

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, MARCH 5, 2020, 7:00 P.M.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of February 20, 2020.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **UNIVERSITY OF WISCONSIN CREDIT UNION BUILDING CONSTRUCTION.** Special Use and Site Plan Amendment applications by University of Wisconsin Credit Union, d/b/a UW Credit Union, to allow for construction of a 5,329 square foot one-story credit union building with an attached drive-through canopy and associated parking, landscaping, lighting and storm water management facilities [all existing improvements will be razed, including the existing gas station canopy and pumps, convenience store and car wash], with current proposed hours of operation [subject to change] for the branch lobby from 9:00 a.m. to 5:30 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays; drive-through hours of operation from 7:30 a.m. to 6:00 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays, upon property located at 6611 South 27th Street, zoned Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club); Tax Key No. 714-0001-001. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE SPECIAL USE APPLICATION OF THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS) INDOOR SPORTS COMPLEX BUILDING AND SITE REVISIONS (BUILDING S3/C2).** Site Plan Amendment application (the subject building/Site Plan had been previously approved by Plan Commission Resolution 2018-007 on June 21, 2018, and amended by Resolution 2019-016 on September 19, 2019-construction has not commenced to date) by River Rock Performance Properties, LLC, applicant and BPC County Land, LLC, property owner, for (including but not limited to): removal of the office, retail, lobby and vestibule areas from the northeast corner of the first floor of the building [resulting in a reduced building footprint

Franklin Plan Commission Agenda

3/5/20

Page 2

and reduced display window area along the north and east elevations]; replacing the northeast customer entrance with egress doors, detaching the refuse and service area from the first floor of the building; removal of all batting cages from the first and second floor; raising the first level parapet on the south elevation (to compensate for the removal of the batting cages from the second floor), property zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), located at 7085 and 7095 South Ballpark Drive; Tax Key No. 744-1005-000.

E. Adjournment

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: March 19, 2020

**City of Franklin
Plan Commission Meeting
February 20, 2020
Minutes**

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the February 20, 2020 regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patricia Hogan, Patrick Leon and Adam Burckhardt, Alderman Mark Dandrea and City Engineer Glen Morrow. Excused was Commissioner Kevin Haley. Also present were Associate Planner Régulo Martínez-Montilva and City Attorney Jesse Wesolowski.

B. Approval of Minutes

1. Regular Meeting of February 6, 2020.

Alderman Dandrea moved and Commissioner Leon seconded approval of the February 6, 2020 minutes of the regular meeting of the Plan Commission. On voice vote, all voted 'aye'. Motion carried (5-0-1).

C. Public Hearing Business Matters

**1. KEVIN M. SPIEGL AND
SONDRA J. SPIEGL HOME
REMODELING AND ADDITIONS.**

Special Use application by Kevin M. Spiegl and Sondra J. Spiegl, to allow for a One-family residential dwelling in an R-8 Multiple-Family Residence District [the Special Use application is for the purpose of constructing substantial improvements to an existing One-family dwelling, which dwelling on the property was constructed and existed before the adoption of the Unified Development Ordinance; pursuant to Unified Development Ordinance Table 15-3.0602 "Permitted and Special Uses in the Residential Zoning Districts", a Special Use is required for One-family dwellings in the R-8 Multiple-Family Residence District], and for improvements to the existing Spiegl dwelling, consisting of: first floor interior remodeling; a second floor addition and a first floor two car garage addition, and ancillary exterior work including, but not limited to regrading,

Associate Planner Régulo Martínez-Montilva presented the request by Kevin M. Spiegl and Sondra J. Spiegl, to allow for a One-family residential dwelling in an R-8 Multiple-Family Residence District [the Special Use application is for the purpose of constructing substantial improvements to an existing One-family dwelling, which dwelling on the property was constructed and existed before the adoption of the Unified Development Ordinance; pursuant to Unified Development Ordinance Table 15-3.0602 "Permitted and Special Uses in the Residential Zoning Districts", a Special Use is required for One-family dwellings in the R-8 Multiple-Family Residence District], and for improvements to the existing Spiegl dwelling, consisting of: first floor interior remodeling; a second floor addition and a first floor two car garage addition, and ancillary exterior work including, but not limited to regrading, and the installation of a concrete apron for the garage, property located at 9323 West Puetz Road, zoned R-8 Multiple-Family Residence District; Tax Key No. 847-9980-000.

The Official Notice of Public hearing was read in to the record by Associate Planner Régulo Martínez-Montilva and the Public Hearing was opened at 7:06 p.m. and closed at 7:08 p.m.

and the installation of a concrete apron for the garage, property located at 9323 West Puetz Road, zoned R-8 Multiple-Family Residence District; Tax Key No. 847-9980-000.

Commissioner Leon moved and Alderman Dandrea seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a one-family residential dwelling use upon property located at 9323 West Puetz Road, to remove condition No. 4 and to add the following condition: Pursuant to the Unified Development Ordinance §15-10.0302., whereas this proposal requires zoning approval, this Special Use bypasses the Architectural Review Board. The architectural elevations date-stamped February 10, 2020, are hereby approved by the Plan Commission. On voice vote, all voted 'aye'. Motion carried (5-0-1).

D. Business Matters

1. **5100 LLC LAND DIVISION.**

Certified Survey Map application by Anup K. Khullar, 5100 LLC, to divide the existing property into two separate lots (Lot 1: 2.49 acres, currently used as “Andy’s” gas station; Lot 2: 1.29 acres, currently vacant, proposed for future development) [on June 18, 2019, the Common Council adopted Resolution 2019-7512 imposing conditions for the approval of a 125-foot telecommunication monopole tower in the northwest corner of proposed Lot 2], property zoned B-3 Community Business District, located at 5112 West Ryan Road; Tax Key No. 882-9999-002.

Associate Planner Régulo Martínez-Montilva presented the request by Anup K. Khullar, 5100 LLC, to divide the existing property into two separate lots (Lot 1: 2.49 acres, currently used as “Andy’s” gas station; Lot 2: 1.29 acres, currently vacant, proposed for future development) [on June 18, 2019, the Common Council adopted Resolution 2019-7512 imposing conditions for the approval of a 125-foot telecommunication monopole tower in the northwest corner of proposed Lot 2], property zoned B-3 Community Business District, located at 5112 West Ryan Road; Tax Key No. 882-9999-002.

Commissioner Hogan moved and Commissioner Leon seconded a motion to table this land division request, subject to signature by the applicant of a time extension for an additional 30 days. On voice vote, all voted 'aye'. Motion carried (5-0-1).

2. **JHB PROPERTIES, LLC LAND DIVISION.**

Certified Survey Map application by JHB Properties, LLC, to divide an existing 80 acre property into three lots and one outlot which will contain a storm water detention pond, located at 3617 West Elm Road (immediately north of the proposed lift station for Planned Development District No. 39), property zoned Planned Development District No. 39 (Mixed Use Business Park); Tax Key No. 979-9997-000 [the Certified Survey Map will dedicate right-of-way (ROW) for three public roads: ROW for Hickory Street, 120 feet; Aspen Way

Associate Planner Régulo Martínez-Montilva presented the request by JHB Properties, LLC, to divide an existing 80 acre property into three lots and one outlot which will contain a storm water detention pond, located at 3617 West Elm Road (immediately north of the proposed lift station for Planned Development District No. 39), property zoned Planned Development District No. 39 (Mixed Use Business Park); Tax Key No. 979-9997-000 [the Certified Survey Map will dedicate right-of-way (ROW) for three public roads: ROW for Hickory Street, 120 feet; Aspen Way and Birch Street, 80 feet wide, and will include utilities and a pedestrian path].

Alderman Dandrea moved and Commissioner Burckhardt seconded a motion to recommend approval of a Resolution conditionally approving a 3 lot and 1 outlot certified survey map, being parcel 1 of Certified Survey

and Birch Street, 80 feet wide, and will include utilities and a pedestrian path].

Map No. 5285, as recorded in the Register of Deeds Office for Milwaukee County as document No. 6286497, being a part of the northeast 1/4 and northwest 1/4 of the southwest 1/4 of Section 36, Township 5 north, Range 21 east, in the City of Franklin, Milwaukee County, Wisconsin (3617 West Elm Road).

City Engineer Morrow moved and Commissioner Leon seconded to amend the motion by adding the following condition: The applicant shall provide a commitment that if a driveway is not created in nine (9) months they will install a hammer head (temporary t). On voice vote, all voted 'aye'. Motion amended (5-0-1).

On voice vote, all voted 'aye'. Motion carried (5-0-1).

E. Adjournment

Commissioner Hogan moved and Commissioner Leon seconded a motion to adjourn the Plan Commission meeting of February 20, 2020 at 7:43 p.m. On voice vote, all voted 'aye'; motion carried. (5-0-1).



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of March 5, 2020

Special Use and Site Plan

RECOMMENDATION: City Development staff recommends approval of the Special Use and approval of the Site Plan Amendment, subject to the conditions of approval in attached draft Resolutions

Project Name:	UW Credit Union Special Use and Site Plan Amendment
Project Address/Tax Key:	6611 South 27 th Street/714 0001 001
Property Owner:	Franklin Property & Fuel Services Holding LLC
Applicant:	UW Credit Union
Current Zoning:	Planned Development District No. 13
2025 Comprehensive Plan:	Commercial
Use of Surrounding Properties:	PDD 13 (Walmart and Sam's Club) to the South and West; PDD 14 to the North, and business and residential uses in the City of Oak Creek to the East.
Action Requested:	Recommendation of approval of the Special Use and approval of the Site Plan

Project Description and Analysis

- Staff recommendations are underlined, in italics and included in the draft resolution(s).
- Staff suggestions are only underlined and are not included in the draft resolution(s).

The applicant, University of Wisconsin Credit Union, filed an application for a Special Use and Site Plan Amendment to redevelop the property located at 6611 S. 27th Street. UW Credit Union is proposing a 5,320 square foot building with drive-through service area. The property is zoned PDD No. 13, which allows B-3 Community Business District uses. The subject property is approximately 1.54-acres (67,141 square feet) and was previously occupied by a gas station, car wash, and convenience store.

Special Use

UW Credit Union is a state-chartered, federally insured financial institution and classified as SIC Code No. 6062 Credit Unions, Not Federally Chartered. Credit Unions are allowed in B-3 zoning in the B-3 District (as amended by Ordinance No. 2017-2303). However, a drive-through requires a Special Use approval.

Special Uses in PDD 13 require a Major PDD Amendment Application, per the standards of ORD 1989-1071. PDD 13 has been amended to allow special uses in other cases (see ORD 94-1313, ORD 2013-2123, and ORD 2016-2223), including restaurants with drive-thorughs. Staff recommends that the applicant obtain approval of a Major PDD Amendment allowing Credit

Unions (SIC 6062) with Drive Thorough as a Special Use in PDD 13, prior to the issuance of building permits. The applicant has submitted the relevant application, which is under review by the Planning Department.

Site Plan

The applicant proposes to raze existing structures and redevelop the site with a 5,320 square foot UW Credit Union building with a drive-through service area with canopy. The site plan includes parking, landscaping, lighting, and storm water management facilities. The plan also proposes a sidewalk extension along Sycamore Street. Staff suggests that the sidewalk along W. Sycamore Street be extended beyond the property to the west to connect to the access drive to the Planet Fitness and Dunham's development.

The site will be accessed via two driveways and cross access to the property to the north. The site plan shifts the existing West Sycamore Street drive further west. It is suggested that a cross-access easement agreement be provided and recorded with the Milwaukee County Register of Deeds. The existing driveway opening to South 27th Street appears to exceed 30feet, the maximum allowed by Section 15-5.0207 of the UDO. This Section also states that the Plan Commission may allow wider ingress/egress at the right-of-way line.

Staff would note the proposed site plan has about 29,375 square feet of greenspace and 37,766 square feet of impervious surface or a greenspace ratio of about 44%. This is an increase of 4,717 square feet of impervious surface compared to existing conditions. PDD No. 13 does not have a set landscape surface ratio requirement. For comparison, the current B-3 District requires a minimum Landscape Surface Ratio of 40%. Proposed landscaping is high-quality and exceeds the number of required plants.

Stormwater management facilities are proposed on the west side of the property. Staff recommends that a final storm water management plan shall be approved by the Engineering Department prior to any land disturbing activities.

PDD No. 13 requires that signs comply with the City's Sign Code. The applicant has provided sign information for reference only. It is recommended that all proposed signage shall comply with the requirements of Chapter 210 of the City's Municipal Code and must receive a Sign Permit from the Inspection Department prior to installation.

The building primarily consists of windows and brick with masonry and a composite veneer panel as accent materials, and features a two-story entrance. The property has a deed restriction on building heights; the applicant has obtained a waiver of this deed restriction from Walmart.

South 27th Street Design Overlay District – Requested Waivers

Per Section 15-3.0351A.5. of the Unified Development Ordinance (below), the Plan Commission may approve waivers to certain design standards.

Authorize the Plan Commission to waive any of the South 27th Street Design Overlay District Standards by 5 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project (over

and above those which are otherwise required) which compensate for the waiver of the particular standard, or, in the case of parking provisions, where it can be demonstrated that the required parking is excessive or where specified areas are provided for the future provision of additional parking if necessary. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested.

The applicant is requesting two waivers.

1. 15-3.0352A. Parking required and Location Regulated.

The Site Plan contains more than 50% of off-street parking spaces between the building and S. 27th Street.

The applicant notes that: “Due to the site configuration, required cross access drives and curb cut locations, parking is provided both north and east of the proposed building. This is further warranted by the orientation of the drive-up lanes, which are located on the side of the building away from South 27th Street.”

2. 15-3.0355B.8.d. Pedestrian Accessibility.

A corner entrance is required for corner properties, unless waived by Plan Commission.

The applicant notes that: “Due to the site & parking configuration as well internal building circulation, the building entrance is located on the primary façade facing South 27th Street.”

Staff recommends that the applicant request and obtain these waivers as a condition of approval of the site plan.

Recommendation

It is recommended that the Plan Commission recommend approval of the Special Use for UW Credit Union and approve the Site Plan Amendment with the requested waivers, contingent upon approval of the Special Use, and subject to the conditions in the attached draft resolution.

RESOLUTION NO. 2020-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR A CREDIT UNION USE
UPON PROPERTY LOCATED AT 6611 SOUTH 27TH STREET
(UNIVERSITY OF WISCONSIN CREDIT UNION,
D/B/A UW CREDIT UNION, APPLICANT)

WHEREAS, University of Wisconsin Credit Union, d/b/a UW Credit Union having petitioned the City of Franklin for the approval of a Special Use within Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club) under Standard Industrial Classification Title No. 6062 "Credit Unions, Not Federally Chartered", to allow for construction of a 5,329 square foot one-story credit union building with an attached drive-through canopy and associated parking, landscaping, lighting and storm water management facilities [all existing improvements will be razed, including the existing gas station canopy and pumps, convenience store and car wash], with current proposed hours of operation [subject to change] for the branch lobby from 9:00 a.m. to 5:30 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays; drive-through hours of operation from 7:30 a.m. to 6:00 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays, upon property located at 6611 South 27th Street, bearing Tax Key No. 714-0001-001, more particularly described as follows:

Lot 1 of the Wal-Mart Subdivision, being a Subdivision of a part of the Southeast 1/4 and Southwest 1/4 of the Northeast 1/4, and a part of the Northeast 1/4 and the Northwest 1/4 of the Southeast 1/4 of Section 1, in Township 5 North, Range 21 East, in the City of Franklin, as recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on September 10, 1990, in Reel 2488, Images 570 and 571, as Document No. 6415241. EXCEPTING THEREFROM those lands conveyed to State of Wisconsin, Department of Transportation, in Award of Damages recorded on March 3, 2014, as Document No. 10339862; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 5th day of March, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION –
SPECIAL USE
RESOLUTION NO. 2020-_____
Page 2

Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of University of Wisconsin Credit Union, d/b/a UW Credit Union, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by University of Wisconsin Credit Union, d/b/a UW Credit Union, successors and assigns, as a credit union use, which shall be developed in substantial compliance with, and operated and maintained by University of Wisconsin Credit Union, d/b/a UW Credit Union, pursuant to those plans City file-stamped February 13, 2020 and annexed hereto and incorporated herein as Exhibit A.
2. University of Wisconsin Credit Union, d/b/a UW Credit Union, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the University of Wisconsin Credit Union, d/b/a UW Credit Union facility, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon University of Wisconsin Credit Union, d/b/a UW Credit Union, and the credit union use for the property located at 6611 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION –
SPECIAL USE
RESOLUTION NO. 2020-_____

Page 3

4. The applicant must obtain approval of a Major PDD Amendment allowing Credit Unions (SIC 6062) with Drive Through as a Special Use in PDD 13, prior to the issuance of building permits.

BE IT FURTHER RESOLVED, that in the event University of Wisconsin Credit Union, d/b/a UW Credit Union, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION –
SPECIAL USE
RESOLUTION NO. 2020-_____
Page 4

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

YES _____ NOES _____ ABSENT _____

STATE OF WISCONSIN

CITY OF FRANKLIN
PLAN COMMISSION

MILWAUKEE COUNTY

[Draft 2-25-20]
[Redraft 2-26-20]

RESOLUTION NO. 2020-_____

A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTY
LOCATED AT 6611 SOUTH 27TH STREET TO ALLOW FOR CONSTRUCTION
OF A CREDIT UNION BUILDING WITH ATTACHED DRIVE-THROUGH
(TAX KEY NO. 714-0001-001)
(UNIVERSITY OF WISCONSIN CREDIT UNION,
D/B/A UW CREDIT UNION, APPLICANT, FRANKLIN
PROPERTY & FUEL SERVICES HOLDINGS LLC, PROPERTY OWNER)

WHEREAS, University of Wisconsin Credit Union, d/b/a UW Credit Union having applied for an amendment to the Site Plan for the property located at 6611 South 27th Street, such Site Plan having been previously approved as part of a Zoning Permit approval dated May 24, 1990, and amended thereafter by Resolution No. 2018-015, on August 9, 2018; and

WHEREAS, such proposed amendment proposes construction of a 5,329 square foot one-story credit union building with an attached drive-through canopy and associated parking, landscaping, lighting and storm water management facilities [all existing improvements will be razed, including the existing gas station canopy and pumps, convenience store and car wash], with current proposed hours of operation [subject to change] for the branch lobby from 9:00 a.m. to 5:30 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays; drive-through hours of operation from 7:30 a.m. to 6:00 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays, and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for University of Wisconsin Credit Union, d/b/a UW Credit Union, applicant, Franklin Property & Fuel Services Holdings LLC, property owner, dated February 13, 2020, as submitted by University of Wisconsin Credit Union, d/b/a UW Credit Union, as described above, be and the same is hereby approved, subject to the following conditions:

1. University of Wisconsin Credit Union, d/b/a UW Credit Union, applicant, Franklin Property & Fuel Services Holdings LLC, property owner, successors and assigns and any developer of the UW Credit Union building with attached drive-through construction project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the UW Credit Union building with

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION - SITE
PLAN AMENDMENT
RESOLUTION NO. 2020-_____

Page 2

attached drive-through construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

2. The approval granted hereunder is conditional upon the UW Credit Union building with attached drive-through construction project, for the property located at 6611 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The UW Credit Union building with attached drive-through construction project shall be developed in substantial compliance with the plans City file-stamped February 13, 2020.
4. The applicant must obtain approval of a Major PDD Amendment allowing Credit Unions (SIC 6062) with Drive Through as a Special Use in PDD 13, prior to the issuance of building permits.
5. The applicant must request and obtain a waiver from Plan Commission of the South 27th Street Design Overlay District requirement that 50 percent of parking be located behind the building (§15-3.0352A.) prior to the issuance of any building permit.
6. The applicant must request and obtain a waiver from Plan Commission of the South 27th Street Design Overlay District requirements for a corner entrance (§15-3.0355B.8.d.) prior to the issuance of any building permit.
7. All landscaping shall be completed prior to issuance of Occupancy Permits.
8. Final storm water management plan shall be approved by the Engineering Department prior to any land disturbing activities.
9. All proposed signage shall comply with the requirements of Chapter 210 of the City's Municipal Code and must receive a Sign Permit from the Inspection Department prior to installation.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the UW Credit Union building with attached drive-through construction as depicted upon the plans City file-stamped February 13, 2020, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION - SITE
PLAN AMENDMENT
RESOLUTION NO. 2020-_____

Page 3

shall be null and void, without any further action by the City of Franklin; and the Site Plan for the property located at 6611 South 27th Street, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

APPROVED:

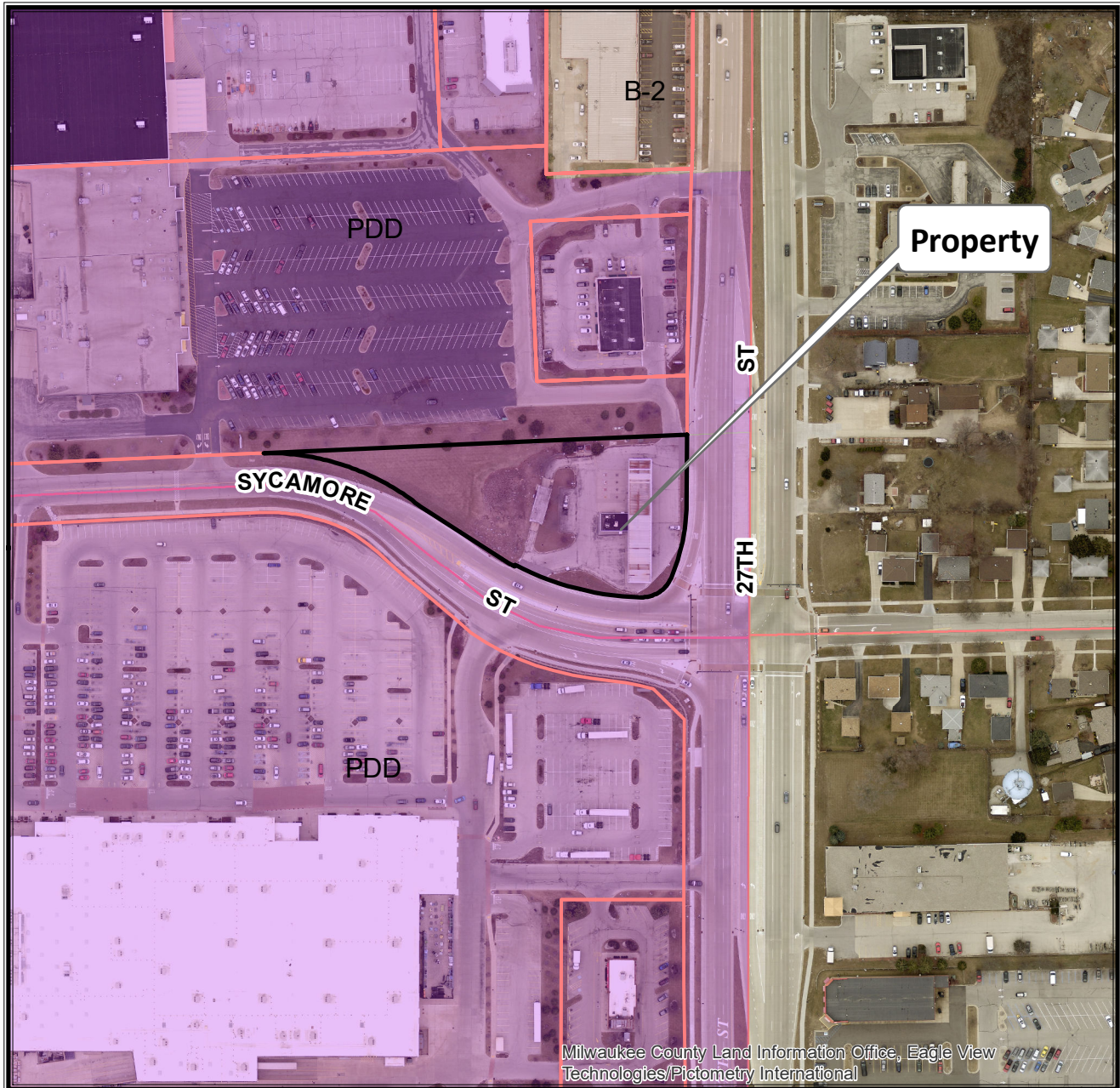
Stephen R. Olson, Chairman

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

6611 S. 27th Street
TKN: 714 0001 001



Planning Department
(414) 425-4024

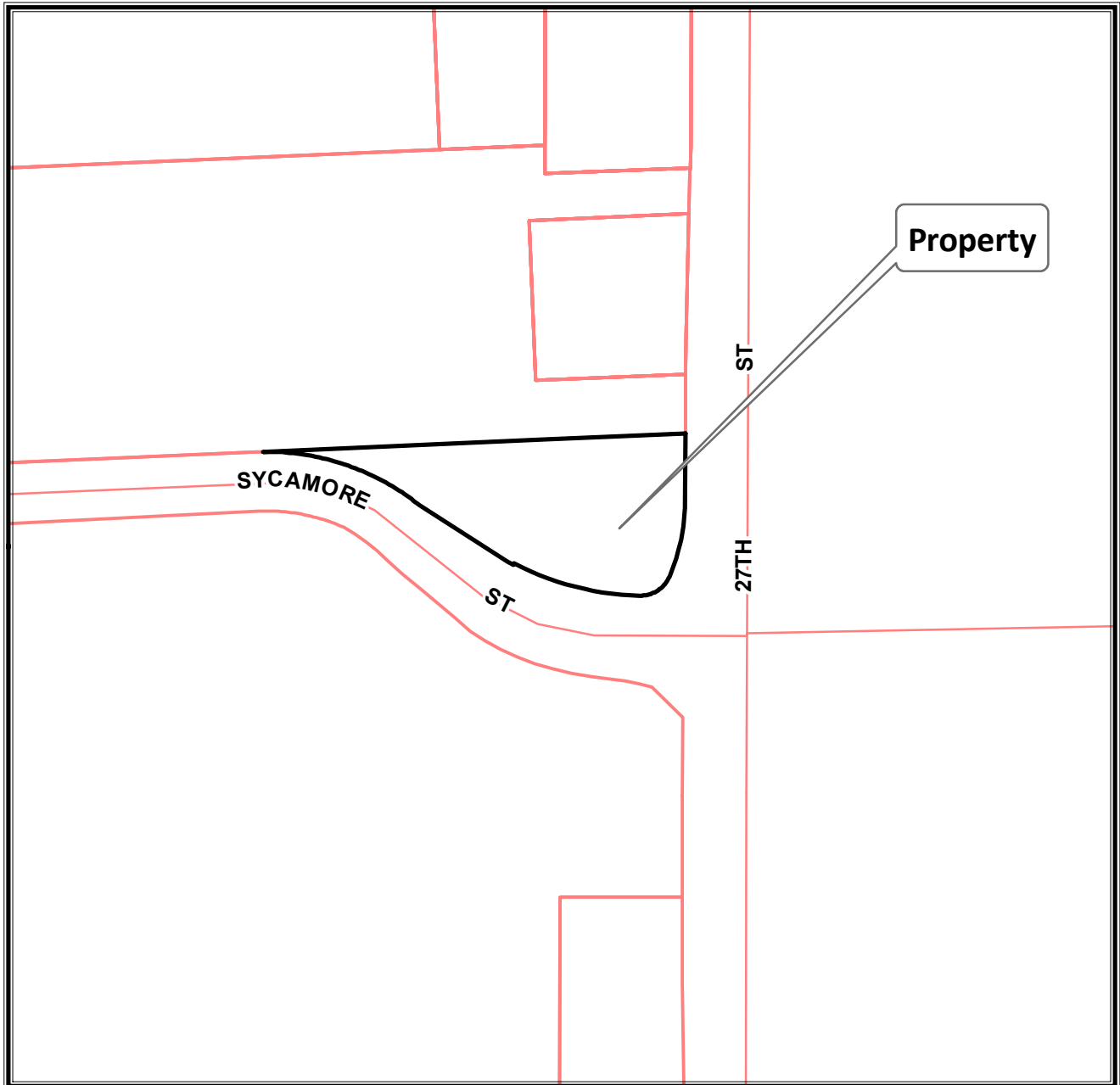
0 130 260 520 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.


NORTH
2017 Aerial Photo



6611 S. 27th Street
TKN: 714 0001 001



Planning Department
(414) 425-4024

0 130 260 520 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





KEE Architecture, Inc.
621 Williamson Street
Madison, Wisconsin 53703
(608)255-9202

WRITTEN PROJECT DESCRIPTION

November 11, 2019

To: City of Franklin
Planning Department
9229 West Loomis Road
Franklin, Wisconsin 53132

RE: **Special Use Application**
UW Credit Union – Franklin Branch
6611 South 27th Street
Franklin, Wisconsin

Dear Planning Department:

We are submitting the attached Special Use application for approval on behalf of UW Credit Union, the Applicant under contract to purchase the property located at 6611 South 27th Street in the city of Franklin.

PROPOSED USE:

UW Credit Union proposes to redevelop the parcel for use as a full-service financial branch office facility. The development will feature a one-story building of approximately 5,000 gross square feet (plus exterior roofs and canopies). The branch will serve existing and new Credit Union members with consumer banking products including consumer loans, deposits and investment services. Drive-up service will also be provided.

Staffing for the branch will include 6-10 full-time employees.

Typical operating hours will be as follows:

Branch Lobby: Monday through Friday – 9:00 AM – 5:30 PM
Saturday – 9:00 AM – 1:00 PM

Drive-Up: Monday through Friday – 7:30 AM – 6:00 PM
Saturday – 9:00 AM – 1:00 PM

ESTIMATE OF PROJECT VALUE:

The proposed UW Credit Union facility will have a value of approximately \$6.5 million, including land, building construction, fixtures and furniture.

Site improvement costs are estimated at ±\$ 900,000.

City of Franklin Planning Department
RE: Special Use Application
6611 South 27th Street
Franklin, Wisconsin
November 11, 2019

ZONING:

The property is currently zoned as a Planned Development District (PDD) No. 13, with B-3 Community Business District as the underlying zoning.

Credit Union with drive through facilities are considered a Special Use in the B-3 District.

See responses to *Special Use Standards and Regulations*, attached.

SITE PLAN & UTILITIES:

The proposed site plan (Drawing C100) has been developed to provide primary vehicular access to/from the site from West Sycamore Street, as well as shared access with the adjacent commercial properties to the north and 27th Street. Pedestrian access to the building entrance is provided from the parking areas as well as from the public sidewalk along West Sycamore and 27th Streets.

Bicycle parking is located near the building entry.

The proposed landscape plan and enlargement (Drawings L101 and L102) includes elements that have been provided in accordance with city of Franklin standards, including Division 15-5.0300 Required Landscaping and Division 15-3.0351 South 27th Street Design Overlay District. See *Landscape Worksheet* on Sheet L101, which proves compliance with Table 15-5.0302.

Site utilities - including water, sanitary sewer, power, natural gas - are located in West Sycamore and South 27th Streets as well along the north property line. All utilities (existing and proposed) are identified on the site survey and on the utility plan (Drawing C200).

STORMWATER MANAGEMENT:

A wet detention basin will be installed on the site to meet the applicable stormwater management requirements. The project site limits the increase in new impervious area added to the site by less than 5,000 square feet, exempting it from the MMSD stormwater rules for runoff rate control (MMSD Ordinance 13.301(2)(c)(1.)). However, this does not exempt the site from the remaining applicable City of Franklin requirements. These include redevelopment performance standards for water quality; 40% TSS reduction (Franklin Ordinance 15-8.0607(3)(a)(2.)) and peak runoff; match the site runoff rate as it exists today for the 1-, 2-, 10- and 100-year 24-hour storm events (Franklin Ordinance 15-80607(3)(b)(1.)). As a redevelopment site, the site is exempt from infiltration requirements.

Specifically, the majority of the development site will be captured within a storm sewer system designed to convey the 100-year storm and discharged into a wet detention basin located on the west side of the site. A multi-stage outlet will be constructed to limit the runoff leaving the basin to provide the required runoff rate control and water quality needed to meet the ordinance. An overflow weir will be installed at the top of the basin to provide safe downstream conveyance as needed into the right-of-way of West Sycamore Street. The discharge for the basin will be a 12" pipe connecting into the existing public curb inlet within West Sycamore Street.

City of Franklin Planning Department
RE: Special Use Application
6611 South 27th Street
Franklin, Wisconsin
November 11, 2019

PROJECT TEAM:

The team for this project includes the following:

Applicant:

UW Credit Union
3500 University Avenue
Madison, Wisconsin 53705
Attn: Brad McClain, CFO
(608)236-9000

Property Owner:

Franklin Property & Fuel Services Holding LLC
231 East 105th Street
Bloomington, Minnesota 55420
Attn: Khaled Aloul
khalaloul@gmail.com

Architect:

KEE Architecture, Inc.
621 Williamson Street
Madison, Wisconsin 53703
Attn: David Ewanowski AIA
(608)255-9202

Landscape Architect:

Saiki Design
1110 South Park Street
Madison, Wisconsin 53715
Attn: Ken Saiki
(608)251-3600

Mechanical/Electrical Engineer:

IMEG Corporation
1800 Deming Way, Suite 200
Madison, Wisconsin 53562
Attn: Kris Cotharn
(608)221-6713

Site/Civil Engineer:

Wyser Engineering
312 East Main Street
Mount Horeb, WI 53572
Attn: Wade P. Wyse, P.E.
(608) 437-1980

City of Franklin Planning Department
RE: Special Use Application
6611 South 27th Street
Franklin, Wisconsin
November 11, 2019

Surveyor:

raSmith
16745 W. Bluemound Road
Brookfield, Wisconsin 53005-5938
Attn: Michael Ratzburg, Professional Land Surveyor
(262)781-1000

General Contractor:

J.H Findorff & Son
300 South Bedford Street
Madison, Wisconsin 53703
Attn: Aaron Zutz, Project Manager
(608)257-5321

PROJECT SCHEDULE:

It is anticipated that construction for the UW Credit Union project will begin in February 2020, with occupancy in October 2020.

Please review the attached application and other supporting documents, and contact us if you have any questions.

Sincerely,
KEE Architecture, Inc.



David J. Ewanowski AIA

Enclosures:

- Special Use Application – *(one copy with original signatures)*
- Application Filing Fee – *(UWCU Check # 113400, \$1,500.00)*
- Legal Description (1 page) – *(one copy)*
- Response to General Standards and Special Standards (3 pages) – *(one copy)*
- Written Project Summary (4 pages) - *(one original and six copies)*
- Plans – *(three copies at 24" x 36"; four copies at 11" x 17"; collated):*
 - Title Sheet – (Drawing G001)
 - Site Survey
 - Site Plan – (Drawing C100)
 - Site Utility Plan – (Drawing C200)
 - Detail Grading Plan – (Drawing C201)
 - Grading & Erosion Control Plan – (Drawing C300)

City of Franklin Planning Department
RE: Special Use Application
6611 South 27th Street
Franklin, Wisconsin
November 11, 2019

- Site Details – (Drawing C400)
- Existing Landscape Plan (Drawing L100)
- Landscape Plan & Plant Lists (Drawing L101)
- Landscape Enlargement – (Drawing L102)
- Level 1 - Floor Plan – (Drawings A201)
- Building Elevations – (Drawing A301 & A302)
- Electrical Site Plan – (Drawing EC01)
- Site Intensity and Capacity Worksheet (1 page) - (*one copy*)
- Site Light Fixture Cut Sheets (50 pages) - (*one copy*)

Submitted Under Separate Cover:

- PDF with all above documents - submitted to generalplanning@franklinwi.gov

Gail Olsen

From: Jacob C DeHaven <jake@keearch.com>
Sent: Thursday, February 27, 2020 3:56 PM
To: Marion Ecks
Cc: David Ewanowski
Subject: UWCU Franklin - 27th Street Overlay Waiver

Good afternoon Marion,

As discussed yesterday we will formally be applying for two waiver requests from Plan Commission on March 5th, 2020. Below are the specific waivers we are requesting and our reasoning behind the request.

- 15-3.0352A.: More than 50% of parking is located between the building and South 27th Street.
 - Due to the site configuration, required cross access drives and curb cut locations, parking is provided both north and east of the proposed building. This is further warranted by the orientation of the drive-up lanes, which are located on the side of the building away from South 27th Street.
- 15-3.0355B.8.d.: A corner entrance is required unless waived by the Plan Commission
 - Due to the site & parking configuration as well internal building circulation, the building entrance is located on the primary façade facing South 27th Street.

Please let me know if there are any other waiver requests that would apply or if I can get you any more information on the two requests above.

Best,

Jake DeHaven, Assoc. AIA
KEE Architecture, Inc.
621 Williamson Street | Madison, WI 53703
608.255.9202
www.keearch.com

DIVISION 15-3.0700 SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The proposed UW Credit Union branch facility (with drive through) is a commercial use consistent with the City of Franklin Master Plan.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: The proposed UW Credit Union branch facility (with drive through) will have a positive impact on the area, and will increase the value of the property significantly vis-a-vis its current use (abandoned gas station).

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: The proposed UW Credit Union branch facility (with drive through) will be constructed and operated in accordance with applicable PDD and B-3 zoning regulations. It will provide primary vehicular access to/from the site from West Sycamore Street, as well as shared access with the adjacent commercial properties to the north and 27th Street.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: The proposed UW Credit Union branch facility (with drive through) will be served by essential public facilities, including streets, water and sanitary sewer. Other utility connections will be provided as required. Refuse disposal will be the responsibility of the Credit Union.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The proposed UW Credit Union branch facility (with drive through) will provide primary vehicular access to/from the site from West Sycamore Street, as well as shared access with the adjacent commercial properties to the north and to 27th Street. Ingress and egress have been designed to minimize traffic congestion in the public streets.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: Construction of the proposed UW Credit Union branch facility (with drive through) will not result in the loss of any features of significant importance.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: The proposed UW Credit Union branch facility (with drive through) conforms to application regulations of the PDD district and B-3 district including Landscape Surface and Floor Area Ratios, Lot Dimensional Requirements, and Maximum Building Height.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: The proposed UW Credit Union branch facility (with drive through) complies with all applicable standards in Sections 15-3.0702 and 15-3.0703 of the UDO.

C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: The proposed UW Credit Union branch facility (with drive through) will provide convenient services to UWCU members and will be an asset to the community.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: UW Credit Union considered other sites before selecting the property at 6611 South 27th Street in Franklin, which UWCU determined to be the best fit for their members and the community.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: The proposed UW Credit Union branch facility (with drive through) has been designed to be consistent with the immediate context – through building design, side design and landscaping (including screening). It will be a significant improvement to replace the existing abandoned gas station.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: The proposed UW Credit Union branch facility (with drive through) is compatible with the other uses in the surrounding area.



KEE Architecture, Inc.
621 Williamson Street
Madison, Wisconsin 53703
(608)255-9202

**WRITTEN PROJECT DESCRIPTION
(UPDATED FOR REVISED APPLICATIONS)**

February 11, 2020

To: City of Franklin
Planning Department
9229 West Loomis Road
Franklin, Wisconsin 53132

RE: **REVISED Special Use and Site Plan Applications**
UW Credit Union – Franklin Branch
6611 South 27th Street
Franklin, Wisconsin

Dear Planning Department:

On behalf of UW Credit Union, the owner of the property located at 6611 South 27th Street in the city of Franklin, we are submitting the attached revised Special Use and Site Plan application materials for review and approval.

This resubmittal, including attachments, addresses staff comments from the City of Franklin Department of City Development dated February 4, 2020. We understand that this will also serve as the required submittal for city of Franklin Plan Commission review, scheduled for March 5, 2020.

As a point of clarification, since the initial applications were made in November 2019, UW Credit Union completed acquisition of the property from the previous owner, and has recorded the purchase with applicable jurisdictions.

The following items remain unchanged from the original November 2019 application and project summary:

- Proposed Use
- Estimate of Project Value
- Zoning
- Site Plan & Utilities
- Stormwater Management
- Project Team (except Owner, as noted above)
- Project Schedule

City of Franklin Planning Department
RE: Revised Special Use and Site Plan Applications
6611 South 27th Street
Franklin, Wisconsin
February 11, 2020

Please review the attached supporting documents, and contact us if you have any questions.

Sincerely,
KEE Architecture, Inc.



David J. Ewanowski AIA

Enclosures:

- Written Project Description – *(twelve copies)*
- KEE Architecture Responses to City of Franklin Department of City Development Comments – dated February 4, 2020 – *(twelve copies)*
- DNR Letter re: Resources on Property – dated October 4, 2019 – *(twelve copies)*
- Major PDD Amendment Application – *(twelve copies)*
- Walmart Deed Restriction Waiver letter (dated 1/8/2020) – *(twelve copies)*
- Plans – *(twelve copies of each, 24" x 36")*:
 - Title Sheet – (Drawing G001)
 - Site Survey
 - Demolition Plan – (Drawing C100)
 - Site Plan – (Drawing C101)
 - Site Utility Plan – (Drawing C200)
 - Detail Grading Plan – (Drawing C201)
 - Enlarged Drive-Up Plan and Details – (Drawing C202)
 - Grading & Erosion Control Plan – (Drawing C300)
 - Utility Plan – Storm Sewer Profiles – Drawing C301)
 - Site Details – (Drawing C400)
 - Existing Landscape Plan – (Drawing L100)
 - Landscape Plan & Plant Lists – (Drawing L101)
 - Landscape Enlargement – (Drawing L102)
 - Level 1 - Floor Plan – (Drawings A201)
 - Building Elevations – (Drawing A301 & A302)
 - Mechanical Plan – (Drawing M100)
 - Electrical Site Plan – (Drawing EC01)
- Exterior Light Fixture Cut Sheets (Fixtures F22, FS4, FS5, FS9, FS11 & FS12) (8 pages) - *(twelve copies)*

Submitted Under Separate Cover:

- PDF with all above documents - submitted to generalplanning@franklinwi.gov

City of Franklin

Department of City Development

Date: February 4, 2020
To: UW Credit Union
From: Department of City Development
RE: 6611 South 27th Street. – Staff Comments

- KEE Architecture responses (dated 2/11/20) noted below.

Please be advised that City Staff has reviewed the above applications for property located at the proposed UW Credit Union development for property located at 6611 South 27th Street.

Department comments are as follows for the Special Use and Site Plan date-stamped by the City of Franklin on November 12, 2019.

Planned Development District (PDD) No. 13

1. Special Uses in PDD 13 require a Major PDD Amendment Application, per the standards of ORD 1989-1071. PDD 13 has been amended to allow special uses in other cases (see ORD 94-1313, ORD 2013-2123, and ORD 2016-2223). Please apply for a Major PDD amendment to request the particular Special Use be allowed.
 - *A Planned Development District (PDD) Application for a major PDD amendment has been submitted under separate cover. (See copy, attached.)*
2. Please indicate PDD No. 13 setbacks on the Site Plan (see below) per ORD 1989-1071. More restrictive setbacks may be noted as applicable, such as the S. 27th Street front yard setback required by the WisDOT.
 - a. Front Yard: A front yard of not less than 25-feet
 - b. Side Yard: A side yard on each side of the building of not less than ten (10) ft. In the event a side yard adjoins a street, the minimum side yard shall be twenty-five (25) feet.
 - c. Rear Yard: A rear yard of not less than twenty (20) ft.
 - *See applicable PDD-13 setbacks on revised drawing C101.*
3. Please provide cut sheets/catalog pages for all light fixtures.
 - *See cut sheets for all site light fixtures, attached.*
4. Note that no outdoor storage is allowed, except outdoor retail sales areas as may be approved by the Plan Commission.
 - *No outdoor storage is proposed for this project.*

5. Signage must comply with the City of Franklin Chapter 210 - Sign Code and is subject to separate review and approval and issuance of a Sign Permit prior to installation. Please note on the plans that signage is shown as reference only.
 - Site and building plans have been revised to note that signage is shown for reference only.
 - A complete signage package will be submitted separately for review and approval.

Unified Development Ordinance (UDO) Requirements

Site Plan

6. Please show scale on the Site Plan as required by 15-7.0103.A. and 15-7.0103.E.
 - All site plans include drawing scale.
7. Please show the location of all existing and proposed easements in accordance with 15-7.0103.X.
 - The locations of all easements are indicated on the Site Survey and Site Plan C101.
8. It appears a monument sign is shown on the Landscape Plan. Please illustrate this sign on the Site Plan as well and label it accordingly per 15-7.0103I. of the UDO. Further, it is recommended that sign details be provided at this time.
 - Site Plan C101 has been revised to include the proposed monument sign, with a clarifying note that signage is shown for reference only.
 - Site Drawing C202 includes conceptual monument sign details.
 - A complete signage package will be submitted separately for review and approval.
9. Please submit a Natural Resource Protection Plan per Section 15-7.0201 and 15-7.0103.Q of the UDO. If no resources exist onsite, a letter from a qualified professional stating that no resources exist on the property is sufficient.
 - See attached letter from the Wisconsin Department of Natural Resources (dated October 24, 2019) confirming that no wetlands or other natural resources are present on the site.
10. Please illustrate the vision triangle per Section 15-5.0201 of the UDO on the site plan.
 - The vision triangle at South 27th Street and Sycamore is indicated on revised Site Plan C101.

11. Per Section 15-5.0202.C.4, please illustrate the required 10-foot parking setback on the site plan.
 - The required parking setback is indicated as a 10-foot “greenbelt” on Site Plan C101.
12. Please show areas for snow storage on the Landscape Plan in accordance with Section 15-5.0210 of the UDO.
 - Snow storage areas have been delineated on Landscape Plan L101.
13. Please provide irrigation in compliance with Section 15-5.0303D. of the UDO and note the method of irrigation on the Landscape Plan.
 - A full landscape irrigation system complying with the application UDO requirements will be installed. See revised Landscape Plan L101 for irrigation system note.
14. A minimum 2-year planting guaranty is recommended and should be noted on the Landscape Plan (see Section 15-5.0303G.3. of the UDO).
 - A two-year planting guarantee will be specified for this project as noted on revised Landscape Plan L101.

South 27th Street Design Overlay District

15. Compliance with all South 27th Street Overlay Design Standards is Recommended. However, if a standard is not met, please be aware that a waiver must be specifically requested and approved by 5 votes of the Plan Commission. The waiver request may be included within a revised project narrative or a supplemental letter.

Below is a list of standards that require plan changes or a waiver. Note that if an item below is being addressed, please make sure corresponding plans are provided for review (e.g. rooftop mechanical and screening plan).

- a. 15-3.0352A.: More than 50% of parking is located between the building and South 27th Street.
 - Due to the site configuration, required cross access drives and curb cut locations, parking is provided both north and east of the proposed building. This is further warranted by the orientation of the drive-up lanes, which are located on the side of the building away from South 27th Street.
- b. 15-3.0353B.: Are any other site furnishings provided other than the bicycle racks?
 - In addition to bicycle racks, an “outdoor engagement area” south of the proposed building will provide seating, tables and refuse containers. (See area shown on Landscape Plan L102.)

