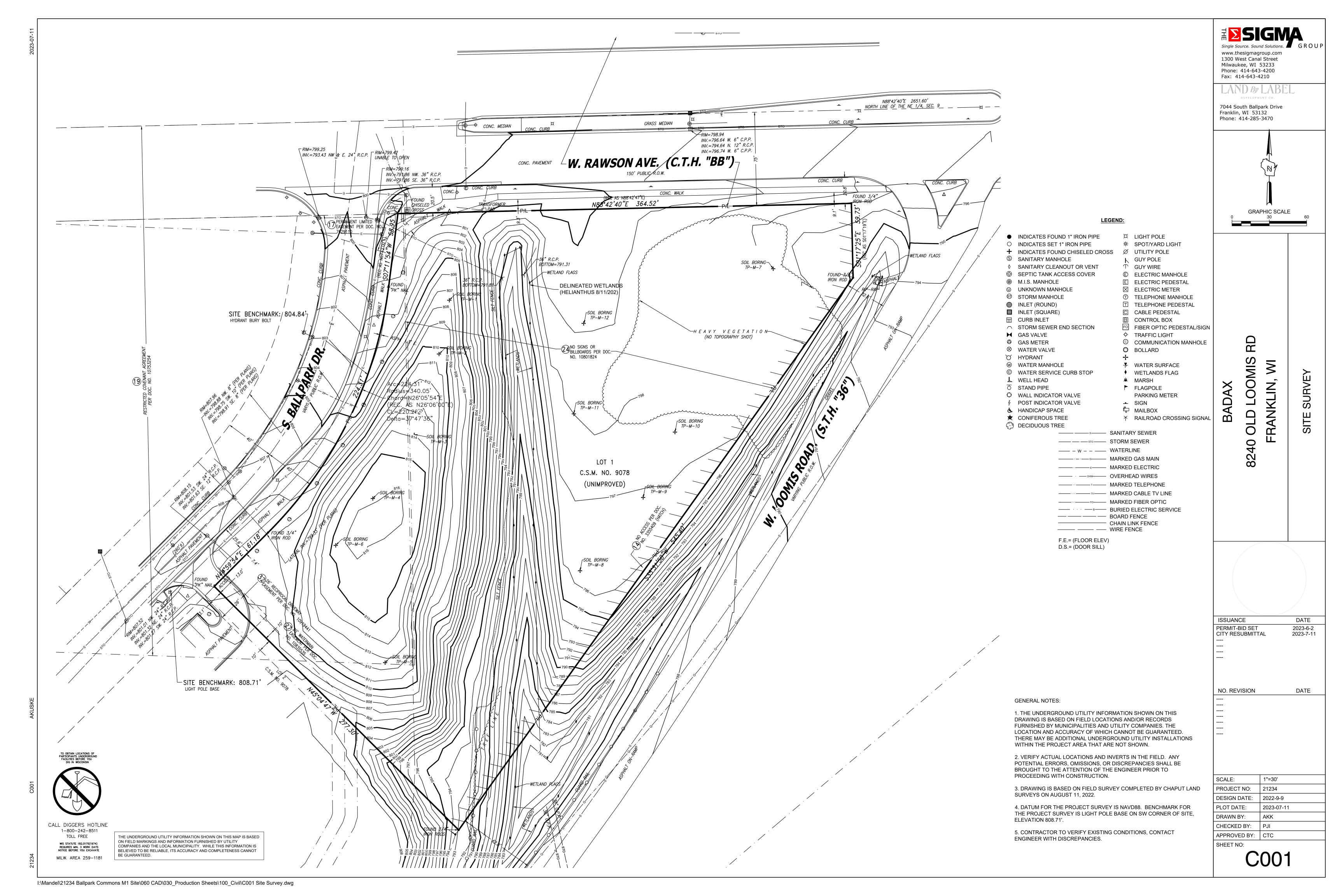
www.thesigmagroup.com 1300 West Canal Street Milwaukee, WI 53233 Phone: 414-643-4200

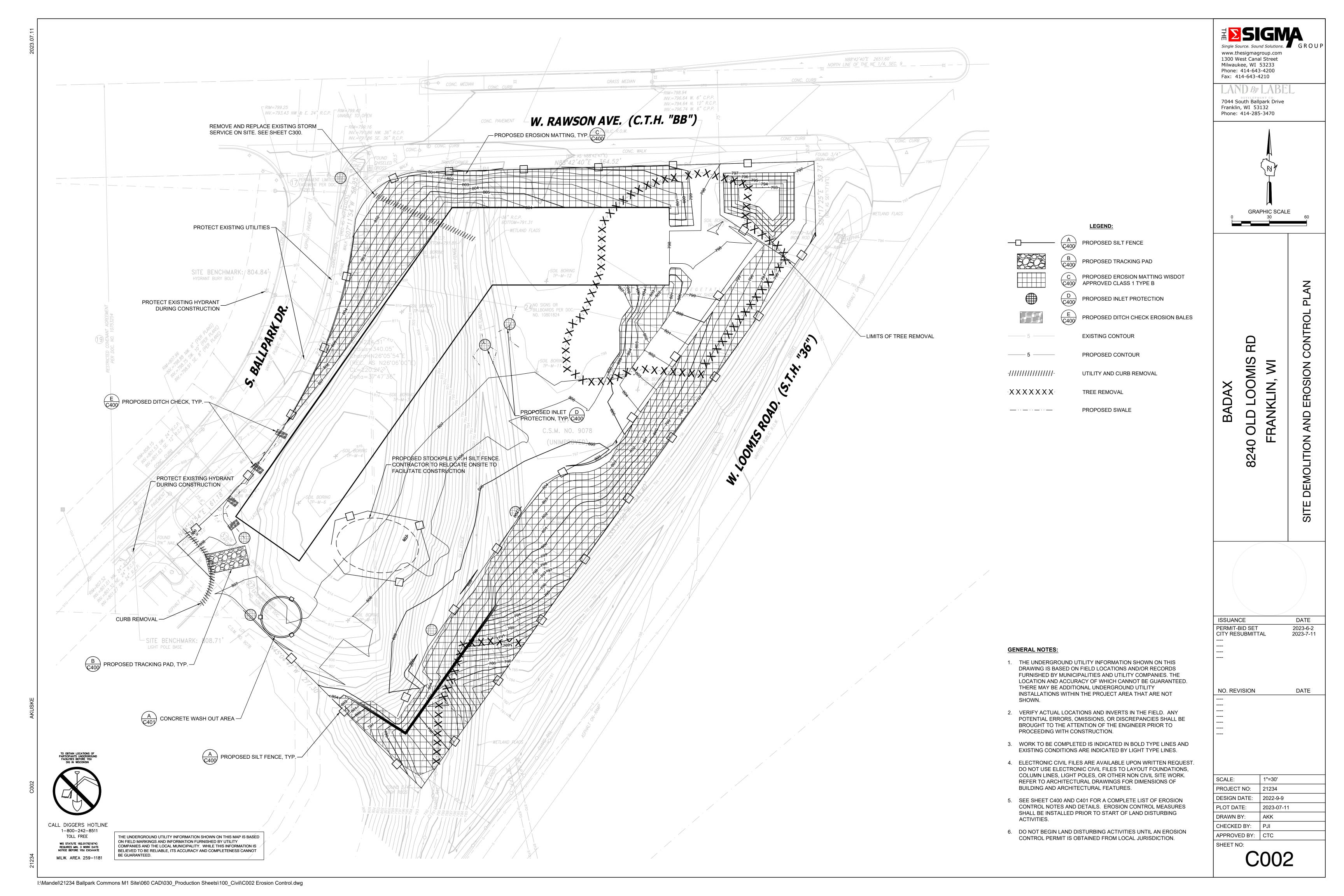
SITE LOCATION MAP: NOT TO SCALE

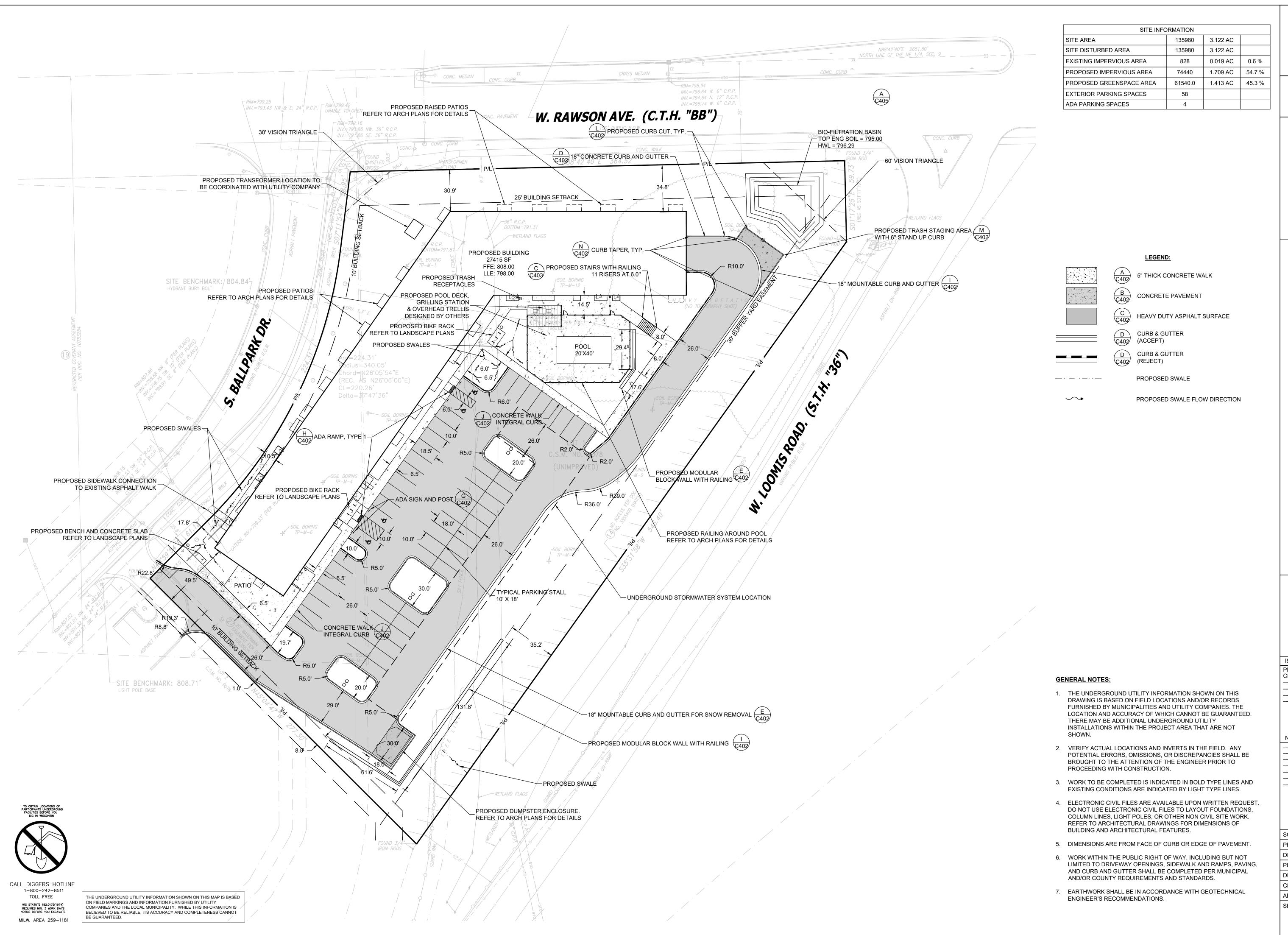


SHEET INDEX	
SHEET NO.	DESCRIPTION
C000	COVER SHEET
C001	SITE SURVEY
C002	SITE DEMOLITION AND EROSION CONTROL PLAN
C100	SITE DIMENSION PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
C400	EROSION CONTROL DETAILS
C401	EROSION CONTROL DETAILS
C402	DETAILS
C403	DETAILS
C404	DETAILS
C405	DETAILS
C406	DETAILS
C500	SPECIFICATIONS
C501	SPECIFICATIONS
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE ENLARGEMENT
L102	LANDSCAPE ENLARGEMENT
L103	LANDSCAPE ENLARGEMENT
L104	LANDSCAPE ENLARGEMENT
L200	LANDSCAPE DETAILS
L201	LANDSCAPE DETAILS
L300	LANDSCAPE SPECIFICATIONS
L301	LANDSCAPE SPECIFICATIONS

CITY RESUBMITTAL: JULY 11, 2023

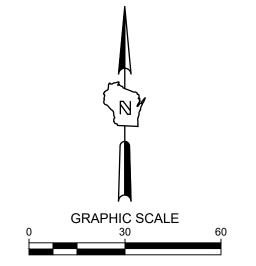






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Fax: 414-643-4210

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8240 OLD LOOMIS I FRANKLIN, WI

DIMENSION

ISSUANCE DATE
PERMIT-BID SET 2023-6-2
CITY RESUBMITTAL 2023-7-11

NO. REVISION DATE

 SCALE:
 1"=30'

 PROJECT NO:
 21234

 DESIGN DATE:
 2022-9-9

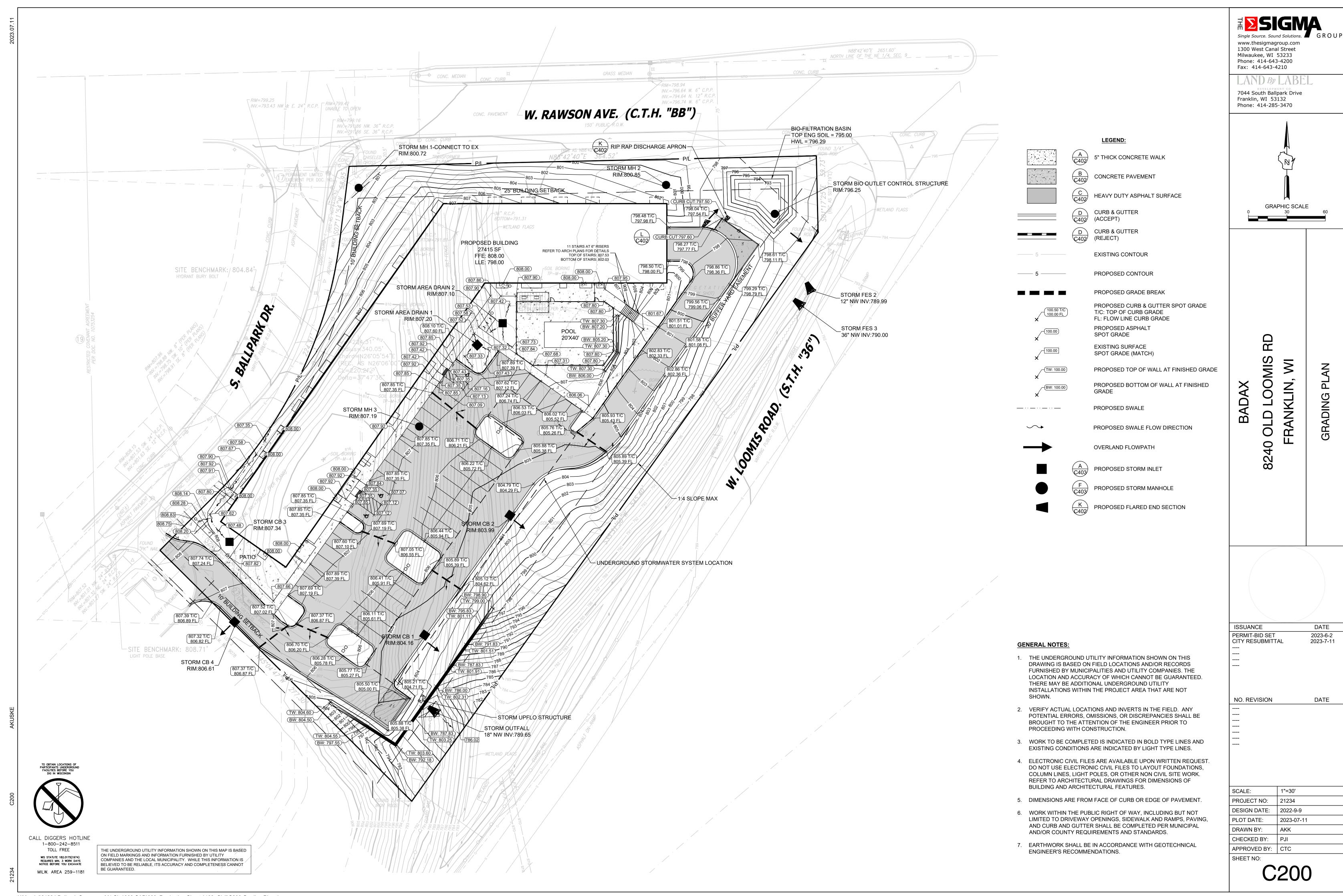
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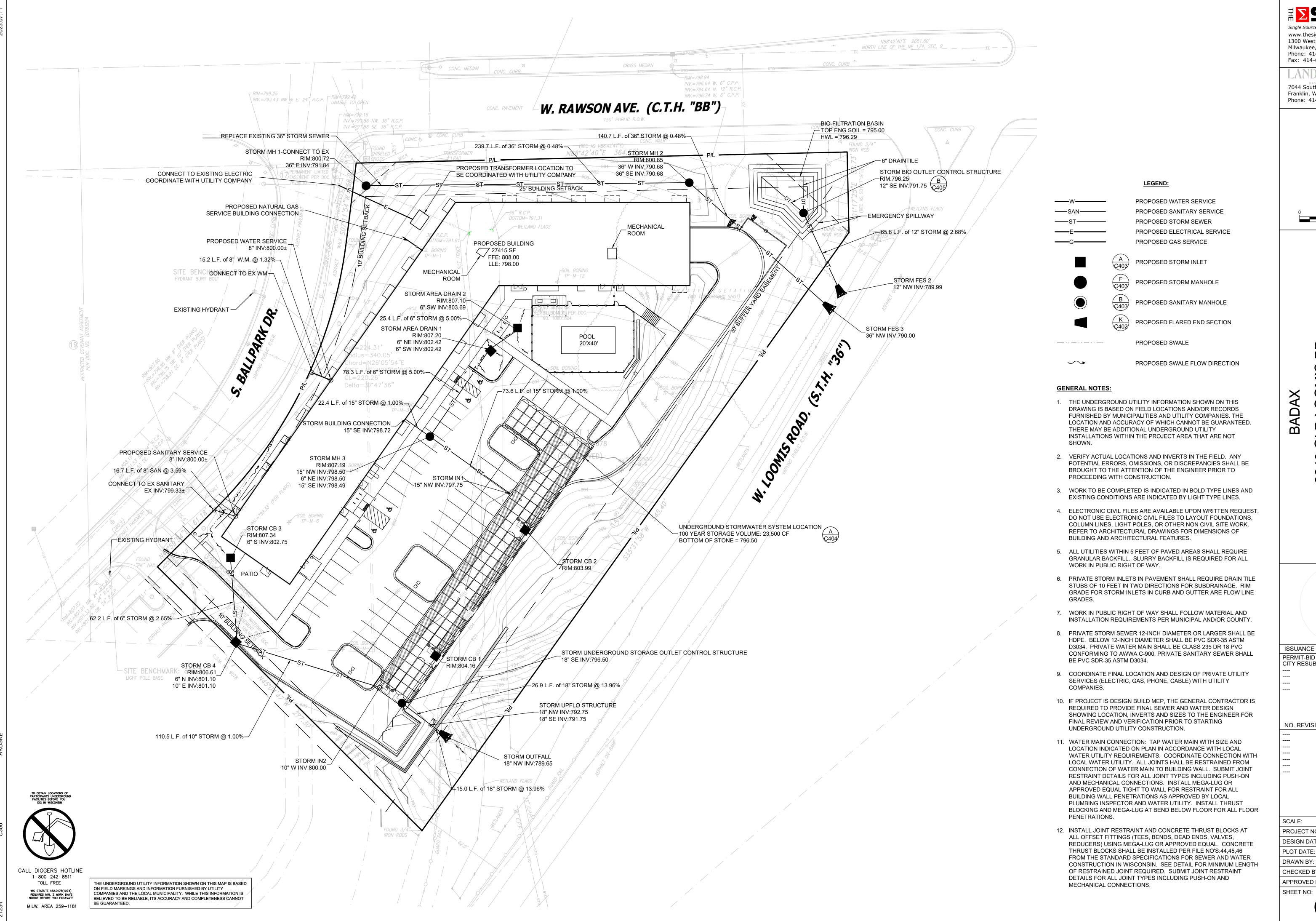
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 AKK

 CHECKED BY:
 PJI

 APPROVED BY:
 CTC

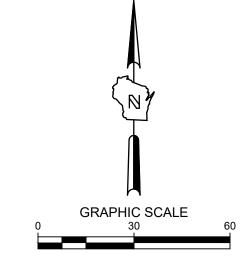
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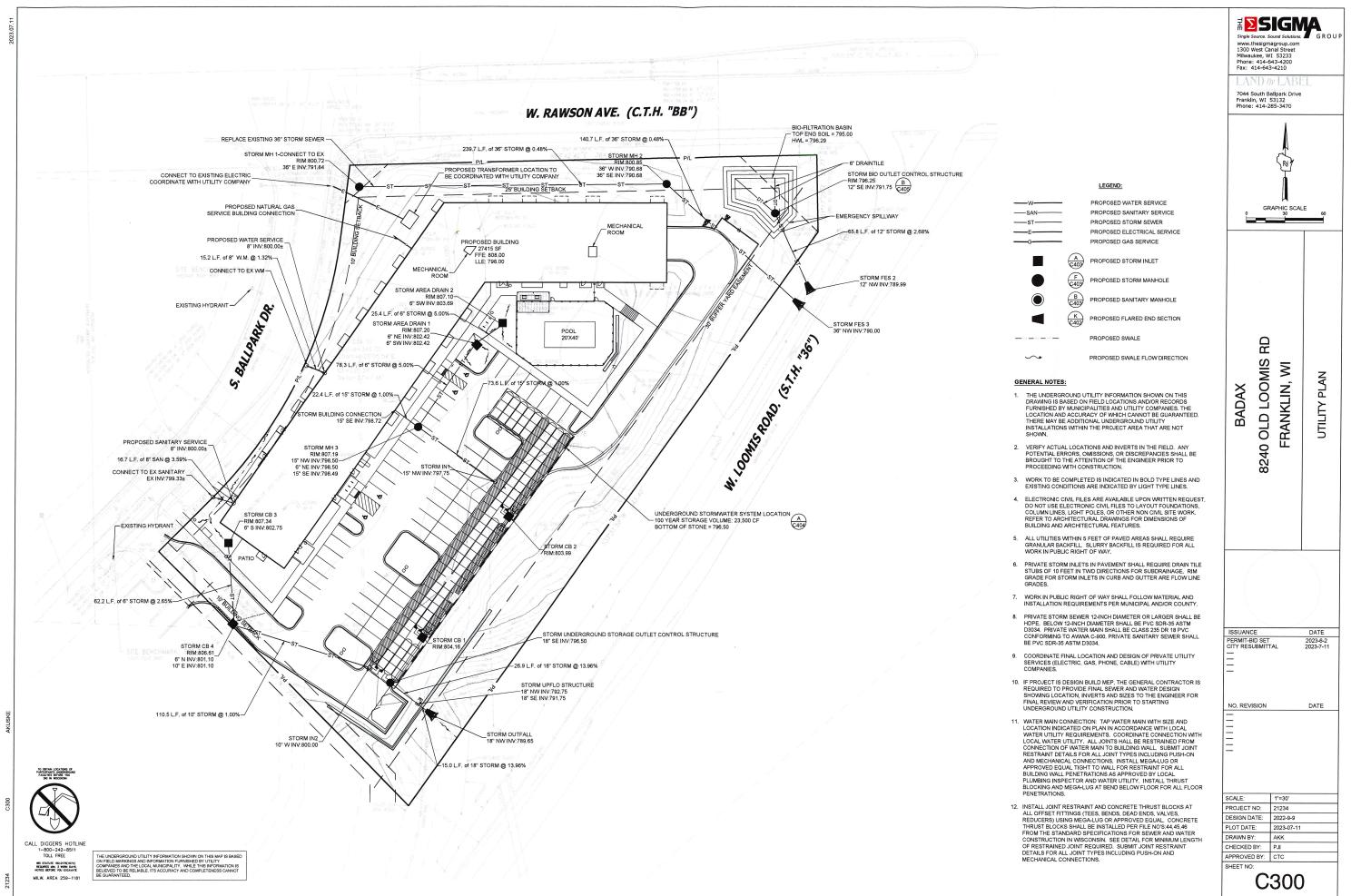
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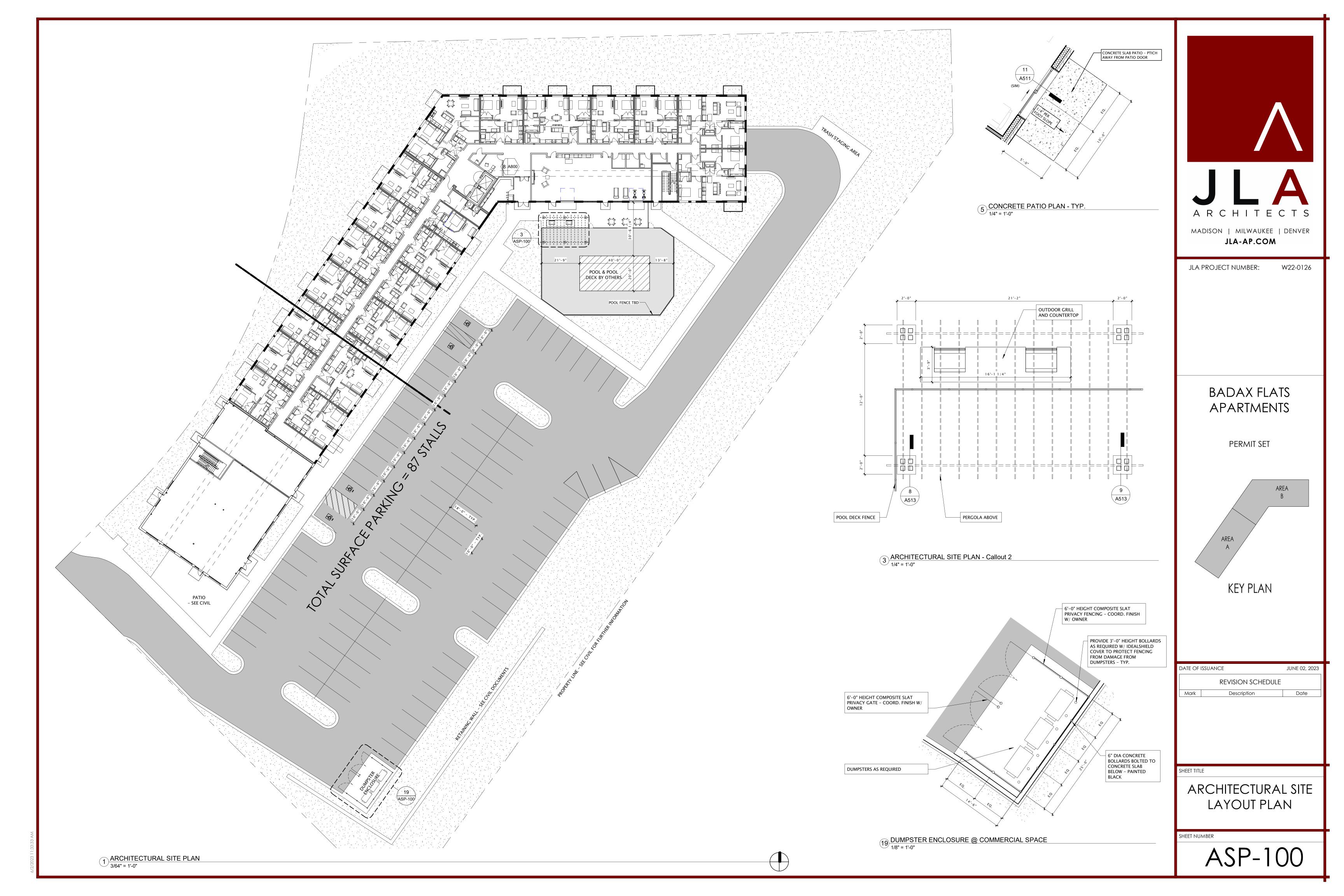
AD,

ISSUANCE DATE PERMIT-BID SET 2023-6-2 CITY RESUBMITTAL 2023-7-11

DATE NO. REVISION

1"=30' SCALE: PROJECT NO: 21234 DESIGN DATE: | 2022-9-9 PLOT DATE: 2023-07-11 DRAWN BY: AKK CHECKED BY: | PJI APPROVED BY: CTC







REPORT TO THE PLAN COMMISSION

Meeting of March 3, 2022

SPECIAL USE/SITE PLAN

RECOMMENDATION: City Development Staff recommends the following: (1) Recommend approval of the special use application, and (2) Approve the site plan, subject to conditions contained in the draft Resolution.

