

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, MAY 7, 2020, 7:00 P.M.

The Facebook page for the Economic Development Commission <https://www.facebook.com/forwardfranklin/> will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of April 23, 2020.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **MILLS HOTEL WYOMING, LLC MIXED-USE DEVELOPMENT.** Rezoning application by Mills Hotel Wyoming, LLC, to rezone Lot No. 84 (24.05 acres) of the Ryan Meadows Subdivision development from M-1 Limited Industrial District to M-2 General Industrial District, property generally located on the east side of Monarch Drive, south of Chicory Street, area commonly known as Area G; part of Tax Key No. 891-9010-002 [*this Rezoning application is being submitted in conjunction with a Site Plan application for Copart, Inc., which is a global online vehicle auction company*]. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.** [SUBJECT MATTER AND PUBLIC HEARING CONTINUED FROM THE APRIL 9, 2020 MEETING.]
2. **MILLS HOTEL WYOMING, LLC MIXED-USE DEVELOPMENT.** Natural Resource Features Special Exception application by Mills Hotel Wyoming, LLC, (Daniel L. Mathson and Virginia K. Mathson, property owners) for the purpose of grading and development of approximately 9,969 square feet of wetland, 19,268 square feet of wetland buffer and 34,002 square feet of wetland setback (which includes the buffer area as well), identified as W-2 in the Ryan Creek watershed, resulting from a Certified Survey Map land division to develop the property generally located at West Loomis Road and West Ryan Road, such property being zoned M-2 General Industrial District; Tax Key No. 939-9994-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.** [THE PUBLIC HEARING FOR THIS APPLICATION WAS PREVIOUSLY NOTICED FOR THE PLAN

COMMISSION MEETING ON APRIL 9, 2020 AND THE PLAN COMMISSION THEN DECIDED TO CONTINUE AND PUT THE MATTER TO THE MAY 7, 2020 PLAN COMMISSION MEETING.]

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **ASKREN WRESTLING ACADEMY: CONVERSION OF AN EXISTING CUSTOM AUTO BODY AND PAINT SHOP TO A WRESTLING ACADEMY GYMNASIUM.** Special Use and Site Plan applications by Benjamin M. Askren, Askren Wrestling Academy, LLC (Askren Properties, LLC, property owner) to allow for a wrestling gymnasium and instruction use (in an existing custom auto body and paint shop building which will be converted into an Askren Wrestling Academy gymnasium), property located at 9760 South 60th Street, and a Site Plan to allow for interior building alterations to the space, including adding two Americans with Disabilities Act restrooms, a small office and finish improvements, and minor exterior site modifications, including parking lot restriping (to include 16 parking spaces, including one Americans with Disabilities Act accessible space) and addition of wheel stops, property zoned M-1 Limited Industrial District; Tax Key No. 899-9993-004. [THE MATTER WAS OPENED AND CLOSED AT THE APRIL 9, 2020 MEETING AND THE SUBJECT MATTER WAS PUT OVER TO THE MAY 7, 2020 PLAN COMMISSION MEETING.]
2. **MILLS HOTEL WYOMING, LLC MIXED-USE DEVELOPMENT.** Certified Survey Map application by Mills Hotel Wyoming, LLC, to subdivide Lot 84 (24.05 acres) of the Ryan Meadows Subdivision into two lots (Lot 1 has an area of 13.46 acres and Lot 2 has an area of 10.59 acres) [the proposed division will accommodate the proposed Copart, Inc. (*a global online vehicle auction company*) Site Plan, which will utilize Lot 2 for the storage of vehicles and an emergency ingress/egress], property is generally located on the east side of Monarch Drive, south of Chicory Street, area commonly known as Area G, zoned M-2 General Industrial District (pending Common Council approval of a rezone application for this area); part of Tax Key No. 891-9010-002.
3. **COPART, INC. GLOBAL ONLINE VEHICLE AUCTION COMPANY BUILDING AND VEHICLE STORAGE YARD CONSTRUCTION.** Site Plan application by Copart of Connecticut, Inc. to allow for construction of a 7,200 square foot building and vehicle storage yard for Copart, Inc. (on approximately 44-acres (approximately .5 acres are located within the City of Muskego)), a global online vehicle auction company specializing in asset liquidation services (including short-term storage and sales of assets, and ancillary

receiving, shipping, lien sale and administrative activities-all assets liquidated intact) to institutional, commercial and private owners of used undamaged vehicles, trailers, watercraft, and powersports, industrial and construction equipment [Copart, Inc. is classified under Standard Industrial Classification No. 5012 Automobiles and Other Motor Vehicles, which is a Permitted Use in the M-2 General Industrial District (the applicant has concurrently submitted a Rezoning Application, requesting to rezone the property from M-1 Limited Industrial District to M-2 General Industrial District)], the development consisting of a building containing an office and shop space, as well as associated parking, landscaping, lighting, fencing, storm water management facilities, and a drop lot for receiving vehicles (a significant amount of space is dedicated for vehicle storage), with hours of operation Monday through Friday, from 8:00 a.m. to 5:00 p.m., upon property located at 10082 South 124th Street (approximately 72.636 acres of vacant land), zoned R-2 Estate/Single-Family Residence District, C-1 Conservancy District and R-8 Multiple-Family Residence District; Tax Key No. 939-9995-000 and a portion of Tax Key Nos. 939-9994-000 and 891-9010-002. [SUBJECT MATTER CONTINUED FROM THE APRIL 9, 2020 MEETING]

E. Adjournment

*Supporting documentation and details of these agenda items are available in the Plan Commission Meeting Packet on the City of Franklin website www.franklinwi.gov.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: May 21, 2020

City of Franklin
Plan Commission Meeting
April 23, 2020
Minutes

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the April 23, 2020 regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patricia Hogan, Patrick Leon, Adam Burckhardt, Kevin Haley, Alderman Mark Dandrea and City Engineer Glen Morrow. Also present were Associate Planner Régulo Martínez, Assistant Planner Marion Ecks, City Development Director Calli Berg and City Attorney Jesse Wesolowski.

B. Approval of Minutes

1. Special Meeting of April 6, 2020 and regular meeting of April 9, 2020.

Commissioner Hogan moved and Commissioner Leon seconded approval of the April 6, 2020 special meeting minutes. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

Commissioner Hogan moved and Commissioner Haley seconded approval of the April 9, 2020 regular meeting minutes. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

C. Public Hearing Business Matters

- 1. CARISCH, INC. REMODELING OF AN EXISTING RESTAURANT BUILDING WITH A DRIVE THROUGH.** Special Use and Site Plan Amendment applications by Carisch, Inc., to operate an Arby's restaurant out of an existing 3,288 square foot restaurant building with patio, wraparound drive through, 28 parking spaces, including 2 Americans with Disabilities Act spaces and 2 drive through spaces, and associated landscaping, lighting, and signage [remodeling work will include changes to the facades and interiors of the building, replacement of the drive through ordering facility, repairs to the parking lot, relocation of landscaping and parking, and removal of a portion of the existing patio to accommodate the 2

Assistant Planner Marion Ecks presented the request by Carisch, Inc., to operate an Arby's restaurant out of an existing 3,288 square foot restaurant building with patio, wraparound drive through, 28 parking spaces, including 2 Americans with Disabilities Act spaces and 2 drive through spaces, and associated landscaping, lighting, and signage [remodeling work will include changes to the facades and interiors of the building, replacement of the drive through ordering facility, repairs to the parking lot, relocation of landscaping and parking, and removal of a portion of the existing patio to accommodate the 2 drive through parking spots] with hours of operation from 10:00 a.m. to 10:00 p.m., Monday through Sunday, restaurant located at 7621 West Rawson Avenue (formerly Pantheon restaurant and Burger King restaurant prior thereto), in Planned Development District No. 16 (Franklin Centre, Formerly Called Franklin Plaza); Tax Key No. 755-0193-000.

drive through parking spots] with hours of operation from 10:00 a.m. to 10:00 p.m., Monday through Sunday, restaurant located at 7621 West Rawson Avenue (formerly Pantheon restaurant and Burger King restaurant prior thereto), in Planned Development District No. 16 (Franklin Centre, Formerly Called Franklin Plaza); Tax Key No. 755-0193-000.

The Official Notice of Public hearing was read in to the record by Assistant Planner Marion Ecks and the Public Hearing was opened at 7:04 p.m. and closed at 7:05 p.m.

Special Use

Commissioner Leon moved and Alderman Dandrea seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use to operate an Arby's restaurant with a drive through out of an existing 3,288 square foot restaurant building located at 7621 West Rawson Avenue. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

Site Plan Amendment

Commissioner Hogan moved and Commissioner Leon seconded a motion to approve a Resolution amending the Site Plan for property located at 7621 West Rawson Avenue to remodel an existing restaurant building to allow for the operation of an Arby's restaurant (tax key no. 755-0193-000). On roll call vote, all voted 'aye'. Motion carried (6-0-0).

2. THE ROCK SPORTS COMPLEX CHALLENGE

TOWER INSTALLATION. Special Use and Site Plan applications by Michael R. Schmitz, owner of Rock Snow Park, LLC (Roc Ventures, LLC, property owner) to allow for a challenge tower/aerial rope course use [challenge towers/aerial ropes courses are not specifically listed as Permitted/Special Use in Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) Ordinance No. 2019-2368, therefore, the applicant is requesting the Plan Commission determine that the proposed use is similar to those listed as Special Uses in the Planned Development District Ordinance, such as Outdoor Climbing Walls or Indoor/Outdoor Sports (non-motorized) not elsewhere classified] in Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), and a Site Plan to allow for the installation of a proposed 50 foot high Challenge Tower (compact aerial courses or high rope courses, comprised of numerous swinging, climbing and

Associate Planner Régulo Martínez presented the request by Michael R. Schmitz, owner of Rock Snow Park, LLC (Roc Ventures, LLC, property owner) to allow for a challenge tower/aerial rope course use [challenge towers/aerial ropes courses are not specifically listed as Permitted/Special Use in Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) Ordinance No. 2019-2368, therefore, the applicant is requesting the Plan Commission determine that the proposed use is similar to those listed as Special Uses in the Planned Development District Ordinance, such as Outdoor Climbing Walls or Indoor/Outdoor Sports (non-motorized) not elsewhere classified] in Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), and a Site Plan to allow for the installation of a proposed 50 foot high Challenge Tower (compact aerial courses or high rope courses, comprised of numerous swinging, climbing and balancing challenges) with 3 levels of obstacles and 50 elements, including a kids course, an observation deck at the top, with a 50 foot by 50 foot octagonal footprint, to be located east of the existing Ski Chalet in The Rock Sports Complex, upon property located at 7011 South Ballpark Drive, property zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) and FW Floodway District; Tax Key No. 744-1003-000.

The Official Notice of Public hearing was read in to the record by Associate Planner Régulo Martínez and the

balancing challenges) with 3 levels of obstacles and 50 elements, including a kids course, an observation deck at the top, with a 50 foot by 50 foot octagonal footprint, to be located east of the existing Ski Chalet in The Rock Sports Complex, upon property located at 7011 South Ballpark Drive, property zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) and FW Floodway District; Tax Key No. 744-1003-000.

3. FIRESTONE COMPLETE AUTO CARE FACILITY DEVELOPMENT. Unified Development Ordinance Text Amendment, Special Use and Site Plan Applications by Pavilion Development Company (Menard, Inc., property owner) to amend the Unified Development Ordinance text at Table 15-3.0603 Standard Industrial Classification Title No. 7539 “Automotive Repair Shops, Not Elsewhere Classified” to allow for such Use as a Special Use within the M-1 Limited Industrial District, in conjunction with a Special Use application (which is contingent upon approval of the concurrent Unified Development Ordinance Text Amendment) to allow for minor automotive repair (primary use) (allowed under Standard Industrial Classification Code No. 7539), along with retail sales of tires and installation (accessory use) (allowed under Standard Industrial Classification Code No. 5531 Auto and home supply stores), and a Site Plan to construct a 6,262 square foot Firestone Complete Auto Care facility (tire sales/installation and minor automobile repair with mercantile showroom) with eight service bays and

Public Hearing was opened at 7:14 p.m. and closed at 7:18 p.m.

Special Use

City Engineer Morrow moved and Alderman Dandrea seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for the installation of a challenge tower/aerial rope course upon property located at 7011 South Ballpark Drive, within Planned Development District No. 37 (the Rock Sports Complex/Ballpark Commons). On roll call vote, all voted 'aye'. Motion carried (6-0-0).

Site Plan

City Engineer Morrow moved and Alderman Dandrea seconded a motion to approve a Resolution approving a Site Plan to allow for the installation of a proposed 50 foot high challenge tower (7011 South Ballpark Drive). On roll call vote, all voted 'aye'. Motion carried (6-0-0).

Assistant Planner Marion Ecks presented the request by Pavilion Development Company (Menard, Inc., property owner) to amend the Unified Development Ordinance text at Table 15-3.0603 Standard Industrial Classification Title No. 7539 “Automotive Repair Shops, Not Elsewhere Classified” to allow for such Use as a Special Use within the M-1 Limited Industrial District, in conjunction with a Special Use application (which is contingent upon approval of the concurrent Unified Development Ordinance Text Amendment) to allow for minor automotive repair (primary use) (allowed under Standard Industrial Classification Code No. 7539), along with retail sales of tires and installation (accessory use) (allowed under Standard Industrial Classification Code No. 5531 Auto and home supply stores), and a Site Plan to construct a 6,262 square foot Firestone Complete Auto Care facility (tire sales/installation and minor automobile repair with mercantile showroom) with eight service bays and associated parking (approximately 32 spaces), lighting, landscaping, stormwater management, utility connections and other site amenities, including vehicular and pedestrian circulation, a trash enclosure and used inventory storage enclosure, upon a vacant 1.23 acre parcel, property located at 10800 West Speedway Drive (approximately 900 feet northeast of the intersection of South Lovers Lane Road and West Speedway Drive, on the north side of West Speedway Drive [near the Kwik Trip convenience store property]), zoned M-1 Limited Industrial District; Tax Key No. 704-1012-000.

associated parking (approximately 32 spaces), lighting, landscaping, stormwater management, utility connections and other site amenities, including vehicular and pedestrian circulation, a trash enclosure and used inventory storage enclosure, upon a vacant 1.23 acre parcel, property located at 10800 West Speedway Drive (approximately 900 feet northeast of the intersection of South Lovers Lane Road and West Speedway Drive, on the north side of West Speedway Drive [near the Kwik Trip convenience store property]), zoned M-1 Limited Industrial District; Tax Key No. 704-1012-000.

The Official Notice of Public hearing was read in to the record by Assistant Planner Marion Ecks and the Public Hearing was opened at 7:32 p.m. and closed at 7:34 p.m.

Unified Development Ordinance Text Amendment

Commissioner Hogan moved and Commissioner Leon seconded a motion to recommend approval of an Ordinance to amend the Unified Development Ordinance text at table 15-3.0603 Standard Industrial Classification Title No. 7539 “automotive repair shops, not elsewhere classified” to allow for such use as a Special Use in the M-1 Limited Industrial District. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

The Official Notice of Public hearing was read in to the record by Assistant Planner Marion Ecks and the Public Hearing was opened at 7:32 p.m. and closed at 7:34 p.m.

Special Use

Commissioner Leon moved and Commissioner Hogan seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use to operate an automotive minor repair (primary use) and tire retail sales and installation (accessory use) business upon property located at 10800 West Speedway Drive. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

The Official Notice of Public hearing was read in to the record by Assistant Planner Marion Ecks and the Public Hearing was opened at 7:37 p.m. and closed at 7:38 p.m.

Site Plan

Alderman Dandrea moved a motion to table this item to the May 21, Plan Commission meeting, Alderman Dandrea withdrew this motion.

Commissioner Leon moved and Alderman Dandrea seconded a motion to approve a Resolution approving a Site Plan for construction of a Firestone Complete Auto Care facility with eight service bays and associated parking, lighting, landscaping, stormwater management, utility connections and other site amenities (at approximately 10800 West Speedway Drive), using the Pewaukee, Wisconsin, Tire Plus facility as base architectural design subject to staff approval. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

**4. THE LEARNING
EXPERIENCE DAYCARE
FACILITY CONSTRUCTION.**

Assistant Planner Marion Ecks presented the request by Steven Pagnotta of Bradford Franklin LLC (Franklin-Wyndham, LLC, property owner), to Amend the Unified

Unified Development Ordinance Text Amendment and Waiver and Release of Easement applications (for construction of a 10,000 square foot one-story daycare building (The Learning Experience), 4,463 square foot playground and parking lot (35 parking spaces), with associated landscaping, fencing and lighting), by Steven Pagnotta of Bradford Franklin LLC (Franklin-Wyndham, LLC, property owner), to Amend the Unified Development Ordinance text at §15-3.0307 CC City Civic Center District, Subsection A.9., to exempt the property in the northeastern corner of the district, such property bearing Tax Key No. 794-9999-009, from the requirements for cross-access for both pedestrian and vehicular circulation with adjacent parcel(s) to the east of the subject property located at 9651 West Drexel Avenue (approximately 1.13 acres of vacant land, previously addressed as 7760 Lovers Lane Road), the applicant's request for a Waiver and Release of the Floating Access Easement is for the subject property (within the Shoppes at Wyndham Village) only [the applicant received approval for a Special Use and Site Plan for the property on December 3, 2019, and as a condition of the approvals, they must obtain City approval of the Unified Development Ordinance text amendment], property zoned CC City Civic Center District; Tax Key No. 794-9999-009.

Development Ordinance text at §15-3.0307 CC City Civic Center District, Subsection A.9., to exempt the property in the northeastern corner of the district, such property bearing Tax Key No. 794-9999-009, from the requirements for cross-access for both pedestrian and vehicular circulation with adjacent parcel(s) to the east of the subject property located at 9651 West Drexel Avenue (approximately 1.13 acres of vacant land, previously addressed as 7760 Lovers Lane Road), the applicant's request for a Waiver and Release of the Floating Access Easement is for the subject property (within the Shoppes at Wyndham Village) only [the applicant received approval for a Special Use and Site Plan for the property on December 3, 2019, and as a condition of the approvals, they must obtain City approval of the Unified Development Ordinance text amendment], property zoned CC City Civic Center District; Tax Key No. 794-9999-009.

The Official Notice of Public hearing was read in to the record by Assistant Planner Marion Ecks and the Public Hearing was opened at 8:15 p.m. and closed at 8:16 p.m.

Unified Development Ordinance Text Amendment

Alderman Dandrea moved and Commissioner Burckhardt seconded a motion to recommend approval of an Ordinance to amend the Unified Development Ordinance text at §15-3.0307 CC City Civic Center District, subsection A.9., to exempt the property in the northeastern corner of the district, such property bearing tax key no. 794-9999-009, from the requirements for cross-access for both pedestrian and vehicular circulation with adjacent parcel(s) to the east of the subject property. On roll call vote, five (5) members voted 'aye' and one (1) voted 'nay'. Motion carried (5-1-0).

Release of Easement Restriction

Alderman Dandrea moved and Commissioner Burckhardt seconded a motion to recommend approval of a Resolution authorizing the Waiver and Release in part of the floating access easement upon land within the Shoppes at Wyndham Village, previously approved by Resolution No. 2007-6339, solely for the property located at 9651 West Drexel Avenue (previously addressed as 7760 South Lovers Lane Road). On roll call vote, five (5) members voted 'aye' and one (1) voted 'nay'. Motion carried (5-1-0).

D. Business Matters

1. PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS) MIRACLE LEAGUE OF MILWAUKEE MIRACLE

Associate Planner Régulo Martínez presented the request by ROC Foundation, Inc., applicant (BPC County Land, LLC, property owner), to allow for the construction of a Miracle League of Milwaukee Miracle Field facility (a custom designed field for children of all abilities) at the

FIELD CONSTRUCTION WITHIN THE MILWAUKEE MILKMEN'S STADIUM IN THE ROCK SPORTS COMPLEX.

Site Plan Amendment application by ROC Foundation, Inc., applicant (BPC County Land, LLC, property owner), to allow for the construction of a Miracle League of Milwaukee Miracle Field facility (a custom designed field for children of all abilities) at the Milwaukee Milkmen's Stadium (S1) at Ballpark Commons, located in the Rock Sports Complex Area, the principal use being outdoor baseball, with the following ancillary uses: stadium restrooms, concession stands and public address system; site area is approximately 1.01 acres, zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), located at approximately 7035 South Ballpark Drive (along the west concourse of the stadium at Ballpark Commons); Tax Key No. 744-1003-000 [per Ordinance 2019-2368, the hours of operation for the Stadium shall be limited to 7:00 a.m. to 11:00 p.m. (in the event of rain delays, extra innings or technical difficulties, an extension up to 12:00 a.m. is allowed), and the scheduling of games will be staggered with Milwaukee Milkmen baseball games to allow for ample parking].

Milwaukee Milkmen's Stadium (S1) at Ballpark Commons, located in the Rock Sports Complex Area, the principal use being outdoor baseball, with the following ancillary uses: stadium restrooms, concession stands and public address system; site area is approximately 1.01 acres, zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), located at approximately 7035 South Ballpark Drive (along the west concourse of the stadium at Ballpark Commons); Tax Key No. 744-1003-000 [per Ordinance 2019-2368, the hours of operation for the Stadium shall be limited to 7:00 a.m. to 11:00 p.m. (in the event of rain delays, extra innings or technical difficulties, an extension up to 12:00 a.m. is allowed), and the scheduling of games will be staggered with Milwaukee Milkmen baseball games to allow for ample parking].

Commissioner Leon moved and Alderman Dandrea seconded a motion to approve a Resolution amending the Site Plan for property located at approximately 7035 South Ballpark Drive to allow for the construction of a Miracle League of Milwaukee Miracle Field facility at the Milwaukee Milkmen's Stadium, the principal use being outdoor baseball, with the following ancillary uses: stadium restrooms, concession stands and public address system (tax key no. 744-1003-000), this approval shall be valid for eighteen (18) months if needed. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

Alderman Dandrea moved and Commissioner Leon seconded a motion to waive the requirement to provide bicycle and pedestrian amenities of Ordinance 2019-2368, Section 15-3.0442E(B)(2)(e). On roll call vote, all voted 'aye'. Motion carried (6-0-0).

Alderman Dandrea moved and Commissioner Leon seconded a motion to waive the requirement of permanent, on-site, outdoor irrigation of Unified Development Ordinance Section 15-5.0303(D) as the Stadium is not currently irrigated and the Miracle Field surface will be poured rubber. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

2. JHB PROPERTIES, LLC LAND DIVISION. Certified Survey Map application by JHB Properties, LLC, the second Certified Survey Map (Certified Survey Map B) of a two-step land division that the applicant is performing at this location within Planned Development District No. 39 (Mixed Use Business Park), to divide Lot 3 of Certified Survey Map No. ____ into two lots and two outlots for stormwater and

Assistant Planner Marion Ecks presented the request by JHB Properties, LLC, the second Certified Survey Map (Certified Survey Map B) of a two-step land division that the applicant is performing at this location within Planned Development District No. 39 (Mixed Use Business Park), to divide Lot 3 of Certified Survey Map No. ____ into two lots and two outlots for stormwater and conservation [the first step in the process (Certified Survey Map A) was approved by the Common Council on March 3, 2020, with conditions, creating three lots and one stormwater outlot], property located at 3617 West Elm Road (immediately

conservation [the first step in the process (Certified Survey Map A) was approved by the Common Council on March 3, 2020, with conditions, creating three lots and one stormwater outlot], property located at 3617 West Elm Road (immediately north of the proposed lift station for Planned Development District No. 39 (Mixed Use Business Park)); Tax Key No. 979-9997-000.

north of the proposed lift station for Planned Development District No. 39 (Mixed Use Business Park)); Tax Key No. 979-9997-000.

City Engineer Morrow moved and Commissioner Leon seconded a motion to recommend approval of a Resolution conditionally approving a 2 Lot and 2 Outlot Certified Survey Map, being Lot 3 of Certified Survey Map No. _____, as recorded in the Register of Deeds Office for Milwaukee County as Document No. _____ being a part of the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin (3617 West Elm Road), with the following lot numbers: Lot 1, Lot 2, Outlot 1 and Outlot 2. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

E. Adjournment

Commissioner Hogan moved and Commissioner Leon seconded a motion to adjourn the Plan Commission meeting of April 23, 2020 at 8:29 p.m. On voice vote, all voted 'aye'; motion carried. (6-0-0).

DRAFT

**CITY OF FRANKLIN****REPORT TO THE PLAN COMMISSION**

Meeting of May 7, 2020

Rezoning and Site Plan

RECOMMENDATION: City Development Staff recommends approval of the Rezoning application submitted by Bear Development, LLC and Site Plan submitted by Copart of Connecticut, Inc. subject to the conditions in the draft ordinance and draft resolution.

Project Name:	Copart of Connecticut, Inc.
Project Location:	10082 S 124th Street. Not Assigned/891-9010002, 939-9994-000, and 939-9995-000
Property Owner:	Mills Hotel Wyoming (891-9010-002), Franklin Mills, LLC (939-9995-000), and Mathson, Daniel L & Virginia K (Mathson, Robert ET AL) (939-9994-000)
Applicant:	Daniel Szczap. Bear Development, LLC Mason Laycock. Copart of Connecticut, Inc.
Current Zoning:	M-1 Limited Industrial District
Proposed Zoning:	M-2 General Industrial District
2025 Comprehensive Plan:	Business Park and Areas of Natural Resource Features
Applicant's Action Requested:	Recommendation of approval of the Rezoning and approval of the proposed Site Plan.

Introduction

Please note:

- Staff recommendations are underlined, in italics and are included in the draft ordinance.
- Staff suggestions are only underlined and are not included in the draft resolution.

On February 10, 2020, Bear Development, filed an application requesting to rezone Lot No. 84 of the Ryan Meadows Subdivision development from M-1 Limited Industrial District to M-2 General Industrial District.

On February 14, 2020, in conjunction with the Rezoning Application, Copart of Connecticut, Inc. filed a Site Plan Application for the development of a 7,200 square foot building and a 25-acre vehicle storage yard.

Project Description and Analysis**Rezoning Application:**

As indicated, Bear Development is proposing to rezone the proposed Lot 84 of the Ryan Meadows subdivision to the M-2 District to accommodate the Copart, Inc. development. Copart, Inc. is a global online vehicle auction company specializing in asset liquidation and is classified under Standard Industrial Classification (SIC) No. 5012 Automobiles and other Motor Vehicles, which is a Permitted Use in the M-2 Zoning District, see definition below:

SIC 5012 - Automobiles and Other Motor Vehicles

Establishments primarily engaged in the wholesale distribution of new and used passenger automobiles, trucks, trailers, and other motor vehicles, including motorcycles, motor homes, and snowmobiles.

This Copart facility is not considered a salvage yard or junkyard because the applicant stated that *all Assets are liquidated intact, meaning no dismantling, draining of fluids, crushing, or sale of parts occurs at a Copart facility.* Junkyards are classified under SIC 5093 Scrap and Waste Materials, and defined as: *Establishments primarily engaged in assembling, breaking up, sorting, and wholesale distribution of scrap and waste materials. This industry includes auto wreckers engaged in dismantling automobiles for scrap [emphasis added].* It is noted that scrap facilities are permitted in the M-1 District but not permitted in the M-2 District.

As the subject parcel does not yet exist, and to not create split zoning in violation of Section 15-3.0103 of the UDO, *the Rezoning shall be contingent upon the recording of the Final Plat for the Ryan Meadows Subdivision.* Also, a Certified Survey Map to divide Lot 84 into two lots is scheduled for this Plan Commission meeting.