- c. 15-3.0353E.: This section requires pedestrian furnishings in addition to bicycle parking. It is recommended that benches, pedestrian lighting, trash receptacles, or other furnishings be included and shown on the Site Plan.
 - An “outdoor engagement area” south of the proposed building will provide seating, tables and refuse containers. (See area noted on Site Plan C101.)
- d. 15-3.0355B.4.f.: How will rooftop and ground mechanicals, if any, be screened from public view? Please provide a mechanical plan for review.
 - Rooftop mechanical equipment (shown on sheet M100) is fully screened as indicated on building elevations (sheet A301). There is no ground-mounted mechanical equipment.
- e. 15-3.0355B.8.d.: A corner entrance is required unless waived by the Plan Commission
 - Due to the site & parking configuration as well internal building circulation, the building entrance is located on the primary façade facing South 27th Street.

Additional Planning Department Comments

Planned Development District No. 13

1. Note that Engineering Department approval of the final grading, erosion control, and storm water management plans will be required prior to any land disturbing activities.
 - Understood. See site plans for grading, erosion control and stormwater management information.
2. Note that all landscaping shall be completed prior to issuance of an Occupancy Permit.
 - Understood. All landscaping will be completed prior to occupancy.
3. Please revise the zoning note on the Site Plan to Planned Development District No. 13.
 - Site Plan C101 has been revised to include reference to PDD No. 13.

Site Plan

4. What is the peak height of light poles, including the base and fixture (i.e. measured from grade)?
 - Site light fixtures (Type FS-4 and FS-5) are 20 feet tall, mounted on a 2’-6” concrete base. Total height = 22’ – 6” above grade.

5. Please correct the number of parking spaces in table 15-50302 on the overall landscape plan (sheet L101).
 - Correct number of parking stalls (26) is indicated on the revised Landscape Plan L101.
6. One of the 'TA' planting labels is missing on the Landscape Plan.
 - Labels have been corrected on the revised Landscape Plan L101.
7. It is suggested that the sidewalk along W. Sycamore Street be extended beyond the property to the west to connect to the access drive to the Planet Fitness and Dunham's development.
 - UW Credit Union will consider extending the public sidewalk west of their property as suggested by the city of Franklin.

Other

8. Please provide a copy of information regarding deed restrictions applicable to the site for City records.
 - Walmart has deed restrictions in place affecting the UW Credit Union property, which they have agreed to waive, per the attached letter from Walmart Realty dated 1/8/2020.
 - UWCU is aware of no other deed restrictions applicable to the site.
9. Please be aware of City impact fees. The impact fee schedule can be found on the City's website at https://www.franklinwi.gov/Files/Inspection/Impact_Fee_Handout_2020.pdf
 - Impact fees will be submitted as applicable.

Engineering Department Comments

No comments regarding the application. Once approved by the Plan Commission and Common Council, we will go- ahead and review the Engineering aspects of it. Engineering may need additional information to complete our review.

- Understood. Please advise any additional information required for a complete review.

Fire Department Comments

The fire department has no concerns with the Special Use and proposed Site plan. The applicant should confirm sprinkler/alarm system requirements with WI DSPS. As proposed, the building may be exceeding the threshold that would trigger requirement of those fire protection systems (believe it is 5,000 square feet).

- Per applicable provisions of the *Wisconsin Commercial Building Code* and *International Building Code* (Table 506.2), since the proposed UW Credit Union facility (a Business occupancy) is of Type 5B construction and is less than 9,000 gross square feet, a sprinkler system is not required.
- Per Section 907.2.2 of the *International Fire Code*, a manual fire alarm system is not required in the proposed UW Credit Union building due to occupancy, occupant load and number of building stories.

Police Department Comments

The Police Department has no issues with this request.



October 24, 2019

EXE-SE-2019-41-03619

Franklin Property & Fuel Services Holdings LLC.
Khaled Aloul
231 E. 105th Street
Bloomington, MN 55420

RE: Artificial Wetland Exemption Determination for an area described as site 1 wetland, located in the SE1/4 of the NE1/4 of Section 01, Township 05 North, Range 21 East, City of Franklin, Milwaukee County

Dear Khaled Aloul:

This letter is in response to your request for an artificial wetland exemption determination for the above mentioned wetlands.

According to 281.36 (4n), State Statutes, a landscape feature where hydrophytic vegetation may be present as a result of human modification to the landscape or hydrology and for which no definitive evidence exists showing a prior wetland or stream history before August 1, 1991, may be exempt from state wetland regulations. The following types of artificial wetlands cannot be exempted from state wetland regulation:

- 1) a wetland that serves as a fish spawning area or that is passage to a fish spawning area
- 2) a wetland created as a result of a wetland mitigation requirement.

In addition, DNR must also consider whether the artificial wetland is providing significant flood protection to adjacent or downstream properties and infrastructure, and/or significant water quality functions to adjacent or downstream water bodies.

The Department reviewed the following materials to aid in our exemption determination:

- The request narrative
- Historic Maps, including the Original Land Survey notes, Bordner Survey, the Greendale USGS topographic Quad map from 1958, and soil mapping.
- Aerial photographs, including the 1938 era photograph, a pre-construction photograph, and a post-construction photograph. Air photos reviewed include 1958, 79,80,82, 83, 84,85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 2000, 01, 02, 2017
- Site photographs that show different angles and views of the wetland

Below is a summary of our findings:

Request Narrative

According to the request narrative, the wetland area identified as Site 1 (0.062 acres) is the focus of this artificial wetland exemption request. The narrative states that site 1 appears to have been a detention basin constructed after 1990, is isolated and doesn't provide fish habitat. Dominant

vegetation is hybrid cattail. Site 1 receives surface water from adjacent uplands and impervious surfaces.

Historic Map Review

- Original Land Survey Plat. The original land survey indicates is inconclusive.
- Bordner Survey. The Bordner survey is not available for Milwaukee County
- Greendale USGS Topographic Quad map: The USGS Quad map indicates was open habitat.
- Soil Maps: The soil maps indicate that the soils are classified as Blount Silt loam, a somewhat poorly drained soil, that is predominantly non-hydric, with hydric soil inclusions in depressions.

Aerial Photograph Review

- 1937/38 era aerial photograph. The 1938 aerial photograph shows the area was farmed-cropland
- Pre-construction aerial photograph: The 1940-1989 photos show the area is a cropped field that eventually is left alone. The area exhibits some occasional weak wetland signatures within the vicinity.
- Post-construction aerial photograph: The 1990 aerial photo shows the entire area is graded, as the roads and facilities are constructed entirely around wetland site 1. The 1991 aerial photo shows the construction of the localized depression in the area of wetland site 1. The 1992 aerial photo until present day the site generally remains the same, the depression behind the business is becoming wetland.

Site Photographs

The site photographs show hydric soils, and cattail vegetation surrounded by parking lots and other developments.

Conclusion:

- Based upon the information provided above, the wetland identified as site 1 lacked a wetland history prior to August 1, 1991 and fulfills all artificial wetland exemption standards. **Therefore, wetland site 1 wetland is exempt from state wetland regulations.**

This letter describes DNR's decision regarding the jurisdictional status of site 1 and is only valid for state jurisdictional purposes. For decisions regarding the federal jurisdictional status of site 1, you will need to contact the U.S. Army Corps of Engineers. If you have any questions about this determination, please contact me at (715) 492-0200 or email Ryan.Pappas@wisconsin.gov.

Sincerely,



Ryan Pappas
Wetland Exemption Specialist

cc: U.S. Army Corps of Engineers
Lailah Reich, Huff & Huff Inc., Consultant

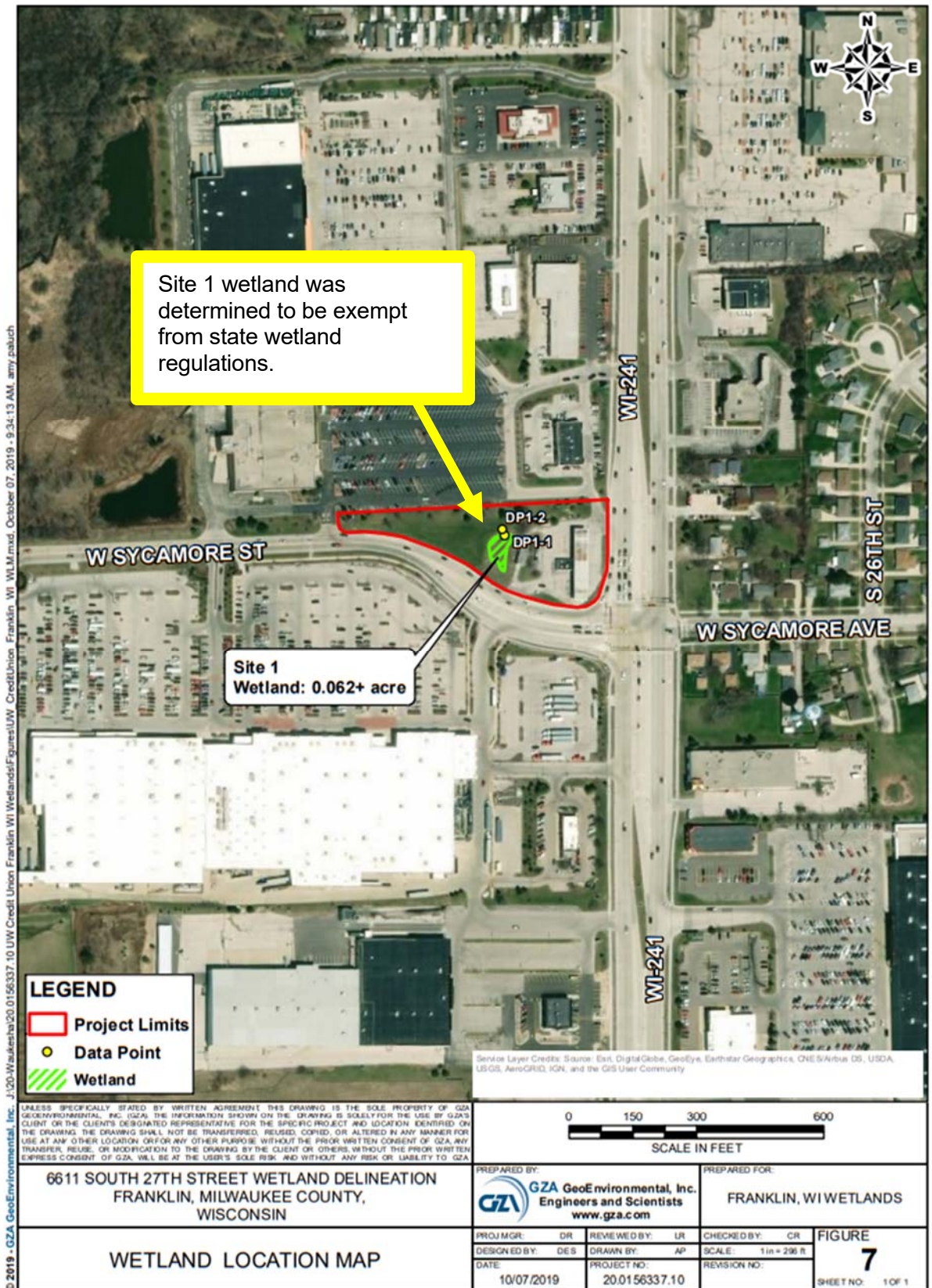


Table 15-3.0505

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>1.54</u> Multiple by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X <u>0.45</u> Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE = <u>0.69</u> acres
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>1.54</u> Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: - <u>0.69</u> Equals NET BUILDABLE SITE AREA = <u>0.85</u> acres
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>0.85</u> Multiple by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X <u>0.57</u> Equals MAXIMUM NET FLOOR AREA YIELD OF SITE = <u>0.48</u> acres
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>1.54</u> Multiple by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X <u>0.31</u> Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE = <u>0.47</u> acres
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above): (Multiple results by 43,560 for maximum floor area in square feet): <u>0.47</u> acres (<u>20,473</u> s.f.)

Date of Application: 02/11/2020

PLANNED DEVELOPMENT DISTRICT (PDD) APPLICATION

Complete, accurate and specific information must be entered. Please Print.

Applicant (Full Legal Name[s]):

Name: Brad McClain, CFO
Company: University of Wisconsin Credit Union
Mailing Address: 3500 University Avenue
City / State: Madison, Wisconsin Zip: 53705
Phone: 608-232-9000 x 2244
Email Address: bmcclain@uwcu.org

Project Property Information:

Property Address: 6611 South 27th Street, Franklin, Wisconsin
Property Owner(s): University of Wisconsin Credit Union
Attn: Brad McClain
Mailing Address: 3500 University Avenue
City / State: Madison, Wisconsin Zip: 53705
Email Address: bmcclain@uwcu.org

Applicant is Represented by: (contact person)(Full Legal Name[s])

Name: David J. Ewanowski AIA
Company: KEE Architecture, Inc.
Mailing Address: 621 Williamson Street
City / State: Madison, Wisconsin Zip: 53703
Phone: 608-255-9202
Email Address: david@keearch.com

Tax Key Nos: 714-0001-001

Existing Zoning: PDD No. 13 (B-3 Community Business)

Existing Use: (Abandoned Gas Station)

Proposed Use: Commercial (Financial Institution)

Future Land Use Identification: Commercial

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

PDD submittals for review must include and be accompanied by the following:

- ☒ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☒ Application Filing Fee, payable to City of Franklin:
 - ☐ \$6000, PDD-New
 - ☒ \$3500, PDD Major Amendment
 - ☐ \$500, PDD Minor Amendment
- ☒ Legal Description for the subject property (WORD.doc or compatible format).
- ☒ Seven (7) complete **collated** sets of Application materials to include:
 - ☒ One (1) original and six (6) copies of a written Project Summary, (description of the proposed development of the property to include the proposal's intent, impacts, and consistency with the Comprehensive Master Plan, any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)
 - ☒ Three (3) **folded full size**, drawn to scale copies (at least 24" x 36") of the Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc. (See Sections 15-7.0101, 15-7.0301, and 15-5.0402 of the UDO for information that must be denoted or included with each respective plan.)
 - ☒ Four (4) **folded reduced size** (11"x17") copies of the Site Plan package.
- ☐ One colored copy (11"x17") of the building elevations, if applicable.
- ☒ One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3.0500 of the UDO).
- ☐ Three copies of the Natural Resource Protection Plan report, if applicable (see Section 15-4.0102 and 15-7.0201 of the UDO).
- ☒ Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
- PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval.
- Minor PDD Amendment requests require Plan Commission review and Common Council approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Signature - Property Owner Brad McClain - CFO

Name & Title (PRINT) _____
Date: 2/11/2020

Signature - Property Owner _____

Name & Title (PRINT) _____
Date: _____

Signature - Applicant Brad McClain - CFO

Name & Title (PRINT) _____
Date: 2/11/2020

Signature - Applicant's Representative _____

Name & Title (PRINT) David J. Ewanowski - Secretary/Treasurer
KEE Architecture, Inc. Date: 2/11/2020

Franklin
FEB 13 2020
City Development



US Real Estate
2608 SE J St.
Bentonville, AR 72716-5510

1/8/2020

Brad McClain
University of Wisconsin Credit Union
3500 University Ave.
Madison, WI 53705

Re: Deed Restriction Waiver
Walmart Store #1551 Franklin, WI


Dear Mr. McClain:

Wal-Mart Stores, Inc. ("Walmart") approves of the proposed University of Wisconsin Credit Union to be located next to Walmart Store #1551, as depicted on Exhibit "A" of this letter. As part of its approval, Walmart hereby waives the restriction against building height and size, so long as not more than two (2) buildings (not including trash enclosure and canopies) shall be erected and which buildings shall not exceed 22 feet in height or 6,000 square feet in combined floor size (not including trash enclosure and canopies). Walmart also agrees that the Credit Union will be allowed to provide not less than 5 parking spaces per 1,000 square feet of floor building area. Please note that this approval is limited to the operation of the Credit Union.

Any material change in use of the premises, or variance from the site plan attached as Exhibit "A", that violate any deed restrictions against the property shall require Walmart's further consent. This approval shall not be construed as a waiver of any of Walmart's rights or of any other obligation or restriction found in the Corporation Warranty Deed dated September 13, 1990 and recorded September 14, 1990 as Document Number 6417377 in the Register's Office for Milwaukee County, Wisconsin.

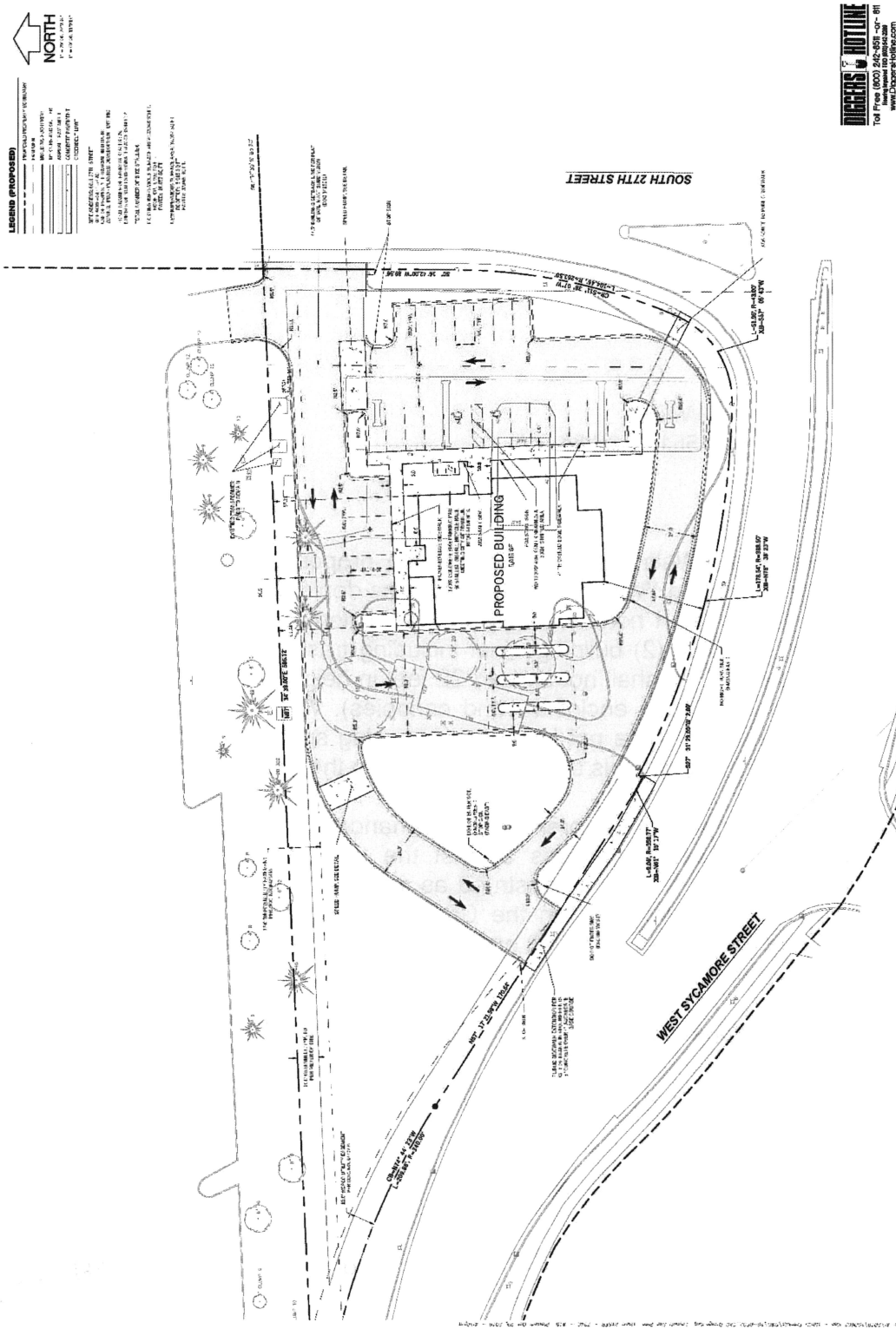
If you have any questions, please do not hesitate to contact me.

Sincerely,

DocuSigned by:

C31F0206DADB4DA...

SITE PLAN

WYSEY ENGINEERS, INC. 1000 N. 10TH ST., SUITE 100 MILWAUKEE, WI 53233 TEL: 414.224.1100 FAX: 414.224.1101 WWW.WYSEYENGINEERS.COM		1000 N. 10TH ST., SUITE 100 MILWAUKEE, WI 53233 TEL: 414.224.1100 FAX: 414.224.1101 WWW.WYSEYENGINEERS.COM
FRANKLIN, MILWAUKEE COUNTY, WI UWCU - FRANKLIN 1000 N. 10TH ST., SUITE 100 MILWAUKEE, WI 53233 TEL: 414.224.1100 FAX: 414.224.1101 WWW.WYSEYENGINEERS.COM		1000 N. 10TH ST., SUITE 100 MILWAUKEE, WI 53233 TEL: 414.224.1100 FAX: 414.224.1101 WWW.WYSEYENGINEERS.COM



DS
P9



PROJECT _____

DATE _____

TYPE _____

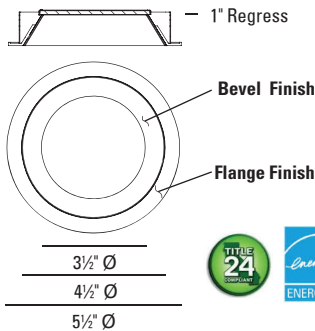


BeveLED 2.1 Recessed Downlight - BeveLED 2.1 is the most complete recessed LED downlight product family available from USAI Lighting, now with more BeveLED trim finishes, LED classic white color temperatures, innovative housing styles, and dimming driver options than before. With industry-leading performance, BeveLED 2.1 can provide a solution for any project - commercial, corporate and residential installations.

1" REGRESS DOWNLIGHT



1" Regress



DELIVERED PERFORMANCE

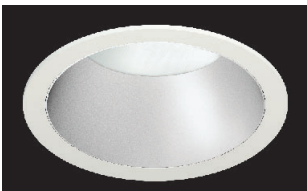
BeveLED 2.1 1" REGRESS DOWNLIGHT	9 Watts		12 Watts		16 Watts		24 Watts		33 Watts		36 Watts	
	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI
Color Rendering Index	93	68	86	67	86	67	80	63	71	57	100	78
Lumens per Watt	1150	900	1300	1025	1725	1350	2400	1875	3025	2350	4150	3250
Source Lumens	775	600	1025	800	1375	1075	1925	1500	2400	1875	3450	2700
Delivered Lumens	2-Step MacAdam Ellipse											
Color Consistency												

Performance based on 3000K

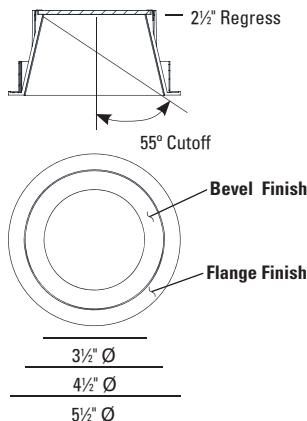
CCT MULTIPLIER	2200K	2700K	3000K	3500K	4000K
	80+ CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI
Color Rendering Index	80+ CRI	80+ CRI	90+ HIGH CRI	80+ CRI	80+ CRI
Multiplier for Lumen Output	0.72	0.94	0.78	1.00	1.06

90+ CRI is not available for 2200K, 3500K, or 4000K

DEEP REGRESS DOWNLIGHT



Deep Regress



DELIVERED PERFORMANCE

BeveLED 2.1 DEEP REGRESS DOWNLIGHT	9 Watts		12 Watts		16 Watts		24 Watts		33 Watts		36 Watts	
	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI
Color Rendering Index	70	54	69	54	68	53	64	50	58	45	85	66
Lumens per Watt	1150	900	1300	1025	1725	1350	2400	1875	3025	2350	4150	3250
Source Lumens	625	475	825	650	1100	850	1550	1200	1925	1500	2950	2300
Delivered Lumens	2-Step MacAdam Ellipse											
Color Consistency												

Performance based on 3000K

CCT MULTIPLIER	2200K	2700K	3000K	3500K	4000K
	80+ CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI
Color Rendering Index	80+ CRI	80+ CRI	90+ HIGH CRI	80+ CRI	80+ CRI
Multiplier for Lumen Output	0.72	0.94	0.78	1.00	1.06

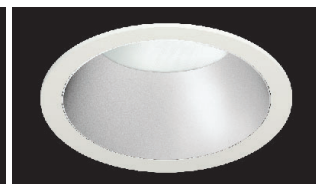
90+ CRI is not available for 2200K, 3500K, or 4000K



ORDERING INFORMATION

3021
DOWNLIGHT

1" REGRESS



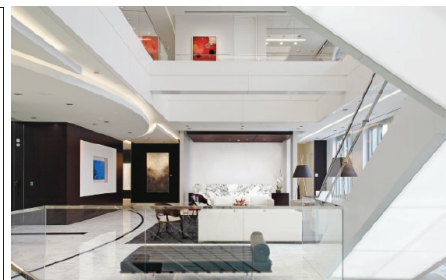
DEEP REGRESS

HOW TO SPECIFY

Ordering Example: Specify trim code and housing code to order: **3021W - B1- S - 10 - LRTD4 - 9012 - C3 - 27KS - 50 - NC - 277V - DIML2 - CB27**

TRIM ORDERING INFORMATION

TRIM	OPTION	BEVEL STYLE		LENS	FLANGE FINISH
3021		-		-	
1" REGRESS DOWNLIGHT					
3021 Round Downlight 1" Regress	W	Wet location ¹	B1 1" Regress Bevel, Painted Die Cast Matches Flange Finish	S Solite (provided standard) F Frosted	01 Clear Matte (AC Bevel only)
	EML	Integral Emergency Test Switch ²			02 Black Anodized (AB Bevel Only)
	TZ	6" TechZone ceiling compatible (NCSM only) N/A with 01 or 02 flange finishes.	AB1 1" Regress Bevel, Black Anodized AC1 1" Regress Bevel, Clear Matte Anodized		10 White 13 Statuary Bronze 21 Black 28 Metalized Grey
DEEP REGRESS DOWNLIGHT					
3021 Round Downlight Deep Regress	W	Wet location ¹	B2 2-1/2" Regress Bevel, Painted Die Cast Matches Flange Finish		RAL Custom Color (specify RAL #)
	EML	Integral Emergency Test Switch ²	AB2 2-1/2" Regress Bevel, Black Anodized AC2 2-1/2" Regress Bevel, Clear Matte Anodized		
	¹ Wet location, use with B1 and B2 trims only. ² See table on page 3.				

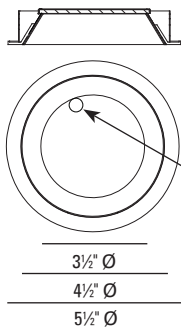


HOUSING ORDERING INFORMATION

HOUSING CODE	WATTAGE	ENGINE CODE	COLOR	REFLECTOR	HOUSING TYPE	SELECT ONE VOLTAGE	DIMMING DRIVER OPTIONS	ACCESSORIES
LRTD4								
LRTD4	9009 9W LED 9012 12W LED 9016 16W LED 9024 24W LED 9033 33W LED 9036 36W LED	C3 E1	22KS 2200K, 80+ CRI ³ 27KS 2700K, 80+ CRI 30KS 3000K, 80+ CRI 35KS 3500K, 80+ CRI 40KS 4000K, 80+ CRI 27KH 2700K, 90+ CRI 30KH 3000K, 90+ CRI	1" REGRESS DOWNLIGHT 25 25° beam 50 50° beam 90 90° beam DEEP REGRESS DOWNLIGHT C25 25° beam Comfort Cutoff C40 40° beam Comfort Cutoff C70 70° beam Comfort Cutoff	FT Flat Housing New Construction FTIC Flat Housing IC-Rated/Airtight (up to 16W maximum) FTCP Flat Housing Chicago Plenum NCSM New Construction Narrow Width NC New Construction, all in one CP Chicago Plenum IC Insulation-Contact Rated / Airtight ⁴ NC New Construction, all in one CP Chicago Plenum IC Insulation-Contact Rated / Airtight ⁴ See emergency solutions chart for EM options with these housings	120V 277V 		

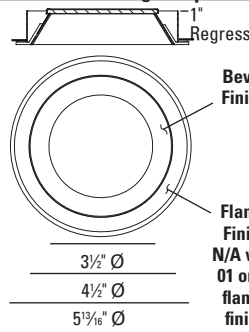
1" REGRESS DOWNLIGHT TRIMS

1" Regress



EM fixtures that are provided with an integral test switch are shipped with a hole in the glass lens for access. Refer to "EMERGENCY SOLUTIONS" chart to find out which fixtures have an integral test switch.

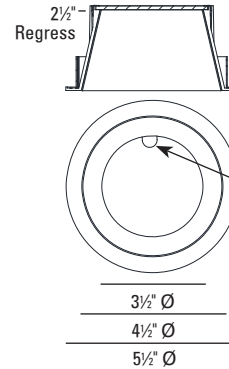
1" Regress - 6" TechZone Ceiling Compatible



Bevel Finish
Flange Finish
N/A with 01 or 02 flange finish

DEEP REGRESS DOWNLIGHT TRIM

Deep Regress



EM fixtures that are provided with an integral test switch are shipped with a hole in the glass lens for access. Refer to "EMERGENCY SOLUTIONS" chart to find out which fixtures have an integral test switch.

3021 - 1" Regress Emergency Solutions

Housing	EM SERVICE	Integral Test Switch	Remote Test Switch	Inverter By Others
FT, FTIC, FTCP	N/A			X
NCSM*	Above ceiling access required		X	X
NC, 25° or 50° optic	Through aperture	X		X
NC, 90° optic	Through aperture		X	X
NC Wet Location	Through aperture		X	X
CP	N/A			X
IC	N/A			X

* NCSM + DIML8 cannot be offered with EM, 347V cannot be offered with EM

3021 - Deep Regress Emergency Solutions

Housing	EM SERVICE	Integral Test Switch	Remote Test Switch	Inverter By Others
NC, C25 or C40 optic	Through aperture	X		X
NC, C70 optic	Through aperture		X	X
NC Wet Location	Through aperture		X	X
CP	N/A			X
IC	N/A			X

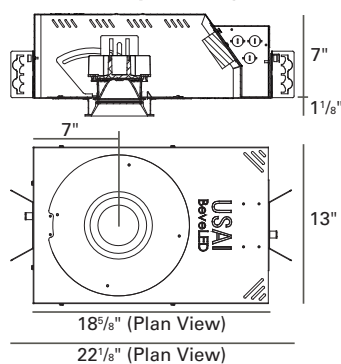
* 347V cannot be offered with EM

HOUSING INFORMATION

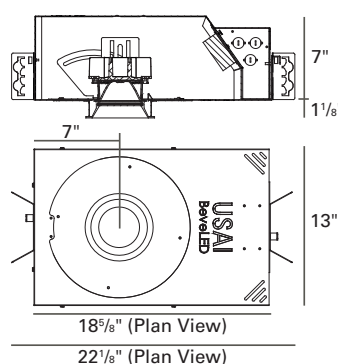
NC, IC AND CP HOUSINGS BELOW ARE FOR USE WITH 1" REGRESS TRIMS & DEEP REGRESS TRIMS

New Construction

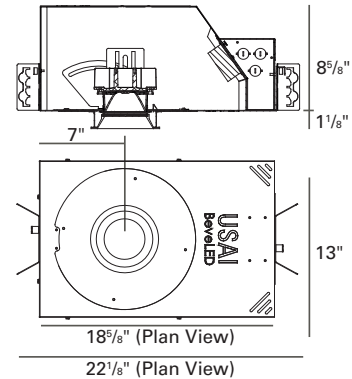
Universal Style Housing - NC



Chicago Plenum (24W and less) - CP IC / Airtight (24W and less) - IC



Chicago Plenum (33W and 36W) - CP IC / Airtight (33W) - IC (not available with E1 light engine)

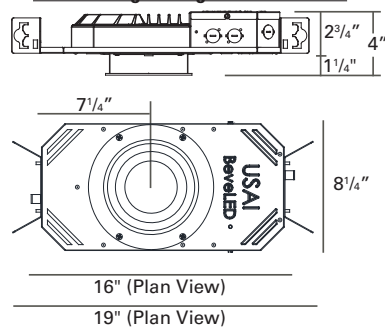


HOUSINGS BELOW ARE FOR USE WITH 1" REGRESS TRIMS ONLY (FT, FTIC, FTCP AND NCSM ARE NOT AVAILABLE FOR USE WITH DEEP REGRESS)

New Construction

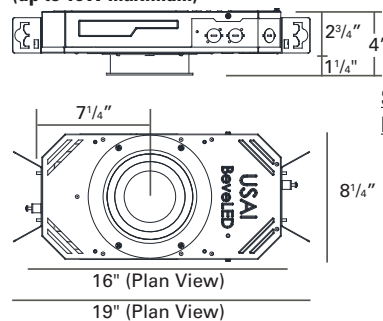
Flat Housing - FT

Flat Housing Chicago Plenum - FTCP

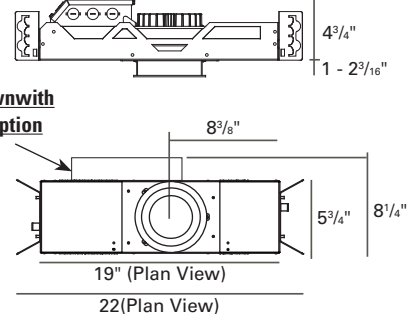


New Construction

Flat Housing IC-Rated /Airtight- FTIC (up to 16W maximum)



New Construction - Narrow Width - NCSM (Not for use with deep regress trims)



Shown with
EM option



SPECIFICATIONS

TRIM: 4-1/2" round aperture with a 1" regress or deep regress bevel and 1/2" flange, retained by two mounting clips. Die cast aluminum bevel is available in white, statuary bronze, black, and metalized grey painted finishes, with flange painted to match. Also available in black or clear matte anodized finishes, with self-finish or contrasting painted flange. Custom colors are available (provide RAL#). Trim is shipped with a solite lens provided standard.

Some examples of standard trim finish options for 3021 are shown below:



FIELD REPLACEABLE LED LIGHT ENGINE: is serviceable through the aperture without tools. All USAI Lighting Classic White light engines feature industry leading color consistency within a 2-Step MacAdam's ellipse. 2200K is not available with E1 light engine.

FIELD REPLACEABLE DIMMING DRIVER: 0-10V, 100%-10% solid state electronic constant current DIML2 dimming driver with a high power factor provided standard and sources 2mA. Specify 120V or 277V. Driver complies with IEEE62.41 surge protection. Multiple dimming driver options are available; some on-time delay may be experienced, depending on control system used.

EMERGENCY: Fixtures provided with an integral test switch are provided with a hole in the glass lens as per drawing. Fixtures provided with a remote test switch are provided with a 24" lead length for location of the test switch. Fixtures that have no USAI EM option may be connected to an inverter (by others) for emergency lighting. **SPECIAL NOTE FOR NCSM HOUSING:** DIML8 cannot be combined with EM options in NCSM housing. See emergency solutions chart for more information on EM test switches and servicing.

HOUSING: 1" regress fixture housing options are NC, IC, CP, FT, FTIC, FTCP and NCSM. DEEP regress fixture housing options are NC, IC, and CP only. FT and NCSM housings are not available with DEEP regress trims. Fabricated of 20 ga. galvanized steel with thru wire J-box, 4 in 4 out at min. 90°C, #12 AWG thru branch circuit wiring. FTIC housing is IC-rated up to 16W maximum. IC-rated housings for use with 9W, 12W, and 16W light engines only are rated for direct contact with spray foam insulation of R-42 or less. IC rated housing is not available with E1 light engine. NCSM with TZ option is compatible with 6" TechZone ceiling systems. When using DIML8, NCSM housing can NOT be used with thru-branch circuit wiring.

MOUNTING: Butterfly brackets and adjustable nailer bars with integral nails provided. Nailers are extendible from 14" to 24" centers. C-channel bars are optionally available for acoustical ceiling applications.

MAXIMUM CEILING THICKNESS: As noted on housing drawings.

CEILING CUT OUT: 5-1/16"Ø

WARRANTY: Based on IESNA LM80-2008, BeveLED 2.1 has a 50,000 hour rated life at 70% lumen maintenance (L70). USAI Lighting Warranty covers replacement parts for 5 years from date of shipment.

LISTINGS: Dry/Damp. Wet location option available with B1 trim only. NRTL/CSA-US tested to UL standards. IBEW union made. Energy Star Qualified under Luminaires Specification V2.0. Please see Energy Star website for exact model #s included in the listing. Please note that the following options are not Energy Star qualified: 22KS, 27KH, and 30KH light engines; E1 light engines; B-13, B-21, and AB trim styles; Frosted lens and EM options. CEC/ Title 24 Compliant up to 16W maximum. See CEC website for exact models included.

NOTES:

- Not for use in corrosive environment.
- Use of pressure washer voids warranty.

PHOTOMETRICS: Consult factory or website for IES files. Tested in accordance with IESNA LM79.



DIMMING DRIVER WIRING SCHEMES:

NOTES:

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS - SAVE THESE INSTRUCTIONS

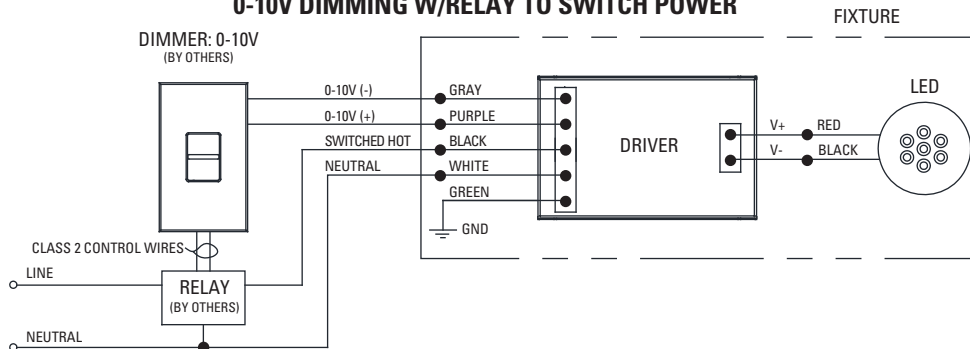
1. Keep these instructions in a safe place for future reference.
2. Only qualified electricians in accordance to local codes should install these fixtures.
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing.
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations.
5. Cap any wires not used separately (not together).

D2 / DIML2 LED: 0-10V Dimming Driver Wiring (Dims down to 10%)

D2 / DIML2 Dimmer Compatibility Chart				
Manufacturer	Product	Part Number	Dimmed Light Output Range	Qty Fixtures Per Dimmer*
120V / 277V				Use source current per fixture specification sheet to determine number of fixtures per dimmer. Max number of fixtures is limited by dimmer load rating.
Creston	iLux dimmer expansion module	CLS-EXP-DIMFLV	100% - 10%	
Creston	DIN Rail dimmer	DIN-4DIMFLV4	100% - 10%	
Creston	DIN Rail analog output module	DIN-A08	100% - 10%	
Creston	8 Channel dimmer module	GLX-DIMFLV8	100% - 10%	
Creston	8 Channel dimmer module	GLXP-DIMFLV8	100% - 10%	
Leviton	IllumaTech dimmer	IP710-DLX	100% - 10%	
Lightolier (Philips)	Vega	V2000FAMU	100% - 10%	
Lutron	Diva	DVTV-XX	100% - 10%	

* NOTE: Refer to dimmer manufacturer's documentation for installation instructions and circuit details.

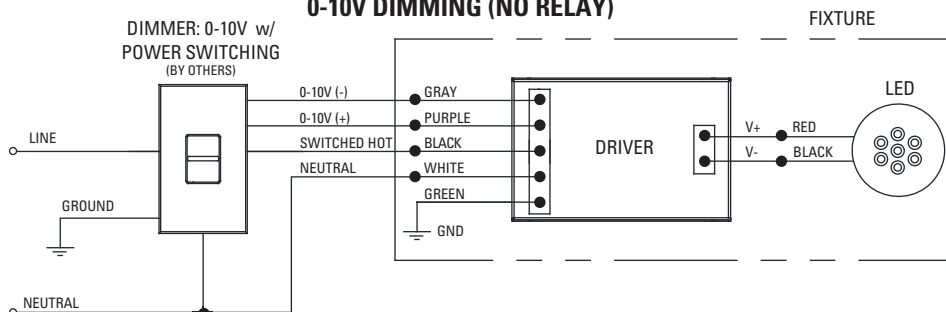
D2 / DIML2 0-10V DIMMING W/RELAY TO SWITCH POWER



NOTE:

If switched, non-dimming operation is desired, cap off purple and gray wires individually at installation. Do NOT cap purple and gray wires together.

D2 / DIML2 0-10V DIMMING (NO RELAY)



NOTE:

If switched, non-dimming operation is desired, cap off purple and gray wires individually at installation. Do NOT cap purple and gray wires together.

DIMMING DRIVER WIRING SCHEMES:

NOTES:

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

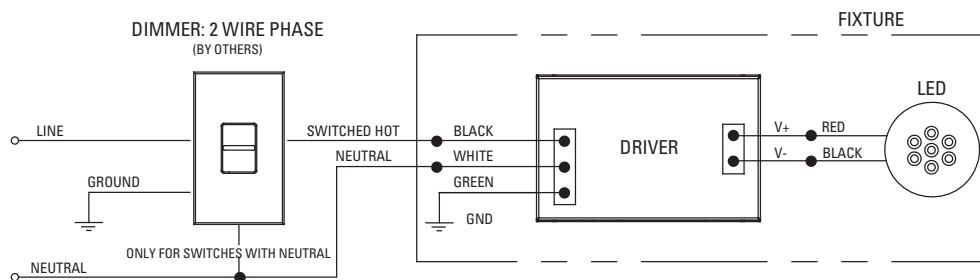
1. Keep these instructions in a safe place for future reference.
2. Only qualified electricians in accordance to local codes should install these fixtures.
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing.
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations.
5. Cap any wires not used separately (not together).

D3 / DIML3 LED: Lutron Hi-Lume A-Series 2 Wire Fwd Phase (with neutral) / LED Dimming Driver Wiring (Dims down to 1%) 120V

D3 / DIML3 Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range	Qty Fixtures Per Dimmer*	
				Fixture Wattage	
120V Only				39W and Less	40W - 80W
ETC	Sensor+ Cabinet	ELV10	100% - 1%	1 – 26	1 – 13
ETC	Unison DRd Cabinet	ELV10	100% - 1%	1 – 26	1 – 13
Lutron	Maestro Wireless® 600W dimmer	MRF2-6ND-120-	100% - 1%	1 – 8	1 – 4
Lutron	Maestro Wireless® 1000W dimmer	MRF2-10ND-120-	100% - 1%	1 – 13	1 – 6
Lutron	HomeWorks® QS adaptive dimmer	HQRD-6NA-	100% - 1%	1 – 8	1 – 4
Lutron	HomeWorks® QS 600W dimmer	HQRD-6ND-	100% - 1%	1 – 8	1 – 4
Lutron	HomeWorks® QS 1000 W dimmer	HQRD-10ND-	100% - 1%	1 – 13	1 – 6
Lutron	Caseta Wireless® Pro 1000W dimmer	PD-10NXD-	100% - 1%	1 – 13	1 – 6
Lutron	Stanza® dimmer	SZ-6ND-	100% - 1%	1 – 8	1 – 4
Lutron	RadioRA® 2 adaptive dimmer	RRD-6NA-	100% - 1%	1 – 8	1 – 4
Lutron	RadioRA® 2 1000 W dimmer	RRD-10ND-	100% - 1%	1 – 6	1 – 3
Lutron	myRoom DIN power module	MQSE-4A1-D	100% - 1%	1 – 6	1 – 3
Lutron	HomeWorks® QS wallbox power module	HQRJ-WPM-6D-120-	100% - 1%	1 – 26	1 – 13
Lutron	Homeworks® DIN power module	LQSE-4A1-D	100% - 1%	1 – 6	1 – 3
Lutron	HomeWorks® wallbox power module	HWI-WPM-6D-120	100% - 1%	1 – 26	1 – 13
Lutron	GRAFIK Eye® QS control unit	QSGR-, QSGRJ-	100% - 1%	1 – 26	1 – 13
Lutron	GRAFIK Eye® 3000 control unit	GRX-3100-, GRX-3500-	100% - 1%	1 – 26	1 – 13
Lutron	RPM-4U module	HW-RPM-4U-120, LP-RPM-4U-120	100% - 1%	1 – 26	1 – 13
Lutron	RPM-4A module	HW-RPM-4A-120, LP-RPM-4A-120	100% - 1%	1 – 26	1 – 13
Lutron	GP dimming panels	Various	100% - 1%	1 – 26	1 – 13
Lutron	Ariadni CL 250W dimmer	AYCL-253P-	100%-1%	1 – 8	1 – 4
Lutron	Diva CL 250W dimmer	DVCL-253P-, DVSCCL-253P-	100%-1%	1 – 8	1 – 4
Lutron	Grafik T CL or RF CL dimmer	GT-250M-, GTJ-250M-	100%-1%	1 – 8	1 – 4
Lutron	Nova T CL 250W dimmer	NTCL-250-	100%-1%	1 – 10	1 – 5

* NOTE: Refer to dimmer manufacturer's documentation for installation instructions and circuit details.

**D3 / DIML3
2 WIRE PHASE DIMMING**



DIMMING DRIVER WIRING SCHEMES:

NOTES:

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

1. Keep these instructions in a safe place for future reference.
2. Only qualified electricians in accordance to local codes should install these fixtures.
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing.
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations.
5. Cap any wires not used separately (not together).