Property Owner: CCM-9801 27th Franklin LLC

Applicant: Fiduciary Real Estate Development, Inc.

Property Address/Tax Key Number: 9801 S. 27th Street/902-9965-006

9605 S. 29th Street/902-9966-001

Aldermanic District: District 4

Agent: Anthony DeRosa, Fiduciary Real Estate Development, Inc.

Zoning District: B-4 South 27th Street Mixed Use-Commercial

R-3 Suburban/Estate Single-Family Residence

South 27th Street Design Overlay

Use of Surrounding Properties: West: Residential zoned R-3

South: Medical office and hospital zoned B-7, Small scale

business/service uses zoned B-4

North: Floodplain and hotel zoned PDD-33

East: Business/industrial uses zoned M-1 (City of Oak Creek)

Special Use Request: To permit a 252-unit apartment complex on 24.12 acres in the

B-4 South 27th Street Mixed Use-Commercial District.

Site Plan Proposal: To permit construction of 252 apartment units in 12 buildings

and a clubhouse and pool, with attached and detached garage facilities, a grill station, a dog park, a maintenance garage, and necessary utility and stormwater facilities (in concept

form).

Staff Planner: Heath Eddy, AICP, Planning Manager

APPLICANT'S REQUEST

The applicant is requesting approval of (1) a Special Use to permit development of 252 apartment units on a property located in the B-4 South 27th Street Mixed Use-Commercial District, and (2) a Site Plan to permit construction of 252 apartment units in 12 buildings, along with associated parking, detached parking garages, a clubhouse and pool, grill station area, and dog park for residents only. The mix of residential units is 30 studio units, 96 one-bedroom units, 102 two-bedroom units, and 24 three-bedroom units.

The applicant is further requesting approval for a Natural Resource Features Special Exception (NRSE) under a separate review by Department staff. That application was filed subsequent to the requests under review here, and was delayed in part because the applicant was working to secure the General Permit for disturbance of wetland on-site, which was approved by WDNR staff under docket GP-SE-2021-41-04248 on December 23, 2021 (see attached). The NRSE application was filed with the Department of City Development originally on January 10, 2022, and staff has finished completeness review and routed the application materials for departmental reviews.

While it is unusual for an applicant to request separate and prior action on a Site Plan application, in particular, before the particulars of the NRSE are factored into the Site Plan, the applicant believes the design revisions made to secure WDNR approval materially reduce the impact that NRSE approval requires, and therefore the Site Plan would not be significantly altered subsequently. Staff expressed concern with this approach, and informed the applicant of such particularly with respect to the Site Plan; nevertheless the applicant requested moving forward. Staff believes the Plan Commission can proceed with the public hearing and discussion of the special use request and a review of the Site Plan application as it is currently designed.

CHARACTER OF THE SITE AND SURROUNDING AREA

The subject property is a former landscaping business known as Nature's Nook, and currently contains the former commercial building along with available parking on-site, and the remainder disturbance areas of outdoor storage of landscaping materials. The property has been variably commercial in orientation, though the extent of use of the property included the wetland complex on the east half of the property. The disturbance authorized by the Wetland General Permit, as mentioned above, is limited to approximately 653 square feet of total wetland disturbance that was already previously disturbed with small culvert-like overpasses due west of the existing commercial building. The applicant's current Site Plan design reflects these two cross-over areas.

The attached Natural Resource Protection Plan shows that there is a 2.22-acre wetland complex located primarily on the east-northeast side of the site adjacent to a County-owned former gas station and near South 27th Street (STH 241). Combined with the required wetland buffer and setback, a total of 5.64 acres of the property is listed for natural resource protection, prior to official approval of the NRSE. This wetland and wetland protection area bisects the site from northeast to southwest, and is linked to a conservancy area located southwest of the site (west of South 31st Street). The subject property further contains 5.14 acres of woodland, most of which does not co-exist with the wetland areas. Therefore, the applicant is constrained in terms of designing the site in order to comply with the City's natural resource protection standards. Furthermore, Wetland General Permit approval does give the applicant reason to believe the proposed design of their development is worthy of support and approval.

The surrounding area includes a set of variable uses and protection areas. Immediately north of the site is a conserved floodplain area for Oak Creek, north of which is a hotel and commercial uses located along Ryan Road (STH 100). The area east of South 27th Street is the Southbranch Industrial Park in the City of Oak Creek. The area immediately southeast includes a former residence and a software development company, while due south is the Ascension Hospital and medical park area. The major influence on the site from a buffering perspective are the row of single-family residences fronting South 31st Street, which are west of the subject property.

DESCRIPTION OF THE APPLICATION

On September 14, 2021, the applicant submitted applications for a Site Plan and a Special Use, and contemporaneous to these applications the applicant requested an exemption to the wetland requirements from WDNR. Following denial of the exemption request, the applicant filed the General

Permit application with WDNR, and following some revisions to comply with the WDNR justification requirement and the alternatives analysis, the WDNR issued the General Permit with the limited wetland disturbance as shown on the attached NRPP.

The application site is approximately 24 acres in size, and the application request for 252 apartment units reflects a total density of 10.5 units/acre. While this is generally larger than the baseline "permitted" density of 8 units/acre, staff notes the City has previously approved multi-family development with higher densities than were listed in base zoning districts such as R-8 or B-4 (most recently the Statesman Apartments north of the subject property). Staff notes that the usual impetus for approving densities is due to a redevelopment condition or removing a perceived "eyesore." In this case, the applicant is proposing a redevelopment of a defunct landscaping business site, along with proposed acquisition of the small gas station site along South 27th Street for redevelopment purposes. While the commercial portion of the Conceptual Site Plan is not specifically included in this request, it demonstrates that the applicant is aware of the property's surroundings and is seeking to improve these conditions.

The applicant proposes developing the site with 12 apartment buildings, in 20-unit and 24-unit combinations, which would include a series of studio, one-bedroom, two-bedroom, and three-bedroom units. The applicant's Detailed Proposed Description for "The Seasons at Franklin" is attached for further information.

PROJECT ANALYSIS:

There are a few existing constraints to the property that impact the design and development of this project.

- 1. Wetland Impacts and NRSE Application. The applicant submitted the NRSE application initially on January 10, 2022. The applicant supplemented this application with additional information on January 28, 2022. The proposed Site Plan relies on approval of the NRSE requests in order to develop the site. As noted above, the Wetland General Permit has been issued by WDNR and permits disturbance of 653 square feet of wetland in two areas, which are at interior drive-lane crossings. Additional impact to the wetland buffer and setback are requested, in the vicinity of the wetland crossings. Staff anticipates no major issues with this request, though the timing will be delayed relative to the Special Use/Site Plan applications.
- 2. Landscaping Requirements. Staff believes the proposed design is in general compliance with the intent of the landscaping requirements in UDO Division 15-5.0300. However, it should be noted that the requirements are very difficult to meet: a total of 3.5 trees (shade, evergreen, and decorative/ornamental) plus 3 shrubs per dwelling unit. If this were a high-rise development it would require the planting of a forest to accommodate this requirement. If the proposed development were at the standard maximum density of 8 units/acre, it would require 28 trees and 24 shrubs per acre. Conversely, the Division does permit credit for existing trees on-site, with full credit in the non-Bufferyard areas and half credit in the western Bufferyard. The credit is applied to each healthy tree 6 feet or taller. NO ONE evaluates non-evergreen trees based on height. This is a subject for further review and amendment under the UDO Rewrite Project. Suffice to say, staff believes the applicant is generally compliant pending final submission and sign-off of detailed inventory of the trees located on the subject property.
- 3. **Access Design.** The proposed design identifies a single driveway from South 27th Street (STH 241) to enter the site. This design has been evaluated by WisDOT and the preliminary conclusion is that it complies with engineering requirements for access, and further that the anticipated traffic to and from the site does not warrant a traffic signal at this location. Staff notes a secondary "emergency" access was requested by the City Engineer, which is currently

located at the northern lot line adjacent the defunct gas station site, and is the driveway entrance to the former residence located on the adjacent lot at 9605 S. 31st Street. The applicant indicated that this driveway could be retained as an emergency access, though the Site Plan and Landscape Plan do not specifically call for maintaining this driveway west of the commercial site along South 27th Street.

UNIFIED DEVELOPMENT ORDINANCE REQUIREMENTS

Special Use and Site Plan Applications are subject to the following provisions of the UDO. Subject to the development conditions of approval, the Special Use and Site Plan shall meet these standards:

- §15-3.0701 General Standards for Special Uses
- §15-7.0102 Principles and Standards of Review, Site Plans

GENERAL STANDARDS FOR SPECIAL USES (§15-3.0701)

Summary of Standard		Staff's Finding
1.	Harmony with UDO and Comprehensive Plan purposes and intent.	The applicant's proposal would significantly redevelop a site that is a perceived "eyesore" and could spur additional development or redevelopment in the vicinity adjacent to South 27 th Street. This is in keeping with the intent of the South 27 th Street Design Overlay, and consistent with the purpose and intent of the <i>City of Franklin 2025 Comprehensive Master Plan</i> .
2.	No Undue Adverse Impact.	The evaluation of "undue adverse impact" can be subjective. In the context of this use, the applicant's proposal does maintain an existing bufferyard of young and mature woodlands, which should mitigate the shift in density from the single-family neighborhood west of the site. Other uses in the area are commercial, hospitality, service-oriented, or industrial in character, and the proposed use is designed to fit into this location.
3.	No Interference with Surrounding Development.	The proposed design is limited to 2-story facades and buildings are a maximum of 24 apartment units. The arrangement of units is designed to fit the vast majority of units into the "long" side of the site. Therefore the proposed use should not interfere or dominate adjacent properties.
4.	Adequate Public Facilities.	The proposed development will be served by City water and regional sewer services, and should have ready availability for emergency services, fire, and police protection.
5.	No Traffic Congestion.	The proposed development is designed for single-access from South 27 th Street (STH 241), a 4-land arterial. It is noted that WisDOT did not believe the development was large enough to require additional signalization along this arterial roadway, even coupled with the linked access to Southbranch Boulevard to the east.
6.	No Destruction of Significant Features.	The proposed design is intended to limit the amount of disturbance of wetland in keeping with the approved Wetland General Permit. Further disturbance includes approximately 50% of young woodland and 28% of mature woodland, which are within the limits of the UDO Natural Resource Protection.
7.	Compliance with Standards.	The proposed use complies with the requirements of the R-8 Multiple-Family Residence District, except with respect to project density. The Common Council can approve an increase in density under the provisions of Special Use approvals, if found that the project density would result in a better design or would mitigate and existing issue or circumstance. Redevelopment of a vacant, overgrown commercial site with attractive residential uses and open space protections could be such a situation.

PRINCIPLES AND STANDARDS OF REVIEW OF SITE PLANS (§15-7.0102)

Summary of Standard	Staff's Finding	
A. Conformity of Use to Zoning Distri	The proposed use is a Special Use in the B-4 District.	
B. Dimensional Requirements.	The proposed development complies with all dimensional requirements for the proposed use.	
C. Site Intensity and Site Capacity Calculations to be Reviewed.	The proposed development complies with the limitations of the B-4 District.	
D. Use and Design Provisions.	The proposed development complies with all use and design provisions for multi-family development with the exception of project density, which may be increased by the Common Council under the Special Use review process.	
E. Relation to Existing and Proposed Streets and Highways.	The applicant has contacted WisDOT for permitting of access for this development. A Condition of Approval requiring submission of the WisDOT access permit prior to building permit issuance is included in the Resolution.	
F. Impacts on Surrounding Uses.	The proposed development is designed to focus traffic ingress/egress, along with locating facilities such that impacts on surrounding uses should be minimal.	
G. Natural Resource Features Protection.	The required NRPP has been submitted and reviewed. Staff notes that the applicant makes use of existing woodland along the west property line as an effective bufferyard against adjacent single-family uses. The applicant has filed for NRSE review and approval for disturbance of wetland, wetland buffer and wetland setback. This review is forthcoming, and a Condition of Approval stipulating that Site Plan approval is conditioned on approval of an NRSE for these impacts is included in the attached draft Resolution.	
H. Required Landscaping and Landscape Bufferyards.	The proposed development generally meets the requirements with respect to landscaping and required bufferyards. A Condition of Approval requiring follow-up submission of documentation specifying tree species locations, types and preservation methods, along with full compliance with UDO Division 15-5.0300 is included in the attached draft Resolution.	
I. Provision of Emergency Vehicle Accessibility.	The proposed development design incorporates accessibility for emergency purposes and provides accessible spaces in compliance with the ADA.	
J. Building Location.	The proposed development design is modeled to locate buildings in places that minimize existing natural resources as much as possible, and maintains existing woodland areas in locations that buffer existing residential uses from development of the subject property.	
K. Location and Design of On-Site Waste Disposal and Loading Facilities.	On-site waste disposal facilities are located central to the development utility and not located in the peripheral areas where adjoining properties would be impacted.	

L. Consistency with Intent of UDO.	The proposed development is consistent with the intent and purposes of the UDO, in particular UDO §15-1.0104 subparts A, B, C, D, E, F, G, H, I, J, K, N, O, and T.
M. Consistency with Intent of Comprehensive Plan.	The proposed development is consistent with the intent of the City of Franklin 2025 Comprehensive Master Plan, particularly in terms of scale, density, and location of proposed development.
N. Determination of "Suitability" of Site.	There is no evidence that the subject property is "unsuitable" for development at the orientation and scale of the proposed development.

Natural Resource Protection Plan

The applicant is aware of the limits of approval under the Wetland General Permit. Additional approval of the NRSE is necessary for temporary or permanent disturbance or filling of the wetland and wetland buffer, and for permanent changes to the wetland setback. Should the Plan Commission choose to render a decision on the Site Plan Application, a condition of approval is included stating that an approval of the Site Plan is conditional on approval of the NRSE Application by the Common Council.

OTHER DEPARTMENT REVIEW COMMENTS

Engineering Department

- 1. Use South Zone NAD 83 datum as specified on the proposed plans.
- 2. The stormwater management facilities must meet the requirements of the City of Franklin stormwater management plan (UDO Division 15-8.0600).
- 3. If the water main is dedicated (approved by the WDNR) to the City by an easement, the proposed water main must be looped, having two connections at the water main on South 27th Street. The said City water main must comply with City Design Standards & Construction Specifications.
- 4. Engineering highly suggests having two access points at South 27th street.
- 5. The access to South 27th Street (STH 241) must be reviewed and approved by the WisDOT. A copy of said approval must be provided to the City Engineering Department (and a copy with the Department of City Development).
- 6. Engineering recommends a pedestrian sidewalk along South 27th Street.
- 7. The driveway entrance must be designed to accommodate the turning of trucks and busses. A turning exhibit shall be provided by the applicant demonstrating that the driveway access is sufficient to accommodate larger vehicles.
- 8. The applicant must have a permit from the WisDOT to work in the South 27th Street right-ofway.
- 9. The applicant shall submit detailed construction plans for follow-up Engineering review.

Staff Comment: The above will be reflected in the Conditions of Approval in the Site Plan Resolution.

Health Department

- 1. **Dog Park.** Some concerns/questions from the Health Department perspective as we handle dog bites.
 - a) Will there be a master list of those in the building(s) that own dogs that utilize the dog

- park? Will the Health Department have the ability to review this list should there be a bite that occurs at this park? Will it be open to anyone that doesn't reside on the property?
- b) Will there be a requirement that all animals that use the dog park be up to date on rabies vaccine and have valid municipal license?
- c) Will animals within the enclosure be allowed off leash?
- d) Will there by information supplied to those that frequent the park that animal bites are reportable to both the Health Department and Police Department and any animal involved in a bite will be subject to a 10-day quarantine including up to 3 veterinarian visits? Unprovoked bites and/or serious bites may lead to declaration of dangerous or vicious animal per Municipal Code § 80-9.
- e) Will animals that bite (whether provoked or unprovoked) be allowed to continue using the park?
- f) How will animal waste inside the park be disposed of?
- 2. If this property includes any pools as defined in ATCP 76, proper plan review by DSPS and licensing must occur.

Staff Comment: The Health Department comments are normally reflected in the Condition of Approval that relates to "compliance with City Code," but staff has incorporated two conditions to the Site Plan Resolution reflecting these requirements.

Fire Department

The Fire Department has no comments regarding this project.

Police Department

The police department has no comment regarding this project.

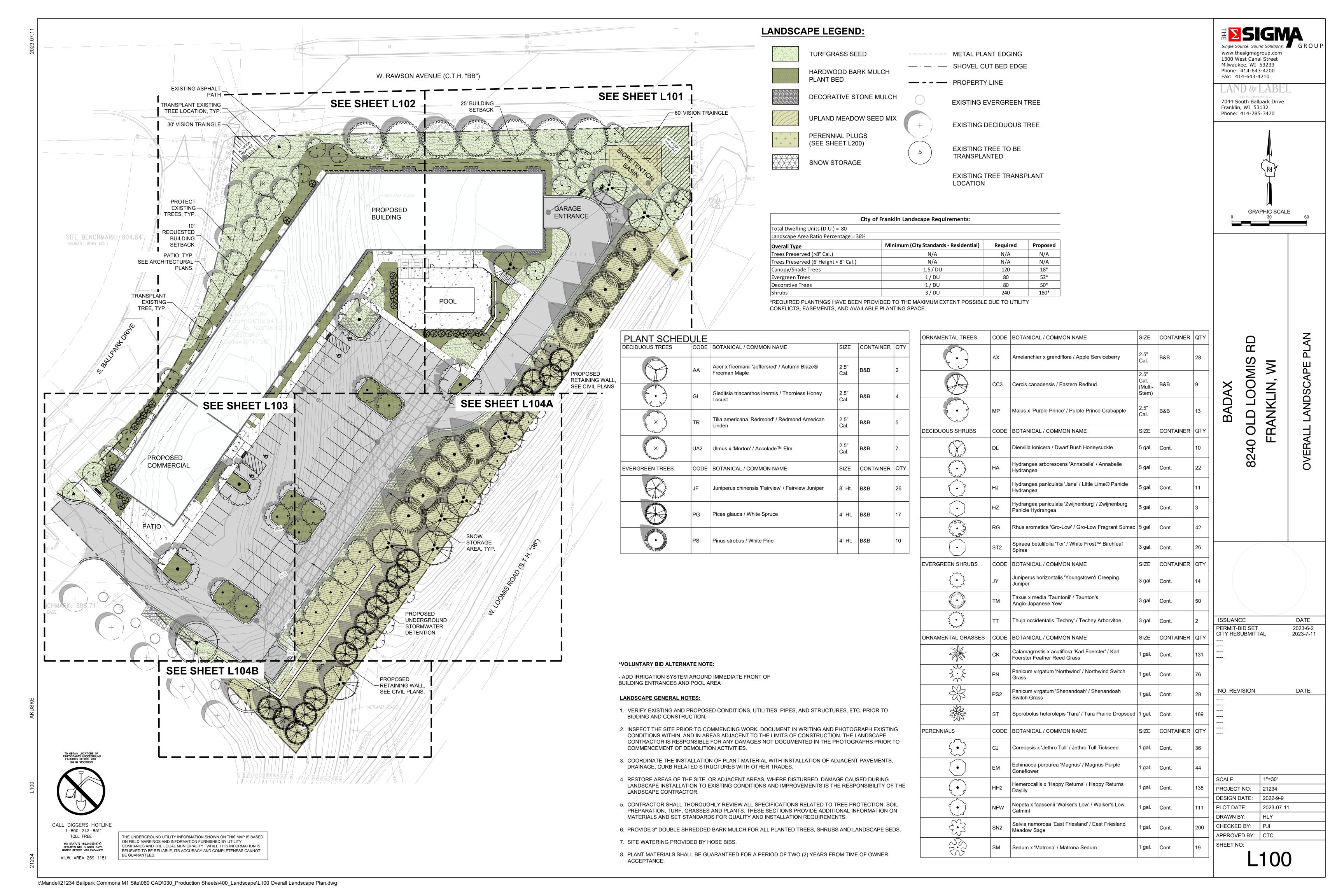
Inspection Services Department

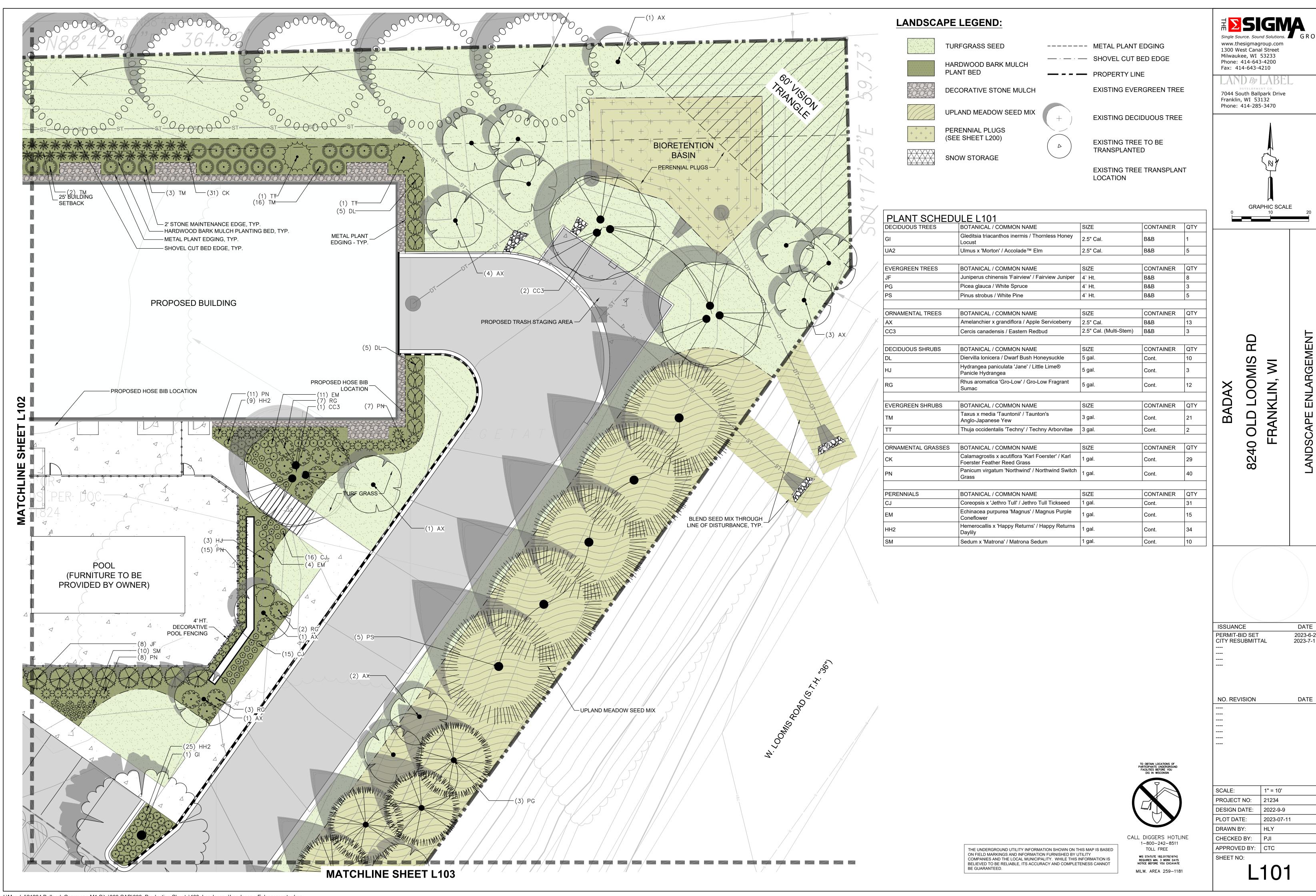
Inspection Services has no comments on the subject proposal at this time.

STAFF RECOMMENDATION

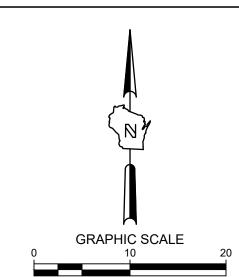
The Department of City Development staff recommends as follows:

- (1) That the Plan Commission recommend approval of the Special Use based on the conditions included in the draft Common Council Resolution, including the total number and density of multi-family residential units on the subject property, which recommendation will be considered by the Common Council at a future date; and
- (2) Approve the Site Plan, subject to the conditions in the draft Site Plan Resolution.