The area to be rezoned is designated as Business Park and Areas of Natural Resource Features on the City’s 2025 Future Land Use Map. The proposed rezoning to the M-2 District is consistent with the City’s Comprehensive Master Plan; therefore, an amendment is not required.

With that said, the M-2 District intent should be considered to ensure that the rezoning is consistent with the City’s overall plan for the larger surrounding area as an industrial park. The M-2 District intent is below for review.

§ 15-3.0310

M-2 General Industrial District.

A. District Intent.

1. The M-2 General Industrial District is intended to:

- a. Provide for manufacturing, industrial, warehousing, and uses of a more general and less restrictive nature and size than either the M-1 or BP Districts.*
- b. Be used in locations where the relationship to surrounding land use would create fewer problems of compatibility.*

2. The M-2 District is not intended to:

- a. Abut residential zoning districts.*
- b. Accommodate industrial or business parks under unified design and ownership which exceed 20 acres in area.*

The community character of the M-2 District is SUBURBAN as set forth in the City of Franklin Comprehensive Master Plan.

For example, some land uses that are permitted/special in the M-2 District but not permitted in the M-1 District include: ship building, metal fabrication, soap manufacturing, paper mills, sawmills and heavy construction. In contrast, the following land uses are permitted in the M-1

District but not in the M-2 District: wholesale trade (professional equipment, groceries, meats, fruits, paper, furniture, etc.), scrap facilities, general and refrigerated warehousing, manufacturing of instruments, laboratory equipment and special trade contractors (special use required).

Per Memorandum sent to the applicant on March 10, 2020, staff commented that a landscape bufferyard shall be required along the eastern boundary to ameliorate any potential nuisance between the existing residential zoning district and the proposed M-2 General Industrial District. The applicant added such landscape bufferyard to the landscape plan as well as a masonry fence. However, staff recommends that a tree survey shall be provided for all landscape bufferyard areas prior to the issuance of a building permit in accordance with Section 15-7.0301.G of the UDO.

With regards to adjacent residential districts to the north and south, Bear Development, LLC submitted a landscape bufferyard easement as a condition of approval for Certified Survey Map set forth in Resolution 2019-7565. Furthermore, an approved conservation easement on the southern portion of Lot 84 would act as buffer to the south.

Site Plan Application:

Again, Copart of Connecticut, Inc. has applied for a Site Plan for the development of a 7,200 square foot building and a 25-acre storage yard for approximately 5,080 vehicles.

The development is proposed on approximately 44-acres, of which about .5-acres are located within the City of Muskego. The development consists of the building, which contains office and shop space, as well as associated parking, landscaping, lighting, fencing, and storm water management facilities. In addition, the site plan includes a drop lot for receiving vehicles and a significant amount of space dedicated for vehicle storage.

The 44 acres includes Lot 1 of the previously approved CSM, which has not yet been recorded, as well as the southern portion of Lot 84, which also has not yet been created. The Ryan Meadows subdivision plat still needs to be recorded. As such, the Copart, Inc. Site Plan shall be contingent upon the recording of a CSM or land transfer, as may be allowed, to combine the southern portion of Lot 84 of the Ryan Meadows subdivision and Lot 1 of the previously approved CSM for the redivision of parcels bearing Tax Key Nos. 939-9994-000 and 939-9995-000.

The site will be accessible from 124th Street through the .5-acre portion of land that is within the City of Muskego. An emergency fire access will be provided from Monarch Drive. The applicant is proposing a 28-foot wide entrance drive with heavy-duty pavement. Note that per Section 15-5.0207B., driveways shall not exceed 24 feet at the street right-of-way line and 30-feet at the roadway, unless a greater distance is approved by the Plan Commission. Approval of the proposed Site Plan will constitute the Plan Commission's approval of the entrance drive as proposed by the applicant.

The site plan includes 41 parking spaces, including two ADA accessible spaces, which is in conformance with Table 15-5.0202(I)(1). The UDO recommends junkyards provide two parking

spaces per 1,000 square feet of roofed area, plus one space per 15,000 square feet of outside storage area.

According to the applicant, *Copart's operations are very unique compared to most facilities that have outdoor storage. Their operation does not allow the public in the storage yard or beyond the building. That being said, most of the personal vehicle traffic at a Copart Facility is employees and the adequate number of parking stalls needed are far less than a typical outdoor storage facility.* The applicant is requesting a reduction in the number of parking stalls at this Facility to 41 stalls, two of which are accessible spaces to meet the current City code and ADA Standards.

The Plan Commission may approve increases or reductions from this Standard Parking Ratio. Alternatively, if determined the use is not appropriately classified as a junk yard, the Plan Commission may determine the amount of parking required per Section 15-5.0203E. of the UDO.

All parking spaces within the parking lot in front of the building are 9-feet wide and 20-feet long (180 square feet) and drive aisles are 24-feet wide in compliance with UDO standards.

Landscape Plan:

According to the applicant, 64.9% of the site consists of impervious surfaces, resulting in a 35.1% Landscape Surface Ratio, which complies with the M-2 District minimum LSR of 35%.

The UDO requires one planting of each type (Canopy/Shade Trees, Evergreens, Decorative Trees, and Shrubs) per five provided parking spaces. With 41 proposed parking spaces, nine plantings of each type are required. However, as the property abuts residentially zoned properties, an additional 20% of plantings is required. Therefore, 11 plantings of each type are required.

The Landscape Plan includes 11 Canopy/Shade Trees, 11 Evergreens, 11 Decorative Trees, and 15 Shrubs. Therefore, it complies with UDO Table 15-5.0302.

Per UDO Section 15-5.0303.D., permanent, on-site irrigation is required for all new living landscape areas. The applicant is proposing temporary irrigation until the plantings are established. According to the applicant: *planting species have been specifically chosen to be tolerable of drought conditions, so permanent irrigation should not be needed.*

Natural Resource Protection Plan:

All protected natural resource features shall be placed within a Conservation Easement, approved by the Common Council and recorded with the Milwaukee County Register of Deeds, prior to the issuance of building permits. It is noted that Bear Development, LLC is preparing conservation easements for natural resources within lot 1 of previously approved CSM (Res. 2019-7565), and that the conservation easement for the southern portion of Lot 84 has been approved but not yet recorded.

The Site Plan will also be contingent upon the approval of the Natural Resources Special Exception (NRSE) application to allow for impacts to wetlands, wetland buffers and wetland setbacks. The NRSE request is scheduled for this April 9, 2020, Plan Commission meeting.

Lighting Plan:

The applicant is requesting to defer the requirement of a Lighting Plan set forth in Division 15-5.0400 of the UDO as a condition of approval.

Stormwater management:

The applicant has provided detailed engineering plans. Staff recommends that a final utility, grading, erosion control and storm water management shall be subject to review and approval by the Engineering Department, prior to issuance of a Building Permit.

Architecture:

Staff suggests that the architecture and building materials proposed be reconsidered. Furthermore, metal is not recommended to be used as a primary building material, staff is suggesting brick or stone as exterior materials.

Signage:

Sign plans have not been provided. It is recommended that all proposed signage shall comply with the requirements of Chapter 210 of the City's Municipal Code and must receive a Sign Permit from the Inspection Department prior to installation.

Recommendation

It is recommended that the Plan Commission recommend approval of the Rezoning application and approve the Site Plan, subject to the conditions in the attached draft resolution.

Additionally, the applicant is requesting the following:

1. A reduction in the number of parking stalls at this Facility to 41 stalls, two of which are accessible spaces to meet the current City code and ADA Standards.

Staff comment: The Plan Commission may approve increases or reductions from this Standard Parking Ratio. Alternatively, if determined the use is not appropriately classified as a junk yard, the Plan Commission may determine the amount of parking required per Section 15-5.0203E. of the UDO. For example, if considered as a junkyard for the purpose of parking requirements, the parking ratio would be 1/15,000 of outside storage area, resulting in 73 parking stalls.

2. A 28-foot wide drive to the west, while the UDO requires driveway width not to exceed 24 feet.

Staff comment: Per UDO §15-5.0207B., the width of a driveway shall not exceed 24 feet at the street right-of-way line and 30-feet at the roadway, unless a greater distance is approved by the Plan Commission. The applicant stated that the *driveway is 28-foot wide to comply with*

the WisDOT commercial development standards. We feel this is acceptable because this will be a shared driveway when Lot 1 of CSM 11704 (to the north) is developed.

3. Approval of the proposed fences with a height of 8 feet, including a metal panel fencing and a decorative masonry fencing, as shown in plan sheet 13/16 “Details”.

Staff comment: In memorandum dated March 13, 2020, staff recommended landscape plantings between the metal panel fencing and South 124th Street. The applicant has addressed this recommendation.

4. Temporary irrigation in lieu of permanent irrigation, the applicant is proposing drought-tolerant plantings.

Staff comment: Permanent irrigation is a requirement of the UDO. Staff is proposing two alternatives: permanent irrigation and/or a 2-year planting guarantee.

- Pursuant to Unified Development Ordinance §15-5.0303.D., the applicant shall revise the Landscape Plan to include permanent, on-site irrigation for all new living landscape areas.

AND/OR

- Pursuant to Unified Development Ordinance §15-5.0303.G.3., any plant materials included in an approved landscaping plan that do not survive a plant establishment period of two years after installation shall be replaced by applicant, owner(s) of the property, successors and assigns, with plant material(s) of the same or like species of equal size within the next planting season, but in any event, within six months of the plant material(s)' demise.

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

[Draft 4-3-20]

ORDINANCE NO. 2020-_____

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE (ZONING MAP) TO REZONE LOT 84 OF THE APPROVED FINAL PLAT FOR “RYAN MEADOWS” SUBDIVISION FROM M-1 LIMITED INDUSTRIAL DISTRICT TO M-2 GENERAL INDUSTRIAL DISTRICT (GENERALLY LOCATED ON THE EAST SIDE OF MONARCH DRIVE, SOUTH OF CHICORY STREET, AREA COMMONLY KNOWN AS AREA G) (APPROXIMATELY 24.0541 ACRES) (MILLS HOTEL WYOMING, LLC, APPLICANT)

WHEREAS, Mills Hotel Wyoming, LLC having petitioned for the rezoning of Lot 84 of the approved Final Plat for “Ryan Meadows” Subdivision from M-1 Limited Industrial District to M-2 General Industrial District, such land being generally located on the east side of Monarch Drive, south of Chicory Street, area commonly known as Area G *[this Rezoning application is being submitted in conjunction with a Site Plan application for Copart, Inc., which is a global online vehicle auction company]*; and

WHEREAS, a public hearing was held before the City of Franklin Plan Commission on the 9th day of April, 2020, upon the aforesaid petition and the Plan Commission thereafter having determined that the proposed rezoning would promote the health, safety and welfare of the City and having recommended approval thereof to the Common Council; and

WHEREAS, the Common Council having considered the petition and having concurred with the recommendation of the Plan Commission and having determined that the proposed rezoning is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and would promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0102 (Zoning Map) of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended to provide that the zoning district designation for the property described below be changed from M-1 Limited Industrial District to M-2 General Industrial District:

Part of Lots 2 and Outlot 1, of Certified Survey Map No. 9095 as recorded in the Register of Deeds office for Milwaukee County as Document No. 10830741, being a part of the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 and the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4, all

in Section 30, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows: Commencing at the southwest corner of the Northwest 1/4 of said Section 30; thence South 89°39'32" East along the south line of said Northwest 1/4, 2142.90 feet to the Point of Beginning; Thence North 53°44'29" East, 35.97 feet to a point of curvature; thence northeasterly 106.76 feet along the arc of said curve to the left, whose radius is 270.00 feet and whose chord bears North 42°24'51" East, 106.06 feet; thence North 31°05'13" East, 282.33 feet to a point of curvature; thence northeasterly 183.30 feet along the arc of said curve to the left, whose radius is 270.00 feet and whose chord bears North 11°38'18" East, 179.80 feet; thence North 07°48'36" West, 543.63 feet to a point of curvature; thence northwesterly 241.78 feet along the arc of said curve to the left, whose radius is 270.00 feet and whose chord bears North 33°27'51" West, 233.79 feet; thence North 59°07'06" West, 82.77 feet; thence North 14°02'32" West, 27.27 feet; thence North 30°52'54" East, 29.00 feet to a point of curvature; thence northeasterly 114.43 feet along the arc of said curve to the right, whose radius is 190.00 feet and whose chord bears North 48°08'09" East, 112.71 feet; thence North 65°23'24" East, 245.97 feet to a point of curvature; thence northeasterly 181.45 feet along the arc of said curve to the left, whose radius is 535.00 feet and whose chord bears North 55°40'26" East, 180.58 feet; thence North 45°57'27" East, 53.22 feet; thence South 44°24'10" East, 200.97 feet; thence South 00°34'43" East, 365.13 feet; thence South 89°25'17" West, 116.04 feet; thence South 01°10'06" East, 1155.10 feet to the south line of said Outlot 1; thence North 89°42'41" West along said south line 35.01 feet to the southwest corner of the Northeast 1/4 of said Section 30; thence South 00°34'05" West along the east line of said Outlot 1, 667.46 feet to the southeast corner of said Outlot 1; thence North 89°47'21" West along a south line of said Outlot 1, 662.96 feet to the southwest corner of said Outlot 1; thence North 00°34'08" West along the west line of said Outlot 1, 570.47 feet; thence North 53°44'29" East, 165.19 feet to the Point of beginning. Containing 1,047,796 square feet (24.0541 acres) of land, more or less. Tax Key No. part of 891-9010-002.

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this

ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

SECTION 5: This Rezoning shall be contingent upon the recording of the Final Plat for the Ryan Meadows Subdivision.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2020-_____

A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION
OF A 7,200 SQUARE FOOT BUILDING AND VEHICLE STORAGE YARD,
ALONG WITH ASSOCIATED PARKING, LANDSCAPING, LIGHTING,
FENCING, STORMWATER MANAGEMENT FACILITIES AND A DROP LOT
FOR RECEIVING VEHICLES, FOR A GLOBAL ONLINE VEHICLE AUCTION
COMPANY SPECIALIZING IN ASSET LIQUIDATION SERVICES
(10082 SOUTH 124TH STREET)
(COPART OF CONNECTICUT, INC., APPLICANT)

WHEREAS, Copart of Connecticut, Inc. having applied for approval of a proposed site plan for construction of a 7,200 square foot building and vehicle storage yard for Copart, Inc. (on approximately 44-acres (approximately .5 acres are located within the City of Muskego)), a global online vehicle auction company specializing in asset liquidation services (including short-term storage and sales of assets, and ancillary receiving, shipping, lien sale and administrative activities-all assets liquidated intact) to institutional, commercial and private owners of used undamaged vehicles, trailers, watercraft, and powersports, industrial and construction equipment, the development consisting of a building containing an office and shop space, as well as associated parking, landscaping, lighting, fencing, storm water management facilities, and a drop lot for receiving vehicles (a significant amount of space is dedicated for vehicle storage), with hours of operation Monday through Friday, from 8:00 a.m. to 5:00 p.m., at 10082 South 124th Street *[this Site Plan application is being submitted in conjunction with a Rezoning application for Mills Hotel Wyoming, LLC, requesting to rezone the property from M-1 Limited Industrial District to M-2 General Industrial District];* and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the construction of a 7,200 square foot building and vehicle storage yard for Copart, Inc., as well as associated parking, landscaping, lighting, fencing, storm water management facilities, and a drop lot for receiving vehicles, as depicted upon the plans date-stamped March 31, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Copart of

COPART OF CONNECTICUT, INC. – SITE PLAN
RESOLUTION NO. 2020-_____

Page 2

Connecticut, Inc. “Copart, Inc.” vehicle auction company date-stamped March 31, 2020.

2. Copart of Connecticut, Inc., successors and assigns, and any developer of the Copart of Connecticut, Inc. “Copart, Inc.” vehicle auction company construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Copart of Connecticut, Inc. “Copart, Inc.” vehicle auction company construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Copart of Connecticut, Inc. “Copart, Inc.” vehicle auction company construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Copart of Connecticut, Inc. “Copart, Inc.” vehicle auction company construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. This Site Plan shall be contingent upon the recording of a CSM or land transfer, as may be allowed, to combine the southern portion of Lot 84 of the Ryan Meadows subdivision and Lot 1 of the previously approved CSM for the redivision of parcels bearing Tax Key Nos. 939-9994-000 and 939-9995-000.
6. This Site Plan shall be contingent upon the approval of the Natural Resources Special Exception (NRSE) application to allow for impacts to wetlands, wetland buffers and wetland setbacks.
7. Conservation and landscape bufferyard easements shall be recorded with the Milwaukee County Register of Deeds, prior to issuance of a Building Permit.
8. Pursuant to Unified Development Ordinance Division 15-5.0400, the applicant shall submit a Lighting Plan for Department of City Development review and approval, prior to issuance of a Building Permit.

COPART OF CONNECTICUT, INC. – SITE PLAN
RESOLUTION NO. 2020-_____

Page 3

9. Pursuant to Unified Development Ordinance §15-7.0301.G, the applicant shall submit a tree survey of the areas designated as Landscape Bufferyard Easement.
10. Final utility, grading, erosion control and storm water management shall be subject to review and approval by the Engineering Department, prior to issuance of a Building Permit.
11. All signage shall comply with the requirements of Chapter 210 of the City's Municipal Code and must receive a Sign Permit from the Inspection Department prior to installation.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Chairman

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

Table 15-3.0502

Worksheet for the Calculation of Base Site Area for Both Residential and Nonresidential Development

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	43.56	acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	1.83	acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0	acres
STEP 4:	In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	0	acres
STEP 5:	Equals "Base Site Area"	41.73	acres

Table 15-3.0503

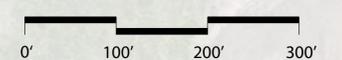
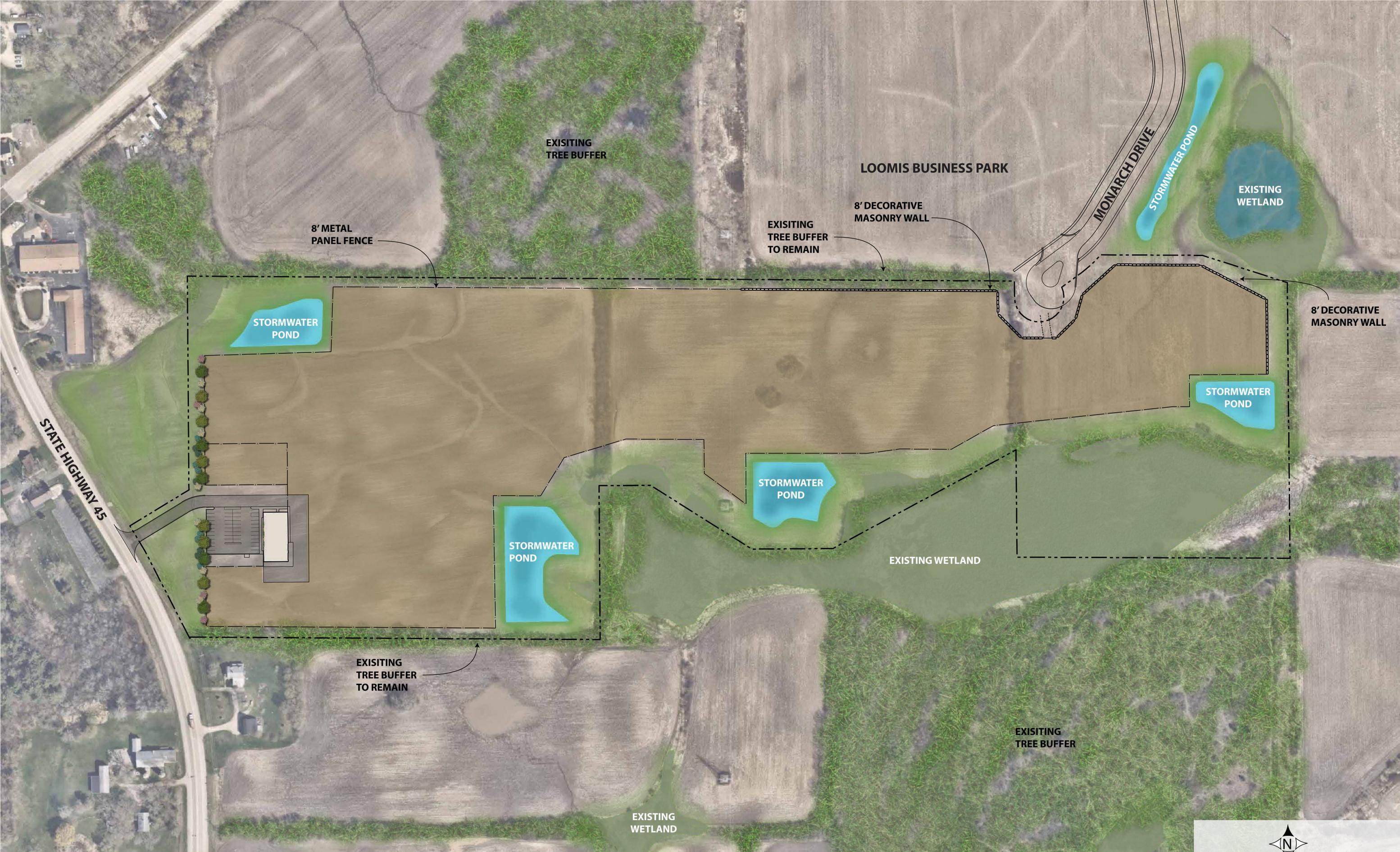
Worksheet for the Calculation of Resource Protection Land

Natural Resource Feature	Protection Standard Based Upon Zoning District Type			Acres of Land in Resource Feature	
	Agricultural	Residential	Non-Residential		
Steep Slopes:					
10-19%	0.00	0.60	0.40	-	-
20-30%	0.65	0.75	0.70	-	-
+30%	0.90	0.85	0.80	-	-
Woodlands & Forests:					
Mature	0.70	0.70	0.70	-	-
Young	0.50	0.50	0.50	-	-
Lakes & Ponds	1.00	1.00	1.00		
Streams	1.00	1.00	1.00	-	-
Shore Buffer	1.00	1.00	1.00	-	-
Floodplains	1.00	1.00	1.00	-	-
Wetland Buffers	1.00	1.00	1.00	1x2.29	2.29
Wetlands & Shoreland	1.00	1.00	1.00	1x1.62	1.62
Total Resource Protection Land				3.91	Acres

Table 15-3.0505

Worksheet for the Calculation of Site Intensity and Capacity for Nonresidential Development

STEP 1:	Calculate minimum required landscape surface: Base Site Area x Landscape Surface Ratio = Minimum Required On-Site Landscape Surface	14.61	acres
STEP 2:	Calculate Net Buildable Site Area: Base Site Area - Total Resource Protection Land or Min. Required Landscape Surface = Net Buildable Site Area	27.12	acres
STEP 3:	Calculate Maximum Net Floor Area Yield of Site: Net Buildable Site Area x NFAR = Maximum Net Floor Area Yield of Site	23.06	acres
STEP 4:	Calculate Maximum Gross Floor Area Yield of Site: Base Site Area x GFAR = Maximum Gross Floor Area Yield of Site	22.95	acres
STEP 5:	Determine Maximum Permitted Floor Area of Site: Lowest of MNFAY/MGFAY x 43,560	22.95	acres



PRELIMINARY PLANS

SITE RAIN EROSION CONTROL AND STORM SEWER

FOR
FRANKLIN YARD
 FRANKLIN, WI

PREPARED FOR:
COPART INC
 14185 DALLAS PARKWAY, SUITE 300
 DALLAS, TX 75254
 CONTACT: MASON LAYCOCK
 PHONE: (972) 391-5375
 EMAIL: MASON.LAYCOCK@COPART.COM

PREPARED BY:
Westwood

Phone (320) 253-9495 3701 12th Street North, Suite 206
 Fax (320) 358-2001 St. Cloud, MN 56303
 Toll Free (800) 270-9495 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0023687.00
 CONTACT: JOHN S. BLENKER

BUCKEYE LOCAL CONTACT
 ARIC AUFDERMAUER
 WEST SHORE PIPELINE/BUCKEYE PARTNERS
 414-391-8102



Vicinity Map
 (NOT TO SCALE)

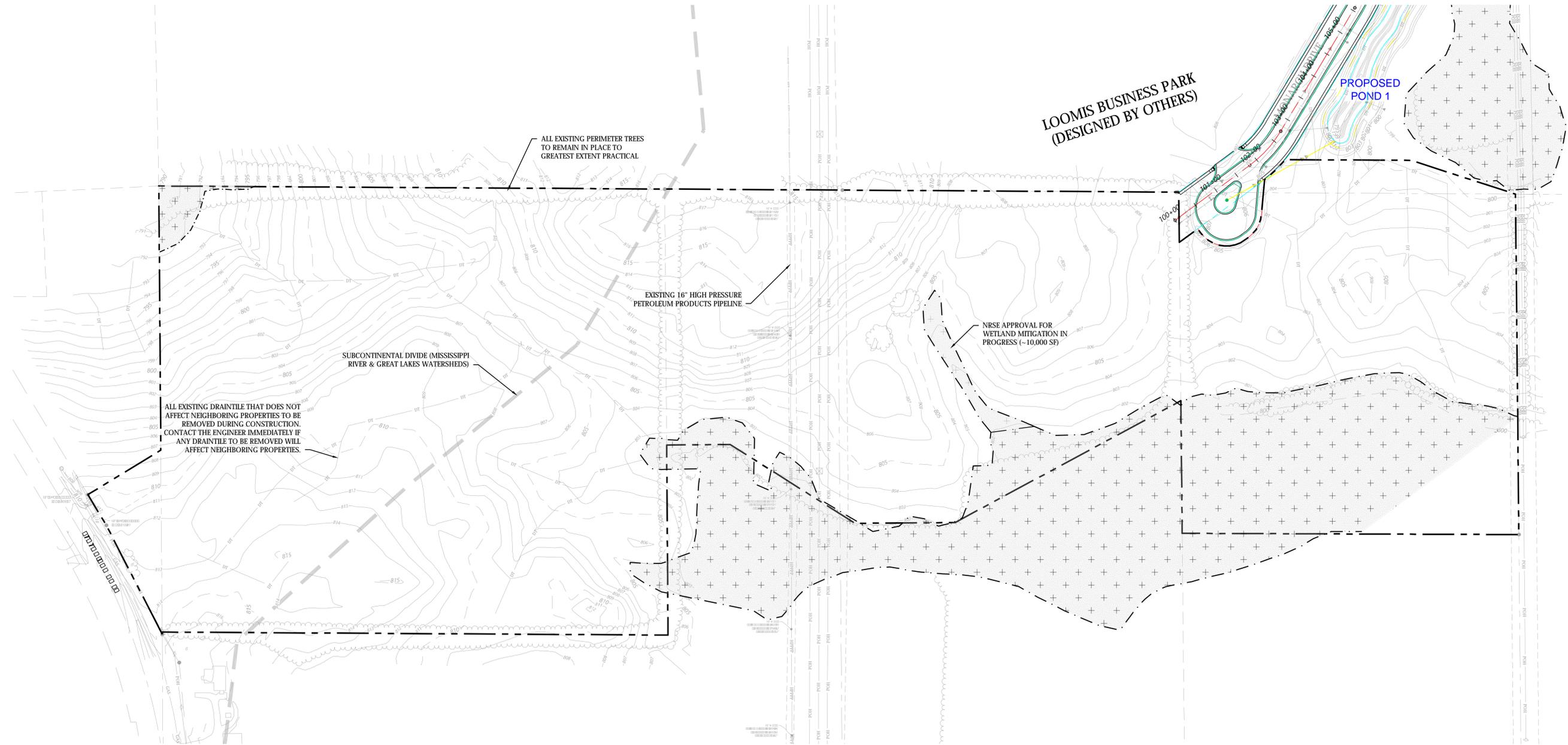
SHEET INDEX

SHEET NUMBER	SHEET TITLE
1	Cover Sheet
2	Existing Conditions
3	Overall Plan
4	Site Plan - West
5	Site Plan - East
6	Grading Plan - West
7	Grading Plan - East
8	Utility Plan - West
9	Utility Plan - East
10	Erosion Control Plan - West
11	Erosion Control Plan - East
12	Details
13	Details
14	Details
15	Overall Landscape Plan
16	Landscape Enlargement
17	LANDSCAPE NOTES & DETAILS