D4E / DIML4E LED: Lutron 5 Series EcoSystem LED Driver / LED Dimming Driver Wiring (Dims down to 5%)

D4E / DIML4E EcoSystem Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range	Qty Fixtures Per Control*	
				Fixture Wattage	
120V / 277V				39W and Less	40W - 80W
Lutron	PowPak dimming module	RMJ-ECO32-DV-B	100%–5%	1–32	1 – 16
Lutron	Energi Savr Node	QSN-1ECO-S, QSN-2ECO-S	100%–5%	1–64	1 – 32
Lutron	GRAFIK Eye QS (120V ONLY)	QSGRJ- E, QSGR- E	100%–5%	1–64	1 – 32
Lutron	Quantum	Various	100%–5%	1–64	1 – 32

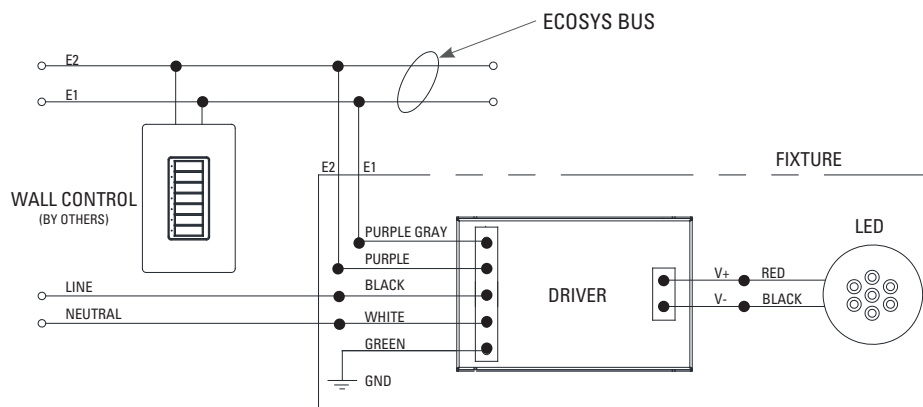
* NOTE: Number of fixtures may be higher if wattage is less than maximum values shown. Refer to dimmer manufacturer's documentation for installation instructions and circuit details.

D4H / DIML4H LED: Lutron H Series EcoSystem LED Driver with Fade to Black (dims down to 1%)

D4H / DIML4H EcoSystem Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range	Qty Fixtures Per Control*	
				Fixture Wattage	
120V / 277V				39W and Less	40W - 80W
Lutron	PowPak dimming module	RMJ-ECO32-DV-B	100%–1%	1–32	1–16
Lutron	Energi Savr Node	QSN-1ECO-S, QSN-2ECO-S	100%–1%	1–64	1–32
Lutron	GRAFIK Eye QS (120V ONLY)	QSGRJ- E, QSGR- E	100%–1%	1–64	1–32
Lutron	Quantum	Various	100%–1%	1–64	1–32

* NOTE: Number of fixtures may be higher if wattage is less than maximum values shown. Refer to dimmer manufacturer's documentation for installation instructions and circuit details.

D4E / DIML4E and D4H / DIML 4H EcoSystem CONTROLS



IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

1. Keep these instructions in a safe place for future reference.
2. Only qualified electricians in accordance to local codes should install these fixtures.
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing.
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations.
5. Cap any wires not used separately (not together).

D6A / DIML6A and D6E / DIML6E LED Dimming Compatibility Table

D6A / DIML6A and D6E / DIML6E are linearly programmed dimming drivers for use with the dimming controls listed in the table below.

D6A / DIML6A = EldoLED SOLOdrive 0-10V control dims from 100% to 0.1%

D6E / DIML6E = EldoLED ECOdrive 0-10V control dims from 100% to 1%

D6A / DIML6A and D6E / DIML6E Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range		Qty Fixtures Per Dimmer*
120V & 277V			DIML6A	6E	Refer to manufacturer's dimmer load rating for maximum and minimum fixture quantities per dimmer. Enlighted compatible.
Lutron	Diva	DVTV/NFTV with PP-20	99% - 0.1%	1%	
Lutron	Nova T	NTFTV with PP-20	99% - 0.1%	1%	
Lutron	Energi Savr Node	QSN-4T16-S	100% - 0.1%	1%	
Lutron	GP Dimming Panels	TVM2 Module	99% - 0.1%	1%	
Lutron	Interfaces	GRX-TVI w/ GRX3503	100% - 0.1%	1%	
Sensor Switch	nIO	nIO EZ	100% - 0.1%	1%	
enlighted	Control Unit	CU-3E-1R	100% - 0.1%	1%	

D6B / DIML6B and D6F / DIML6F LED Dimming Compatibility Table

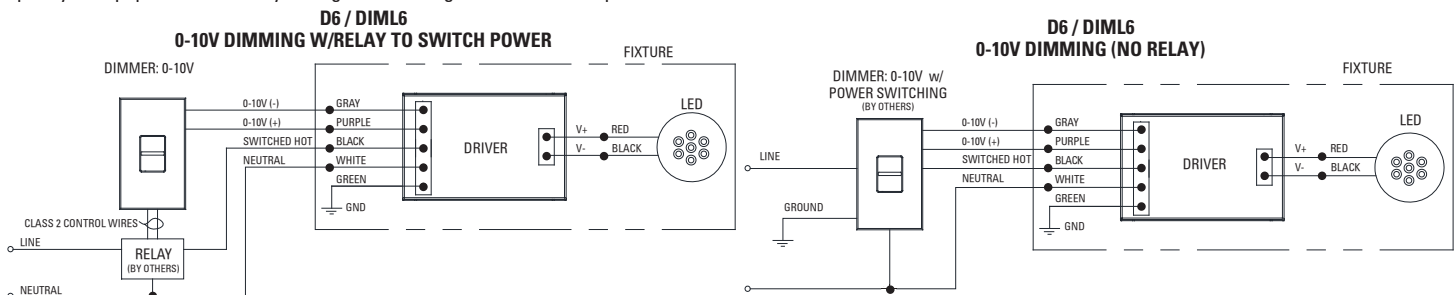
D6B / DIML6B and D6F / DIML6F are logarithmic-programmed dimming drivers for use with the dimming controls listed in the table below.

D6B / DIML6B = EldoLED SOLOdrive 0-10V control dims from 100% to 0.1% D6F / DIML6F = EldoLED ECOdrive 0-10V control dims from 100% to 1%

D6B / DIML6B and D6F / DIML6F Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range		Qty Fixtures Per Dimmer*
120V & 277V			DIML6B	6F	Refer to manufacturer's dimmer load rating for maximum and minimum fixture quantities per dimmer. Enlighted compatible.
Bush-Jaeger	Electronic potentiometer	2112U-101	100% - 0.1%	1%	
Jung	Electronic potentiometer	240-10	100% - 0.1%	1%	
Leviton	Iluma Tech dimmer	IP710-DLX	100% - 0.1%	1%	
Lightolier (Philips)	Momentum (120V ONLY)	ZP600FAM120	100% - 0.1%	1%	
Merten	Electronic potentiometer	5729	100% - 0.1%	1%	
Pass & Seymour	Titan	CD4FB-W	100% - 0.1%	1%	
Watt Stopper	Miro	DCLV1	100% - 0.1%	1%	
Synergy	Wallbox Dimmers	ISD BC	100% - 0.1%	1%	
ABB	i-bus	SD/S 2.16.1	100% - 0.1%	1%	
Crestron	Modules	GLX-DIMFLV8, GLXP-DIMFLV8	100% - 0.1%	1%	
Crestron	Green Light	GLPAC-DIMFLV4-, GLPAC-DIMFLV8-	100% - 0.1%	1%	
Crestron	Green Light Power Pack	GLPP-DIMFLVEX-PM, GLPP-1DIMFLV2EX-PM, GLPP-1DIMFLV3EX-PM	100% - 0.1%	1%	
Crestron	DIN Rail Analog Output Module	DIN-A08	100% - 0.1%	1%	
Crestron	DIN Rail 0-10V Fluorescent Dimmer	DIN-4DIMFLV4	100% - 0.1%	1%	
Crestron	iLux 0-10V Dimmer Expansion Module	CLS-EXP-DIMFLV	100% - 0.1%	1%	
enlighted	Control Unit	CU-3E-1R	100% - 0.1%	1%	

DIMMING DRIVER WIRING SCHEMES:

NOTES: Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.



DIMMING DRIVER WIRING SCHEMES:

NOTES:

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

1. Keep these instructions in a safe place for future reference.
2. Only qualified electricians in accordance to local codes should install these fixtures.
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing.
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations.
5. Cap any wires not used separately (not together).

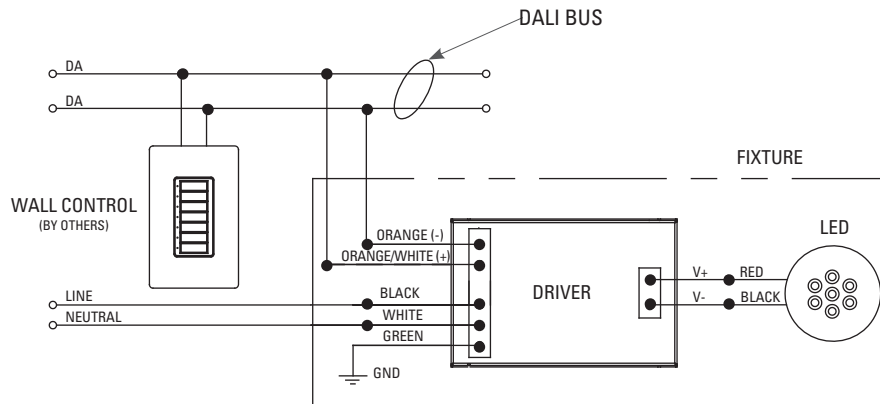
D7 / DIML7 and D7E Dimming Driver Wiring

D7 / DIML7 and D7E are linearly programmed dimming drivers.

D7 / DIML7 = EldoLED SOLOdrive DALI control dims from 100% to 0.1%

D7E = EldoLED ECOdrive DALI control dims from 100% to 1%

D7 / DIML7 / D7E DALI CONTROLS



DIMMING DRIVER WIRING SCHEMES:

NOTES:

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

1. Keep these instructions in a safe place for future reference.
2. Only qualified electricians in accordance to local codes should install these fixtures.
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing.
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations.
5. Cap any wires not used separately (not together).

D8 / DIML8 and D8E Dimming Driver Wiring

D8 / DIML8 and D8E are linearly programmed dimming drivers.

D8 / DIML8 = EldoLED POWERdrive DMX control dims from 100% to 0.1%

D8E = EldoLED POWERdrive DMX control dims from 100% to 1%

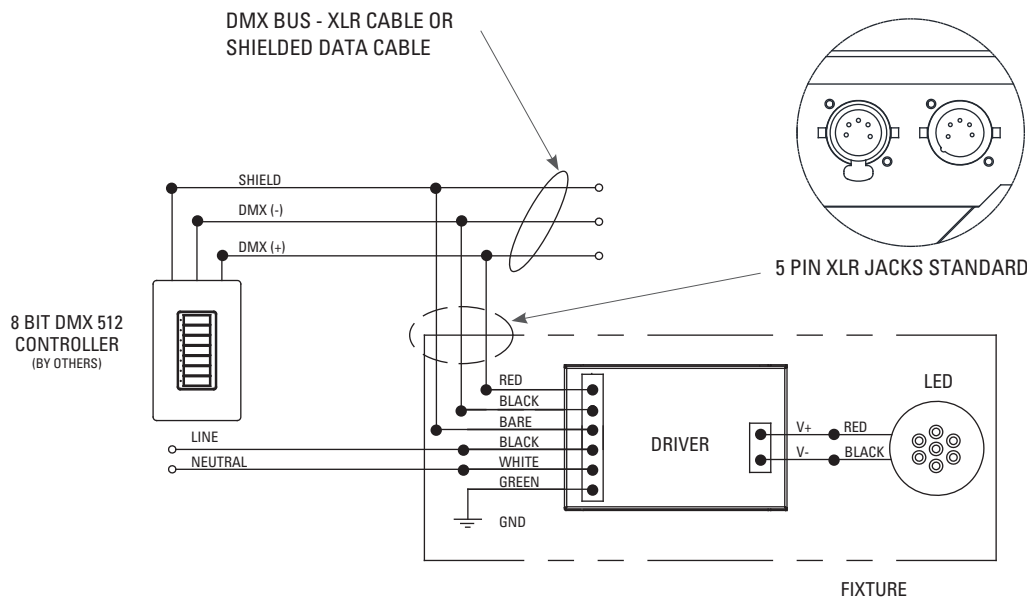
DMX BUS - XLR CABLE OR SHIELDED DATA CABLE

The data cable used must meet the following requirements:

- type: shielded, 2-conductor twisted pair
- maximum capacitance between conductors: 30 pF/ft
- maximum capacitance between conductor and shield: 55 pF/ft
- maximum resistance: 0.02 ohms/ft
- normal impedance: 100-140 ohms
- conductive core: 24 AWG is recommended

If 3-wire data cables are preferred, we suggest a Belden 9841 or equivalent cable which meets the specifications for EIA RS-485 applications. Do not use standard microphone cables: they cannot transmit DMX512 data reliably over long distances. NOTE: DMX link termination device (by others) should be used on last fixture in line on a circuit to avoid signal loss.

D8 / DIML8 / D8E DMX CONTROLS



DIMMING DRIVER WIRING SCHEMES:

NOTES:

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

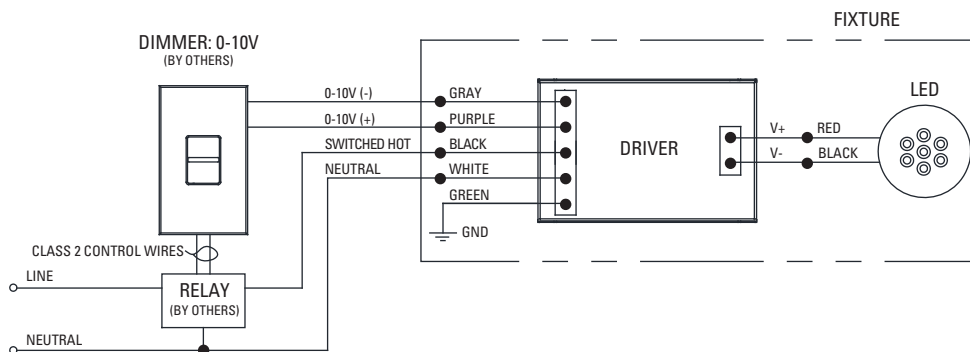
1. Keep these instructions in a safe place for future reference.
2. Only qualified electricians in accordance to local codes should install these fixtures.
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing.
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations.
5. Cap any wires not used separately (not together).

D15 / DIML15 LED: 0-10V, 347V Dimming Driver Wiring (Dims down to 1%) 347V Only

D15 / DIML15 Dimmer Compatibility Chart				
Manufacturer	Product	Dimmed Light Output Range	Qty Fixtures Per Dimmer*	
347			Use source current per fixture specification sheet to determine number of fixtures per dimmer. Max number of fixtures is limited by dimmer load rating.	
Acuity	Synergy ISD-BC	100% - 1%		
Douglas Lighting	WPN-5721, WPN-5822	100% - 1%		
Hubbell	Light Hawk2 LHD-IRS3-N347-xx	100% - 1%		
Leviton	Illumatech IP710-DLZ with 347V relay	100% - 1%		
Leviton	Centura Fluorescent Control System	100% - 1%		
Lutron	Nova NFTV-* dimmer plus 347V relay	100% - 1%		
Lutron	Diva DVTV-* dimmer plus 347V relay	100% - 1%		

* NOTE: Refer to dimmer manufacturer's documentation for installation instructions and circuit details.

D15 / DIML15 0-10V DIMMING W/RELAY TO SWITCH POWER



NOTE:

If switched, non-dimming operation is desired, cap off purple and gray wires individually at installation. Do NOT cap purple and gray wires together.

DIMMING DRIVER WIRING SCHEMES:

NOTES:

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

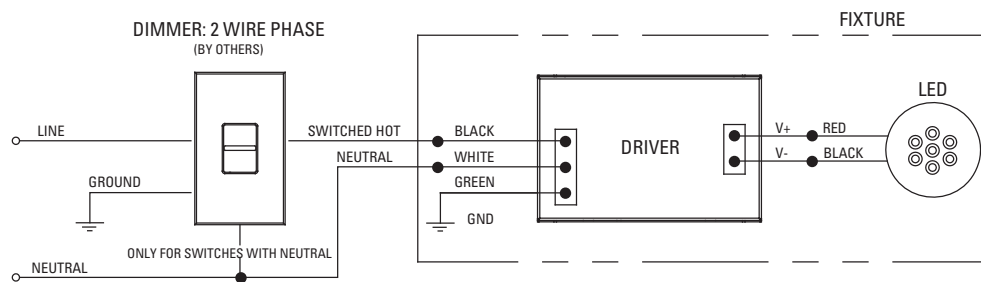
IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

1. Keep these instructions in a safe place for future reference.
2. Only qualified electricians in accordance to local codes should install these fixtures.
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing.
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations.
5. Cap any wires not used separately (not together).

D19 / DIML19 LED: Hatch XTC series or equivalent - Forward and Reverse Phase Dimming Driver.
Dims down to 1% contingent upon dimmer specification and load. 120V only.

**D19 / DIML19
2 WIRE PHASE DIMMING**



D19 / DIML19 Dimmer Compatibility Chart

120V ONLY		
Forward Phase / TRIAC Dimming		
Manufacturer	Product	Qty Fixtures Per Dimmer
Leviton	IPL06-10Z	Use fixture wattage per fixture specification sheet to determine number of fixtures per dimmer. Max number of fixtures is limited by dimmer load rating.
	6613-xxx	
Lutron	S-600P	
	S-603P	
	DV-600P	
	DV-603P	
	DVSC-603P	
	CT-600P	
	CT-603P	

120V ONLY		
Reverse Phase / ELV Dimming		
Manufacturer	Product	Qty Fixtures Per Dimmer
Leviton	6615	Use fixture wattage per fixture specification sheet to determine number of fixtures per dimmer. Max number of fixtures is limited by dimmer load rating.
	IPE04-xxx	
Lutron	NTELV-300	
	NTELV-600	
	SELV-300P	
	SELV-303P	
	DVELV-300P	
	DVELV-303P	

Cree Edge® Series

LED Area/Flood Luminaire



Rev. Date: V8 R2 08/29/2019

Product Description

The Cree Edge® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BRDSPK	Backlight Control Shields XA-20BLS-4 - Four-pack - Unpainted stainless steel
Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	

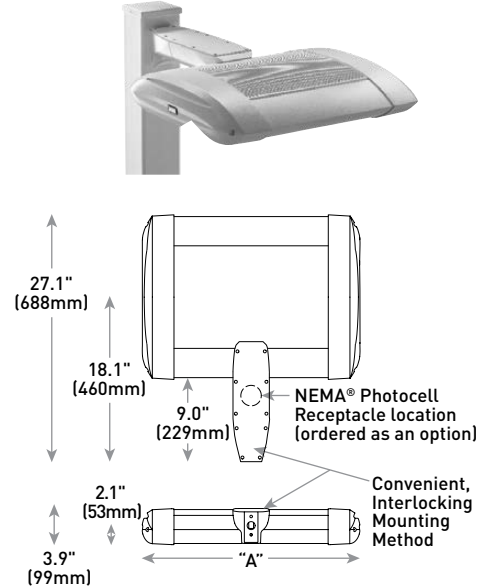
Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic			Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options	
ARE-EDG	2M Type II Medium w/BLS	3MB Type III Medium w/BLS	4MP Type IV Medium w/Partial BLS	AA Adjustable Arm	02 04 06 08 10 12 14 16	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA - Available with 20-60 LEDs	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current - Not available with PML options HL Hi/Low (Dual Circuit Input) - Refer to HL spec sheet for details - Sensor not included P Photocell - Refer to PML spec sheet for availability with PML options - Available with UL voltage only PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt	PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt R NEMA® 3-Pin Photocell Receptacle - 3-pin receptacle per ANSI C136.10 - Intended for downlight applications with maximum 45° tilt - Photocell and shorting cap by others - Refer to PML spec sheet for availability with PML options 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire
FLD-EDG	25 25° Flood	70 70° Flood	N6 NEMA® 6	AA Adjustable Arm SA Side Arm - Available with 20-60 LEDs							

* Reference EPA and pole configuration suitability data beginning on page 19

DA Mount



LED Count (x10)	Dim. "A"	Weight
02	12.1" [306mm]	21 lbs. (10kg)
04	12.1" [306mm]	24 lbs. (11kg)
06	14.1" [357mm]	27 lbs. (12kg)
08	16.1" [408mm]	28 lbs. (13kg)
10	18.1" [459mm]	32 lbs. (15kg)
12	20.1" [510mm]	34 lbs. (15kg)
14	22.1" [560mm]	37 lbs. (17kg)
16	24.1" [611mm]	41 lbs. (19kg)

AA/DL/SA Mount - see page 22 for weight & dimensions



US: creelighting.com [800] 236-6800

Canada: creelighting-canada.com [800] 473-1234

CREE LIGHTING

Product Specifications


CONSTRUCTION & MATERIALS

- Slim, low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3-6" (76-152mm) square or round pole and secures to pole with 5/16-18 UNC bolts spaced on 2" (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2" (51mm) IP, 2.375" (60mm) O.D. tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available
- **Weight:** See Dimensions and Weight Charts on pages 1 and 22

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in-luminaire fusing is required
- **Maximum 10V Source Current:** 20 LED (350mA): 10mA; 20 LED (525 & 700mA) and 40-80 LED: 0.15mA; 100-160 LED: 0.30mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA
-  **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*							
LED Count (x10)	System Watts 120-480V	Total Current [A]					
		120V	208V	240V	277V	347V	480V
350mA							
02	25	0.21	0.13	0.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	0.12
06	66	0.52	0.31	0.28	0.26	0.20	0.15
08	90	0.75	0.44	0.38	0.34	0.26	0.20
10	110	0.92	0.53	0.47	0.41	0.32	0.24
12	130	1.10	0.63	0.55	0.48	0.38	0.28
14	158	1.32	0.77	0.68	0.62	0.47	0.35
16	179	1.49	0.87	0.77	0.68	0.53	0.39
525mA							
02	37	0.30	0.19	0.17	0.16	0.12	0.10
04	70	0.58	0.34	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
08	133	1.13	0.66	0.58	0.51	0.39	0.28
10	171	1.43	0.83	0.74	0.66	0.50	0.38
12	202	1.69	0.98	0.86	0.77	0.59	0.44
14	232	1.94	1.12	0.98	0.87	0.68	0.50
16	263	2.21	1.27	1.11	0.97	0.77	0.56
700mA							
02	50	0.41	0.25	0.22	0.20	0.15	0.12
04	93	0.78	0.46	0.40	0.36	0.27	0.20
06	134	1.14	0.65	0.57	0.50	0.39	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

Cree Edge® Series Ambient Adjusted Lumen Maintenance¹					
Ambient	Initial LMF	25K hr Reported² LMF	50K hr Reported² LMF	75K hr Estimated³ LMF	100K hr Estimated³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions

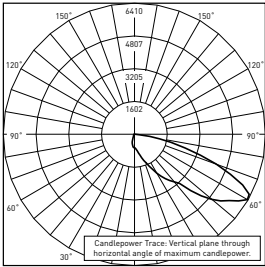
² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED

³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED

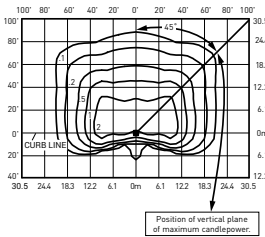
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

4MB



RESTL Test Report #: PL01023-002B
ARE-EDG-4MB-**-06-E-UL-525-40K
Initial Delivered Lumens: 7,985









ARE-EDG-4MB-**-10-E-UL-525-40K
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 13,185
Initial FC at grade





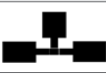




Type IV Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,884	B0 U0 G1	1,921	B0 U0 G1
04	3,768	B1 U0 G1	3,843	B1 U0 G1
06	5,588	B1 U0 G1	5,698	B1 U0 G2
08	7,450	B1 U0 G2	7,598	B1 U0 G2
10	9,291	B1 U0 G2	9,475	B1 U0 G2
12	11,149	B1 U0 G2	11,370	B1 U0 G2
14	12,924	B1 U0 G2	13,181	B1 U0 G2
16	14,771	B2 U0 G2	15,063	B2 U0 G2
525mA				
02	2,674	B0 U0 G1	2,730	B0 U0 G1
04	5,348	B1 U0 G1	5,460	B1 U0 G1
06	7,930	B1 U0 G2	8,096	B1 U0 G2
08	10,573	B1 U0 G2	10,794	B1 U0 G2
10	13,185	B1 U0 G2	13,461	B1 U0 G2
12	15,821	B2 U0 G3	16,153	B2 U0 G3
14	18,341	B2 U0 G3	18,726	B2 U0 G3
16	20,962	B2 U0 G3	21,401	B2 U0 G3
700mA				
02	3,156	B1 U0 G1	3,220	B1 U0 G1
04	6,311	B1 U0 G2	6,440	B1 U0 G2
06	9,359	B1 U0 G2	9,549	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit:
<https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Luminaire EPA

Fixed Arm Mount – ARE-EDG-DA						
LED Count (x10)	Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
						
02	0.60	0.87	1.20	1.47	1.47	1.75
04	0.60	0.87	1.20	1.47	1.47	1.75
06	0.60	0.92	1.20	1.51	1.51	1.83
08	0.60	0.96 N/A with 3" poles	1.20	1.55 N/A with 3" poles	1.55	1.91 N/A with 3" poles
10	0.60	1.00 N/A with 3" poles	1.20	1.60 N/A with 3" poles	1.60	2.00 N/A with 3" poles
12	0.60	1.04 N/A with 3" poles	1.20	1.64 N/A with 3" poles	1.64	2.08 N/A with 3" poles
14	0.60	1.08 N/A with 3" or 4" poles	1.20	1.68 N/A with 3" or 4" poles	1.68	2.16 N/A with 3" or 4" poles
16	0.60	1.12 N/A with 3" or 4" poles	1.20	1.72 N/A with 3" or 4" poles	1.72	2.24 N/A with 3" or 4" poles
Fixed Arm Mount – ARE-EDG-DL						
02	0.75	1.02	1.50	1.77	1.77	1.91
04	0.75	1.02	1.50	1.77	1.77	1.91
06	0.75	1.07	1.50	1.82	1.82	1.98
08	0.75	1.11	1.50	1.86	1.86	2.04
10	0.75	1.15	1.50	1.90	1.90	2.10
12	0.75	1.19	1.50	1.94	1.94	2.16
14	0.75	1.23	1.50	1.98	1.98	2.22
16	0.75	1.27	1.50	2.02	2.02	2.28

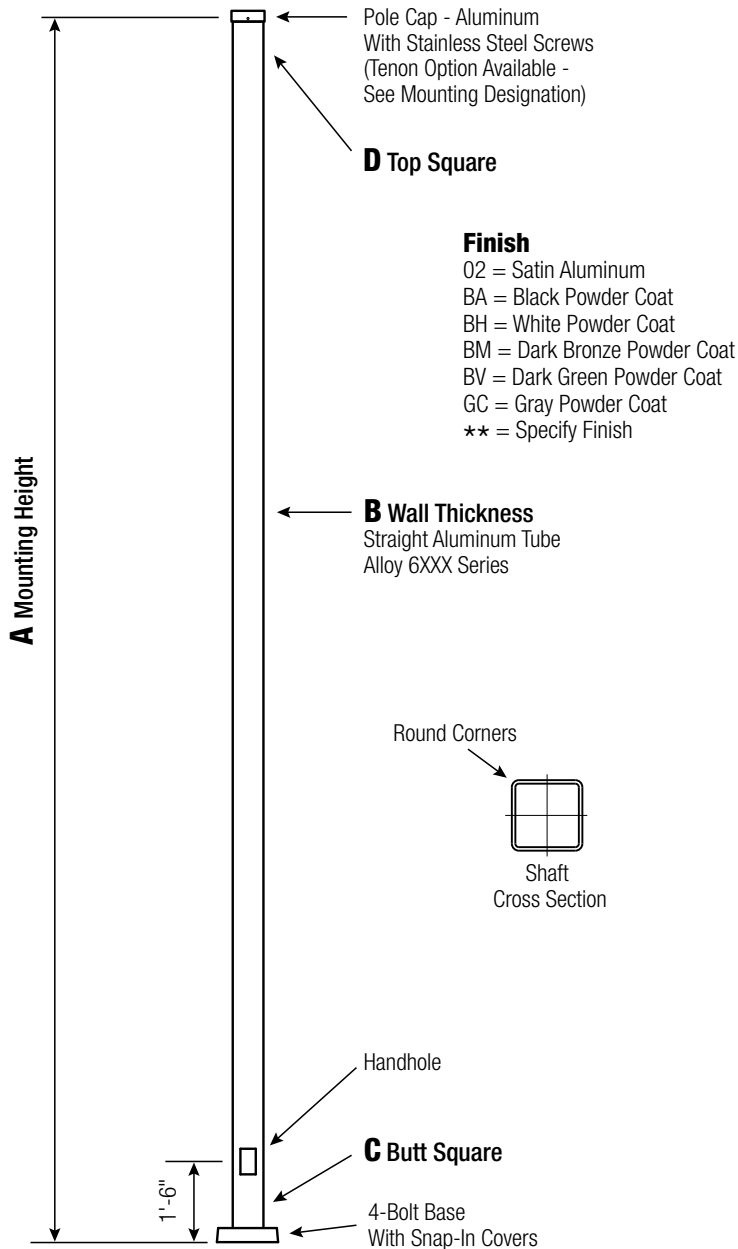
Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*[90]; PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*[180]; PB-4R2.375
0° Tilt									
02	0.66	0.98	1.32	1.32	1.77	1.64	1.98	1.91	2.64
04	0.66	0.98	1.32	1.32	1.64	1.64	1.98	1.97	2.64
06	0.66	1.02	1.32	1.32	1.68	1.68	1.98	2.05	2.64
08	0.66	1.07	1.32	1.32	1.80	1.72	1.98	2.29	2.64
10	0.66	1.11	1.32	1.32	1.76	1.76	1.98	2.21	2.64
12	0.66	1.15	1.32	1.32	1.80	1.80	1.98	2.29	2.64
14	0.66	1.19	1.32	1.32	1.84	1.84	1.98	2.38	2.64
16	0.66	1.23	1.32	N/A	1.89	1.89	N/A	2.46	N/A

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation

** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

SSA

Square Straight Aluminum Pole No Arm — 4-Bolt Base



WARNING:
Do not install light pole without luminaire.

Satin Aluminum or Powder Coated
Finish per Customer Specification.

A Mtg. Hgt.	B Wall Thickness	C Butt Square	TOTAL LUM. WEIGHT	MAXIMUM EPA					OLD CAT. NUMBER	CATALOG NUMBER
				90	100	110	120	130		
20	0.125"	4	40	5.0	3.4	2.8	1.8	-	11-183	SSA20B4-4-**

C Butt Sq.	D Top Sq.	F Bolt Cir. Dia.	G Base Sq.	H Bolt Proj.	I Bolt Size
4	4	8.5 - 9.5	9.875	1.5	.75 x 17 x 3

Dimensions in Inches

CUSTOMER NAME:	
PROJECT:	LOCATION:
NOTES:	QUANTITY:

SSA20B4-4

CATALOG NUMBER

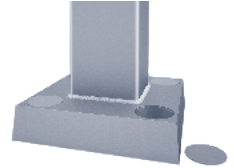
FINISH

Pole

The pole shaft will be constructed of seamless extruded tube of 6XXX Series Aluminum Alloy per the requirements of ASTM B221. The shaft assembly shall be full-length heat treated after base weld.

Base Style

4-Bolt Cast Aluminum
Base Flange of Alloy
356-T6 with Aluminum
Snap-In Bolt Covers.

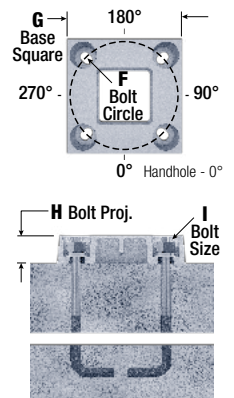


Handhole

2" x 4" Handhole with curved Lap Style Aluminum Door and two (2) Stainless Steel Self-Tapping Attaching Screws. A Grounding Provision incorporating a tapped 11/4"-20NC hole is provided opposite the Handhole.

Anchorage

Anchorage Kit will include four (4) L-shaped Steel Anchor Bolts conforming to AASHTO M314-90 Grade 55. Ten inches (10") of threaded end will be galvanized per ASTM A153. Kits will contain four (4) Hex Nuts, four (4) Lock Washers, and four (4) Flat Washers (all components Galvanized Steel). A bolt circle template will be provided.

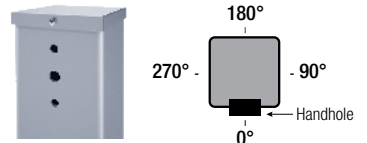


Vibration Damper

When determined necessary by Hapco, a Vibration Damper will be factory-installed inside the pole shaft. Customer specification of the damper is available.

Mounting Designation

Side Drill Mount - For Side Drill Mount applications specify luminaire type, quantity and orientation. A luminaire drilling template must be supplied at time of order.



Tenon Mount

For Tenon Mount applications specify both Tenon diameter (2.375", 2.875", 3.5", etc.) and length (3", 4", etc.).



EPA Notes: Effective Projected Area (EPA) in square feet. EPA's calculated using wind velocity (mph) indicated in accordance with 2009 AASHTO LTS-5 using a 25 year design life. Maximum EPA is based on the luminaire weight shown. Increased luminaire weight may reduce the maximum EPA. If weight is exceeded, or if other design life or code is required, please consult the factory.



26252 Hillman Highway
Abingdon, VA 24210
800.368.7171
www.hapco.com

Cree Edge® Series

LED Area/Flood Luminaire



Rev. Date: V8 R2 08/29/2019

Product Description

The Cree Edge® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BRDSPK	Backlight Control Shields XA-20BLS-4 - Four-pack - Unpainted stainless steel
Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	

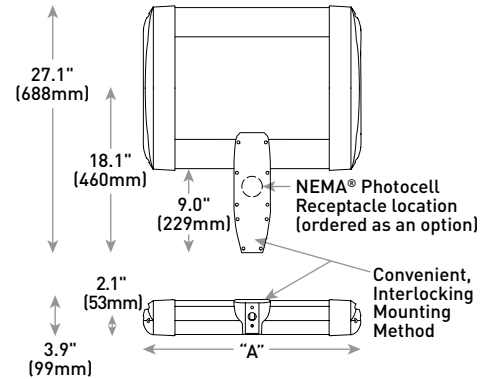
Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic			Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options	
ARE-EDG	2M Type II Medium w/BLS	3MB Type III Medium w/BLS	4MP Type IV Medium w/Partial BLS	AA Adjustable Arm	02	E	UL Universal 120-277V	BK Black	350 350mA	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current - Not available with PML options	PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt
	2MB Type II Medium w/BLS	3MP Type III Medium w/Partial BLS	5M Type V Medium	DA Direct Arm	04						
	2MP Type II Medium w/Partial BLS	4M Type IV Medium	5S Type V Short	DL Direct Long Arm	06						
	3M Type III Medium	4MB Type IV Medium w/BLS			08						
					10						
					12						
					14						
					16						
FLD-EDG	25 25° Flood	70 70° Flood	N6 NEMA® 6	AA Adjustable Arm		E	UL Universal 120-277V	BK Black	350 350mA	HL Hi/Low (Dual Circuit Input) - Refer to HL spec sheet for details - Sensor not included	R NEMA® 3-Pin Photocell Receptacle - 3-pin receptacle per ANSI C136.10 - Intended for downlight applications with maximum 45° tilt - Photocell and shunting cap by others - Refer to PML spec sheet for availability with PML options
	40 40° Flood	SN Sign		SA Side Arm - Available with 20-60 LEDs							
										P Photocell - Refer to PML spec sheet for availability with PML options - Available with UL voltage only	40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire
										PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt	

* Reference EPA and pole configuration suitability data beginning on page 19

DA Mount



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

AA/DL/SA Mount - see page 22 for weight & dimensions



US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

CREE LIGHTING

Product Specifications


CONSTRUCTION & MATERIALS

- Slim, low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3-6" (76-152mm) square or round pole and secures to pole with 5/16-18 UNC bolts spaced on 2" (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2" (51mm) IP, 2.375" (60mm) O.D. tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available
- **Weight:** See Dimensions and Weight Charts on pages 1 and 22

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in-luminaire fusing is required
- **Maximum 10V Source Current:** 20 LED (350mA): 10mA; 20 LED (525 & 700mA) and 40-80 LED: 0.15mA; 100-160 LED: 0.30mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA
-  **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*							
LED Count (x10)	System Watts 120-480V	Total Current (A)					
		120V	208V	240V	277V	347V	480V
350mA							
02	25	0.21	0.13	0.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	0.12
06	66	0.52	0.31	0.28	0.26	0.20	0.15
08	90	0.75	0.44	0.38	0.34	0.26	0.20
10	110	0.92	0.53	0.47	0.41	0.32	0.24
12	130	1.10	0.63	0.55	0.48	0.38	0.28
14	158	1.32	0.77	0.68	0.62	0.47	0.35
16	179	1.49	0.87	0.77	0.68	0.53	0.39
525mA							
02	37	0.30	0.19	0.17	0.16	0.12	0.10
04	70	0.58	0.34	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
08	133	1.13	0.66	0.58	0.51	0.39	0.28
10	171	1.43	0.83	0.74	0.66	0.50	0.38
12	202	1.69	0.98	0.86	0.77	0.59	0.44
14	232	1.94	1.12	0.98	0.87	0.68	0.50
16	263	2.21	1.27	1.11	0.97	0.77	0.56
700mA							
02	50	0.41	0.25	0.22	0.20	0.15	0.12
04	93	0.78	0.46	0.40	0.36	0.27	0.20
06	134	1.14	0.65	0.57	0.50	0.39	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

Cree Edge® Series Ambient Adjusted Lumen Maintenance¹					
Ambient	Initial LMF	25K hr Reported² LMF	50K hr Reported² LMF	75K hr Estimated³ LMF	100K hr Estimated³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions

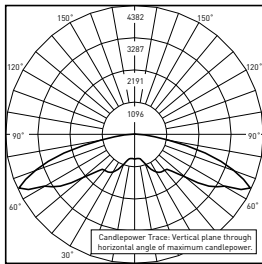
² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED

³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED

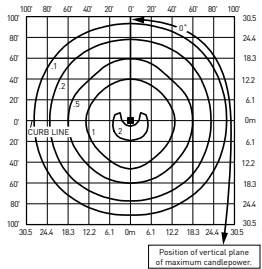
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

5M



RESTL Test Report #: PL09285-001
ARE-EDG-5M-**-06-E-UL-700-40K
Initial Delivered Lumens: 13,136













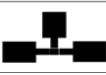




ARE-EDG-5M-**-10-E-UL-525-40K
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 18,413
Initial FC at grade

Type V Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,631	B2 U0 G1	2,683	B2 U0 G1
04	5,262	B3 U0 G1	5,367	B3 U0 G1
06	7,804	B3 U0 G2	7,958	B3 U0 G2
08	10,405	B4 U0 G2	10,611	B4 U0 G2
10	12,975	B4 U0 G2	13,232	B4 U0 G2
12	15,570	B4 U0 G3	15,878	B4 U0 G3
14	18,049	B4 U0 G3	18,407	B4 U0 G3
16	20,628	B5 U0 G3	21,037	B5 U0 G3
525mA				
02	3,734	B2 U0 G1	3,812	B2 U0 G1
04	7,468	B3 U0 G2	7,625	B3 U0 G2
06	11,074	B4 U0 G2	11,306	B4 U0 G2
08	14,766	B4 U0 G2	15,075	B4 U0 G3
10	18,413	B4 U0 G3	18,799	B4 U0 G3
12	22,096	B5 U0 G3	22,558	B5 U0 G3
14	25,615	B5 U0 G3	26,151	B5 U0 G3
16	29,274	B5 U0 G3	29,887	B5 U0 G3
700mA				
02	4,407	B3 U0 G1	4,497	B3 U0 G1
04	8,814	B3 U0 G2	8,993	B3 U0 G2
06	13,070	B4 U0 G2	13,336	B4 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit:
<https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Luminaire EPA

Fixed Arm Mount – ARE-EDG-DA						
LED Count (x10)	Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
						
02	0.60	0.87	1.20	1.47	1.47	1.75
04	0.60	0.87	1.20	1.47	1.47	1.75
06	0.60	0.92	1.20	1.51	1.51	1.83
08	0.60	0.96 N/A with 3" poles	1.20	1.55 N/A with 3" poles	1.55	1.91 N/A with 3" poles
10	0.60	1.00 N/A with 3" poles	1.20	1.60 N/A with 3" poles	1.60	2.00 N/A with 3" poles
12	0.60	1.04 N/A with 3" poles	1.20	1.64 N/A with 3" poles	1.64	2.08 N/A with 3" poles
14	0.60	1.08 N/A with 3" or 4" poles	1.20	1.68 N/A with 3" or 4" poles	1.68	2.16 N/A with 3" or 4" poles
16	0.60	1.12 N/A with 3" or 4" poles	1.20	1.72 N/A with 3" or 4" poles	1.72	2.24 N/A with 3" or 4" poles
Fixed Arm Mount – ARE-EDG-DL						
02	0.75	1.02	1.50	1.77	1.77	1.91
04	0.75	1.02	1.50	1.77	1.77	1.91
06	0.75	1.07	1.50	1.82	1.82	1.98
08	0.75	1.11	1.50	1.86	1.86	2.04
10	0.75	1.15	1.50	1.90	1.90	2.10
12	0.75	1.19	1.50	1.94	1.94	2.16
14	0.75	1.23	1.50	1.98	1.98	2.22
16	0.75	1.27	1.50	2.02	2.02	2.28

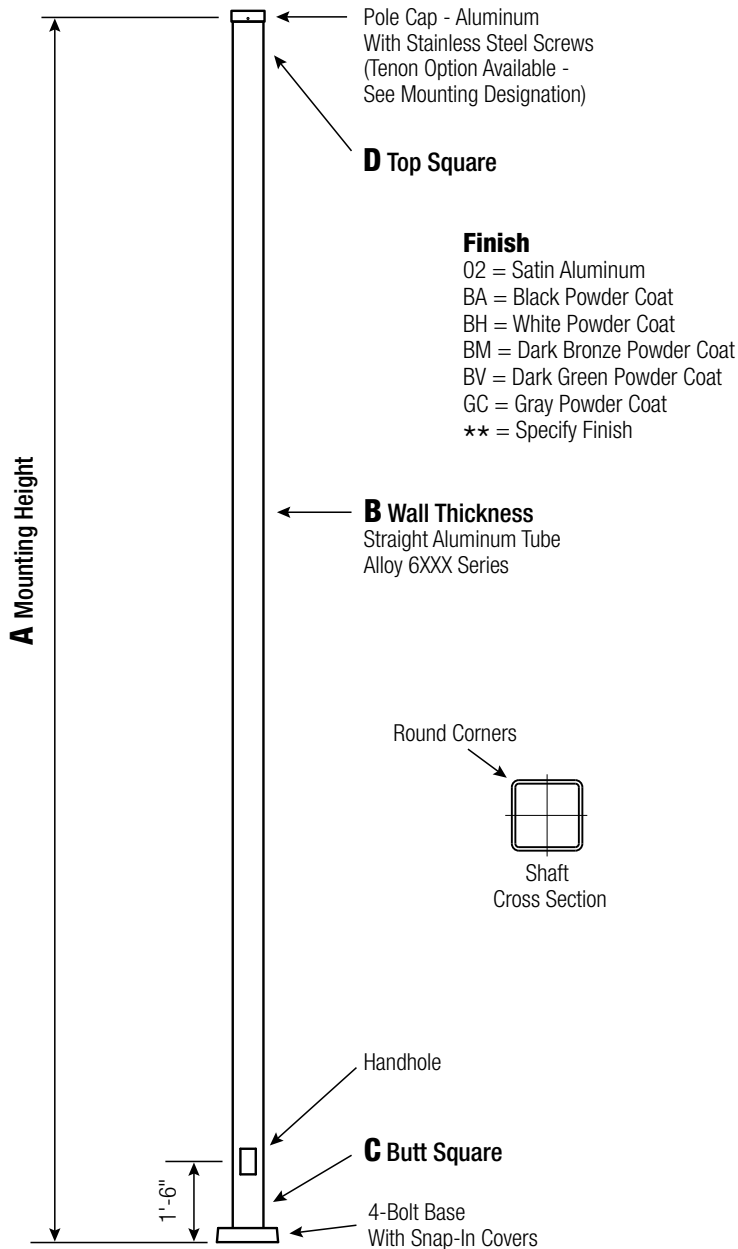
Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*[90]; PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*[180]; PB-4R2.375
0° Tilt									
02	0.66	0.98	1.32	1.32	1.77	1.64	1.98	1.91	2.64
04	0.66	0.98	1.32	1.32	1.64	1.64	1.98	1.97	2.64
06	0.66	1.02	1.32	1.32	1.68	1.68	1.98	2.05	2.64
08	0.66	1.07	1.32	1.32	1.80	1.72	1.98	2.29	2.64
10	0.66	1.11	1.32	1.32	1.76	1.76	1.98	2.21	2.64
12	0.66	1.15	1.32	1.32	1.80	1.80	1.98	2.29	2.64
14	0.66	1.19	1.32	1.32	1.84	1.84	1.98	2.38	2.64
16	0.66	1.23	1.32	N/A	1.89	1.89	N/A	2.46	N/A

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation

** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

SSA

Square Straight Aluminum Pole No Arm — 4-Bolt Base



WARNING:
Do not install light pole without luminaire.

Satin Aluminum or Powder Coated
Finish per Customer Specification.

A Mtg. Hgt.	B Wall Thickness	C Butt Square	TOTAL LUM. WEIGHT	MAXIMUM EPA					OLD CAT. NUMBER	CATALOG NUMBER
				90	100	110	120	130		
20	0.125"	4	40	5.0	3.4	2.8	1.8	-	11-183	SSA20B4-4-**

C Butt Sq.	D Top Sq.	F Bolt Cir. Dia.	G Base Sq.	H Bolt Proj.	I Bolt Size
4	4	8.5 - 9.5	9.875	1.5	.75 x 17 x 3

Dimensions in Inches

CUSTOMER NAME:	
PROJECT:	LOCATION:
NOTES:	QUANTITY:

SSA20B4-4

CATALOG NUMBER

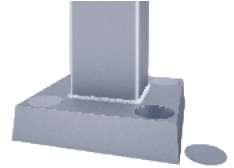
FINISH

Pole

The pole shaft will be constructed of seamless extruded tube of 6XXX Series Aluminum Alloy per the requirements of ASTM B221. The shaft assembly shall be full-length heat treated after base weld.

Base Style

4-Bolt Cast Aluminum
Base Flange of Alloy
356-T6 with Aluminum
Snap-In Bolt Covers.

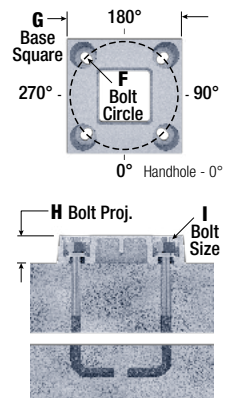


Handhole

2" x 4" Handhole with curved Lap Style Aluminum Door and two (2) Stainless Steel Self-Tapping Attaching Screws. A Grounding Provision incorporating a tapped 11/4"-20NC hole is provided opposite the Handhole.