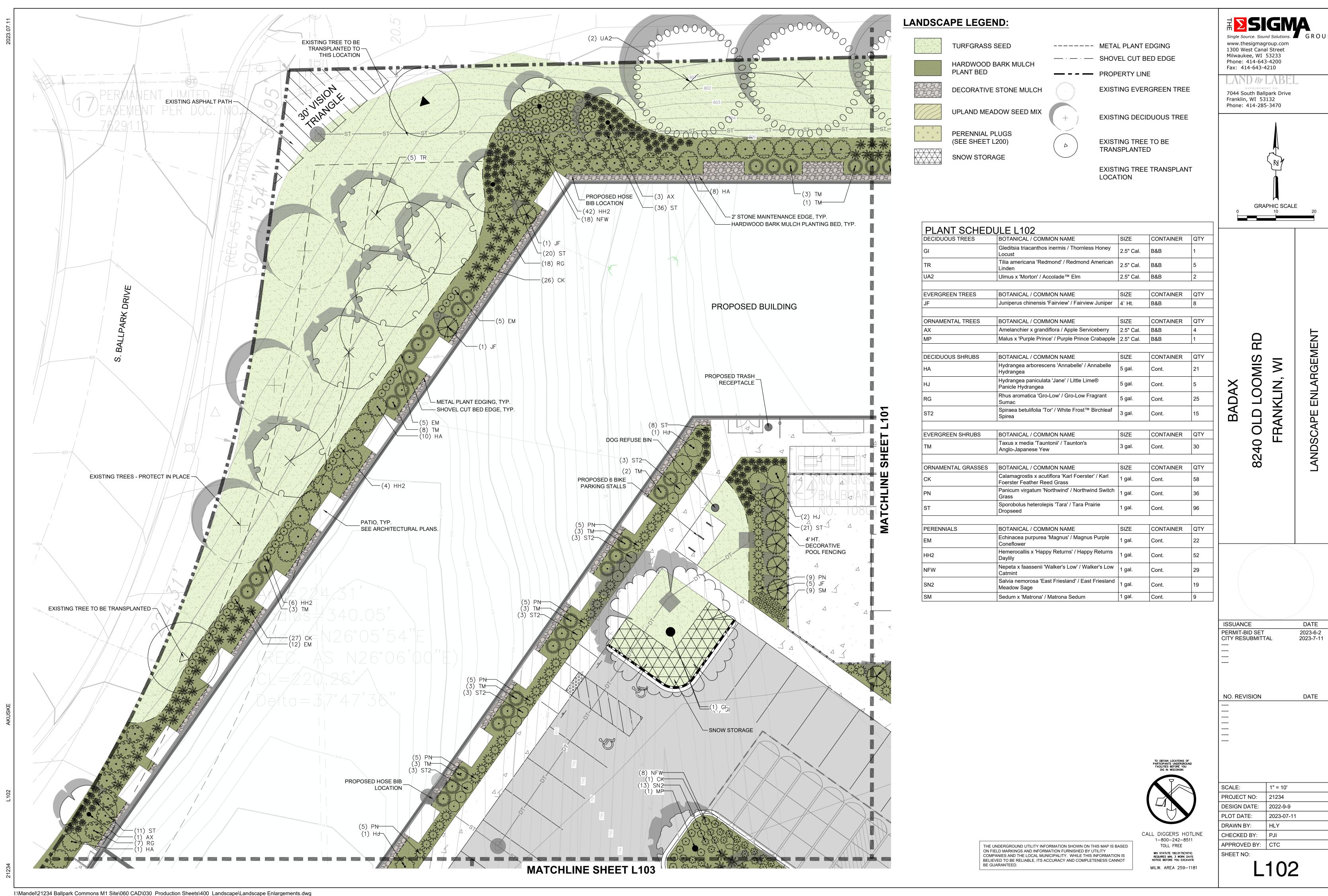




I:\Mandel\21234 Ballpark Commons M1 Site\060 CAD\030_Production Sheets\400_Landscape\Landscape Enlargements.dwg



DATE 2023-6-2 2023-7-11





LANDSCAPE LEGEND:

TURFGRASS SEED

HARDWOOD BARK MULCH PLANT BED

PERENNIAL PLUGS (SEE SHEET L200)

SNOW STORAGE

DECORATIVE STONE MULCH

UPLAND MEADOW SEED MIX

ILCH — -

— · — · — SHOVEL CUT BED EDGE

PROPERTY LINE

---- METAL PLANT EDGING

EXISTING EVERGREEN TREE

EXISTING DECIDUOUS TREE

EXISTING TREE TO BE TRANSPLANTED

EXISTING TREE TRANSPLANT LOCATION

PLANT SCHEDULE L103 BOTANICAL / COMMON NAME SIZE |CONTAINER |QTY Acer x freemanii 'Jeffersred' / Autumn Blaze® 2.5" Cal. Freeman Maple Gleditsia triacanthos inermis / Thornless Honey 2.5" Cal. CONTAINER QTY EVERGREEN TREES BOTANICAL / COMMON NAME SIZE Juniperus chinensis 'Fairview' / Fairview Juniper 4` Ht. 11 ORNAMENTAL TREES BOTANICAL / COMMON NAME SIZE CONTAINER QTY Amelanchier x grandiflora / Apple Serviceberry 2.5" Cal. | Malus x 'Purple Prince' / Purple Prince Crabapple | 2.5" Cal. | B&B BOTANICAL / COMMON NAME CONTAINER QTY DECIDUOUS SHRUBS SIZE Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea Hydrangea paniculata 'Jane' / Little Lime® Panicle Hydrangea Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Spiraea betulifolia 'Tor' / White Frost™ Birchleaf EVERGREEN SHRUBS BOTANICAL / COMMON NAME SIZE CONTAINER QTY Juniperus horizontalis 'Youngstown' / Creeping Juniper ORNAMENTAL GRASSES | BOTANICAL / COMMON NAME SIZE CONTAINER QTY Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass Panicum virgatum 'Northwind' / Northwind Switch 1 gal. Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass Sporobolus heterolepis 'Tara' / Tara Prairie PERENNIALS BOTANICAL / COMMON NAME SIZE CONTAINER QTY Coreopsis x 'Jethro Tull' / Jethro Tull Tickseed 1 gal. Echinacea purpurea 'Magnus' / Magnus Purple

Hemerocallis x 'Happy Returns' / Happy Returns

Nepeta x faassenii 'Walker's Low' / Walker's Low

Salvia nemorosa 'East Friesland' / East Friesland

Meadow Sage

OBTAIN LOCATIONS OF TICIPANTS UNDERGROUND CILITIES BEFORE YOU DIG IN WISCONSIN



THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

Single Source. Sound Solutions. GROU
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

LAND BY LABEL

DEVELOPMENT CO.
7044 South Ballpark Drive
Franklin, WI 53132
Phone: 414-285-3470

GRAPHIC SCALE
0 10 20

8240 OLD LOOMIS RD FRANKLIN, WI

ISSUANCE DATE
PERMIT-BID SET 2023-6-2
CITY RESUBMITTAL 2023-7-11

NO. REVISION DATE

 SCALE:
 1" = 10'

 PROJECT NO:
 21234

 DESIGN DATE:
 2022-9-9

 PLOT DATE:
 2023-07-11

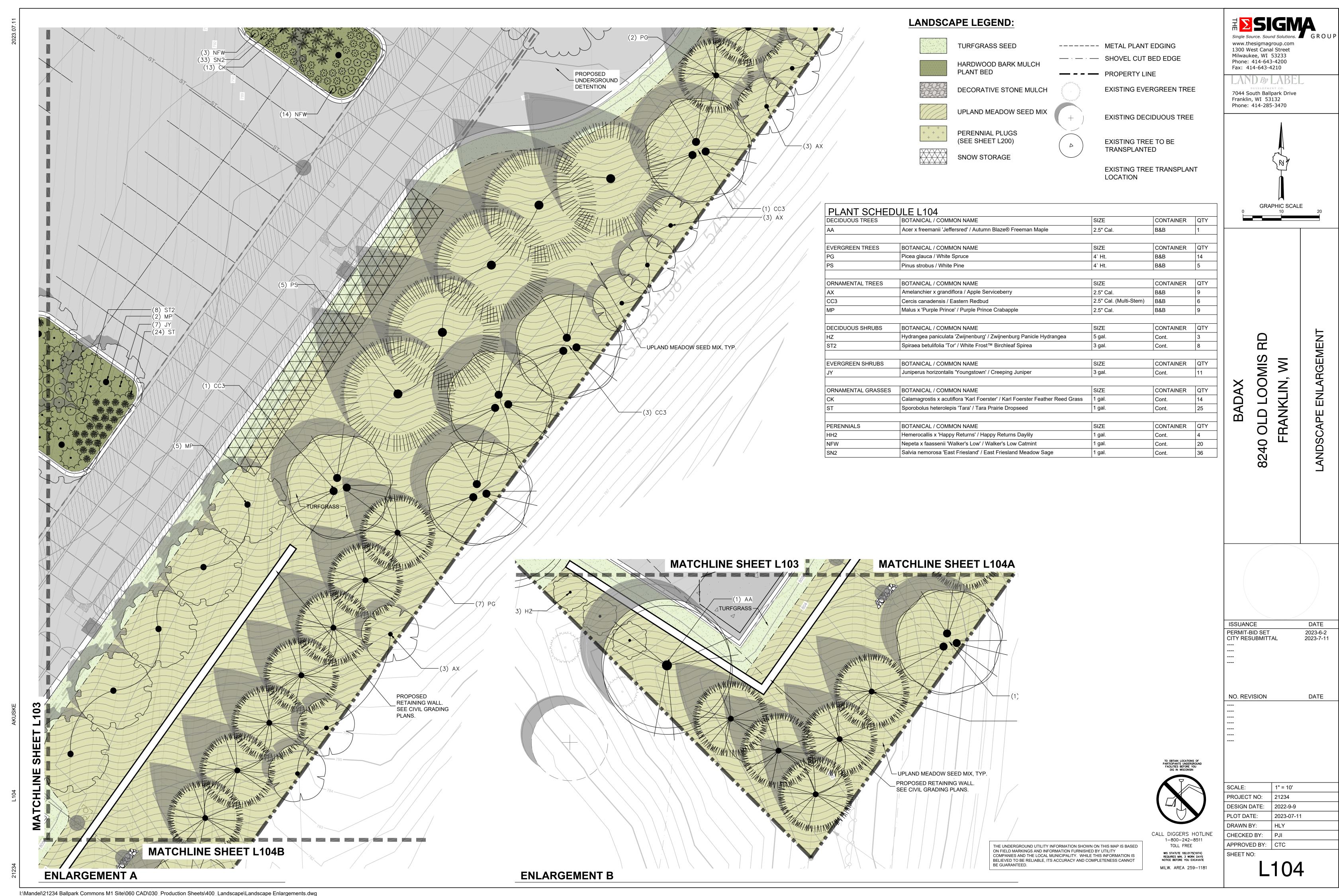
 DRAWN BY:
 HLY

 CHECKED BY:
 PJI

 APPROVED BY:
 CTC

 SHEET NO:

L103



TREE PIT WIDTH - 2X BALL

DIAMETER MINIMUM, OR FULL

EXTENTS OF PLANTING BED

TREE PLANTING

EQUAL EQUAL EQUAL

D=DIMENSION OF PLANT SPACING AS

INDICATED ON PLANT LIST, PLAN VIEW

PLANT SPACING

SCALE: 1"= 1'-0'

- 1. PLANT EACH TREE SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- 2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
- 3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE THE WIRE BASKET ENTIRELY. REMOVE ALL TWINE, ROPE,
- AND BURLAP COMPLETELY FROM ALL ROOT BALLS.
- 5. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
- 6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
- 7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN $\frac{1}{3}$ OF THE ORIGINAL PLANT MASS.

KEYED LEGEND

- 1 3" DEPTH SHREDDED HARDWOOD BARK MULCH. PROVIDE 4'-0" DIAMETER MULCH RINGS AT THE BASE OF ANY TREES PLANTED IN LAWN.
- PROVIDE SPADED EDGE, 2" WIDE, 6" DEEP FOR ENTIRE PERIMETER OF BARK MULCH RINGS AT BASE OF TREES PLANTED IN LAWNS
- 3 > PLANTING SOIL, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED.
- 4 PREPARED SUBGRADE

 SET FINISH GRADE OF PLANTING AREA 2" BELOW FINISH SURFACE OF PAVING, CURB, OR HEADER

SEE PLANTING SCHEDULE FOR SPACING OF ALL

EQUAL SPACING (TRIANGULAR) UNLESS

OTHERWISE INDICATED ON PLANS.

ALL SHRUBS / GROUNDCOVER TO BE PLANTED AT

TO DETERMINE APPROPRIATE PLANT QUANTITIES

REFER TO THE PLANTING SCHEDULE OR PLAN.

 \langle 1 angle EDGE OF ADJACENT PAVEMENT

(2) SHRUB, PERENNIAL OR ORNAMENTAL

GRASS PLANT CENTER LOCATION

SHRUBS AND GROUNDCOVERS

KEYED LEGEND

TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT

1. MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING TO LOOSEN POT-BOUND ROOTS.

- 2. PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- 3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
- 4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
- 5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
- 6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
- 7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN $\frac{1}{3}$ OF THE ORIGINAL PLANT MASS.
- 8. SEGREGATE ANY SOIL FROM BELOW WARNING LAYER EXCAVATED DURING PLANTING FOR OFF-SITE DISPOSAL. COORDINATE DISPOSAL WITH ENVIRONMENTAL
- 9. FOR SHRUBS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD $\frac{1}{2}$ " MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.

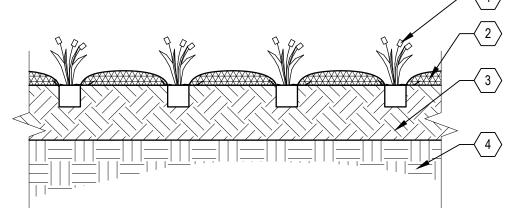
KEYED LEGEND

- 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 2" CLEAR OF STEMS
- PLANTING SOIL AS SPECIFIED, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS **VOLUME FOR** THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND PERIMETER
- 4 PREPARED SUBGRADE
- (5) TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT

WIDTH VARIES - SEE PLAN -

KEYED LEGEND

- \langle 1 \rangle PERENNIAL, ORNAMENTAL GRASS, OR GROUNDCOVER PLUG, SEE LANDSCAPE PLAN SHEETS L100-L104
- 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 3" CLEAR OF STEMS
- (3) PLANTING SOIL, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 4 PREPARED SUBGRADE



PERENNIAL PLANTING

$\langle 1 \rangle$ 3" DEPTH OF MULCH LAYER

KEYED LEGEND

- ⟨ 2 ⟩ SHRUB PLANTING BED
- (3) LAWN ADJACENT TO PLANTING BED
- 4 4 45 DEGREE ANGLE SHOVEL CUT EDGE TOWARD PLANTING BED
- (5) COMPACTED SUBGRADE

PLANTING PIT WIDTH - 2X BALL

DIAMETER MINIMUM, OR FULL

EXTENTS OF PLANTING BED

FABRIC, CUT A

BALL MASS IN

SHOVEL CUT EDGE

INSTALL PERENNIALS AND GRASSES PER

AFTER INSTALLING EROSION CONTROL

SMALL OPENING THE SIZE OF THE ROOT

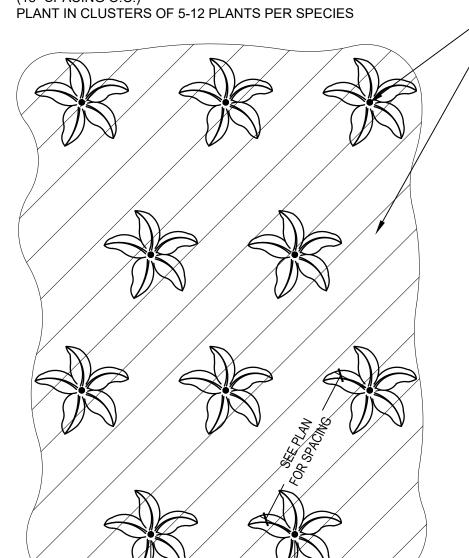
THE EROSION CONTROL FABRIC TO

PLANT EACH INDIVIDUAL PLANT.

KEYED LEGEND

- √ 1
 → BIOFILTRATION BASIN PERENNIAL PLUGS (SEE PERENNIAL PLUGS PLANT LIST)
- 2 STRAW MULCH

PERENNIAL PLUG SPACING
1 PLUG PER 2.25 SQUARE FEET (18" SPACING O.C.)



SEE PLAN

FOR SPACING

BIORETENTION BASIN PLANTING

PLAN VIEW

SCALE: 1"= 1'-0"

SECTION VIEW

KEYED LEGEND

- BIOFILTRATION BASIN PLANTING (SEE PERENNIAL PLUGS PLANT LIST)
- 2 BIODEGRADABLE EROSION CONTROL MATTING ON BOTTOM AND SLOPES OF BASIN
- (3) ENGINEERED SOIL MIX SEE CIVIL FOR DEPTH
- 4 STONE STORAGE LAYER SEE CIVIL FOR DEPTH
- 6 PREPARED SUBGRADE

 $\langle 5 \rangle$ PVC DRAIN TILE, SEE CIVIL PLAN.

Quantity | Size **Botanical Name** Common Name Comments Tapered 18" O.C. in clusters of 5-12 | Asclepias incarnata | Marsh Milkweed 32.00 | plants per species 18" O.C. in clusters of 5-12 Tapered | Aster Novae-angliae | New England Aster | 64.00 plants per species 18" O.C. in clusters of 5-12 Tapered Common Fox Carex stipdata Sedge 32.00 plants per species Tapered 18" O.C. in clusters of 5-12 Carex vulpinoidea Brown Fox Sedge plants per species 64.00 Tapered 18" O.C. in clusters of 5-12 Spotted Joe Pye Eupatorium plants per species Weed 64.00 maculatum Round 18" O.C. in clusters of 5-12 Tapered Helenium plants per species 64.00 autumnale Sneezeweed **Tapered** 18" O.C. in clusters of 5-12 Marsh Blazingstar 64.00 Liatris spicata plants per species Tapered 18" O.C. in clusters of 5-12 64.00 plants per species Cardinal Flower Lobelia cardinalis 18" O.C. in clusters of 5-12 Tapered Monarda fistulosa Wild Bergamot 64.00 plants per species Tapered 18" O.C. in clusters of 5-12 Panicum virgatum Switchgrass plants per species 64.00 18" O.C. in clusters of 5-12 Tapered Ratibida pinnata plants per species Yellow Coneflower | 64.00 18" O.C. in clusters of 5-12 Tapered Black-Eyed Susan plants per species 64.00 Rudbeckia hirta Round Tapered 18" O.C. in clusters of 5-12 Scirpus atrovirens plants per species Dark-Green Bulrush | 64.00 18" O.C. in clusters of 5-12 Tapered plants per species Scirpus cyperinus 64.00 Wool Grass 18" O.C. in clusters of 5-12 Tapered Spartina pactinata | Prairie Cordgrass plants per species 64.00 18" O.C. in clusters of 5-12 Tapered Tradescantia Ohio Spiderwort plants per species ohiensis 64.00 18" O.C. in clusters of 5-12 Tapered plants per species 32.00 Verbena hastata Blue Vervain

Vernonia

fasciculata

MIS 0 0

IDSIGMA

www. the sigma group. com1300 West Canal Street

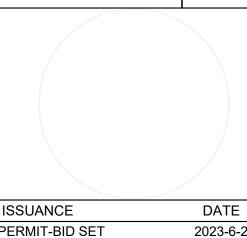
7044 South Ballpark Drive

Franklin, WI 53132

Phone: 414-285-3470

Milwaukee, WI 53233

Phone: 414-643-4200 Fax: 414-643-4210



DATE 2023-6-2 CITY RESUBMITTAL 2023-7-11

DATE

NO. REVISION

SHEET NO:

18" O.C. in clusters of 5-12

plants per species

Tapered

32.00

Ironweed

NTS SCALE: PROJECT NO: 21234 DESIGN DATE: 2022-9-9 PLOT DATE: 2023-07-11 DRAWN BY: HLY CHECKED BY: PJI APPROVED BY: CTC

L200

KEYED LEGEND

- $\langle 1 \rangle$ ADJACENT PLANTING BED
- (2) BLACK ANODIZED ALUMINUM EDGING
- 3 BUILDING FACE
- $\langle 4 \rangle$ 2-3" DEPTH STONE MULCH
- FILTER FABRIC, WRAP UP SIDES OF BUILDING AND EDGING
- 6 PREPARED SUBGRADE



VARIES, PER PLAN

7044 South Ballpark Drive Franklin, WI 53132 Phone: 414-285-3470

MIS 00 OLD

DE

AND

DATE ISSUANCE PERMIT-BID SET 2023-6-2 CITY RESUBMITTAL 2023-7-11

DATE

NO. REVISION

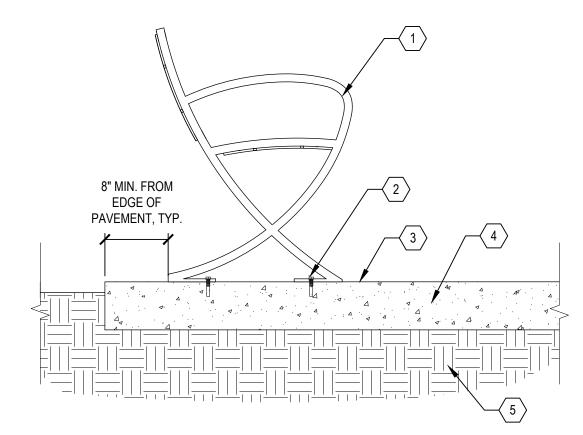
SCALE: NTS PROJECT NO: 21234 DESIGN DATE: | 2022-9-9 PLOT DATE: 2023-07-11 DRAWN BY: HLY CHECKED BY: PJI APPROVED BY: CTC

SHEET NO:

1. CONTRACTOR TO VERIFY FINAL LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

2. PAINT ALL HARDWARE TO MATCH BENCH COLOR. 3. BASIS OF DESIGN: MODEL#LIL-20CA-F 72" BACKED LILY BENCH WITH HORIZONTAL STEEL SLAT SEATING, BY

VICTOR STANLEY, GREY, SURFACE MOUNT, 4. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS 5. CONTRACTOR TO VERIFY FINAL LOCATION OF BENCHES AND ASSOCIATED CONCRETE PADS WITH LANDSCAPE



ARCHITECT PRIOR TO INSTALLATION.

KEYED LEGEND

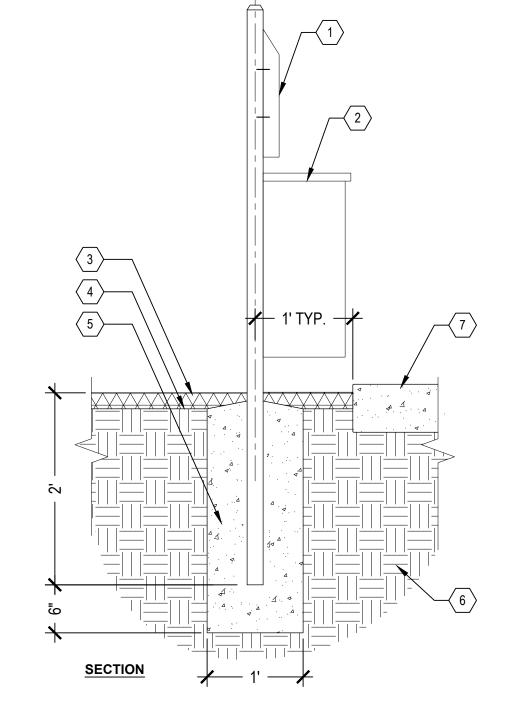
(1) LANDSCAPE BENCH

SURFACE MOUNT INSTALLATION, ANCHORED WITH ITT RAMSET/RED HEAD SRM 38 STAINLESS STEEL DROP-IN ANCHOR, 3/8" x 3" STAINLESS STEEL HEX BOLTS WITH 3/8" STAINLESS STEEL FLAT WASHER AND LOCK WASHER

(3) FINISH SURFACE

4 CONCRETE PAVING, SEE CIVIL

 \langle 5 \rangle COMPACTED SUBGRADE, SEE CIVIL



KEYED LEGEND:

(1) WASTE BAG DISPENSER

⟨ 2 ⟩ WASTE RECEPTACLE WITH LID

(3) BARK MULCH LAYER - REFER TO SPECIFICATIONS

 $\langle 4 \rangle$ FINISH GRADE

5 CONCRETE FOOTING WITH ½" RADIUS SMOOTH EDGE, SLOPE TOP 2% TO DRAIN

6 SUBGRADE

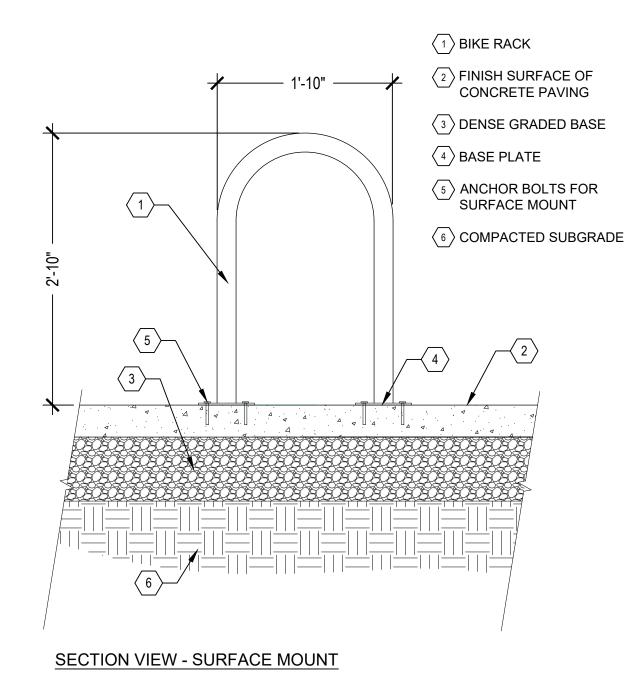
⟨ 7 ⟩ ADJACENT PAVING - REFER TO CONSTRUCTION PLANS FOR SIGN LOCATIONS

1. POST LOCATIONS TO BE STAKED IN THE FIELD PRIOR TO INSTALLATION. SEE L100-L104 FOR APPROXIMATE LOCATIONS

2. ALL HARDWARE AND FASTENERS TO BE PAINTED TO MATCH POST.

BENCH

DOG WASTE RECEPTACLE



BASIS OF DESIGN: 1 LOOP WAVE

STYLE BIKE RACK AS MANUFACTURED BY ULINE 2. COLOR AND FINISH: GALVANIZED BLACK POWDER COAT

3. MOUNTING: SURFACE MOUNT. 4. INSTALL PRE MANUFACTURER'S RECOMMENDATION.

5. BIKE STALLS SHALL BE A MINIMUM OF 2' BY 6'. PLACEMENT SHALL NOT RESULT IN A BICYCLE OBSTRUCTING A WALKWAY. RACKS SHALL BE SPACED MIN. 3'-0"

APART & 3'-0" FROM EDGE OF PAVEMENT

PLAN VIEW

2. PAINT ALL HARDWARE TO MATCH TRASH RECEPTACLE 3. BASIS OF DESIGN: MODEL#SDC-45 STEEL TRASH 4. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS SIDE ACCESS 1'-0" MIN. FROM EDGE OF PAVEMENT, TYP.