NO	DATE	REVISION	SHEETS
1	03/23/2020	PER CITY COMMENTS	ALL
2	04/22/2020	CITY AND UTILITY COMPANY COMMENTS	ALL

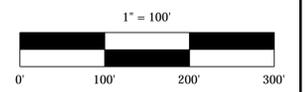
PRELIMINARY PLANS

SITE, GRADING, EROSION CONTROL,
 AND STORM SEWER
 FOR
FRANKLIN YARD
 FRANKLIN, WI



LEGEND

⑤ SANITARY MANHOLE	⊗ STEEL/WOOD POST	⊙ DRYWELL	⊕ WEATHER STATION	⊗ DOUBLE DETECTOR CHECK VALVE	⊗ BUSH/SHRUB	⊕ POWER POLE WITH LIGHT	— CTV — CABLE TELEVISION LINE	⊙ CABLE TV MANHOLE	— FO — FIBER OPTIC
⊙ SEWER CLEANOUT	⊕ SIGN	⊙ STORM INTERCEPTOR	⊕ TURBINE	⊕ FARM HYDRANT	⊙ CONIFEROUS TREE	⊕ GUY WIRE	— GAS — GAS LINE	⊙ FIBER OPTIC MANHOLE	— X — FENCE LINE
⊙ SEPTIC COVER	⊕ MAIL BOX	⊙ HYDRANT	⊕ IRRIGATION MANHOLE	⊕ REDUCE PRESSURE VALVE	⊙ DECIDUOUS TREE	⊕ POWER POLE	— POH — POWER OVERHEAD	⊙ FIBER OPTIC PEDESTAL	— — CURB & GUTTER
⊕ STORM MANHOLE	⊕ FLAG POLE	⊙ GATE VALVE	⊕ IRRIGATION SH	⊕ STOCK TANK	⊙ SAGURA	⊕ MAST ARM	— PUG — POWER UNDERGROUND	⊙ NATURAL GAS METER	⊕ CONCRETE SURFACE
⊕ BEEHIVE CATCH BASIN	⊕ HANDICAPPED STALL	⊙ WATER METER	⊕ IRRIGATION SP	⊕ WINDMILL	⊕ BOUNDARY LINE	⊕ MAST ARM W/ LIGHT	— SAN — SANITARY SEWER	⊙ NATURAL GAS VALVE	⊕ BITUMINOUS SURFACE
⊕ CATCH BASIN	⊕ BENCH	⊕ FIRE DEPARTMENT CONNECTION	⊕ IRRIGATION VALVE	⊕ ELECTRIC BOX	⊕ RIGHT-OF-WAY LINE	⊕ TRAFFIC SIGNAL	— STO — STORM SEWER	⊙ NATURAL GAS MANHOLE	⊕ GRAVEL SURFACE
⊕ FLARED END SECTION	⊕ OIL MANHOLE	⊕ CURB STOP BOX	⊕ SOIL BORING	⊕ ELECTRIC METER	⊕ LOT LINE	⊕ TELEPHONE BOX	— DT — DRAIN TILE	⊕ NATURAL GAS RISER/SERVICE	⊕ WETLAND
⊕ CULVERT	⊕ OIL PUMP JACK	⊕ WATER MANHOLE	⊕ PERC TEST	⊕ ELECTRIC MANHOLE	⊕ EASEMENT LINE	⊕ TELEPHONE MANHOLE	— TOH — TELEPHONE OVERHEAD	⊕ NATURAL GAS VENT PIPE	⊕ FOUND MONUMENT (SEE LABEL)
⊕ CATCH BASIN MANHOLE	⊕ OIL WELL	⊕ WELL	⊕ MONITORING WELL	⊕ ELECTRIC TOWER	⊕ SECTION LINE	⊕ HAND HOLE/JUNCTION BOX	— TUG — TELEPHONE UNDERGROUND	⊕ NATURAL GAS WELL	⊕ SET MONUMENT (SEE LABEL)
⊕ DOWNSPOUT	⊕ MET TOWER	⊕ POST INDICATOR VALVE	⊕ PIEZOMETER	⊕ STREET LIGHT	⊕ TREE LINE	⊕ CABLE TV BOX	— WAT — WATERMAIN	⊕ AIR CONDITIONER	
								⊕ UNKNOWN MANHOLE	
								⊕ MISCELLANEOUS METER	
								⊕ MISCELLANEOUS PEDESTAL	



DESIGNED: JSB	INITIAL ISSUE: 02/12/20
CHECKED: BCW	REVISIONS:
DRAWN: JSB	03/23/2020 PER CITY COMMENTS
HORIZONTAL SCALE: 100'	04/22/2020 CITY AND UTILITY COMPANY COMMENTS
VERTICAL SCALE: 20' OR 10'	

PREPARED FOR:



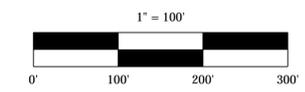
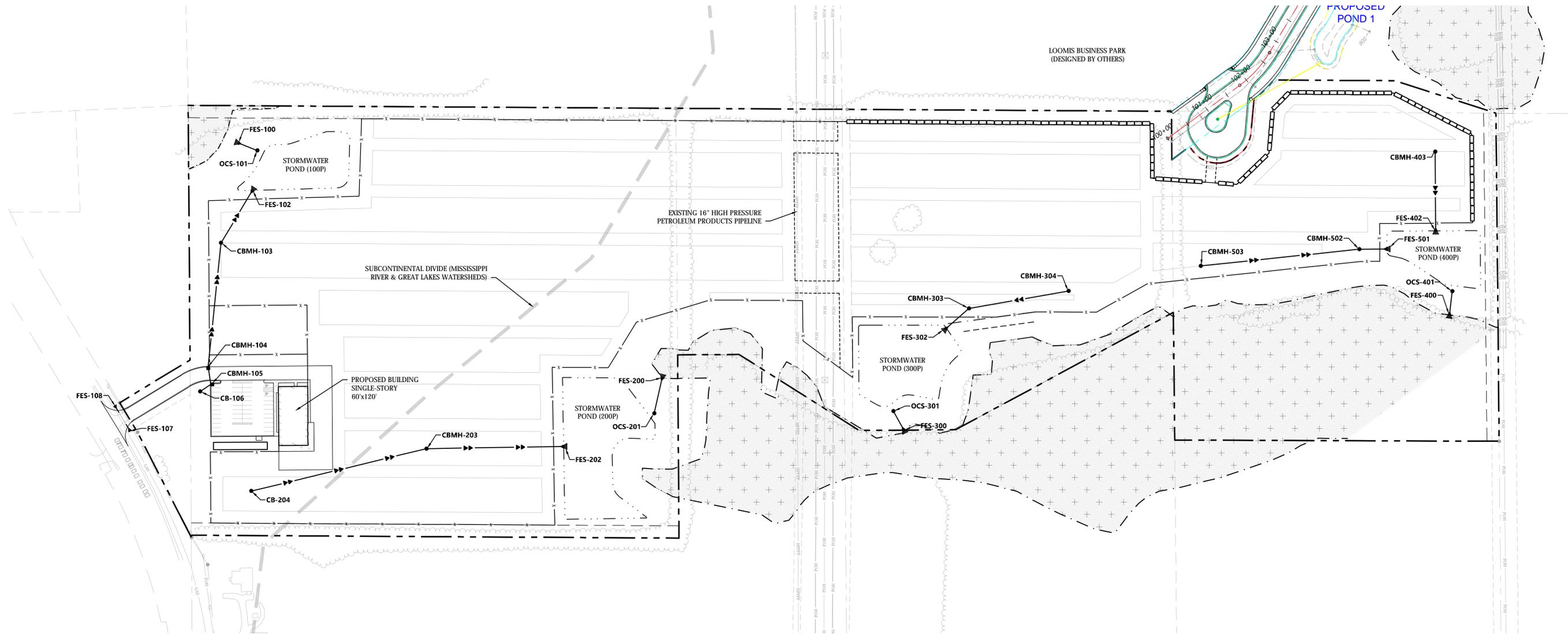
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FRANKLIN, WI

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Westwood Professional Services, Inc.

EXISTING CONDITIONS

PROJECT NUMBER: 0023687.00

SHEET NUMBER:
2 OF **17**
DATE: 04/22/20



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	100'
VERTICAL SCALE:	20' OR 10'

INITIAL ISSUE:	02/12/20
REVISIONS:	
▲	03/23/2020 PER CITY COMMENTS
▲	04/22/2020 CITY AND UTILITY COMPANY COMMENTS
▲	
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PREPARED FOR:



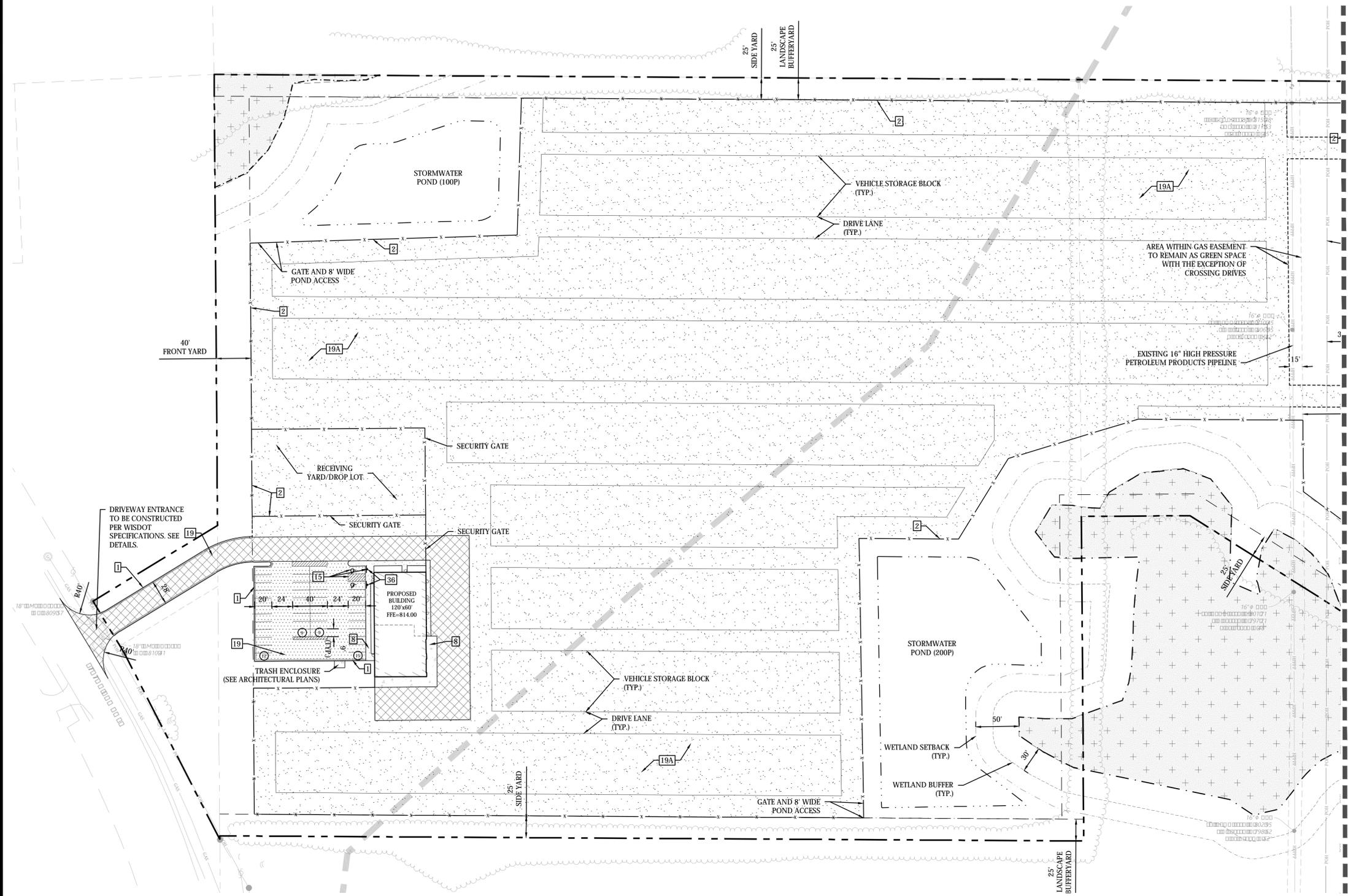
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OVERALL PLAN

PROJECT NUMBER: 0023687.00

SHEET NUMBER:
3 OF **17**
DATE: 04/22/20



SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	SUBCONTINENTAL DIVIDE LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	MASONRY FENCE
---	---	METAL PANEL FENCE
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	BITUMINOUS PAVEMENT
---	---	ROCK BALLAST SURFACING
---	---	WETLAND
---	---	NUMBER OF PARKING STALLS
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST

GENERAL SITE NOTES

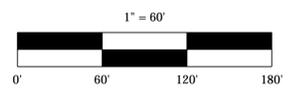
- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY OMNI ASSOCIATES, APPLETON, WI, 08/06/19.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE 6" VCC&G UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE WISDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	R2, ESTATE SINGLE-FAMILY RESIDENCE
PROPOSED ZONING:	M2, GENERAL INDUSTRIAL
PROPERTY AREA:	1,917,979 SF (44.0 AC)
PERVIOUS SURFACE:	720,541 SF (37.6%)
IMPERVIOUS SURFACE(RATIO):	1,197,438 SF (62.4%)
BUILDING GROSS SIZE:	7,200 SF
BUILDING SETBACK PER CODE:	40'-FRONT 25'-SIDE / 25'-SIDE TO ROW 50'-REAR
PARKING SETBACK:	10'-FRONT AND ROW 10'-SIDE AND REAR
PARKING SPACE/DRIVE AISLE:	9' WIDE X 20' LONG, 24' AISLE
PARKING PROVIDED:	41
ESTIMATED YARD STORAGE (33 AC PARCEL)	21.7 AC 3,798-4,340 VEHICLES
ESTIMATED YARD STORAGE (10 AC PARCEL)	3.7 AC 648-740 VEHICLES

SITE DETAILS

- TYPE A CURB AND GUTTER
- COPART METAL PANEL FENCE
- PRIVATE CONCRETE SIDEWALK
- HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- PAVEMENT SECTIONS
- YARD SURFACE SECTION
- SIGN POST WITH BOLLARD



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12' OR 6'

INITIAL ISSUE:	02/12/20
REVISIONS:	
▲	03/23/2020 PER CITY COMMENTS
▲	04/22/2020 CITY AND UTILITY COMPANY COMMENTS
▲	
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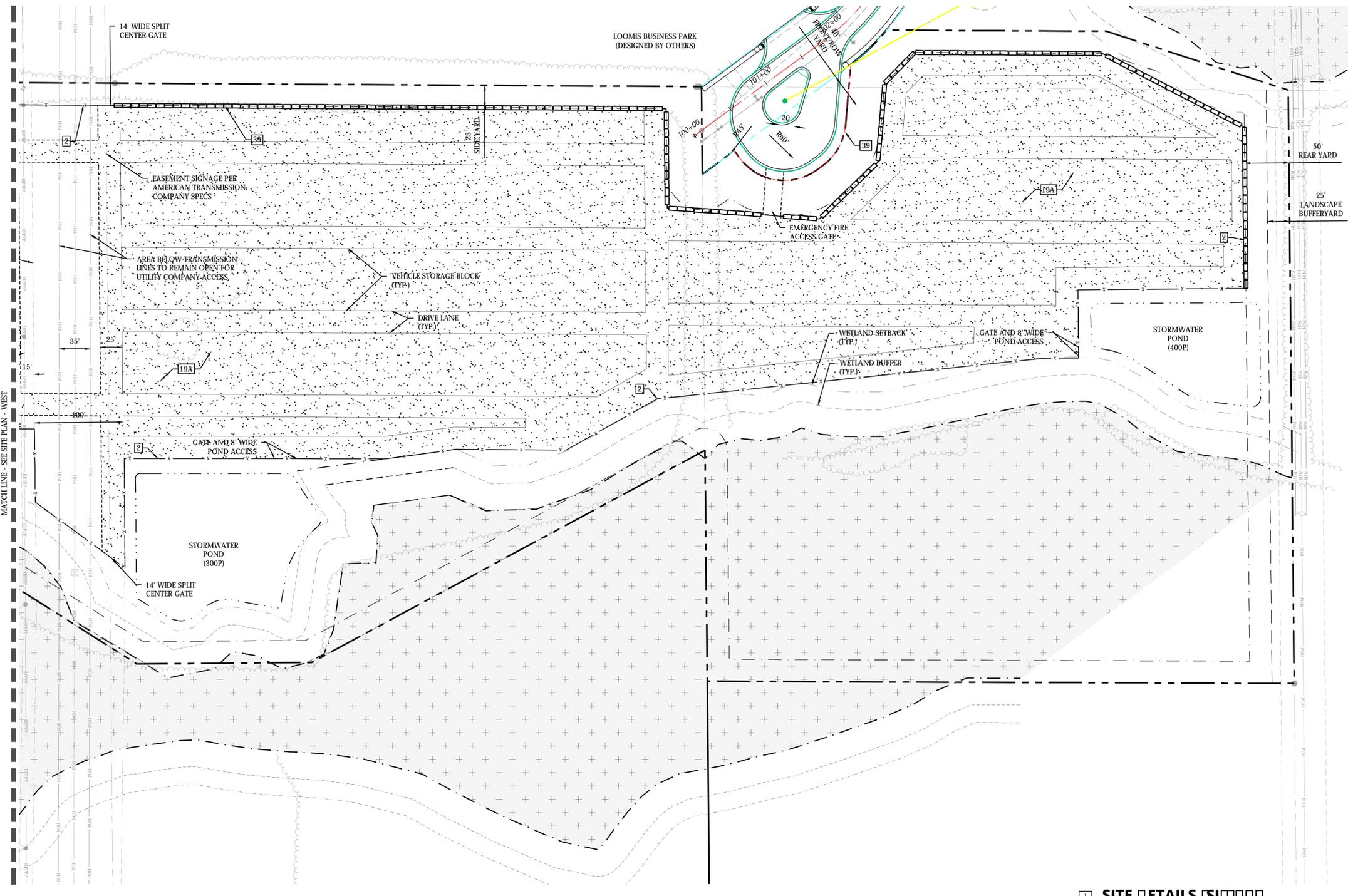
SITE PLAN - WEST

PROJECT NUMBER: 0023887.00

SHEET NUMBER:
4 OF **17**
DATE: 04/22/20

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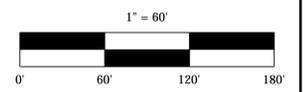


EXISTING	PROPOSED	
		PROPERTY LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		MASONRY FENCE
		METAL PANEL FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		BITUMINOUS PAVEMENT
		ROCK BALLAST SURFACING
		WETLAND
		NUMBER OF PARKING STALLS
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

MATCHLINE - SEE SITE PLAN - WEST

1 SITE DETAILS

- 2 COPART METAL PANEL FENCE
- 19 PAVEMENT SECTIONS
- 19A YARD SURFACE SECTION
- 39 MASONRY FENCE



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12" OR 6'

INITIAL ISSUE:	02/12/20
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SITE PLAN - EAST

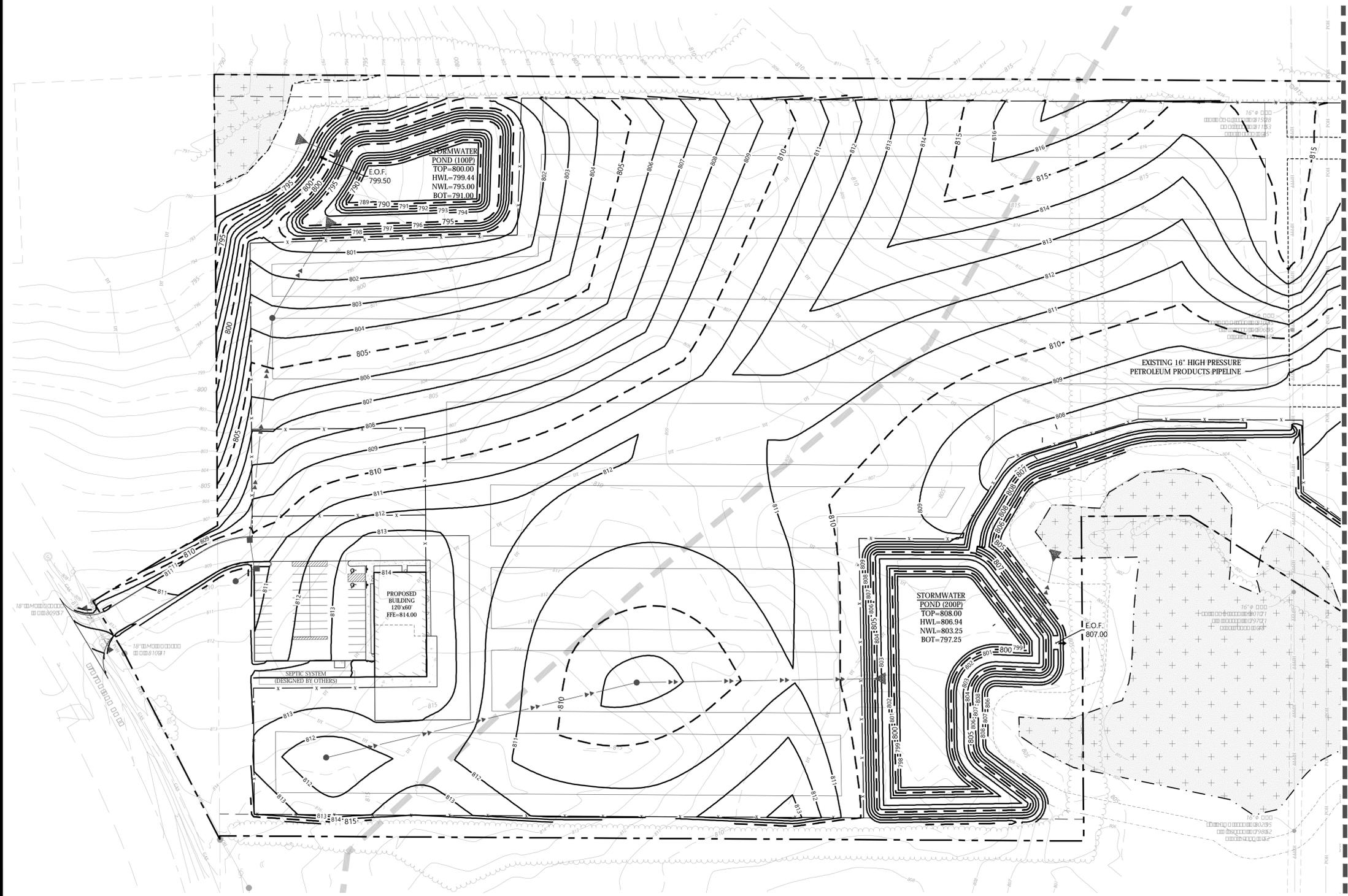
PROJECT NUMBER: 0023687.00

SHEET NUMBER:
5 OF **17**
DATE: 04/22/20

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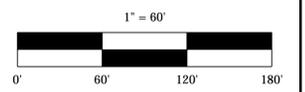


RAIN LEAD

EXISTING	PROPOSED	PROPERTY LINE
		PROPERTY LINE
		SUBCONTINENTAL DIVIDE LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION

RAIN NOTES

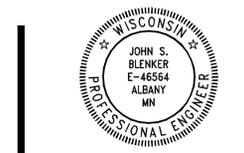
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY AND STATE STANDARDS AND LOCAL AGENCY REGULATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE WISDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS. DUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH WISDOT STANDARDS.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12" OR 6'

INITIAL ISSUE:	02/12/20
REVISIONS:	
▲	03/23/2020 PER CITY COMMENTS
▲	04/22/2020 CITY AND UTILITY COMPANY COMMENTS
▲	
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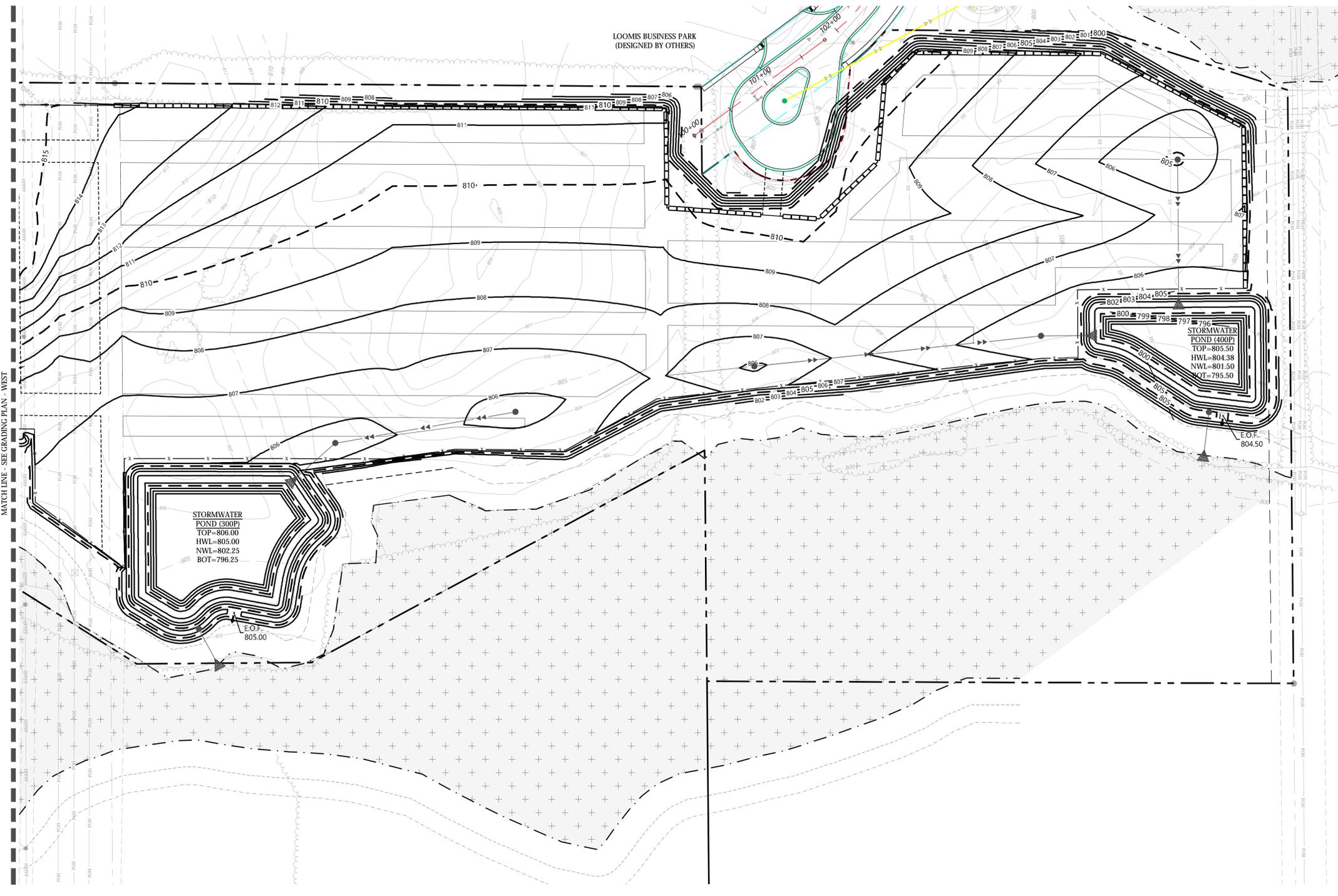
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GRADING PLAN - WEST