Anchorage

Anchorage Kit will include four (4) L-shaped Steel Anchor Bolts conforming to AASHTO M314-90 Grade 55. Ten inches (10") of threaded end will be galvanized per ASTM A153. Kits will contain four (4) Hex Nuts, four (4) Lock Washers, and four (4) Flat Washers (all components Galvanized Steel). A bolt circle template will be provided.

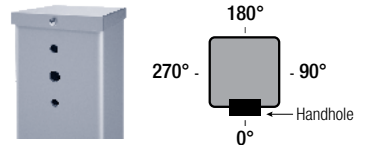


Vibration Damper

When determined necessary by Hapco, a Vibration Damper will be factory-installed inside the pole shaft. Customer specification of the damper is available.

Mounting Designation

Side Drill Mount - For Side Drill Mount applications specify luminaire type, quantity and orientation. A luminaire drilling template must be supplied at time of order.



Tenon Mount

For Tenon Mount applications specify both Tenon diameter (2.375", 2.875", 3.5", etc.) and length (3", 4", etc.).



EPA Notes: Effective Projected Area (EPA) in square feet. EPA's calculated using wind velocity (mph) indicated in accordance with 2009 AASHTO LTS-5 using a 25 year design life. Maximum EPA is based on the luminaire weight shown. Increased luminaire weight may reduce the maximum EPA. If weight is exceeded, or if other design life or code is required, please consult the factory.



26252 Hillman Highway
Abingdon, VA 24210
800.368.7171
www.hapco.com

MIMIK 10 BOLLARD

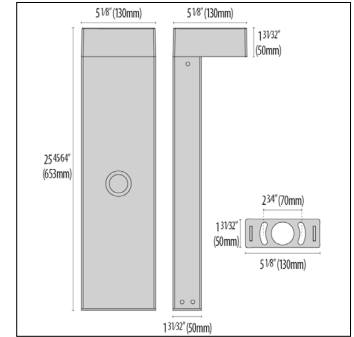


MIMIK 10 BOLLARD 600 SENSOR



Landscaping LED bollard luminaire comprising:

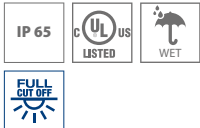
- Painted die-cast aluminium housing and cover
- Painted extruded aluminium pole
- Powder polyester painting process optimized against UV rays in 13 different steps
- Tempered glass diffuser, printed
- Reflector in satin finish pure aluminium (Al 99.98)
- Silicone gasket
- Stainless steel locking screws
- Base plate included
- Version is available with low and line voltage passive infrared fixture integrated motion sensor (Wattstopper)
- Complying with the recommendations for glare control and upward light pollution



- AN-96 / IRON GRAY / TEXTURED
 - GR-94 / ALUMINUM METALLIC / TEXTURED
- On request:
- RB-10 / IRON RUST (BRONZE) / TEXTURED
 - WH-87 / WHITE / TEXTURED
 - BK-81 / TEXTURED BLACK / TEXTURED

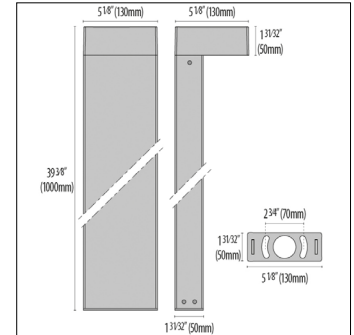
LAMPOLDER	POWER	VOLTAGE	CRI	KELVIN	OPTIC TYPE	OPTIC BEAM	LIGHTSOURCE LUMEN OUTPUT	LUMINAIRE LUMEN OUTPUT	L	B	LIFETIME	FINISH	PART NUMBER
HIGH POWER LEDS 120/277 V													
LED	11 W	120/277V	70	3000	-	-	1006 lm	744 lm	10	60000 h		●	071820
LED	11 W	120/277V	70	4000	-	-	1075 lm	915 lm	10	60000 h		●	071824
LED	11 W	120/277V	70	3000	-	-	1006 lm	744 lm	10	60000 h		●	071818
LED	11 W	120/277V	70	4000	-	-	1075 lm	915 lm	10	60000 h		●	071822

MIMIK 10 BOLLARD 1000



Landscaping LED bollard luminaire comprising:

- Painted die-cast aluminium housing and cover
- Painted extruded aluminium pole
- Powder polyester painting process optimized against UV rays in 13 different steps
- Tempered glass diffuser, printed
- Reflector in satin finish pure aluminium (Al 99.98)
- Silicone gasket
- Stainless steel locking screws
- Base plate included
- Complying with the recommendations for glare control and upward light pollution



- AN-96 / IRON GRAY / TEXTURED
 - GR-94 / ALUMINUM METALLIC / TEXTURED
- On request:
- RB-10 / IRON RUST (BRONZE) / TEXTURED
 - WH-87 / WHITE / TEXTURED
 - BK-81 / TEXTURED BLACK / TEXTURED

LAMPOLDER	POWER	VOLTAGE	CRI	KELVIN	OPTIC TYPE	OPTIC BEAM	LIGHTSOURCE LUMEN OUTPUT	LUMINAIRE LUMEN OUTPUT	L	B	LIFETIME	FINISH	PART NUMBER
HIGH POWER LEDS 120/277 V													
LED	11 W	120/277V	70	3000	-	-	1006 lm	744 lm	10	60000 h		●	071812
LED	11 W	120/277V	70	4000	-	-	1075 lm	915 lm	10	60000 h		●	071816
LED	11 W	120/277V	70	3000	-	-	1006 lm	744 lm	10	60000 h		●	071804
LED	11 W	120/277V	70	4000	-	-	1075 lm	915 lm	10	60000 h		●	071814

PROVIDE WITH OPTIONAL BASE PLATE

Date: _____ Customer: _____
 Project: _____
 Type: _____ Qty: _____

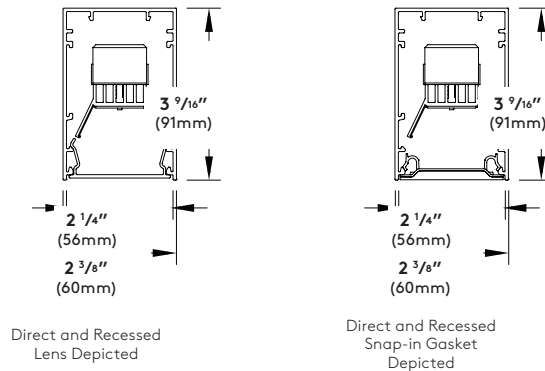
selux

M60
 LED Direct
 Wet Location



Order Code: L60W - - - - -

L60W	Series	L60W M60 LED Direct Wet Location													
	Light Engine	1B45 ^{1,2,3} 789lm/11.1W per foot		1B40 ^{1,2,3} 713lm/9.8W per foot		1B35 ¹ 628lm/8.6W per foot		1B30 ^{1,2} 536lm/7.2W per foot		1B25 ^{1,2} 481lm/6.4W per foot		1B20 ^{1,2} 363lm/4.7W per foot		¹ Values calculated from a 4' fixture at 4000K using LW Shielding and DIM driver. For additional information please see page 2. ² Available starting at 2' and up. ³ Not available with Lutron.	
	CCT	27 2700K		30 3000K		35 3500K		40 4000K							
	Shielding	LW LED Optimized white lens		MI ⁴ Clear Lens with Microprism		NB ⁴ LMO Symmetric		A2 ⁴ LMO Asymmetric 20° Wall Washer		A5 ⁴ LMO Asymmetric 5° Wall Grazer		BW ⁴ LMO Batwing		⁴ See page 2 for details.	
	Mounting	RS Rigid Stem Mount		W Wall Mount		F Surface Mount		VF Vertical Surface Mount							
	Nominal Fixture Length	01* 1 ft.	02 2 ft.	03 3 ft.	04 4 ft.	05 5 ft.	06 6 ft.	07 7 ft.	08 8 ft.	09 9 ft.	10 10 ft.	11 11 ft.	12 12 ft.	XX Runs (over 12') round up to the nearest foot and replace the "xx" with the # (i.e. 13=13' nominal)	
		^{*1'} fixture only available with 1B35 light engine. Individual fixtures and Runs are supplied in nominal lengths to ensure full, even, illumination. See pages 2 through 6 for additional details.													
	Finish	WH White		BK Black		BL Semi-Matte Black		SV Silver		SP Specify Premium Color		Custom colors are available, Please consult factory			
	Voltage	120 120 Volt		277 277 Volt		UNV 120 through 277 50/60hz capable		347 ⁵ 347V (consult factory)						⁵ 347V not available with EM internal battery option	
	Driver	DIM ⁶ 0-10V (Linear)		DM ^{6,7,10} eldoLED SOLOdrive 0-10V (Linear)		DML ^{6,7,10} eldoLED SOLOdrive 0-10V (Logarithmic)		DMD ^{6,7,10} eldoLED DALI (Logarithmic)		DC2 ^{6,7,8,9} Lutron 2-Wire		DE1 ^{6,7,9} Lutron 5-Series		DC5 ^{7,9} Lutron Eco-System* (consult factory)	⁶ See page 7 for full details ⁷ Not available for 1' length ⁸ 120V only ⁹ Not available with 1B45 or 1B40 ¹⁰ EM option not available in 4' length
	Fixture Options	FS ¹¹ In-line Fuse		SS ¹¹ Separate Switching		TR ¹¹ Tamper Resistant ¼" End Cap		EFC 1/2" Conduit End Feed (consult factory)						¹¹ See page 8 for full details and restrictions	
	Emergency Options	EC ^{13,14} Emergency Circuit Wiring		EMR ¹⁴ Remote Micro Inverter (consult factory)		EM ^{13,14,15} Integral EM battery pack						¹³ See page 8 for full details and restrictions ¹⁴ For EM with sensors please consult factory ¹⁵ 4' available with DIM driver only. 26' available with all driver options.			



Construction:

Housing - Continuous, low copper 6063-T6 extruded aluminum profile with aluminum endcaps, available as Individual fixtures (up to 12') or Runs.

Geartray - Low copper 6063-T6 extruded aluminum profile

Shielding - Extruded, impact resistant acrylic lens:

- LED Optimized White Lens (LW)
- Clear Lens with Microprism (MI)

* Please note that the snap-in cover is a frosted acrylic, and will not match the visual appearance of the MI Lens.

"LMO" refers to the Selux proprietary LED optical system - Light modulation optics. These lenses are offered in M60 behind a Satine Lens for even illumination and comfortable lit appearance.

- "LMO" symmetric lens (NB)
- "LMO" Asymmetric 20° wall washer (A2)
- "LMO" Asymmetric 5° wall grazer (A5)
- "LMO" Batwing (BW)

Gasketing - Frosted acrylic snap-in cover at ends and each joint, combined with transmissive gasket ensures ease of installation and a clean, illuminated surface.

*Housings other than White may have additional shadowing at the cover plates.

Tamper Resistant - Aluminum plates with gasket and tamper-resistant hardware replaces the snap-in cover at ends and joints. Painted housing color by default.

Mounting(s) - Ø5/8" Rigid Steel Stem (RS), Wall Bracket (W), Surface mount (VF or F mountings), See pages 2 through 6 for details.

** Stem and Wall mountings may not be symmetrical for Runs due to the use of modular housing lengths. If symmetrical suspensions are required please consult the factory. Surface mount on wall in vertical position only (VF).

Standard Luminaire lengths - All standard luminaires are supplied in nominal lengths to ensure full, even, illumination. Runs are available in approximately 1/4" increments starting at the nominal 12' fixture length.

** Individual luminaires are not joinable in the field.

Exact Luminaire lengths - Individual luminaires and Runs are available in exact lengths to meet your project needs. Please consult factory with your requirements.
** Lens luminance may soften at the very ends of the straight sections for exact length luminaires.

L60W Joiner(s) - Runs are supplied in multiple housings that are joined together in the field using the supplied L60W Joiner System. This allows ease of installation and ensures a uniform appearance (see page 8 for detail).

Weight: 2.4 lb. per foot.

Electrical/Performance:

LED Light Engine - Brand-name mid-power LEDs create a high efficiency LED light engine able to provide a lumen maintenance of 96% at 25,000 hours and 92% at 60,000 hours at 25°C per TM-21 reports. Reported L70 greater than 60,000 hours

Delivered Lumens - Due to LED manufacturer's tolerances the listed output has a ±5% tolerance. For outputs based on different shielding or CCT please see photometry section at the end.

CCT - Available in 2700K, 3000K, 3500K and 4000K, tolerance within a 3-step MacAdam ellipse.

CRI - Min. 90.

All Drivers - High efficiency, constant current, soft start, Electronic Class 2 with a PFC>0.90. For more detailed information on the available drivers please see page 7.

Emergency - There are multiple emergency options available - emergency circuit, remote micro inverter, and integral battery pack. All options compliant with UL 924 listed emergency luminaire. Please consult factory for use of sensors with emergency options. For more details on EC and EM options, see page 8.

Thermal Performance:

Ambient Operating Temperature - Luminaires suitable for maximum ambient temperature of 35°C (95°F) for all drivers.

Luminaires are suitable for minimum ambient temperatures of:

-40°C (-40°F) for DIM, DM, DML, and DMD drivers. 0°C (32°F) for DC2 and DE1 drivers.

Luminaire Finish:

Powder Coat - All Selux luminaries are finished in high quality polyester powder coating in our Tiger Drylac certified facility and are tested in accordance with test specifications for coatings from ASTM and PCI.

All products undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated, and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention.

Standard interior colors are White (WH), Black (BK), Semi-Matte Black (BL), and Silver (SV). Selux premium colors (SP) are available, please specify from your Selux color selection guide. Housing colors other than White may have additional shadowing at the cover plates.

Warranty:

5 Year Limited LED Luminaire Warranty -

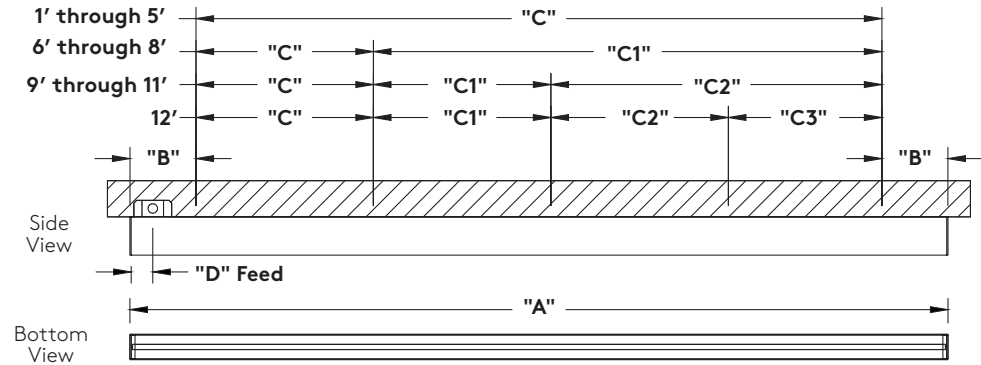
Selux offers a 5 Year Limited Warranty to the original purchaser that the M60 series LED luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LED light engine when installed according to Selux instructions and operated within the Ambient Temperature. For additional details and exclusions, see "Selux Terms and Condition of Sale."

Certifications and Compliance:

NRTL - For Dry, Damp, and Wet location (I.E. cULus; cCSAus)
Suitable for stem mount, surface mount (including vertical wall mount and wall mount) for wet locations.

ADA Compliant
ARRA Compliant
RoHS Compliant

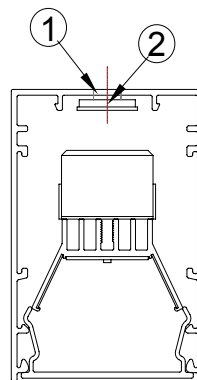
Surface Mounting (F) - 1' to 12'



Surface Mount (F) - Dimensions														
Nominal Length	"A" Housing Length		* "B" (Ref.) End Suspensions		"C" Mid. Suspension		"C1" Mid. Suspension		"C2" Mid. Suspension		"C3" Mid. Suspension		"D" Feed Location	
	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM
01 (1 ft.)	1' - 5/16"	313	0' - 1 5/8"	41	0' - 9 1/8"	231	N/A		N/A		N/A		0' - 4 1/8"	105
02 (2 ft.)	2' - 1/4"	616	0' - 1 5/8"	41	1' - 9"	534	N/A		N/A		N/A		0' - 4 1/8"	105
03 (3 ft.)	3' - 5/16"	923	0' - 6 1/8"	156	2' - 1/8"	612	N/A		N/A		N/A		0' - 2 1/8"	54
04 (4 ft.)	3' - 11 7/16"	1205	0' - 6 1/8"	156	2' - 11 3/16"	894	N/A		N/A		N/A		0' - 2 1/8"	54
05 (5 ft.)	4' - 11 7/16"	1510	0' - 6 1/8"	156	3' - 11 3/16"	1199	N/A		N/A		N/A		0' - 2 1/8"	54
06 (6 ft.)	5' - 11 7/16"	1815	0' - 6 1/8"	156	3'	914	1' - 11 3/16"	590	N/A		N/A		0' - 2 1/8"	54
07 (7 ft.)	6' - 11 7/16"	2119	0' - 6 1/8"	156	3'	914	2' - 11 3/16"	894	N/A		N/A		0' - 2 1/8"	54
08 (8 ft.)	7' - 11 7/16"	2424	0' - 6 1/8"	156	3'	914	3' - 11 3/16"	1199	N/A		N/A		0' - 2 1/8"	54
09 (9 ft.)	8' - 11 7/16"	2729	0' - 6 1/8"	156	3'	914	3'	914	1' - 11 3/16"	590	N/A		0' - 2 1/8"	54
10 (10 ft.)	9' - 11 7/16"	3034	0' - 6 1/8"	156	3'	914	3'	914	2' - 11 3/16"	894	N/A		0' - 2 1/8"	54
11 (11 ft.)	10' - 11 7/16"	3338	0' - 6 1/8"	156	3'	914	3'	914	3' - 11 3/16"	1199	N/A		0' - 2 1/8"	54
12 (12 ft.)	11' - 11 7/16"	3643	0' - 6 1/8"	156	3'	914	3'	914	3'	914	1' - 11 3/16"	590	0' - 2 1/8"	54

*Dimension(s) rounded to the nearest 1/16" with a ± 1/16 (1mm) tolerance.

Surface Mount (F)



1. Ø5/16" Mounting hole drilled at the factory (mounting hardware to code by others).
2. 1/4"-20 sealing washer (supplied by Selux, installed by others).

*Please note: Fixture does not cover a 4x4 J-box

Drivers:

0-10V linear dimming (DIM)

Luminaires supplied with drivers offering the capability of either normal switched operation or 0-10V dimming for linear dimming curve. Fixtures ship wired for dimming. For on/off functionality, simply cap the dimming leads. Minimum dimming level preset at factory to 1%. (Due to size constraints, 1' luminaires are supplied with a driver from a different manufacturer than 2' and above luminaires. For details, please consult factory.

eldoLED SOLOdrive 0-10V linear dimming (DM)

Luminaires supplied with SOLOdrive 0-10V dimming driver for linear dimming curve. Minimum dimming level preset at factory to 1%. For "dim to dark" (down to 0.1%), please consult factory.

eldoLED SOLOdrive 0-10V logarithmic dimming (DML)

Luminaires supplied with SOLOdrive 0-10V dimming driver for logarithmic dimming curve. Minimum dimming level preset at factory to 1%. For "dim to dark" (down to 0.1%), please consult factory.

eldoLED SOLOdrive DALI dimming (DMD)

Luminaires supplied with SOLOdrive DALI dimming driver for logarithmic dimming curve. Minimum dimming level preset at factory to 1%. For "dim to dark" (down to 0.1%), please consult factory.

*For control recommendations for eldoLED drivers, please consult eldoLED.

LUTRON 2-wire dimming (DC2)

Luminaires supplied with Hi-lume 2-wire dimming driver (120V only) programmed for Constant Current Reduction (CCR). For Pulse Width Modulation (PWM) dimming, please consult factory. Minimum dimming level down to 1%.

LUTRON Ecosystem dimming (DE1)

Luminaires supplied with Hi-Lume EcoSystem (4 wire, digital link) dimming driver programmed for Constant Current Reduction (CCR). For Pulse Width Modulation (PWM) dimming, please consult factory. Minimum dimming level down to 1% with SoftOn/FadeToBlack.

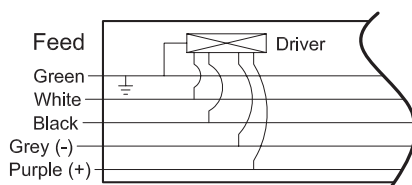
*For control recommendations and system layout for Lutron drivers, please contact Lutron.

Driver Quantity													
	1 ft.	2 ft.	3 ft.	4 ft.	5 ft.	6 ft.	7 ft.	8 ft.	9 ft.	10 ft.	11 ft.	12 ft.	RUN
DIM	1	1	1	1	2	2	2	2	3	3	3	3	Approximately 1 driver per 4 ft.
DM, DML, and DMD drivers	N/A	1	1	1	1	1	2	2	2	2	3	3	Approximately 1 driver per 4 ft.
DC2 and DE1 drivers	N/A	1	1	1	2	2	2	2	3	3	3	3	Consult Factory

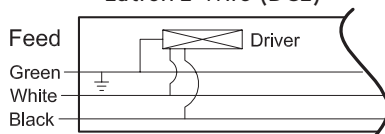
*For inrush and control current, please refer to the driver manufacturers' spec sheets.

Wiring Diagrams

0-10V linear (DIM)
0-10V linear eldoLED SOLOdrive (DM)
0-10V logarithmic eldoLED SOLOdrive (DML)
DALI eldoLED SOLOdrive (DMD)
Philips SR DALI (SR)

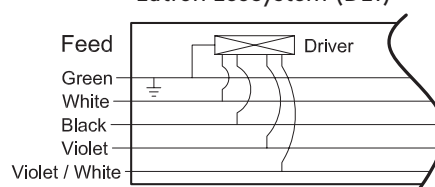


Lutron 2-Wire (DC2)



Standard Wiring supplied for all drivers.	Green = Ground White = Neutral Black = Hot
- The following wire(s) are in addition to the standard above	
DIM, DM, DML, DMD & SR	Gray = (-) DALI or 0-10V Dimming Control Purple = (+) DALI or 0-10V Dimming Control
DC2	No additional wires
DE1	Violet = "E1" Digital Link Dimming Control Violet/White = "E2" Digital Link Dimming Control

Lutron EcoSystem (DE1)



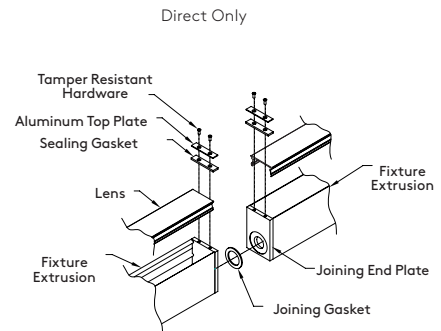
Fuse (FS) - Fusing, luminaires supplied with a in-line fuse located on the hot wire for each feed. (supplied with an 8A slow burn fuse).

Separate Switching (SS) - Luminaires available with separately switched 4' (nominal) sections starting at 7' and up. Luminaire is intended to be wired to the same panel/breaker (not intended for Emergency use).

- To specify this option, the number of separately switched sections and locations of these sections must be provided at time of order.

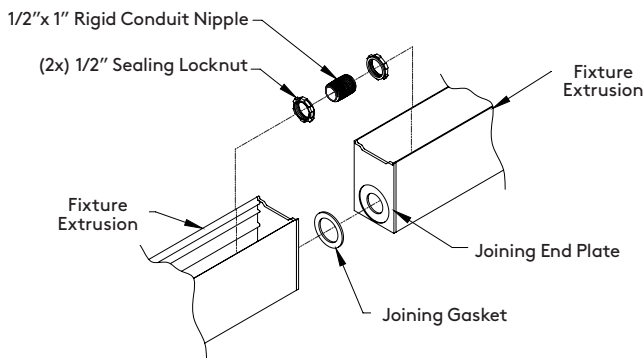
* If the project requires different separate switching than outlined above please consult the factory.

Tamper Resistant (TR)



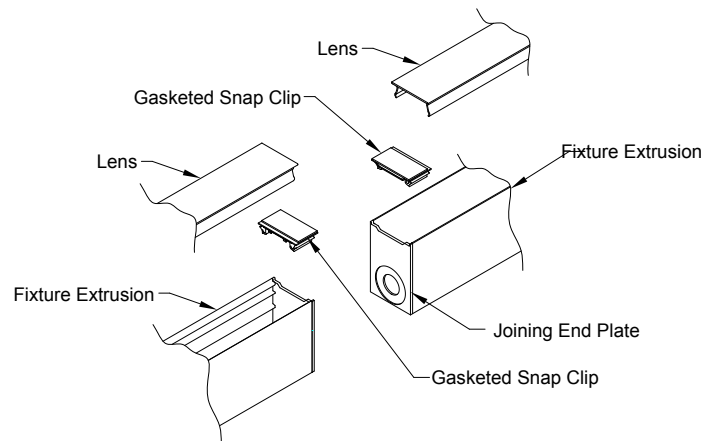
Joiner System - standard for Runs

L60W Joining Detail



Snap-In Cover and Gasket

L60W Lens and Gasketed Snap Clip Detail



Emergency Circuit (EC) - Luminaires with EC option compliant to UL 924 listed emergency luminaire. EC luminaires are intended to be wired to separate panels/breakers for emergency use.

- For 1' to 6' nominal luminaires, the entire fixture is wired for operation on emergency circuit.

- For 7' and up nominal luminaires, the first 4' nominal length is wired for operation by a separate EM circuit by default to meet the required "Life Safety Code" (NFPA 101).

*If a different configuration is needed please consult the factory.

*For EC with sensors, please consult factory.

Emergency Battery (EM) - Luminaires with EM option are provided with factory installed emergency battery. In the event of an emergency, EM battery will illuminate a nominal 4' section at 12W (constant) for 90 minutes (250C). Recharge time of 24 hours. If a different configuration is needed, please consult factory.

The emergency battery pack is located integral to fixture and available in nominal 4' fixtures with DIM driver only. Fixtures $\geq 6'$ available with all driver options. Emergency option will illuminate the first nominal 4' section of fixture. For fixtures $>12'$ or if a different configuration is needed, please consult factory.

*Emergency battery option is UNV for use with 120/277V and is not available for 347V.

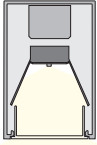
*For EM with sensors, please consult factory.

M60
LED Direct
Wet Location

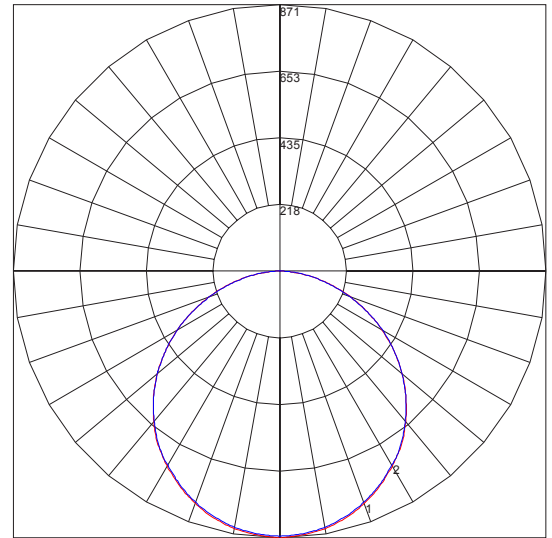
selux

Photometry

LW Optics / 34W LED / 4000K CCT

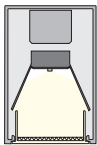


Catalog #: L60-1B35-40-LW-X-04-XX-UNV
Report #: 11685012.01
Delivered Lumens: 2510
Input Watts: 34.4177W
Efficacy: 73
CCT: 3926K
CRI: 84.1

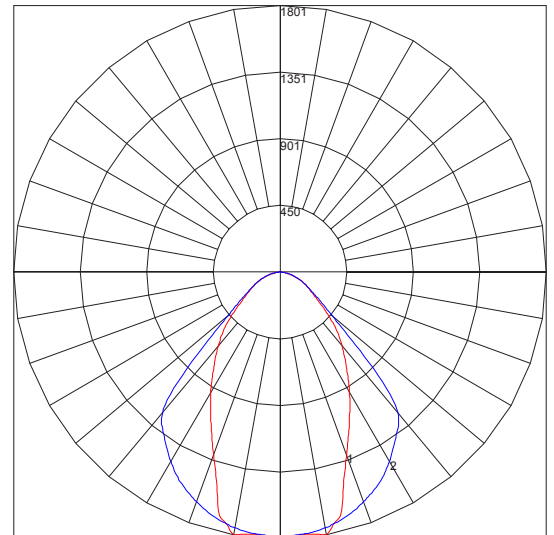


Maximum Candela = 870.7 Located At Horizontal Angle = 90, Vertical Angle = .5
1 - Vertical Plane Through Horizontal Angles (90 - 270)
2 - Vertical Plane Through Horizontal Angles (0 - 180)

MI Optics / 35W LED / 4000K CCT



Catalog #: L60-1B35-40-MI-X-04-XX-UNV
Report #: 11685012.05
Delivered Lumens: 2908
Input Watts: 34.3932W
Efficacy: 85
CCT: 3926K
CRI: 84.1



Maximum Candela = 1801 Located At Horizontal Angle = 90, Vertical Angle = 9.5
1 - Vertical Plane Through Horizontal Angles (90 - 270)
2 - Vertical Plane Through Horizontal Angles (0 - 180)

L60 LED Photometry Multiplier Table

CCT and CRI multipliers apply to the photometry, IES files, and per foot values listed on page one (light engine).

Light engine multiplier supplied for per foot values listed on page one (light engine).

CCT Multiplier	
4000K	1.000
3500K	0.972
3000K	0.963
2700K	0.931

Wall luminaires with directed light



Housing: One piece die-cast aluminum supplied with universal mounting bracket for direct attachment to 3½" or 4" octagonal wiring box. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Enclosure: One piece die-cast aluminum cover frame secured by captive socket head, stainless steel screws threaded into stainless steel inserts. Semi-specular, anodized aluminum internal reflector. Stippled tempered clear glass. Fully gasketed for weather tight operation using a molded silicone rubber O-ring gasket.

Electrical: 17.9W LED luminaire, 22.9 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 90 CRI. Available in 4000K (90 CRI); add suffix K4 to order.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

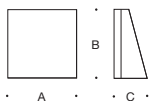
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

Weight: lbs.

Luminaire Lumens: 1893

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



	Lamp	A	B	C
33 242	ADA 17.9W LED	8	8	3¾



KEE Project ZD12E



SHEET NUMBER	SHEET NAME
-----------------	------------

GENERAL/SITE	
G001	TITLE SHEET

-	SITE SURVEY
---	-------------

CIVIL	

C101

C201	DETAIL GRADING PLAN
C202	ENLARGED DRIVE-UP PLAN AND DETAILS
C300	GRADING & EROSION CONTROL PLAN
C301	UTILITY PLAN -STORM SEWER PROFILES
C400	DETAILS
C401	DETAILS

LANDSCAPE

L100	EXISTING LANDSCAPE PLAN
L101	OVERALL LANDSCAPE PLAN & PLANT LISTS
L102	LANDSCAPE ENLARGMENT

ARCHITECTURAL

A201	FLOOR PLAN
A301	BUILDING ELEVATIONS
A302	ENLARGED EXTERIOR ELEVATIONS

MECHANICAL

M100 MECHANICAL PLAN

STRUCTURAL ARCHITECTURAL MECHANICAL

The diagram consists of three large, empty circles arranged horizontally. Above each circle is a label: 'STRUCTURAL' for the left circle, 'ARCHITECTURAL' for the middle circle, and 'MECHANICAL' for the right circle. The circles are intended for students to draw or write within them, representing their respective design domains.

<u>ARCHITECT:</u>	<u>GENERAL CONTRACTOR:</u>	<u>CONSULTANTS:</u>		
KEE ARCHITECTURE, INC	J.H. FINDORFF & SON, INC.	WYSER ENGINEERING <i>(CIVIL ENGINEERING)</i>	IMEG CORP <i>(STRUCTURAL, PLUMBING, HVAC, ELECTRICAL AND TECHNOLOGY)</i>	SAIKI DESIGN <i>(LANDSCAPE ARCHITECTS)</i>
621 WILLIAMSON STREET MADISON, WI 53703 (608) 255-9202	300 SOUTH BEDFORD STREET MADISON, WI 53703 (608) 257-5321	312 EAST MAIN STREET MOUNT HOREB, WI 53572 (608) 437-1980	1800 DEMING WAY, SUITE 200 MIDDLETON, WI 53562 (608) 223-9600	1110 S PARK STREET MADISON, WI 53715 (608)251-3600

PLAN/SECTION CUT	
	Brick
	Concrete
	Concrete Masonry Units (CMU)
	Earth/Compacted Fill
	Glass
	Gypsum Wall Board (GWB)
	Insulation (Batt/Loose)
	Insulation (Rigid)
	Insulation (Spray Foam)
	Metal
	Plastic Laminate (PLAM)
	Plywood
	Sand, Grout, Mortar
	Solid Surface
	Stone
	Wood (Rough)
	Wood (Blocking)
	Wood (Finish)

Name Elevation		Level Line / Datum Elevation		Callout Reference
ROOM 000		Room Name & Number		Drawing Number (typ.)
		Partition Type Reference		Sheet Number (typ.)
	Keyed Note		Building / Wall Section Detail Reference	
	Door Tag		2 Exterior Elevation Reference	
			2 Interior Elevation Reference	
			Finish Symbol	

	CITY OF FRANKLIN
	REVIEW

02/11/2020

REV	DESCRIPTION	DATE
-----	-------------	------



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

ZD12E

KEE
architecture

621 WILLIAMSON ST | MADISON WI 53703

G001	TITLE SHEET
------	-------------

ALTA/NSPS LAND TITLE SURVEY

Known as 6611 South 27th Street, in the City of Franklin, Milwaukee County, Wisconsin.

Lot 1, of the Wal-Mart Subdivision, being a Subdivision of a part of the Southeast 1/4 and Southwest 1/4 of the Northeast 1/4, and a part of the Northeast 1/4 and Northwest 1/4 of the Southeast 1/4 of Section 1, in Township 5 North, Range 21 East, in the City of Franklin, as recorded in the office of the Register of Deeds office for Milwaukee County, Wisconsin, on September 10, 1990, in Reel 2488, Images 570 and 571, as Document No. 6415241.

Excepting therefrom those lands conveyed to State of Wisconsin, Department of Transportation, in Award of Damages recorded March 3, 2014, as Document No. 10339862.

Prepared for: UW CREDIT UNION

Survey No.166370-KAC

A. Basis of Bearings
Bearings are based on the East line of the Northeast 1/4 of Section 1, Township 5 North, Range 21 East, which is assumed to bear North 00°16'42" East.

B. Title Commitment
This survey was prepared based on First American Title Insurance Company, title commitment number NCS-971421-MKE, effective date of July 17, 2019, which lists the following easements and/or restrictions from schedule B-II:

1-3, 5, and 9 - VISIBLE EVIDENCE SHOWN, IF ANY.

4, 6-8, and 17-20 - NOT SURVEY RELATED.

10. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on the recorded plat of Wal-Mart Subdivision recorded September 10, 1990, in Reel 2488, Images 570 and 571, as Document No. 6415241 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars.
- Affects site by location - Shown.

11. Sewer Easement to Milwaukee Metropolitan Sewerage District, dated May 05, 1983, recorded/filed May 17, 1983, in Reel 1529, Image 622, as Document No. 5617628. - Does not affect site by location - Not Shown.

12. Restrictions set forth in Warranty Deed recorded September 14, 1990, in Reel 2490, Images 899 and 900, as Document No. 6417377. - Affects site by location - Use restriction, cannot be plotted.

13. Utility Easement to Wisconsin Electric Power Company, its successors and assigns, dated October 16, 1990, recorded/filed November 16, 1990 in Reel 2512, Image 1071, as Document No. 6436466. Conveyance of Rights in Land recorded March 20, 2015, as Document No. 10444214. - Affects site by location - Shown.

14. Utility Easement to Wisconsin Electric Power Company, its successors and assigns, dated December 04, 1990, recorded/filed January 07, 1991, in Reel 2528, Image 495, as Document No. 6447821. Conveyance of Rights in Land recorded March 20, 2015, as Document No. 10444214. - Affects site by location - Shown.

15. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Mutual Right of Access Agreement recorded on July 31, 1988 in Reel 4362, Image 1349, as Document No. 7574936. - Affects site by location - Shown.

16. Subdivision Development Agreement for Wal-Mart Subdivision upon the terms, conditions and provisions contained therein:
Dated: August 08, 1990
Parties: Wal-Mart Stores, Inc. and the City of Franklin, a municipal corporation
Recorded: September 07, 1990 in Reel 2487, Image 1888
Instrument No: 6414918
- Affects site by location - General in nature, cannot be plotted.

C. Flood Note
According to flood insurance rate map of the City of Franklin, community panel number 55079C0162E, effective date of September 26, 2008, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain).

D. Parking Spaces
There are 0 regular and 0 handicapped parking spaces marked on this site.

To: Franklin Property & Fuel Services Holdings LLC, a Wisconsin limited liability company, as vendee under Land Contract recorded May 05, 2017 as Document No. 10671291, UW Credit Union, and First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9 and 11 of Table A thereof. The fieldwork was completed on September 4, 2019.

Date of Plat or Map: September 5, 2019
Revision to Map: September 20, 2019
Revision to Topo Limits: October 7, 2019

Michael J. Ratzburg
Professional Land Surveyor
Registration Number 2236
michael.ratzburg@rasmith.com



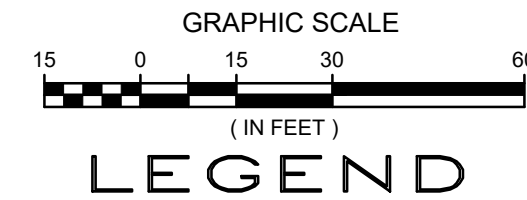
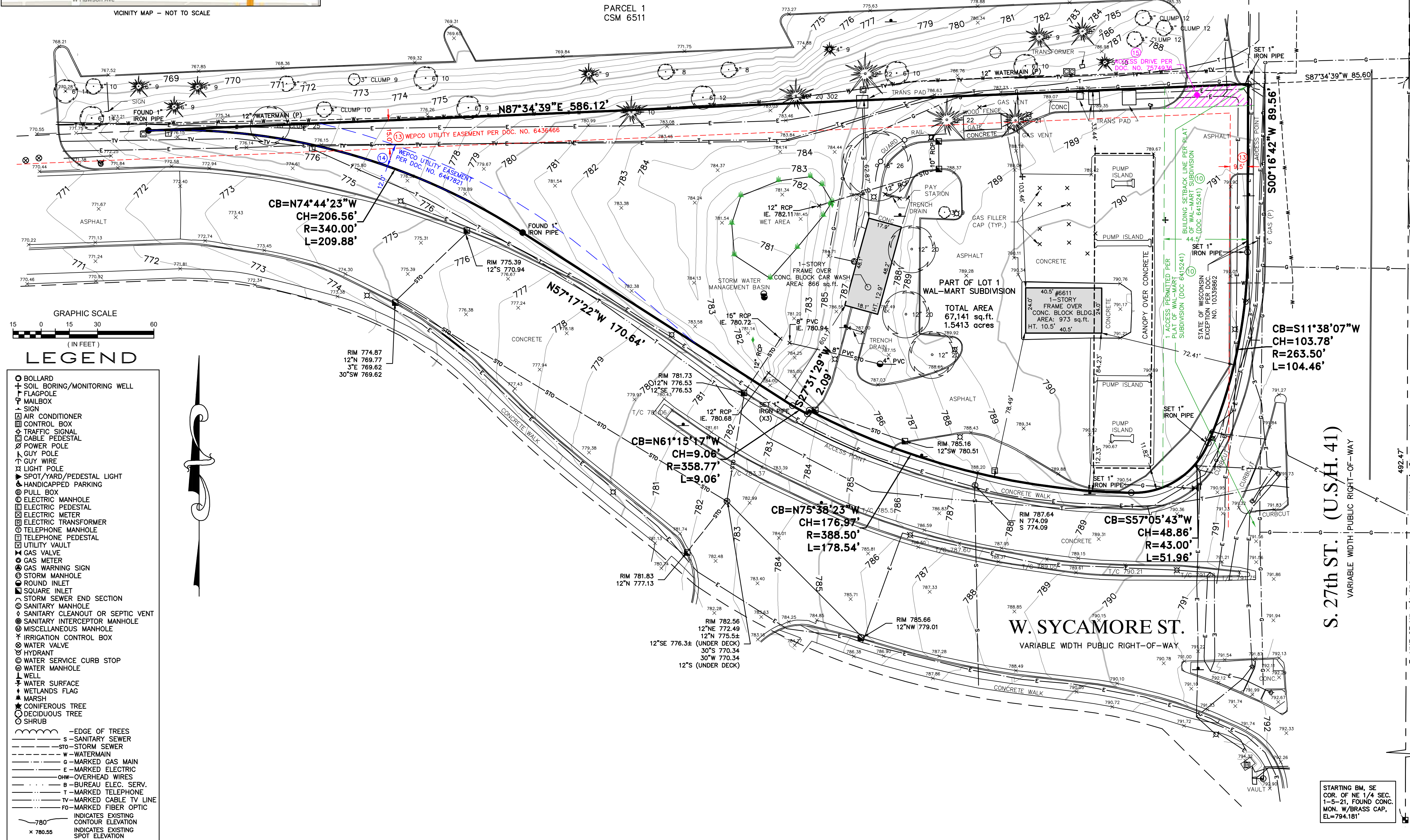
raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com



VICINITY MAP - NOT TO SCALE

PARCEL 1
CSM 6511



LEGEND

- BOLLARD
- SOIL BORING/MONITORING WELL
- FLAGPOLE
- MAILBOX
- SIGN
- AIR CONDITIONER
- CONTROL BOX
- TRAFFIC SIGNAL
- CABLE PEDESTAL
- POWER POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- SPOT/YARD/PEDESTAL LIGHT
- HANDICAPPED PARKING
- PULL BOX
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- UTILITY VAULT
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- IRRIGATION CONTROL BOX
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION

DIGGERS HOTLINE TICKET NO. 2019-34-10223

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

- NOTE:
1. THE WEST SYCAMORE STREET RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF FRANKLIN AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 2. THE SOUTH 27TH STREET RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF APPLICABLE WISDOT DEPARTMENTS.
 3. ALL NECESSARY PERMITS REQUIRED FROM THE CITY OF FRANKLIN AND WISDOT FOR WORK IN THE RIGHT-OF-WAY MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.

DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE SITE, NOT INCLUDING INTERNAL BUILDING DEMOLITION, INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE (BY OTHERS), "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, WHERE NOT INCLUDED WITHIN THE FIELD SURVEY, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S / BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR / BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE OWNER AND ENGINEER OF RECORD. WYSER ENGINEERING TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - 2.1. EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE OWNER AND ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - 2.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING OWNER AND ENGINEER OR ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
- 2.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
- 2.4. NOTIFYING THE OWNER, DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
4. CONTRACTOR SHALL KEEP ALL STREETS AND ADJOINING SHARED ACCESS ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
5. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
6. PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND / OR UTILITY INSTALLATION ENCRATCH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
7. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND / OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATIONS WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
9. ABANDONED / REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
10. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
11. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE AND BACKFILL WITH SELECT FILL OR PROVIDE PIPE BACK-FILLING WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE / FLOWABLE FILL".
12. GRANULAR BACKFILL MATERIALS ARE REQUIRED FOR FILL UNDER PROPOSED PAVED AREAS.
13. RESTORATION OF THE EXISTING RIGHT-OF-WAYS AS NEEDED ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES, BUT IS NOT LIMITED TO, CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
14. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- LAND DISTURBANCE LIMITS
- NEW BUILDING (FOR REFERENCE)
- SAWCUT LIMITS
- BUILDING REMOVAL AREA
- FULL SECTION ASPHALT REMOVAL AREA
- CONCRETE REMOVAL AREA
- UTILITY REMOVAL
- TREE REMOVAL

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF FRANKLIN STANDARD SPECIFICATIONS.



CITY OF FRANKLIN REVIEW

02/11/2020

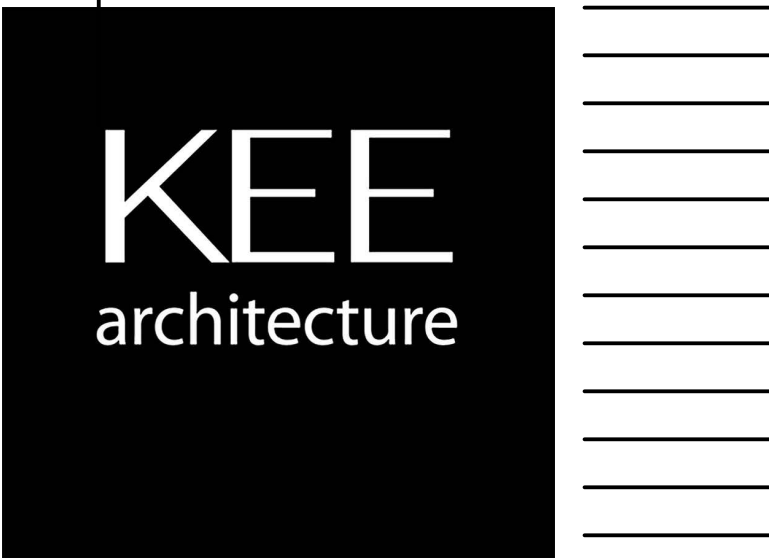
REV	DESCRIPTION	DATE
-----	-------------	------



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

ZD12E



621 WILLIAMSON ST | MADISON WI 53703

C100
DEMOLITION PLAN

NOTE:

1. THE WEST SYCAMORE STREET RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF FRANKLIN AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
2. THE SOUTH 27TH STREET RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF APPLICABLE WISDOT DEPARTMENTS.
3. ALL NECESSARY PERMITS REQUIRED FROM THE CITY OF FRANKLIN, CITY OF MILWAUKEE (MILWAUKEE WATER WORKS) AND WISDOT FOR WORK IN THE RIGHT-OF-WAY MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.