1. CONTRACTOR TO VERIFY FINAL LOCATION WITH

LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

RECEPTACLE BY VICTOR STANLEY, GREY, SURFACE

KEYED LEGEND (1) 45 GAL. TRASH RECEPTACLE

SURFACE MOUNT INSTALLATION, ANCHORED WITH ITT RAMSET/RED HEAD SRM 38 STAINLESS STEEL DROP-IN ANCHOR, 3/8" x 3" STAINLESS STEEL HEX BOLTS WITH 3/8" STAINLESS STEEL FLAT WASHER AND LOCK WASHER

(3) FINISH SURFACE

(4) CONCRETE PAVING, SEE CIVIL

 $\left\langle 5\right\rangle$ COMPACTED SUBGRADE, SEE CIVIL

BIKE RACK

TRASH RECEPTACLE

I:\Mandel\21234 Ballpark Commons M1 Site\060 CAD\030_Production Sheets\400_Landscape\Landscape Details.dwg

PLANTING QUALITY ASSURANCE

- PLANTS ARE TO BE INSPECTED UPON DELIVERY TO PROJECT SITE AND THE LANDSCAPE ARCHITECT OR OWNER'S PROJECT REPRESENTATIVE MAY REJECT ANY SPECIMENS NO LONGER MEETING THE SPECIFIED STANDARDS OR THAT HAVE BEEN DAMAGED IN TRANSIT.
- 2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY/HYBRID/CULTIVAR SPECIFIED. AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE SITE LOCATION. SPECIMENS NURSERY-DUG TO BE REPLANTED SHALL HAVE BEEN FRESHLY DUG AND PROPERLY PREPARED FOR PLANTING.
- SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM. COMPACTNESS AND SYMMETRY. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED
- OTHERWISE, AND SHRUBS WITH DAMAGED OR CUT MAINSTEM(S), WILL BE REJECTED. WITH A DAMAGED, CUT OR CROOKED LEADER, ABRASION OF BARK, SUNSCALD, FROST CRACK, DISFIGURING KNOTS, INSECTS (INCLUDING EGGS AND LARVAE) OR INSECT DAMAGE. CANKERS/CANKEROUS LESIONS OR FUNGAL MATS, MOLD, PREMATURELY-OPENED BUDS, OR CUTS OF LIMBS OVER 3/4" DIAMETER THAT ARE NOT COMPLETELY CALLUSED WILL BE REJECTED.
- SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, AND BE FREE FROM PHYSICAL DAMAGE OR OTHER HINDRANCES TO HEALTHY GROWTH.
- BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY THE AMERICAN STANDARDS FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE BOTH FIBROUS AND FEEDING ROOTS. BALLS SHALL BE SECURELY WRAPPED WITH BURLAP, AND TIGHTLY BOUND WITH ROPE OR TWINE. NO PLANTS SHALL BE BOUND WITH ROPE OR WIRE IN SUCH A MANNER AS TO DAMAGE BARK OR BREAK BRANCHES. THE ROOT FLARE SHOULD BE WITHIN THE TOP 2" OF THE SOIL BALL. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED, OR BROKEN BEFORE OR DURING PLANTING.
- 4. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED WITHIN THE PLANT SCHEDULE

PLANTING PROJECT CONDITIONS:

- 1. VERIFY SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
- 2. INTERRUPTION OF EXISTING SERVICES OR UTILITIES; DO NOT INTERRUPT SERVICES OR UTILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES OR UTILITIES ACCORDING TO REQUIREMENTS INDICATED:
- 2.1. NOTIFY OWNER'S PROJECT REPRESENTATIVE NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF EACH SERVICE OR UTILITY.
- 2.2. DO NOT PROCEED WITH INTERRUPTION OF SERVICES OR UTILITIES WITHOUT REPRESENTATIVE'S WRITTEN PERMISSION.
- 3. PLANTING RESTRICTIONS: PLANTING SHALL OCCUR DURING THE FOLLOWING ACCEPTABLE **INSTALLATION PERIODS:**
- 3.1. DECIDUOUS TREES AND SHRUBS APRIL 1 TO OCTOBER 15.
- 4. WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.
- 5. CONTRACTOR SHALL PROTECT ALL EXISTING AND/OR NEWLY INSTALLED PLANTS, LAWNS, AND GRASS AREAS FROM DAMAGE AT ALL TIMES. DAMAGED PLANTS, LAWNS OR GRASS AREAS SHALL BE REPLACED OR TREATED AS REQUIRED TO CONFORM TO SPECIFICATIONS HEREIN FOR FRESH STOCK. WORK AREA SHALL BE KEPT CLEAN AND ORDERLY DURING THE INSTALLATION PERIOD. UNDER NO CONDITION SHALL DEBRIS FROM PLANTING ACTIVITIES RESULT IN A SAFETY HAZARD ON-SITE OR ADJACENT OFF-SITE PROPERTY. DAMAGE TO SITE IMPROVEMENTS OR ADJACENT LANDSCAPES INCURRED AS A RESULT OF PLANTING OR REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR THAT CAUSES THE DAMAGE AT NO COST TO THE OWNER.
- EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- 6.1. VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE. DIESEL FUEL. PAINT THINNER. TURPENTINE. TAR. ROOFING COMPOUND. OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN PLANTING AREAS.
- 6.2. DO NOT MIX OR PLACE SOILS IN FROZEN, WET, OR MUDDY CONDITIONS.

PLANTING DELIVERY, STORAGE, & HANDLING:

- BULK MATERIALS;
- 1.1. DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.
- 2. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
- 3. HANDLE PLANTING STOCK BY ROOT BALL.
- 4. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN SHADED LOCATION, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- 4.1. SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.
- 4.2. WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY WET CONDITION.

EXCAVATION FOR TREES & SHRUBS

- EXCAVATE CIRCULAR PLANTING PITS AS INDICATED IN DRAWINGS, TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF PLANTING PIT SMEARED OR SMOOTHED DURING EXCAVATION.
- EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND
- BURLAPPED STOCK. 1.2. DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL, MEASURED FROM THE ROOT
- FLARE TO THE BOTTOM OF THE ROOT BALL 1.3. IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP, ADD SOIL TO RAISE IT TO CORRECT
- LEVEL AND THOROUGHLY TAMP THE ADDED SOIL TO PREVENT SETTLING. MAINTAIN REQUIRED ANGELS OF REPOSE OF ADJACENT MATERIALS AS SHOWN IN DRAWINGS. DO NOT EXCAVATE SUBGRADES OF ADJACENT PAVING, STRUCTURES, HARDSCAPES, OR
- OTHER NEW OR EXISTING IMPROVEMENTS.
- 1.5. MAINTAIN SUPERVISION OF EXCAVATIONS DURING WORKING HOURS. KEEP EXCAVATIONS COVERED OR OTHERWISE PROTECTED WHEN UNATTENDED BY INSTALLER'S PERSONNEL.
- 2. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL IF THEY CONFORM TO THE REQUIREMENTS LISTED IN THESE SPECIFICATIONS.
- 3. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.
- 4. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

TREE & SHRUB PLANTING

- BEFORE PLANTING VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS. PLANT MATERIAL WITHOUT ROOT FLARE VISIBLE OR PLANTED TOO LOW WILL BE RE-PLANTED AT THE REQUEST OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- 2. PLANTS FOUND TO HAVE STEM GIRDLING ROOTS AND/OR KINKED ROOTS AT THE TIME OF PLANTING WILL BE REJECTED AND REPLACEMENTS SHALL BE PROVIDED AT NO ADDITIONAL COST
- 3. REMOVE ALL TWINE, STRING, WIRE, AND ALL OTHER NON-BIODEGRADABLE MATERIAL ENTIRELY FROM ROOT BALL AREA.
- 4. REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. DO CUT TREE
- 5. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH
- ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES.
- 5.1. USE SOIL MATERIALS FROM EXCAVATION FOR BACKFILL CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM THE ENTIRE ROOT BALL. REMOVE PALLETS, IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
- BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PLANTING PIT IS APPROXIMATELY ONE-HALF FILLED. WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED.
- CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER

TREE & SHRUB MATERIAL

- GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN AND DRAWINGS.; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- 1.1. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN $\frac{3}{4}$ " IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- 1.2. COLLECTED STOCK: DO NOT USE PLANTS HARVESTED FROM THE WILD, FROM NATIVE STANDS, FROM AN ESTABLISHED LANDSCAPE PLANTING, OR NOT GROWN IN A STATE CERTIFIED NURSERY.
- 1.3. PLANT MATERIAL SHALL BE PROVIDED IN THE CONTAINER TYPE INDICATED IN THE DRAWINGS (B&B, CONTAINER, BARE ROOT, ETC.), UNLESS THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT THAT SUBSTITUTION OF CONTAINER TYPE IS
- 2. FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- 3. SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

PLANTING SOIL:

PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE WIDTH OF LANDSCAPE AREAS, AND A MINIMUM OF 3X THE DIAMETER OF THE ROOT BALL LENGTHWISE

- 1. INSTALL PLANTING SOIL FOR PLANT BEDS IN 6" LIFTS, MINIMUM 18" DEPTH.
- DO NOT APPLY PLANTING SOIL TO SATURATED OR FROZEN SUBGRADES.
- 3. PLANTING SOIL SHALL BE A MIX OF 6-PARTS TOPSOIL, 1-PART COMPOST (APPROVED FOR USE ON THE PROJECT). THOROUGHLY BLEND PLANTING SOIL OFF-SITE BEFORE SPREADING.
- 3.1. THE PROJECT WILL ACCEPT ONLY CLEAN, SALVAGED OR IMPORTED TOPSOIL CAPABLE OF PASSING THE 1" SIEVE, FREE OF ROCKS, DEBRIS, AND OF NOXIOUS WEEDS.
- STRIPPED, SALVAGED, OR MINED TOPSOIL MUST BE TAKEN FROM THE TOP 6-INCHES OF THE A-HORIZON, HAVING A DARK BROWN TO BLACK COLOR WITH A GRANULAR STRUCTURE AND CLAY CONTENT OF LESS THAN 25%, VERIFIED WITH A RIBBON TEST THAT YIELDS NO MORE THAN 1-INCH.

METAL EDGING

- 1. STANDARD PROFILE, COMMERCIAL-GRADE, EXTRUDED ALUMINUM EDGING, FABRICATED IN STANDARD LENGTHS WITH INTERLOCKING SECTIONS WITH LOOPS STAMPED FROM FACE OF SECTIONS TO RECEIVE STAKES.
- 1.1. BASIS OF DESIGN: CLEANLINE XL BY PERMALOC OR APPROVED EQUAL
- 1.2. EDGING SIZE: 3/16-INCH-WIDE BY 5 INCHES DEEP
- 1.3. STAKES: ALUMINUM, ASTM 221, ALLOY 6061-T6, 18-INCHES LONG.
- 1.4. FINISH: MILL (NATURAL ALUMINUM)
- MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, AVAILABLE MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: CURV-RITE, INC., PERMALOC CORPORATION, RUSSELL, J.D. COMPANY (THE), SURE-LOC EDGING CORPORATION
- 2. INSTALL METAL EDGE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 3. ENSURE THAT METAL EDGING IS PROPERLY INSTALLED AND SECURED BEFORE INSTALLING STONE

STONE MULCH MATERIAL & INSTALLATION:

- 1. SHALL BE HARD, DURABLE, STONE, WASHED FREE OF LOAM, SAND, CLAY, AND OTHER FOREIGN
- SUBSTANCES, OF THE FOLLOWING TYPE, SIZE RANGE, AND COLOR: 1.1. MATERIAL: ANGULAR WASHED STONE.
- 1.2. SIZE: 3/4"
- 1.3. COLOR RANGE: BLEND OF DARK GREY & BLUE TONES
- BASIS OF DESIGN: 3/4" 'BASIN BLUE' AGGREGATE BY COUNTY MATERIALS.
- 2. LIGHTLY COMPACT AREAS TO RECEIVE STONE MULCH
- 3. INSTALL WEED BARRIER FABRIC IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS; COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES OF FABRIC LENGTHS A MINIMUM OF 6-INCHES AND SECURING SEAMS WITH GALVANIZED PINS. WEED BARRIER FABRIC SHALL BE WRAPPED VERTICALLY UP THE OUTSIDE EDGES OF SURROUNDING CONCRETE FLATWORK OR CURB AND SECURED IN PLACE. HOLD FABRIC 2" CLEAR OF TOP OF ADJACENT CURB AND CONCRETE FLATWORK SO IT IS NOT VISIBLE FROM SURFACE.
- 4. PLACE AND FINISH STONE MULCH AS INDICATED IN DRAWINGS, ENSURING A SMOOTH, LEVEL TOP SURFACE FOR ALL STONE MULCH AREAS HELD APPROXIMATELY 1/2" BELOW THE TOP SURFACE OF ADJACENT PAVED AREAS.

BARK MULCH MATERIAL & INSTALLATION

- TWICE-SHREDDED HARDWOOD BARK MULCH TO BE PROVIDED AS TOP-DRESSING FOR AT-GRADE PLANTING BEDS IN LOCATIONS INDICATED ON DETAILED PLANTING PLANS.
- 1.1. SIZE RANGE: MAXIMUM 2.5" TO 3"
- 1.2. COLOR: NATURAL, UN-DYED
- PROVIDE 3" DEPTH MULCH FOR ALL PLANTING BEDS INDICATED AS BARK MULCH PLANTING BED.
- 2. KEEP BARK MULCH 2" CLEAR OF ALL STEMS OF PLANT MATERIAL

CLEAN-UP AND PROTECTION

- 1. DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
- 2. PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
- AFTER INSTALLATION REMOVE ALL NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE. STRING, AND OTHER DEBRIS FROM PLANT MATERIAL, PLANTING AREAS, AND PROJECT SITE.

TURF SEEDING:

- DELIVERY
- 1.1. DELIVER PACKAGED SEED MATERIALS IN ORIGINAL, UNOPENED CONTAINERS LABELED AS TO NAME AND ADDRESS OF SUPPLIER; SPECIFIC BLEND OF SEED; AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS, AS APPLICABLE.
- PROJECT CONDITIONS
- 2.1. SEED DURING ONE OF THE FOLLOWING PERIODS. SPRING SEEDING SEASON: APRIL 1 TO JUNE 15.
- FALL SEEDING SEASON: AUGUST 15 TO OCTOBER 1
- 3. PRODUCTS
- 3.0.1. PROVIDE THE FOLLOWING FOR TURFGRASS SEED BASIS OF DESIGN: REINDEERS DELUXE 50 SEED MIX OR APPROVED EQUAL
- TURFGRASS SEED MIX TO BE FERTILIZED WITH 'SCOTT'S STARTER FERTILIZER' BY THE 'SCOTTS MIRACLE-GRO COMPANY' OR APPROVED EQUAL.
- 4. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN MET. REMOVE ANY AND ALL UNDESIRABLE VEGETATION THAT HAS GERMINATED IN THE AREAS TO BE SEEDED OR SODDED. CONTRACTOR SHALL EVALUATE THE USE OF A BROAD SPECTRUM, NON-PERSISTENT GLYSOPHATE-BASED HERBICIDE BASED ON SITE CONDITIONS.
- 5.1. DO NOT APPLY SEED UNTIL FIVE TO SEVEN DAYS AFTER LAST HERBICIDE TREATMENT 6. FINISH GRADING: GRADE AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE IMMEDIATELY SEEDED AND STABILIZED WITH EROSION CONTROL MATERIAL
- MOISTEN PREPARED AREA BEFORE SEEDING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE DRY BEFORE SEEDING OR SODDING. DO NOT CREATE MUDDY SOIL.
- 8. NO SEEDING SHALL OCCUR ON FROZEN GROUND OR AT TEMPERATURES LOWER THAN 32 DEGREES FARENHEIT OR IN THE FOLLOWING 5 DAYS AFTER PLANNED SEEDING OR SODDING.

9. SEEDING RATES TO BE PERFORMED IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.

WARRANTY, MAINTENANCE AND ACCEPTANCE PERIOD

- A. SUBSTANTIAL COMPLETION:
- ONLY ONE SUBSTANTIAL COMPLETION INSPECTION WITH THE LANDSCAPE ARCHITECT, OWNER
- AND CONTRACTOR WILL OCCUR FOR ALL LANDSCAPE INSTALLED UNDER THE CONTRACT. 2. THE INSPECTION WILL OCCUR AFTER SEEDING OPERATIONS ARE COMPLETE, ALLOWING TIME FOR GERMINATION OF THE COVER CROP PLANTED WITH SPRING SEASON SEEDING IN ORDER TO VERIFY COVERAGE. FOLLOWING THIS INSPECTION, RE-TOPSOIL, RESEED, MULCH, AND RE-APPLY EROSION CONTROL BLANKETS AS DIRECTED BY THE LANDSCAPE ARCHITECT. BARE SPOTS GREATER THAN 5 SQUARE FEET SHALL BE RE-SEEDED IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS BY THE LANDSCAPE CONTRACTOR. ALL REPAIRS SHALL BE COMPLETED WITHIN ONE WEEK FOLLOWING THE INSPECTION. ALL RE-SEEDING SHALL OCCUR AT NO ADDITIONAL
- GRANTED, OWNER'S QUALIFIED STAFF WILL PERFORM ROUTINE MAINTENANCE. 3. INITIAL WATERING PERIOD EXTENDING BEFORE OR AFTER SUBSTANTIAL COMPLETION SHALL BE

COST TO THE OWNER OR LANDSCAPE ARCHITECT. AFTER SUBSTANTIAL COMPLETION IS

- BY LANDSCAPE CONTRACTOR.
- B. FINAL ACCEPTANCE
- 1. PRIOR TO PLANT DORMANCY AND THE EXPIRATION OF THE WARRANTY AND MAINTENANCE PERIOD. THE LANDSCAPE ARCHITECT WILL CONDUCT AN INSPECTION OF ALL PLANTINGS. FINAL ACCEPTANCE WILL BE GRANTED ONE FULL YEAR FOLLOWING INSTALLATION OF THE NATIVE SEED MIX (IN CONJUNCTION WITH THE PLANT MATERIAL WARRANTY INSPECTION) DEPENDENT ON ACHIEVING SPECIFICATION REQUIREMENTS. FINAL ACCEPTANCE SHALL BE DEFINED AS AN EVEN DISTRIBUTION AND GERMINATION OF COVER CROP AND AN INDICATION OF SPECIFIED NATIVE SEEDLINGS ACROSS THE PROJECT SITE. BARE SPOTS GREATER THAN 5 SQUARE FEET SHALL BE RE-SEEDED IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS. ALL RE-SEEDING SHALL
- 2. FINAL ACCEPTANCE WILL BE BASED UPON OWNER APPROVAL AND THE WORK HAVING: a. BEEN WELL MAINTAINED WITH ALL LANDSCAPE PLANTINGS IN A HEALTHY GROWING

OCCUR AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.

- CONDITION FREE OF DISEASE AND INSECT PROBLEMS.
- b. ALL MAINTENANCE ITEMS COMPLETED AND DOCUMENTED BY CONTRACTOR THROUGH MAINTENANCE REPORT FORMS.
- 3. FINAL ACCEPTANCE AND THE END OF THE WARRANTY PERIOD FOR THE LANDSCAPE WILL OCCUR ONLY AFTER ALL PUNCH LIST ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND THE SITE IS LEFT IN THE CONDITION SPECIFIED UNDER CLEANUP AND PROTECTION.
- C. WARRANTY AND MAINTENANCE PERIOD:
- 1. THE END OF THE WARRANTY AND MAINTENANCE PERIOD SHALL BE:
- a. OCTOBER 31 TWO YEARS FOLLOWING A FALL SUBSTANTIAL COMPLETION DATE. b. JUNE 30 - TWO YEARS FOLLOWING A SPRING SUBSTANTIAL COMPLETION DATE.
- 2. PRIOR TO AND DURING THE WARRANTY AND MAINTENANCE PERIOD, REPLACE ANY PLANTS THAT ARE DAMAGED, DEAD, OR, IN THE OPINION OF THE LANDSCAPE ARCHITECT, ARE UNHEALTHY, OR HAVE LOST MORE THAN 25% OF THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR IMPROPER MAINTENANCE. REJECTED PLANT MATERIALS SHALL BE REMOVED FROM THE SITE IMMEDIATELY AFTER BEING REJECTED AND LEGALLY DISPOSED OFF-SITE. REPLACEMENT PLANTS SHALL BE INSTALLED WITHIN 2 WEEKS FOLLOWING THE INSPECTION
- UNLESS OTHERWISE AGREED TO IN WRITING BY THE OWNER. 3. ONLY ONE REPLACEMENT OF ANY PLANT IS REQUIRED AFTER SUBSTANTIAL COMPLETION, EXCEPT FOR LOSSES DUE TO FAILURE TO COMPLY WITH SPECIFIED INSTALLATION AND/OR MAINTENANCE REQUIREMENTS.
- 4. MAKE REPLACEMENTS IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS, PLANT SPECIES, EQUAL SIZE, AND GENERAL NOTES. FULLY RESTORE AREAS DAMAGED BY REPLACEMENT
- OPERATIONS TO THEIR ORIGINAL AND SPECIFIED CONDITION. 5. THE CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS BEYOND LANDSCAPE INSTALLER'S CONTROL WHICH RESULT FROM HAIL STORMS, WINDS OVER 100 MILES PER HOUR, FIRES OR VANDALISM, UNLESS CONTRACTOR HAS NOT COMPLETED SPECIFIED INSTALLATION IN A MANNER THAT COULD HAVE PROTECTED THE LANDSCAPING FROM THESE PHENOMENA



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PERMIT-BID SET

CITY RESUBMITTAL

DATE NO. REVISION

NTS PROJECT NO: 21234 DESIGN DATE: | 2022-9-9 PLOT DATE: 2023-07-11 DRAWN BY: HLY CHECKED BY: PJI APPROVED BY: CTC SHEET NO:

WOODLAND EDGE, UPLAND MEADOW, AND WETLAND SEEDING

- 1. PROVIDE THE FOLLOWING SEED TYPES FROM: AGRECOL LLC 10101 N. CASEY ROAD EVANSVILLE, WISCONSIN
- 1.1. AGRECOL'S 'UPLAND MEADOW' SEED MIX FOR AREAS SHOWN AS 'UPLAND MEADOW SEED MIX'
 1.2. REINDER'S 'DELUXE 50 SEED MIX' FOR AREAS SHOWN AS 'SEEDED TURFGRASS LAWN'

(OR ALTERNATIVE SOURCE FOR BIODEGRADABLE STAKES, IF APPROVED IN WRITING BY OWNER'S

 REFER TO CIVIL PLANS FOR LOCATIONS AND EXTENTS OF EROSION CONTROL MAT. IN GENERAL, PROVIDE CURLEX NET FREE FOR SEEDED AREAS WITH SLOPES OF 4:1 OR LESS AND CURLEX II EROSION CONTROL MAT

IN ALL OTHER SEEDED AREAS. PROVIDE MANUFACTURER'S STANDARD BIODEGRADABLE ANCHORING STAKES

- REPRESENTATIVE). INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

 3. WITHIN 4 WEEKS FOLLOWING THE ISSUANCE OF THE NOTICE TO PROCEED, SUBMIT NAME AND LOCATION OF SEED SUPPLIER(S) AND A COMPLETE LIST OF EACH SEED MIX BY WEIGHT AND PROPORTION THAT IS BEING SUPPLIED BEFORE THE SEED MIX IS ORDERED. SUBSTITUTIONS WILL NOT BE PERMITTED. PROVIDE
- 4. ALL SEED MATERIAL SHALL ORIGINATE FROM LOCAL SOURCES TO THE EXTENT POSSIBLE, SPECIFICALLY FROM USDA PLANT HARDINESS ZONE 4 OR LOWER.
- 5. ALL SEEDING ZONE BOUNDARIES SHALL BE SURVEYED AND STAKED ON THE PROJECT SITE BY THE CONTRACTOR. NO SEED MIX SHALL BE INSTALLED UNTIL THE GRADE PREPARATION AND LAYOUT HAVE BEEN
- 6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST SEED LIMITS WITHOUT ADJUSTING TOTAL

SEEDED AREAS, TO MEET FIELD CONDITIONS, AT NO ADDITIONAL COST TO THE OWNER.

- 7. COORDINATION IS REQUIRED TO ENSURE RAINFALL/GROUNDWATER SEEPAGE DOES NOT RESULT IN SOIL MOISTURE CONDITIONS THAT WILL CAUSE EXCESSIVE RUTTING DURING SEEDING AND MULCHING OPERATIONS. FAILURE TO MEET THIS REQUIREMENT WILL NOT BE AN ACCEPTABLE REASON FOR NOT INSTALLING THE SEED AS SPECIFIED.
- 8. WHERE SEEDING OCCURS IN CLOSE PROXIMITY TO OTHER SITE IMPROVEMENTS OR AREAS TO REMAIN UNDISTURBED SUCH AS EXISTING WETLANDS AND UPLANDS AREAS, CARE SHALL BE TAKEN TO NOT DISTURB THE EXISTING CONDITIONS. ANY AREAS DAMAGED DURING PLANTING OPERATIONS SHALL BE PROMPTLY RESTORED TO THEIR ORIGINAL CONDITION AT NO COST TO THE OWNER.
- 9. FOLLOWING NATIVE SEED MIX INSTALLATION, THE LANDSCAPE ARCHITECT AND CONTRACTOR SHALL CONDUCT A SUBSTANTIAL COMPLETION INSPECTION ON ALL SEEDED AREAS. (SEE WARRANTY, MAINTENANCE AND ACCEPTANCE PERIOD)
- 10. GENERAL INSTALLATION:
- 10.1. SEEDING OF NATIVE SEED MIXES SHALL OCCUR IN THE EARLY SPRING:
- 10.1.1. APRIL 15 THROUGH MAY 31.

GEOGRAPHIC ORIGINS OF EACH SEED SPECIES.

- 10.2. DO NOT SOW SEED DURING ADVERSE WEATHER OR WHEN WIND SPEEDS EXCEED TEN MILES PER HOUR.
 10.3. DO NOT SOW SEED IN AREAS WHERE STANDING WATER IS PRESENT.
- 11. GRADE PREPARATION:
 11.1. SUBGRADE AND FINISH GRADE PREPARATION SHALL BE IN ACCORDANCE WITH SITE EARTHWORK REQUIREMENTS, AND TOPSOIL SHALL BE A MINIMUM 4 INCHES DEEP IN NON-BIORETENTION AREAS AFTER LIGHT COMPACTION TO PREVENT SETTLEMENT. BIORETENTION AREAS SHALL HAVE SOIL MIX PLACED PER
- 11.2. PRIOR TO SEEDING, REPAIR ANY RUTS, RILLS, OR GULLIES GREATER THAN 2 INCHES IN DEPTH TO CREATE SMOOTH CONTINUOUS GRADES.
- 11.3. IF THE PREPARED GRADE IS ERODED OR COMPACTED BY RAINFALL OR OTHER REASONS, REWORK THE TOPSOIL TO THE FULL 4-INCH DEPTH.
- 11.4. IMMEDIATELY BEFORE SEEDING, SCARIFY, LOOSEN, FLOAT, AND DRAG TOPSOIL AS NECESSARY TO BRING IT TO THE PROPER CONDITION. REMOVE FOREIGN MATTER LARGER THAN 1-INCH DIAMETER.
- 11.5. NO FURTHER GRADE PREPARATION IS REQUIRED.
- 12. IF REQUIRED DUE TO CONSTRUCTION SEQUENCING, SEED THE SITE WITH A TEMPORARY COVER CROP TO HOLD IT FOR SPRING SEEDING AS FOLLOWS:
- 12.1. IF SEEDED MAY 15 THROUGH SEPTEMBER 1: MIX OF 32 POUNDS PER ACRE OF SEED OATS (AVENA SATIVA) AND 5 POUNDS PER ACRE OF ANNUAL RYE (LOLLIUM MULTIFLORUM).
- 12.2. IF SEEDED SEPTEMBER 1 THROUGH OCTOBER 15: 20 POUNDS PER ACRE WINTER WHEAT (TRITICUM AESTIVUM) OR REGREEN STERILE WHEAT/WHEATGRASS HYBRID (TRITICUM AESTIVUM X ELYTRIGIA ELONGATAFROM).
- 13. BROADCASTING:
- 13.1. FOR SPRING SEEDING OF NATIVE SEED, SOW SEED DIRECTLY ONTO BARE GROUND OR GROUND WHERE THE PREVIOUS YEAR'S PLANT STUBBLE HAS BEEN CUT TO 2-INCH HEIGHT.
- 13.2. INCREASE THE VOLUME OF THE BROADCASTED SEED MIX BY MIXING IT WITH AN APPROVED CARRIER. ACCEPTABLE CARRIER MATERIAL INCLUDES MOISTENED COMPOST, PEAT MOSS, CORN COB BLAST MEDIA, OR COARSE-GRADE VERMICULITE. SAND AND SAWDUST ARE UNACCEPTABLE CARRIER MATERIALS. USE ONE BUSHEL BASKET OF CARRIER PER 1,000 SQUARE FEET OF AREA TO BE SEEDED (A BUSHEL EQUALS 8 GALLONS OR 1.24 CUBIC FEET).
- 13.2.1. USE HALF OF THE TOTAL SEED QUANTITY AND CROSS THE ENTIRE AREA TO BE SEEDED, EVENLY SPREADING THE SEED. WALK PERPENDICULAR TO THE ORIGINAL SEEDING AND EVENLY BROADCAST THE SECOND HALF OF THE SEED.
- 13.2.2. LIGHT SEEDS, AWNED SEEDS, OR BEARDED SEEDS TEND TO RISE TO THE TOP OF THE SPREADER, THEREFORE, MIX SEED ACCORDINGLY AS PLANTING COMMENCES.
- 13.2.3. RAKE OR DRAG THE SEED INTO THE SOIL, BUT NOT MORE THAN 1/4-INCH DEEP. ROLL THE AREA WITH A ROLLER TO FIRM THE SEED INTO THE SOIL. ROLLING IS NOT NECESSARY ON DORMANT SEEDINGS.
- 14. DRILL SEEDER OR DROP SEEDER/SPREADER:
- 14.1. FOR SPRING DRILL SEEDING, SOW SEED DIRECTLY ONTO BARE GROUND OR GROUND WHERE THE PREVIOUS YEAR'S PLANT STUBBLE HAS BEEN CUT TO 2-INCH HEIGHT; FOR SPRING DROP SEEDING, CULTIVATE THE GROUND BEFORE INSTALLING SEED MIX.
- 14.2. CHECK THE EQUIPMENT FREQUENTLY TO ENSURE THE SEED IS DISPERSING EVENLY AND IS NOT CLOGGING.
- 14.3. IF THE EQUIPMENT IS NOT EQUIPPED WITH A ROLLER, PASS OVER THE SEEDED AREA WITH A ROLLER TO FIRM THE SEED INTO THE SOIL. ROLLING IS NOT NECESSARY WITH DORMANT SEEDING.
- 14.3.1. DO NOT MIX THE NATIVE SEED WITH ANY CARRIER MATERIAL.
 14.3.2. EVENLY DISTRIBUTE THE SEED ACROSS THE ENTIRE SITE TO BE SEEDED.
- 14.3.2. EVENLY DISTRIBUTE THE SEED ACROSS THE ENTIRE SITE TO BE SEEDED.