SHEET NUMBER:
6 OF **17**
DATE: 04/22/20
PROJECT NUMBER: 0023687.00

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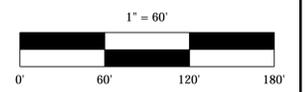
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RAINING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION

MATCHLINE - SEE GRADING PLAN - WEST



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12" OR 6'

INITIAL ISSUE:	02/12/20
REVISIONS:	
▲	03/23/2020 PER CITY COMMENTS
▲	04/22/2020 CITY AND UTILITY COMPANY COMMENTS
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GRADING PLAN - EAST

PROJECT NUMBER: 0023687.00

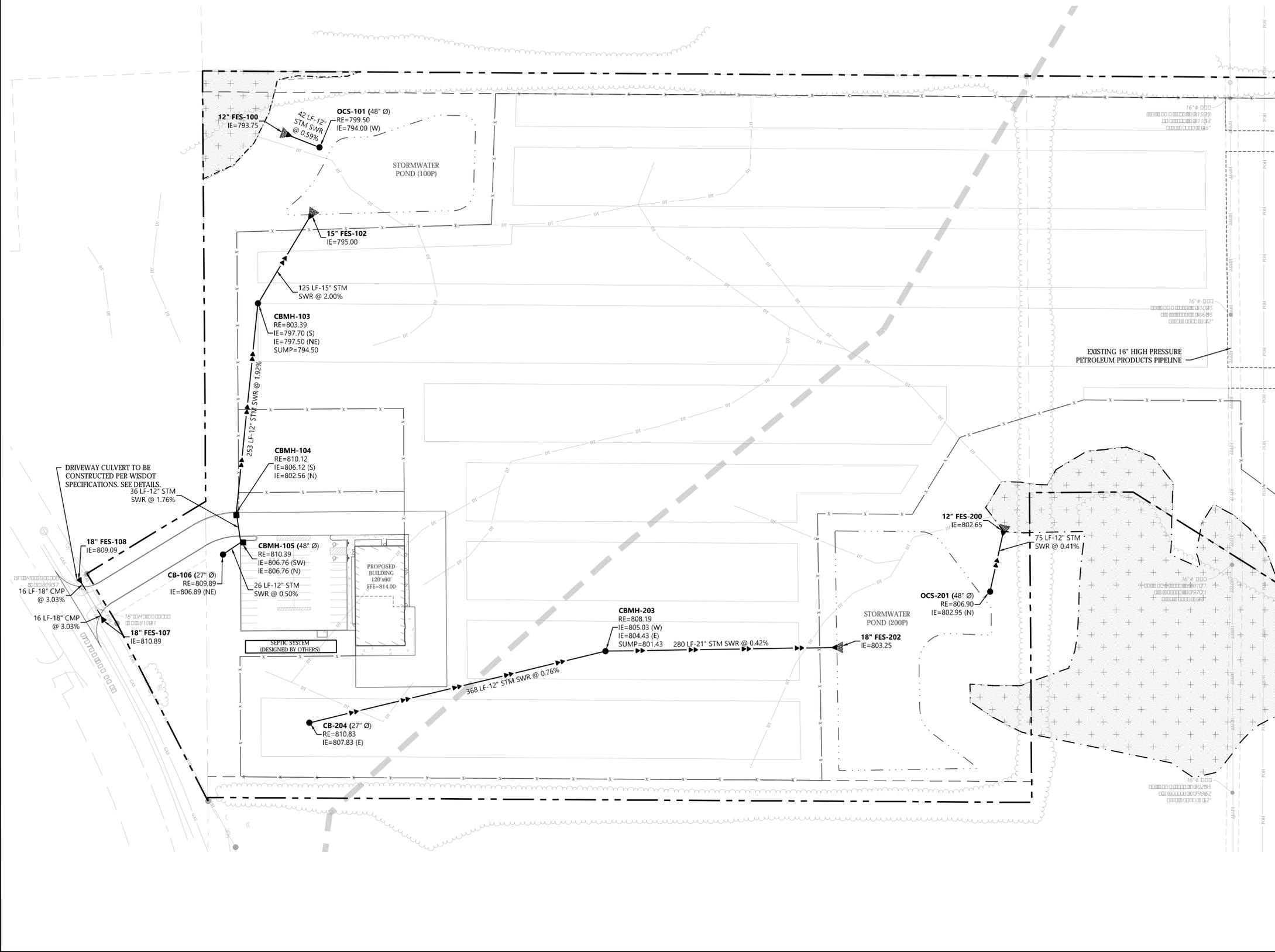
SHEET NUMBER:
7 OF **17**

DATE: 04/22/20

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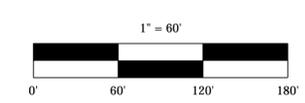
UTILITY LEGEND

EXISTING	PROPOSED	PROPERTY LINE
		SUBCONTINENTAL DIVIDE LINE
		EASEMENT LINE
		CURB AND GUTTER
		SANITARY SEWER
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		HIGH PRESSURE PETROLEUM PIPE
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		DRAIN TILE
		GATE VALVE
		FLARED END SECTION (WITH RIPRAP)

GENERAL STORM SEWER NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL STORM SEWER MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10- FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 2' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76 WITH R-4 GASKETS.
 - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL EXISTING DRAINTILE LOCATIONS ARE BASED ON LIMITED INFORMATION AND SHOULD BE VERIFIED DURING CONSTRUCTION. IF DRAINTILE IS ENCOUNTERED DURING CONSTRUCTION, THE TILE IS COMPLETELY WITHIN THE PROPERTY BOUNDARY, AND THE TILE DOESN'T AFFECT NEIGHBORING PROPERTIES, THE TILE NEEDS TO BE REMOVED. IF A DRAINTILE IS ENCOUNTERED THAT AFFECTS NEIGHBORING PROPERTY, CONTACT THE ENGINEER AND CITY FOR FURTHER DIRECTION.

MATCH LINE - SEE UTILITY PLAN - EAST



DESIGNED:	JSR
CHECKED:	BCW
DRAWN:	JSR
HORIZONTAL SCALE:	###
VERTICAL SCALE:	### OR #

INITIAL ISSUE:	02/12/20
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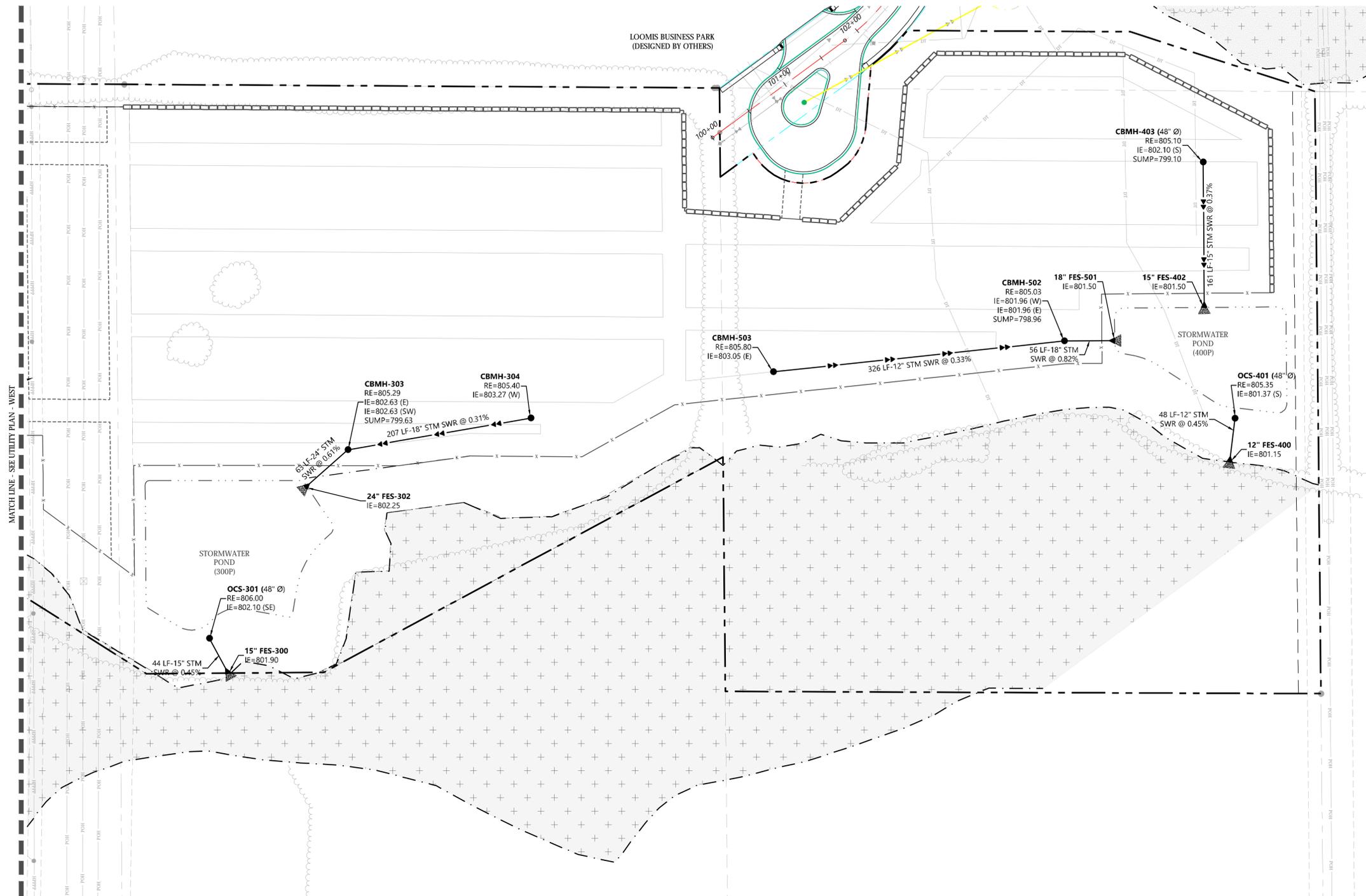
UTILITY PLAN - WEST

SHEET NUMBER:
8 OF **17**
DATE: 04/22/20
PROJECT NUMBER: 0023687.00

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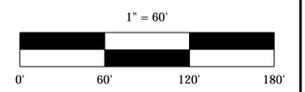
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UTILITY LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		SUBCONTINENTAL DIVIDE LINE
		EASEMENT LINE
		CURB AND GUTTER
		SANITARY SEWER
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		HIGH PRESSURE PETROLEUM PIPE
		UNDERGROUND ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		DRAIN TILE
		GATE VALVE
		FLARED END SECTION (WITH RIPRAP)

MATCHLINE - SEE UTILITY PLAN - WEST



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	###
VERTICAL SCALE:	### OR ##

INITIAL ISSUE:	02/12/20
REVISIONS:	
	03/23/2020 PER CITY COMMENTS
	04/22/2020 CITY AND UTILITY COMPANY COMMENTS

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UTILITY PLAN - EAST

PROJECT NUMBER: 0023687.00

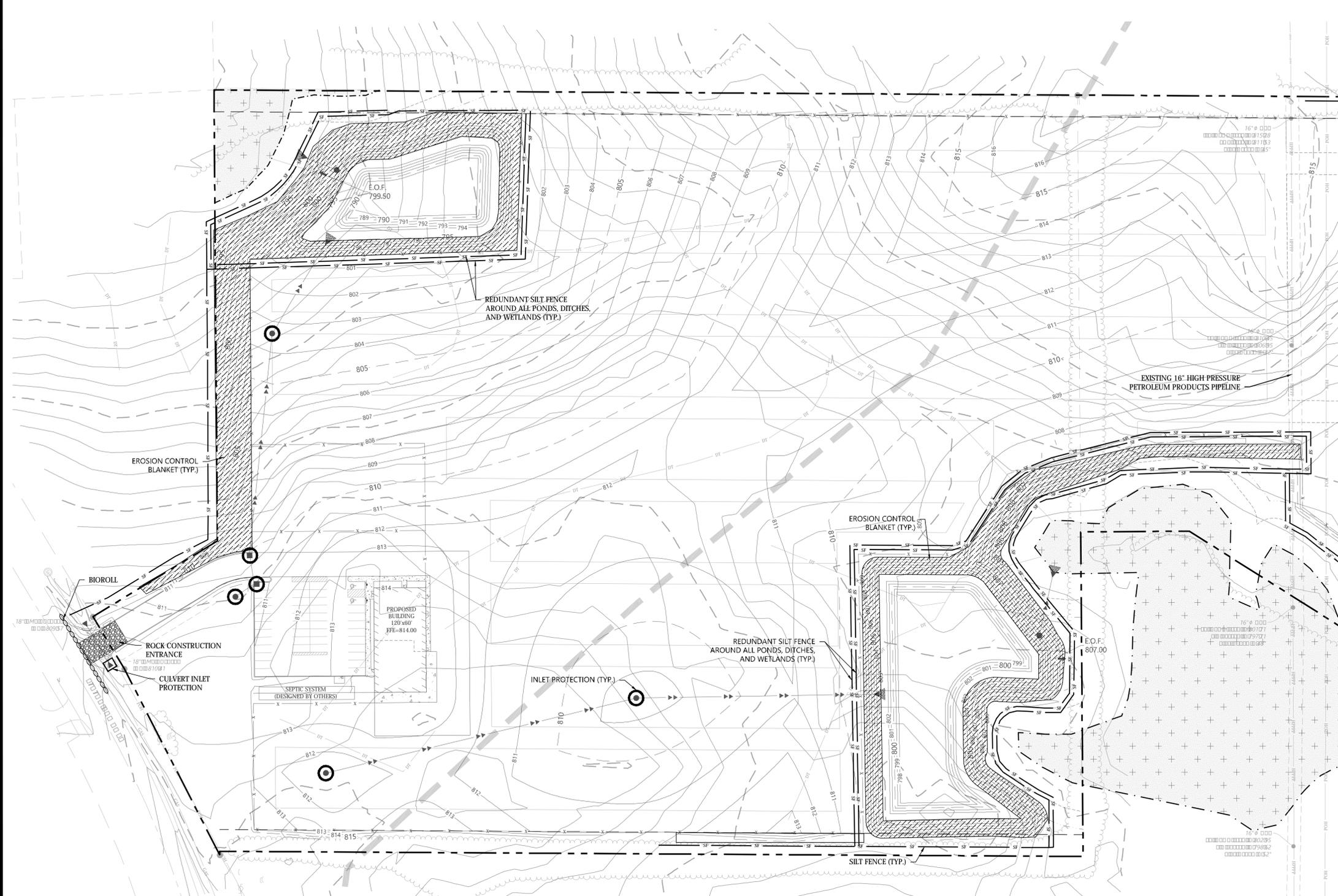
SHEET NUMBER:
9 OF **17**

DATE: 04/22/20

FRANKLIN PROPERTY

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EXISTING	PROPOSED	
		PROPERTY LINE
		SUBCONTINENTAL DIVIDE LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		HEAVY DUTY SILT FENCE
		REDUNDANT SILT CONTROL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		GRADING LIMITS
		BIOROLL
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		E.O.F. →
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION
		INLET PROTECTION

GENERAL EROSION CONTROL NOTES

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
8. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD (CONSTRUCTION ENTRANCES) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND THE WASHING #4057 FOR ROCK CONSTRUCTION ENTRANCES.
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
11. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE (Rev. February 2017).
12. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061 (Rev. February 2017).
13. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP # 1063.
14. CONSTRUCT AND PROTECT THE BIOINFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1004.
15. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
16. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
17. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
18. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
19. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
20. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
21. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY. SEPARATE SWEEP MATERIALS SOILS AND DISPOSE OF APPROPRIATELY.
22. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
23. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
24. COORDINATE WITH THE OWNER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
25. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS [SPECIFY CLASS I, II, OR III] TYPE [SPECIFY TYPE A, B, OR C] EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WMDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
26. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS [SPECIFY CLASS I, II, OR III] TYPE [SPECIFY TYPE A, B, OR C] EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WMDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
27. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

CONSTRUCTION SEQUENCING

- BELOW IS THE GENERAL SEQUENCING THAT THE PROJECT WILL FOLLOW:
1. INSTALL SILT FENCE AND TRACKING PADS AS SHOWN ON THE PLANS.
 2. STRIP TOPSOIL FROM AREAS BEING USED FOR STORMWATER DETENTION AND CONVEYANCE SYSTEMS.
 3. INSTALL STORMWATER CONVEYANCE SYSTEMS AND GRADE THE PONDS.
 4. MASS GRADE REMAINDER OF THE SITE.
 5. CONSTRUCT LARGE UTILITIES.
 6. INSTALL INLET PROTECTION.
 7. TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS.
 8. BUILDING CONSTRUCTION.
 9. SEED AND MULCH ALL DISTURBED AREAS.
 10. STABILIZE ENTIRE CONSTRUCTION SITE.

DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12" OR 6'

INITIAL ISSUE:	02/12/20
REVISIONS:	
▲	03/23/2020 PER CITY COMMENTS
▲	04/22/2020 CITY AND UTILITY COMPANY COMMENTS
▲	
▲	
▲	

PREPARED FOR:

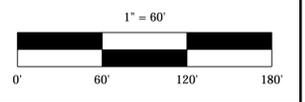
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FRANKLIN, WI

Westwood
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Fax (320) 358-2001 St. Cloud, MN 56303
Toll Free (800) 270-9495 westwoodps.com
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EROSION CONTROL PLAN
- WEST

SHEET NUMBER:
10 OF **17**

PROJECT NUMBER: 0023687.00 DATE: 04/22/20

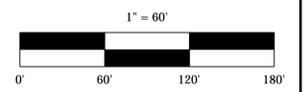


EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		HEAVY DUTY SILT FENCE
		REDUNDANT SILT CONTROL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		EMERGENCY OVERTFLOW
		SOIL BORING LOCATION
		INLET PROTECTION



MATCHLINE - SEE SITE PLAN - WEST



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12' OR 6'

PREPARED FOR:

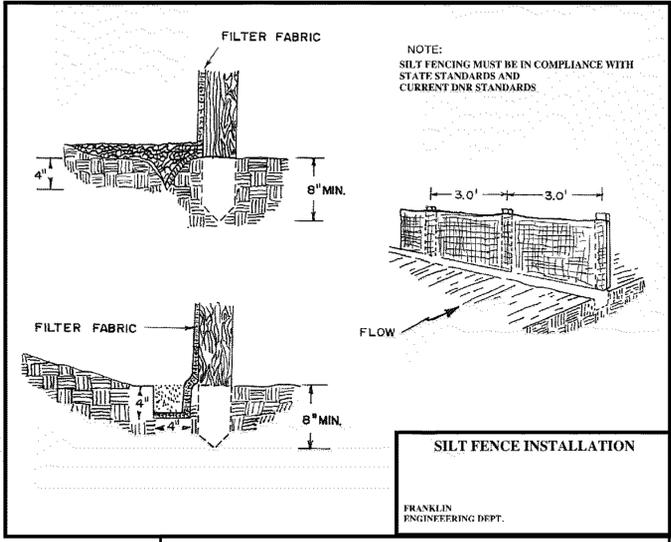
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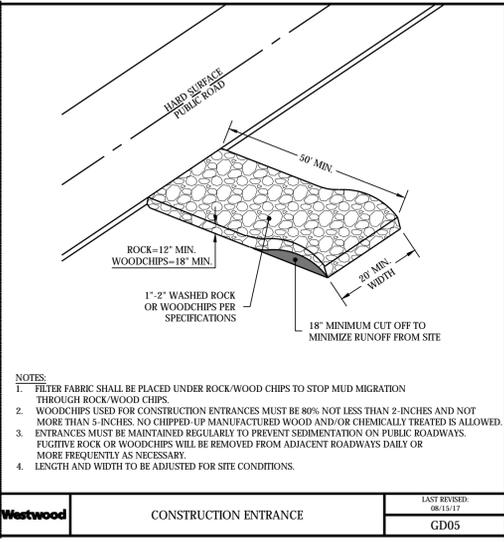
EROSION CONTROL PLAN
- EAST

PROJECT NUMBER: 0023687.00

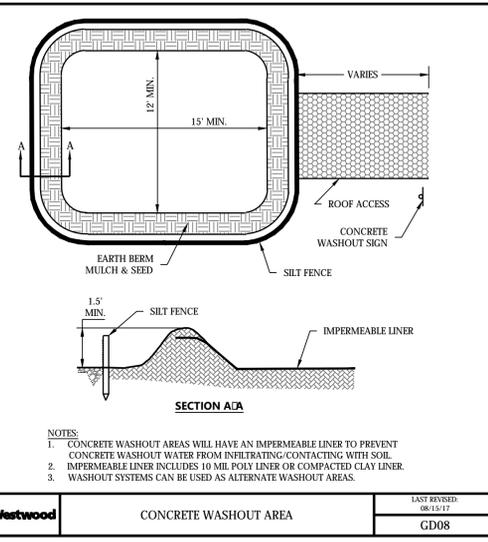
SHEET NUMBER:
11 OF **17**
DATE: 04/22/20