SITE INFORMATION BLOCK:

SITE ADDRESS: 6611 27TH STREET
SITE ACREAGE: 1.54 AC
USE OF PROPERTY: FINANCIAL INSTITUTE
ZONING: PDD 13 - PLANNED DEVELOPMENT DISTRICT

TOTAL NUMBER OF PARKING STALLS : 26
NUMBER OF STALLS DESIGNATED ACCESSIBLE: 2

TOTAL NUMBER OF BIKE STALLS: 6

EXISTING IMPERVIOUS SURFACE AREA: 33,049 SQ.FT.
ROOFTOP: 6,992 SQ.FT.
PAVED: 26,057 SQ.FT.
EXISTING IMPERVIOUS SURFACE RATIO: 49.2%

PROPOSED IMPERVIOUS SURFACE AREA: 37,766 SQ.FT.
ROOFTOP: 5,320 SQ.FT.
PAVED: 32,446 SQ.FT.
PROPOSED IMPERVIOUS SURFACE RATIO: 56.3%

NET ADDITIONAL IMPERVIOUS AREA: 4,717 SQ. FT.

TOTAL SITE DISTURBANCE LIMITS: 61,447 SQ.FT. (1.41 AC.)
- AREA USED IN STORMWATER MANAGEMENT MODELING CALCULATIONS

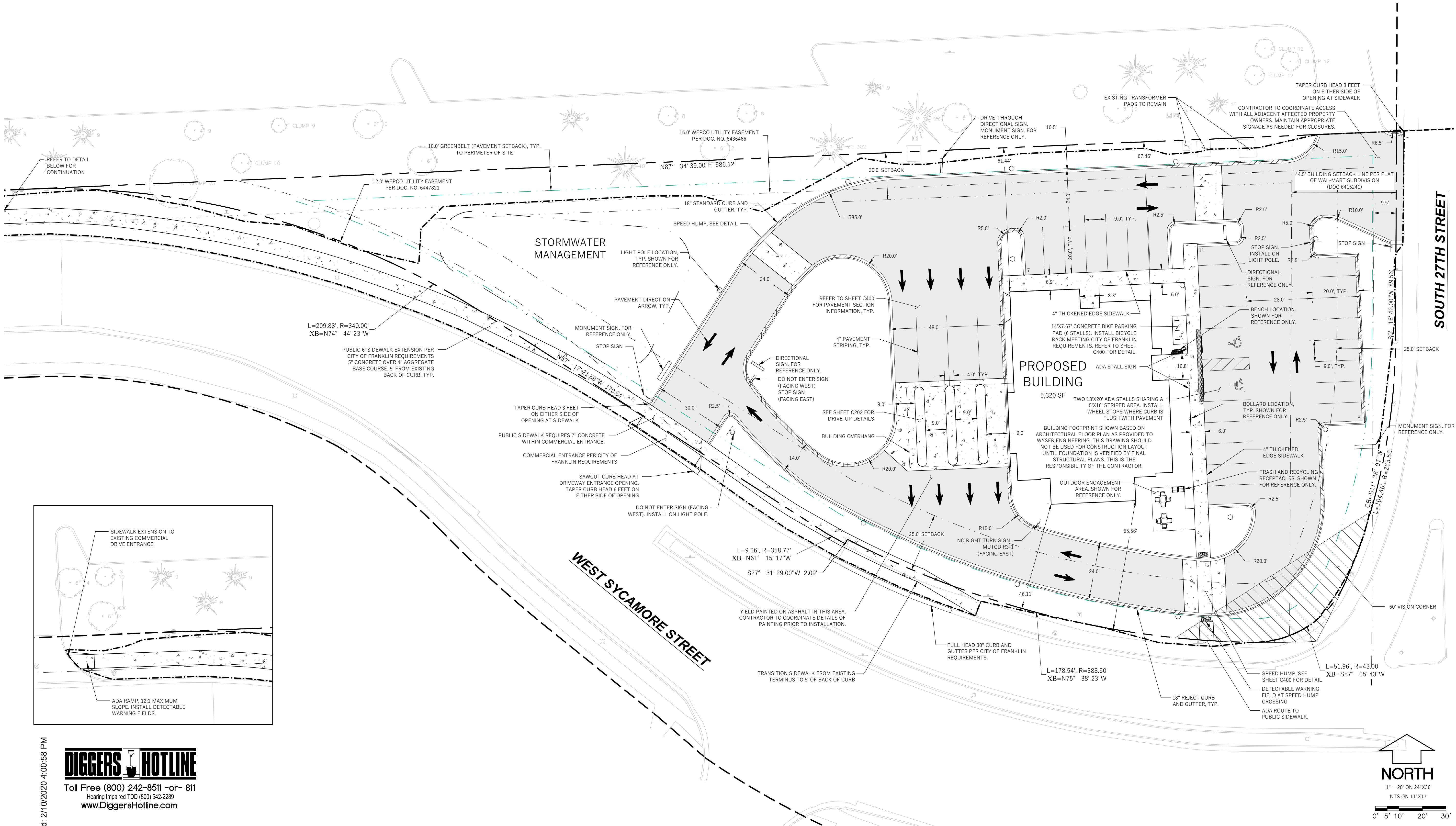
TOTAL DISTURBANCE LIMITS (INCLUDING ROW DISTURBANCE): 67,072 SQ.FT. (1.54 AC.)

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- SETBACK LINE
- LAND DISTURBANCE LIMITS
- 18" STANDARD CURB AND GUTTER
- 18" REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- GREENBELT LIMIT (PAVEMENT SETBACK)
- STORMWATER MANAGEMENT

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. HORIZONTAL DATUM REFERENCED IS NORTH AMERICAN DATUM OF 1983 (NAD83); VERTICAL DATUM REFERENCED IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
4. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
5. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
6. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
7. ALL SANITARY SEWER CONNECTIONS, WORK IN WEST SYCAMORE STREET ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF FRANKLIN'S STANDARDS AND SPECIFICATIONS FOR DEVELOPMENT.
8. ALL WORK IN SOUTH 27TH STREET ROW SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS, LATEST EDITION.
9. ALL WATER MAIN CONNECTIONS SHALL BE IN ACCORDANCE WITH CITY OF MILWAUKEE (MILWAUKEE WATER WORKS) STANDARD SPECIFICATIONS.



NOTE:

1. THE WEST SYCAMORE STREET RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF FRANKLIN AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
2. THE SOUTH 27TH STREET RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF APPLICABLE WISDOT DEPARTMENTS.
3. ALL NECESSARY PERMITS REQUIRED FROM THE CITY OF FRANKLIN AND WISDOT FOR WORK IN THE RIGHT-OF-WAY MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.

- GENERAL NOTES**
1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
 2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
 3. HORIZONTAL DATUM REFERENCED IS NORTH AMERICAN DATUM OF 1983 (NAD83); VERTICAL DATUM REFERENCED IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 4. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 5. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
 6. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 7. ALL SANITARY SEWER CONNECTIONS, WORK IN WEST SYCAMORE STREET ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF FRANKLIN'S STANDARDS AND SPECIFICATIONS FOR DEVELOPMENT.
 8. ALL WORK IN SOUTH 27TH STREET ROW SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS, LATEST EDITION.
 9. ALL WATER MAIN CONNECTIONS SHALL BE IN ACCORDANCE WITH CITY OF MILWAUKEE (MILWAUKEE WATER WORKS) STANDARD SPECIFICATIONS.

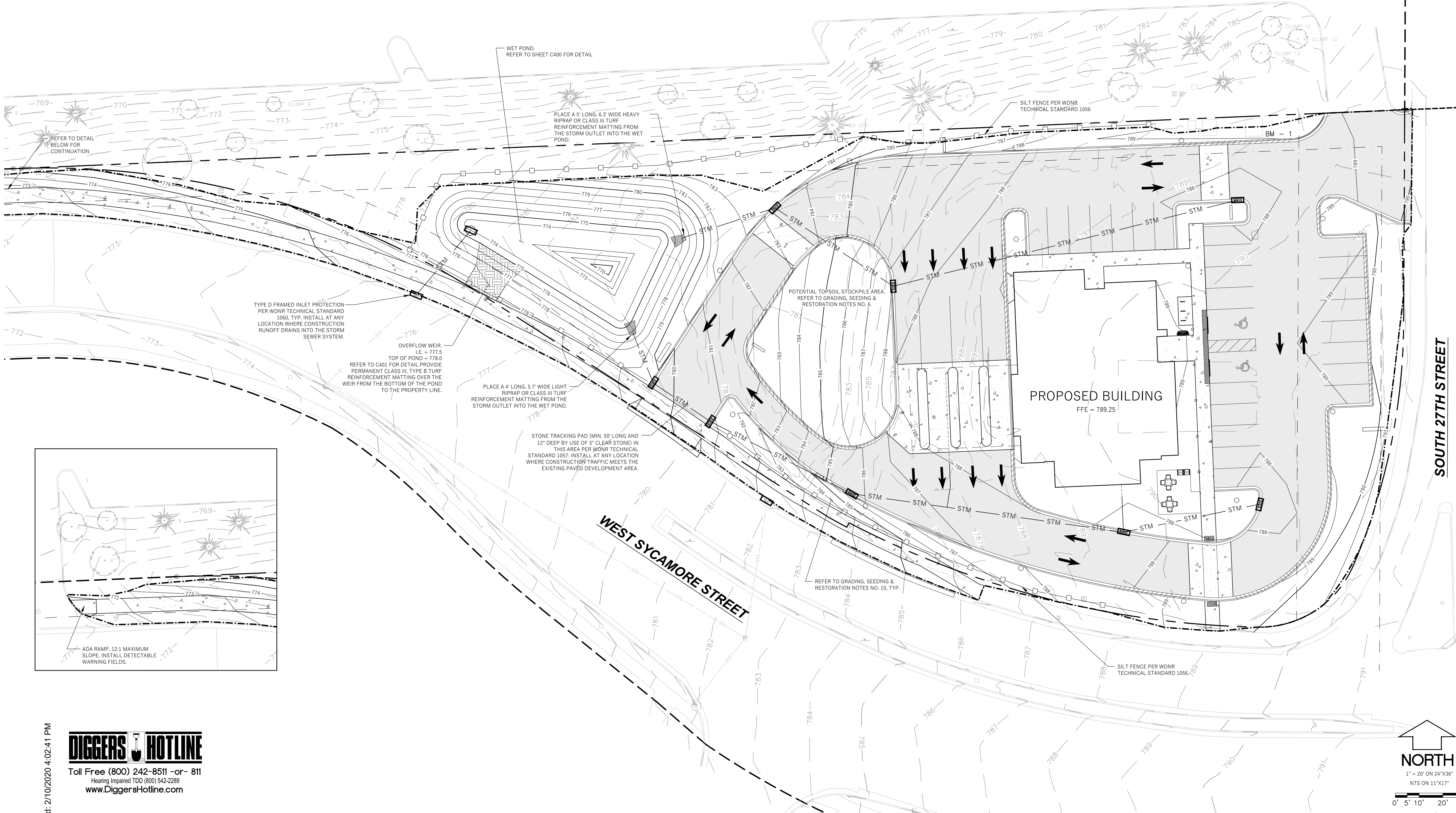
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE CURRENT WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (dnr.wi.gov).
 2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE.
 3. ENGINEER / CITY OF FRANKLIN HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF FRANKLIN BUILDING INSPECTOR TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
 4. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED ONCE PER WEEK AND FOLLOWING EACH RAINFALL EVENT. INSPECTION REPORTING SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION AND SEDIMENT CONTROL PRACTICES IN WORKING ORDER. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
 6. DEWATERING PRACTICES SHALL COMPLY WITH TECHNICAL STANDARD 1061.
 7. DUST CONTROL SHALL BE MITIGATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
 8. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING FINAL GRADING ACTIVITIES.
 9. SEED MIX AND RATE SHALL BE, AT A MINIMUM, IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059.
 10. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL PROVIDE VEGETATION PLAN FOR ENGINEER / OWNER APPROVAL. VEGETATION PLAN AND BIORETENTION INSTALLATION SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1004.
 11. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
 12. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE MUNICIPAL EROSION CONTROL PERMIT AND FOLLOWING ALL APPLICABLE REQUIREMENTS.

- GRADING, SEEDING & RESTORATION NOTES**
1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
 2. AREAS TO BE SEEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
 3. RESTORATION SHALL OCCUR AS SOON AS PRACTICABLE AFTER THE DISTURBANCE, WITHIN 7 DAYS OF TOPSOILING.
 4. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
 5. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
 6. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
 7. MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2014)
 8. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
 9. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
 - a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.
 - b. WISDOT PAL CLASS I TYPE B URBAN EROSION CONTROL MAT.
 10. ALL SLOPES EXCEEDING 5:1 SHALL USE PRESCRIPTIVE COMPLIANCE INCLUDING SLOPE INTERRUPTION PER WDNR TECH. STD. 1071. SOIL STABILIZATION (PERMANENT SEEDING AND CLASS I, TYPE B EROSION MATTING ON SLOPES OR CLASS II, TYPE B MATTING IN DRAINAGE SWALES) AND LIMITING THE MAX PERIOD OF BARE SOIL TO 60 DAYS FOR LAND DISTURBANCE BETWEEN SEPTEMBER 16 AND MAY 1 AND 30 DAYS FOR LAND DISTURBANCE BETWEEN MAY 2 AND SEPTEMBER 15.

- LEGEND (PROPOSED)**
- PROPERTY BOUNDARY
 - EASEMENT
 - BUILDING FOOTPRINT
 - LAND DISTURBANCE LIMITS
 - 18" STANDARD CURB AND GUTTER
 - 18" REJECT CURB AND GUTTER
 - ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - STM
 - SILT FENCE/SILT SOCK
 - INLET PROTECTION

BENCHMARK TABLE		
BM LABEL	ELEVATION	DESCRIPTION
BM - 1	789.91	SOUTHEAST CORNER OF CONCRETE TRANSFORMER PAD NEAREST 27TH STREET

* REFER TO GENERAL NOTE NO. 2



CITY OF FRANKLIN REVIEW

02/11/2020

REV DESCRIPTION DATE



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

ZD12E

KEE
architecture

621 WILLIAMSON ST | MADISON WI 53703

C200

GRADING & EROSION
CONTROL PLAN

NOTE:
1. THE WEST SYCAMORE STREET RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF FRANKLIN AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
2. THE SOUTH 27TH STREET RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF APPLICABLE WISDOT DEPARTMENTS.
3. ALL NECESSARY PERMITS REQUIRED FROM THE CITY OF FRANKLIN AND WISDOT FOR WORK IN THE RIGHT-OF-WAY MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.

GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- HORIZONTAL DATUM REFERENCED IS NORTH AMERICAN DATUM OF 1983 (NAD83); VERTICAL DATUM REFERENCED IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL SANITARY SEWER CONNECTIONS, WORK IN WEST SYCAMORE STREET ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF FRANKLIN'S STANDARDS AND SPECIFICATIONS FOR DEVELOPMENT.
- ALL WORK IN SOUTH 27TH STREET ROW SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS, LATEST EDITION.
- ALL WATER MAIN CONNECTIONS SHALL BE IN ACCORDANCE WITH CITY OF MILWAUKEE (MILWAUKEE WATER WORKS) STANDARD SPECIFICATIONS.

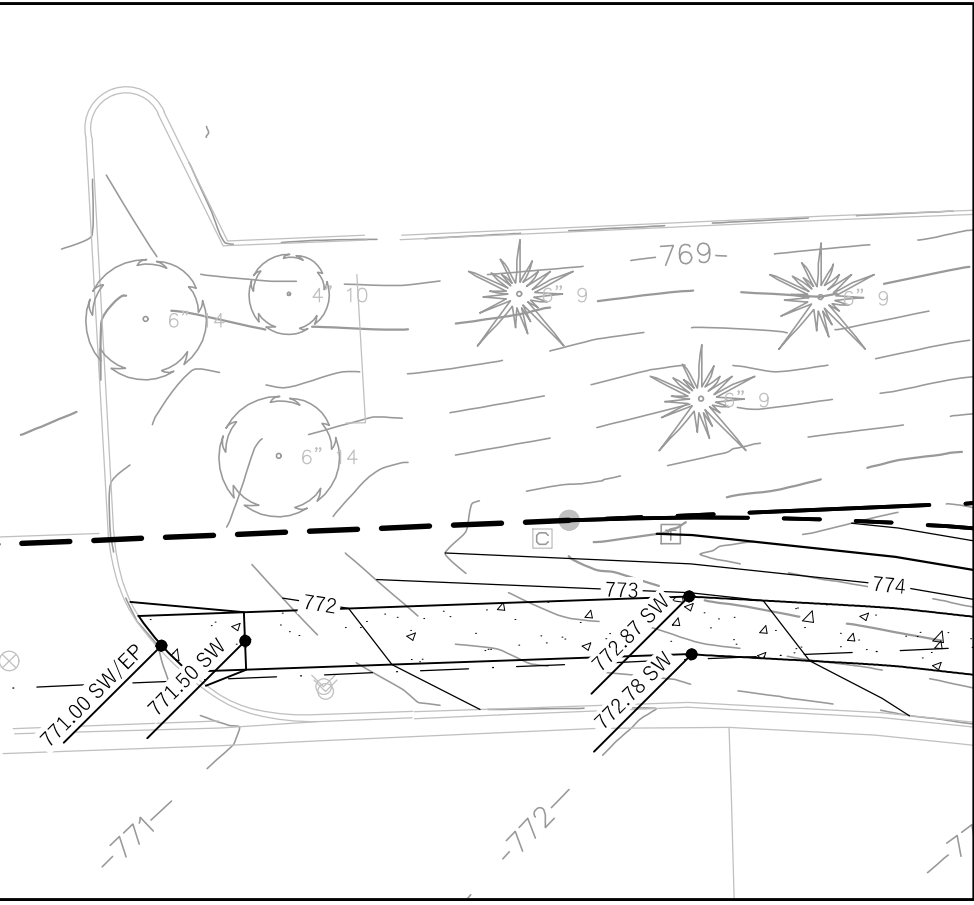
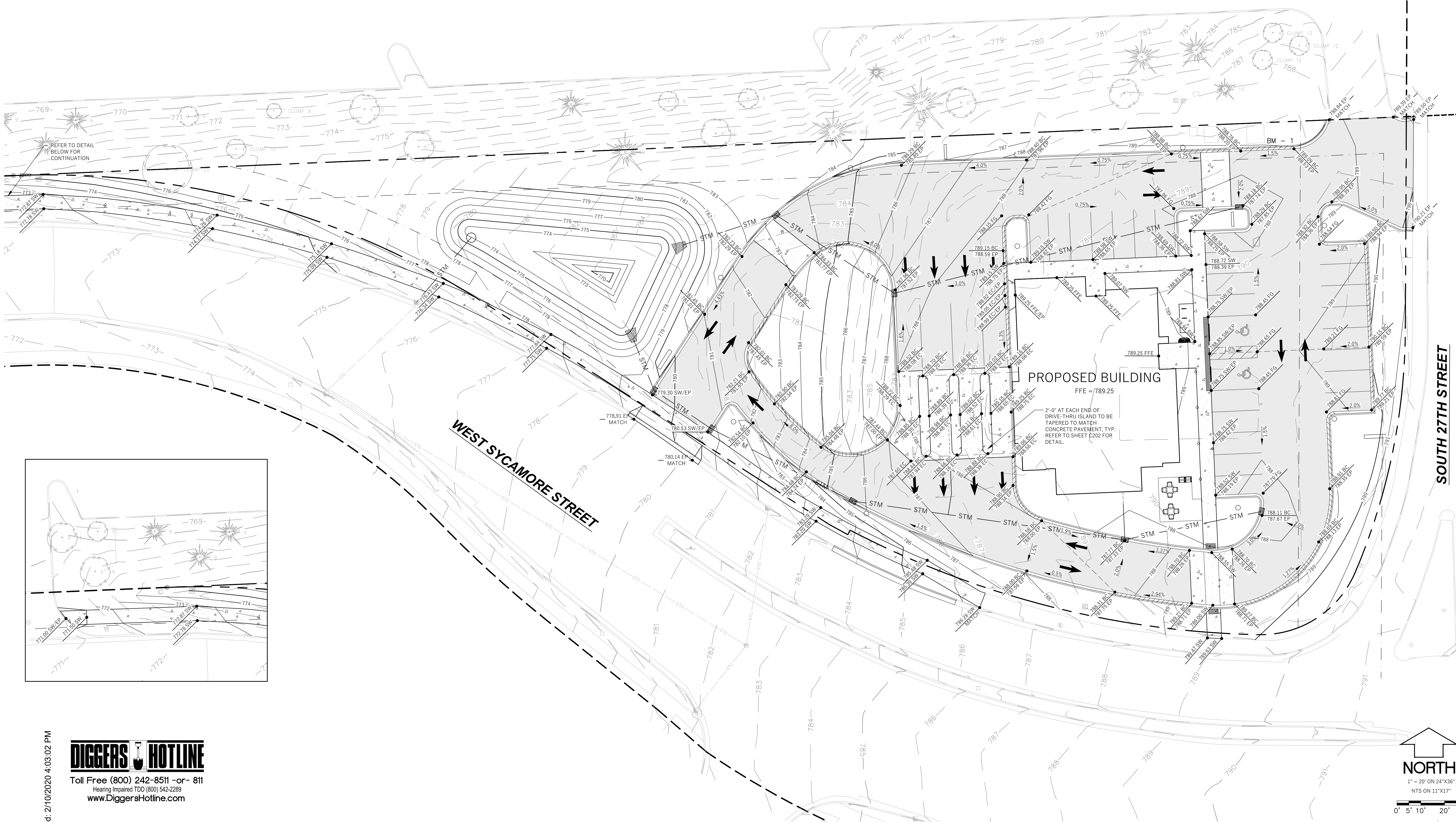
NOTE:
SPOT GRADES ARE AS FOLLOWS:
FFE - FINISHED FLOOR GRADE
EP - EDGE OF ASPHALT PAVEMENT
EC - EDGE OF CONCRETE PAVEMENT
BC - BACK OF CURB
SW - EDGE OF SIDEWALK

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" STANDARD CURB AND GUTTER
- 18" REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- MAJOR CONTOUR
- MINOR CONTOUR
- STORM SEWER
- SPOT GRADE
- DRAINAGE GRADE BREAK
- DRAINAGE ARROW

BENCHMARK TABLE		
BM LABEL	ELEVATION	DESCRIPTION
BM - 1	789.91	SOUTHEAST CORNER OF CONCRETE TRANSFORMER PAD NEAREST 27TH STREET

* REFER TO GENERAL NOTE NO. 2



CITY OF FRANKLIN REVIEW

02/11/2020

REV	DESCRIPTION	DATE
-----	-------------	------



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

ZD12E

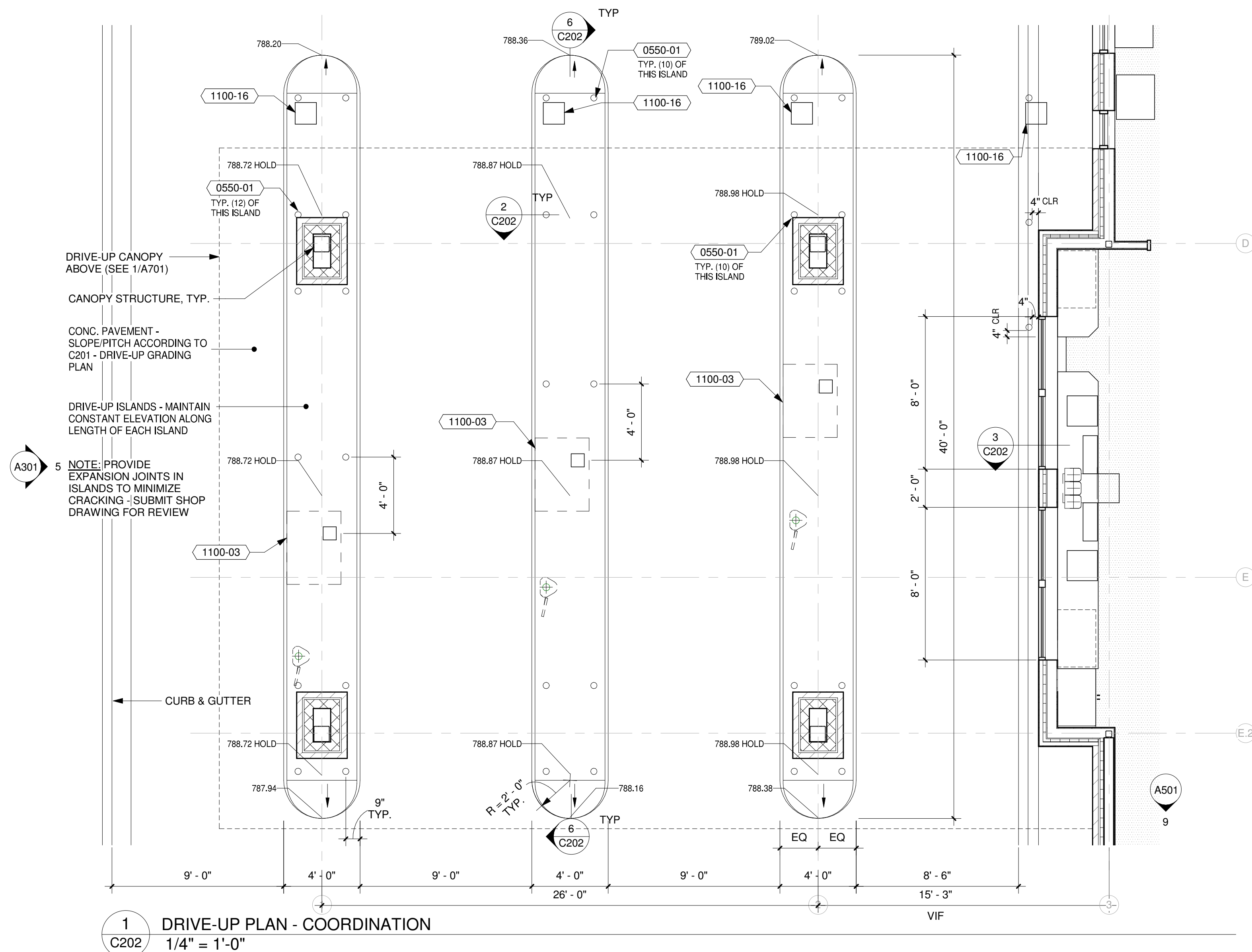
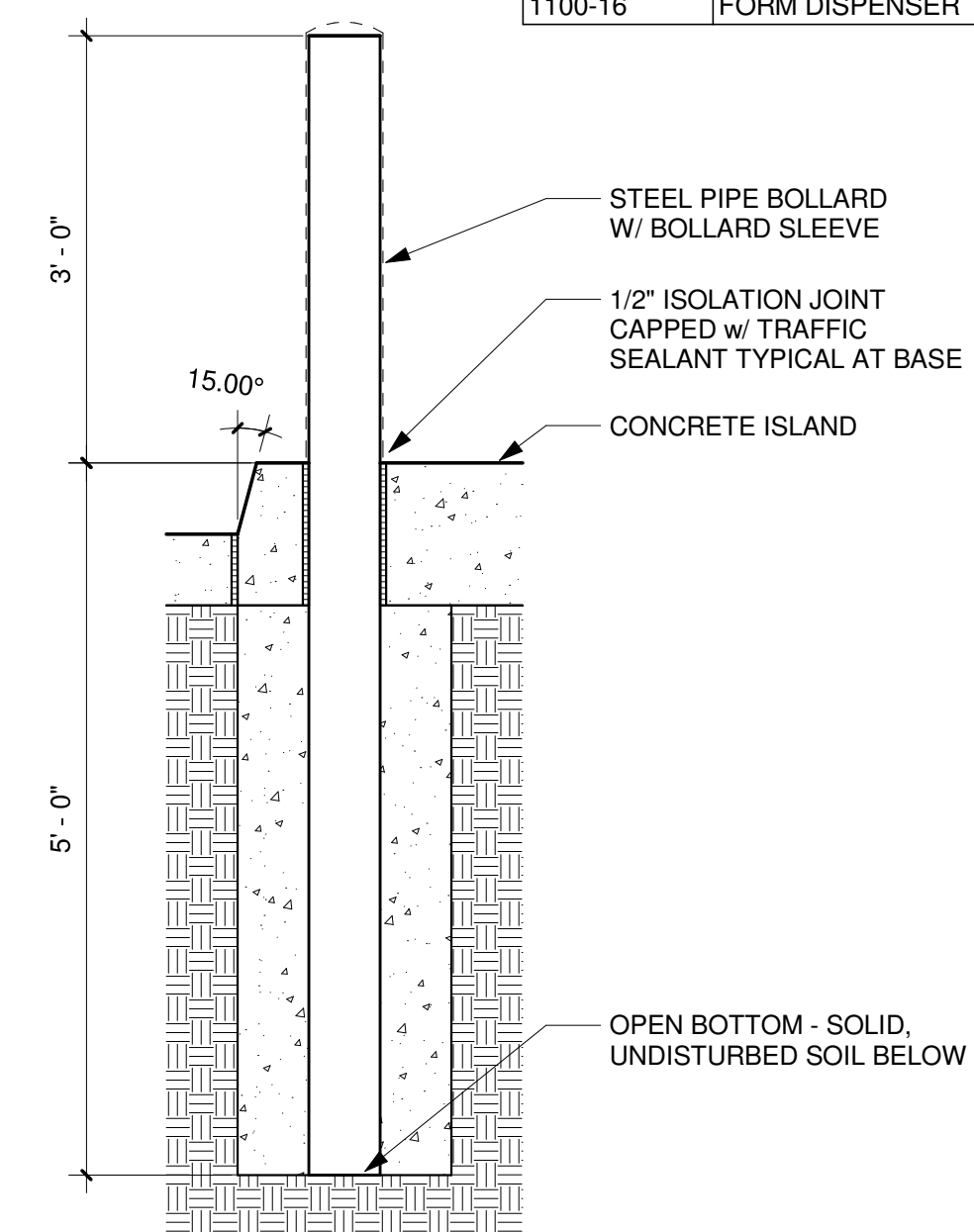
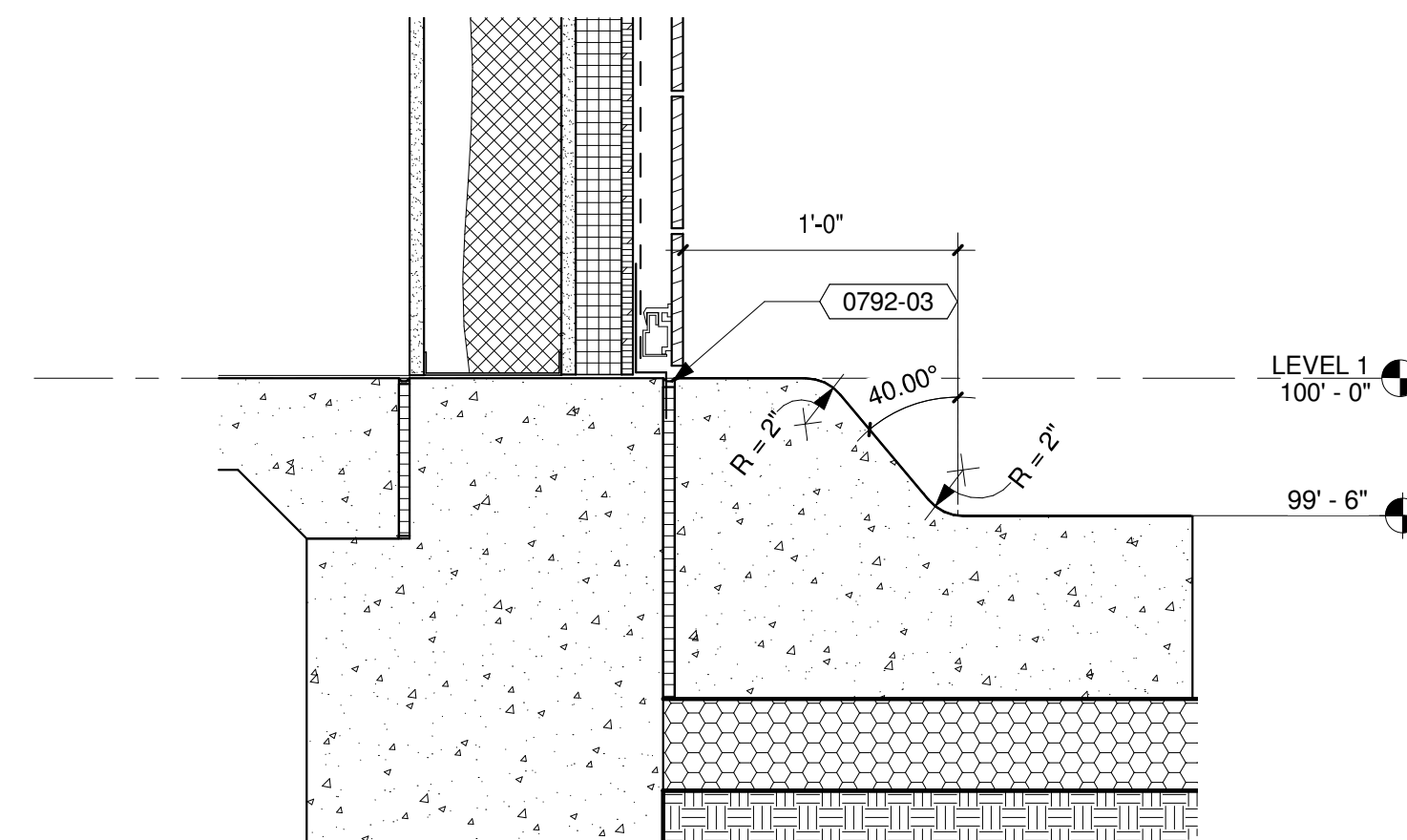
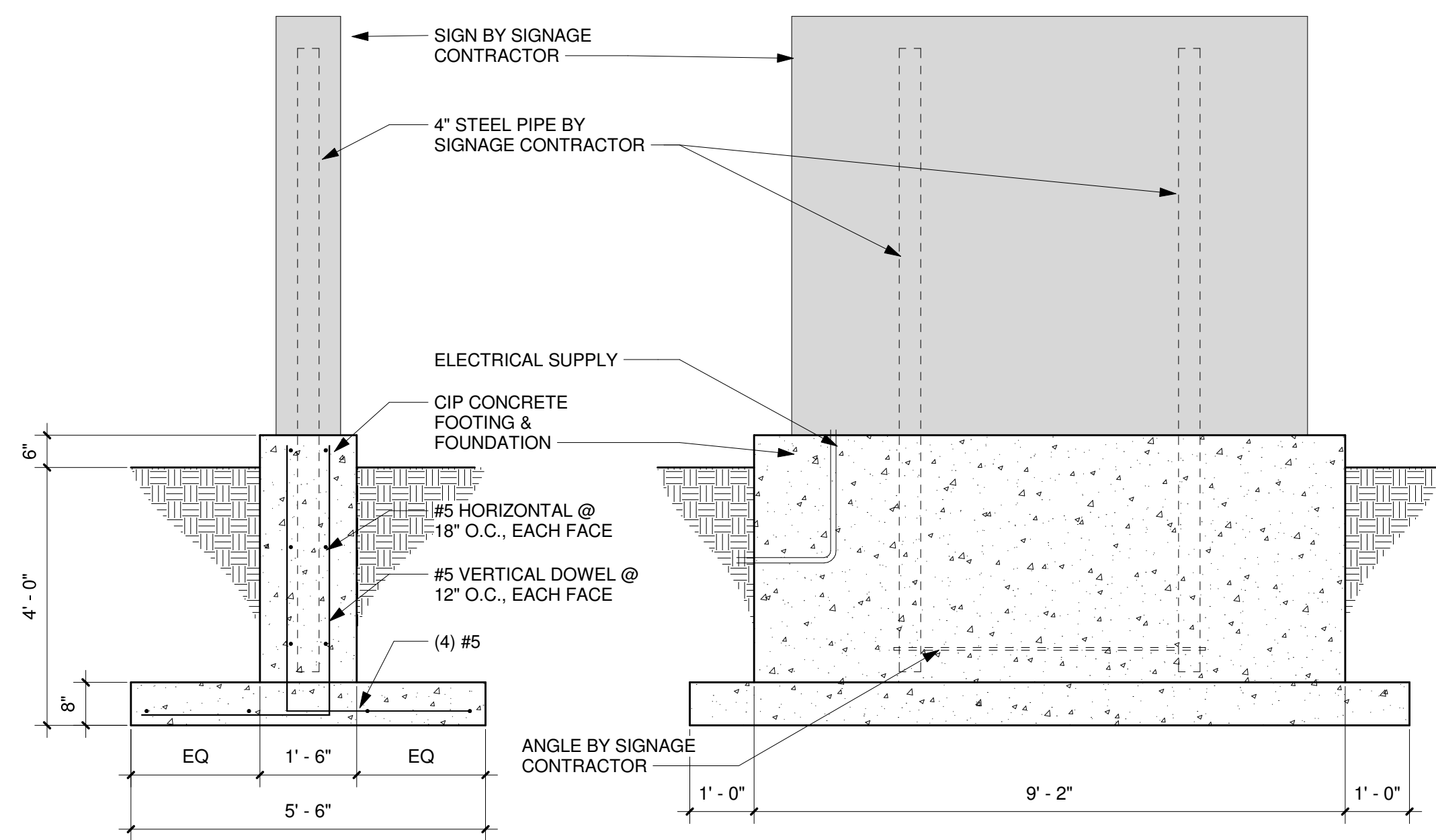
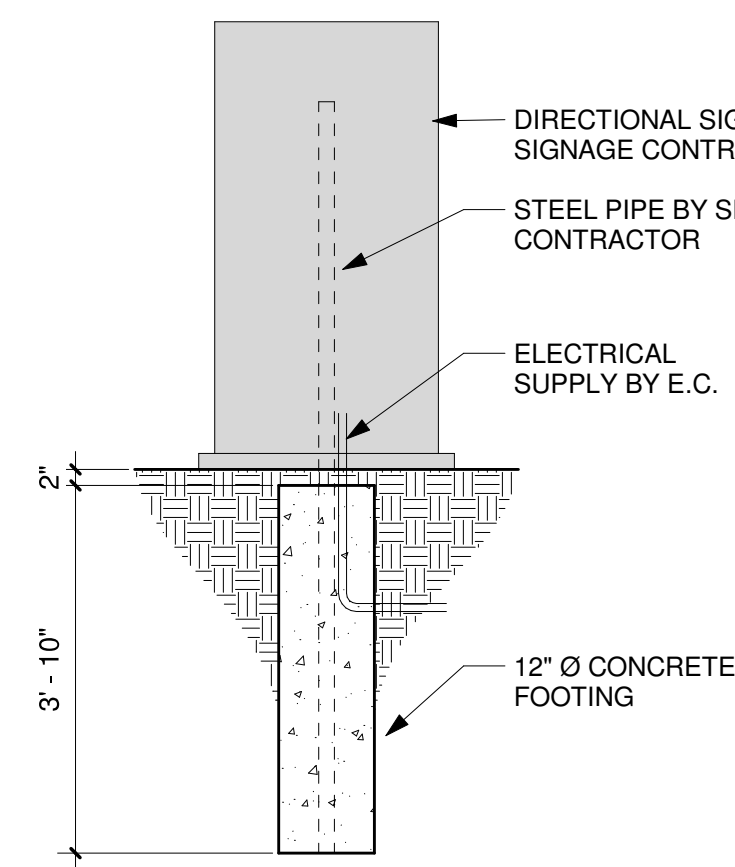
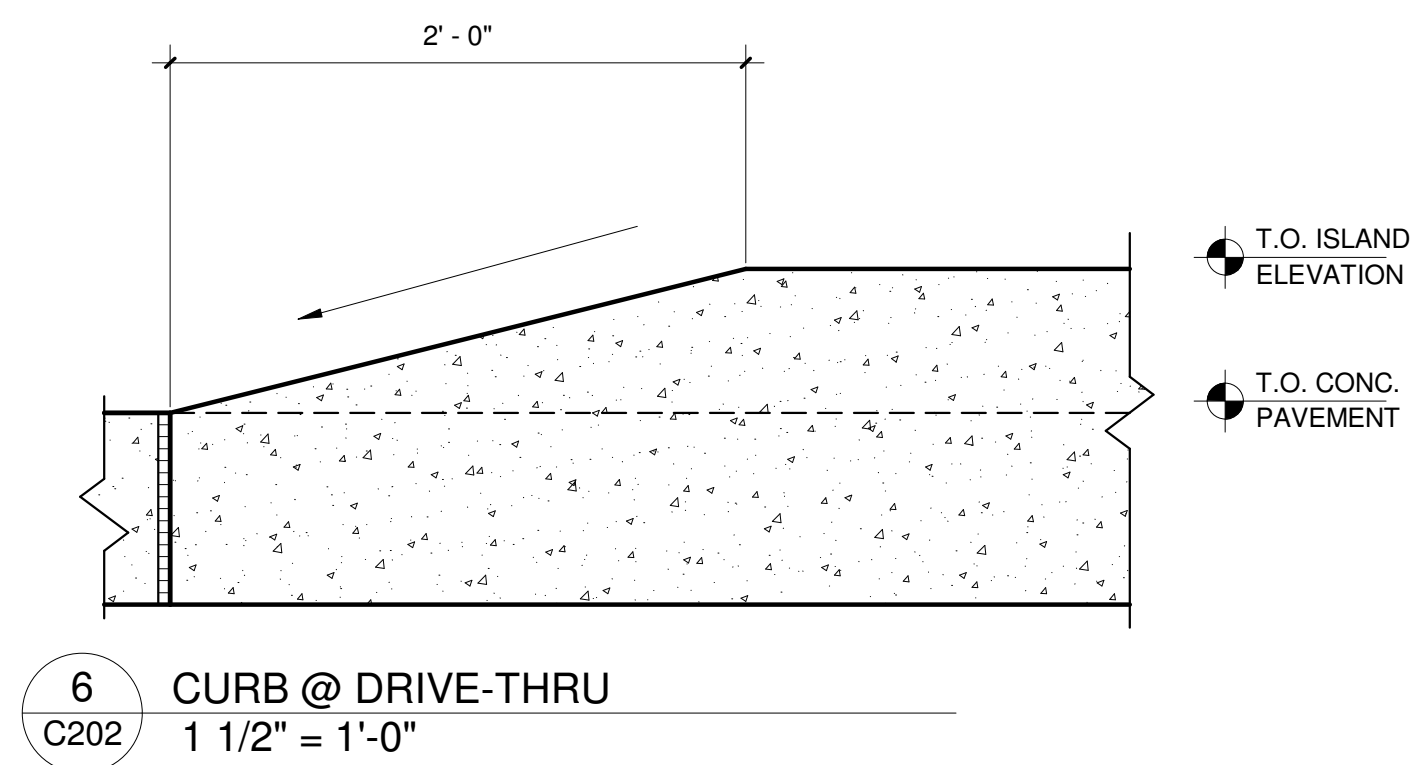
KEE
architecture

621 WILLIAMSON ST | MADISON WI 53703

C201

DETAIL GRADING PLAN

KEYNOTES	
Key Value	Keynote Text
0550-01	METAL PIPE BOLLARD WITH BOLLARD SLEEVE
0792-03	TRAFFIC SEALANT
1100-03	DRIVE-UP ATM (PROVIDED & INSTALLED BY OTHERS) - DIMENSIONS SHOWN TO CENTER OF ELECTRICAL ROUGH-IN. CONFIRM ATM MODEL AND COORDINATE FINAL PLACEMENT DETAILS WITH OWNER.
1100-16	FORM DISPENSER