 14.4. KEEP THE TOPSOIL MOIST (TO A DEPTH OF 3 INCHES) FOR 3-6 WEEKS FOLLOWING SEEDING; AFTERWARD, APPLY ONE INCH OF WATER DURING THE GROWING SEASON IF RAIN HAS NOT OCCURRED FOR MORE THAN ONE WEEK. DO NOT APPLY WATER WITH SUCH A FORCE AS TO DISTURB SEED, SEEDLINGS, AND/OR TOPSOIL, OR THAT WOULD RUN OFF SOIL SURFACE.
- 15. ALL AREAS OVER WHICH HAULING OPERATIONS HAVE BEEN CONDUCTED SHALL BE KEPT CLEAN ON A DAILY BASIS. PROMPTLY REMOVE ALL MATERIALS SPILLED ON PAVEMENT.
- 16. UPON COMPLETION OF SEED INSTALLATION, REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL TRASH AND DEBRIS INCLUDING ANY MATERIAL REMOVED DURING GRADE PREPARATION.
- 17. RESTORE ANY EXISTING AREAS DAMAGED BY OPERATIONS UNDER THE CONTRACT. RESTORATION SHALL INCLUDE FINISH GRADING AND SEEDING AS REQUIRED TO MATCH EXISTING GRADE AND/OR WETLANDS, AND MAINTENANCE OF RESTORED AREAS.
- 18. ANY DAMAGE BY THE CONTRACTOR TO ESTABLISHED OR NEWLY SEEDED AREAS NOT WITHIN THE PROJECT SCOPE OF WORK SHALL BE REPAIRED AND RESEEDED AT NO COST TO THE OWNER.

Upland Meadow Seed Mix	Mesic to Dry	87.00 Seeds/Sq. Ft.
Botanical Name	Common Name	PLS Ounces/Acre
Wildflower Forbs:		
Achillea millefolium	Native Yarrow	0.75
Agastache foeniculum	Lavender Hyssop	0.50
Amorpha canescens	Leadplant	2.00
Asclepias syriaca	Common Milkweed	2.00
Chamaecrista fasciculata	Partridge Pea	8.00
Coreopsis Palmata	Prairie Coreopsis	2.00
Dalea candida	White Prairie Clover	2.50
Dalea purpurea	Purple Prairie Clover	2.00
Echinacea purpurea	Purple Coneflower	8.00
Heliopsis helianthoides	Early Sunflower	4.00
Liatris pycnostachya	Prairie Blazing Star	1.50
Monarda fistulosa	Wild Bergamont	0.50
Monarda punctata	Dotted Mint	1.00
Ratibida pinnata	Yellow Coneflower	6.00
Rosa arkansana	Prairie Wild Rose	2.00
Rudbeckia hirta	Black-Eyed Susan	2.00
Solidago speciosa	Showy Goldenrod	0.50
Tradescantia ohiensis	Ohio Spiderwort	4.00
Verbena stricta	Hoary Vervain	1.50
Zizia aptera	Heart-Leaved Golden Alexanders	1.00
	Totals	= 51.75
Perennial Grasses, Sedges & Rushes:		
Bouteloua curtipendula	Side Oats Grama	40.00
Bouteloua gracilis	Blue Grama	4.00
Elymus canadensis	Canada Wild Rye	16.00
Juncus tenuis	Path Rush	0.25
Koeleria cristata	June Grass	4.00
Schizachyrium scoparium	Little Bluestem	16.00
Sorghastrum nutans	Indian Grass	4.00
Sporobolus heterolepis	Prairie Dropseed	8.00
	Totals	= 92.25

VEGETATION MONITORING AND MANAGMENT

NATIVE SEED INSTALLATION:

NATIVE SEED SHALL BE MIXED THOROUGHLY BY VENDOR OR SEED INSTALLATION CONTRACTOR. SEED SHALL BE INSTALLED BY MEANS OF MECHANICAL AND/OR BROADCAST METHODS TO ASSURE EVEN DISTRIBUTION OF SEEDS THROUGHOUT ALL DESIGNATED SEEDING AREAS. IMMEDIATELY AFTER SEED PLACEMENT, SEED SHALL BE SOWN INTO THE SOIL'S SURFACE BY MEANS OF LIGHT RAKING OR HARROWING AND THEN LIGHTLY MULCHED WITH CLEAN, WEED-FREE STRAW. A COVER CROP OF ANNUAL RYE GRASS SHALL BE USED TO COMPLIMENT NATIVE SEEDING AREAS AT THE RATE OF FIVE (5) POUNDS PER ACRE.

MANAGEMENT AND MONITORING:

THE MANAGEMENT AND MONITORING OF NATIVE PLANTINGS (INCLUDING SEED MIXES, FORBS AND PLUGS) SHOULD BE DIRECTED TOWARD THE GOAL OF CREATING A STABLE, NATIVE PLANT COMMUNITY. INVASIVE AND WEEDY PLANT SPECIES WILL NEED TO BE CONTROLLED UNTIL THE DESIRED NATIVE PLANT COMMUNITIES ARE ESTABLISHED. THIS TYPICALLY WILL TAKE THREE (3) TO FIVE (5) YEARS AFTER SOWING OR PLUG INSTALLATION.

UNDESIRABLE PLANT CONTROL:

OVERALL MANAGEMENT OF VEGETATED AREAS MAY INCLUDE, BUT ARE NOT LIMITED TO: RESEEDING OR REPLANTING DAMAGED OR NON-ACTIVE GROWTH AREAS, IRRIGATION, STRATEGIC MOWING TO REDUCE WEED COVER AND PREVENT WEED SEED SET, REMOVAL OF TREE SEEDLINGS, TARGETED HERBICIDE APPLICATION(S), AND MECHANICAL WEED CONTROL (HAND PULLING AND SEED HEAD REMOVAL). SELECTED HERBICIDE APPLICATIONS SHOULD BE DONE SPARINGLY AND ONLY WHEN NECESSARY. SELECTION OF HERBICIDE FOR USE MUST CONSIDER THE PROXIMITY TO THE WATERWAY, IN COMPLIANCE WITH STATE AND APPLICABLE FEDERAL LAW.

SHORT-TERM VEGETATION MANAGEMENT:

SHORT-TERM VEGETATION MANAGEMENT (2 YEARS AFTER SEEDING/PLUG INSTALLATION) OCCURS WHILE THE LANDSCAPE CONTRACTOR OR SPECIALTY SEEDING/ RESTORATION CONTRACTOR IS RESPONSIBLE TO THE PROJECT OWNER FOR THE GUARANTEE OF ALL PLANTINGS TO BE ALIVE AND IN VIGOROUS GROWING CONDITIONS. SEEDING SHOULD ACHIEVE AN AVERAGE OF 80% VEGETATION COVERAGE FROM SPECIFIED SEED MIXES. IF UNSATISFACTORY PLANTS ARE FOUND ON SITE, THEY SHOULD BE REPLACED BY THE LANDSCAPE CONTRACTOR OF SPECIALTY SEEDING/RESTORATION CONTRACTOR DURING THE FIRST MONTH OF THE NEXT FAVORABLE PLANTING SEASON. SUPPLEMENTAL SEEDING WILL BE NEEDED TO FILL IN BARE SPOTS WHERE NATIVE SEED GERMINATION IS POOR. IT IS ALSO THE LANDSCAPE CONTRACTOR / SPECIALTY SEEDING/RESTORATION CONTRACTOR'S RESPONSIBILITY TO ELIMINATE ALL NOXIOUS WEED GROWTH FROM THE SITE DURING THIS GUARANTEE PERIOD.

INSPECTIONS SHOULD BE MADE FREQUENTLY DURING THE GROWING SEASON TO PROPERLY DOCUMENT ANY INVASIVE SPECIES, WEEDS, DEHYDRATION, DAMAGE, EROSION, DISEASES, BARE AREAS, AND PESTS. THE NECESSARY REPAIRS, TREATMENTS, SEEDING AND PLANTING SHOULD BE DONE AS SOON AS WEATHER CONDITIONS ARE APPROPRIATE. THE INSPECTIONS AND SUBSEQUENT ACTIONS SHOULD BE PROPERLY DOCUMENTED AND GRAPHICALLY IDENTIFIED ON THE APPROVED LANDSCAPE PLAN FOR THE PROJECT.

AT THE END OF THE GUARANTEE PERIOD, OWNERSHIP AND MAINTENANCE ACTIVITIES WILL BE TRANSFERRED TO THE PROJECT OWNERSHIP/MANAGEMENT ASSOCIATION.

LONG TERM VEGETATION MANAGEMENT:

LONG-TERM MANAGEMENT (AFTER 2 YEARS) WILL BE THE RESPONSIBILITY OF THE PROJECT OWNER/MANAGEMENT ASSOCIATION. LONG-TERM VEGETATION MANAGEMENT TASKS WILL INCLUDE MOWING, RESEEDING OR REPLANTING DAMAGED AREAS, REMOVAL OF TREE SEEDLINGS, TARGETED HERBICIDE APPLICATION AND MECHANICAL WEED CONTROL (HAND-PULLING AND SEED HEAD REMOVAL) AND REPAIR OF EROSION AREAS. SELECTIVE HERBICIDE APPLICATIONS SHOULD BE DONE SPARINGLY. INSPECTIONS SHOULD BE MADE FREQUENTLY DURING THE GROWING SEASON TO IDENTIFY ANY INVASIVE SPECIES, WEEDS, DEHYDRATION DAMAGE, EROSION, DISEASES, BARE AREAS, AND PESTS. THE NECESSARY REPAIRS, TREATMENTS, SEEDING AND PLANTING SHOULD BE DONE AS SOON AS WEATHER AND GROWING CONDITIONS ARE APPROPRIATE.

MOWING FREQUENCIES:

MOWING FREQUENCIES WILL DEPEND ON FIELD CONDITIONS. THE NATIVE SEEDLING/GRASS AREAS SHOULD NEVER BE MOWED SHORTER THAN SIX (6) INCHES. GROWTH OF THE VEGETATION ALONG THE WATER'S EDGE (WHERE APPLICABLE) WILL PROVIDE BANK STABILIZATION. THE VEGETATION SHOULD PREVENT NUISANCE LEVELS OF GEESE IN WATERWAYS, WHICH WOULD ADD TO THE NUTRIENT LEVEL IN THE WATER AND FURTHER DEGRADE THE WATER QUALITY. IN ADDITION, THE GROUND SLOPE ABOVE NORMAL WATER ELEVATION SHOULD PROVIDE GOOD DRAINAGE OF THE SURFACE SOILS REDUCE PONDING, AND THUS MOSQUITO HABITAT. THE NATIVE VEGETATION WILL PROVIDE HABITAT CONDUCIVE TO THE BREEDING AND ESTABLISHMENT OF EFFECTIVE MOSQUITO PREDATORS SUCH AS DRAGONFLIES.

MOWING SHOULD BE DONE THREE (3) TIMES DURING THE ESTABLISHMENT PERIOD:

ACTIVITY	TIMING	SUGGESTED MOWING HEIGHTS	REASON
FIRST MOWING	LATE MAY- EARLY JUNE	NO LESS THAN (6) INCHES	TARGET EARLY WEEDS
SECOND MOWING	EARLY AUGUST	NO LESS THAN (12) INCHES	CONTROL WARM SEASON WEED GROWTH
THIRD MOWING	LATE OCTOBER		VEGETATION SHOULD BE DORMANT

MOWING TIMES ARE APPROXIMATE; ACTUAL MOWING TIMES SHOULD BE BASED ON THE GROWTH OF NATURAL GRASSES AND UNDESIRABLE WEEDS.

AFTER THE DESIRED VEGETATION HAS BECOME ESTABLISHED THE FIRST AND SECOND MOWINGS (MAY, AUGUST) MAY NOT BE NECESSARY. THE THIRD MOWING (OCTOBER), HOWEVER, SHOULD BE DONE ANNUALLY.

BURNING:

THE NORTH AMERICAN PRAIRIE EVOLVED UNDER THE INFLUENCE OF FIRE. MANY TIMES, THESE FIRES WERE IGNITED BY LIGHTNING FROM STORMS SWEEPING ACROSS THE PLAINS STATES. BURNING IS AN EFFECTIVE WAY TO CONTROL INVASIVE WEED SPECIES (THEY OFTEN CANNOT SURVIVE THE HEAT AND FLAMES), AND ALSO CAN BE A MECHANISM FOR DISBURSAL OF SEEDS FROM DESIRED PLANT SPECIES WITHING THE PRAIRIE. PROPERLY CONDUCTED, A "OPNTROLLED BURN" IS SAFE AND EFFECTIVE.

PRIOR TO BURNING, CONTACT WITH THE LOCAL MUNICIPALITY / FIRE DEPARTMENT IS REQUIRED. SOME MUNICIPALITIES MAY HAVE RESTRICTIONS ON OPEN BURNING, OR ONLY ALLOW SUCH PRACTICES AT CERTAIN TIMES. ADDITIONALLY, A PERMIT TO BURN MAY BE REQUIRED IN SOME MUNICIPALITIES. THE SUPERVISING CREW SHOULD BE COMPRISED OF EXPERIENCED PROFESSIONALS WHO ARE TRAINED AND CERTIFIED IN THESE TYPES OF PRESCRIBED BURNS.

IF ALLOWED BY LOCAL CODE AND ORDINANCES, ONLY BURN WHEN THE DEAD VEGETATION MATTER CAN SUSTAIN FIRE. WET OR DAMP PLANT MATTER IS NOT EFFECTIVE IN A CONTROL BURN SETTING. IT MAY TAKE UP TO THREE (3) YEARS FOR A NEWLY PLANTED PRAIRIE TO HAVE ENOUGH "FUEL" TO STAGE AN EFFETIVE CONTROLLED BURN.

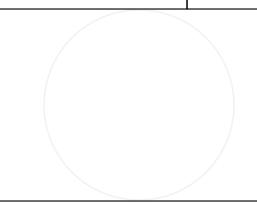


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3240 OLD LOOMIS RD FRANKLIN, WI



ISSUANCE	DATE
PERMIT-BID SET CITY RESUBMITTAL	2023-6-2 2023-7-11

NO. REVISION	DATE
	

SCALE:	NTS
PROJECT NO:	21234
DESIGN DATE:	2022-9-9
PLOT DATE:	2023-07-11
DRAWN BY:	HLY
CHECKED BY:	PJI
APPROVED BY:	СТС
SHEET NO:	

L300



CITY OF FRANKLIN REPORT TO THE PLAN COMMISSION

Meeting of November 9, 2023

Minor Amendment to PDD No. 37

RECOMMENDATION: City Development staff recommends approval of the proposed amendments to Planned Development District No. 37.

Project Name: PDD No. 37 (BadAx Flats) Minor Amendment

Property Owner: Zim-Mar Properties, LLC

Applicant: Department of Community Development

Property Address/TKN: SE corner of Rawson Ave and Ballpark Dr / 754 9006 000

Aldermanic District: District 2

Zoning District: PDD 37 – The Rock Sports Complex/Ballpark Commons

Staff Planner: Nick Fuchs, Planning Associate

Introduction/Background

In review of the BadAx Flats proposed development and Planned Development District No. 37, Planning Staff believes a correction is needed within Table 15-3.0442C.1. This Table references Table 15-3.0442D.1. for a minimum total living area dwelling unit; however, that table does not contain a minimum dwelling unit size requirement. As such, the proper reference is to Table 15-3.0442.D.2.

As this was likely a previous error made at the time the PDD was drafted, Planning Staff is now proposing that the City amend Table 15-3.0442C.1. Minimum Total Living Area per Residential Apartment Dwelling Unit (D.U.) in Mixed Use Commercial Buildings to reference Table 15-3.0442D.2. for "3 or more D.U.'s per Structure." Below is this table and the proposed amendment.

Minimum Wetland Setback (feet)	50	
Minimum Total Living Area per Residential Apartment Dwelling Unit (D.U.) in Mixed Use Commercial Buildings		
For less than 3 D.U.'s per structure for one bedroom D.U.	900 sq. ft. (plus 200 sq. ft. for each bedroom over 1 bedroom)	
For 3 or more D.U.'s per structure	(see Table 15- 3.0442D.1.)	
^a Commercial apartments may be permitted on the upper levels of a		

(see Table 15-3.0442D.2.)

multi-story building only. The minimum landscape surface ratio

(LSR) for the entire site shall be 0.35.

Staff is also proposing an amendment to the minimum dwelling unit size to accommodate the proposed dwelling unit sizes of the BadAx Flats apartments. The proposed amendment is to Table 15-3.0442D.2. Average Dwelling Unit Size (Square Feet) for One (1) Bedroom Dwelling Units (a) for Thirteen (13) or More Dwelling Units per Structure from 700 square feet to 600 square feet.

Below is this table showing the proposed change. Staff finds that the minimum unit size is more in line with the current market.

BALLPARK COMMONS MULTI-FAMILY RESIDENCE DISTRICT MINIMUM DWELLING UNIT SIZE STANDARDS FOR MULTI-FAMILY DWELLING STRUCTURES WITH MORE THAN TWO (2) DWELLING UNITS PER STRUCTURE

Type of Dwelling Structure & Number of Dwelling Units	Average Dwelling Unit Size (Square Feet) for One (1) Bedroom Dwelling Units (a)	Average Area (Square Feet) to be Added to Minimum Dwelling Unit Size for Each Bedroom Over One (1) Bedroom (a)
Thirteen (13) or More Dwelling Units per Structure	600 - 700 -	200

Dens, libraries, studies, etc. or other room within a dwelling unit which can potentially be used as a bedroom shall be considered and counted as a bedroom.

Below is an excerpt from a previous staff report providing additional details regarding the minimum floor area reduction.

Minimum floor area reduction:

The applicant is proposing 2 studio apartments out of the total 78 apartments, these studio apartments would be located on the second and third floor and would have a floor area of 692 square feet. Per the PDD Ordinance No. 2019-2368, Table 15-3.0442.D.2, the minimum dwelling unit size is 700 square feet.

It is noted that the minimum living area for commercial apartments is 900 square feet for most business zoning districts (i.e. B-1, B-2 and B-3). However, the local comprehensive plan recommends that "the City continue to review multi-family developments on a case-by-case basis, with particular emphasis upon neighborhood compatibility and high quality development (Chapter 6: Housing, page 6-37). This floor area reduction is not changing the land use, so neighborhood compatibly is not affected.

City Development staff consulted with the Inspection Services Department regarding building code standards for studio apartments or efficiency dwellings units as described in the 2015 International Building Code®. Section 1208.4.1 states that "the unit shall have a living room of not less than 220

square feet (20.4 m²) of floor area. An additional 100 square feet (9.3 m²) of floor area shall be provided for each occupant of such unit in excess of two". Therefore, the proposed studio apartments exceed the minimum area indicated in the building code.

Staff Recommendation:

City Development staff recommends approval of the proposed amendments to Planned Development District No. 37.

ORDINANCE NO. 2023-

AN ORDINANCE TO AMEND TABLE 15-3.0442C.1 AND TABLE 15-3.0442D.2 OF THE UNIFIED DEVELOPMENT ORDINANCE PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS) TO CORRECT A REFERNCE WITHIN TABLE 15-3.0442C.1 RELATED TO DWELLING UNIT SIZE AND TO REDUCE THE AVERAGE DWELLING UNIT SIZE FOR A ONE BEDROOM DWELLING TO 600 SQUARE FEET (CITY OF FRANKLIN, APPLICANT)

(AT APPROXIMATELY THE SOUTHEAST CORNER OF WEST RAWSON AVENUE AND SOUTH BALLPARK DRIVE)

WHEREAS, Section 15-3.0442 of the Unified Development Ordinance provides for and regulates Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), same having been created by Ordinance No. 2012-2089 and later amended by: Standards, Findings and Decision for a Special Exception to Certain Natural Resource Provisions Dated March 19, 2013; Ordinance No. 2013-2101; Ordinance No. 2016-2212; Ordinance No. 2017-2278, Ordinance No. 2018-2312, Resolution No. 2018-7339, Standards, Findings, and Decision for a Special Exception to Certain Natural Resource Provisions dated January 9, 2018, Ordinance No. 2018-2318, Ordinance No. 2018-2324, Ordinance No. 2018-2323 (re: Buildings B1 thru B4), 2018-2323, Ordinance No. 2019-2368, Ordinance No. 2021-2462 and Ordinance No. 2021-2488, with such District primarily being located at 7095 South Ballpark Drive, bearing Tax Key Nos. 708-8996-002, 744-1003-000, 744-1004-000, 744-1005-000, 744-1007-000, 754-9006-000, 754-9007-000, 754-9008-000, and is more particularly described below; and

WHEREAS, Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) currently includes those lands legally described as follows:

PDD BOUNDARY

PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4; THE NORTHEAST 1/4, NORTHWEST 1/4, SOUTHEAST 1/4, AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; AND THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 5 NORTH, RANGE 21 EAST, AND THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4; AND THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN; COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHEAST

1/4 OF SECTION 4; THENCE NORTH 88°42'47" EAST ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4 SECTION, 1452.10 FEET TO LOOMIS ROAD (STATE TRUNK HIGHWAY "36") REFERENCE LINE AS SHOWN IN WISCONSIN DEPARTMENT OF TRANSPORTATION PLAT OF RIGHT OF WAY PROJECT NUMBER F064-I(5)/2240-02-22, DATED JULY 3, 1956 AND THE POINT OF BEGINNING; THENCE SOUTH 49°45'51" WEST ALONG SAID REFERENCE LINE, 908.15 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY 1280.09 FEET ALONG SAID REFERENCE LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, WHOSE RADIUS IS 3819.72 FEET AND WHOSE CHORD BEARS SOUTH 40°09'15" WEST, 1274.10 FEET TO A POINT OF TANGENCY; THENCE SOUTH 30°33'51" WEST ALONG SAID REFERENCE LINE, 912.57 FEET; THENCE NORTH 59°26'09" WEST. 146.77 FEET TO THE SOUTHEAST CORNER OF STONE HEDGE SUBDIVISION ADDITION NO. 1; THENCE NORTH 00°11'17" WEST ALONG THE EAST LINE OF SAID STONE HEDGE SUBDIVISION ADDITION, 2266.74 FEET TO THE NORTH RIGHT OF WAY LINE OF WEST RAWSON AVENUE: THENCE NORTH 88°31'09" EAST ALONG SAID NORTH RIGHT OF WAY LINE 393.64 FEET; THENCE NORTH 76°43'11" EAST 212.76 FEET TO A POINT ON THE EAST LINE OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3107; THENCE NORTH 00°21'06" WEST ALONG THE EAST LINE OF SAID PARCEL 1 AND ALONG THE EAST LINE OF LOTS 14, 13, AND 12 OF BLOCK 1 OF WHITNALL VIEW SUBDIVISION ADDITION NO. 1, 809.21 FEET TO THE NORTHEAST CORNER OF SAID LOT 12; THENCE SOUTH 88°41'11" WEST ALONG THE NORTH LINE OF SAID LOTS 12 AND 11 OF SAID WHITNALL VIEW SUBDIVISION ADDITION, 484.57 FEET TO THE NORTHWEST CORNER OF SAID LOT 11; THENCE NORTH 00°21'07" WEST ALONG THE EAST LINE OF LOTS 10 AND 9 OF SAID WHITNALL VIEW SUBDIVISION, 400.06 FEET TO THE NORTHEAST CORNER OF SAID LOT 9, SAID POINT BEING ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION; THENCE NORTH 88°41'11" EAST ALONG SAID NORTH LINE, 544.58 FEET TO THE EAST LINE OF SAID SOUTHWEST 1/4 OF SECTION 4; THENCE SOUTH 00°21'07" EAST ALONG SAID EAST LINE OF SAID SOUTHWEST 1/4, 35.86 FEET; THENCE NORTH 88°42'30" EAST, 662.58 FEET TO A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE WEST 1/4 OF SAID 1/4 SECTION; THENCE NORTH 00°22'39" WEST, 1349.21 FEET; THENCE NORTH 88°33'16" EAST 1252.39, FEET; THENCE SOUTH 00°19'12" EAST, 367.35 FEET; THENCE NORTH 54°02'33" EAST, 648.24 FEET; THENCE NORTH 88°33'16" EAST, 204.06 FEET TO THE EAST LINE OF SAID NORTHEAST 1/4 OF SECTION 4, BEING THE CENTERLINE OF SOUTH 76TH STREET; THENCE SOUTH 00°19'12" EAST ALONG SAID EAST LINE, 519.27 FEET TO THE SOUTHEAST CORNER OF SAID NORTHEAST

ORDINANCE NO. 2023-____Page 3

1/4 OF SECTION 4; THENCE SOUTH 00°25'03" EAST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 4, 1659.84 FEET TO SAID REFERENCE LINE; THENCE SOUTH 49°45'51" WEST ALONG SAID REFERENCE LINE, 1561.74 FEET TO THE POINT OF BEGINNING. CONTAINING IN ALL 8,951,502 SQUARE FEET (205.498 ACRES) OF LAND, MORE OR LESS.

WHEREAS, Table 15-3.0442C.1. incorrectly references Table 15-3.0442D.1. for a minimum total living area dwelling unit, and the proper reference being Table 15-3.0442.D.2; and

WHEREAS, City of Franklin Planning Department Staff have requested to correct the reference within Table 15-3.0442C.1.; and

WHEREAS, Planning Department Staff has also requested to amend Table 15-3.0442D.2. Average Dwelling Unit Size (Square Feet) for One (1) Bedroom Dwelling Units (a) for Thirteen (13) or More Dwelling Units per Structure from 700 square feet to 600 square feet.