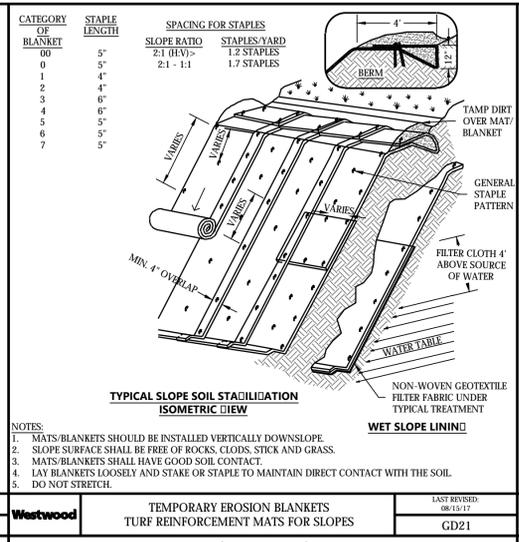
SILT FENCE INSTALLATION



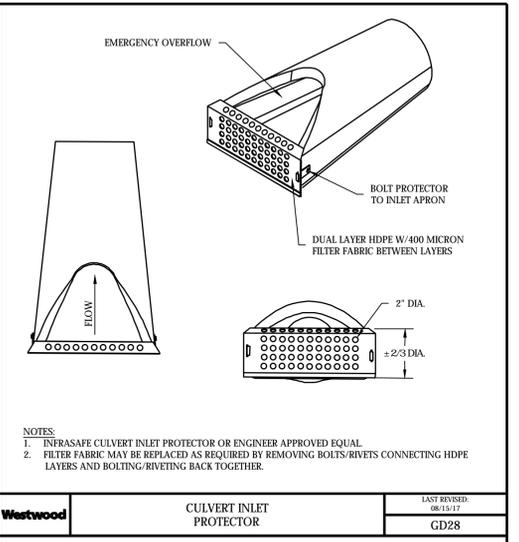
CONSTRUCTION ENTRANCE



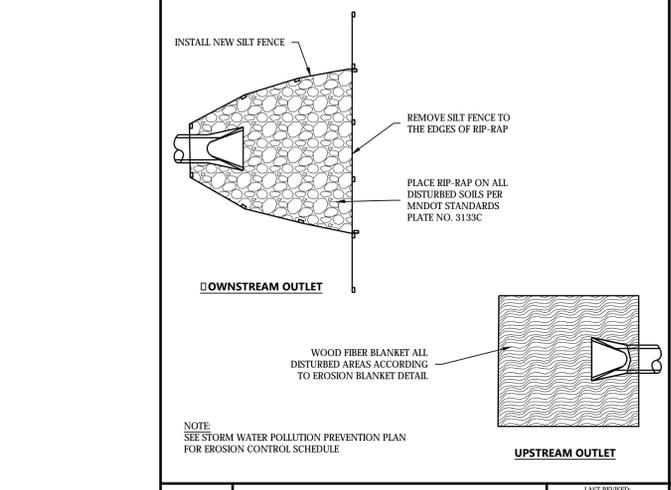
CONCRETE WASHOUT AREA



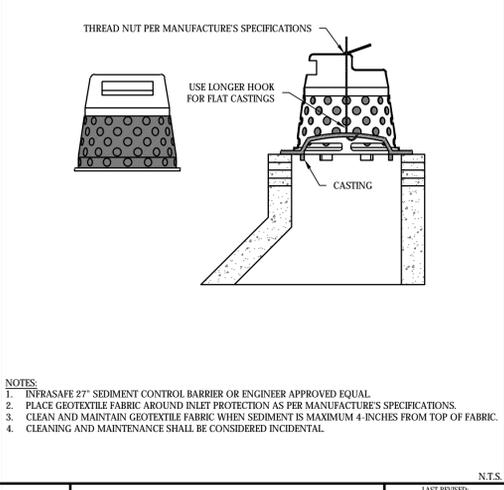
TEMPORARY EROSION BLANKETS



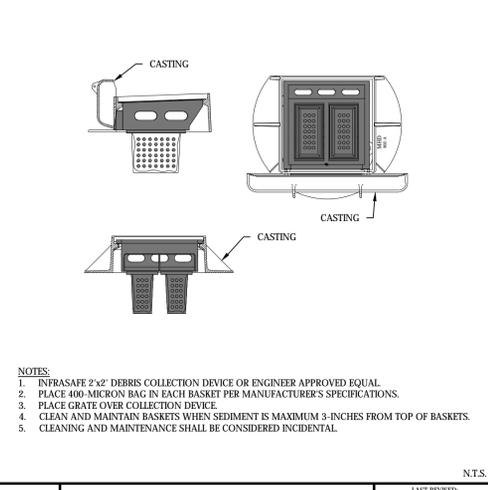
CULVERT INLET PROTECTOR



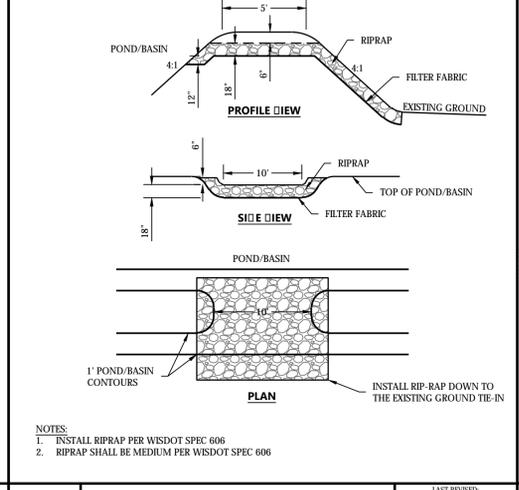
EROSION CONTROL AT FLARED END SECTIONS



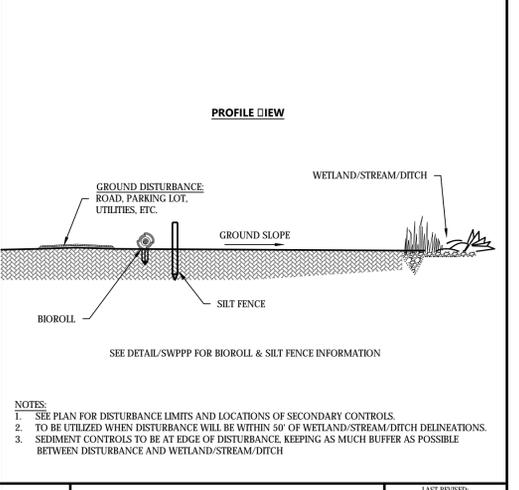
MANUFACTURED 27" INLET PROTECTION



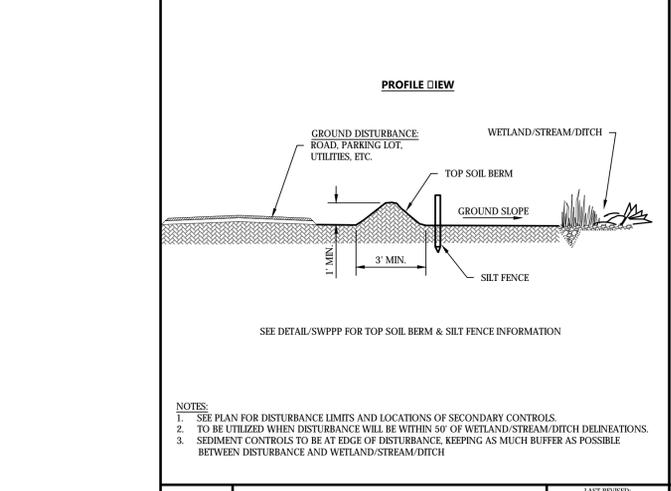
MANUFACTURED 2'x2' INLET PROTECTION



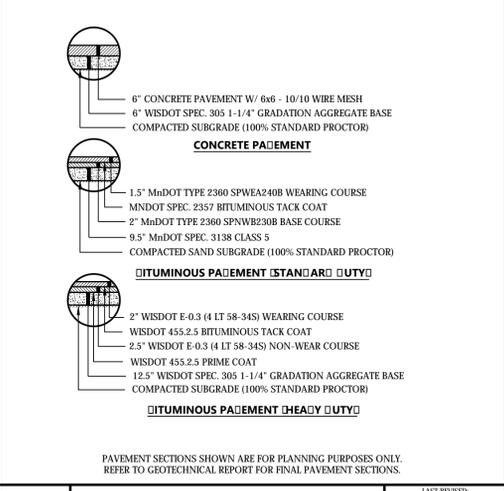
RIPRAP OVERFLOW



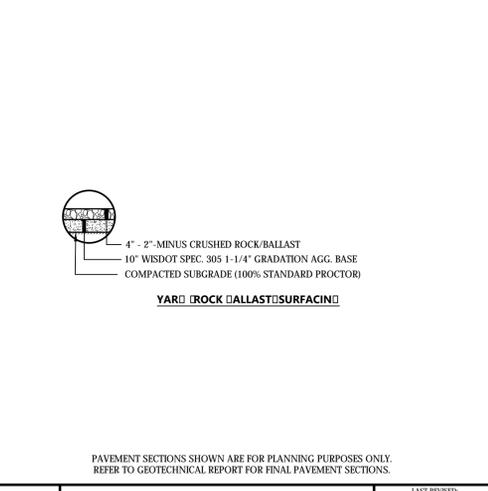
REDUNDANT SEDIMENT CONTROL OPTION 1



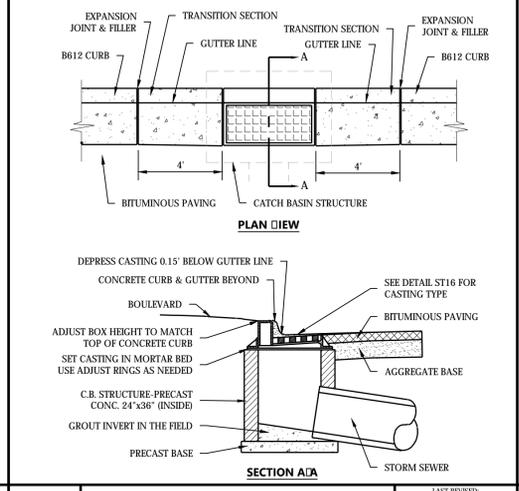
REDUNDANT SEDIMENT CONTROL OPTION 2



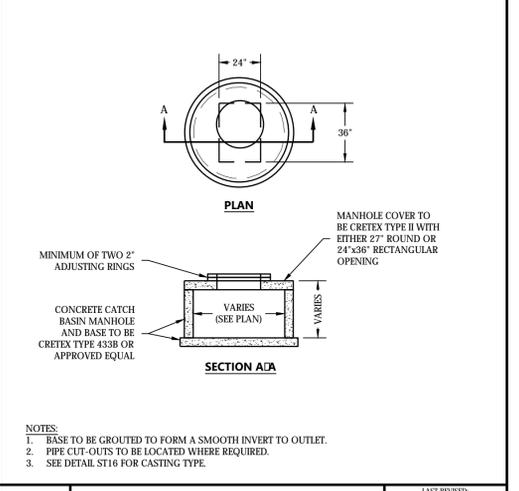
PAVEMENT SECTIONS



YARD (ROCK BALLAST) SURFACING



RECTANGULAR CATCH BASIN



STANDARD MANHOLE

DESIGNED: JSB
CHECKED: BCW
DRAWN: JSB
HORIZONTAL SCALE: ###
VERTICAL SCALE: ### OR ##

INITIAL ISSUE: 02/12/20
REVISIONS:
03/23/2020 PER CITY COMMENTS
04/22/2020 CITY AND UTILITY COMPANY COMMENTS

PREPARED FOR:

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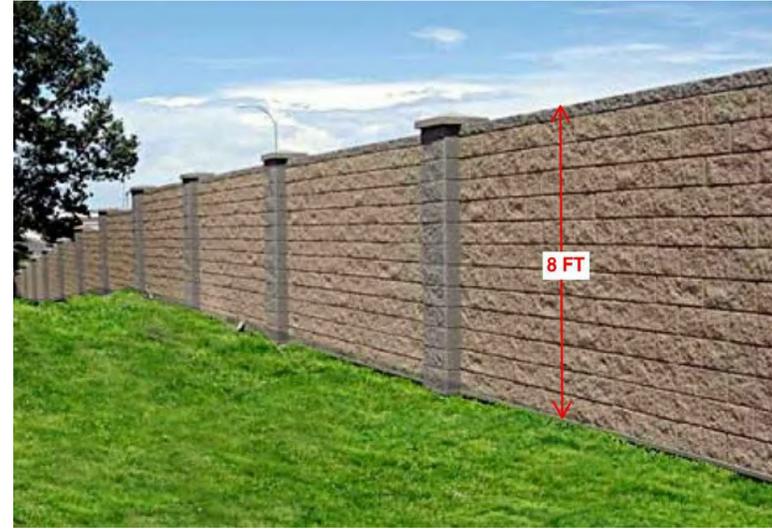
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DETAILS

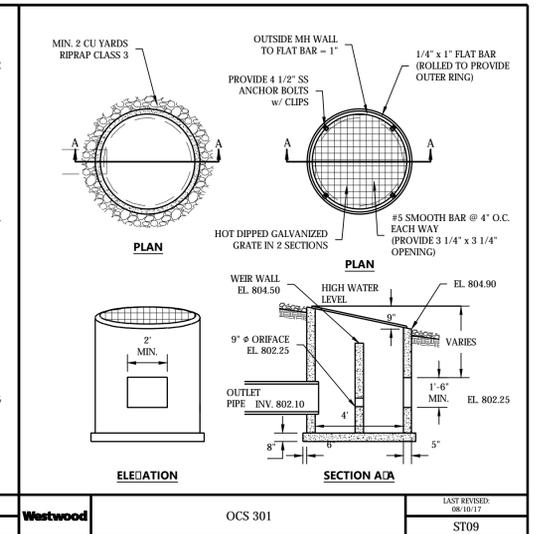
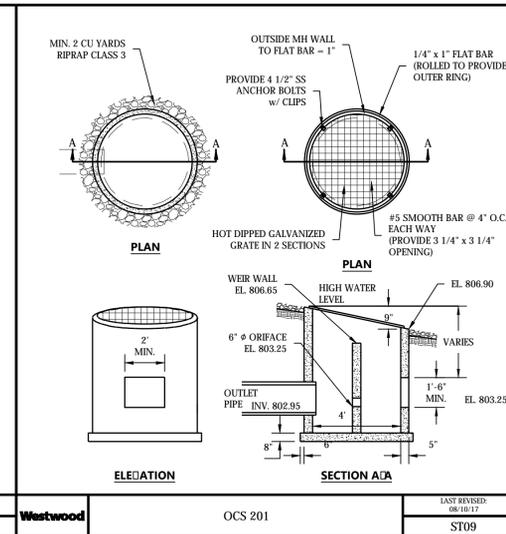
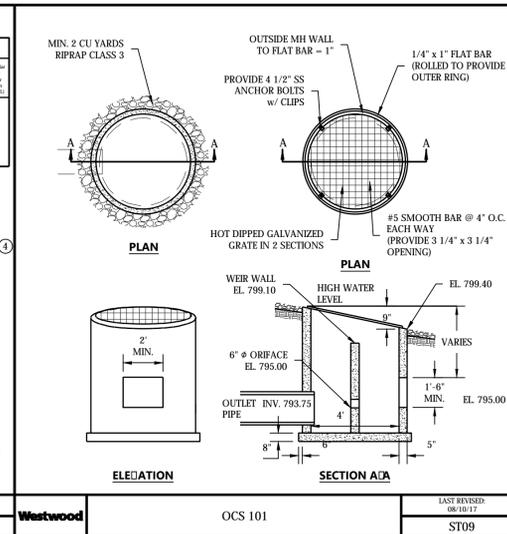
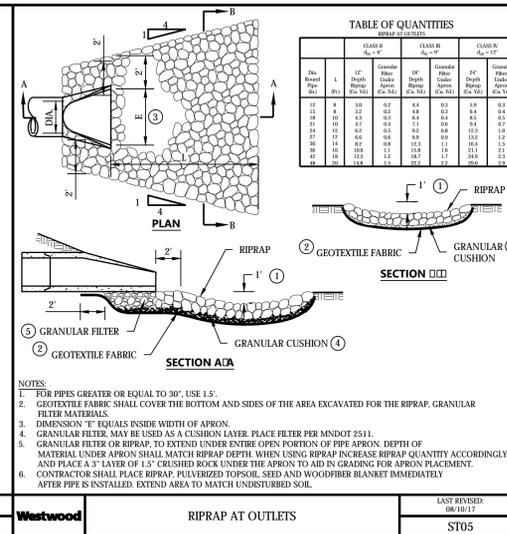
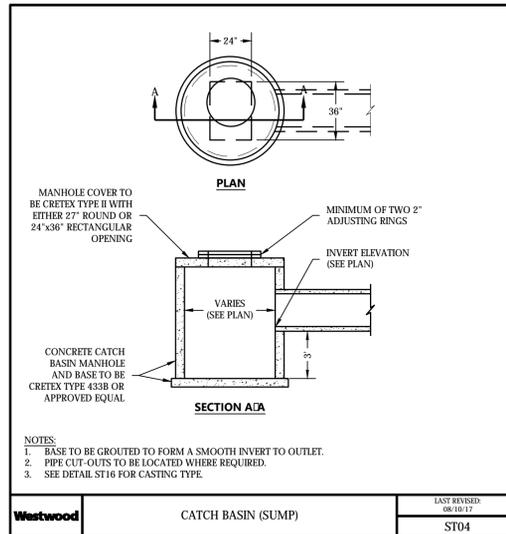
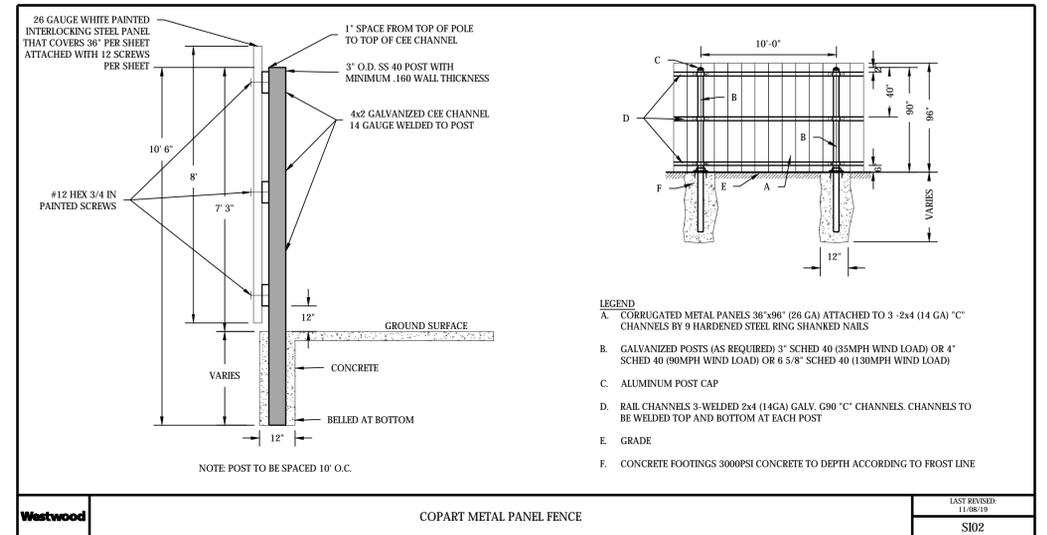
SHEET NUMBER:
12 OF **17**
DATE: 04/22/20



METAL PANEL FENCING

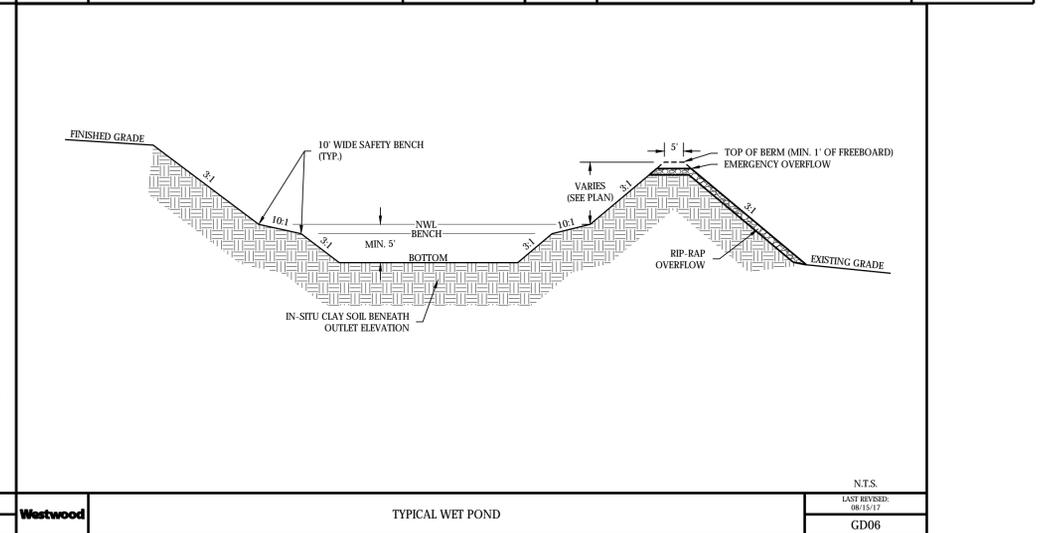
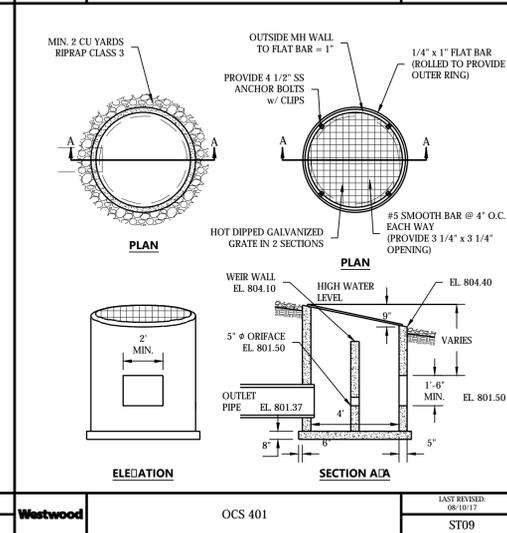
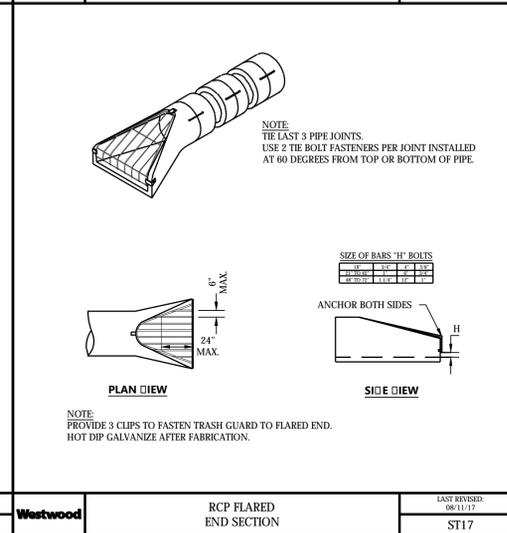


DECORATIVE MANSORY FENCING



STRUCTURE LOCATION	CASTING TYPE
CURB & GUTTER	R-3067-L
CURB & GUTTER @ LOW POINT	R-3067-VB
SURMOUNTABLE CURB & GUTTER	R-3501-R
AT DRIVEWAY LOCATION	
STMH IN PAVEMENT OR GREEN SPACE	R-1642 STAMPED "STORM SEWER"
CBMH IN PAVEMENT OR ROCK BALLAST	R-2535
CBMH IN GREEN SPACE	R-4342
CBMH IN VALLEY GUTTER	R-3362-L

Westwood STORM SEWER CASTING SCHEDULE ST16



DESIGNED: JSB

CHECKED: BCW

DRAWN: JSB

HORIZONTAL SCALE: ###

VERTICAL SCALE: ## OR #

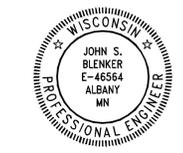
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SDD 8d21 Driveways without Curb & Gutter

RURAL DRIVEWAY INTERSECTION DETAIL (NO CURB & GUTTER OR SIDEWALK)

PLAN VIEW (PAVED SHOULDER ON HIGHWAY) PLAN VIEW (UNPAVED SHOULDER ON HIGHWAY)

TYPICAL CROSS SECTION FOR PRIVATE DRIVE OR FIELD ENTRANCE AGGREGATE SURFACE

TYPICAL CROSS SECTION FOR PRIVATE DRIVE OR FIELD ENTRANCE ASPHALTIC SURFACE

TYPICAL DRIVEWAY PROFILES

DRIVEWAYS WITHOUT CURB & GUTTER

STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION

APPROVED: December, 2016 DATE: ROADWAY STAGING DEVELOPMENT JET SUPERVISOR

S.D.D. 8 D 21-1

8F7: Steel Apron Endwalls for Culvert Pipe and Pipe Arch Sloped Side Drains

FRONT VIEW **FRONT VIEW** **SIDE VIEW**

SECTION A-A **DETAIL OF SAFETY BAR**

ISOMETRIC VIEW **STEEL ADAPTER SLEEVE FOR CONCRETE PIPE** **TYPE 2 CONNECTION DETAIL**

SECTION B-B

STEEL APRON ENDWALLS FOR CULVERT PIPE SLOPED SIDE DRAINS

PIPE DIA. (IN)	MIN. THICK. (IN)	DIMENSIONS (inches)			L DIMENSIONS						
		A	H	W	SLOPE	LENGTH INCHES	SLOPE	LENGTH INCHES			
18	.064	8	6	21	37	41	20	61	30	101	70
18	.064	8	6	24	40	41	30	61	48	101	100
21	.064	8	6	27	43	41	44	61	56	101	100
24	.064	8	6	30	46	41	56	61	84	101	100
30	.109	12	9	36	60	41	80	61	100	101	220
36	.109	12	9	42	66	41	104	61	106	101	280
42	.109	12	9	48	72	41	128	61	132	101	300
48	.109	12	9	54	78	41	152	61	158	101	300
54	.109	12	9	60	84	41	176	61	184	101	300
60	.109	12	9	66	90	41	200	61	200	101	300

STEEL APRON ENDWALLS FOR PIPE ARCH SLOPED SIDE DRAINS

EQUIV. DIA. (inches)	SPAN (inches)	RISE (inches)	MIN. THICK. (inches)	DIMENSIONS (inches)			L DIMENSIONS						
				A	H	W	SLOPE	LENGTH INCHES	SLOPE	LENGTH INCHES			
18	17	10	.064	7	6	30	44	41	19	61	30	101	70
18	21	16	.064	8	6	27	43	41	20	61	30	101	70
21	24	18	.064	8	6	30	46	41	32	61	48	101	100
24	28	20	.064	8	6	34	50	41	40	61	60	101	100
30	36	24	.079	12	9	41	59	41	56	61	84	101	100
36	42	29	.109	12	9	48	72	41	76	61	104	101	200
42	49	33	.109	12	9	55	87	41	92	61	132	101	300
48	57	38	.109	12	9	63	99	41	102	61	158	101	300
54	64	43	.109	12	9	70	102	41	132	61	188	101	300

GENERAL NOTES:
 DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
 SLOPED END SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS, SECTION 521 FOR STEEL APRON ENDWALLS.
 SAFETY BARS SHALL BE FABRICATED FROM GALVANIZED STEEL PIPE, MEETING THE REQUIREMENTS OF ASTM A-53, GRADE B, SCHEDULE 40 OR APPROVED EQUAL.

STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION

APPROVED: 3/24/2020 DATE: ROADWAY STAGING DEVELOPMENT ENGINEER

S.D.D. 8 F 7-5

15D28: Traffic Control, Work on Shoulder or Parking Lane, Undivided Roadway

GENERAL NOTES

THE EXACT NUMBER, LOCATION AND SPACING OF ALL SIGNS AND DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER.

ALL SIGNS ARE 48" X 48" UNLESS OTHERWISE NOTED. IF NECESSARY DUE TO SPACE CONSTRAINTS IN URBAN AREAS, 36" X 36" SIGNS MAY BE USED IF APPROVED BY DISTRICT TRAFFIC UNIT.

"W" SIGNS ARE THE SAME AS "M" SIGNS EXCEPT THE BACKGROUND IS ORANGE.

SIGNS THAT WILL BE IN PLACE LESS THAN 7 CONTINUOUS DAYS AND NIGHTS MAY BE MOUNTED ON PORTABLE SUPPORTS.

ANY SIGNS TEMPORARY OR EXISTING, WHICH CONFLICT WITH TRAFFIC CONTROL "IN USE" SHALL BE REMOVED OR COVERED AS NEEDED AND AS APPROVED BY THE ENGINEER.

W20-1A AND G20-2A SIGNS ARE NOT REQUIRED IF THE WORK AREA IS WITHIN A LARGER WORK ZONE WHERE THESE SIGNS ARE ALREADY PRESENT. G20-2A SIGNS MAY ALSO BE OMITTED IF DURATION OF WORK IS LESS THAN 7 CONTINUOUS DAYS AND NIGHTS.

CHANNELING DEVICES PLACED ADJACENT TO THE WORK AREA SHALL BE PULLED BACK FROM THE TRAVEL LANE WHEN WORK IS NOT IN PROGRESS.

TABLE A

SHOULDER TAPER LENGTH (FEET)	BUFFER SPACES (FEET)	
	A	B
30	20	30
40	30	40
50	40	50
60	50	60
70	60	70
80	70	80
90	80	90
100	90	100
125	110	125
150	130	150
175	150	175
200	170	200
250	210	250
300	250	300

SHOULDER TAPER LENGTH = 1/3 L

W = SHOULDER WIDTH (FEET)
 S = NON-CONSTRUCTION SPEED LIMIT (MPH)

TAPER LENGTH
 L = WS AT 45 MPH OR GREATER
 L = WS²/60 AT 40 MPH OR LESS

LEGEND

- TRAFFIC CONTROL DRUM
- SIGN ON PERMANENT SUPPORT
- DIRECTION OF TRAFFIC
- WORK AREA

TRAFFIC CONTROL, WORK ON SHOULDER OR PARKING LANE, UNDIVIDED ROADWAY

STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION

APPROVED: July 16, 2020 DATE: STAFFING WORK ZONE TRAFFIC SAFETY ENGINEER

S.D.D. 15 D 28-3

N:\0023687.00\DWG\CIVIL\0023687D101.DWG

DESIGNED: JSB
 CHECKED: BCW
 DRAWN: JSB
 HORIZONTAL SCALE: ###
 VERTICAL SCALE: ## OR #

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 REVISIONS:
 03/23/2020 PER CITY COMMENTS
 04/22/2020 CITY AND UTILITY COMPANY COMMENTS

PREPARED FOR:



FRANKLIN PROPERTY
 FRANKLIN, WI

Westwood

Phone: (320) 253-9495 3701 12th Street North, Suite 206
 Fax: (320) 358-2001 St. Cloud, MN 56303
 Toll Free: (800) 270-9495 westwoodps.com
 Westwood Professional Services, Inc.