CITY OF FRANKLIN REVIEW

02/11/2020

REV	DESCRIPTION	DATE
-----	-------------	------



UW Credit Union
Franklin Branch

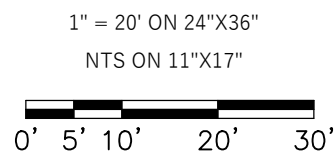
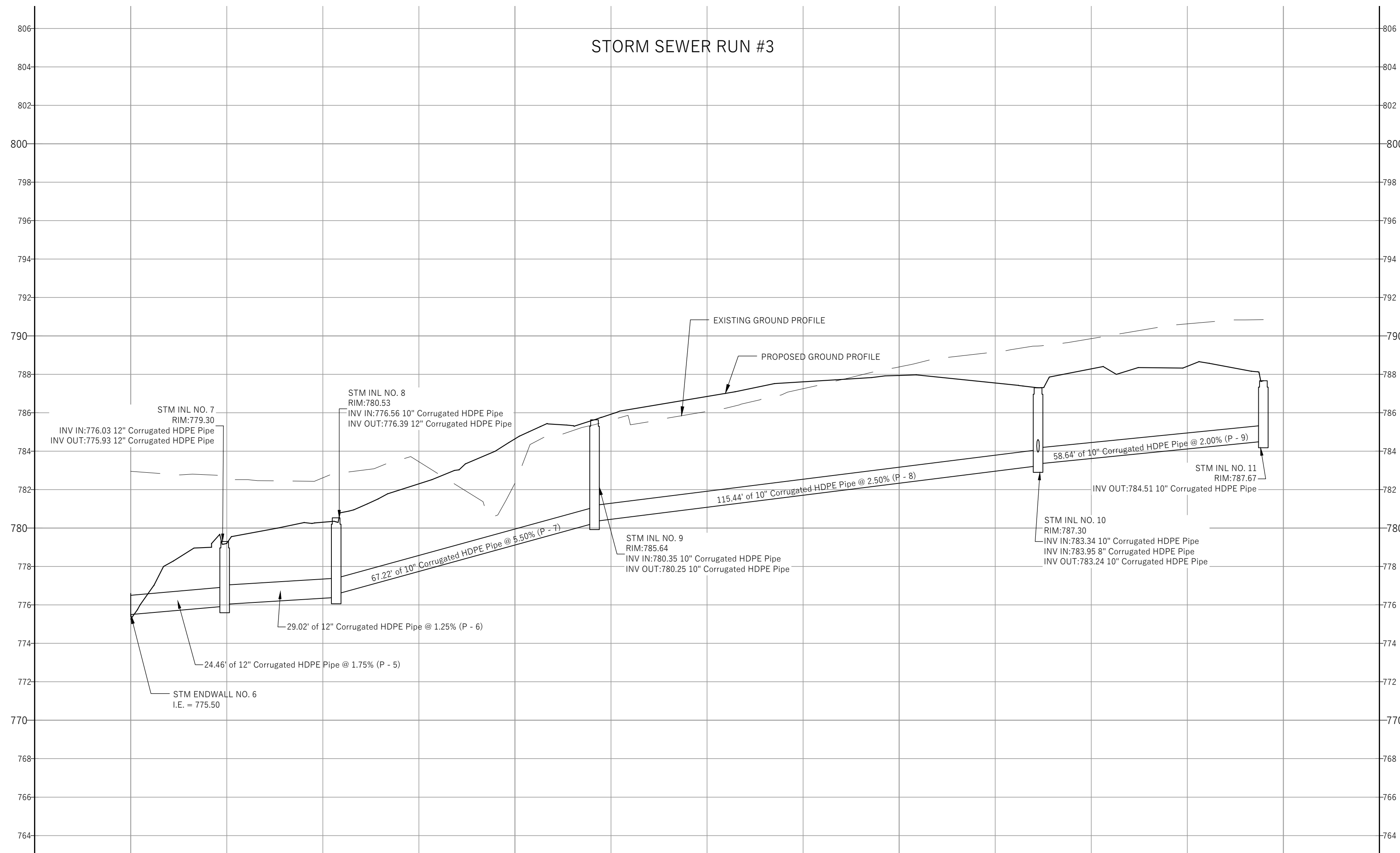
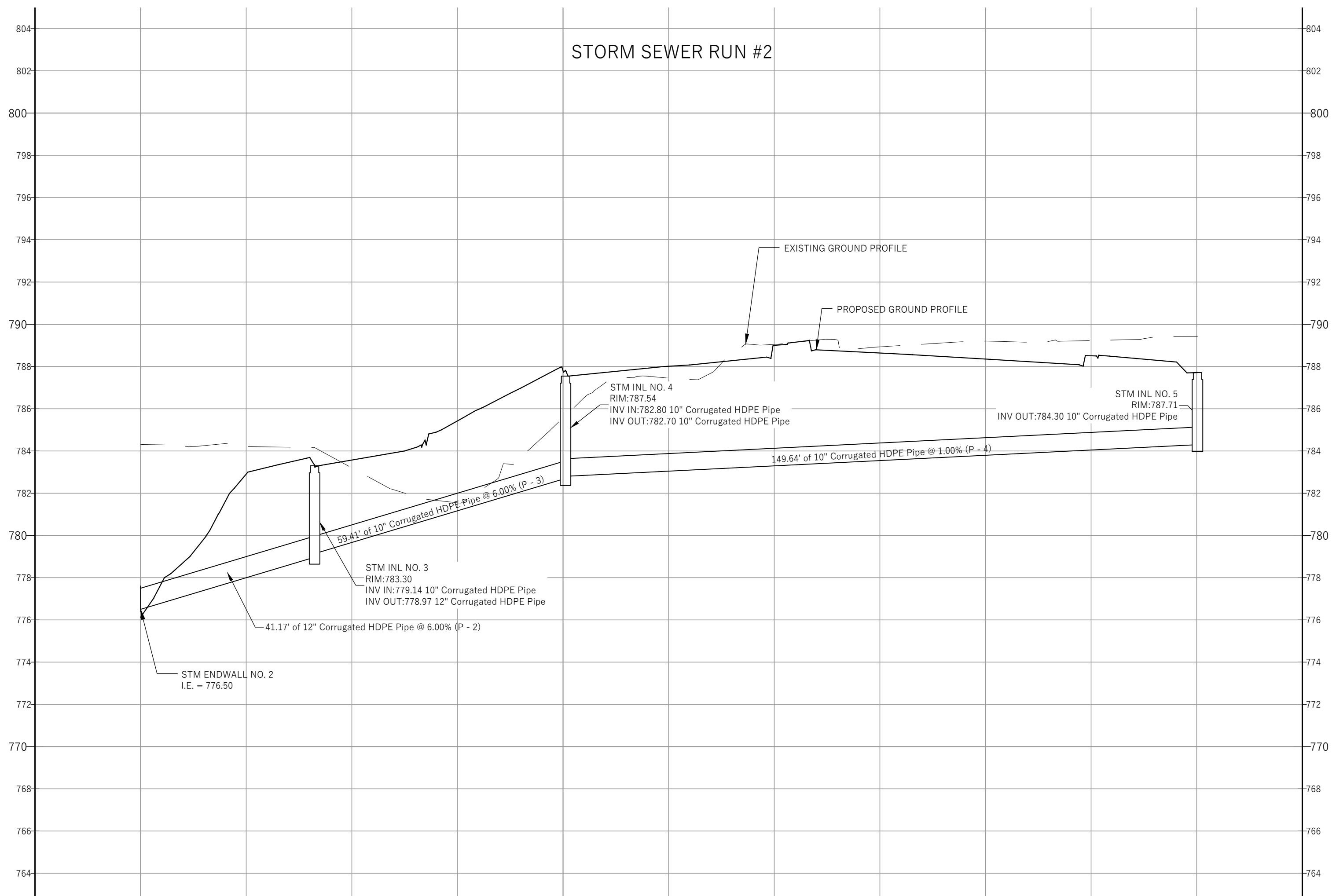
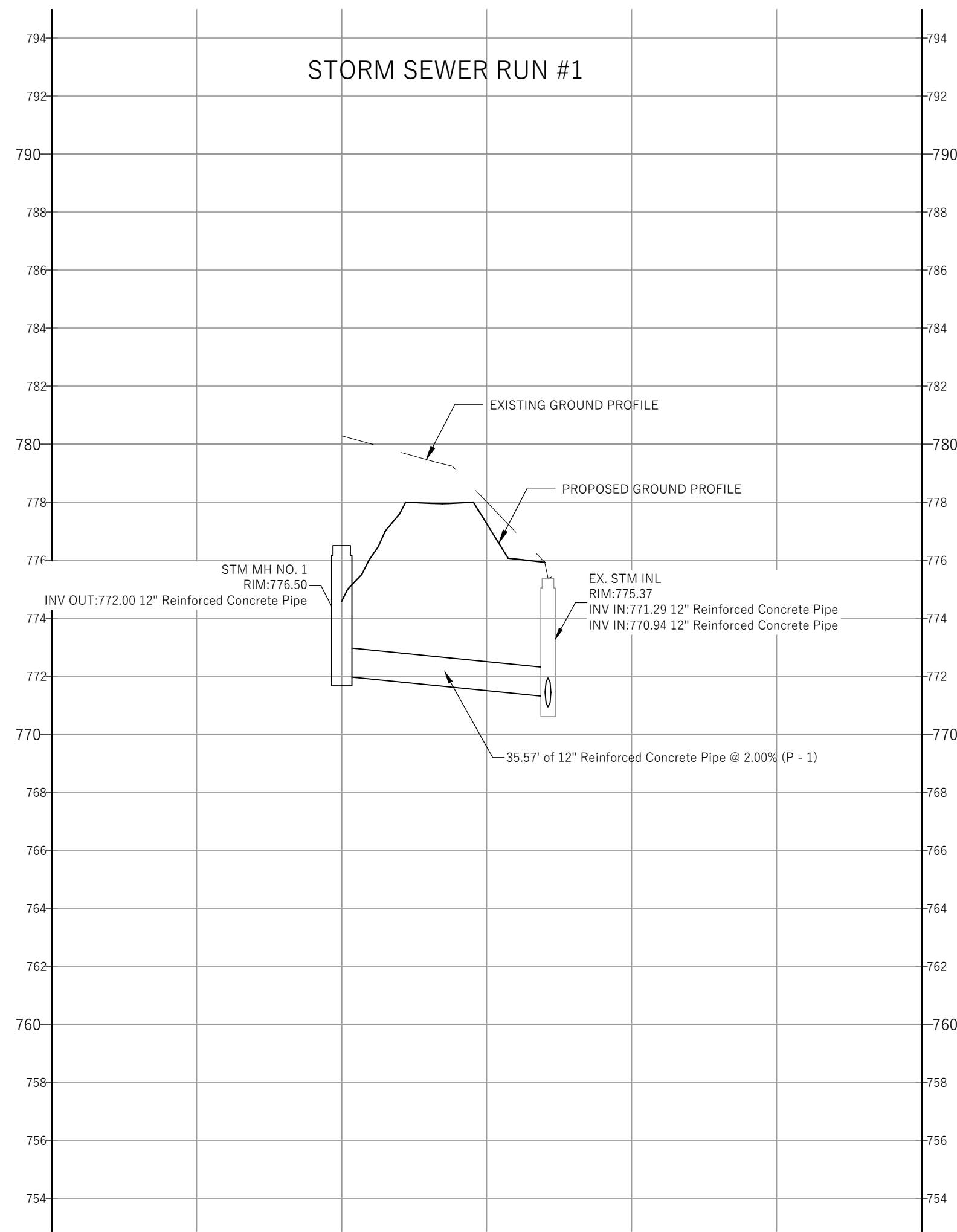
6611 S 27th Street
Franklin, Wisconsin - 53132

ZD12E

KEE
architecture

621 WILLIAMSON ST | MADISON WI 53703

C202 ENLARGED DRIVE-UP
PLAN AND DETAILS



CITY OF FRANKLIN REVIEW

02/11/2020

REV	DESCRIPTION	DATE
-----	-------------	------



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

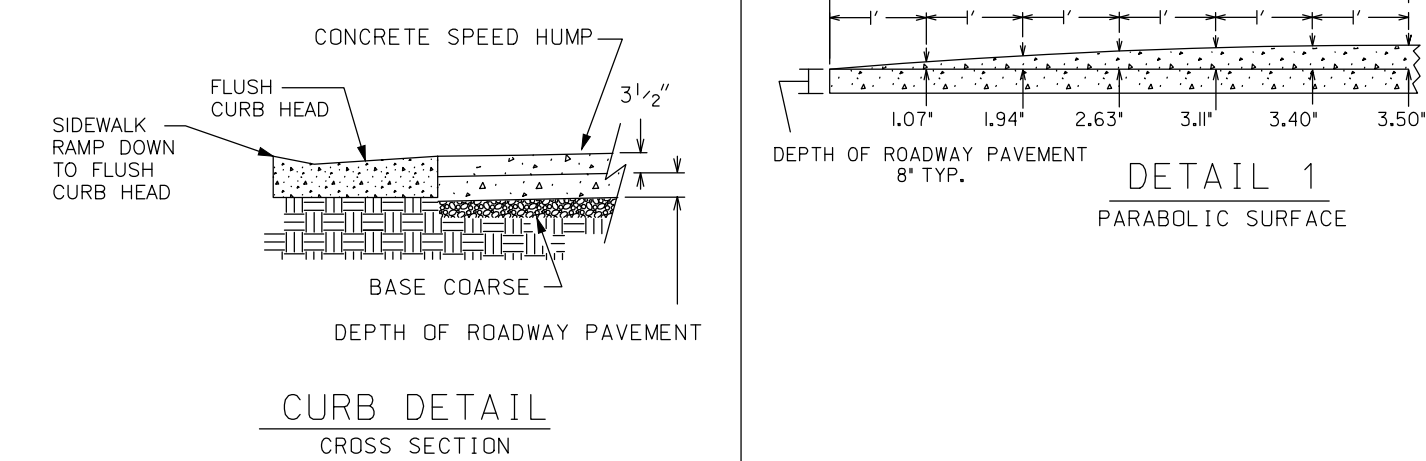
ZD12E

KEE
architecture

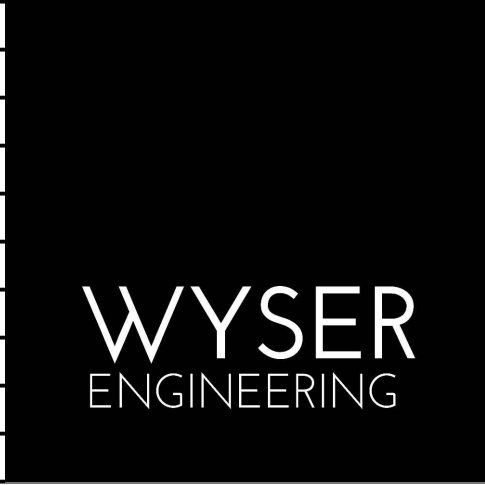
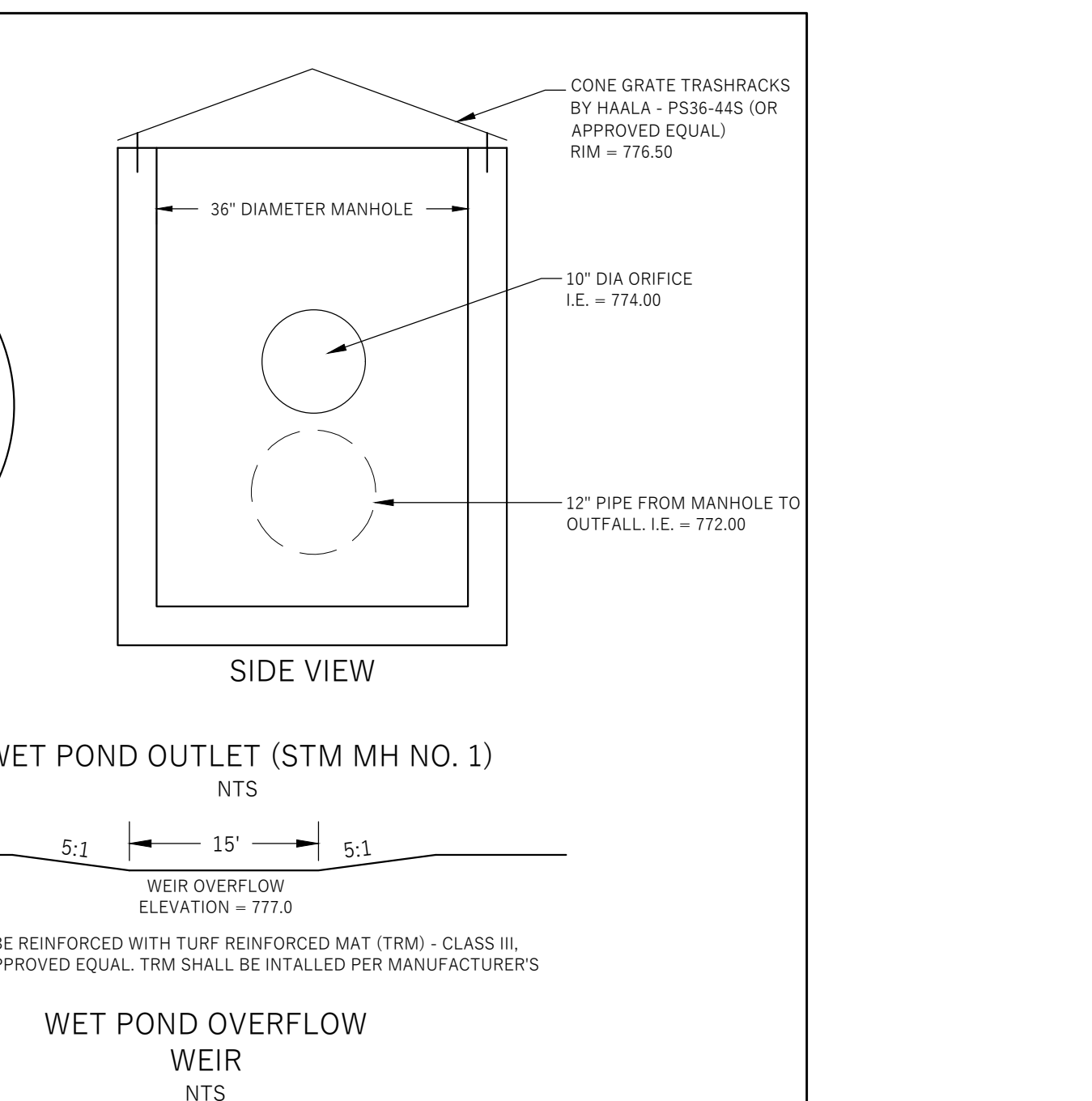
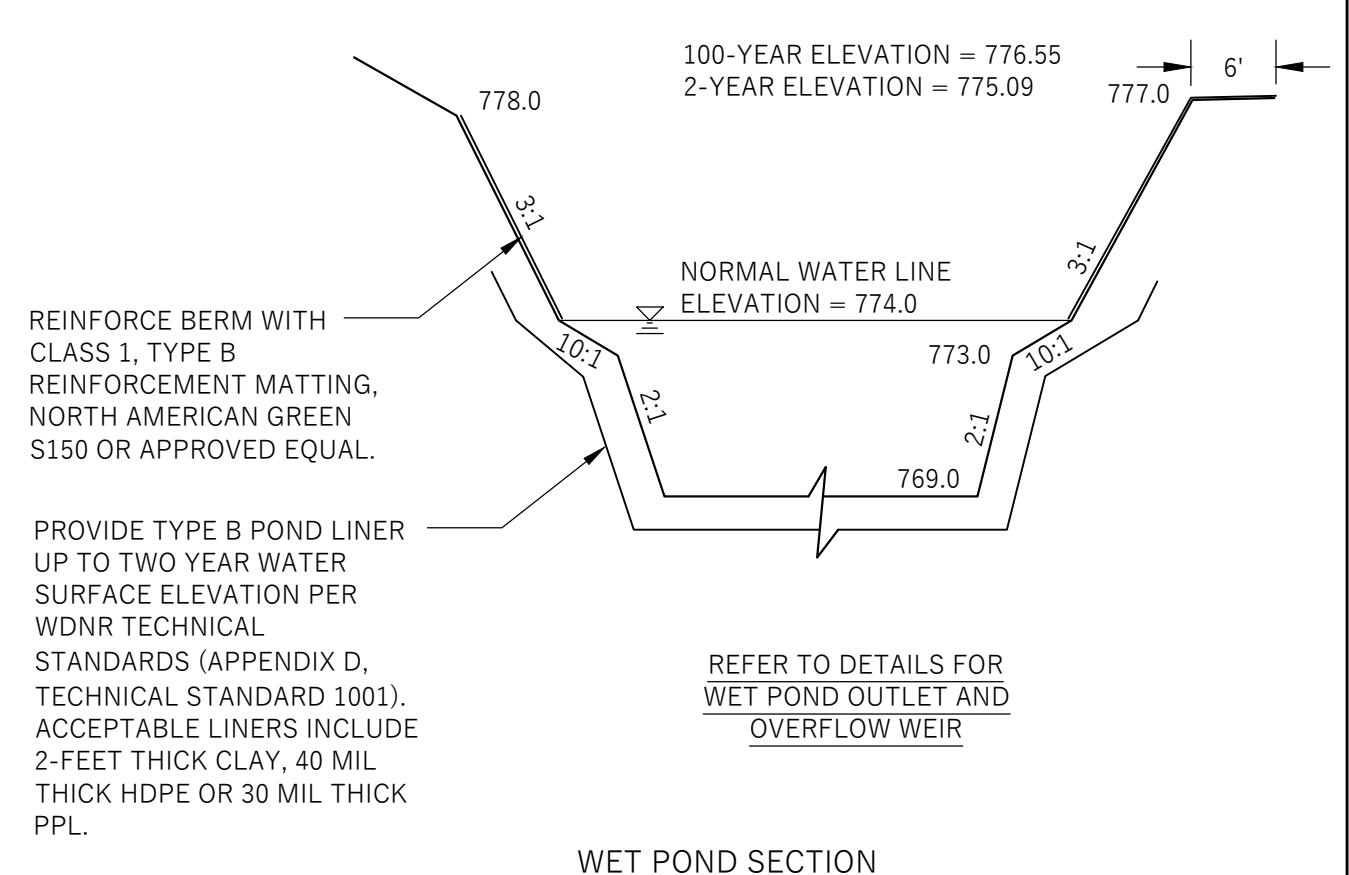
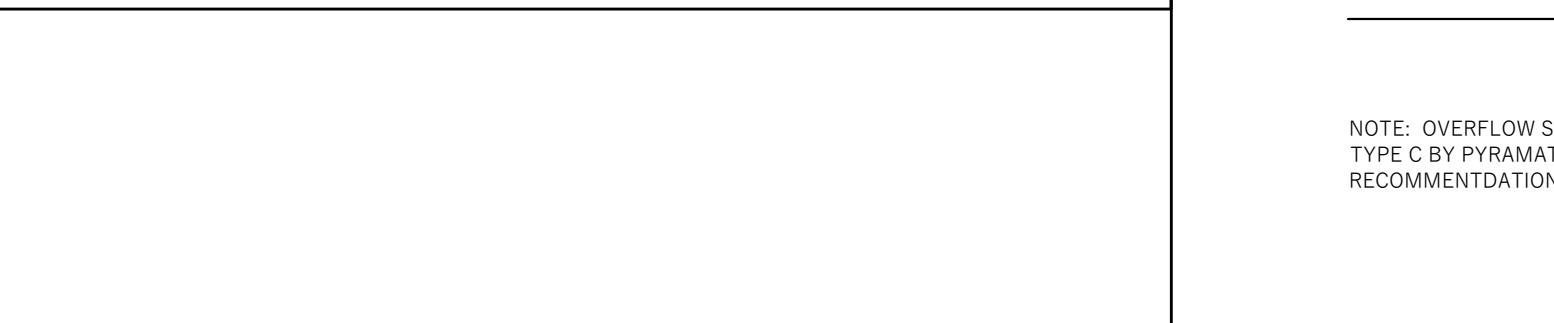
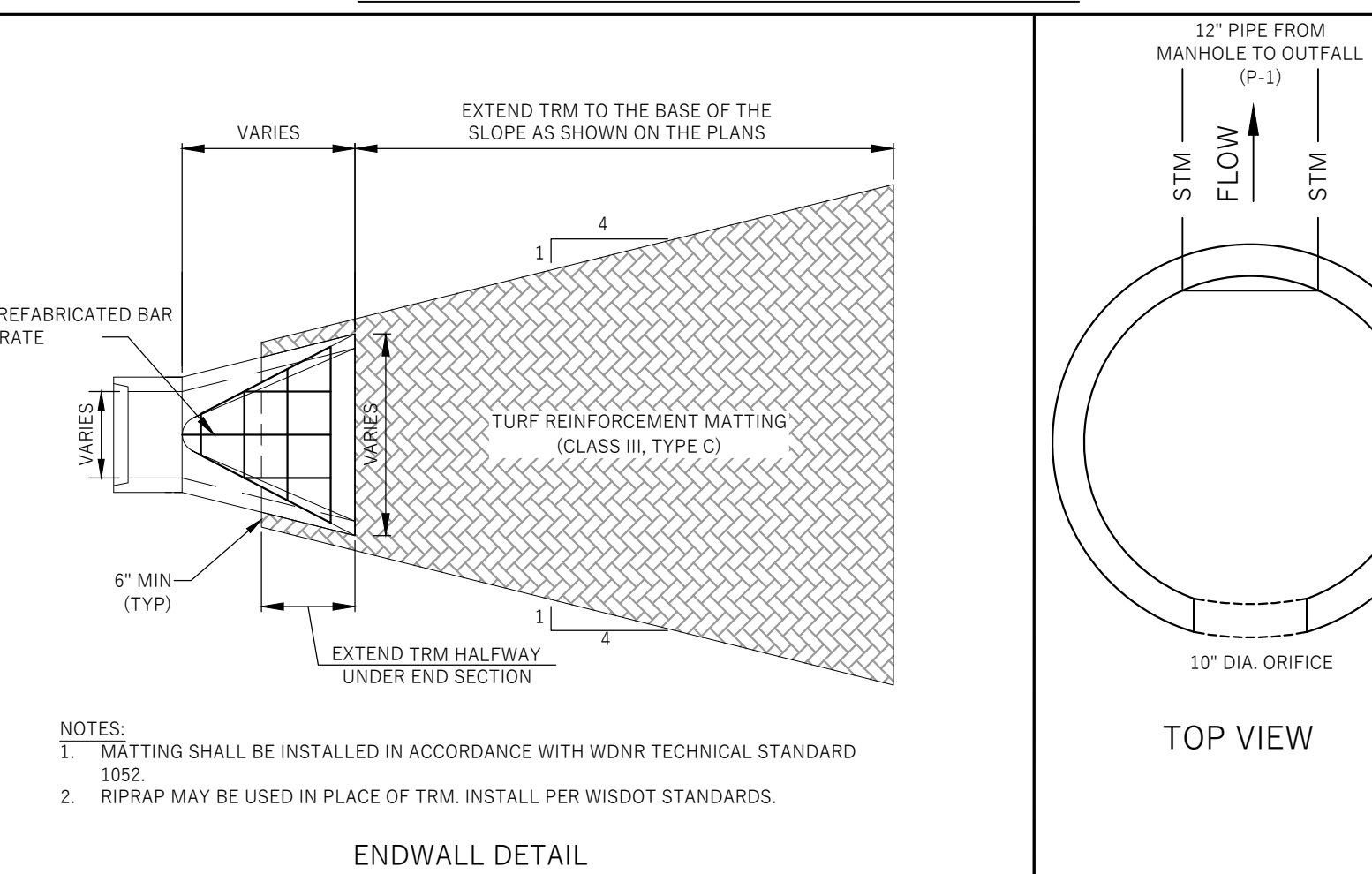
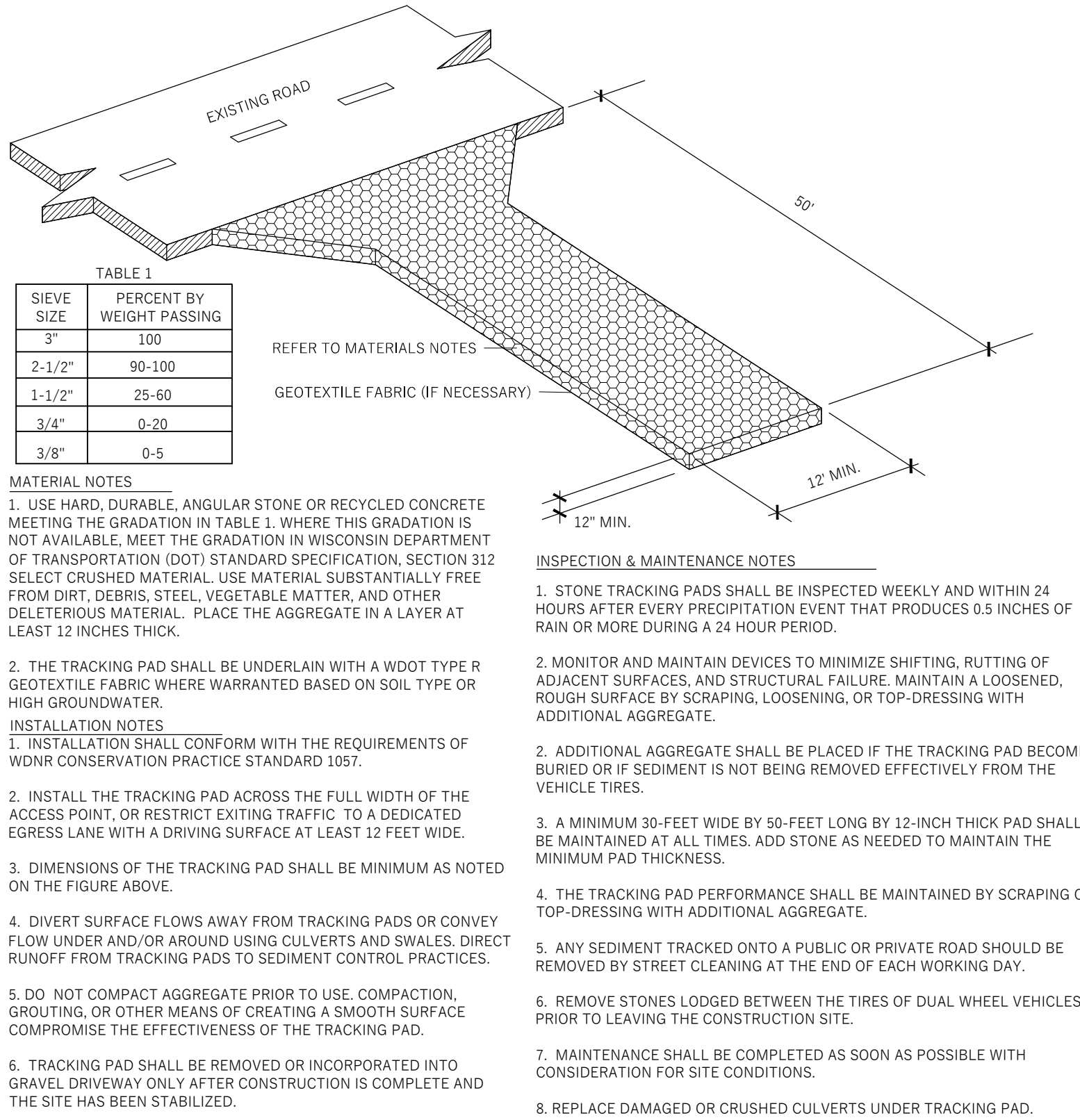
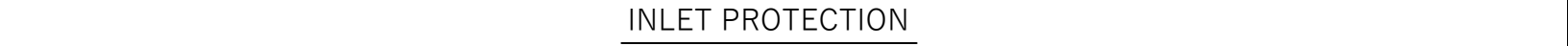
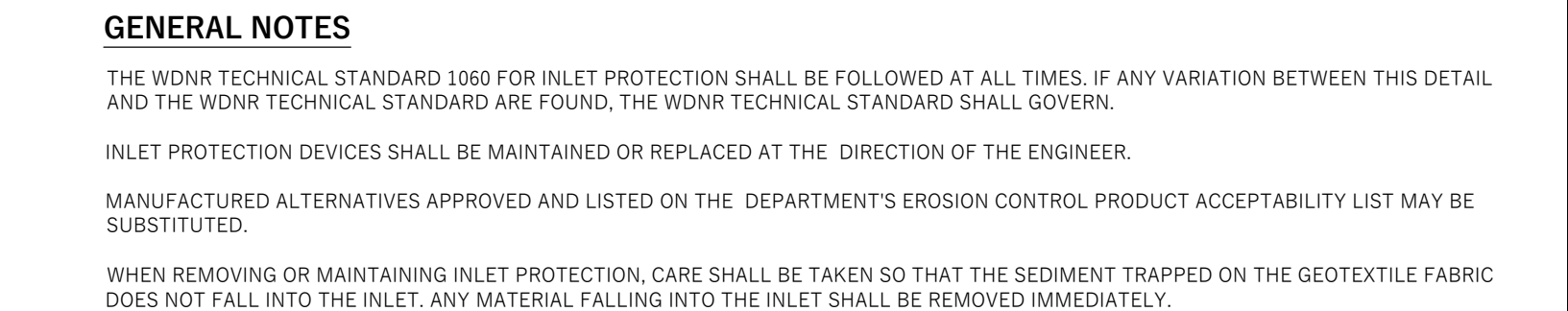
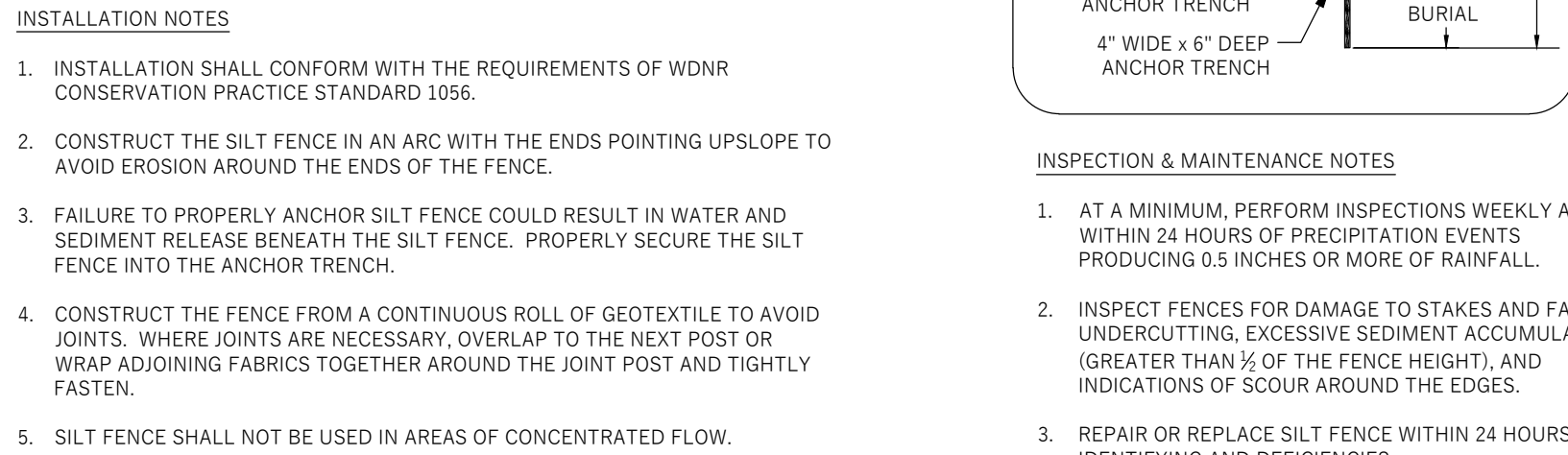
621 WILLIAMSON ST | MADISON WI 53703

C301

UTILITY PLAN - STORM
SEWER PROFILES



SITE SIGNAGE



CITY OF FRANKLIN REVIEW

02/11/2020

REV	DESCRIPTION	DATE
-----	-------------	------



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

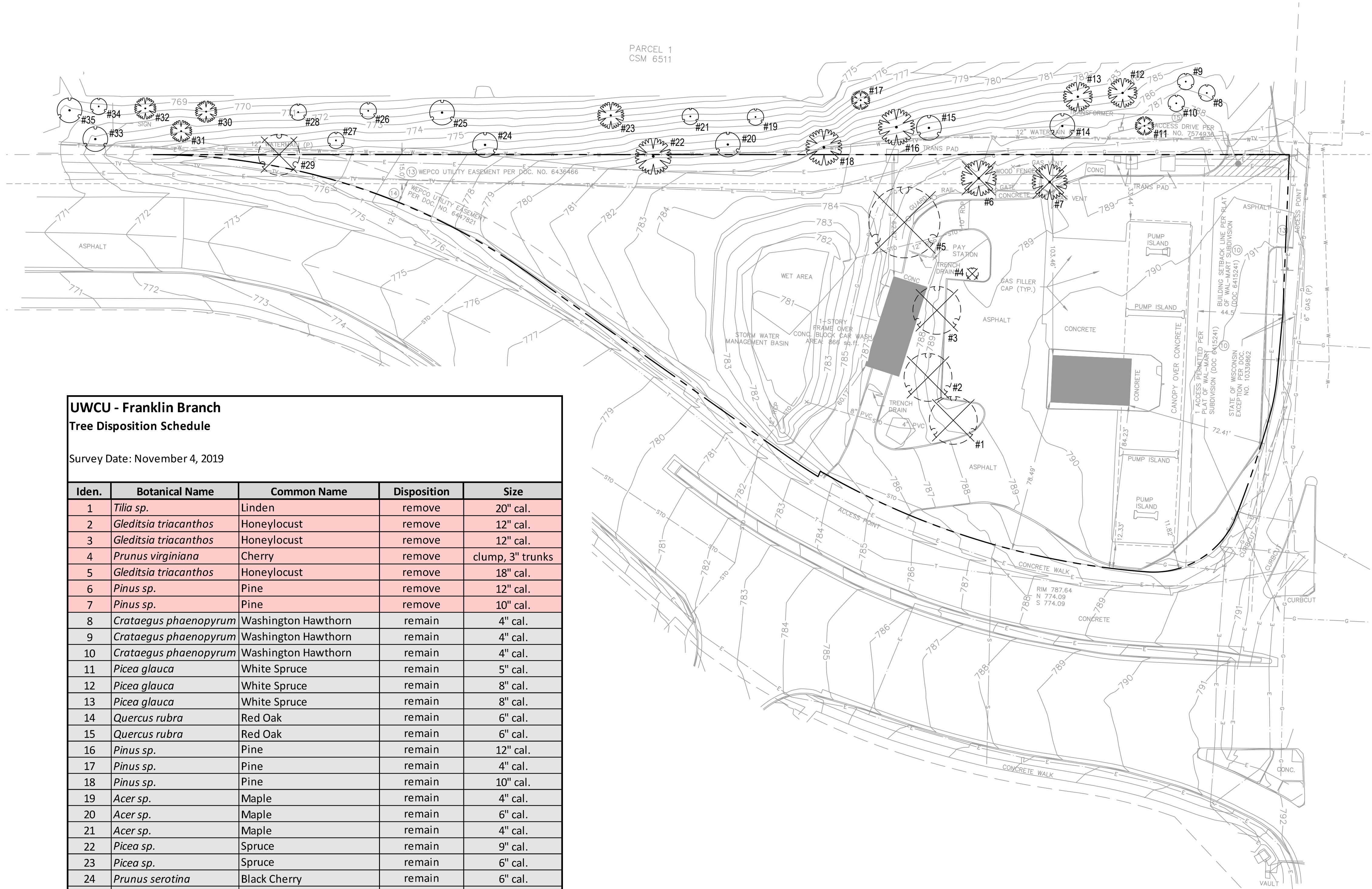
ZD12E



621 WILLIAMSON ST | MADISON WI 53703

C401

DETAILS



LEGEND

DECIDUOUS TREE
TO BE REMOVED

DECIDUOUS TREE
TO REMAIN

EVERGREEN TREE
TO BE REMOVED

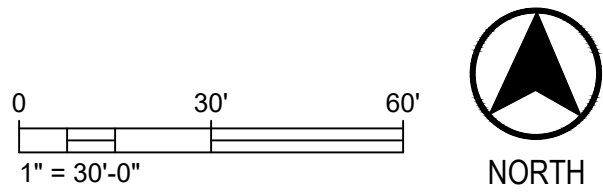
EVERGREEN TREE
TO REMAIN

UWCU - Franklin Branch				
Tree Disposition Schedule				
Survey Date: November 4, 2019				
Iden.	Botanical Name	Common Name	Disposition	Size
1	<i>Tilia sp.</i>	Linden	remove	20" cal.
2	<i>Gleditsia triacanthos</i>	Honeylocust	remove	12" cal.
3	<i>Gleditsia triacanthos</i>	Honeylocust	remove	12" cal.
4	<i>Prunus virginiana</i>	Cherry	remove	clump, 3" trunks
5	<i>Gleditsia triacanthos</i>	Honeylocust	remove	18" cal.
6	<i>Pinus sp.</i>	Pine	remove	12" cal.
7	<i>Pinus sp.</i>	Pine	remove	10" cal.
8	<i>Crataegus phaenopyrum</i>	Washington Hawthorn	remain	4" cal.
9	<i>Crataegus phaenopyrum</i>	Washington Hawthorn	remain	4" cal.
10	<i>Crataegus phaenopyrum</i>	Washington Hawthorn	remain	4" cal.
11	<i>Picea glauca</i>	White Spruce	remain	5" cal.
12	<i>Picea glauca</i>	White Spruce	remain	8" cal.
13	<i>Picea glauca</i>	White Spruce	remain	8" cal.
14	<i>Quercus rubra</i>	Red Oak	remain	6" cal.
15	<i>Quercus rubra</i>	Red Oak	remain	6" cal.
16	<i>Pinus sp.</i>	Pine	remain	12" cal.
17	<i>Pinus sp.</i>	Pine	remain	4" cal.
18	<i>Pinus sp.</i>	Pine	remain	10" cal.
19	<i>Acer sp.</i>	Maple	remain	4" cal.
20	<i>Acer sp.</i>	Maple	remain	6" cal.
21	<i>Acer sp.</i>	Maple	remain	4" cal.
22	<i>Picea sp.</i>	Spruce	remain	9" cal.
23	<i>Picea sp.</i>	Spruce	remain	6" cal.
24	<i>Prunus serotina</i>	Black Cherry	remain	6" cal.
25	<i>Prunus serotina</i>	Black Cherry	remain	6" cal.
26	<i>Betula nigra</i>	River Birch	remain	clump, 3" trunks
27	<i>Betula nigra</i>	River Birch	remain	clump, 4" trunks
28	<i>Betula nigra</i>	River Birch	remain	4" cal.
29	<i>Crataegus sp.</i>	Hawthorn	remove	clump, 10"
30	<i>Picea sp.</i>	Spruce	remain	6" cal.
31	<i>Picea sp.</i>	Spruce	remain	6" cal.
32	<i>Picea sp.</i>	Spruce	remain	6" cal.
33	<i>Malus sp.</i>	Crabapple	remain	6" cal.
34	<i>Malus sp.</i>	Crabapple	remain	4" cal.
35	<i>Malus sp.</i>	Crabapple	remain	6" cal.

1

Existing Landscape Plan

SCALE: 1" = 30'-0"



CITY OF FRANKLIN REVIEW

02/11/2020

REV	DESCRIPTION	DATE
	SPECIAL USE APPLICATION	11/11/2019



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

ZD12E



621 WILLIAMSON ST | MADISON WI 53703

L100

EXISTING LANDSCAPE
PLAN

LEGEND

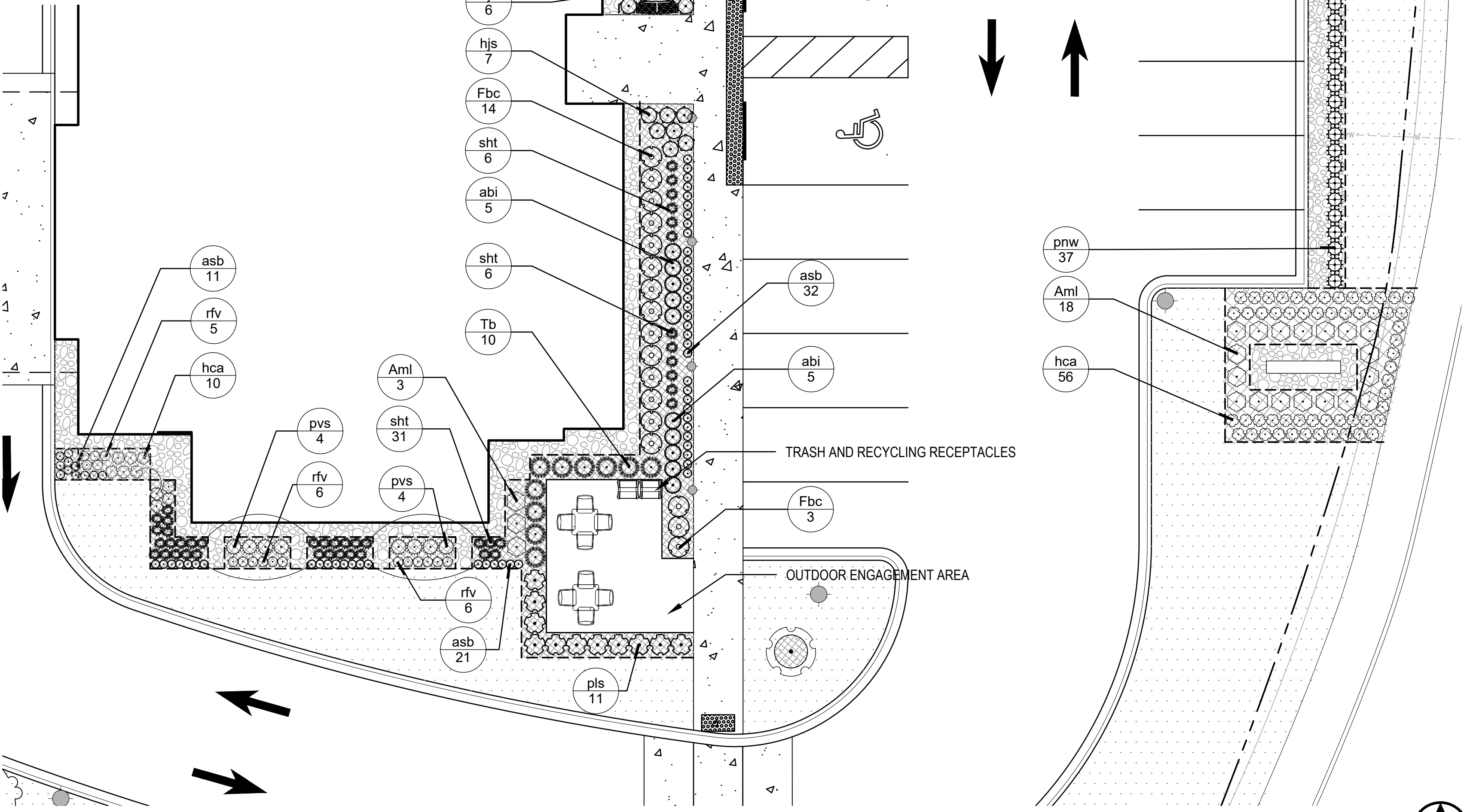
TURF

HARDWOOD BARK MULCH

DECORATIVE STONE MULCH

ALUMINUM EDGING

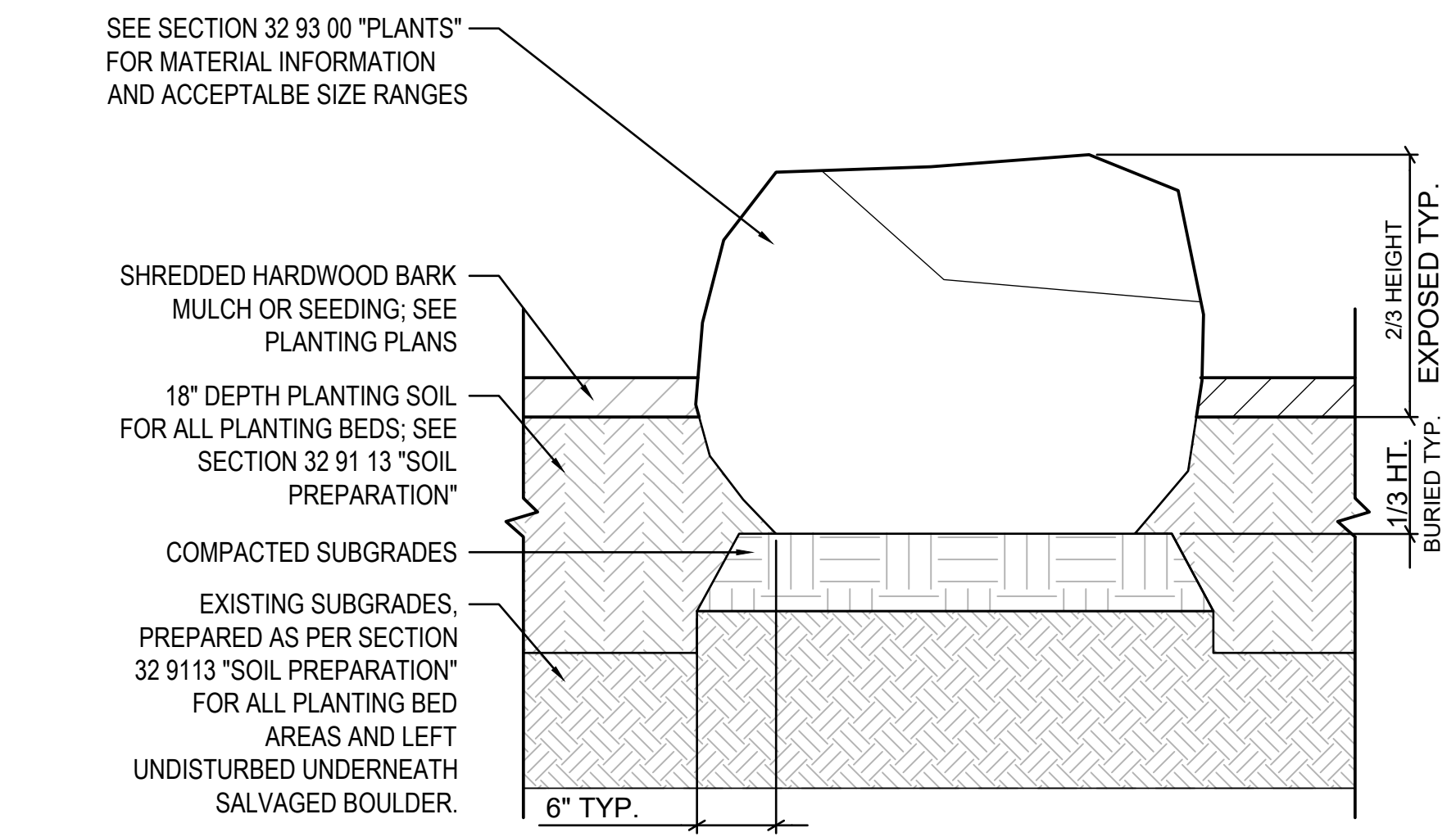
SITE LIGHTING (SEE ELECTRICAL PLANS)



1

Foundation & Sign Planting Enlargement

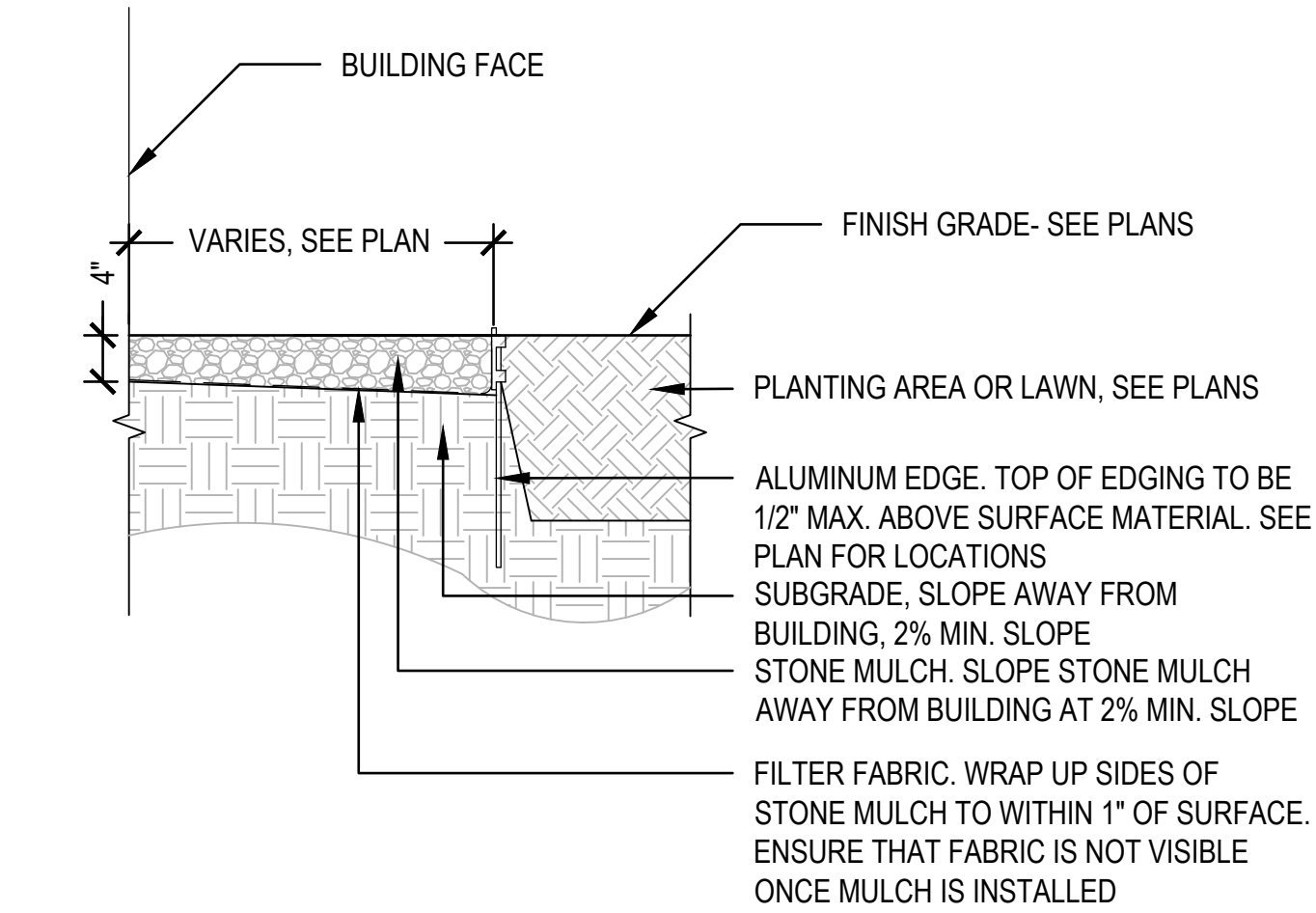
SCALE: 1" = 10'-0"



2

Landscape Boulder Detail

SCALE: NTS



3

Stone Mulch Maintenance Strip Detail

SCALE: NTS

NOTES:

1. PLANT EACH TREE SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.

3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE THE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ALL ROOT BALLS.

4. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

5. DO NOT PLACE MULCH IN CONTACT WITH STEMS.

6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.

8. PRUNE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE.

9. WATER THROUGHOUT WHEN PLANTING PIT IS HALF-FULL, BEFORE PLACING REMAINING BACKFILL, AND AGAIN AFTER BACKFILL IS PLACED. ADJUST SOIL FOR SETTLING.

3" DEPTH OF MULCH TO OUTER EDGE OF PLANTING HOLE

PLANTING SOIL

SUBGRADE

SLOPE SIDES OF EXCAVATED SOIL.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT

TREE PIT WIDTH - 2X BALL DIAMETER MINIMUM

4

Tree Planting Detail

SCALE: NTS

NOTES:

1. FOR 3 TO 10 GALLON CONTAINERS: MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING.

2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.

4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.

5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

6. DO NOT PLACE MULCH IN CONTACT WITH STEMS.

7. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.

8. PRUNE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE.

9. WATER THROUGHOUT WHEN PLANTING PIT IS HALF-FULL, BEFORE PLACING REMAINING BACKFILL, AND AGAIN AFTER BACKFILL IS PLACED. ADJUST SOIL FOR SETTLING.

SHRUB

SHRUBS MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.

3" SHREDDED BARK MULCH DO NOT PLACE MULCH IN CONTACT WITH TRUNK/STEMS.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

SUBGRADE

SLOPE SIDES OF EXCAVATED SOIL.

PLANTING SOIL

PLACE ROOT BALL ON EXISTING OR RECOMPACTED SOIL.

SHRUB PIT WIDTH - 2X BALL DIAMETER MINIMUM

HEIGHT OF ROOT BALL

2", MIN.

5

Container Planting Detail

SCALE: NTS

saiki
DESIGN

CITY OF FRANKLIN REVIEW

02/11/2020

REV	DESCRIPTION	DATE
	SPECIAL USE APPLICATION	11/11/2019

uw
credit
union

UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

ZD12E

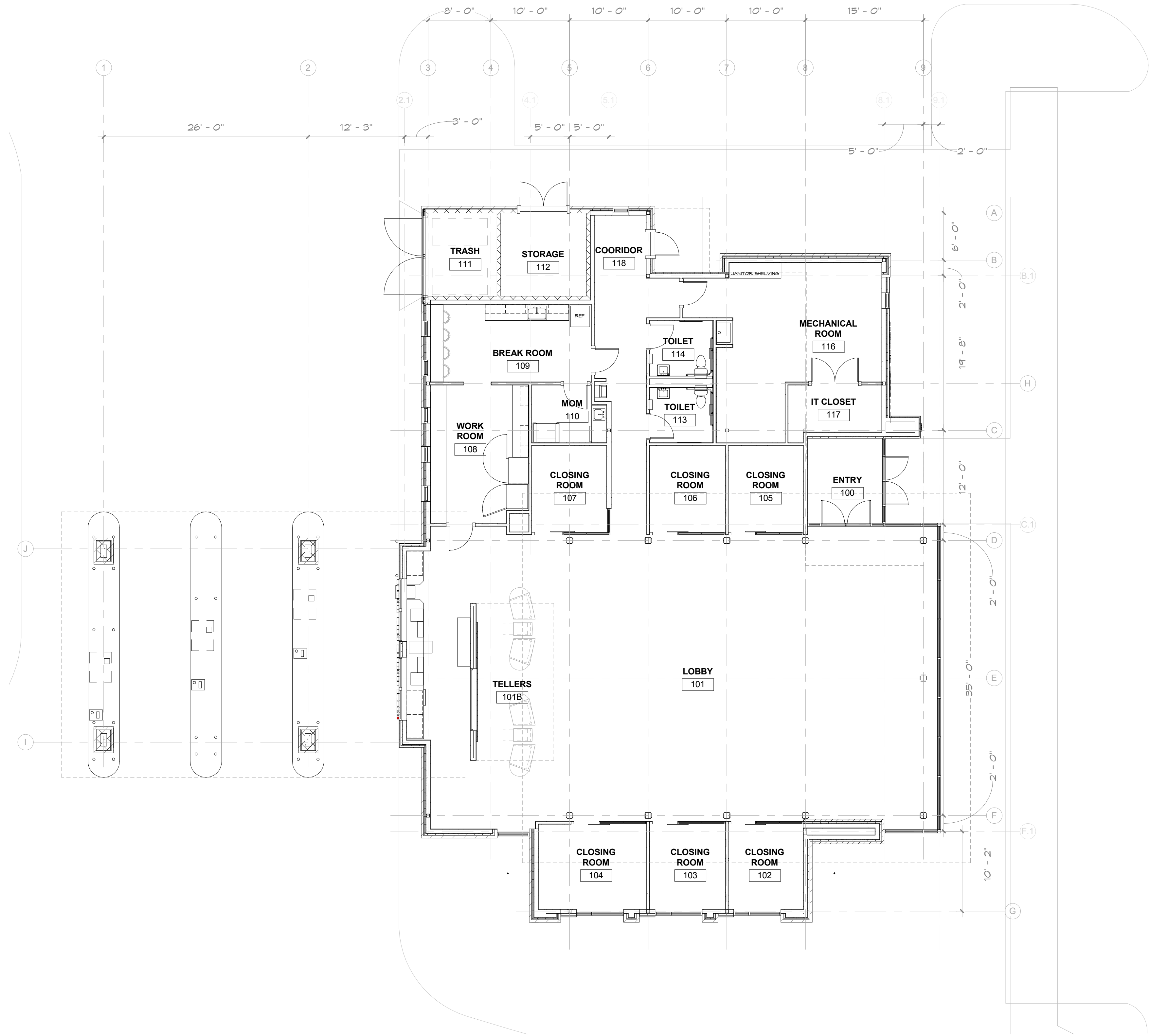
KEE
architecture

621 WILLIAMSON ST | MADISON WI 53703

L102

LANDSCAPE
ENLARGEMENT

Printed: 11/6/2019 11:17:43 AM



LEVEL 1 - FLOOR PLAN
1/8" = 1'-0"

CITY OF FRANKLIN
REVIEW

02/11/2020

REV	DESCRIPTION	DATE
-----	-------------	------



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

ZD12E



621 WILLIAMSON ST | MADISON WI 53703

A201

LEVEL 1 - PLAN



1 SOUTH
A302 1/4" = 1'-0"



2 WEST
A302 1/4" = 1'-0"

SIGNAGE IS CONCEPTUAL - SUBJECT TO SEPARATE APPLICATION AND REVIEW

CITY OF FRANKLIN
REVIEW

02/11/2020

REV	DESCRIPTION	DATE
-----	-------------	------



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

ZD12E

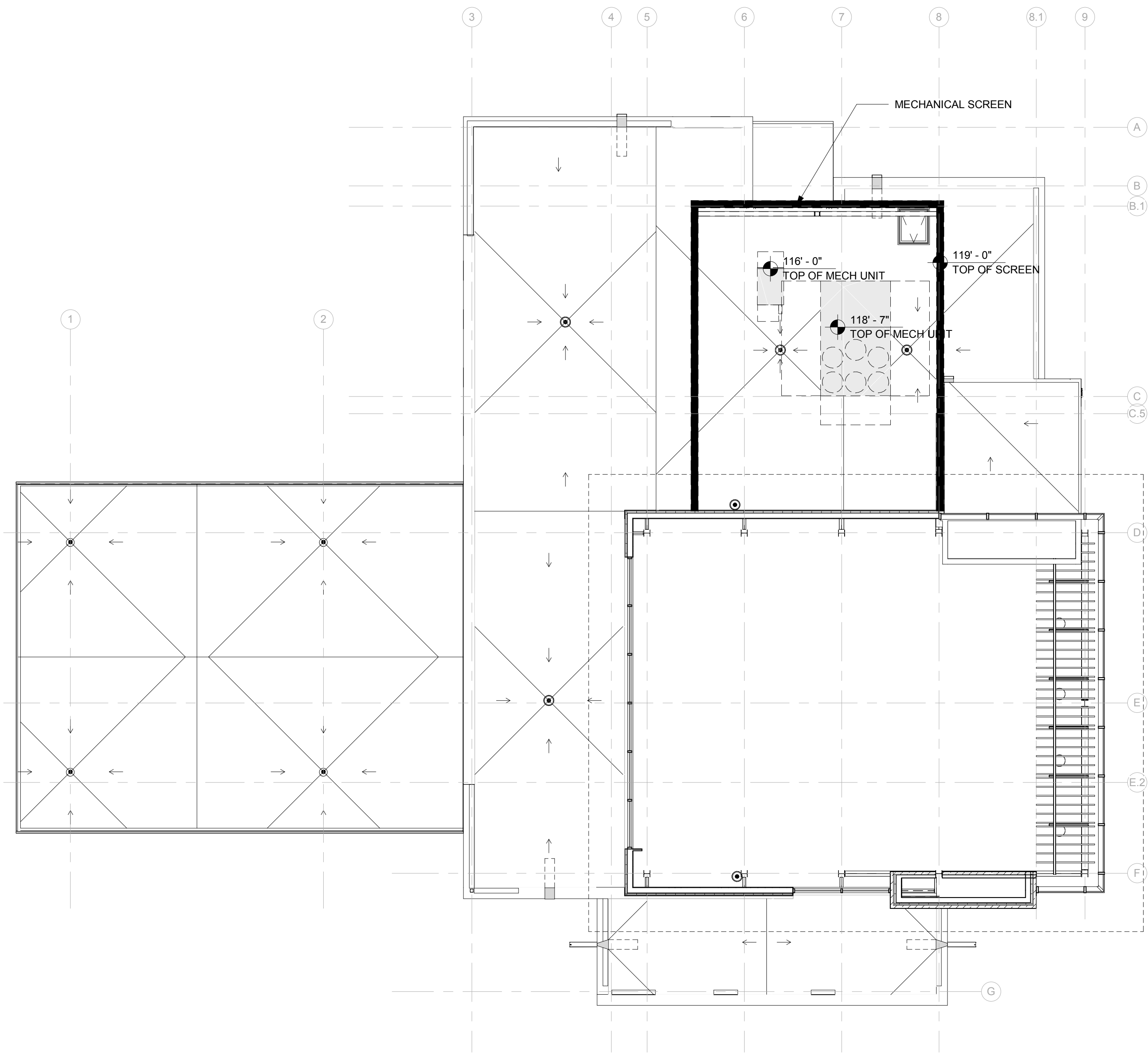
KEE
architecture

621 WILLIAMSON ST | MADISON WI 53703

A302

BUILDING ELEVATIONS

1 ROOF MECHANICAL PLAN
M100
1/8" = 1'-0"



CITY OF FRANKLIN REVIEW

02/11/2020

REV	DESCRIPTION	DATE
-----	-------------	------



UW Credit Union
Franklin Branch

6611 S 27th Street
Franklin, Wisconsin - 53132

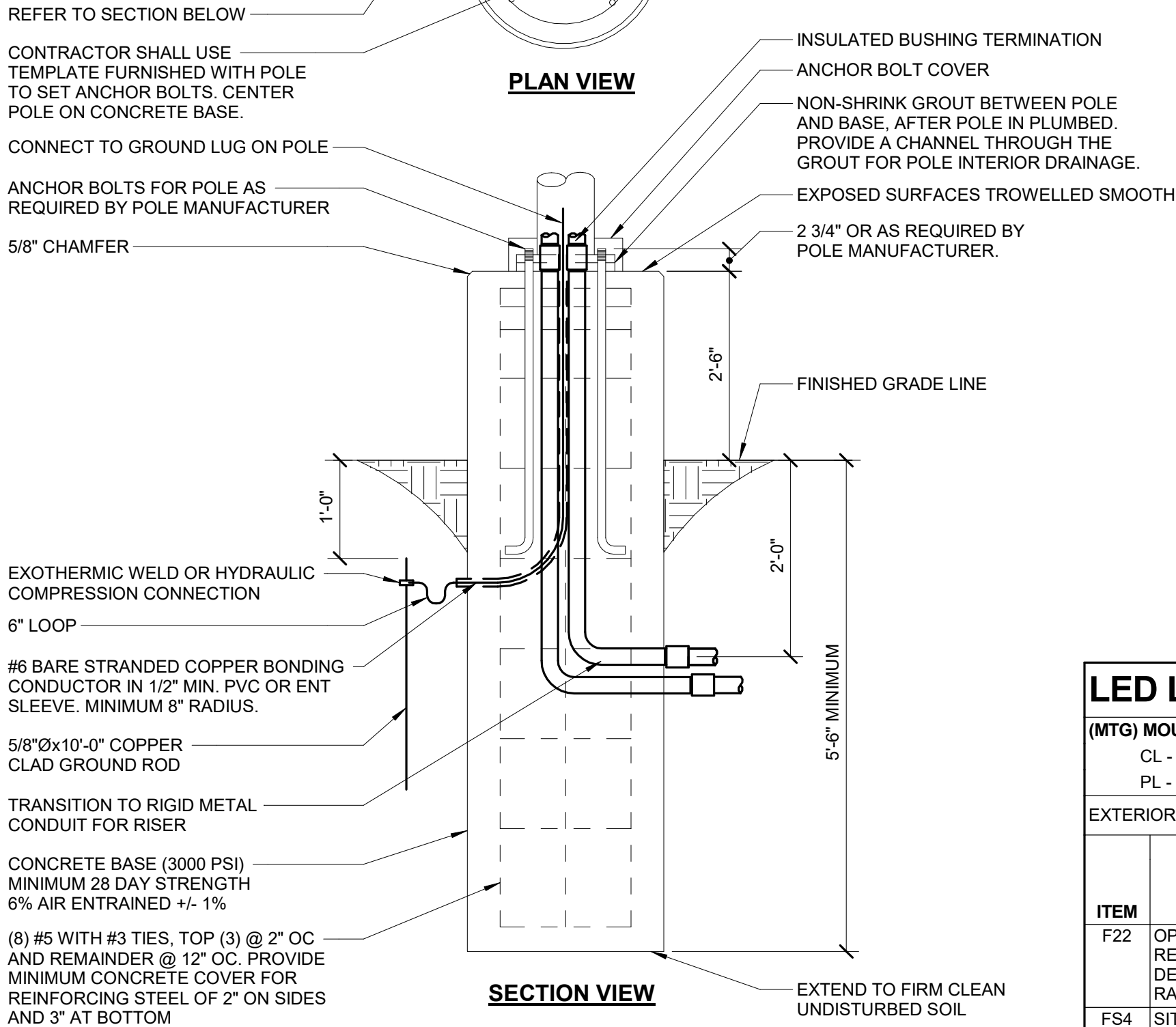
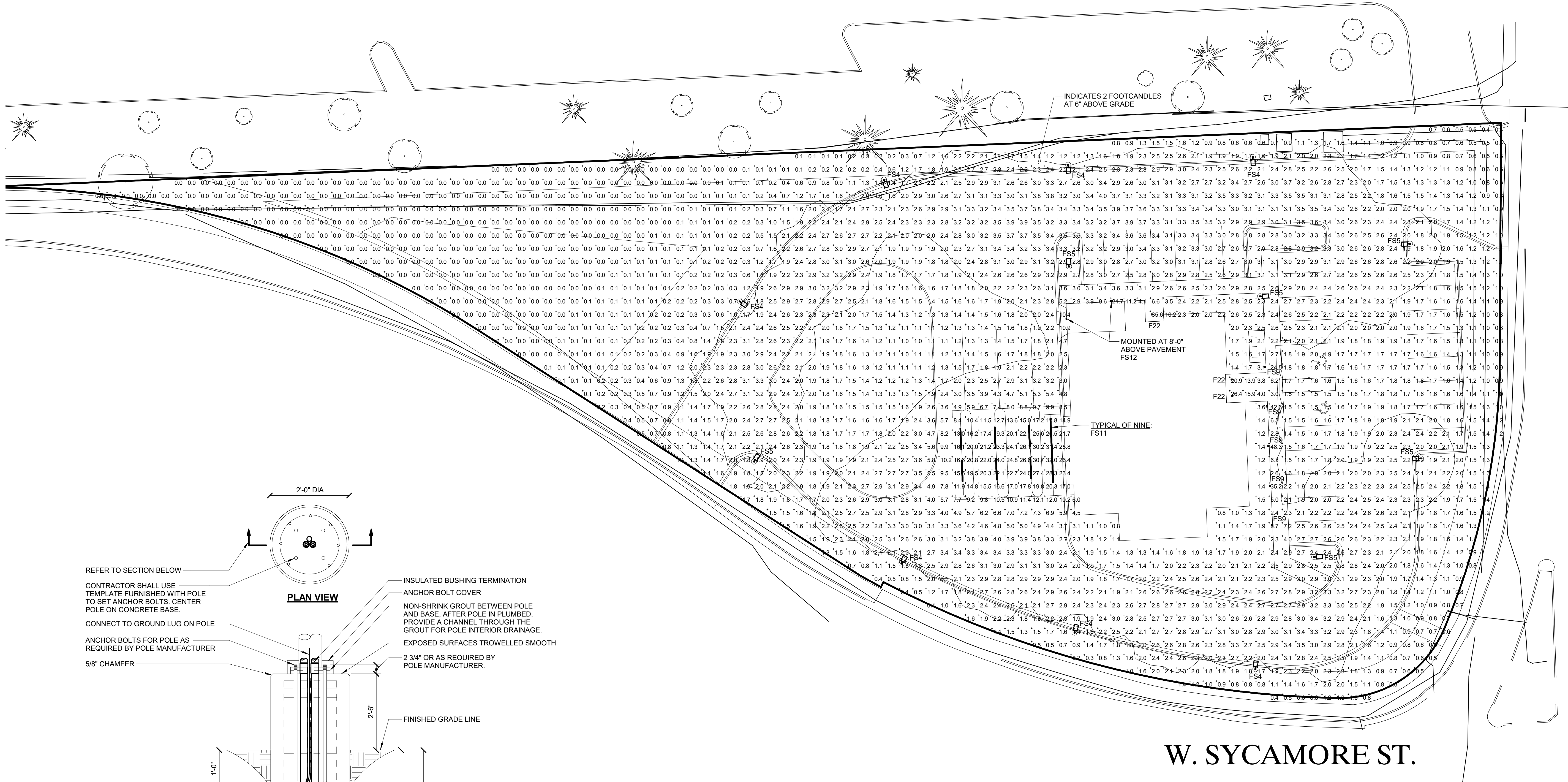
ZD12E

KEE
architecture

621 WILLIAMSON ST | MADISON WI 53703

M100

MECHANICAL PLAN



2 EXTENDED POLE BASE DETAIL

NO SCALE

LED LUMINAIRE SCHEDULE

(MTG) MOUNTING:							(WATT) PER:							FIX - FIXTURE, FT - FOOT, LAMP	
CL - CEILING SURFACE				RE - RECESSED			(TYPE) LED								
PL - POLE				WL - WALL			LED - LIGHT EMITTING DIODE								
EXTERIOR CORRELATED COLOR TEMPERATURE 4000K, COLOR RENDERING INDEX (CRI) AT OR ABOVE 70, UNLESS NOTED OTHERWISE.															
ITEM	DESCRIPTION	MTG	DIMENSIONS				WATT			LED			APPROVED MANUFACTURER		
			L	W	H	DIA.	ANSI	PER	TYPE	QTY	ABSOLUTE LUMENS (MIN)				
F22	OPEN DOWNLIGHT, SELF TRIMMING REFLECTOR CSA, 1" REGRESS BEVEL, 50 DEGREE BEAM, WET LOCATION LISTED, IC RATED HOUSING.	RE			9"	5 39/64"	33 W	FIX	LED	1	2400	USAI 3021W-B1-S-LRTD4-9033-C3			
FS4	SITE LIGHT, CAST ALUMINUM HOUSING, TYPE IV DISTRIBUTION WITH BACKLIGHT SHIELD, WET LOCATION, 4" SQUARE x 20" STRAIGHT ALUMINUM POLE, BLACK FINISH	PL	2'-3 1/2"	1'-7"	4"		110 W	FIX	LED	1	9291	CREE ARE-EDG-DA			
FS5	SITE LIGHT, CAST ALUMINUM HOUSING, TYPE V DISTRIBUTION, WET LOCATION, 4" SQUARE x 20" STRAIGHT ALUMINUM POLE, BLACK FINISH	PL	2'-3 1/2"	1'-7"	4"		110 W	FIX	LED	1	12975	CREE ARE-EDG-DA			
FS9	BOLLARD, ALUMINUM HEAD AND 40" HIGH RECTANGULAR SHAFT, TEMPERED GLASS DIFFUSER LENS, TYPE II DISTRIBUTION, WET LOCATION, IP65, IRON GRAY TEXTURED POWDER COAT FINISH, INCREASED RIGIDITY BASE PLATE.	PL	5 1/8"	2"	5 1/8"		11 W	FIX	LED	1	915	PERFORMANCE IN LIGHTING 071816			
FS11	DIRECT CONTINUOUS EXTRUDED ALUMINUM FIXTURE, FLUSH IMPACT RESISTANT FROSTED ACRYLIC LENS, WET LOCATION, SEMI-MATTE BLACK FINISH.	CL	8'-0"	4"	4"		100 W	FIX	LED	1	789 PER FT	SELUX L60W			
FS12	EXTERIOR WALL MOUNT WITH DIRECTED LIGHT, STIPPLED TEMPERED CLEAR GLASS, BLACK FINISH, IP65 LISTED, SUITABLE FOR WET LOCATIONS.	WL	8"	8"	8"		23 W	FIX	LED	1	1893	BEGA 33242			

Statistics						
	Avg	Max	Min	Max/Min	Avg/Min	
DRIVE-UP LANES	8.0 fc	32.0 fc	1.1 fc	29.1:1	7.3:1	
EAST PARKING	2.0 fc	3.1 fc	1.3 fc	2.4:1	1.5:1	
NE ENTRY	1.0 fc	2.0 fc	0.4 fc	5.0:1	2.5:1	
NORTH PARKING	3.0 fc	4.0 fc	1.5 fc	2.7:1	2.0:1	
SOUTH DRIVE	2.6 fc	4.6 fc	1.3 fc	3.5:1	2.0:1	
SW ENTRY AND DRIVE	2.6 fc	3.9 fc	0.8 fc	4.9:1	3.3:1	



1800 DEMINGS WAY SUITE 200
MIDDLETON, WI 53562
608.223.9600 FAX: 608.836.0415
www.imegcorp.com # 19002804.00

REV	DESCRIPTION	DATE
-----	-------------	------

S. 27th ST. (U.S.H. 41)

W. SYCAMORE ST.



1

ELECTRICAL SITE PLAN - CITY SUBMITTAL

1" = 20'-0"



UW Credit Union
Franklin Branch

6611 S. 27th Street
Franklin, Wisconsin - 53132

ZD12E

KEE
architecture

EC01

ELECTRICAL SITE PLAN -
CITY SUBMITTAL

621 WILLIAMSON ST | MADISON WI 53703



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of March 5, 2020

Site Plan Amendment

RECOMMENDATION: City Development staff recommends approval of the Site Plan Amendment for the Ballpark Commons (BPC) Indoor Sports Complex, Buildings S3/C2.

Project Name:	Ballpark Commons Indoor Sports Complex, Buildings S3/C2, Site Plan Amendment
Project Address:	7085 and 7095 South Ballpark Drive
Applicant:	River Rock Performance Properties, LLC Chris Buday, representative
Property Owner:	BPC County Land, LLC
Current Zoning:	PDD No. 37
2025 Comprehensive Plan:	Mixed Use
Use of Surrounding Properties:	Parking areas to the north, Rawson Avenue to the south, proposed access drive and landscape easement to the west, the Golf facility (not yet constructed) and Ballpark Drive to the east.
Applicant's Action Requested:	Plan Commission approval of the Site Plan Amendment.

INTRODUCTION:

On January 31, 2020, the applicant submitted a Site Plan Amendment for the Ballpark Commons Indoor Sports Complex (Building S3/C2). The subject building/Site Plan had been previously approved by Plan Commission Resolution 2018-007 on June 21, 2018, and amended by Resolution 2019-016 on September 19, 2019, but not yet constructed.

This development consists of two proposed attached buildings, S3 and C2. The S3 building is an indoor sports complex/training facility and C2 is a 3-story office building

The applicant is requesting the following changes:

- First floor. To remove office, retail, lobby and vestibule areas from the northeast corner of the building. This would result in a reduced building footprint.
- To reduce the display window area along the north and east elevations of Building S3.
- To replace the northeast customer entrance with egress only doors.
- To detach the refuse and service area from the main building.
- To remove all batting cages from the first and second floor.
- South elevation. In order to compensate the removal of the batting cages from the second floor, the applicant is proposing a higher first level parapet.

PROJECT ANALYSIS:

Please note that the attached plan sheets dated June 5, 2019, reflect the pertinent architectural plans that were approved by the Plan Commission by Resolution No. 2019-016. Plan sheets date-stamped February 25, 2020, is the Site Plan amendment proposed by the applicant.

The site is located in the Rock Sports Complex Area of Planned Development District (PDD) No. 37, therefore is subject to PDD Ordinance No. 2019-2368, §15-3.0442A “The Rock Sports Complex Area”.

The applicant is proposing to decrease the overall floor area from 144,043 sf to 132,802 sf, resulting in a reduced floor area ratio (FAR). The landscape surface ratio (LSR) would be increased with this request, by the addition of 11,241 sf of landscaped areas. Considering the floor area, this building is subject to the design standards set forth in Section 15-3.0442.E(B)(6) of the PDD Ordinance, applicable to buildings greater than 40,000 sf in area.

On February 20, 2020, City Development staff sent a memorandum with review comments to the applicant, the topics noted in the memorandum included: landscaping, PDD design standards, signage, and comments from the Departments of Fire, Engineering and Inspection Services.

Staff noted inconsistencies between the submitted floor area calculations and the site plan, condition #10 has been added to the draft resolution to address this concern.

Design standards

Per PDD Ordinance §15-3.0442E(B)(6)(f), *unless excepted by the Plan Commission, all sides of the building that directly face or abut a public street or public parking area shall have at least one public entrance, except that the City shall not require building entrances on more than two (2) sides of any building.* This proposed site plan amendment would replace a customer entrance located in the northeast corner of Building S3 with egress only doors, resulting in only one customer entrance located in the north façade of Building C2. This amendment requires an exception of the Plan Commission to allow only one customer entrance instead of two entrances.

Hours of operations

The applicant is not proposing any changes to the hours of operation, currently set as follows in the PDD Ordinance: *Hours of operation of the Indoor Baseball and associated facility shall be limited to 5:00 a.m. to 12:00 a.m. (midnight).*

CONCLUSION:

City Development staff recommends approval of the Site Plan Amendment for the Ballpark Commons Golf Facility, Building S3/C2, subject to the conditions set forth in the attached Resolution:

- With regards to condition #12, an exception by the Plan Commission is required to allow only one customer entrance instead of two entrances, as previously discussed in this staff report.

- **Applicant's request:** *The MOB and Fieldhouse facility located at 7095 S. Ballpark Drive are a single building and therefore only require one main entrance (see attached e-mail from the applicant for details).*
- **Staff comment:** Even though buildings S3/C2 may be considered as a single building massing, the PDD standards for entrances still apply. Additionally, given the location of this building, next to a key intersection such as Ballpark Drive-Rawson Avenue, and that the building faces parking areas to the north and east, these elevations are highly visible and accessible to all Ballpark Commons patrons utilizing the adjacent parking lots.
Staff recommends to require a minimum of two customer entrances.
- Conditions #4-6 are associated with previous approvals but still applicable, specifically Plan Commission Resolutions 2018-007 and 2019-016.

MEMORANDUM

Date: February 20, 2020
To: Chris Buday.
From: Department of City Development
RE: Application for Site Plan Amendment – 7085/7095 S Ballpark Drive

Staff comments are as follows for a Site Plan Amendment application submitted on January 31, 2020, to allow for modifications to the Buildings S3/C2 (Indoor Sports Complex) at Ballpark Commons.

City Development Department comments

1. Per Planned Development District (PDD) Ordinance 2019-2368, §15-3.0442A(C)(1)., please provide updated calculations of Landscape Surface Ratio (LSR) and Floor Area Ratio (FAR).
2. Pursuant to PDD Ordinance §15-3.0442A(D)(4). Landscaping, *plantings shall be provided with a minimum (2) two year plating guaranty*. Please add a note to the landscape plan indicating the provision of a planting guaranty.

Design standards for non-residential buildings [greater than 40,000 sf in area]

3. Pursuant to PDD Ordinance §15-3.0442E(B)(6)(e). Building Design: *Ground floor facades that face and are on properties that are in any part within one hundred (100) feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than fifty (50) percent of their horizontal length.*

The north and east elevations do not comply with this standard. Per staff calculations, the area dedicated to display windows and entry areas along the ground floor façade is below 50% of the total façade length. Please revise and provide updated calculations.

4. Pursuant to PDD Ordinance §15-3.0442E(B)(6)(f). Building Entrances: *Two (2) or more of the following design features shall be incorporated into all public building entryways: canopies or porticos, overhangs, projections, arcades, peaked roof forms, arches, outdoor patios, display windows, distinct architectural details.*

Per submitted plans, two entrances do not appear to comply with this requirement, specifically an entrance in the north elevation between P-K and P-J and another entrance in the east elevation located between P-10 and P-11 (see Sheet A200). Please add the two required architectural details to these entrances.

5. Pursuant to PDD Ordinance §15-3.0442E(B)(6)(i). Screening: *Mechanical equipment, refuse containers and any permitted outdoor storage shall be fully concealed from on-site and off-site ground level views, with materials identical to those used on the building exterior.*

Per submitted site plan (sheet C2.1), note “H” refers to architectural plans for the trash enclosure located north of the principal building. However, the architectural plans have no details of the trash enclosure. Please provide details of the trash enclosure indicating compliance with the requirement cited above.

Per PDD Ordinance §15-3.0442E(B)(6)(b)., the Plan Commission may waive any of the design standards for large non-residential buildings by a majority vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project which compensate for the waiver of the particular standard. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested.

Design standards

6. Pursuant to PDD Ordinance §15-3.0442E(B)(2)(c)(vii). Pedestrian considerations: *The building shall provide awnings or other weather protection features within thirty (30) feet of all customer entrances along a building.*

Two building entrances (as previously identified in comment No. 4) do not comply with this requirement. Please add awnings or weather protection to these entrances.

7. Pursuant to PDD Ordinance §15-3.0442E(B)(2)(b). Coordination of site furnishings: *Lighting and site furnishings (benches, trash receptacles, bicycle racks, etc.) shall complement the character of the building, and provide an attractive and strong relationship with adjoining properties and the public sidewalk throughout the entire District.*

Any proposed pedestrian amenities?

Per PDD Ordinance §15-3.0442E(A)., the Plan Commission may waive any of the Design Standards by 4 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project which compensate for the waiver of the particular standard. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested.

Signage

Per PDD Ordinance §15-3.0442A(D)(1)(e) Signs, *all signs must be in accordance with the Municipal Code.*

8. The proposed roof sign located in the south elevation between B.8 and N.2 (see sheet A200) does not appear to comply with the following requirements applicable to roof signs:
 - a. Municipal Code §210-4C(6)(a)(2): *An open space not less than four feet shall be maintained between the bottom of the sign or billboard facing and the roof, except that necessary supports extending through such space will be permitted.*

Please add a detail of this roof sign indicating the distance between the bottom of the sign and the roof.

- b. Municipal Code §210-4C(6)(c)(1): *When a roof sign or billboard is erected parallel to the exterior wall of a building, the distance between the facing of such sign and the parallel wall of the building shall be not less than five feet.*

Please add a detail of this roof sign indicating the distance between the facing of said sign and the parallel wall facing Rawson Avenue.

9. Per sheet A210 “Exterior images”, logos and signage would be located in the south elevation below the roof sign. It appears that these signs were not included in the signage schedule of sheet A200, please revise.

10. Per Municipal Code §210-4C(7)(b)(1)., no part of a combustible wall sign or billboard shall be more than 30 feet above the established grade immediately below.

Four proposed wall signs are located 30 feet or more above grade. Will these signs be made of combustible materials? Please provide supporting documentation. If the signs are not combustible, this height limitation is not applicable, otherwise these signs would need to be relocated.

11. Please provide details of the proposed monument sign, site plan (sheet C2.1) note “M”.
12. Any illuminated signs? Please be aware that illuminated signs must comply with Municipal Code §210-4C(14).

Inspection Services Department comments

13. The proposed changes to Building S3/C2 are significant enough to warrant a plan re-submittal to the State Department of Safety & Professional Services. The applicant will need to re-submit the revised State Approved plans along with all other required documents listed in the attachment to Inspection Services and noting it as a “submittal of revised plans after permit issuance” on the Building Permit Application. An application fee of \$200 is due with the submittal.

Engineering Department comments

14. Submit a revised plat of survey for building footprint changes.

Fire Department comments

15. The fire department has no comments/concerns regarding the proposed site changes. Previous fire protection requirements apply.

RESOLUTION NO. 2020-____

A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTIES LOCATED AT 7085 AND 7095 SOUTH BALLPARK DRIVE TO REVISE CERTAIN ASPECTS OF THE INDOOR SPORTS COMPLEX AND 3-STORY OFFICE BUILDING SITE PLAN, INCLUDING BUT NOT LIMITED TO REMOVAL OF THE OFFICE, RETAIL, LOBBY AND VESTIBULE AREAS FROM THE NORTHEAST CORNER ON THE FIRST FLOOR OF THE BUILDING, [RESULTING IN A REDUCED BUILDING FOOTPRINT AND REDUCED DISPLAY WINDOW AREA ALONG THE NORTH AND EAST ELEVATIONS], REPLACING THE NORTHEAST CUSTOMER ENTRANCE WITH EGRESS DOORS, DETACHING THE REFUSE AND SERVICE AREA FROM THE FIRST FLOOR OF THE BUILDING, REMOVAL OF ALL BATTING CAGES FROM THE FIRST AND SECOND FLOOR OF THE BUILDING AND RAISING THE FIRST LEVEL PARAPET ON THE SOUTH ELEVATION OF THE BUILDING (TO COMPENSATE FOR THE REMOVAL OF THE BATTING CAGES FROM THE SECOND FLOOR)
(TAX KEY NO. 744-1005-000)
(RIVER ROCK PERFORMANCE PROPERTIES, LLC, APPLICANT,
BPC COUNTY LAND, LLC, PROPERTY OWNER)

WHEREAS, River Rock Performance Properties, LLC, applicant, BPC County Land, LLC, property owner, having applied for an amendment to the site plan for the properties located at 7085 and 7095 South Ballpark Drive, such Site Plan having been previously approved on June 21, 2018, by Resolution No. 2018-007, and amended thereafter by Resolution No. 2019-016, on September 19, 2019; and

WHEREAS, such proposed amendment proposes additional revisions of certain aspects of the Ballpark Commons Indoor Sports Complex and 3-story office building site plan previously approved by the Plan Commission, more specifically, the applicant is proposing: removal of the office, retail, lobby and vestibule areas from the northeast corner on the first floor of the building; [resulting in a reduced building footprint and reduced display window area along the north and east elevations]; replacing the northeast customer entrance with egress doors, detaching the refuse and service area from the first floor of the building; removal of all batting cages from the first and second floor of the building; raising the first level parapet on the south elevation of the building (to compensate for the removal of the batting cages from the second floor), properties located at 7085 and 7095 South Ballpark Drive, and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

RIVER ROCK PERFORMANCE PROPERTIES, LLC – SITE PLAN AMENDMENT
RESOLUTION NO. 2020-_____

Page 2

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Site Plan for River Rock Performance Properties, LLC, to remove the office, retail, lobby and vestibule areas from the northeast corner on the first floor of the building, [resulting in a reduced building footprint and reduced display window area along the north and east elevations], replace the northeast customer entrance with egress doors, detach the refuse and service area from the first floor of the building, remove all batting cages from the first and second floor of the building and raise the first level parapet on the south elevation of the building (to compensate for the removal of the batting cages from the second floor), as submitted by River Rock Performance Properties, LLC, as described above, be and the same is hereby approved, subject to the following conditions:

1. River Rock Performance Properties, LLC, applicant, BPC County Land, LLC, property owner, successors and assigns and any developer of the River Rock Performance Properties, LLC Indoor Sports Complex and 3-story office building (S3/C2) additional revisions project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the River Rock Performance Properties, LLC Indoor Sports Complex and 3-story office building (S3/C2) additional revisions project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
2. The approval granted hereunder is conditional upon River Rock Performance Properties, LLC, applicant, BPC County Land, LLC, property owner, and the River Rock Performance Properties, LLC Indoor Sports Complex and 3-story office building (S3/C2) additional revisions project for the properties located at 7085 and 7095 South Ballpark Drive: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The River Rock Performance Properties, LLC, Indoor Sports Complex and 3-story office building (S3/C2) additional revisions project shall be developed in substantial compliance with the plans City file-stamped February 25, 2020.
4. Pursuant to Plan Commission Resolution No. 2019-016, condition #6, the applicant, owner(s) of the property, successors and assigns, shall install pedestrian friendly amenities such as pedestrian furniture, pedestrian scale lighting and trash receptacles

RIVER ROCK PERFORMANCE PROPERTIES, LLC – SITE PLAN AMENDMENT
RESOLUTION NO. 2020-_____

Page 3

shall be installed in the parking lot north of the building, and obtain Department of City Development approval, prior to issuance of any Final Occupancy Permit.