WHEREAS, the City of Franklin Plan Commission on the 9th day of November, 2023, having reviewed the proposed amendments to Planned Development District No. 37 and thereafter having recommended to the Common Council that the proposed amendment be approved subject to the conditions and restrictions included herewith; and

WHEREAS, the Common Council having considered the petition and having concurred with the recommendation of the Plan Commission, and having determined that the proposed amendments to Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin, and that it will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1:

Section 15-3.0102 (Zoning Map) of the Unified Development Ordinance of the City of Franklin, Wisconsin, as previously amended, is hereby amended specifically and only with regard to the Planned Development District No. 37 located at approximately the southeast corner of West Rawson Avenue and South Ballpark Drive.

ORDINANCE NO. Page 4	2023
SECTION 2:	Table 153.0442C.1. of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended as follows: Minimum Total Living Area per Residential Apartment Dwelling Unit (D.U.) in Mixed Use Commercial Buildings For 3 or more D.U.'s per structure references Table 15-3.0442D.2.
SECTION 3:	Table 15-3.0442D.2. of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended as follows: Average Dwelling Unit Size (Square Feet) for One (1) Bedroom Dwelling Units (a) for Thirteen (13) or More Dwelling Units per Structure is 600 square feet.
SECTION 4:	All other applicable terms and provisions of §15-3.0442, shall apply to Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) mixed-use development located at approximately the southeast corner of West Rawson Avenue and South Ballpark Drive, and all terms and provisions of §15-3.0442 as existing immediately prior to the adoption of this Ordinance, except as amended hereunder, shall remain in full force and effect.
SECTION 5:	The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.
SECTION 6:	All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.
SECTION 7:	This ordinance shall take effect and be in force from and after its passage and publication.
	at a regular meeting of the Common Council of the City of, 2022, by Alderman
Passed and a	dopted at a regular meeting of the Common Council of the City of, 2022.

ORDINANO Page 5	CE NO. 2023		
			APPROVED:
			John R. Nelson, Mayor
ATTEST:			
Karen L. Ka	stenson, City (Clerk	
AYES	NOES	ABSENT	



REPORT TO THE PLAN COMMISSION

Meeting of November 9, 2023 Site Plan Amendment

RECOMMENDATION: City Development Staff recommends approval of the proposed Site Plan, subject to the conditions of approval in the attached draft resolution.

Project Name: Department of Public Works

Property Owner: City of Franklin

Applicant: John Nelson, Mayor, City of Franklin

Property Address/Tax Key Number: 7979 W Ryan Rd/ 896 9990 001

Aldermanic District: District 1

Agent: Jon Wallenkamp, Kueny Archiects, LLC

Zoning District: I-1 Institutional District

Use of Surrounding Properties: M-1 Limited Industrial (east and west),

B-3 Community Business District (north), R-8 Multifamily Residential District (south)

Application Request: Approval of a Site Plan to allow for development of a

new storage facility and public drop off area.

Staff Planner: Marion Ecks, AICP

APPLICANT'S REQUEST

The applicant, the City of Franklin's Department of Public Works (DPW), proposes to construct a single-story storage building, a new drop site for yard waste, and additional stormwater ponds.

CHARACTER OF THE SITE AND SURROUNDING AREA

The property is zoned I-1 Institutional District. This location includes existing Public Works facilities including offices, salt and sand storage, and parking. The southern portion of the site previously had two baseball diamonds on it which were used by the Lion's Club and local sports leagues.

There will be a fenced and landscaped berm along the south property line as a buffer between the DPW facility and the neighborhood to the south which is zoned R-8 Multifamily Residential. The properties to the east are zoned M-1 Limited Industrial and contain storage and office space, single family homes, and a restaurant; vacant lands to the west are currently M-1 Limited Industrial; and to the north is vacant land zoned B-3 Community Business District.

PROJECT ANALYSIS

The property is zoned I-1 Institutional District. (§15-3.0312). The applicant is requesting approvals to develop an approximately 12,000 Sq. Ft. structure to park equipment, which would include indoor storage for office materials. The building will have doors along the east and west facades.

The proposed structure meets the setback requirements of the I-1 zoning district; review comments were provided for the requirements of that district. Staff notes that the applicant must provide a Natural Resource Protection Plan as part of the site plan approval; this condition of approval is reflected in the draft resolution.

Request for Zoning Determination

A shed or garage is defined as an accessory structure by the Unified Development Ordinance. The maximum allowable height for accessory structures in the I-1 district is 25'; the proposed structure is 28' high and does not meet this requirement. Since this facility is part of the primary uses of the Public Works building, it may be determined that it is also a primary structure, and therefore would meet the requirements of the zoning. Primary structures in I-1 zoning may have a maximum building height of 40'. In the absence of a designated Zoning Administrator, the applicant requests a determination from Plan Commission as to whether the proposed building may be considered a Principal Structure.

§15-11.0103: Specific Words and Phrases.

ACCESSORY STRUCTURE OR USE

An "accessory structure or use" is one which:

- a. Is subordinate to and serves a principal structure or principal use;
- b. Is subordinate in area, extent, or purpose to the principal structure or principal use served;
- c. Contributes to the comfort, convenience, or necessity of occupants of the principal structure or principal use served; and
- d. Is located on the same zoning lot as the principal structure or principal use served. An "accessory use" includes, but is not limited to, the following:
 - b. A garage, shed, or building for domestic storage;
 - d. Storage of merchandise normally carried in stock on the same lot or parcel with any retail service or business use, unless such storage is excluded by the district regulations;
 - e. Storage of goods used in or produced by manufacturing activities on the same lot or parcel of ground with such activities, unless such storage is excluded by the district regulations;
 - f. Off-street motor car parking areas, and loading and unloading facilities;
 - i. Public utility facilities telephone, electric, gas, water, and sewer lines, their supports and incidental equipment;

A non-accessory building in which the principal use of the zoning lot on which it is located is conducted.

STAFF RECOMMENDATION

City Development Staff recommends approval of the proposed Site Plan, subject to the conditions of approval in the attached draft resolution.

STATE OF WISCONSIN

CITY OF FRANKLIN PLAN COMMISSION

MILWAUKEE COUNTY

[Draft 11/02/2023]

RESOLUTION NO. 2023-____

A RESOLUTION APPROVING A SITE PLAN AMENDMENT FOR THE
DEVELOPMENT A NEW STORAGE FACILITY AND PUBLIC DROP OFF AREA, UPON
PROPERTY LOCATED AT 7979 W RYAN RD
(BY JOHN NELSON, MAYOR, CITY OF FRANKLIN, APPLICANT,
CITY OF FRANKLIN, PROPERTY OWNER)

WHEREAS, John Nelson, Mayor, City of Franklin having petitioned the City of Franklin for the approval of a Site Plan Amendment to allow for development of a new storage facility and public drop off area, such Site Plan having been previously approved as part of a Zoning Permit approval for the City of Franklin Department of Public Works Facility and Storage Yard, on January 25, 1996; subsequently amended by RES 2017-005 on June 22, 2017; and RES 2019-7468 on February 19, 2019; upon property located at 7979 W Ryan Road, zoned I-1 Institutional District. The property which is the subject of the application bears Tax Key No. 896 9990 001.

WHEREAS, the development proposes a new storage facility and public drop off area and the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0312: I-1 Institutional District of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan amendment review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan Amendment for Department of Public Works, dated October 30, 2023 as submitted by John Nelson, Mayor, City of Franklin, as described above, is hereby approved subject to the following conditions:

1. John Nelson, Mayor, City of Franklin, successors and assigns and any developer of the Department of Public Works project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Department of Public Works project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified

DEPARTMENT OF PUBLIC WORKS - SITE PLAN RESOLUTION NO. 2023-____ Page 2

Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

- 2. The approval granted hereunder is conditional upon the John Nelson, Mayor, City of Franklin and the Department of Public Works project for the property located at 7979 W Ryan Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 3. The Department of Public Works project shall be developed in substantial compliance with the plans City file-stamped October 30, 2023.
- 4. The Plan Commission determines that the proposed storage building is part of the principal use of the development, and is therefore a principal structure subject to the requirements of I-1 Institutional District (§15-3.0312.C).
- 5. The applicant shall provide a Natural Resource Protection Plan or letter of no resource (§15-7.0102.G, §15-7.0103.J) prior to the issuance of a building permit.

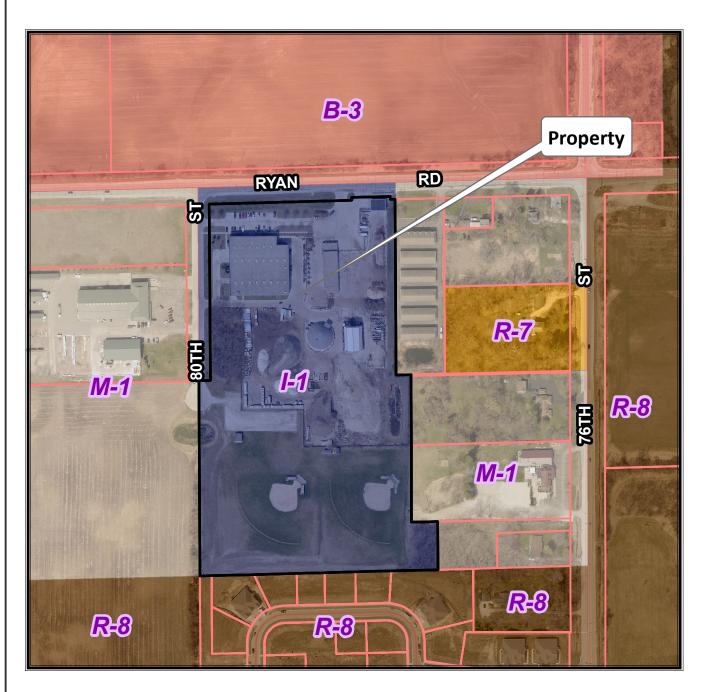
BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Department of Public Works development as depicted upon the plans City file-stamped October 30, 2023 attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan Amendment for the property located at 7979 W Ryan Road, as previously approved, is amended accordingly.

Introd	duced at a regul	ar meeting of the Common C	Council of the City of
Franklin this	_ day of	, 2023.	
Passed and	adopted at a re	gular meeting of the Commo	n Council of the City
of Franklin this	day of	, 2023.	

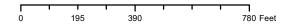
DEPARTMENT OF PUBLIC WORKS - SITE PLAI RESOLUTION NO. 2023 Page 3	N
	APPROVED:
ATTEST:	John R. Nelson, Mayor
Karen L. Kastenson, City Clerk	
AYES NOES ABSENT	



7979 W. Ryan Road TKN 896 9990 001



Planning Department (414) 425-4024

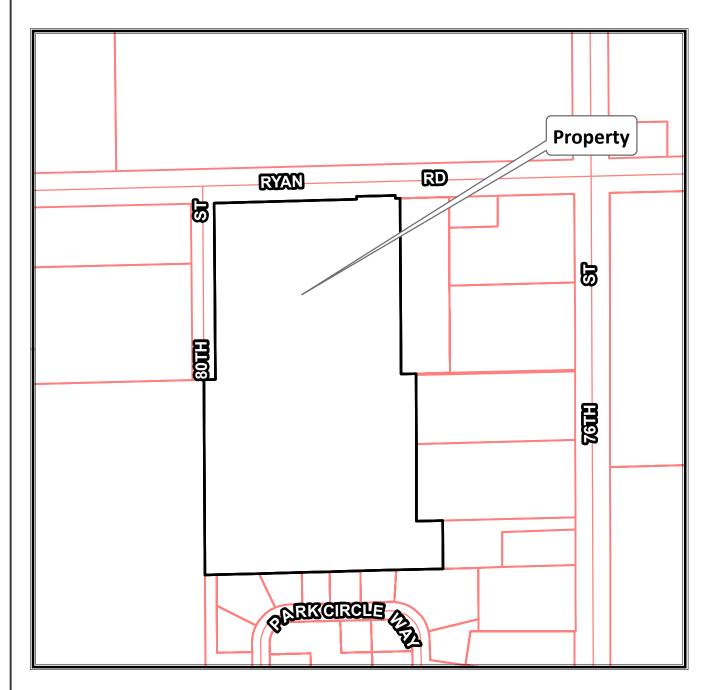


NORTH 2021 Aerial Photo

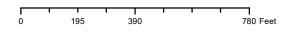
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



7979 W. Ryan Road TKN 896 9990 001

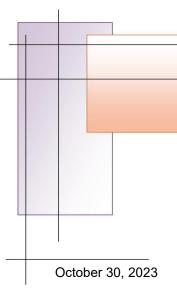


Planning Department (414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





KUENY ARCHITECTS, L.L.C.

RE: City of Franklin

1. Would you please provide me with a project narrative?

The City of Franklin is constructing a new 12,000 square foot storage facility within their existing DPW yard. The new facility will be constructed using architectural precast walls with architectural metal roof canopies on the north and south sides of the facility. The new facility will house existing equipment that currently sits outside.

Along with the new storage facility a new residential drop-off site will be relocated from north off Ryan Road to the west off 80th street. The existing north drives off Ryan Road will also be relocated as part of the Ryan Road DOT projects.

The south side of the site will be built up creating a green landscape wall with a top berm section. The landscape wall will be an average of eighteen feet high and covered with coniferous trees.

2. Current and anticipate future hours of operation No Change.

3. Activities performed on the site

No Change.

4. Floor Area Ratio

Required 1.5 max. Actual 0.49

FLOOR AREA RATIO

(PA)	TOTAL PROPERTY AREA	859,045 SF
(NPA)	NET PROPERTY AREA	765,428 SF
(BA)	EXISTING TOTAL BUILDING AREA	38,981 SF
, ,	PROPOSED STORAGE FACILITY	12,000 SF
	TOTAL NEW SITE BUILDING AREA	50,981 SF

RATIO (BA / NPA) 0.067 - Max Allowable .63 (Net) .38 (Gross)

LANDSCAPE SURFACE RATIO (LSR) 0.94 - Min. Required 0.3

Sincerely

Kueny Architects, LLC Jon P. Wallenkamp, AIA, ALA Principal

CONSULTANTS

ARCHITECT Kueny Architects Phone: (262) 857-81

Phone: (262) 857-8101
Address: 10505 Corporate Drive, Suite 100 Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

CIVIL
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205 Cedarburg,
WI 53012

Engineer of Record - Linda Johnson



Storage Facility and Drop off Site City of Franklin

7979 W Ryan Road Franklin WI 53132

PHONE (262) 857-8101 FAX (262) 857 8103

GENERAL NOTES

- 1. All concrete to test 4000 psi in 28 days.
- Verify all dimensions, access, utilities and working conditions in the field.
- Conform to all applicable codes, ordinances and safety standards.

 Obtain and pay for all required permits and fees.
- Notify Architect immediately if work cannot proceed as shown on Drawings or as described in the Specifications.
- 6. No concrete to be poured without Architect's prior review.
 7. All Contractor's to co-operate with all trades, Owner's and Architect's representatives.
- Leave site clean, neat and free of debris at all times.
 Each Prime and Sub-contractor is responsible for having read each page of the Specifications, Drawings,
- Addenda and Change Orders.

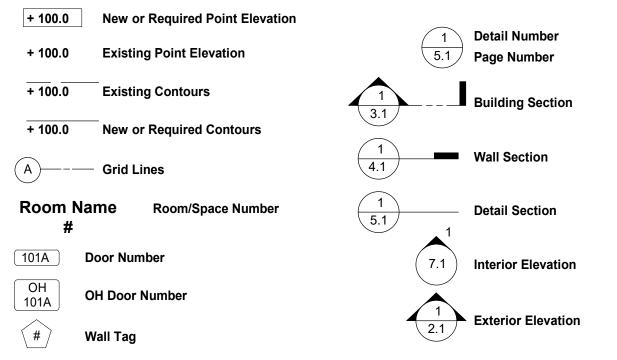
 10. Guard against interfering with Owner's operations.

 11. These Drawings contain no provisions or procedures for on-site safety. Each Contractor and their
- employees are responsible to follow all laws and ordinances and provide their own engineering to provide a safe work place.12. The locations of existing underground utilities, shown on these Drawings, are shown in an approximate way only and have not been independently verified by the Owner or its representatives. The Contractor shall
- only and have not been independently verified by the Owner or its representatives. The Contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occassioned by the Contractor's failure to exactly locate and preserve any and all underground utilities.
- 13. Services perform for this project have been conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing in this area under similar budget and time constraints. No warranty, expressed or implied, is made.

MATERIAL INDICATIONS

Earth Backfill	Sand Fill	
Rigid Insulation	Concrete	4 4 4 4
Concrete Block	Finished Wood	
Aluminum	Stone Fill	
Lumber (Rough)	Plywoo	
Steel	d Batt Insulation	

DRAWING LEGEND



SHEET INDEX

TITLE
01 Title Sheet - Phase I

ARCHITECTURAL

1A101 Storage Building - Phase I - Site Plan

1A201 Storage Building - Floor Plan - Overall
1A210 Storage Building - Phase I - Exterior Elevations

1R100 Storage Building - Phase I - Rendering1R101 Storage Building - Phase I - Rendering

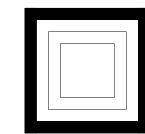
KUENY ARCHITECTS, LLC

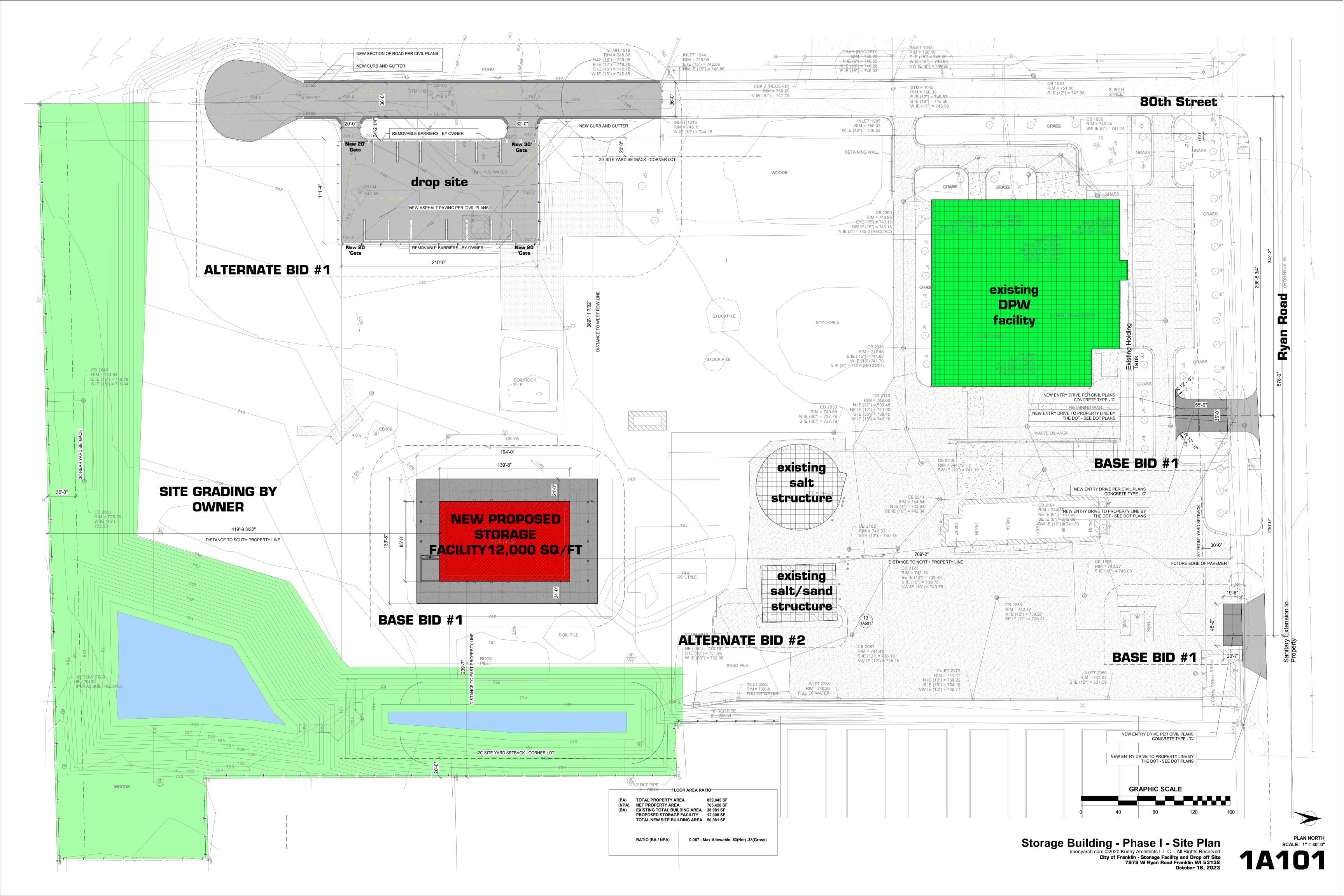
10505 CORPORATE DRIVE - SUITE 100 PLEASANT PRAIRIE, WI 53158

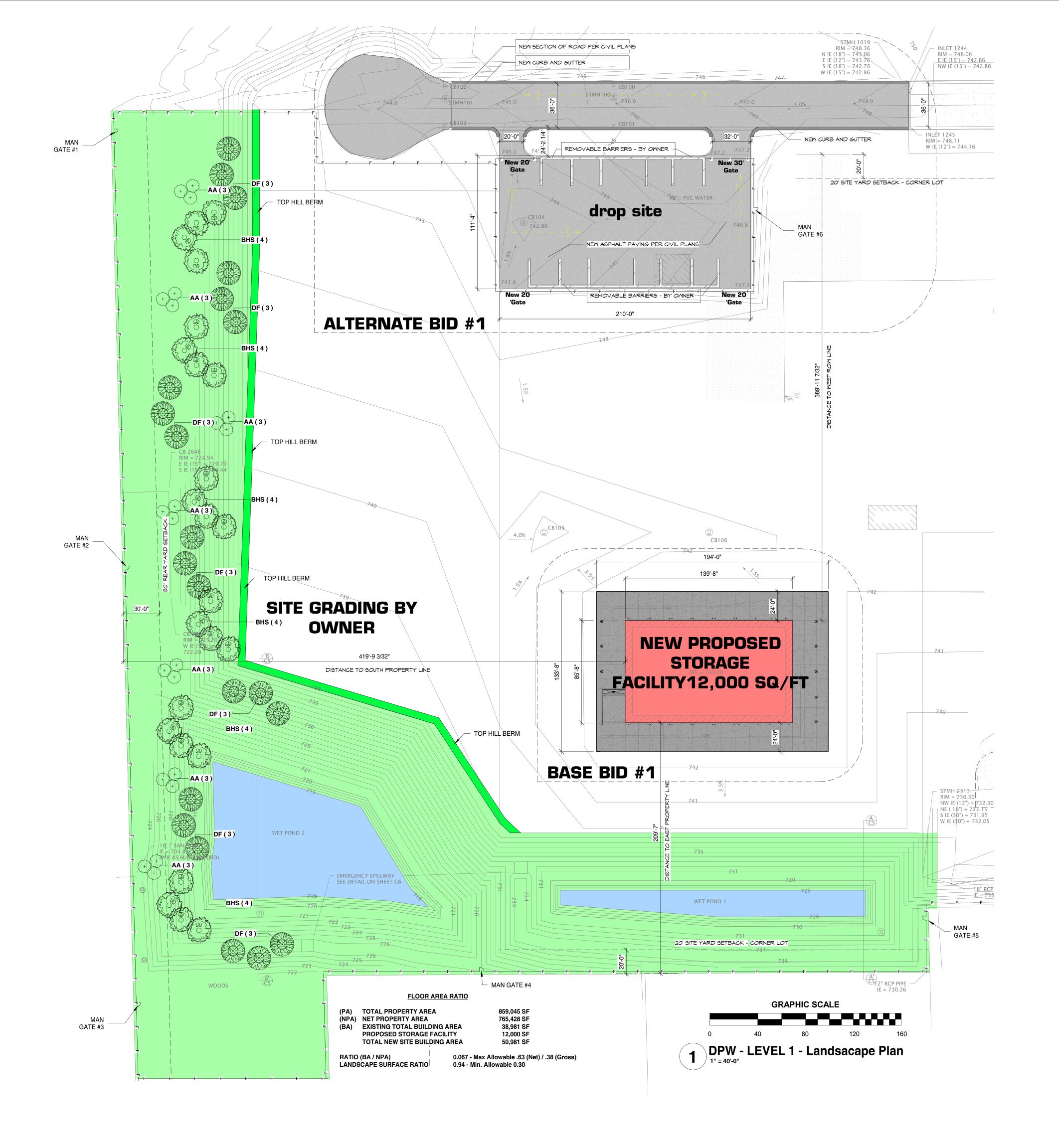
City of Franklin
Storage Facility and Drop off Site

October 16, 2023

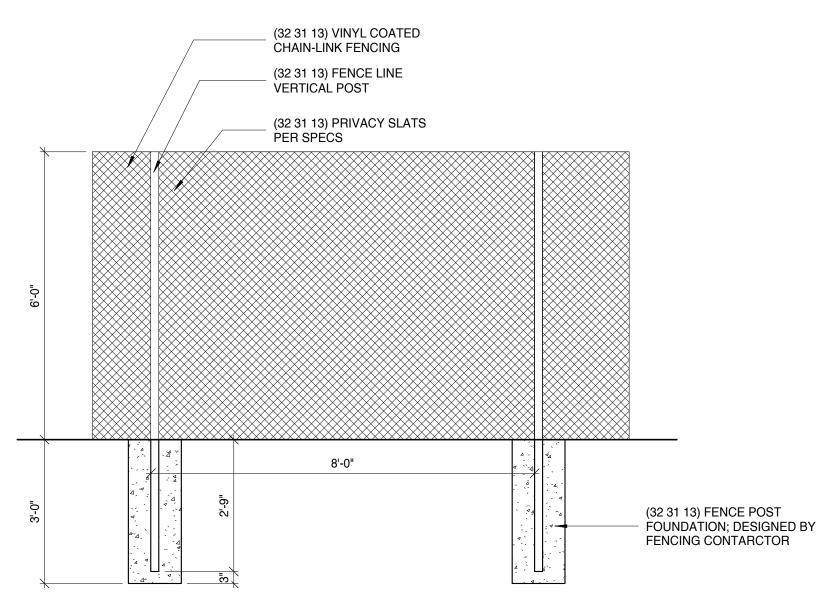
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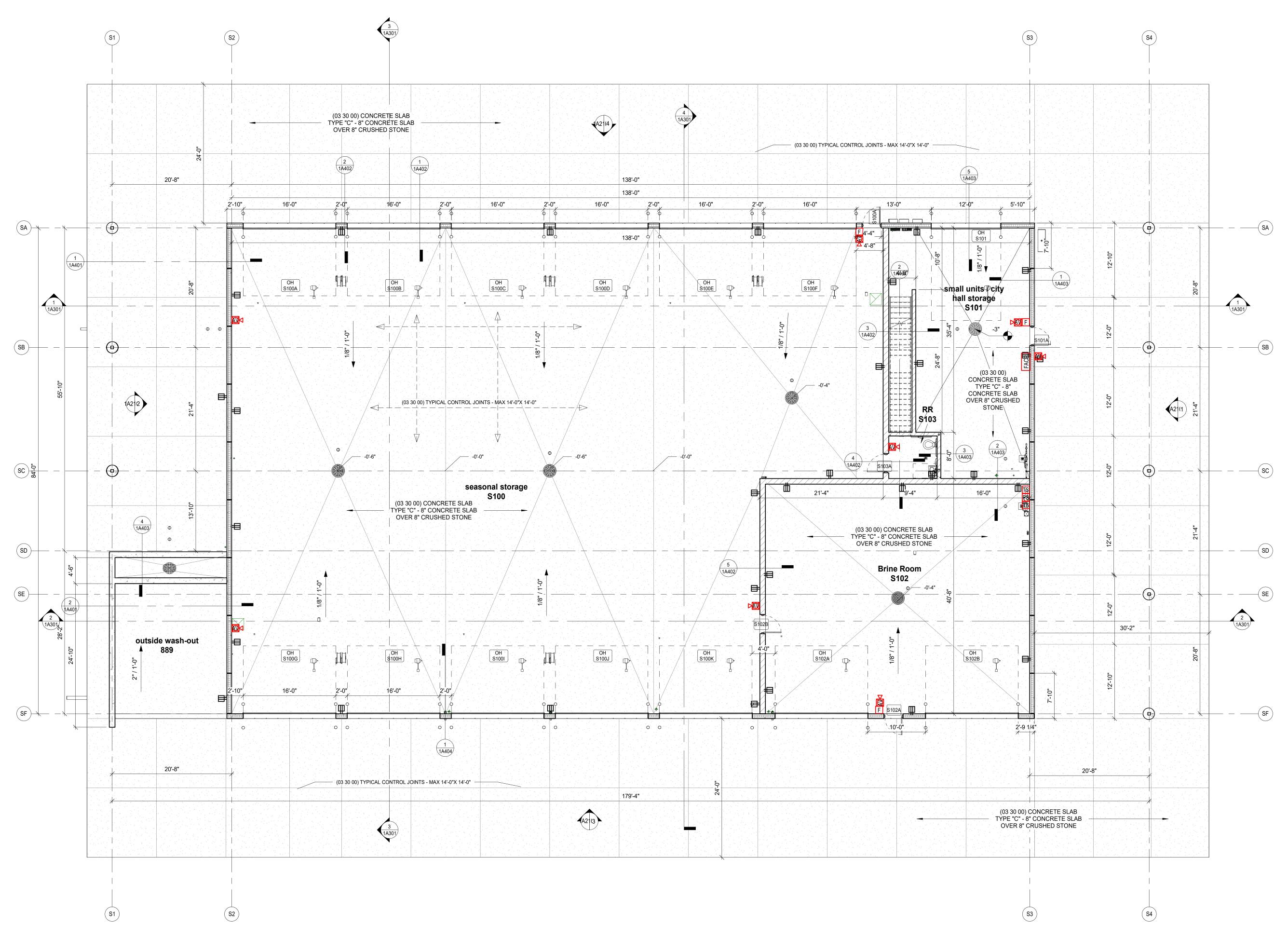
LANDSCA	APE SCHEDULE					
Key	Botanical Name	Common Name	Planting Size	Planting Distance	Comments	IN USE
TREE					<u>'</u>	
BHS	Picea Glauca var. Densata	Black Hills Spruce	3-1/2" Cal.	Per Plan	5'-0" - 6'-0" Tall	Yes
AA	Thuja Occidentalis	American Arbovitae	3-1/2" Cal.	Per Plan	5'-0" - 6'-0" Tall	Yes
DF	Pseudotsuga menziesii	Douglas Fir	3-1/2" Cal.	Per Plan	5'-0" - 6'-0" Tall	Yes



* PRIVACY SLATS AT DUMPSTER ENCLOSURE; LOCATION PER SITE PLANS













D-Series Size 1 LED Wall Luminaire

Back Box (BBW, E20WC)

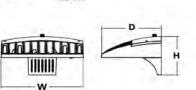
Weight:

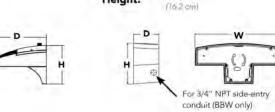


NICHTIME FRENDLY

Specifications Luminaire

d"series





Introduction

exceptionally illuminated.