SHEET NUMBER: 14 OF 17
 DATE: 04/22/20
 PROJECT NUMBER: 0023687.00

FRANKLIN PROPERTY

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LANDSCAPE NOTE

- ALL EXISTING TREES WITHIN LANDSCAPE BUFFERYARDS SHALL REMAIN

LANDSCAPE SUMMARY

BUFFERYARD REQUIREMENT

THE MINIMUM QUANTITY OF PLANTINGS REQUIRED IN TABLE 15-5.0302 INCREASES BY 20%

CANOPY TREE REQUIREMENT

1 CANOPY/ EVERGREEN TREE PER 5 PROVIDED PARKING SPACES (41/5= 9 TREES)

EVERGREEN TREE REQUIREMENT

1 EVERGREEN TREE PER 5 PROVIDED PARKING SPACES (41/5= 9 TREES)

DECORATIVE TREE REQUIREMENT

1 DECORATIVE TREE PER 5 PROVIDED PARKING SPACES (41/5= 9 TREES)

OVERALL TREES REQUIRED: 27 + 20% = 33

OVERALL TREES PROVIDED: 33 (11 PROPOSED DECIDUOUS TREES + 11 PROPOSED CONIFEROUS TREES + 11 PROPOSED DECORATIVE TREES)

SHRUB REQUIREMENT

1 DECORATIVE SHRUB PER 5 PROVIDED PARKING SPACES (41/5= 9 SHRUBS)

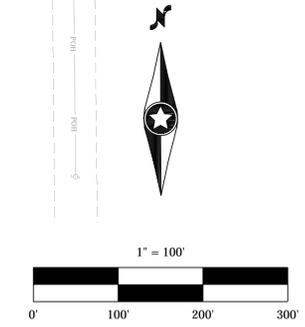
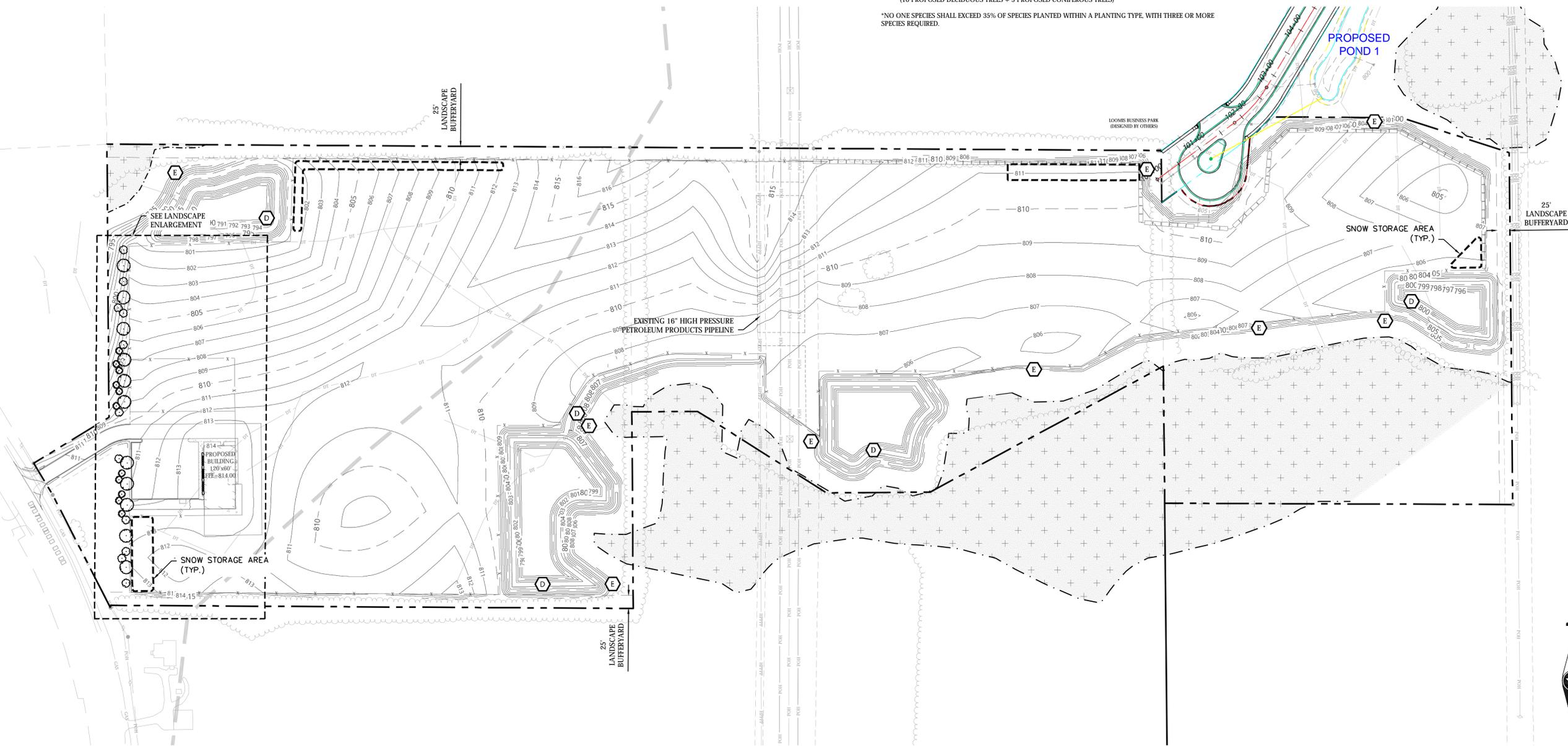
OVERALL SHRUBS REQUIRED= 9 + 20% = 11

OVERALL SHRUBS PROVIDED= 15
(10 PROPOSED DECIDUOUS TREES + 5 PROPOSED CONIFEROUS TREES)

*NO ONE SPECIES SHALL EXCEED 35% OF SPECIES PLANTED WITHIN A PLANTING TYPE, WITH THREE OR MORE SPECIES REQUIRED.

LANDSCAPE KEYNOTES

- A SHREDDED HARDWOOD MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP., ALL DISTURBED AREAS)
- D WISDOT SEED MIX #60 (ALL DISTURBED AREAS)
- E WISDOT SEED MIX #70 (ALL DISTURBED AREAS)



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	100'
VERTICAL SCALE:	20' OR 10'

INITIAL ISSUE:	02/12/20
REVISIONS:	
△	03/23/2020 PER CITY COMMENTS
△	04/22/2020 CITY AND UTILITY COMPANY COMMENTS
△	
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OVERALL LANDSCAPE PLAN

PROJECT NUMBER: 0023687.00

SHEET NUMBER: 15 OF 17

DATE: 04/22/20

FRANKLIN PROPERTY



LANDSCAPE KEYNOTES

- A SHREDDED HARDWOOD MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP., ALL DISTURBED AREAS)
- D WISDOT SEED MIX #60 (ALL DISTURBED AREAS)
- E WISDOT SEED MIX #70 (ALL DISTURBED AREAS)

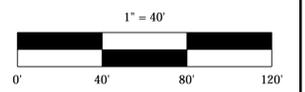
LANDSCAPE LEGEND

- OVERSTORY DECIDUOUS TREE
- DECORATIVE TREE
- CONIFEROUS TREE
- SHRUBS / VINES
- PERENNIALS
- EDGER

PLANT SCHEDULE

CODE	QTY	COMMON	BOTANICAL NAME	SIZE	ROOT	SPACING	REMARKS
CANOPY/SHADE TREES							
NWM	3	NORTHWOOD MAPLE	ACER RUBRUM 'NORTHWOOD'	2.5' CAL	B&B	AS SHOWN	SINGLE
SKH	3	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYCOLF'	2.5' CAL	B&B	AS SHOWN	SINGLE
NHE	3	NEW HORIZON ELM	ULMUS X 'NEW HORIZON'	2.5' CAL	B&B	AS SHOWN	SINGLE
SEL	2	SENTRY LINDEN	TILIA AMERICANA 'MCSENTRY'	2.5' CAL	B&B	AS SHOWN	SINGLE
DECORATIVE TREES							
ALS	3	ALLEGHENY SERVICEBERRY	AMELANCHIER LAEVIS	1.5' CAL	B&B	AS SHOWN	SINGLE
PPC	3	PRAIRIEFIRE CRAB	MALUS 'PRAIRIEFIRE'	1.5' CAL	B&B	AS SHOWN	SINGLE
PAD	3	PAGODA DOGWOOD	CONRUS ALTERNIFOLIA	1.5' CAL	B&B	AS SHOWN	SINGLE
ASB	2	AUTUMN SPLENDOR BUCKEYE	AESCULUS X ARNOLDIANA 'AUTUMN SPLENDOR'	1.5' CAL	B&B	AS SHOWN	SINGLE
EDGER/GREEN TREES							
BHS	3	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6' HT.	B&B	AS SHOWN	FULL
WHP	3	WHITE PINE	PINUS STROBILUS	6' HT.	B&B	AS SHOWN	FULL
WFI	3	WHITE FIR	ABIES CONCOLOR	6' HT.	B&B	AS SHOWN	FULL
ERC	2	EASTERN RED CEDAR	JUNIPEROUS VIRGINIANA	6' HT.	B&B	AS SHOWN	FULL
SHRUBS							
TAY	3	TAUNTON YEW	TAXUS MEDII 'TAUNTON'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
GOJ	2	GREY OWL JUNIPER	JUNIPERUS VIRGINIANA 'GREY OWL'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
AJN	5	AMBER JUBILEE NINEBARK	PHYSOCARPUS OPULIFOLIUS 'JEFAM'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
RGD	5	RED GNOME DOGWOOD	CORNUS ALBA SIBIRICA	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
PERENNIALS							
ASD	10	APRICOT SPARKLES DAYLILY	HEMEROCALLIS 'APRICOT SPARKLES'	12" O.C.	#1 CONT.	X" O.C.	--
MNS	10	MAY NIGHT SALVIA	SALVIA X NEMOROSA 'MAY NIGHT'	18" O.C.	#1 CONT.	X" O.C.	--
KFG	20	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	24" O.C.	#1 CONT.	X" O.C.	--

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER
 NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	40'
VERTICAL SCALE:	8' OR 4'

INITIAL ISSUE:	02/12/20
REVISIONS:	
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▲	04/22/2020 CITY AND UTILITY COMPANY COMMENTS
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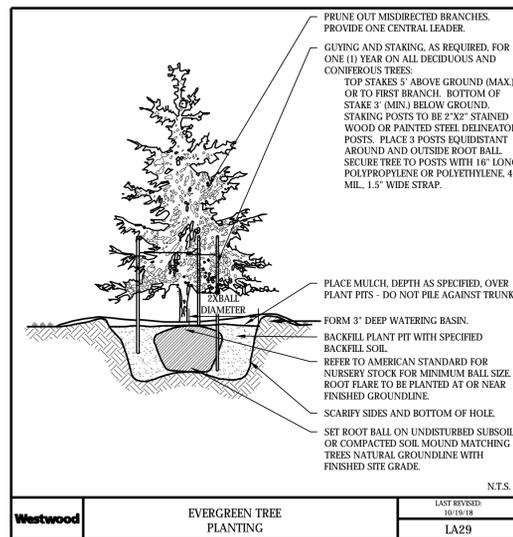
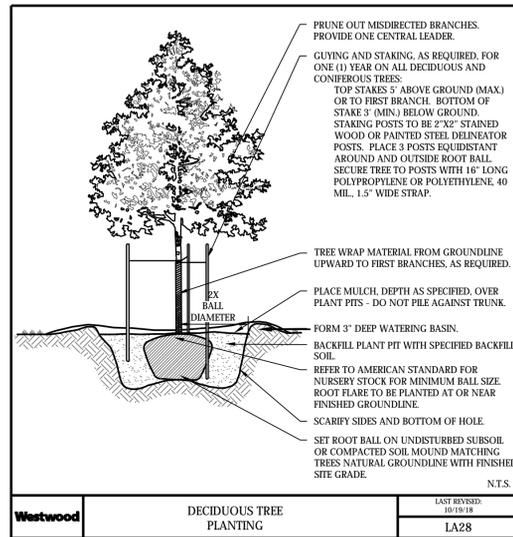
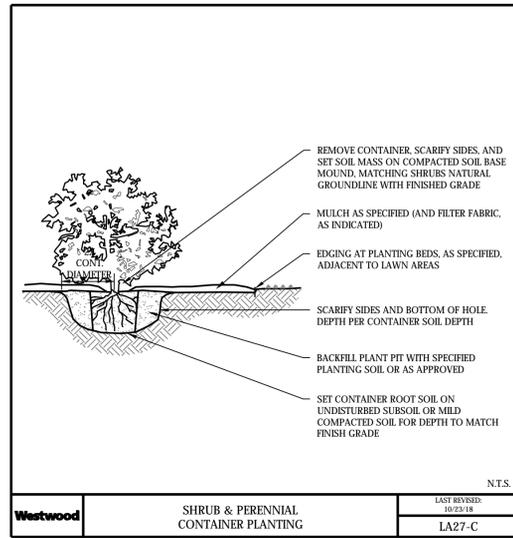
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FRANKLIN, WI

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SHEET NUMBER:
16 OF **17**
DATE: 04/22/20

LANDSCAPE ENLARGEMENT

PROJECT NUMBER: 0023687.00



PLANTING NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, WISCONSIN-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER WisDOT & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO WisDOT STANDARD SPECIFICATION AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL OR APPROVED EQUAL. ROCK MULCH TO BE BLUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD WISCONSIN GROWN OR WisDOT STANDARD SPECIFICATION #30.2.1.1.1 HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS FOR THE FIRST YEAR TO ESTABLISH PLANT GROWTH. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

DESIGNED: JSR
 CHECKED: BCW
 DRAWN: JSR
 HORIZONTAL SCALE: ###
 VERTICAL SCALE: ## OR ##

INITIAL ISSUE: 02/12/20
 REVISIONS:
 Δ 03/23/2020 PER CITY COMMENTS
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PREPARED FOR:



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LANDSCAPE NOTES &
 DETAILS

PROJECT NUMBER: 0023687.00

SHEET NUMBER:

17 OF 17

DATE: 04/22/20

**CITY OF FRANKLIN****REPORT TO THE PLAN COMMISSION****Meeting of May 7, 2020****Natural Resource Special Exception**

Project Name:	Mills Hotel Wyoming, LLC, (Franklin Mills/ Bear Development) Natural Resource Special Exception (NRSE)
Project Address/Tax Key:	Not Assigned: Tax Key No. 939-9994-000, and 939-9995-000
Property Owner:	Mathson, Daniel L & Virginia K (Mathson, Robert ET AL) (939-9994-000)
Applicant:	Mills Hotel Wyoming, LLC
Current Zoning:	M-2 General Industrial District
2025 Comprehensive Plan:	Business Park and Areas of Natural Resource Features
Applicant's Action Requested:	Recommendation to the Environmental Commission, Plan Commission, and Common Council for approval of the proposed Natural Resource Special Exception (NRSE)

INTRODUCTION:

On January 24, 2020, the applicant submitted an application for a Special Exception to Natural Resource Feature Provisions to the Department of City Development. The applicant is requesting approval to impact wetlands, wetland buffers, and wetland setbacks in order to develop on the subject land. Applications to rezone the parcel, and a site plan for the development of Copart, Inc., a global online vehicle auction company specializing in asset liquidation are currently seeking approval.

This item was originally scheduled to be heard at the April 9, 2020 Plan Commission, but was tabled with related items until May 7, 2020. In the interim, the applicant has submitted additional materials to address two elements of the previous Plan Commission Submittal:

- Revised site intensity calculations
- Information regarding proposed wetland enhancement in lieu of mitigation

Pursuant to Section 15-10.0208 of the Unified Development Ordinance (UDO), all requests for a Natural Resource Special Exception (NRSE) shall be provided to the Environmental Commission for its review and recommendation. The Commission recommended approval of the NRSE, subject to the conditions in the Special Exception application review and recommendation.

PROJECT DESCRIPTION:

The applicant has submitted an application for an NRSE for property bearing Tax Key No. 939 9994 000. The subject property contains several wetlands. Two different figures were originally provided to for the quantity of steep slopes on the property: 0.11 acres is listed on the Natural Resource Protection Plan (NRPP); 0.8 was used for site intensity calculations in the Environmental Commission submittal

materials. Revised calculations provided state that there are no areas on the site as that meet the UDO definition of steep slopes.

Wetland delineations were completed in April 2019, identifying several wetlands on the property. The applicant obtained letters from the Wisconsin Department of Natural Resources (DNR) dated January 8, 2020 (permit EXE-SE-2020-41-00039) and the Army Corps of Engineers (ACE) likewise dated January 8, 2020 designating two wetland area, W-1 and W-4, of the delineation report for the Mathson property as not regulated. These artificial wetlands meet the standards of §15-4.0102.J to be exempted from natural resource measurement requirements; they are therefore not subject to regulations. No impacts are proposed to W-3 on this part of the property.

The applicant's request is to impact just under 10,000 square feet of wetland identified as W-2 in the Mathson property delineation. Under separate cover on January 8, 2020, (GP-SE-2020-41-00037) the DNR granted permission to fill this wetland. The January 8 letter from the ACE likewise issues a general permit to fill this wetland.

Specifically, the exception is requested for impacts to:

- 9,969 square feet of wetland
- 19,268 square feet of wetland buffer
- 34,002 square feet of wetland a setback area including the buffer (14,734 square feet of setback outside the buffer)

The impacted wetland is part of the Ryan Creek subwatershed of the Root River (Figure 1).



Figure 1 Watershed Boundary and wetland impact area

The standard for mitigation of wetland (§15-4.0103.B.4) and wetland buffer (§15-4.0103.B.5) requires a mitigation area of 1.5 acres of mitigation provided to every one (1) acre of impact. Plant species and soils employed must be of superior quality to the existing wetland, meaning that the applicant must choose optimal plants regardless of the quality of vegetation being replaced. The UDO further requires that the mitigation be provided on the same parcel or site for which the exception is being made. Plan Commission may allow off site mitigation within the same watershed (§15-4.0103.C).

The applicant has proposed mitigation by expanding existing wetlands elsewhere on property currently being developed by Franklin Mills/Bear, as expansion of existing wetlands on the subject property would render it undevelopable. During the meeting of the Environmental Commission, the applicant proposed that remediation or enhancement of existing wetlands would be a more beneficial approach for the watershed and natural features in the area, and requested this be considered in lieu of mitigation. Upon review, the Environmental commission recommended this approach, provided the enhancement take place on the subject property. This recommendation is reflected in their review and recommendation document. The applicant has provided additional information with details of the proposed enhancement project. The proposal includes hand seeding, mowing, and herbicide application. Staff recommends that the applicant provide mitigation, and that said mitigation be protected by a conservation easement. Staff further recommends that areas of existing natural resources be similarly protected by easements.

The applicant has provided the attached Natural Resource Special Exemption Application, Project Description, and associated information. Staff would note:

- The wetland delineation was prepared by an Assured Delineator.
- Required permits from other units of government have been obtained.
- Conservation easements materials for existing natural resources to be preserved have been provided and are under review by the Planning Department.
- The applicant is proposing restoration of existing wetlands in lieu of mitigation, the details of which have not been fully defined yet. Submitted materials for Plan Commission detail off-site mitigation of wetlands only.
- Conservation easements for mitigation areas will need to be submitted once a proposal has been identified.

CONCLUSION:

Per Section 15-10.0208 of the Unified Development Ordinance (UDO), the applicant shall have the burden of proof to present evidence sufficient to support a Natural Resource Special Exception (NRSE) request. The applicant has presented evidence for the request by answering the questions and addressing the statements that are part of the Natural Resource Special Exception (NRSE) application. The applicant's responses to the application's questions and statements are attached for your review. *Also attached is a document titled, "City of Franklin Environmental Commission" that the Environmental Commission must complete and forward to the Common Council.* The questions and statements on this document correspond with the Natural Resource Special Exception (NRSE) application questions and statements that the applicant has answered and addressed.

At its March 25, 2020 meeting, the Environmental Commission recommended approval of the NRSE as presented at their meeting, with conditions as set forth in Section V. of the City of Franklin Environmental Commission Special Exception application review and recommendation memo.

CONCLUSION:

The Environmental Commission recommendations are contained in the decisions section of the attached draft Standards, Findings and Decision of the City of Franklin document.

Staff recommends approval of the NRSE, subject to a number of conditions such as:

- Provision of mitigation by the applicant; and
- Recording of Conservation Easements.

Draft 5/7/20

Standards, Findings and Decision
of the City of Franklin Common Council upon the Application of Mills Hotel
Wyoming, LLC, applicant, for a Special Exception
to Certain Natural Resource Provisions of the City of Franklin
Unified Development Ordinance

Whereas, Mills Hotel Wyoming, LLC, applicant, having filed an application dated January 22, 2020, for a Special Exception pursuant to Section 15-9.0110 of the City of Franklin Unified Development Ordinance pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature; a copy of said application being annexed hereto and incorporated herein as Exhibit A; and

Whereas, the application having been reviewed by the City of Franklin Environmental Commission and the Commission having made its recommendation upon the application, a copy of said recommendation dated March 25, 2020 being annexed hereto and incorporated herein as Exhibit B; and

Whereas, following a public hearing before the City of Franklin Plan Commission, the Plan Commission having reviewed the application and having made its recommendation thereon as set forth upon the report of the City of Franklin Planning Department, a copy of said report dated May 7, 2020 being annexed hereto and incorporated herein as Exhibit C; and

Whereas, the property which is the subject of the application for a Special Exception is generally located at West Loomis Road and West Ryan Road (Lot 84 in Ryan Meadows Subdivision), zoned R-2 Estate/Single-Family Residence District, C-1 Conservancy District and R-8 Multiple-Family Residence District, and such property is more particularly described upon Exhibit D annexed hereto and incorporated herein; and

Whereas, Section 15-10.0208B. of the City of Franklin Unified Development Ordinance, as amended by Ordinance No. 2003-1747, pertaining to the granting of Special Exceptions to Stream, Shore Buffer, Navigable Water-related, Wetland, Wetland Buffer and Wetland Setback Provisions, and Improvements or Enhancements to a Natural Resource Feature, provides in part: “The decision of the Common Council upon any decision under this Section shall be in writing, state the grounds of such determination, be filed in the office of the City Planning Manager and be mailed to the applicant.”

Now, Therefore, the Common Council makes the following findings pursuant to Section 15-10.0208B.2.a., b. and c. of the Unified Development Ordinance upon the application for a Special Exception dated January 22, 2020, by Mills Hotel Wyoming, LLC, applicant, pursuant to the City of Franklin Unified Development Ordinance, the proceedings heretofore had and the recitals and matters incorporated as set forth above, recognizing the applicant as having the burden of proof to present evidence sufficient to support the following findings and that such findings be made by not less than four members of the Common Council in order to grant such Special Exception.

1. That the condition(s) giving rise to the request for a Special Exception were not self-imposed by the applicant (this subsection a. does not apply to an application to improve or enhance a natural resource feature): *but rather*,_____.
2. That compliance with the stream, shore buffer, navigable water-related, wetland, wetland buffer, and wetland setback requirement will:
 - a. be unreasonably burdensome to the applicant and that there are no reasonable practicable alternatives:_____; *or*
 - b. unreasonably and negatively impact upon the applicant’s use of the property and that there are no reasonable practicable alternatives: _____.
3. The Special Exception, including any conditions imposed under this Section will:
 - a. be consistent with the existing character of the neighborhood: *the proposed development with the grant of a Special Exception as requested will be consistent with the existing character of the neighborhood; and*
 - b. not effectively undermine the ability to apply or enforce the requirement with respect to other properties: _____; *and*
 - c. be in harmony with the general purpose and intent of the provisions of this Ordinance proscribing the requirement:_____; *and*
 - d. preserve or enhance the functional values of the stream or other navigable water, shore buffer, wetland, wetland buffer, and/or wetland setback in co-existence with the development: *(this finding only applying to an application to improve or enhance a natural resource feature).*

The Common Council considered the following factors in making its determinations pursuant to Section 15-10.0208B.2.d. of the Unified Development Ordinance.

1. Characteristics of the real property, including, but not limited to, relative placement of improvements thereon with respect to property boundaries or otherwise applicable setbacks:_____.
2. Any exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district: _____.
3. Existing and future uses of property; useful life of improvements at issue; disability of an occupant:_____.
4. Aesthetics:_____.
5. Degree of noncompliance with the requirement allowed by the Special Exception: _____.
6. Proximity to and character of surrounding property: _____.
7. Zoning of the area in which property is located and neighboring area: *Residential*.
8. Any negative affect upon adjoining property: *No negative affect upon adjoining property is perceived.*
9. Natural features of the property: _____.
10. Environmental impacts:_____.
11. A recommendation from the Environmental Commission as well as a review and recommendation prepared by an Environmental Commission-selected person knowledgeable in natural systems: *The Environmental Commission recommendation and its reference to the report of _____ is incorporated herein.*
12. The practicable alternatives analysis required by Section 15-9.0110C.4. of the Unified Development Ordinance and the overall impact of the entire proposed use or structure, performance standards and analysis with regard to the impacts of the proposal, proposed design solutions for any concerns under the Ordinance, executory actions which would maintain the general intent of the Ordinance in question, and other factors relating to the purpose and intent of the Ordinance section imposing the requirement: *The Plan Commission recommendation and the Environmental Commission recommendation address these factors and are incorporated herein.*

Decision

Upon the above findings and all of the files and proceedings heretofore had upon the subject application, the Common Council hereby grants a Special Exception for such relief as is described within Exhibit C, upon the conditions:

- 1) that the natural resource features and mitigation areas upon the properties to be developed be protected by a perpetual conservation easement to be approved by the Common Council prior to any development within the areas for which the Special Exception is granted prior to the issuance of any Occupancy Permits;*
- 2) that the applicant obtain all other necessary approval(s) from all other applicable governmental agencies prior to any development within the areas for which the Special Exception is granted;*
- 3) that all development within the areas for which the Special Exception is granted shall proceed pursuant to and be governed by the approved Natural Resource Protection Plan and all other applicable plans for Mills Hotel Wyoming, LLC, applicant, and all other applicable provisions of the Unified Development Ordinance.*
- 4) that the applicant provide revised site intensity calculations to clarify the quantity of steep slopes prior to any land disturbing activities; and,*
- 5) Mitigation is provided by the applicant be in the form of wetland enhancement to the existing wetlands on site.*

The duration of this grant of Special Exception is permanent.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



April 21, 2020

Ms. Marion Ecks
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Re: Mills Hotel Wyoming – Natural Resource Special Exception

Dear Ms. Ecks:

Bear Development is pleased to submit this letter and the enclosed materials as formal application for a Natural Resource Special Exception.

Please note that the Natural Resource Protection Plan and Site Intensity Calculations have been revised. Based on further research of the Unified Development Ordinance, we found that the property does not include Steep Slopes as defined by the UDO. The NRPP Exhibit and Site Intensity Calculations have been revised accordingly.

As discussed and recommended by the Environmental Commission, we propose to meet our mitigation obligations in the form of wetland enhancement on existing wetlands which exist on the subject property. These wetlands are already protected in the form of Conservation Easements which will be recorded with the approved Certified Survey Map.

Wetland Enhancement

Wet to Wet-Mesic Prairie habitat is proposed in areas on-site with more open canopy structure and consistently saturated conditions, sometimes with extended periods of above-ground inundation. Wet to Wet-Mesic Prairie rehabilitation and reestablishment is proposed in areas that remain saturated for most of the growing season. These areas will be primarily revegetated utilizing seeding by manual methods.

Areas within current agricultural fields proposed to be restored as mesic prairie will be designed to serve as upland grassland bird habitat. This graminoid-dominated landscape with minimal woody cover provides habitat for foraging, breeding and nesting purposed for birds and other wildlife that rely on this increasingly threatened habitat type.

Invasive Species Management

Mowing. Especially during the first 2 growing seasons, planted areas shall be mowed to a height of 6-8 inches at during the early growing season and as needed to control INN species. Mowing shall take place prior to or when INN species are flowering so as to prevent seed set. Cut vegetative material will be left on-site if it does not affect the establishment of native vegetation.

Herbicide Application. Herbicide may be applied in a variety of methods depending on plant community composition and needs. Equipment calibration will be adjusted and the utmost care will be taken to avoid drift on non-target species during all forms of treatment.