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are

Ordering Information			EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD					
DSXW1 LED								
Series	LEDS	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options	
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A).	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted.	T2S. Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT ² 120 ³ 208 ³ 240 ³ 277 ³ 347 ^{3,4} 480 ^{3,4}	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) 1	Shipped installed PE Photoelectric cell, button type † DMG 0-10v dimming wires pulled outside fixture (for use with an external control, oldered separately) PIR 180° motion/ambient light sensor, < 15' mtg ht 1.0' PIRH 180" motion/ambient light sensor, 15-30' mtg ht 1.0' PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 11c 1.0' PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 11c 1.0' Enarmed to the term of the	

Other Options			Finish	Finish						
Shipp	oed installed	Shipp	ed separately "	DDBXD	Dark bronze	DSSXD	Sandstone	DWHGXD	Textured white	
SF	Single fuse (120, 277 or 347V) 5.89	BSW	Bird-deterrent spikes	DBLXD	Black	DDBTXD	Textured dark bronze	DSSTXD	Textured sandstone	
DF	Double fuse (208, 240 or 480V) 5/07	VG	Vandal guard	DNAXD	Natural aluminum	DBLBXD	Textured black			
HS	House-side shield "	DDL	Diffused drop lens	DWHXD	White	DNATXD	Textured natural aluminum			
SPD	Separate surge protection 12									

Accessories DSXWHS U House-side shield (one per light engine)

LITHONIA LIGHTING

COMMERCIAL OUTDOOR

DSXWBSW U Bird-deterrent spikes DSXW1VG U Vandal guard accessory

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • VALUE - CONYERS - CON

- Some as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with 20 or 480 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Not available with PIR or PIRH.

 5 Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.

 6 Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with E20WC.

 7 Reference Motion Sensor table on page 3.

component enclosure), CA Title 20 compliant 20

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DSXW1-LED Rev. 1/18/23

Lumen Ambient Temperature (LAT) Multipliers Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Amb	pient	Lumen Multiplier		
0°C	32°F	1.02		
10°C	50°F	1.01		
20°C	68°F	1.00		
25°C	77°F	1.00		
30°C	86°F	1,00		
40°C	104°F	0.98		

Projected LED Lumen Maintenance Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number

operating hours below	7.00			-17.3
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0,93	0.88

Electrical Load

*For use when motion sensor is used as dusk to dawn control

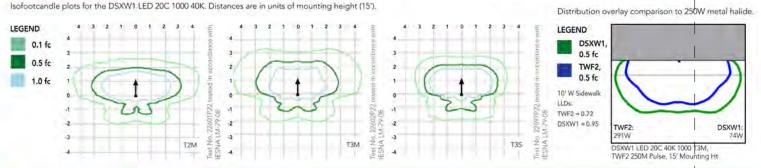
			Current (A)					
HDs.	Drive Current OnA)	System Watts	120V	208V	240V	277V	347V	480\
	350	14 W	0.13	0.07	0.06	0.06	×	\sim
	530	20 W	0.19	0.11	0.09	0.08	4-	+
10C	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	3	- 2
	350	24 W	0.23	0.13	0.12	0.10	-	~
206	530	36 W	0.33	0.19	0.17	0.14	~	~
200	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

Motion Sensor Default Settings								
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time		
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min		
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min		

hotometric Diagrams

To see complete photometric reports or download..ies files for this product, visit Lithonia Lighting's D-Series Wall Size 1 homebage.

Isofootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



BSW - Bird-deterrent spikes

INSTALLATION

BUY AMERICAN ACT

Specifications subject to change without notice.

Options and Accessories









CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.



Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

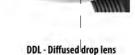
This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.nautybeands.com/

Five-year limited warranty, This is the only warranty provided and no other statements in this

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acusybrand.comport/warranty/fer





FEATURES & SPECIFICATIONS

COMMERCIAL OUTDOOR

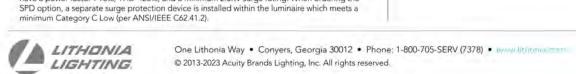
The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility. CONSTRUCTION

through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management

changes without cracking or peeling. Available in textured and non-textured finishes. Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the



DSXW1-LED

+2.8 +1.7 +4.2 ∃ small units / city 67'-11" seasonal storage +2.8 +4.2 +4.2 +1.7 S100 Brine Room S102 +2.8 +1.7 outside wash-ou

1 DPW - LEVEL 1 -Floor Plan - Lighting Plan



October 16, 2023

+1.7

+1.7

+2.8

68'-2"

+2.8

+2.8



NORTHEAST VIEW



NORTHWEST VIEW



REPORT TO THE PLAN COMMISSION

Meeting of November 9, 2023 Site Plan Amendment

RECOMMENDATION: City Development Staff recommends approval of the proposed Site Plan, subject to the conditions of approval in the attached draft resolution.

Project Name: WE Energies Front Entrance

Property Owner: WI ELECTRIC POWER CO

Applicant: Ryan Lee, WEC Energy Group

Property Address/Tax Key Number: 4800 W Rawson Avenue/ 740 9988 006

Aldermanic District: District 3

Agent: Conlynn Goetsch, Continuum Architects

Zoning District: I-1 Institutional District

Use of Surrounding Properties: B-3 Community Business District, M-1 Limited Industrial

and OL-2 Overlay (west),

R-5 Suburban Single-Family Residence (north and east),

R-6 Suburban Single-Family (south)

Application Request: To allow for redesign of the building atrium and entry.

Staff Planner: Marion Ecks, AICP

The applicants request is for after-the-fact approval of an amendment to the Site Plan of the WE Energies Oakbrook Service Center at 4800 W Rawson Avenue. The applicant proposes a new front entrance area with redesigned roof and glazing, update landscaping, windows on the west elevation of the building, and the addition of a fenced-in employee outdoor seating area in front of the new atrium. The surrounding properties include a Kwik Trip to the east, as well as the Sendiks development, which includes a CVS, and a bank. On the north, east, and south are residential developments.

The applicant initially contacted the Planning Department in 2022 to request feedback on the proposed design. At that time, the Department reviewed a draft set of plans that proposed a limited scope of work did not require Planning approvals. In 2023 the applicant subsequently applied for Sign Permits for new signage on the revised atrium. Materials provided with that application included elevations of the current design, which includes changes to landscaping and other items requiring Plan Commission's approval.

PROJECT ANALYSIS

The property is zoned I-1 Institutional District (§15-3.0312).

The applicant is requesting approvals to redevelop the front atrium, altering the front elevation by removing "solar collectors" which are like a sunroom in appearance, and a metal roof over the main entrance. In their place the applicant has installed metal and cement panel, updated landscaping, and added a seating area. Windows were also added to the west façade.

The proposed addition meets the setback and dimensional requirements of the I-1 Institutional District; review comments were provided for the requirements of that district. The footprint of the building has not changed. The height of the front elevation has increased from to 23′ 9″. The applicant has provided exhibits for Commission review.

Request for Front Yard Fence.

Fences located in a front yard require Plan Commission approval (§15-3.0803.C.2.a). The draft resolution includes this request. The applicant will also need to obtain a fence permit from Inspection Services.

STAFF RECOMMENDATION

City Development Staff recommends approval of the proposed Site Plan, subject to the conditions of approval in the attached draft resolution.

STATE OF WISCONSIN

CITY OF FRANKLIN PLAN COMMISSION

MILWAUKEE COUNTY

[Draft 10/31/2023]

RESOLUTION NO. 2023-____

A RESOLUTION APPROVING A SITE PLAN AMENDMENT FOR THE
REDESIGN OF THE FRONT ENTRANCE OF THE WE ENERGIES SERVICE CENTER, UPON
PROPERTY LOCATED AT 4800 WEST RAWSON AVENUE
(BY RYAN LEE, WEC ENERGY GROUP, APPLICANT,
DEVO PROPERTIES/RAWSON LLC, PROPERTY OWNER)

WHEREAS, Ryan Lee, WEC Energy Group having petitioned the City of Franklin for the approval of a Site Plan for the redesign of the front entrance of the WE Energies Service Center, upon property located at 4800 West Rawson Avenue, zoned I-1 Institutional District. Such Site Plan having been previously approved as part of a Use approval August 7, 1985, and subsequent Site Plan review approvals on July 8, 1999; October 7, 1999; RES 2014-007 on June 5, 2014; and RES 2014-009 on July 17, 2014. The property which is the subject of the application bears Tax Key No. 740 9988 006.

WHEREAS, the development proposes to create new front entrance area with redesigned roof and glazing, update landscaping, add windows to the west elevation of the building, and add a fenced-in employee outdoor seating area, and the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of I-1 Institutional District (§15-3.0312) of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for WE Energies, dated October 30, 2023 as submitted by Ryan Lee, WEC Energy Group, as described above, is hereby approved subject to the following conditions:

1. Ryan Lee, WEC Energy Group, successors and assigns and any developer of the WE Energies project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the WE Energies WE ENERGIES - SITE PLAN AMENDMENT RESOLUTION NO. 2023-____ Page 2

project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

- 2. The approval granted hereunder is conditional upon the Ryan Lee, WEC Energy Group and the WE Energies project for the property located at 4800 West Rawson Avenue: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
- 3. The WE Energies project shall be developed in substantial compliance with the plans City file-stamped October 30, 2023.
- 4. The Plan Commission grants approval of the requested fence located in a front yard (§15-3.0803.C.2.a).

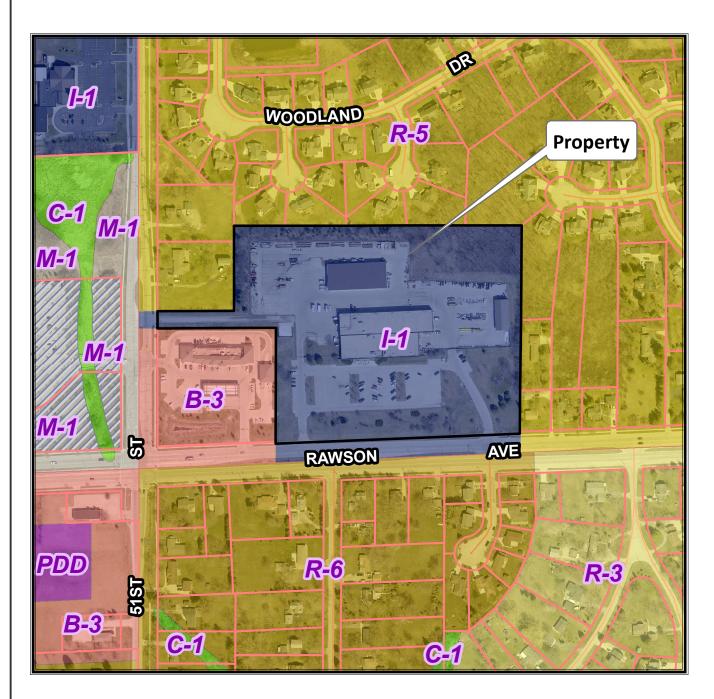
BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the WE Energies development as depicted upon the plans City file-stamped October 30, 2023 attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan for the property located at 4800 West Rawson Avenue, as previously approved, is amended accordingly.

Introduced at a regular	meeting of the Common Council of the City of
Franklin this day of	, 2023.
Passed and adopted at a regul	ar meeting of the Common Council of the City
of Franklin this day of	, 2023.
	APPROVED:
ATTEST:	
	John R. Nelson, Mayor

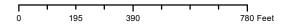
	gies - Site Ion no. 20	PLAN AMENDI 23	MENT
Karen L. k	Castenson, C	City Clerk	
AYES	NOES	ABSENT	



4800 W. Rawson Ave. TKN: 740 9988 006



Planning Department (414) 425-4024

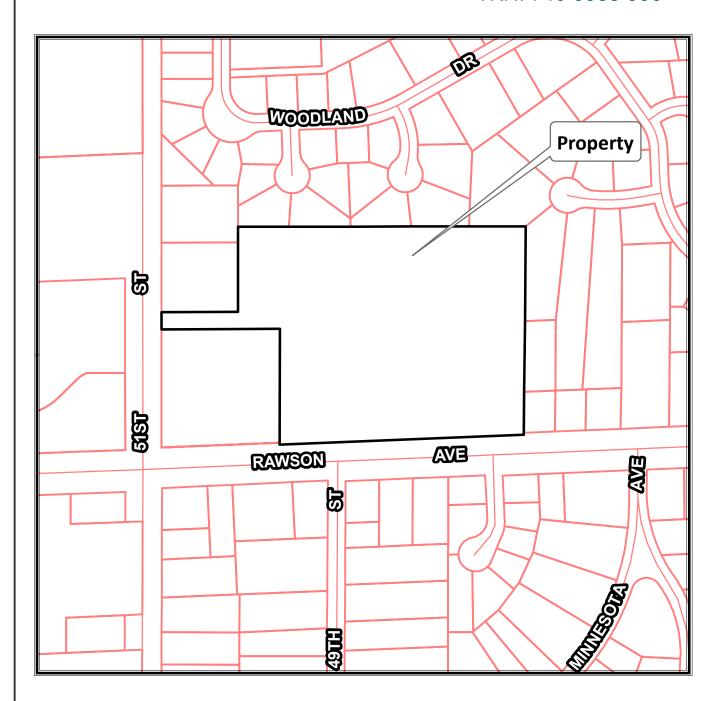


NORTH 2021 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



4800 W. Rawson Ave. TKN: 740 9988 006



Planning Department (414) 425-4024



NORTH 2021 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



CAP 220302 October 30, 2023

WEC Oak Brook Service Center 4800 West Rawson Avenue

CONTENTS

Project Narrative - Current 2023 Project (8.5x11 - 1 page)Page 1
Existing South Exterior Elevation - Photos (8.5x11 - 1 page)Page 2
Legal Property Description (8.5x11 - 1 page)Page 3
Fence Permit Application - Current 2023 Project (8.5x11 - 6 pages)
Landscape Planting Plan - Current 2023 Project (8.5x11 - 1 page)
Existing Site Plan (30x42 - 1 page)E-BD-026-A-010-001-06
Existing Conditions with Survey - Current 2023 Project (30x42 - 1 page)
Site Restoration Plan - Current 2023 Project (30x42 - 1 page)
Site Grading Plan - Current 2023 Project (30x42 - 1 page)
Exterior Elevations, Views - Current 2023 Project (30x42 - 1 page)A401
Existing Site Power and Lighting Plan (30x42 - 1 page)E-BD-026-E-003-100-001-05



CAP 220302 October 30, 2023 WEC Oak Brook Service Center 4800 West Rawson Avenue

PROJECT NARRATIVE

For the current 2023 project at the existing WEC Oak Brook Service Center, the overall site is not being modified - there are no changes to parking areas, circulation, or exterior lighting. *See sheets E-BD-026-A-010-001-06 / E-BD-026-E-003-100-001-05.*

The current 2023 project is primarily an interior renovation of office spaces within the low office volume, approximately 11,000 sf of interior refresh within the main building on the site. With this renovation, there is no change in occupancy. The existing maintenance garage and storage spaces within the main building will not be affected. *See sheet A201.*

On the exterior, there are two areas being affected architecturally.

- 1. The west elevation of the existing low office volume is receiving punched windows. Existing precast panels will be cleaned and regrouted. *See sheet A401.*
- 2. The south elevation existing office entrances / obsolete solar collector are being modified. Existing precast panels will be cleaned and regrouted. See page 2 of Project Narrative for existing photos. For new work, see sheet A401.
 - a. Along the south side of the low office volume, the elevation was formerly composed of a glazed solar collector volume sandwiched between a glazed entry and precast wall panels at each end. The glazed solar collector was capped with a glazed, sloping shed roof. The glazed entries were capped by sloped metal roofs.
 - b. The solar collector glazed walls and roof have been demolished though the existing precast walls and concrete knee wall supports remain.
 - c. On top of the existing footings/foundations/knee wall/precast panels, a new envelope has been constructed. The building footprint has not changed. The new envelope occupies the same space as before, though it is taller to provide an improved entry signifier and more useful interior space. Materials of the new envelope include metal panel, aluminum storefront and wood-look fiber cement panels. The amount of glazing has not increased. From a signage standpoint, the intent is to place a new wall sign (identical to the existing, faded version in size, shape, color, non-illuminated) centered above the larger public entry in lieu of the current location on the precast wall.

From a site landscape perspective, the area near the existing south entries is being refreshed.

- 1. This includes replacing the damaged and overgrown existing foundation landscape plantings flanking the entries with new plantings. *See sheets C010, C200, C300, and Landscape Plan.*
- 2. Existing sidewalks adjacent to the building will be replaced in kind. See sheets C010, C200, C300, and Landscape Plan.
- 3. Additions to the site include:
 - a. A decorative fence around an outdoor patio seating area. A complete application for a Fence Permit was submitted to Inspection Services for review on August 10, 2023 and has been included for reference in these review materials.
 - b. This patio will also be edged along the south side with a new planting bed and new plantings. See sheets C010, C200, C300, and Landscape Plan.



Existing South Exterior- Photos at Area of Work

AREA OF WORK WITH EXISTING SOLAR COLLECTOR, SIGNAGE AND LANDSCAPE BEING REFRESHED







AREA OF WORK
WITH EXISTING
SOLAR COLLECTOR,
SIGNAGE,
LANDSCAPE BEING
REFRESHED,
PAVEMENT BEING
REPLACED IN KIND



October 25, 2023 Page 3



LEGAL PROPERTY DESCRIPTION

Parcel 2 of Certified Survey Map No. 4565, recorded as Document No. 5786076, being a part of the Southeast 1/4 and the Southwest 1/4 of the Southeast 1/4 of Section 2, Town 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

CITY OF FRANKLIN BUILDING PERMIT APPLICATION

9229 W. LOOMIS ROAD, FRANKLIN, WI 53132 Phone (414) 425-0084 Fax (414) 425-7513 Application Forms and Handouts can be found at www.franklinwi.gov

Permit No.

Application No.

Building Permit PB22-0653

Project Address	Unit or Suite #		Business Name (if applicable)				
4800 W. Rawson Ave, Franklin, WI 53132		WEC En	ergy Group				
Property Owner's Name ☐ Owner resid	les or will reside at job a	ddress	Email Address				
Ryan Lee			ryan.lee@wecenergygroup.com				
Mailing Address City		Zip	Phone				
4800 W. Rawson Ave. Franklin, WI	5	3212	414.221.3473				
Contractor Name			WI DC# / Exp. Date:				
Absolute Construction			WI DCQ# / Exp. Date:				
Dwelling Contractor Qualifier Name (1 or 2 family dwelling	ıs)		Email Address:				
Mailing Address City		Zip	Phone: 262.456.6802				
P.O. Box 044228 Racine, WI	534	404-7004	Fax: 262.456.2117				
Applicant (if other than owner or contractor)			Email Address				
Conlynn Goetsch / Continuum Architects + Planners S.C.		conlynn.goetsch@contin					
Mailing Address City		Zip	Phone				
751 N. Jefferson St., Suite 200 Milwaukee, W		53202	414.220.9640				
Project Type: ☐ 1 & 2 Family ☐ Commercial ☐ Industrial ☐ Institutional ☐ Multi Family - # of Units							
PERMIT TYPE: *THESE ITEMS HAVE PLAN REVIEW FEE	S DUE WITH APPLICA	ATION - PL	EASE SEE RESPECTIVE HANDOUTS.				
*□ New (other than 1 & 2 family)		nd Height_	Decorative / 3'-0"				
*□ Addition	☐ Spa/Hot Tub ☐	On Slab [□ On Deck				
* Alteration - WORK AREAsq. ft.	*□ Pool □ In Grou	ınd □ Abo	ove Ground (Ht. above ground)				
□ Demolition	*□ Deck □ Attach	ned 🗆 D	etached D Pool				
☐ Building Damage Repair	☐ Occupancy - \$22	□ Occupancy - \$225 plus \$7 Technology Fee (Commercial, Industrial,					
☐ Building Move	Institutional only	Institutional only).					
☐ Foundation Repair	☐ Accessory Bldg./Garage (> 120 sq. ft.) Size on slab						
*□ Fireplace	*(plan review fee	*(plan review fee required for > 150 sq. ft.)					
☐ Other			4				
☐ Accessory Building (wood) OR ☐ Prefab. Storage B	Encl. (metal, vinyl, res	sin) (120 s e	q. ft. or <) Size				
☐ Reroofing ☐ Complete Tear Off ☐ Over One Lay	er - Type of Material						
□ Residing - Existing MaterialReplacement Material							
Additional Project Description:							
Estimate "Net" Total Project Cost: \$ Net \$6,494 / Fe ("Net" excludes cost for Plumbing/Electrical/HV/	AC work)		roject Cost: \$ing Permits				

101.65(Ir) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that: If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur: (a) The owner may be held liable for any bodily inquiry to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit. (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

CONTACT PERSON (print)	Conlynn Goetsch, Proj	ect Architect, Continuum	Architects + Planners PHON	E 414.220.9640
APPLICANT'S SIGNATURE	// // // // // //	17		8/10/2023

FAILURE TO OBTAIN PERMIT PRIOR TO STARTING WORK FIRST OFFENSE TRIPLE FEES, SUBSEQUENT OFFENSES QUADRUPLE FEES SEPARATE PERMITS REQUIRED FOR PLUMBING, ELECTRICAL AND HVAC

City of Franklin-Inspection Services

Franklin, WI 53132

9229 W. Loomis Road

www.franklinwi.gov

Phone (414) 425-0084 Fax (414) 425-7513

General Guidelines

FENCES

The following are required of all fences installed in the City of Franklin:

- (a) All fences shall be maintained in good repair and in structurally sound condition. All fences shall be constructed and maintained in a good aesthetic condition and in such a manner and of such materials and colors so as not to adversely affect the value of adjoining property or property in the immediate neighborhood. No fence may be constructed or maintained which is detrimental to human life or safety or causes a traffic hazard. All fences shall be constructed and maintained straight, plumb, and of an even height along its length, except for such deviations as required by grade.
- (b) No advertising or signs shall be permitted on any fence in any zoning district.
- (c) No materials shall be stored between a fence located adjacent to a lot line and the lot.
- (d) Fencing shall be constructed with a finished or decorative side facing the adjacent or abutting property or street.
- (e) No fence shall be constructed in the City without first obtaining a Building Permit.
- (f) Snow fencing will only be permitted between November 15 and April 15 of each year. No Building Permits for the installation of said snow fencing shall be required.

DEFINITIONS:

- (a) Fence: A structure that is a barrier or is used as a boundary or means of protection or confinement.
- (b) Fence Solid: A fence, including gates, which conceals from view from adjoining properties, streets or alleys, activities conducted behind it.
- (c) Fence Decorative: A fence, including gates, which are more than 75% open and less than 3 feet in height, such as split rail fences used for ornamental purposes. For purposes of this section, chain link and picket fences are not considered to be decorative fences.
- (d) Height: The height of the fence shall be determined by measuring the vertical distance from grade to the top of each section of the fence.
- (e) Yard, Front, Side, and Rear: All yard areas are defined by the City of Franklin Unified Development Ordinance.

RESIDENTIAL FENCING

LOCATION:

- 1. Fences having a height of six (6) feet or less may be used to locate property lines within the required side and rear yard areas in residential districts.
- 2. Fences shall not be located within the front yard, except decorative fencing may be installed within the front yard areas in the residential districts.
- 3. In R-8 General Residence Districts or a PDD (Residential) District where aesthetic appearance may require a fence or wall to shield parking lots or other unattractive areas or to generally improve the aesthetics of the development, a wall or fence may be erected in the front vard of the development, by approval of the Plan Commission, and which may include design or other architectural requirements.
- 4. Fences shall not be located in a corner side vard or any rear yard abutting a street on a corner lot. For a rear yard abutting a street on a corner lot, the setback shall be the required corner side setback of the zoning district, or not any closer to the street than the distance from the street to the principal building to which it is accessory, whichever distance is greater.
- **5. Double frontage lots** (streets opposite each other) A fence may be used to locate the property line within the required side and rear (back yard) property line.
- 6. Three street frontage lots A fence may not be placed in the rear or exterior corner side yard on lots with three street frontages.
- 7. No barbed wire, chicken wire, or electrically charged fences shall be allowed in residential zoning districts.