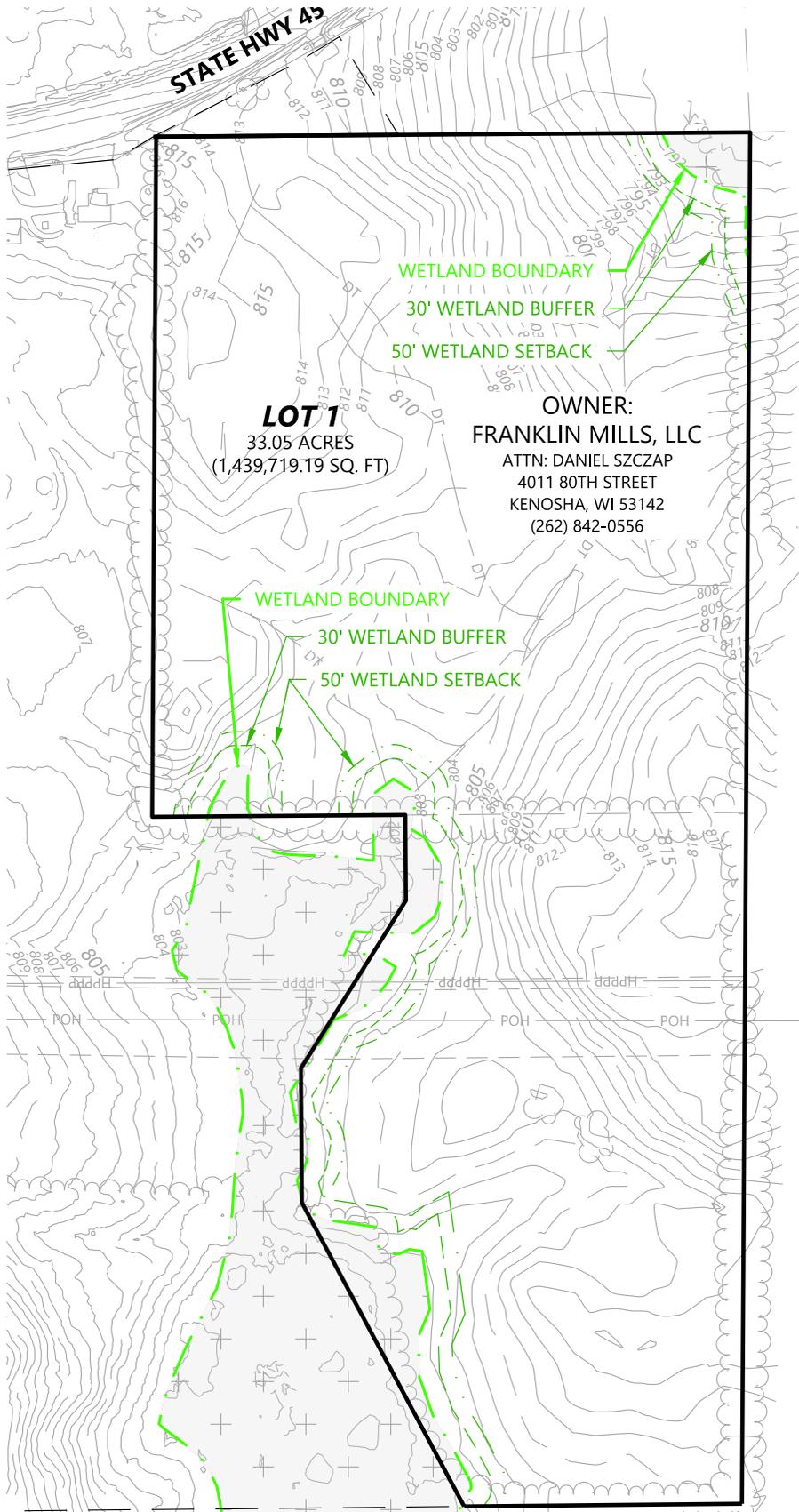
We appreciate your time and consideration of this matter and respectfully request approval of the Natural Resource Exception to disturb the identified feature on the project site. Please note that our project includes the permanent preservation of significant open space including Conservation and Landsscape Bufferyard Easements which will be recorded with the approved Certified Survey Map.

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Respectfully,

Daniel Szczap
Bear Development, LLC



LOT 1
33.05 ACRES
(1,439,719.19 SQ. FT)

OWNER:
FRANKLIN MILLS, LLC
ATTN: DANIEL SZCZAP
4011 80TH STREET
KENOSHA, WI 53142
(262) 842-0556

WETLAND BOUNDARY
30' WETLAND BUFFER
50' WETLAND SETBACK

WETLAND BOUNDARY
30' WETLAND BUFFER
50' WETLAND SETBACK

NATURAL RESOURCE FEATURE AREAS

RESOURCE TYPE	LOT 1
STEEP SLOPES (10%-20%)	0 AC (0 SF)
STEEP SLOPES (20%-30%)	0 AC (0 SF)
STEEP SLOPES (30%+)	0 AC (0 SF)
DELINEATED WETLAND*	1.62 AC (70,687 SF)
DELINEATED WETLAND BUFFER (30' OFFSET)	2.29 AC (99,539 SF)
DELINEATED WETLAND SETBACK (50' OFFSET)	3.99 AC (174,009 SF)
MATURE WOODLAND	0 AC (0 SF)

NATURAL RESOURCE FEATURE AREAS

RESOURCE TYPE	LOT 1
LAKES & PONDS	0 AC (0 SF)
STREAMS	0 AC (0 SF)
SHORE BUFFERS	0 AC (0 SF)
FLOODPLAINS/FLOODWAYS	0 AC (0 SF)
OVERLAPPING RESOURCES	0 AC (0 SF)

*BASED ON FIELD DELINEATION COMPLETED BY HEARTLAND ECOLOGICAL GROUP, INC. ON 11/8/18 & 11/9/18. SEE "ASSURED WETLAND DELINEATION REPORT" DATED 4/24/19.



N:\0023687.00\DWG\CONCEPTS & EXHIBITS\0023687SK05-LOT 1 - ONLY.DWG

FRANKLIN PROPERTY

FRANKLIN PROPERTY
FRANKLIN, WI

PREPARED BY:

Westwood

Phone (320) 253-9495 3701 12th Street North, Suite 206
Fax (320) 358-2001 St. Cloud, MN 56303
TollFree (800) 270-9495 westwoodps.com

Westwood Professional Services, Inc.

NATURAL
RESOURCES
PROTECTION PLAN -
LOT 1

SHEET NUMBER:

1
OF
1

DATE: 04/14/2020

0023687.00

Table 15-3.0502

Worksheet for the Calculation of Base Site Area for Both Residential and Nonresidential Development

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	43.56	acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	1.83	acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0	acres
STEP 4:	In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	0	acres
STEP 5:	Equals "Base Site Area"	41.73	acres

Table 15-3.0503

Worksheet for the Calculation of Resource Protection Land

Natural Resource Feature	Protection Standard Based Upon Zoning District Type			Acres of Land in Resource Feature	
	Agricultural	Residential	Non-Residential		
Steep Slopes:					
10-19%	0.00	0.60	0.40	-	-
20-30%	0.65	0.75	0.70	-	-
+30%	0.90	0.85	0.80	-	-
Woodlands & Forests:					
Mature	0.70	0.70	0.70	-	-
Young	0.50	0.50	0.50	-	-
Lakes & Ponds	1.00	1.00	1.00		
Streams	1.00	1.00	1.00	-	-
Shore Buffer	1.00	1.00	1.00	-	-
Floodplains	1.00	1.00	1.00	-	-
Wetland Buffers	1.00	1.00	1.00	1x2.29	2.29
Wetlands & Shoreland	1.00	1.00	1.00	1x1.62	1.62
Total Resource Protection Land				3.91	Acres

Table 15-3.0505

Worksheet for the Calculation of Site Intensity and Capacity for Nonresidential Development

STEP 1:	Calculate minimum required landscape surface: Base Site Area x Landscape Surface Ratio = Minimum Required On-Site Landscape Surface	14.61	acres
STEP 2:	Calculate Net Buildable Site Area: Base Site Area - Total Resource Protection Land or Min. Required Landscape Surface = Net Buildable Site Area	27.12	acres
STEP 3:	Calculate Maximum Net Floor Area Yield of Site: Net Buildable Site Area x NFAR = Maximum Net Floor Area Yield of Site	23.06	acres
STEP 4:	Calculate Maximum Gross Floor Area Yield of Site: Base Site Area x GFAR = Maximum Gross Floor Area Yield of Site	22.95	acres
STEP 5:	Determine Maximum Permitted Floor Area of Site: Lowest of MNFAY/MGFAY x 43,560	22.95	acres



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of May 7, 2020

Special Use and Site Plan Amendment

RECOMMENDATION: City Development staff recommends approval of the Natural Resource Special Exception, subject to the conditions of approval in attached draft Resolutions

Project Name:	Askren Wrestling Special Use and Site Plan
Project Address/Tax Key:	9760 South 60 th Street/899 9993 004
Property Owner:	Askren Properties LLC
Applicant:	Askren Wrestling Academy
Current Zoning:	M-1 Limited Industrial District
2025 Comprehensive Plan:	Industrial
Use of Surrounding Properties:	M-1 Limited Industrial District
Action Requested:	Recommendation of approval of the Special Use and approval of the Site Plan Application

Project Description and Analysis

The applicant, Ben Askren of Askren Wrestling Academy, filed applications for a Special Use and Site Plan Amendment to locate Askren Wrestling Gym within the existing building at 9760 S. 60th Street. Staff determined that a wrestling gym and instruction use is most appropriately classified Standard Industrial Classification Code No. 7999 Amusement and Recreation Services, Not Elsewhere Classified, a Special Use in the M-1 Limited Industrial District.

The Plan Commission began discussion of this item at their April 9, 2020 meeting. The item was tabled to allow for the provision of additional information by both the Applicant and Staff. Specifically, the Plan Commission requested responses to the following:

1. Parking demand. Parking calculations required.
2. Traffic circulation. Is there a cross-access connection to the south?
3. Any comments from the Fire Dept? Any concerns about turn-around for fire trucks?

The subject property is approximately 0.58-acres (approximately 24,976 square feet) and consists of a 7,337 square foot building. The building has a height of about 18-feet. The applicant is proposing only minor exterior site changes. The applicant plans to restripe the parking lot to include 16 parking spaces, including one ADA accessible space. The parking spaces are 9-foot wide and 20-feet in length (180 square feet), which complies with Unified Development Ordinance standards. The applicant is also adding wheel stops to the parking lot. No other exterior site or building changes are proposed.

The applicant will be utilizing the entire building. The vast majority of the space will be the wrestling gym. There will also be a waiting area, office, and restrooms.

The business will have signage, which requires separate review and a Sign Permit issued by the Inspection Department.

Parking Demand

The UDO recommends parking ratios for certain uses; however, there is not a category specific to SIC 7999. According to Table 15-5.0203, parking requirements for a gymnasium when occupants are not seated is 0.25 parking spaces per person, based on permitted capacity. Where seated, the requirement is 0.3 parking spaces per seat. The applicant proposes to have 40 students per class; however, building capacity information was not provided. For 40 students, 10 parking spaces would be required if none are seated, or 12 parking spaces if all of them are.

Cross Access

There is not access proposed or provided to the parcel to the south, and staff did not find any cross access easements for the property. The property to the south has a fence around it.

Fire Department Comments

The Commission expressed concern that additional traffic might impose on the nearby fire station. Fire Chief Adam Remington's comments are attached for the Commission's review.

Note that the applicant has provided responses to the General Standards for Special Uses found in Section 15-3.0701 of the UDO for Plan Commission and Common Council review.

Recommendation

A motion to recommend approval of the Special Use for Askren Wrestling and a motion to approve the Site Plan, contingent upon approval of the Special Use, and subject to the conditions in the attached draft resolution.

RE: Special Use & Site Plan - Askren Wrestling Academy (9760 S. 60th)

Adam Remington

Sent: Friday, April 10, 2020 1:21 PM**To:** Marion Ecks

Marion,

There are four firehouses throughout Milwaukee County that are housing personnel and resources dedicated to responding to COVID-19 suspected patients. It is true that FFD #2 at 9911 S. 60th is one of those locations; however, I do not anticipate that that should have any effect on any business in the area whatsoever, and we have no additional needs as far as distancing, access, or turnaround space. The wrestling academy at that location will have absolutely no impact on our operations, nor we on theirs.

No concerns.

Thanks for checking though.

Adam

From: Marion Ecks**Sent:** Friday, April 10, 2020 12:57 PM**To:** Adam Remington**Subject:** RE: Special Use & Site Plan - Askren Wrestling Academy (9760 S. 60th)

Chief Remington

This item was heard at Plan Commission last night, and was tabled because the Commission had several concerns and they wanted to give the Applicant an opportunity to respond.

One of the concerns was about fire trucks and questions related to a turn-around for those trucks near that property. I believe there is also an emergency center there or other facility related to COVID 19? In any case, I wanted to follow up with you to see if you have any concerns about the item. Our notes from the meeting are:

Item C3. Askren. Tabled to May 7.

- Parking demand. Parking calculations required.
- Traffic circulation. Is there a cross-access connection to the south?
- Any comments from the Fire Dept? Any concerns about turn-around for fire trucks?

Let me know if you have any questions or need more information.

Thanks,

Marion Ecks

Assistant Planner

Department of City Development

City of Franklin

414-425-4024

mecks@franklinwi.gov

9229 W. Loomis Road
Franklin, Wisconsin 53132

Error! Filename not specified.

From: Adam Remington
Sent: Wednesday, February 12, 2020 3:40 PM
To: General Planning
Cc: Catherine Heder
Subject: Special Use & Site Plan - Askren Wrestling Academy (9760 S. 60th)

The fire department has no concerns with the proposed Special Use & Site Plan at this location. Existing fire protection systems may need to be modified in order to remain in compliance with their relevant codes/standards.



Adam Remington
Fire Chief | City of Franklin
414-425-1420 Station
414-427-7580 Desk
414-425-7067 Fax

This message is intended for the sole use of the individual and entity to which it is addressed, and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not the intended addressee, nor authorized to receive for the intended addressee, you are hereby notified that you may not use, copy, disclose or distribute to anyone the message or any information contained in the message. If you have received this message in error, please immediately advise the sender by reply email and delete the message.



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of May 7, 2020

Certified Survey Map

RECOMMENDATION: City Development Staff recommends approval of the Certified Survey Map application submitted by Bear Development, LLC, subject to the conditions in the draft resolution.

Project Name:	Ryan Meadows Lot 84 – Certified Survey Map
Project Location:	Not Assigned/891-9010-002
Property Owner:	Mills Hotel Wyoming
Applicant:	Daniel Szczap. Bear Development, LLC
Current Zoning:	M-1 Limited Industrial District
Proposed Zoning:	M-2 General Industrial District (separate application)
2025 Comprehensive Plan:	Business Park and Areas of Natural Resource Features
Applicant's Action Requested:	Recommendation of approval of the Certified Survey Map.

The applicant, Bear Development, LLC, filed a Certified Survey Map to subdivide Lot No. 84 of the Ryan Meadows Subdivision into two separate parcels. Lot 1 has an area of 13.46 acres and Lot 2 has an area of 10.59 acres. The land division request will accommodate the proposed Copart, Inc. Site Plan, which utilizes Lot 2 for the storage of vehicles and an emergency ingress/egress from Monarch Drive.

The applicant submitted this CSM application on March 23, 2020. Pursuant to Wisconsin Statutes §236.34(1m)(f), the approving authority (Common Council) shall take action within 90 days of application submittal unless a time extension is granted by the applicant. The 90-day review time frame expires on June 21, 2020.

There are no current plans for the development of Lot 1, but is anticipated for Business Park/Industrial development.

The subject property is currently zoned M-1 Limited Industrial District; however, the applicant has a Rezoning Application currently under review to change the zoning to M-2 General Industrial District.

Recommended Motions

A motion to recommend approval of the Certified Survey Map to the Common Council, subject to the conditions set forth in the attached resolution.

RESOLUTION NO. 2020-_____

A RESOLUTION CONDITIONALLY APPROVING A 2 LOT CERTIFIED SURVEY MAP, BEING ALL OF LOT 84 IN RYAN MEADOWS, LOCATED IN THE SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 ALL IN SECTION 30, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN (MILLS HOTEL WYOMING, LLC, APPLICANT)
(GENERALLY ON THE EAST SIDE OF MONARCH DRIVE, SOUTH OF CHICORY STREET, AREA COMMONLY KNOWN AS AREA G)

WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a certified survey map, such map being all of Lot 84 in Ryan Meadows, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Southwest 1/4 and the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, more specifically, of the property generally located on the east side of Monarch Drive, south of Chicory Street, area commonly known as Area G, bearing part of Tax Key No. 891-9010-002, Mills Hotel Wyoming, LLC, applicant; said certified survey map having been reviewed by the City Plan Commission and the Plan Commission having recommended approval thereof pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed certified survey map is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Certified Survey Map submitted by Mills Hotel Wyoming, LLC, as described above, be and the same is hereby approved, subject to the following conditions:

1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and made by the applicant, prior to recording.
2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9. of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such

MILLS HOTEL WYOMING, LLC – CERTIFIED SURVEY MAP
RESOLUTION NO. 2020-_____

Page 2

Code and Ordinance provisions may be amended from time to time.

3. Each and any easement shown on the Certified Survey Map shall be the subject of separate written grant of easement instrument, in such form as provided within the *City of Franklin Design Standards and Construction Specifications* and such form and content as may otherwise be reasonably required by the City Engineer or designee to further and secure the purpose of the easement, and all being subject to the approval of the Common Council, prior to the recording of the Certified Survey Map.
4. Mills Hotel Wyoming, LLC, successors and assigns, and any developer of the Mills Hotel Wyoming, LLC subdivision of Lot 84 of the Ryan Meadows Subdivision into 2 lots certified survey map project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
5. The approval granted hereunder is conditional upon Mills Hotel Wyoming, LLC and the subdivision of Lot 84 of the Ryan Meadows Subdivision into 2 lots certified survey map project for the property generally located on the east side of Monarch Drive, south of Chicory Street, area commonly known as Area G: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
6. The applicant shall revise the conservation easement “Wetland 1 – Lot 84 & Outlot 3” to include the shore buffer area for review by the Department of City Development and the City Attorney and approval by the Common Council, prior to the recording of the Certified Survey Map.
7. The applicant shall submit civil plans of the Monarch Drive cul-de-sac for review and approval by the Engineering Department, prior to the recording of the Certified Survey Map.

BE IT FURTHER RESOLVED, that the Certified Survey Map, certified by owner, Mills Hotel Wyoming, LLC, be and the same is hereby rejected without final approval and without any further action of the Common Council, if any one, or more than one of the above conditions is or are not met and satisfied within 180 days from the date of adoption of this Resolution.

MILLS HOTEL WYOMING, LLC – CERTIFIED SURVEY MAP
RESOLUTION NO. 2020-_____

Page 3

BE IT FINALLY RESOLVED, that upon the satisfaction of the above conditions within 180 days of the date of adoption of this Resolution, same constituting final approval, and pursuant to all applicable statutes and ordinances and lawful requirements and procedures for the recording of a certified survey map, the City Clerk is hereby directed to obtain the recording of the Certified Survey Map, certified by owner, Mills Hotel Wyoming, LLC, with the Office of the Register of Deeds for Milwaukee County.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

MEMORANDUM

Date: April 16, 2020/ **April 23, 2020**
To: Daniel Szczap, Bear Development, LLC. / **Regulo Martinez Montilva**
From: Department of City Development/ **Daniel Szczap, Bear Development, LLC**
RE: Application for Certified Survey Map (CSM). / **Resubmittal of Lot 84 Certified Survey Map**

Bear Development, LLC. submitted this CSM application on March 23, 2020, the 90-day review time frame set forth in Wis. Statutes §236.34 (1m)(f) expires on June 21, 2020.

Staff comments are as follows for the Certified Survey Map application, for Lot 84 of Ryan Meadows subdivision:

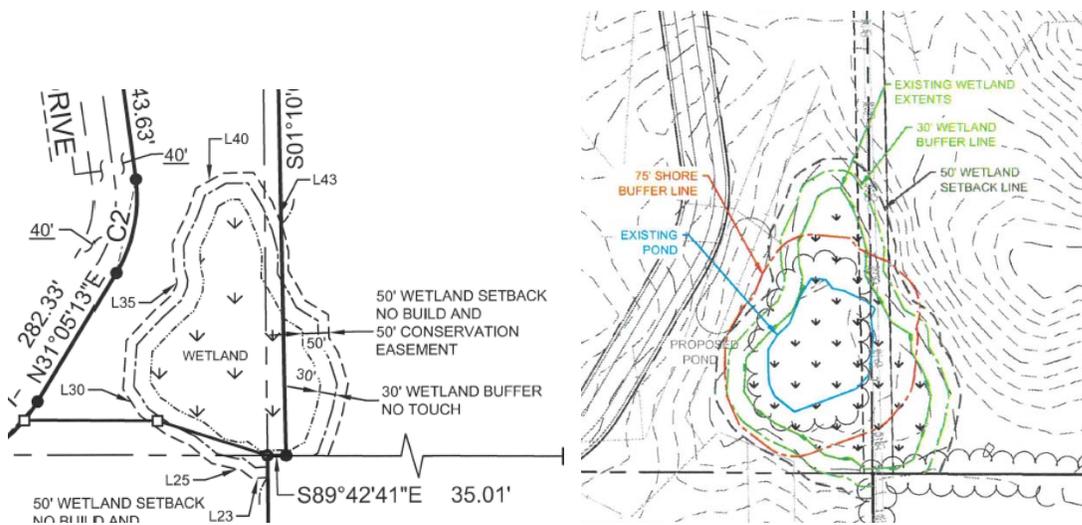
City Development Department comments

1. Per Section 15-7.0702 of the UDO, please show correctly on the face of the CSM, in addition to the information required by § 236.34 of the Wisconsin Statutes, the following:
 - a. Existing and Proposed Contours. Existing and proposed contours at vertical intervals of not more than two (2) feet. Elevations shall be marked on such contours based on National Geodetic Vertical Datum of 1929 (mean sea level). This requirement may be waived if the parcel(s) created are fully developed.
Existing and proposed contours have been added to the Certified Survey Map per Section 15-7.0702 of the UDO.
 - b. Owner, Subdivider, Land Surveyor. Name and address of the owner, Subdivider, and Land Surveyor. – It is recommended that the owner/subdivider label on Sheet 5 be moved to Sheet 1.
Owner/Subdivider information has been moved to Page 1 per the City's request.
 - c. Existing Zoning. The Certified Survey Map shall indicate on its face the current zoning and zoning boundary lines of all parcels, lots or outlots proposed to be created by the Certified Survey Map. – Please label the zoning districts of each parcel.
Existing zoning classifications have been included on the face of the CSM.
2. The temporary turnaround at the end of Monarch Drive shall be removed and replaced with a cul-de-sac to be consistent with the Copart, Inc. development proposal. The cul-de-sac must meet City standards, which includes an island. Note that if any land is being dedicated to the City to accommodate the cul-de-sac design, the CSM must also be revised to note the 'dedication accepted' language under the City of Franklin Common Council Approval section of the CSM.
Adequate land area has been provided as right of way dedication to accommodate a City cul-de-sac. The design of the cul-de-sac has been previously discussed with City Engineering. Full design plans of the cul-de-sac will follow approval of the CSM.
3. Sheet 3 does not show the 30-foot wetland buffer, which is shown on Sheet 2. Please include the 30-foot Buffer notation throughout the CSM.
The 30-foot wetland buffer has been added at the request of the City.

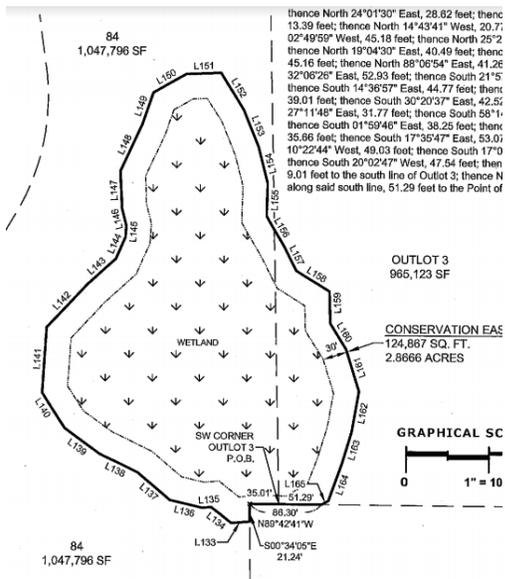
4. Please revise the Mayor's name to Stephen R. Olson.
Corrected.
5. As previously discussed, Lot 2 must be combined to the other Copart, Inc. site if utilized for that same development. Again, all plats, CSMs, and land transfers to create the parcel presented for the Copart, Inc. development must be completed prior to the issuance of a Certificate of Occupancy.
Noted. The combination will be completed after the Copart approvals have been granted.
6. The proposed CSM and one of the conservation easements for Lot No. 84 does not appear to include the Shore Buffer as shown on the NRPP. See below. This CSM and easement must be revised accordingly to show the full extent of the protected area, including the Shore Buffer.
The revised CSM depicts the full extent of protected areas. The Conservation Easement will be revised accordingly.

Proposed Certified Survey Map

NRPP Map



Conservation Easement



Engineering Department comments

7. Add the recording information of Ryan Meadows subdivision to the header of this proposal.
Recording information is included in the legal description.
8. Indicate in this proposal the sentence "Lot 1 & 2 are served by Public Sewer and Water."
Language added.
9. Show the section corners coordinates, at least two corners.
Completed
10. Show the dedication of the right of way by the cul-de-sac of Monarch Drive.
Completed
11. Remove the word "Temporary Turn Around Easement" as this will be a dedicated for public road right of way.
Completed
12. The legal description needs to be adjusted to reflect the dedication of the right of way.
Completed
13. Under the Owner Certificate, insert the word after the Wisconsin Statutes " and the Unified Development
14. Ordinance Division-15 of the City of Franklin".
Language added.
15. Under the Common Council Approval, insert the word after Approved " and the dedication accepted".
Language added.

Note: The Engineering comments may be revised to reflect comments from the Milwaukee County.

Milwaukee County comments

See attached letter.

CERTIFIED SURVEY MAP NO. _____

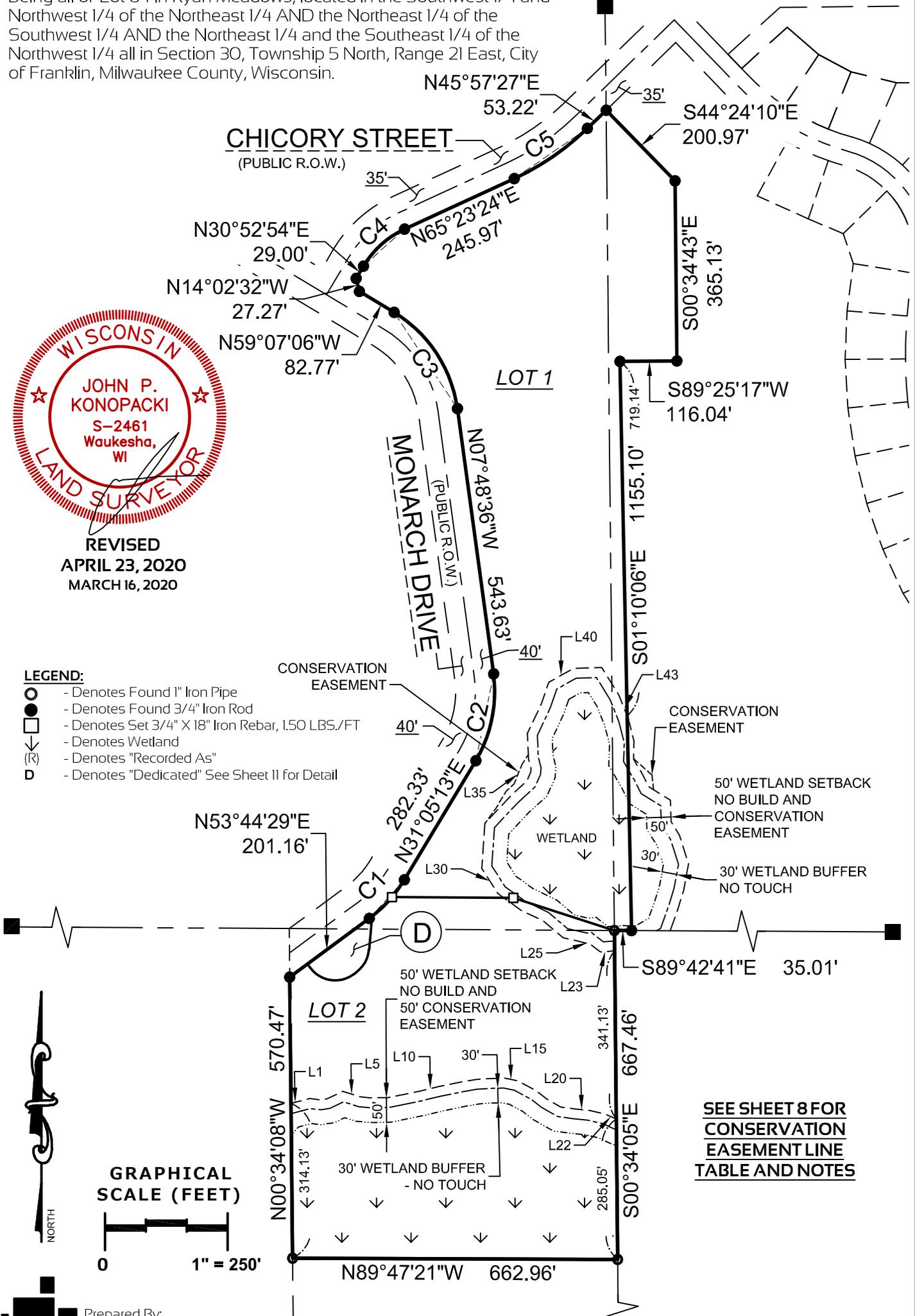
Being all of Lot 84 in Ryan Meadows, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.