NONRESIDENTIAL ZONING DISTRICTS (excluding A-1, A-2, I-1, and P-1 Districts)

- 1. Fences may be located in all yards in nonresidential zoning districts. Fences located in the front vard shall be approved by the Plan Commission prior to the issuance of a building permit.
- 2. Fences installed in nonresidential districts shall not exceed six (6) feet in height, except when required to enclose outside storage areas or when approved by the Plan Commission may be up to ten (10) feet in height.
- 3. Fencing constructed to enclose outside storage areas shall be at least eight (8) feet in height and in no case lower in height than the enclosed storage area when approved by the Plan Commission.
- 4. Barbed wire may be allowed on the top of fences six (6) feet or more in height.
- 5. All fencing constructed to enclose outside storage areas in non-residential zoning districts shall be approved by the Plan Commission.

A-1 AND A-2 ZONING DISTRICTS

- 1. Fencing shall be permitted in all yards in the A-1 and A-2 districts and in all yards on legal non-conforming agricultural uses for replacement of existing fencing. Fencing shall be permitted in front yards only for the enclosure of cultivated fields, pastures, and animal pens.
- 2. Fencing for areas other than those described in Section
- 1 above shall comply with the residential fencing requirements.
- 3. Fencing may be constructed in the A-1 and A-2 districts for cultivated fields and pastures before a principal structure is present.

INSTITUTIONAL AND PARK FENCING

- 1. Fencing over six (6) feet in height, enclosing a park, elementary, middle, or high school site shall be permitted in all yards.
- 2. All fencing in institutional districts or for institutional uses shall be limited to open mesh-type fencing (chain link).

APPLICATION FOR PERMIT:

- In order to avoid delays in the processing of an application to erect or construct a fence the following information is necessary:
- 1. A plat of survey (ACTUAL SCALE, NOT ENLARGED OR REDUCED), showing proposed fencing location, and any existing structures on the property.
- 2. Dimensions of fence to lot lines and buildings.
- 3. Height of fence above grade (highest point).
- 4. Brochure or picture, showing type of fence proposed.
- 5. Please complete attached WE Energies easement form.
- PLEASE NOTE: Diggers Hotline helps identify costly and dangerous utilities that can be buried just inches beneath your yard's surface. Call or click three working days before digging and have your lines marked so you can dig freely and safely. Wisconsin's One-Call Center 811 or (800) 242-8511 OR schedule your request online at www.diggershotline.com.

INSPECTIONS:

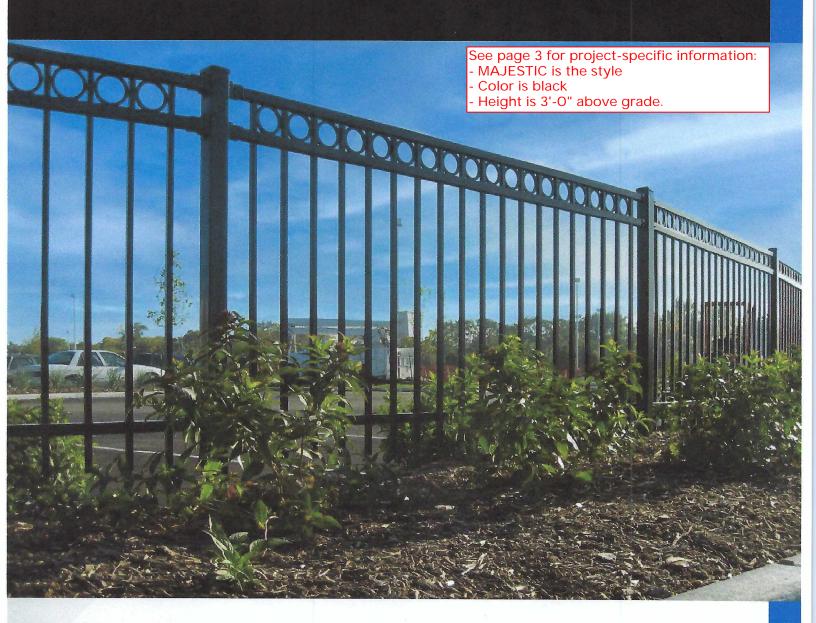
- 1. Location of fencing identified prior to setting posts. Lot lines and fence location must be marked (spray paint, string, etc.) No portion of fence allowed past lot line.
- 2. When fence installation is complete. Lot markers must be identified until the final inspection has been completed.

FEES:

\$13.00 per \$1,000. value of work, \$65.00 minimum fee All permits subject to Technology Fee of \$7.00

ECHELON PLUS®

Ornamental Aluminum Fence

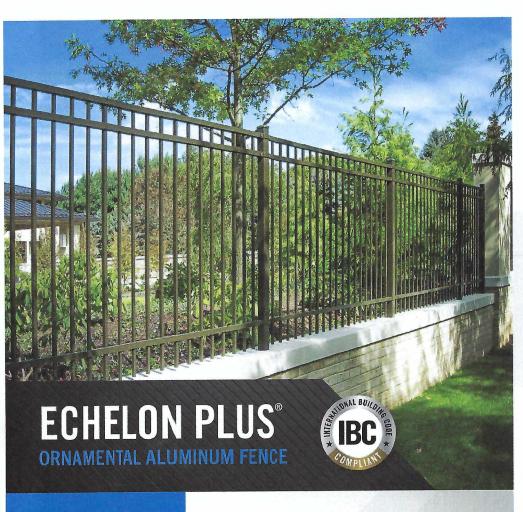




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The sleek design and superior quality of Echelon Plus is International

FORERUNNER® LOCKING SYSTEM

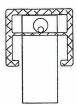
Ameristar reengineered the Echelon Plus ForeRunner rail to maximize strength. The innovative design of the ForeRunner rail contains an internally-secured rod that allows for variable pitch connection and high-angle biasability and eliminates the need for external fasteners.

Increased security

The ForeRunner rail, with an internal retaining rod, prevents the attachment from being compromised. Fasteners are not exposed.

Aesthetic details

The "Good Neighbor Design" rod follows the ForeRunner centerline, providing a clean and uninterrupted look void of visible screws or rivets.



Rail Cross Section

RAKEABLE VS STAIR-STEP

Having a unique picket to rail connection allows Echelon products a minimum biasability of 10%, eliminating any possible security risks due to large gaps under the fence panels.

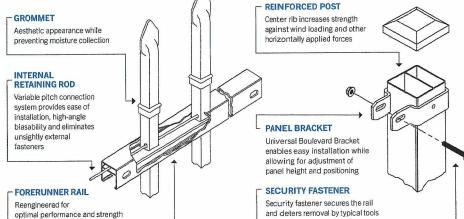


PANELS



PANELS





Building Code (IBC) compliant. ■ Exceeds all IBC 2018 Handrail & Guards load requirements Standard 8 ft, panels yield project savings Redesigned rail for increased strength and maximum load capacity optimal performance and strength

ECHELON PLUS® AMERISTARPERIMETER.COM | 888-333-3422



OWNER'S ACKNOWLEDGEMENT OF CONDITIONS FOR FENCES LOCATED IN WE ENERGIES UTILITY EASEMENTS

Fences may be permitted in We Energies utility easements only subject to the following:

- 1. The fence shall not be positioned nearer than 3' to any side of a transformer if present.
- 2. The fence shall not be positioned nearer than 10' to the door of any transformer if present. *EXCEPTION:* If a gate or easily removable section of fence is positioned directly in front of the door and measures at least as wide as the door to the transformer, the distance may be reduced to 3'.
- 3. We Energies will not repair or replace any portion of the fence in the utility easement if the fence needs to be removed for any utility work including clearing obstructions in the easement area.
- 4. The fence shall not be attached to any utility equipment.
- 5. "Digger's Hotline" shall be contacted prior to any excavation work.
- 6. This authorization only applies to We Energies utility easements.

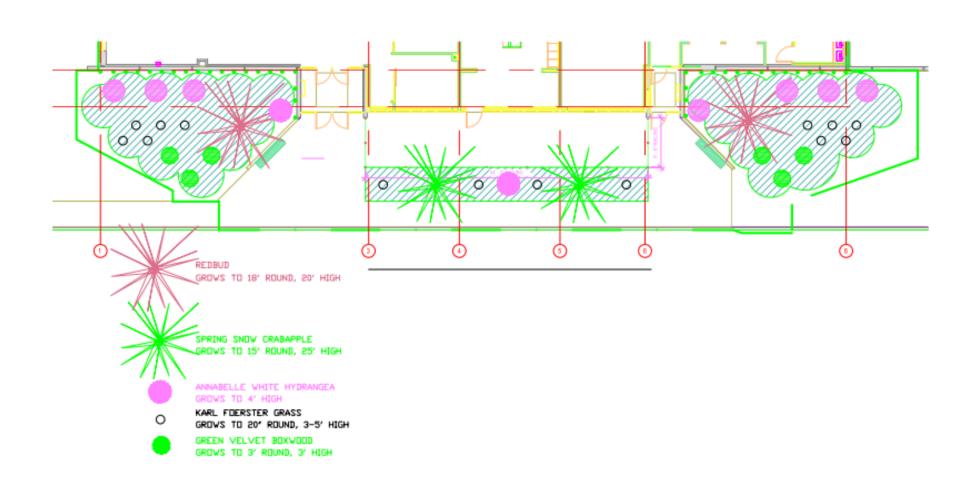
Proper	ty Owner(s) hergby acknowledges that he/s	he has read and understands the above conditions:
Sign	726	_{Print} Ryan Lee
	(On behalf of WEC Energy Group)	
Sign		_ Print

NOTE: The owner must sign this acknowledgement and include it with their fence permit submittal.

Greenfield Landscaping

1121 W Grange Ave Milwaukee, WI 53221 Office: (414)-431-0727

Fax: (414)-755-0085



51.

5

BRASS CAP

SW COR. OF SE 1/4 SEC. 02, T05N, R21E.

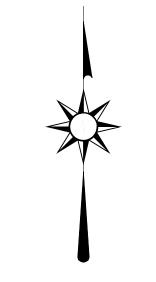
-STARTING BENCHMARK: 726.63

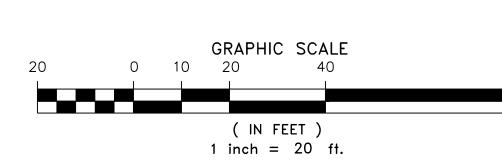
REFERENCE MARK AND REFERENCE

BENCHMARK FOUND CHISELED "X" ON W SIDE OF HYDRANT FLANGE



TNIC	NORTHING	EASTING	ELEV.	Description		
101	5319.39	5757.63	737.42	MAG NAIL IN ASPHALT		
102	5348.64	5530.92	733.51	MAG NAIL IN ASPHALT		
103	5351.32	5652.49	737.65	MAG NAIL IN ASPHALT		
.BM	5295.81	5582.27	736.41	SITE BENCHMARK		
2BM	5359.91	5824.35	740.31	SITE BENCHMARK		
1	5063.32	5072.18	726.63	STARTING BENCHMARK		





TOPOGRAPHIC MAP

SITE ADDRESS

4800 W. Rawson Avenue, City of Franklin, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION

Parcel 2 of Certified Survey Map No. 4565, recorded as Document No. 5786076, being a part of the Southeast 1/4 and the Southwest 1/4 of the Southeast 1/4 of Section 2, Town 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

BASIS OF BEARINGS

Bearings are referenced to the Certified Survey Map No. 4565, in which the South line of the SE 1 /4 bears N87°36'53"E.

NOTES

- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20221520064. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- Vertical datum is based on National Geodetic Vertical Datum of 1929.

S87°36'53"W 839.00'

W. RAWSON AVE.

SOUTH LINE OF THE SE 1/4, SEC. 2

N87°36'53"E 2607.85'

(N87°36'47"E SEWRPC)

W. RAWSON AVE.

PUBLIC R.O.W.

CONC. MON. WITH BRASS CAP SE COR. OF SE 1/4 SEC. 02, T05N, R21E

DATE April 29, 2022 T 414.220.9640

751 N Jefferson St. Suite 200 Milwaukee, WI 53202

CONSULTANTS: Wauwatosa, WI 53222

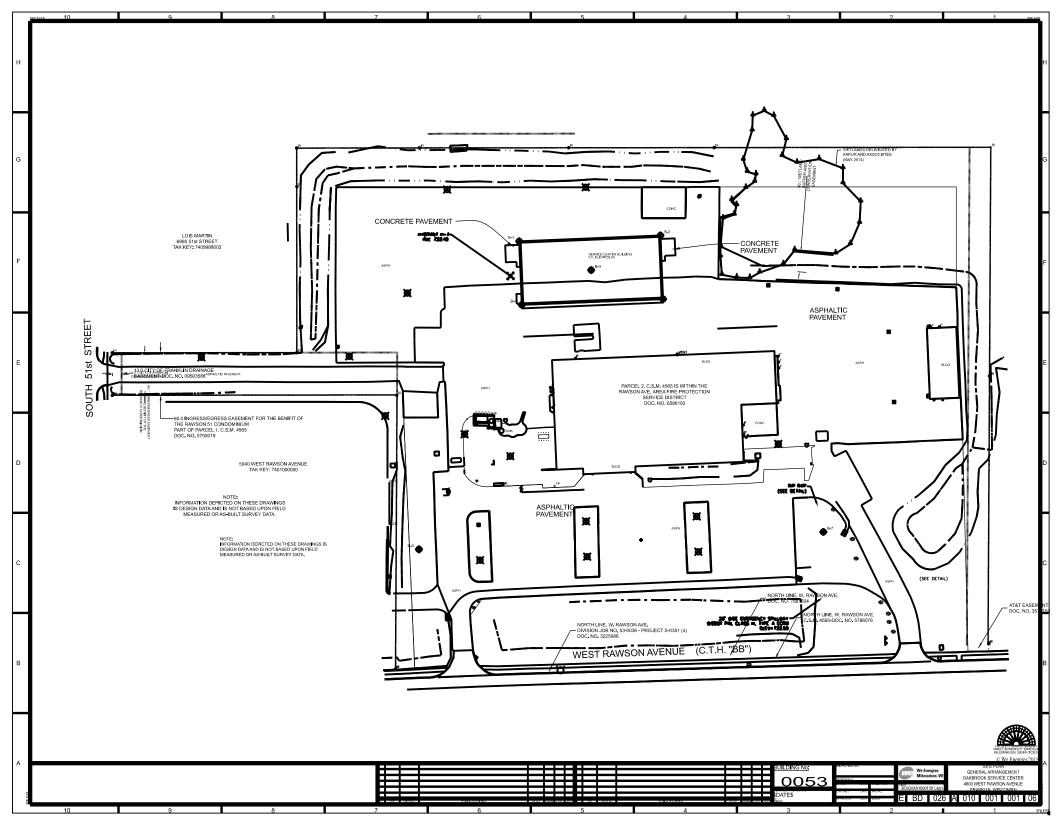
CONSULTANTS:

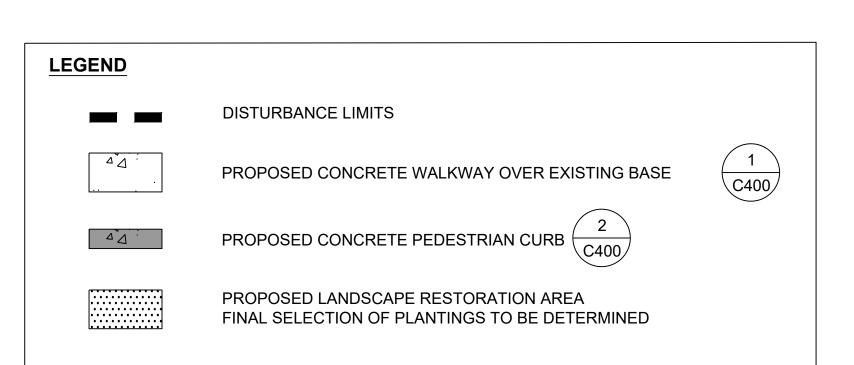
262-821-1171

CHAPUT LAND SURVEYS

PROJECT NUMBER BID DOCUMENTS

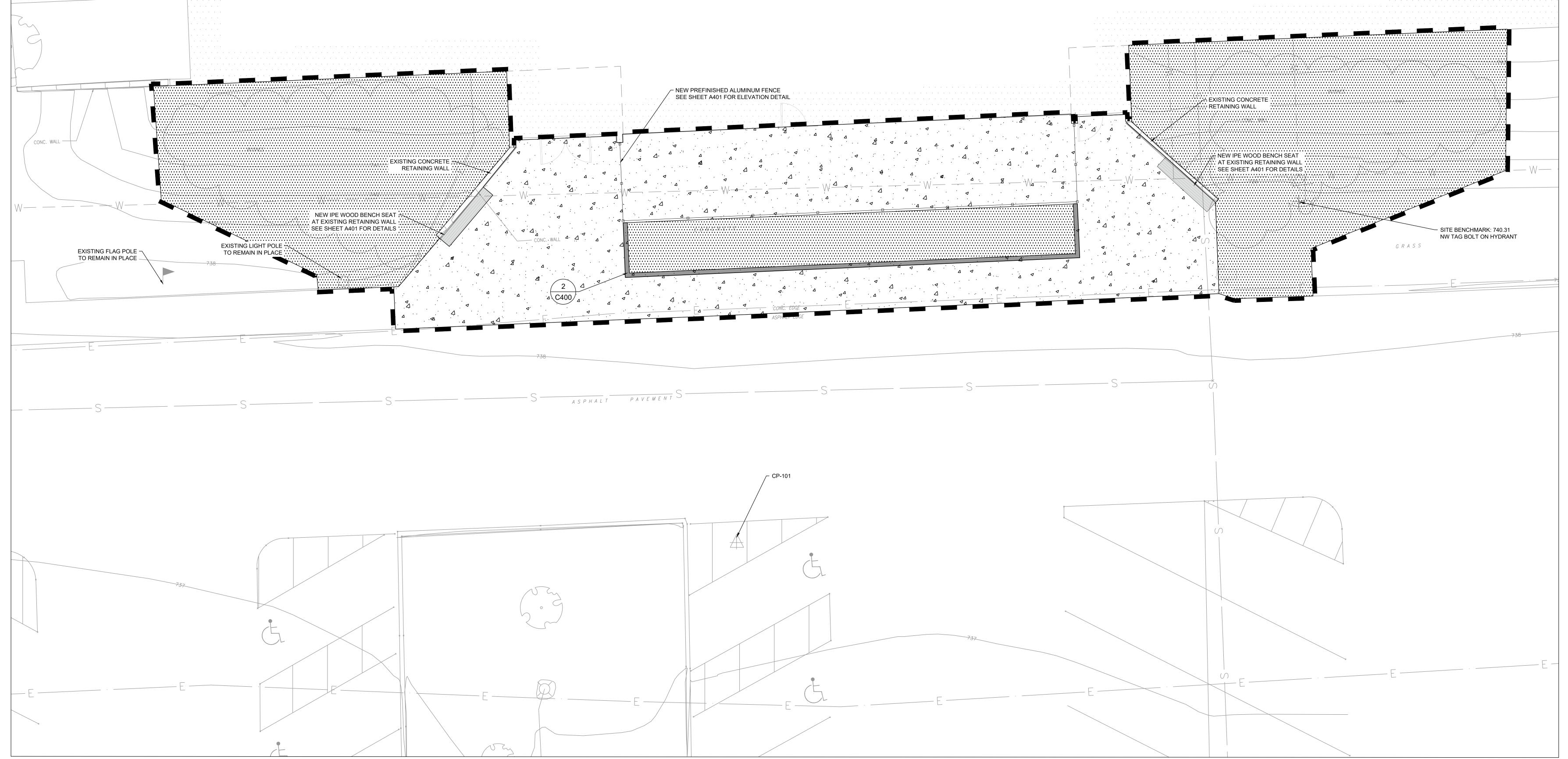
NUMBER



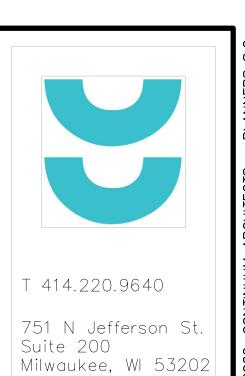


GENERAL NOTES

- 1. SEE ARCHITECTURAL PLANS FOR ADDITIONAL RESTORATION INFORMATION.
- 2. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A ND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FORM THEIR ACTIVITIES.
- 3. ALL EXISTING STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL BE PROTECTED AND REMAIN IN PLACE UNLESS NOTED FOR REMOVAL ON THE DEMOLITION PLAN ON
- 4. SEE SHEET C010 FOR INFORMATION ON COORDINATES AND SURVEY CONTROL.
- 5. SEE SHEET C300 FOR GRADING PLAN.
- 6. ANY DAMAGE FROM THE CONTRACTOR'S OPERATIONS OUTSIDE THE THE SHOWN DISTURBANCE LIMITS TORE SHALL BE RESTORED TO AN IN KIND CONDITION.





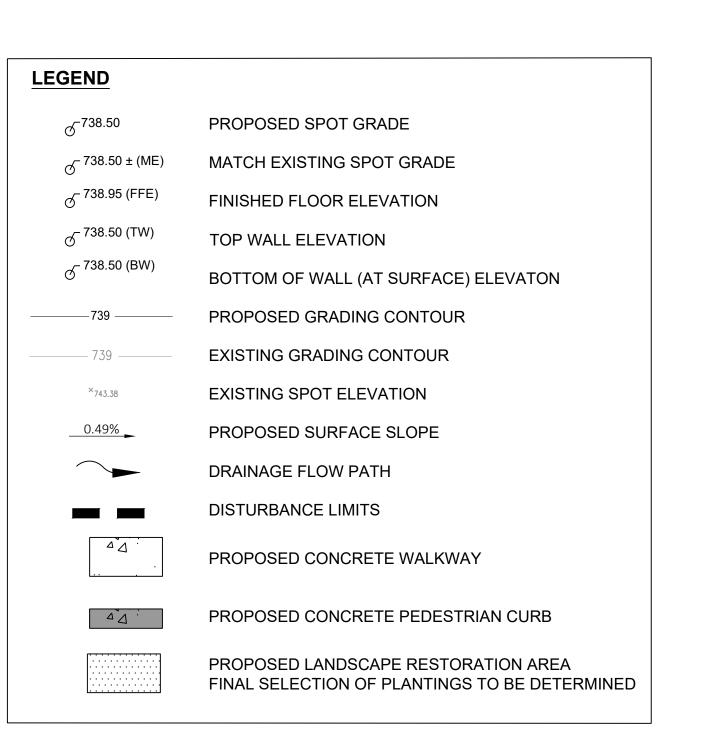


CONSULTANTS:

3636 North 124th Street Wauwatosa, WI 53222 262-821-1171

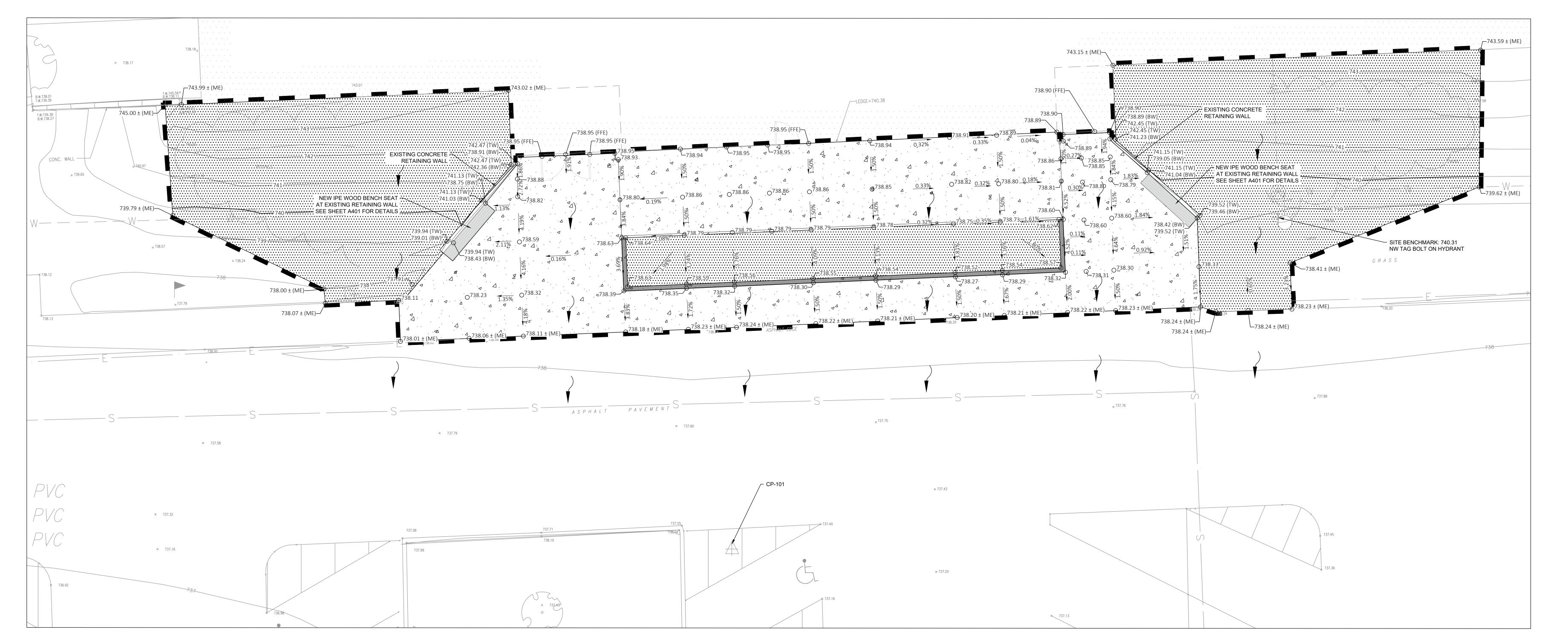
BID DOCUMENTS

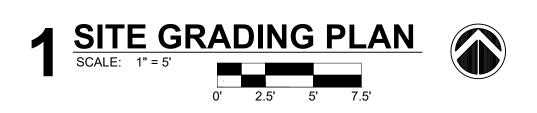
SHEET C200

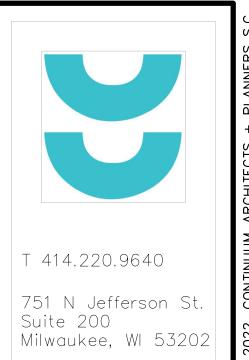


GRADING PLAN NOTES

- 1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A ND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FORM THEIR ACTIVITIES.
- 2. ALL EXISTING STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL BE PROTECTED AND REMAIN IN PLACE UNLESS NOTED FOR REMOVAL ON THE DEMOLITION PLAN ON SHEET C100.
- 3. SEE SHEET C010 FOR INFORMATION ON COORDINATES AND SURVEY CONTROL.
- 4. CONTRACTOR SHALL INSTALL EROSION CONTROL PRIOR TO BEGINNING GRADING WORK. SEE SHEET C050 FOR EROSION CONTROL PLAN.
- 5. GRADE ALL SURFACES FOR POSITIVE DRAINAGE.
- 6. ALL UTILITY STRUCTURES NOT CALLED OUT FOR REMOVAL SHALL BE ADJUSTED TO PROPOSED
- 7. PAVEMENT RESTORATIONS SHALL MEET ADJACENT EXISTING PAVEMENTS AS A FLUSH MATCH.







CONSULTANTS:

Wauwatosa, WI 53222 262-821-1171

SHEET C300