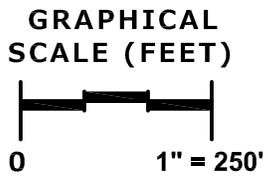
REVISED
APRIL 23, 2020
MARCH 16, 2020

LEGEND:

- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Iron Rod
- - Denotes Set 3/4" X 18" Iron Rebar, 1,50 LBS./FT
- ∇ - Denotes Wetland
- (R) - Denotes "Recorded As"
- D - Denotes "Dedicated" See Sheet II for Detail



**SEE SHEET 8 FOR
CONSERVATION
EASEMENT LINE
TABLE AND NOTES**



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#809.20
SHEET 2 OF 11

CERTIFIED SURVEY MAP NO. _____

Being all of Lot 84 in Ryan Meadows, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.



REVISED
APRIL 23, 2020
MARCH 16, 2020

LEGEND:

- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Iron Rod
- - Denotes Set 3/4" X 18" Iron Rebar, 1.50 LBS./FT
- ∇ - Denotes Wetland
- (R) - Denotes "Recorded As"
- D - Denotes "Dedicated" See Sheet II for Details

CHICORY STREET
(PUBLIC R.O.W.)

MONARCH DRIVE
(PUBLIC R.O.W.)

LOT 1

CONSERVATION EASEMENT

CONSERVATION EASEMENT

50' WETLAND SETBACK
NO BUILD AND
CONSERVATION EASEMENT

30' WETLAND BUFFER
NO TOUCH

N53°44'29"E
201.16'

N31°05'13"E
282.33'

D

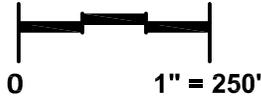
50' WETLAND SETBACK
NO BUILD AND
50' CONSERVATION EASEMENT

LOT 2

BUILDING SETBACK LINE

30' WETLAND BUFFER
- NO TOUCH

GRAPHICAL SCALE (FEET)



NORTH

Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#809.20
SHEET 3 OF 11

CERTIFIED SURVEY MAP NO. _____

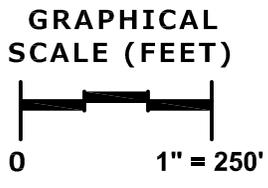
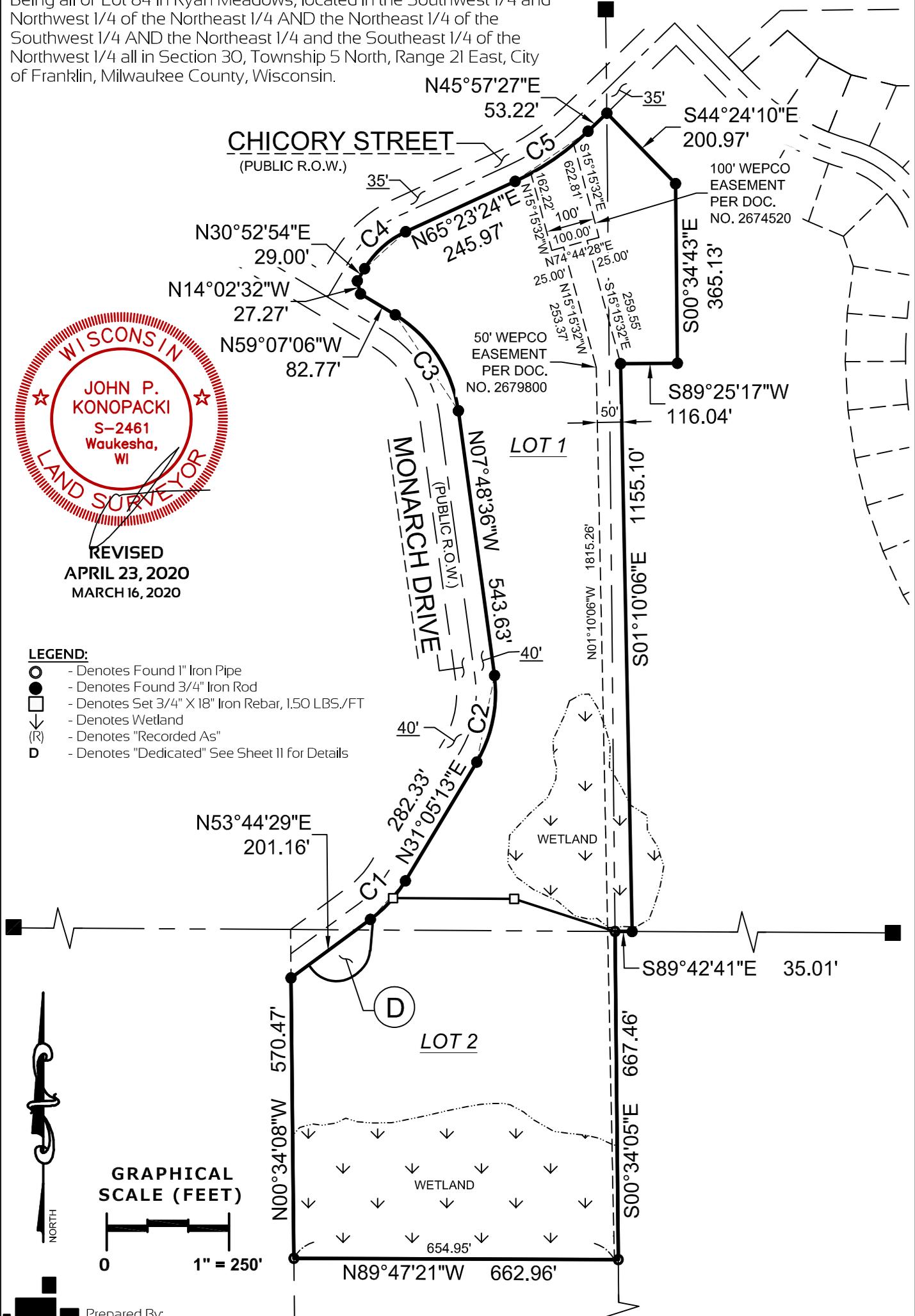
Being all of Lot 84 in Ryan Meadows, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.



REVISED
APRIL 23, 2020
MARCH 16, 2020

LEGEND:

- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Iron Rod
- - Denotes Set 3/4" X 18" Iron Rebar, 1.50 LBS./FT
- ↘ - Denotes Wetland
- (R) - Denotes "Recorded As"
- D - Denotes "Dedicated" See Sheet II for Details



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
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PEG JOB#809.20
SHEET 4 OF 11

CERTIFIED SURVEY MAP NO. _____

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CHICORY STREET
(PUBLIC R.O.W.)

MONARCH DRIVE
(PUBLIC R.O.W.)

LOT 1
586,423
SQ. FT.
13.4624
ACRES

LOT 2
452,797 SQ. FT.
10.3948 ACRES



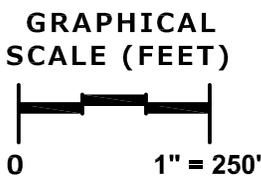
REVISED
APRIL 23, 2020
MARCH 16, 2020

LEGEND:

- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Iron Rod
- - Denotes Set 3/4" X 18" Iron Rebar, 1.50 LBS./FT
- ↓ - Denotes Wetland

EXISTING TOPOGRAPHY

Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Contours are shown at a 2' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the Northwest corner of the Northeast 1/4 Section 30, Town 5 North, Range 21 East, Elevation = 803.18.



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#809.20
SHEET 5 OF 11

CERTIFIED SURVEY MAP NO. _____

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CHICORY STREET
(PUBLIC R.O.W.)

MONARCH DRIVE
(PUBLIC R.O.W.)

LOT 1

LOT 2



REVISED
APRIL 23, 2020
MARCH 16, 2020

LEGEND:

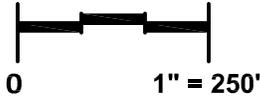
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- - Denotes Found 3/4" Iron Rod
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- ↓ - Denotes Wetland

- 800 — - Denotes Existing Contour
- ⊖ 800 ⊖ - Denotes Proposed Contour

PROPOSED GRADING

Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29). Reference Benchmark: Concrete monument with brass cap at the Northwest corner of the Northeast 1/4 Section 30, Town 5 North, Range 21 East, Elevation = 803.18.

GRAPHICAL SCALE (FEET)



Prepared By:

PINNACLE ENGINEERING GROUP

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PEG JOB#809.20
SHEET 6 OF 11

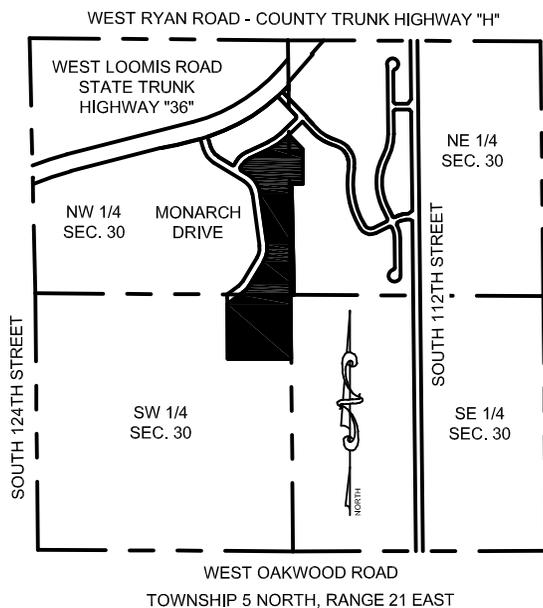
CERTIFIED SURVEY MAP NO. _____

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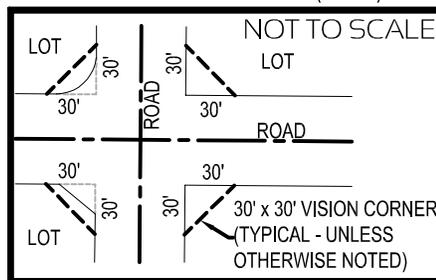
BOUNDARY CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT	TANGENT
C1	106.76'	270.00'	022°39'16"	N42°24'51"E	106.06'	N53°44'29"E	N31°05'13"E
C2	183.30'	270.00'	038°53'49"	N11°38'18"E	179.80'	N31°05'13"E	N07°48'36"W
C3	241.78'	270.00'	051°18'30"	N33°27'51"W	233.79'	N07°48'36"W	N59°07'06"W
C4	114.43'	190.00'	034°30'30"	N48°08'09"E	112.71'	N30°52'54"E	N65°23'24"E
C5	181.45'	535.00'	019°25'57"	N55°40'26"E	180.58'	N65°23'24"E	N45°57'27"E
C6	56.55'	270.00'	012°00'00"	N46°14'44"E	56.45'	N52°14'44"E	N40°14'44"E
C7	43.16'	270.00'	009°09'31"	N35°39'59"E	43.11'	N40°14'44"E	N31°05'13"E

VICINITY SKETCH SCALE 1"=2000'



CITY OF FRANKLIN VISION CORNER EASEMENT DETAIL (VCE)



NOTES:

1. Flood Zone Classification: The property lies within Zone "X" of the Flood Insurance Rate Map Community Panel No. 55079C0206E AND 55079C0205E dated SEPTEMBER 26, 2008. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
2. Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East bears S89°44'26"E.
3. Wetlands delineated by Heather D. Patti, PWS - Senior Wetland Ecologist Project Manager, R.A. Smith National, Inc. on December 8, 2014.
4. VISION CORNER EASEMENTS: No Obstructions Permitted. No visual obstructions, such as structures, parking, or vegetation, shall be permitted between the heights of 2.5 feet and 10 feet above the plane through the mean curb grades within the Vision Corner Easement.
5. Lot 1 and Lot 2 are served by Public Sewer and Water.
6. Temporary Turn Around Easement shown on the recorded plat of Ryan Meadows on Lot 2 of this Certified Survey Map to be vacated via separate document.



REVISED
APRIL 23, 2020
MARCH 16, 2020

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#809.20

SHEET 7 OF 11

CERTIFIED SURVEY MAP NO. _____

Being all of Lot 84 in Ryan Meadows, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

50' CONSERVATION EASEMENT

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N75°22'21"E	39.14'
L2	S83°24'58"E	22.94'
L3	N81°01'31"E	12.95'
L4	N64°22'19"E	35.35'
L5	S72°46'48"E	38.10'
L6	S84°45'14"E	19.51'
L7	N89°55'05"E	35.37'
L8	N78°42'05"E	35.25'
L9	N78°13'06"E	34.92'
L10	N76°36'18"E	38.42'
L11	N78°25'24"E	42.12'
L12	N80°05'35"E	32.68'
L13	N86°06'12"E	30.49'
L14	N88°33'35"E	28.34'
L15	S78°35'50"E	28.25'
L16	S61°51'16"E	43.50'
L17	S51°40'09"E	26.71'
L18	S60°48'43"E	32.81'
L19	S82°18'03"E	25.35'
L20	S83°46'43"E	34.76'
L21	S76°59'19"E	32.39'
L22	S65°37'25"E	23.62'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L23	S85°51'26"W	29.14'
L24	N52°02'25"W	30.19'
L25	S85°12'42"W	5.62'
L26	N76°55'48"W	47.86'
L27	N49°54'31"W	53.03'
L28	N64°32'14"W	50.77'
L29	N54°16'58"W	57.16'
L30	N32°49'08"W	60.42'
L31	N03°52'01"E	91.68'
L32	N35°53'42"E	38.67'
L33	N31°25'06"E	39.65'
L34	N47°16'20"E	22.14'
L35	N21°59'20"E	43.89'
L36	N33°40'08"W	23.04'
L37	N02°49'59"W	42.67'
L38	N25°21'49"E	65.72'
L39	N19°04'30"E	47.01'
L40	N60°46'28"E	57.64'
L41	N88°06'54"E	57.62'
L42	S32°06'26"E	66.20'
L43	S21°57'55"E	45.18'

NOTES:

- CONSERVATION EASEMENT RESTRICTIONS:
 - No construction or placement of buildings or any structure;
 - No construction or any improvements, unless, notwithstanding covenant 1 above, the improvement is specifically and previously approved by the Common Council of the City of Franklin, upon the advice of such other persons, entities, and agencies as it may elect; such improvements as may be so approved being intended to enhance the resource value of the protected property to the environment or the public and including, but not limited to animal and bird feeding stations, park benches, the removal of animal blockage of natural drainage or other occurring blockage of natural drainage, and the like;
 - No excavation, dredging, grading mining, drilling, or change the topography of the land or its natural condition in any manner, including any cutting or removal of vegetation, except for the removal of dead or diseased trees; with the exception of limited grading within the wetland setback area as defined by the City of Franklin Unified Development Ordinance. Grading within the wetland setback is limited to the grading shown in the approved Final Engineering Plans for the Strauss Brands Facility development.
 - No filling, dumping, or depositing of any material whatsoever, including, but not limited to soil, yard waste, or other landscape materials, ashes, garbage, or debris;
 - No planting of any vegetation not native to the protected property or not typical wetland vegetation;
 - No operating snowmobiles, dune buggies, motorcycles, all-terrain vehicles or any other types of Motorized vehicles.



REVISED
APRIL 23, 2020
MARCH 16, 2020

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#809.20
SHEET 8 OF 11

CERTIFIED SURVEY MAP NO. _____

Being all of Lot 84 in Ryan Meadows, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided Lot 84 in Ryan Meadows, as recorded in the Register of Deeds office for Milwaukee County as Document No. 10962414, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County Wisconsin, described as follows:

Commencing at the southwest corner of the Northwest 1/4 of said Section 30;
Thence South 89°39'32" East along the south line of said Northwest 1/4 and then along a south line of Ryan Meadows, a recorded subdivision, 2008.73 feet to the north right of way line of Monarch Drive and a west line of said Ryan Meadows;
Thence South 00° 34'08" East along said west line of Ryan Meadows, 98.50 feet to the south right of way line of Monarch Drive and the Point of Beginning;

Thence North 53°44'29" East along said south right of way line, 201.16 feet to a point of curvature;
Thence northeasterly 106.76 feet along the arc of said curve to the left and said right of way line, whose radius is 270.00 feet and whose chord bears North 42°24'51" East, 106.06 feet;
Thence North 31°05'13" East along said right of way line, 282.33 feet to a point of curvature;
Thence northeasterly 183.30 feet along the arc of said curve to the left and said right of way line, whose radius is 270.00 feet and whose chord bears North 11°38'18" East, 179.80 feet;
Thence North 07°48'36" West along said right of way line, 543.63 feet to a point of curvature;
Thence northwesterly 241.78 feet along the arc of said curve to the left and said right of way line, whose radius is 270.00 feet and whose chord bears North 33°27'51" West, 233.79 feet;
Thence North 59°07'06" West along said right of way line, 82.77 feet;
Thence North 14°02'32" West, 27.27 feet to the south right of way line of Chicory Street;
Thence North 30°52'54" East along said south right of way line, 29.00 feet to a point of curvature;
Thence northeasterly 114.43 feet along the arc of said curve to the right and said right of way line, whose radius is 190.00 feet and whose chord bears North 48°08'09" East, 112.71 feet;
Thence North 65°23'24" East along said right of way line, 245.97 feet to a point of curvature;
Thence northeasterly 181.45 feet along the arc of said curve to the left and said right of way line, whose radius is 535.00 feet and whose chord bears North 55°40'26" East, 180.58 feet;
Thence North 45°57'27" East along said right of way line, 53.22 feet to the west line of Outlot 3 in said Ryan Meadows;
Thence South 44°24'10" East along said west line, 200.97 feet;
Thence South 00°34'43" East along said west line, 365.13 feet;
Thence South 89°25'17" West along said west line, 116.04 feet;
Thence South 01°10'06" East along said west line, 1155.10 feet to the south line of the Northeast 1/4 of said Section 30 and a south line of Ryan Meadows;
Thence North 89°42'41" West along said south line, 35.01 feet to the southwest corner of said Northeast 1/4;
Thence South 00°34'05" East along the east line of the Southwest 1/4 of said Section 30 and an east line of said Ryan Meadows, 667.46 feet to a south line of said Ryan Meadows;
Thence North 89°47'21" West along said south line, 662.96 feet to a west line of said Ryan Meadows;
Thence North 00°34'08" West along said west line, 570.47 feet to the Point of beginning.

Dedicating that portion of subject property as graphically shown for public road right of way purposes.

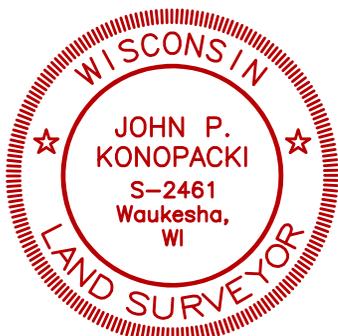
Containing 1,047,796 square feet (24.0541 acres) of land Gross and 1,039,220 square feet (23.8572 acres) of land Net, more or less.

That I have made such survey, land division and map by the direction of MILLS HOTEL WYOMING, LLC, LOOMIS COTTAGE VENTURES, LLC and STRAUSS INVESTMENTS, LLC, owners of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the City of Franklin Land Division Ordinance and the Unified Development Ordinance Division - 15 of the City of Franklin in surveying the certified survey map.

Date: **REVISED**
APRIL 23, 2020
MARCH 16, 2020




John P. Konopacki
Professional Land Surveyor S-2461

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#809.20

SHEET 9 OF 11

CERTIFIED SURVEY MAP NO. _____

Being all of Lot 84 in Ryan Meadows, located in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

OWNER'S CERTIFICATE OF DEDICATION

MILLS HOTEL WYOMING, LLC, Limited Liability Companies duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owners, do hereby certify that said limited liability companies caused the land described on this certified survey map to be surveyed, divided, dedicated and mapped as represented on this certified survey map.

MILLS HOTEL WYOMING, LLC, also certifies that this plat is required by s.236.10 or s.236.12 of the Wisconsin State Statutes and the Unified Development Ordinance Division-15 of the City of Franklin to be submitted to the following for approval or objection:

1. City of Franklin

IN WITNESS WHEREOF, the said **MILLS HOTEL WYOMING, LLC**, has caused these presents to be signed by Stephen C. Mills, Member, and Martha L. Mills, Member, at (city) _____, _____ County, Wisconsin, on this _____ day of _____, 2020.

In the presence of: **MILLS HOTEL WYOMING, LLC**
By: Mills Enterprises, LLC, it Manager

Stephen C. Mills, Member

Martha L. Mills, Member

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2020, Stephen C. Mills, Member, and Martha L. Mills, Member, of the above named **MILLS HOTEL WYOMING, LLC**, to me known to be the persons who executed the foregoing instrument, and to me known to be such members of said limited liability company and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability company, by its authority.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the City of Franklin on this _____ day of _____, 2020.

Date

Stephen R. Olson, Chairman

Date

Secretary

COMMON COUNCIL APPROVAL

Approved and the dedication accepted by the Common Council of the City of Franklin, Wisconsin, on this _____ day of _____, 2020.

Date

Stephen R. Olson, Mayor

Date

Sandra L. Wesolowski, City Clerk



REVISED
APRIL 23, 2020
MARCH 16, 2020

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SHEET 10 OF 11

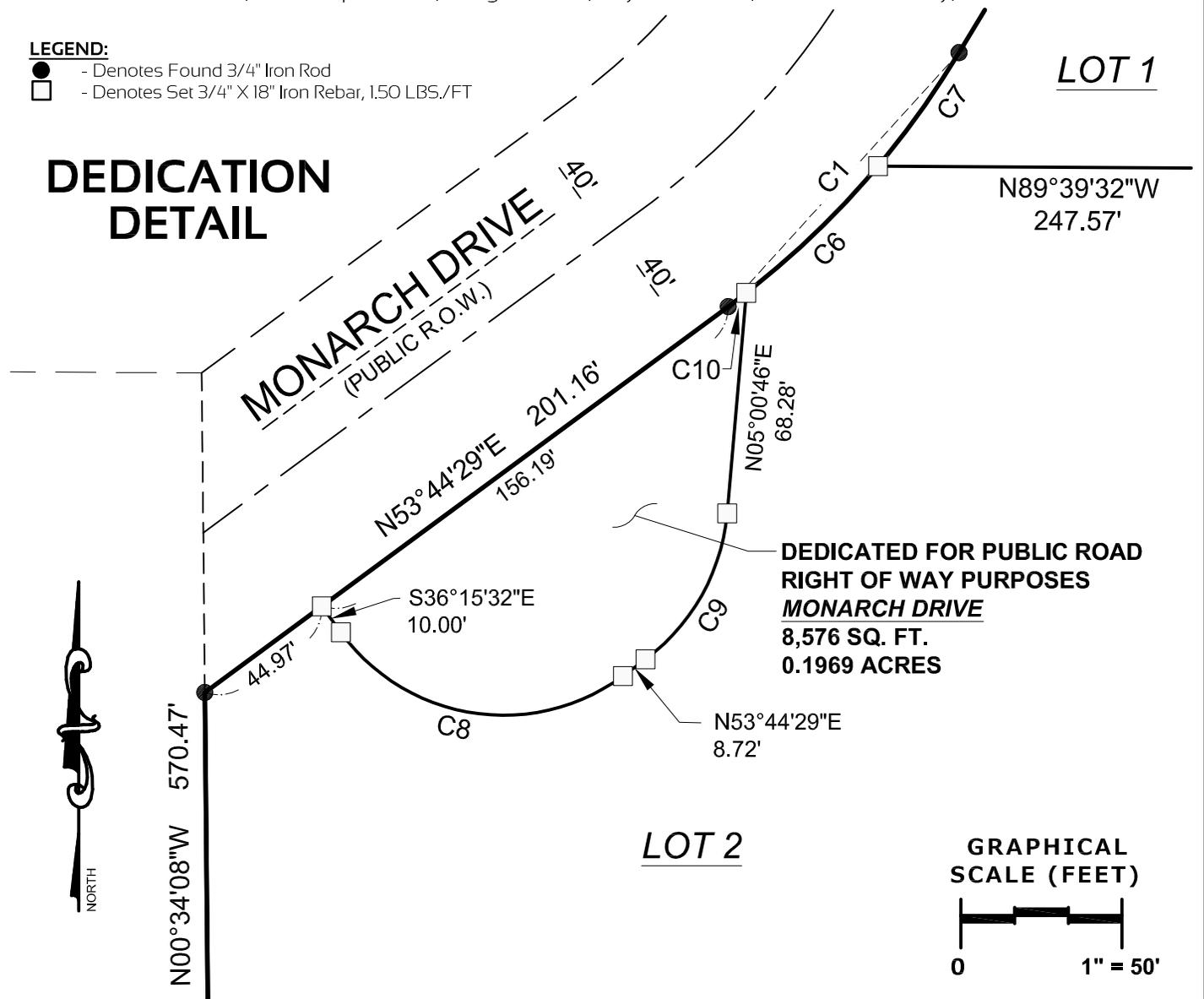
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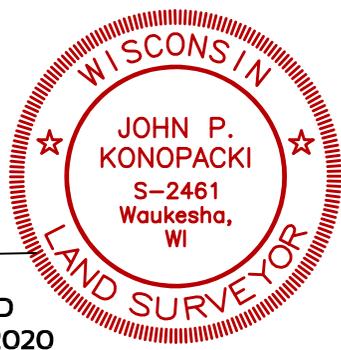
- - Denotes Found 3/4" Iron Rod
- - Denotes Set 3/4" X 18" Iron Rebar, 1,50 LBS./FT

DEDICATION DETAIL



BOUNDARY CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT	TANGENT
C1	106.76'	270.00'	022°39'16"	N42°24'51"E	106.06'	N53°44'29"E	N31°05'13"E
C6	56.55'	270.00'	012°00'00"	N46°14'44"E	56.45'	N52°14'44"E	N40°14'44"E
C7	43.16'	270.00'	009°09'31"	N35°39'59"E	43.11'	N40°14'44"E	N31°05'13"E
C8	98.17'	62.50'	089°59'59"	S81°15'32"E	88.39'	S36°15'32"E	N53°44'29"E
C9	53.15'	62.50'	048°43'42"	N29°22'38"E	51.57'	N53°44'29"E	N05°00'46"E
C10	7.05'	270.00'	001°29'44"	N52°59'37"E	7.05'	N53°44'29"E	N52°14'44"E



REVISED
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PEG JOB#809.20
SHEET 11 OF 11