5. Pursuant to Plan Commission Resolution No. 2019-016, condition #7, the applicant, owner(s) of the property, successors and assigns, shall obtain approval from Milwaukee County for all proposed landscaping within the West Rawson Avenue right-of-way and shall obtain approval from the Franklin Board of Public Works for all proposed landscaping within the South Ballpark Drive right-of-way, prior to issuance of any Final Occupancy Permit.
6. Pursuant to Plan Commission Resolution No. 2019-016, condition #8, the adjacent landscape berm (to the west) shall be constructed, stabilized and landscaped concurrently with the construction of Buildings S3/C2.
7. The building sign area and location as shown shall be subject to staff review, conformance with Chapter 210 of the Municipal Code and issuance of a Sign Permit.
8. The plat of survey shall be subject to Engineering Department review and approval prior to issuance of any Final Occupancy Permit.
9. Pursuant to Ordinance No. 2019-2368 §15-3.0442E(B)(6)(i)., the material and colors of the trash enclosure shall be identical to those used on the exterior of building S3, as listed in the exterior materials schedule (plan sheet A200).
10. The applicant shall submit revised floor area calculations to the Department of City Development, prior to issuance of building permits.
11. Pursuant to Unified Development Ordinance §15-5.0303 “General Landscaping Requirement”, permanent, on-site irrigation is required for all new living landscape areas. Any plant materials included in an approved landscaping plan that do not survive a plant establishment period of two years after installation shall be replaced with plant material(s) of the same or like species of equal size within the next planting season, but in any event, within six months of the plant's demise.
12. Pursuant to Ordinance No. 2019-2368, §15-3.0442E(B)(6)(f), the applicant, owner(s) of the property, successors and assigns, shall revise the site plan to provide a customer entrance in at least two sides of the building that face or abut a public street or public parking area, for Department of City Development approval, prior to issuance of building permits. All customer entrances shall comply with the design standards set forth in the section cited herein.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the River Rock Performance Properties, LLC, Indoor Sports Complex and 3-story office building (S3/C2) additional revisions project as depicted upon the plans City file-

RIVER ROCK PERFORMANCE PROPERTIES, LLC – SITE PLAN AMENDMENT
RESOLUTION NO. 2020-_____

Page 4

stamped February 25, 2020, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan for the properties located at 7085 and 7095 South Ballpark Drive, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

APPROVED:

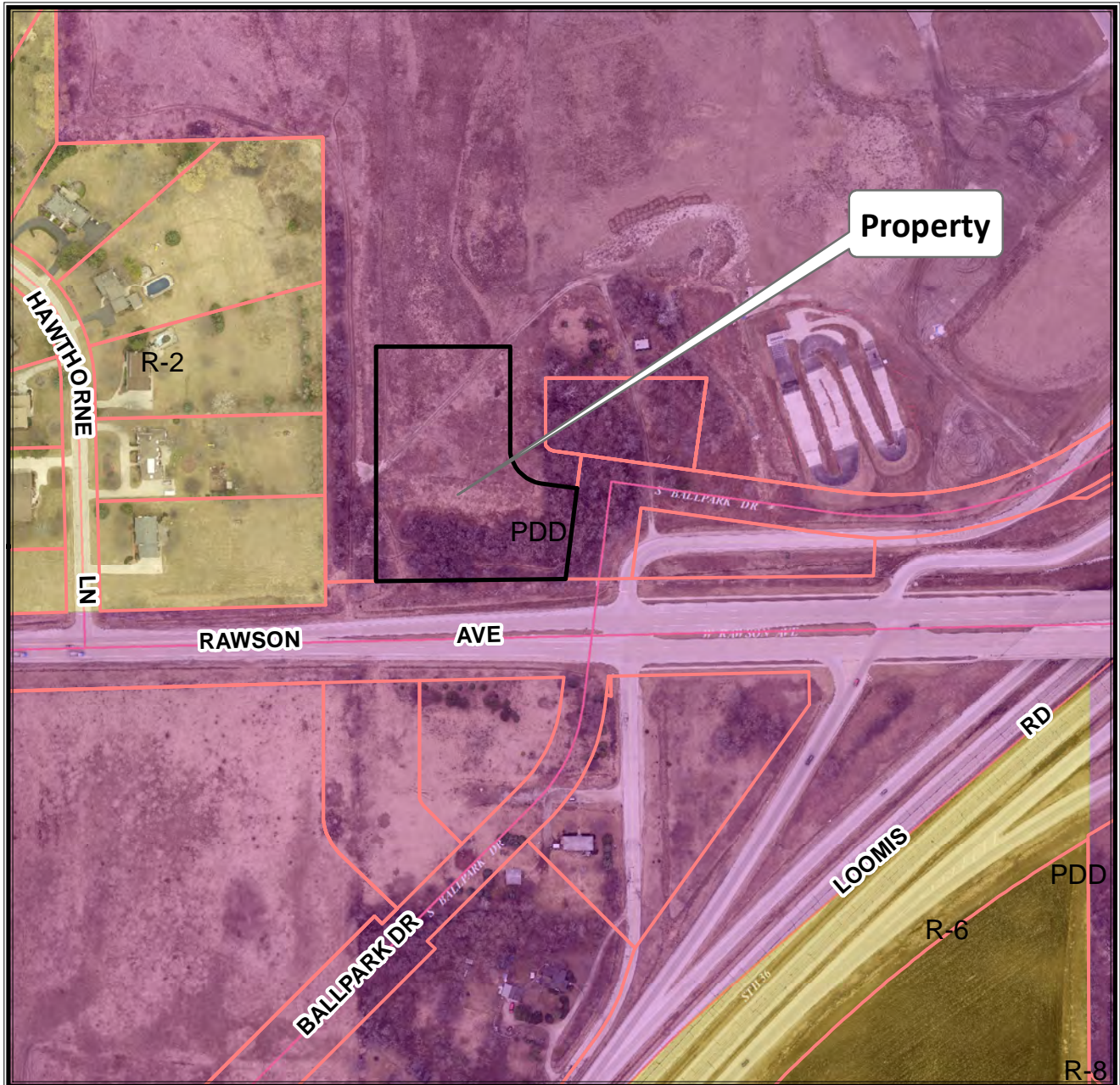
Stephen R. Olson, Chairman

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

7095 S. Ballpark Drive
TKN: 744 1005 000



Planning Department
(414) 425-4024

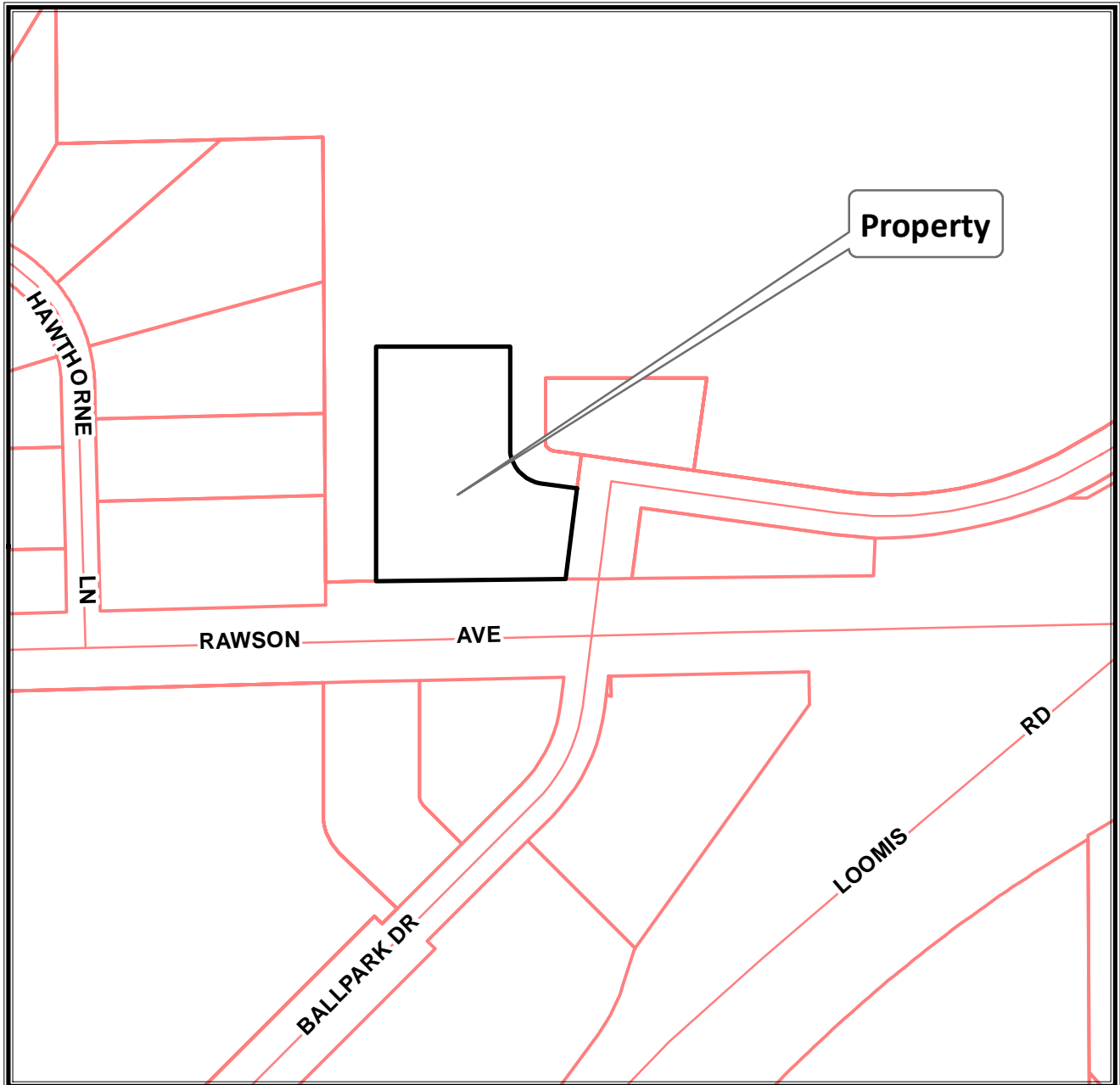
0 175 350 700 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.


NORTH
2017 Aerial Photo



7095 S. Ballpark Drive
TKN: 744 1005 000



Planning Department
(414) 425-4024

0 175 350 700 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Gail Olsen

From: Chris Buday <Chris.Buday@boldt.com>
Sent: Tuesday, February 25, 2020 1:47 PM
To: Regulo Martinez-Montilva
Cc: Gail Olsen; 'mike.jasinski@technomedtrading.com'; Jerry Wick; Alex Brewer; Shawn Kison; Jake Garro
Subject: 7095 S. Ballpark Drive - Plan Commission

Follow Up Flag: Follow up
Flag Status: Flagged

Regulo

This email is to confirm our discussion that the MOB and Fieldhouse facility located at 7095 S. Ballpark Drive are a single building and therefore only require one main entrance.

Our position that the MOB and fieldhouse are a single building is based on the following:

- MOB and fieldhouse are located on a single land parcel
- MOB and fieldhouse have a single ownership entity
- The MOB and field house components are not separated by fire walls, window or other structure but completely open to one another, allowing free unrestricted access from one area to the other (approved by DSPS).
- City of Franklin issued a single building permit for the facility
- WE Energy will provide a single electrical service for the building
- We Energy will provide a single natural gas service for the building
- City of Franklin will provide a single water service for the building

If necessary we can provide additional insight regarding operations, which are also based on the MOB and Fieldhouse acting as a single building.

Thanks - Chris

Chris Buday

Director of Planning Design and Construction

BOLDT.

414.276.4621 | [Direct Dial](#)
414.305.4930 | [Cell/Text](#)
chris.buday@boldt.com

[1110 North Old World 3rd St](#)
[Suite 610](#)
[Milwaukee, WI 53203](#)

boldt.com

Follow Us: [LinkedIn](#) | [Twitter](#) | [Facebook](#)

February 24, 2020

City of Franklin
Department of City Development
Associate Planner
Mr. Regulo Martinez-Montilova
9229 W. Loomis Road
Franklin, WI 53132

Franklin
FEB 25 2020
City Development

Subject: Plan Commission Resolution 2018-007 – S3/C2 Site Plan Amendment 7085/7095 S. Ballpark Drive

Dear Regulo,

The project team responsible for development and design of the Indoor Sports Complex and 3 story office building at 7095 S. Ballpark Drive is in receipt of the, City of Franklin, Department of City Development Memorandum dated February 20, 2020, copy attached for reference.

We are submitting the comments below and attached documents with the understanding our project will be part of the March 5, 2020 Plan Commission meeting agenda.

Our responses to the city Memorandum dated February 20, 2020 can be found below:

City Development Department Comments:

1. The proposed changes will improve both the FAR and LSR for the project.
 - a. Current FAR: 144,043 sq ft building area / 123,817 sq ft lot size = 1.16
Proposed FAR: 132,802 sq ft building area / 123,817 sq ft lot size = 1.07
 - b. The developments landscape surface ration will be improved by this change through the addition of 11,241 sq ft of landscape area and elimination of 11,241 sq ft of building area.
2. River Rock Performance Properties, LLC (Owner) plans to purchase a 1-year planting warranty from our landscape contractor. The owner is prepared to provide a second year of planting warranty/guaranty with a Landscape Bond or other method as needed to comply.
3. All ground face facades of the facility that “face” a public street (Rawson Rd.) include design features as required by City Ordinance. The north and east elevations which are specifically being questioned by the Development department do not face a public street and therefore do not include windows, awnings and other similar features.

4. Upon further review of the doors in question, see below, the project architect has confirmed these door openings are "egress only" and not entrances. As egress opening: neither canopies, porticos, overhangs or projections are required which is reflected in the submitted drawings.
 - a. north elevation between P-K and P-J
 - b. east elevation between P-10 and P-11
5. Architectural plans for the buildings trash enclosure can be found on sheet ASP-101. This sheet details the use of metal panels on enclosures exterior. The metal panels are the same style and color as those used on the adjacent field house structure.
6. Refer to response for item #4
7. The owner plans to provide pedestrian level site amenities including benches, bike racks and trash receptacles. The owner will coordinate the style and location of amenities with other facilities in the Ball Park Commons development to create a unified customer experience.
8. The Owner understands that signage permits must be obtained from the City, separate from the Plan Commission process. The signage permit submission will ensure the following requirements are adhered to:
 - a. An open space of not less than 4' shall be maintained between the bottom of the sign and the roof.
 - i. Currently a distance of 9' exist between the bottom of the sign and the roof.
 - b. A distance between the facing of a sign and the parallel wall of the building shall not be less than five feet:
 - i. Currently a distance of 20' exist between the sign and the parallel wall.
9. The exterior images located on the south elevation below the roof sign were not included in the signage schedule on sheet A200 and have therefore been removed from the drawings, included is an updated rendering.
10. Owner acknowledges that all signs located 30 feet or more above grade will be non-combustible per City code.
11. Civil sheet C2.1 generically included note "M" within the sheet legend. No monument sign is planned for this facility.
12. If signs are illuminated or non-illuminated has yet been determined. All final signage designs will be provided to the City through the signage permit process.
13. An appointment with DSPS to review the proposed plan changes has been scheduled for March 10, 2020.
14. A revised plat of survey for the building footprint can be found included with this letter. See attached Plat of Survey for Permit dated 2/21/2020.

15, N/A

We look forward to further discussing the above items and responses with the Development Department and Plan Commission on March 5, 2020.

Sincerely,



Chris Buday
Director of Planning Design and Construction
Boldt Holdings, LLC

Cc: File
Mike Zimmerman, ROC Ventures, LLC
Shawn Kison, ROC Ventures, LLC
Alex Brewer, Boldt Holdings, LLC

Memorandum

www.jsdinc.com

To: Ms. Sara Arnold (City of Franklin)
 From: Justin L. Johnson, P.E.
 Re: Ballpark Commons – BLDG S3C2
 JSD Project #: 14-6548
 Date: February 24, 2019
 cc: Greg Marso

As requested by the City of Franklin Engineering Department, we hereby certify that the final site layout for the subject Ballpark Commons parcel is in compliance with the approved North Stormwater Management Plan. Planned and Final hydrology values are as follows:

Hydrology Values (S3C2) (Area = 15.4129 acres)					
	Greenspace	Roof	Pavement	Undetained	TOTAL
Planned	1.1227 ac	2.4788 ac	6.2162 ac	5.5952 ac	15.4129 ac
May 14, 2019	1.1416 ac	2.4785 ac	6.1976 ac	5.5952 ac	15.4129 ac
Feb. 24, 2020	1.3382 ac	2.2803 ac	6.1992 ac	5.5952 ac	15.4129 ac

Cumulative Hydrology Values (NORTH)		
	Impervious Area	Undetained
Approved SWMP	41.122 ac	10.328 ac
May 14, 2019 (Public Road, C1, S3C2, Stadium, Pond)	28.1215 ac	10.3240 ac
February 24, 2020 (Public Road, C1, S3C2, Stadium, Pond)	27.9249 ac	10.3240 ac
Remaining	13.1971 ac	0.0040 ac

Stormwater Flow (S3C2)					
Manhole		Planned (cfs)	May 14, 2019 (cfs)	February 24, 2020 (cfs)	Capacity (cfs)
S3C2 Connection	Downstream	Approved (07-19-2018)			
6-1	1-25A	91.61	70.42	69.04	95.02
1-26E	1-26D	4.34	4.34	4.34	8.13

An exhibit is attached illustrating the greenspace / landscape areas included in the S3C2 calculations above.

MEMORANDUM

Date: February 20, 2020
To: Chris Buday.
From: Department of City Development
RE: Application for Site Plan Amendment – 7085/7095 S Ballpark Drive

Staff comments are as follows for a Site Plan Amendment application submitted on January 31, 2020, to allow for modifications to the Buildings S3/C2 (Indoor Sports Complex) at Ballpark Commons.

City Development Department comments

1. Per Planned Development District (PDD) Ordinance 2019-2368, §15-3.0442A(C)(1)., please provide updated calculations of Landscape Surface Ratio (LSR) and Floor Area Ratio (FAR).
2. Pursuant to PDD Ordinance §15-3.0442A(D)(4). Landscaping, *plantings shall be provided with a minimum (2) two year plating guaranty*. Please add a note to the landscape plan indicating the provision of a planting guaranty.

Design standards for non-residential buildings [greater than 40,000 sf in area]

3. Pursuant to PDD Ordinance §15-3.0442E(B)(6)(e). Building Design: *Ground floor facades that face and are on properties that are in any part within one hundred (100) feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than fifty (50) percent of their horizontal length.*

The north and east elevations do not comply with this standard. Per staff calculations, the area dedicated to display windows and entry areas along the ground floor façade is below 50% of the total façade length. Please revise and provide updated calculations.

4. Pursuant to PDD Ordinance §15-3.0442E(B)(6)(f). Building Entrances: *Two (2) or more of the following design features shall be incorporated into all public building entryways: canopies or porticos, overhangs, projections, arcades, peaked roof forms, arches, outdoor patios, display windows, distinct architectural details.*

Per submitted plans, two entrances do not appear to comply with this requirement, specifically an entrance in the north elevation between P-K and P-J and another entrance in the east elevation located between P-10 and P-11 (see Sheet A200). Please add the two required architectural details to these entrances.

5. Pursuant to PDD Ordinance §15-3.0442E(B)(6)(i). Screening: *Mechanical equipment, refuse containers and any permitted outdoor storage shall be fully concealed from on-site and off-site ground level views, with materials identical to those used on the building exterior.*

Per submitted site plan (sheet C2.1), note "H" refers to architectural plans for the trash enclosure located north of the principal building. However, the architectural plans have no details of the trash enclosure. Please provide details of the trash enclosure indicating compliance with the requirement cited above.

Per PDD Ordinance §15-3.0442E(B)(6)(b)., the Plan Commission may waive any of the design standards for large non-residential buildings by a majority vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project which compensate for the waiver of the particular standard. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested.

Design standards

6. Pursuant to PDD Ordinance §15-3.0442E(B)(2)(c)(vii). Pedestrian considerations: *The building shall provide awnings or other weather protection features within thirty (30) feet of all customer entrances along a building.*

Two building entrances (as previously identified in comment No. 4) do not comply with this requirement. Please add awnings or weather protection to these entrances.

7. Pursuant to PDD Ordinance §15-3.0442E(B)(2)(b). Coordination of site furnishings: *Lighting and site furnishings (benches, trash receptacles, bicycle racks, etc.) shall complement the character of the building, and provide an attractive and strong relationship with adjoining properties and the public sidewalk throughout the entire District.*

Any proposed pedestrian amenities?

Per PDD Ordinance §15-3.0442E(A)., the Plan Commission may waive any of the Design Standards by 4 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project which compensate for the waiver of the particular standard. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested.

Signage

Per PDD Ordinance §15-3.0442A(D)(1)(e) Signs, *all signs must be in accordance with the Municipal Code.*

8. The proposed roof sign located in the south elevation between B.8 and N.2 (see sheet A200) does not appear to comply with the following requirements applicable to roof signs:
 - a. Municipal Code §210-4C(6)(a)(2): *An open space not less than four feet shall be maintained between the bottom of the sign or billboard facing and the roof, except that necessary supports extending through such space will be permitted.*
Please add a detail of this roof sign indicating the distance between the bottom of the sign and the roof.
 - b. Municipal Code §210-4C(6)(c)(1): *When a roof sign or billboard is erected parallel to the exterior wall of a building, the distance between the facing of such sign and the parallel wall of the building shall be not less than five feet.*
Please add a detail of this roof sign indicating the distance between the facing of said sign and the parallel wall facing Rawson Avenue.
9. Per sheet A210 "Exterior images", logos and signage would be located in the south elevation below the roof sign. It appears that these signs were not included in the signage schedule of sheet A200, please revise.

10. Per Municipal Code §210-4C(7)(b)(1)., no part of a combustible wall sign or billboard shall be more than 30 feet above the established grade immediately below.

Four proposed wall signs are located 30 feet or more above grade. Will these signs be made of combustible materials? Please provide supporting documentation. If the signs are not combustible, this height limitation is not applicable, otherwise these signs would need to be relocated.

11. Please provide details of the proposed monument sign, site plan (sheet C2.1) note "M".
12. Any illuminated signs? Please be aware that illuminated signs must comply with Municipal Code §210-4C(14).

Inspection Services Department comments

13. The proposed changes to Building S3/C2 are significant enough to warrant a plan re-submittal to the State Department of Safety & Professional Services. The applicant will need to re-submit the revised State Approved plans along with all other required documents listed in the attachment to Inspection Services and noting it as a "submittal of revised plans after permit issuance" on the Building Permit Application. An application fee of \$200 is due with the submittal.

Engineering Department comments

14. Submit a revised plat of survey for building footprint changes.

Fire Department comments

15. The fire department has no comments/concerns regarding the proposed site changes. Previous fire protection requirements apply.

Memorandum

www.jsdinc.com

To: Ms. Sara Arnold (City of Franklin)
 From: Justin L. Johnson, P.E.
 Re: Ballpark Commons – BLDG S3C2
 JSD Project #: 14-6548
 Date: February 24, 2019
 cc: Greg Marso

As requested by the City of Franklin Engineering Department, we hereby certify that the final site layout for the subject Ballpark Commons parcel is in compliance with the approved North Stormwater Management Plan. Planned and Final hydrology values are as follows:

Hydrology Values (S3C2) (Area = 15.4129 acres)					
	Greenspace	Roof	Pavement	Undetained	TOTAL
Planned	1.1227 ac	2.4788 ac	6.2162 ac	5.5952 ac	15.4129 ac
May 14, 2019	1.1416 ac	2.4785 ac	6.1976 ac	5.5952 ac	15.4129 ac
Feb. 24, 2020	1.3382 ac	2.2803 ac	6.1992 ac	5.5952 ac	15.4129 ac

Cumulative Hydrology Values (NORTH)		
	Impervious Area	Undetained
Approved SWMP	41.122 ac	10.328 ac
May 14, 2019 (Public Road, C1, S3C2, Stadium, Pond)	28.1215 ac	10.3240 ac
February 24, 2020 (Public Road, C1, S3C2, Stadium, Pond)	27.9249 ac	10.3240 ac
Remaining	13.1971 ac	0.0040 ac

Stormwater Flow (S3C2)					
Manhole		Planned (cfs)	May 14, 2019 (cfs)	February 24, 2020 (cfs)	Capacity (cfs)
S3C2 Connection	Downstream	Approved (07-19-2018)			
6-1	1-25A	91.61	70.42	69.04	95.02
1-26E	1-26D	4.34	4.34	4.34	8.13

An exhibit is attached illustrating the greenspace / landscape areas included in the S3C2 calculations above.



VIEW LOOKING NORTHEAST



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

FOR CONSTRUCTION
SET

DATE OF ISSUANCE FEBRUARY 21, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR IMAGES

SHEET NUMBER

A210



VIEW LOOKING NORTHWEST



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

FOR CONSTRUCTION
SET

DATE OF ISSUANCE FEBRUARY 21, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR IMAGES

SHEET NUMBER

A211



JLA PROJECT NUMBER: 17-0321

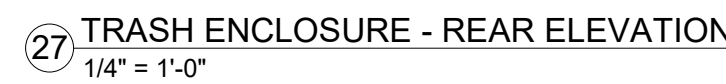
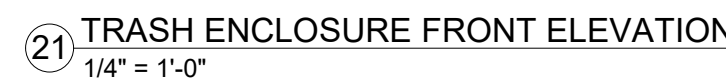
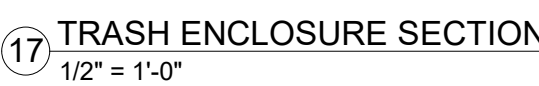


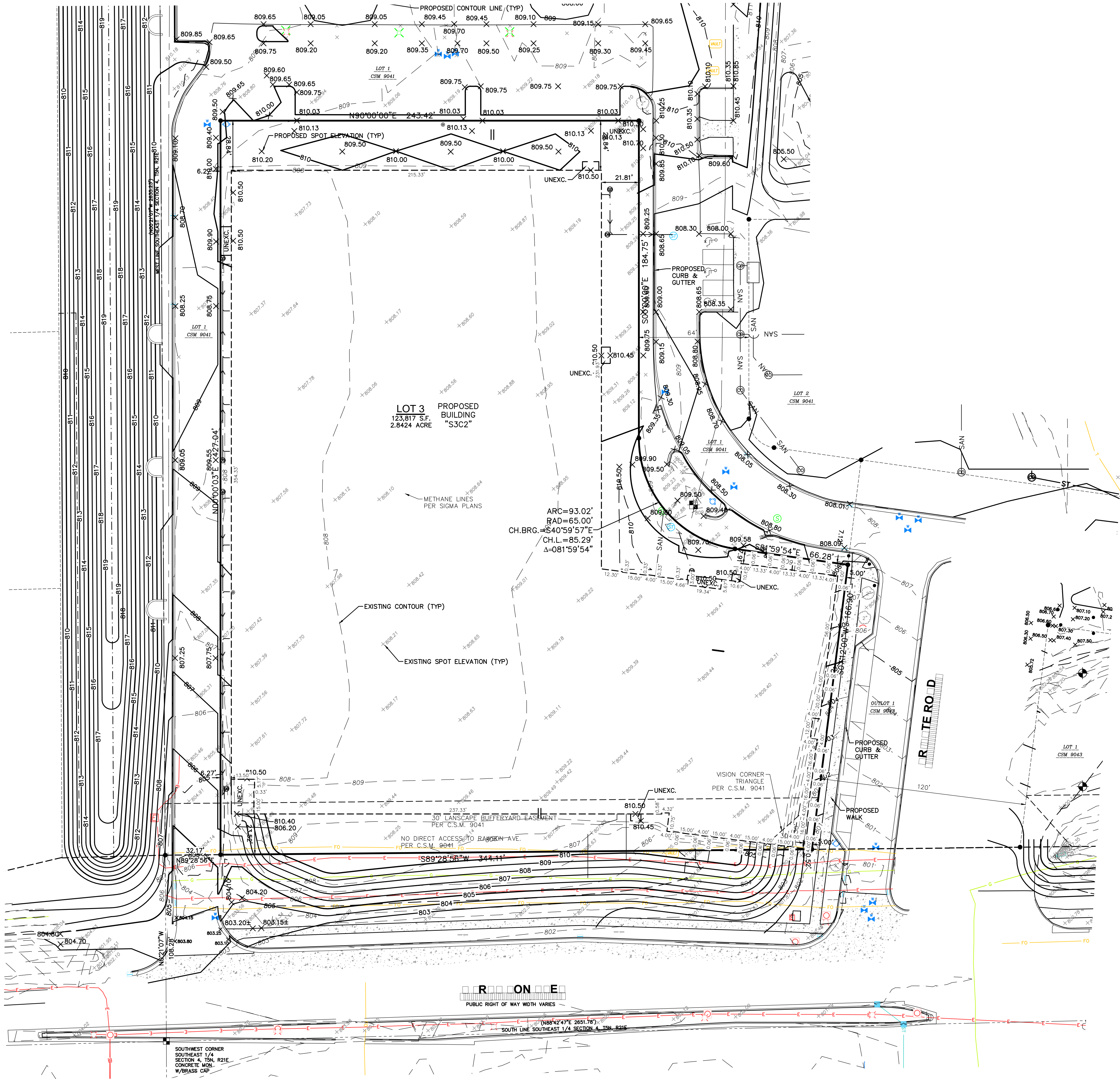
DATE OF ISSUANCE JUNE 5, 2019

SHEET TITLE

SHEET NUMBER

2/24/2020 1:08:53 PM

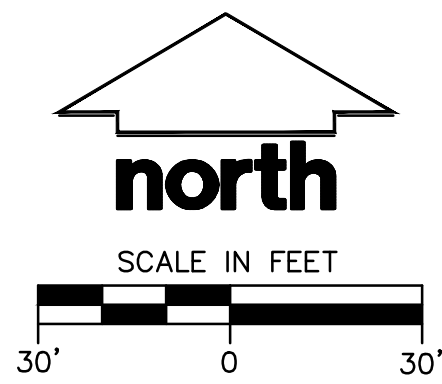




PLAT OF SURVEY

LOT 3 OF CERTIFIED SURVEY MAP NO. 9041, BEING PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 19 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

- ## NOTES
1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JULY 8, 2019 & FEBRUARY 7, 2020.
 2. ALL BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 4 WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE)(NAD 27) BEARING OF N88°42'47"E.
 3. ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29). BENCHMARK IS A CONCRETE MONUMENT WITH BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SECTION 4, T8N, R19E, ELEVATION = 803.378.
 4. CONTOUR INTERVAL IS ONE FOOT.
 5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
 6. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 7. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 8. THIS PARCEL IS ZONED PDD - PLANNED DEVELOPMENT DISTRICT NO. 37.
 9. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.



LEGEND	
	GOVERNMENT CORNER
	1/4" REBAR FOUND
	CONTROL POINT
	BENCHMARK
	FINISHED FLOOR SHOT LOCATION
SB	SOIL BORING
	MONITORING WELL
	BOLLARD
	FLAG POLE
	MAIL BOX
	POST
	SIGN
	SANITARY MANHOLE
	CLEAN OUT
	VENT PIPE
	WATER MANHOLE
	HYDRANT
	WATER VALVE
	CURB STOP/SERVICE VALVE
	STORM MANHOLE
	ROUND CASTED INLET
	SQUARE CASTED INLET
	CURB INLET
	GAS REGULATOR/METER
	GAS VALVE
	MANHOLE - UNVERIFIED TYPE
	ELECTRIC MANHOLE
	ELECTRIC PEDESTAL
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	LIGHT POLE
	POWER POLE W/GUY
	TRAFFIC SIGNAL
	PULL BOX
	SIGNAL CONTROLLER BOX
	VAULT
	TELEPHONE MANHOLE
	TELEPHONE PEDESTAL
	CABLE MANHOLE
	CABLE PEDESTAL
	HANDICAP PARKING
	PLAT BOUNDARY
	CHORD LINE
	RIGHT-OF-WAY LINE
	SETBACK LINE
	SECTION LINE
	PLATTED LOT LINE
	EASEMENT LINE
	LANDSCAPE LIMITS
	FENCE LINE
	EDGE OF PAVEMENT
	CONCRETE CURB & GUTTER
	EDGE OF GRAVEL
	SANITARY SEWER
	WATER LINE
	STORM SEWER
	NATURAL GAS
	UNDERGROUND ELECTRIC
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD CABLE
	UNDERGROUND CABLE
	BUILDING
	SPOT ELEVATION
	BITUMINOUS PAVEMENT
	RETAINING WALL
	CONCRETE PAVEMENT
	EDGE OF BITUMINOUS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY (PROPERTY) AND THE ABOVE MAP COMPLIES WITH A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE THERETO, WITHIN ONE (1) YEAR FROM THE DATE HEREON.

ANDREW W. WILKOWSKI, S-3121
PROFESSIONAL LAND SURVEYOR

JULY 9, 2019
DATE
REVISED: 2/21/20



CREATE THE CONNECTION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE
N238 W1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:

ROC VENTURES

CLIENT ADDRESS:

ORNDORF
MILWAUKEE

PROJECT:



DIN

PROJECT LOCATION:

ORNDORF
MILWAUKEE

REVISED: 2/21/20 NEW FOUNDATION PLAN

Design/Drawn: DHS
Approved: AWW

SHEET TITLE:

PLAT OF SURVEY FOR PERMIT

MAP NO: D-*

SHEET NUMBER:

1 OF 1

JSD PROJECT NO:

BALLPARK COMMONS – INDOOR
SPORTS COMPLEX

7095 South Ballpark Drive
Franklin, Wisconsin 53132



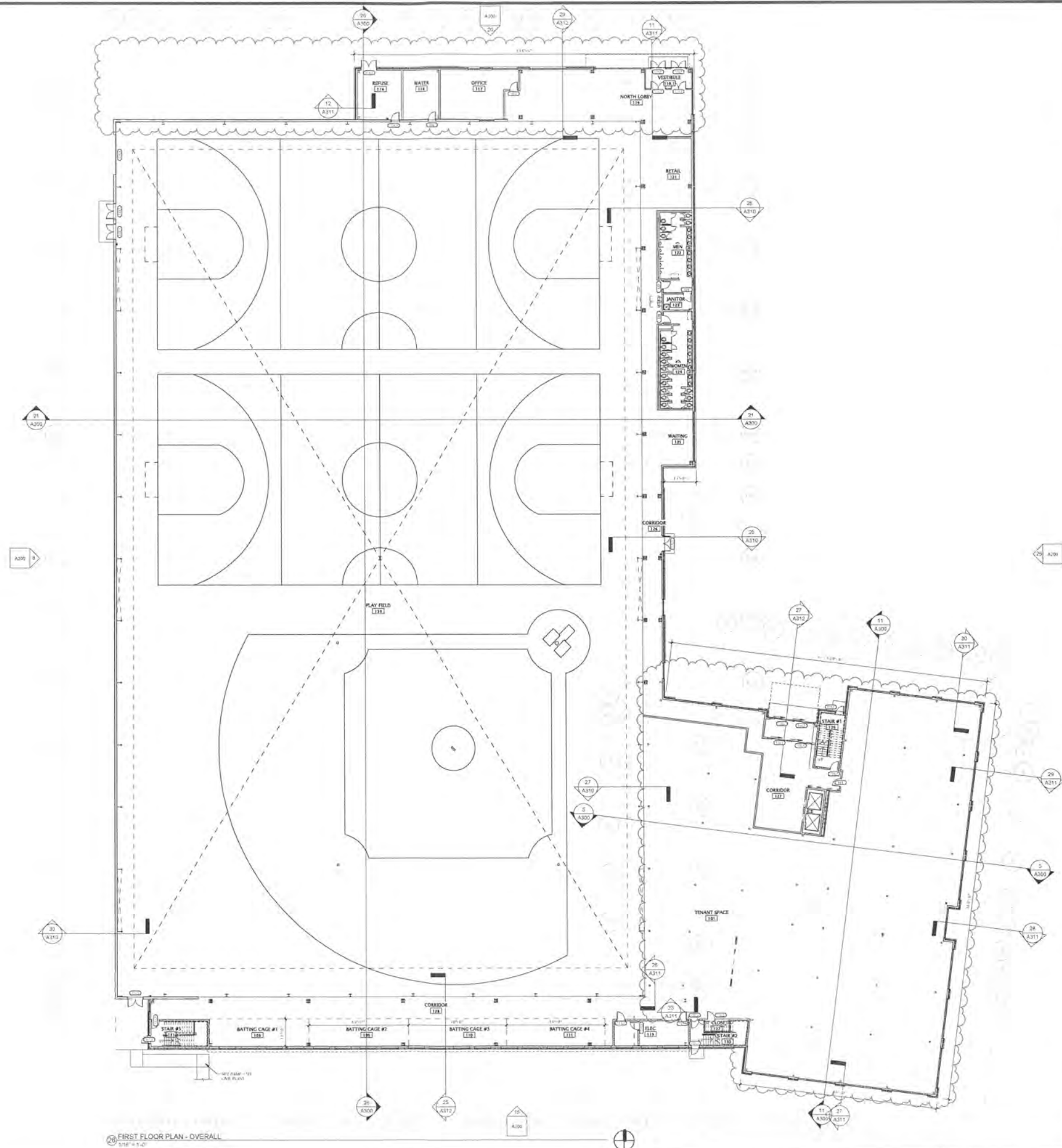
STATE OF WISCONSIN PLAN REVIEW SET

JUNE 5, 2019



JLA
ARCHITECTS





26 FIRST FLOOR PLAN - OVERALL
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON ; MILWAUKEE
jla-op.com

JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

STATE OF WISCONSIN
PLAN REVIEW SET

DATE OF ISSUANCE: JUNE 5, 2019

REVISION SCHEDULE		
Rev.	Description	Date
1	REVISED	06.05.19

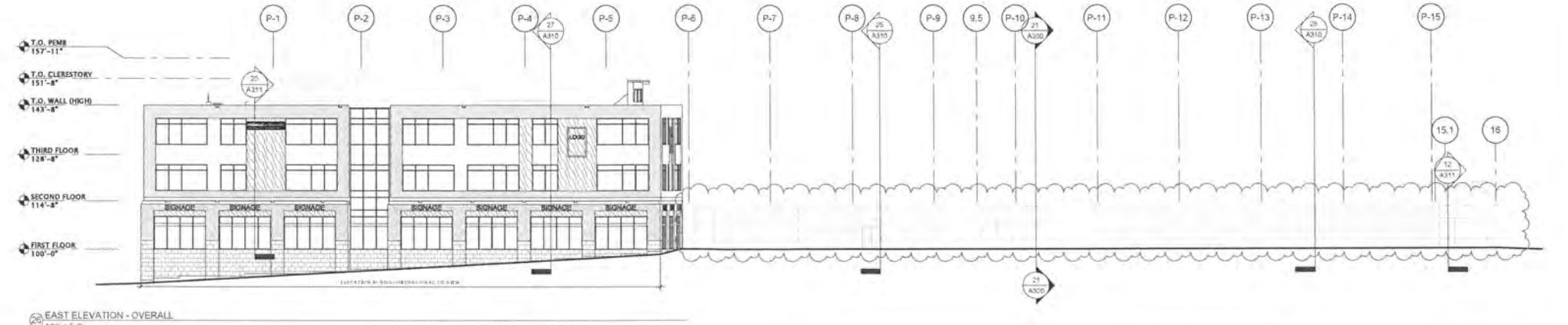
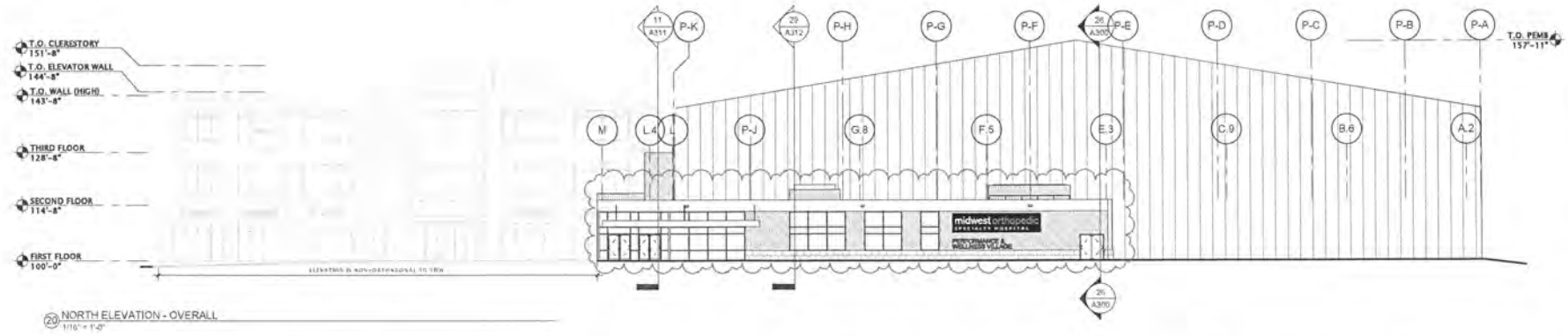
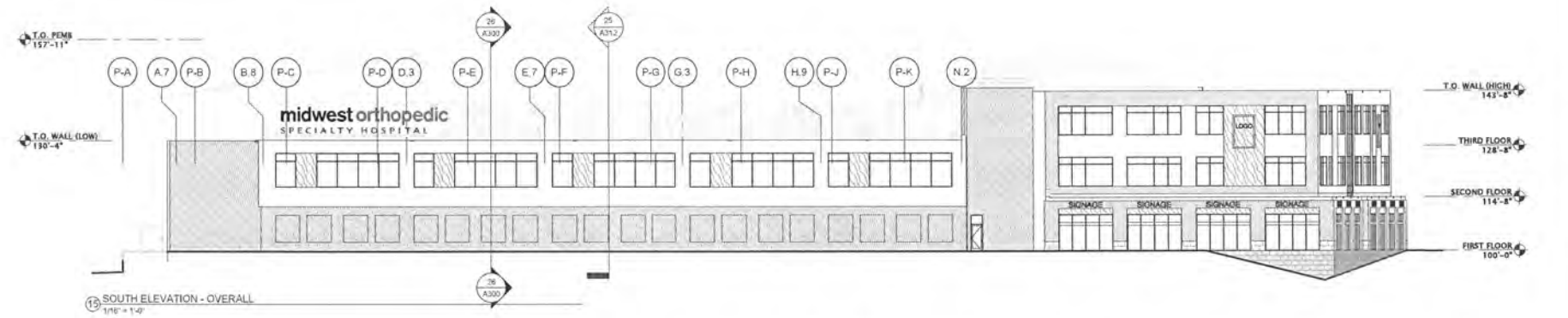
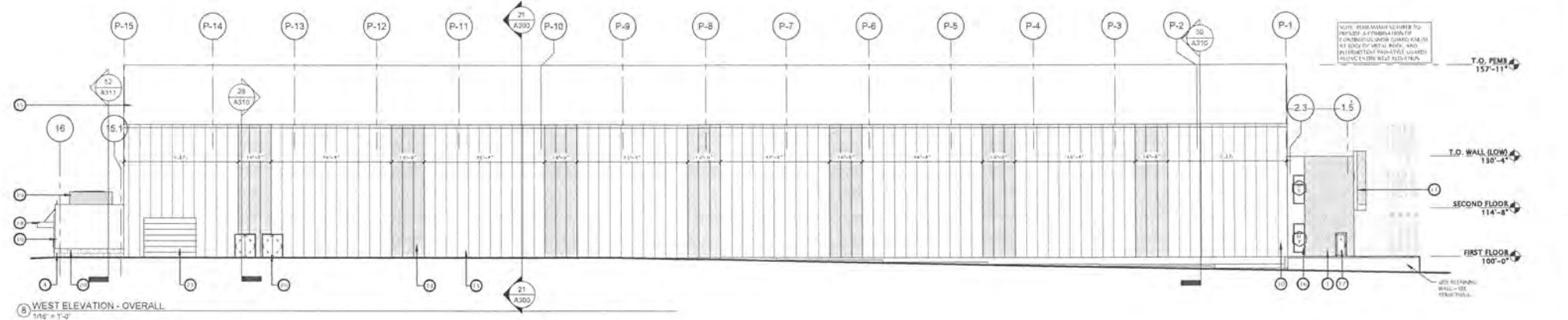
SHEET TITLE
**FIRST FLOOR PLAN -
OVERALL**

SHEET NUMBER
A101

EXTERIOR ELEVATION NOTES		
1) COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.		
2) COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL, JOINT, CONTROL JOINTS, AND EXPANSION JOINTS.		

SIGNAGE SCHEDULE		
NO.	LOCATION	DETAIL
1	WALL SIGNAGE - WEST	SEE A311
2	WALL SIGNAGE - SOUTH	SEE A312
3	WALL SIGNAGE - EAST	SEE A313
4	WALL SIGNAGE - NORTH	SEE A314

EXTERIOR MATERIALS SCHEDULE			
NO.	DESCRIPTION	MANUFACTURER	NOTES
1	WALL SIGNAGE - WEST	SEE A311	
2	WALL SIGNAGE - SOUTH	SEE A312	
3	WALL SIGNAGE - EAST	SEE A313	
4	WALL SIGNAGE - NORTH	SEE A314	
5	WALL SIGNAGE - WEST	SEE A311	
6	WALL SIGNAGE - SOUTH	SEE A312	
7	WALL SIGNAGE - EAST	SEE A313	
8	WALL SIGNAGE - NORTH	SEE A314	
9	WALL SIGNAGE - WEST	SEE A311	
10	WALL SIGNAGE - SOUTH	SEE A312	
11	WALL SIGNAGE - EAST	SEE A313	
12	WALL SIGNAGE - NORTH	SEE A314	
13	WALL SIGNAGE - WEST	SEE A311	
14	WALL SIGNAGE - SOUTH	SEE A312	
15	WALL SIGNAGE - EAST	SEE A313	
16	WALL SIGNAGE - NORTH	SEE A314	
17	WALL SIGNAGE - WEST	SEE A311	
18	WALL SIGNAGE - SOUTH	SEE A312	
19	WALL SIGNAGE - EAST	SEE A313	
20	WALL SIGNAGE - NORTH	SEE A314	
21	WALL SIGNAGE - WEST	SEE A311	
22	WALL SIGNAGE - SOUTH	SEE A312	
23	WALL SIGNAGE - EAST	SEE A313	
24	WALL SIGNAGE - NORTH	SEE A314	
25	WALL SIGNAGE - WEST	SEE A311	
26	WALL SIGNAGE - SOUTH	SEE A312	
27	WALL SIGNAGE - EAST	SEE A313	
28	WALL SIGNAGE - NORTH	SEE A314	
29	WALL SIGNAGE - WEST	SEE A311	
30	WALL SIGNAGE - SOUTH	SEE A312	
31	WALL SIGNAGE - EAST	SEE A313	
32	WALL SIGNAGE - NORTH	SEE A314	
33	WALL SIGNAGE - WEST	SEE A311	
34	WALL SIGNAGE - SOUTH	SEE A312	
35	WALL SIGNAGE - EAST	SEE A313	
36	WALL SIGNAGE - NORTH	SEE A314	
37	WALL SIGNAGE - WEST	SEE A311	
38	WALL SIGNAGE - SOUTH	SEE A312	
39	WALL SIGNAGE - EAST	SEE A313	
40	WALL SIGNAGE - NORTH	SEE A314	
41	WALL SIGNAGE - WEST	SEE A311	
42	WALL SIGNAGE - SOUTH	SEE A312	
43	WALL SIGNAGE - EAST	SEE A313	
44	WALL SIGNAGE - NORTH	SEE A314	
45	WALL SIGNAGE - WEST	SEE A311	
46	WALL SIGNAGE - SOUTH	SEE A312	
47	WALL SIGNAGE - EAST	SEE A313	
48	WALL SIGNAGE - NORTH	SEE A314	
49	WALL SIGNAGE - WEST	SEE A311	
50	WALL SIGNAGE - SOUTH	SEE A312	
51	WALL SIGNAGE - EAST	SEE A313	
52	WALL SIGNAGE - NORTH	SEE A314	
53	WALL SIGNAGE - WEST	SEE A311	
54	WALL SIGNAGE - SOUTH	SEE A312	
55	WALL SIGNAGE - EAST	SEE A313	
56	WALL SIGNAGE - NORTH	SEE A314	
57	WALL SIGNAGE - WEST	SEE A311	
58	WALL SIGNAGE - SOUTH	SEE A312	
59	WALL SIGNAGE - EAST	SEE A313	
60	WALL SIGNAGE - NORTH	SEE A314	
61	WALL SIGNAGE - WEST	SEE A311	
62	WALL SIGNAGE - SOUTH	SEE A312	
63	WALL SIGNAGE - EAST	SEE A313	
64	WALL SIGNAGE - NORTH	SEE A314	
65	WALL SIGNAGE - WEST	SEE A311	
66	WALL SIGNAGE - SOUTH	SEE A312	
67	WALL SIGNAGE - EAST	SEE A313	
68	WALL SIGNAGE - NORTH	SEE A314	
69	WALL SIGNAGE - WEST	SEE A311	
70	WALL SIGNAGE - SOUTH	SEE A312	
71	WALL SIGNAGE - EAST	SEE A313	
72	WALL SIGNAGE - NORTH	SEE A314	
73	WALL SIGNAGE - WEST	SEE A311	
74	WALL SIGNAGE - SOUTH	SEE A312	
75	WALL SIGNAGE - EAST	SEE A313	
76	WALL SIGNAGE - NORTH	SEE A314	
77	WALL SIGNAGE - WEST	SEE A311	
78	WALL SIGNAGE - SOUTH	SEE A312	
79	WALL SIGNAGE - EAST	SEE A313	
80	WALL SIGNAGE - NORTH	SEE A314	
81	WALL SIGNAGE - WEST	SEE A311	
82	WALL SIGNAGE - SOUTH	SEE A312	
83	WALL SIGNAGE - EAST	SEE A313	
84	WALL SIGNAGE - NORTH	SEE A314	
85	WALL SIGNAGE - WEST	SEE A311	
86	WALL SIGNAGE - SOUTH	SEE A312	
87	WALL SIGNAGE - EAST	SEE A313	
88	WALL SIGNAGE - NORTH	SEE A314	
89	WALL SIGNAGE - WEST	SEE A311	
90	WALL SIGNAGE - SOUTH	SEE A312	
91	WALL SIGNAGE - EAST	SEE A313	
92	WALL SIGNAGE - NORTH	SEE A314	
93	WALL SIGNAGE - WEST	SEE A311	
94	WALL SIGNAGE - SOUTH	SEE A312	
95	WALL SIGNAGE - EAST	SEE A313	
96	WALL SIGNAGE - NORTH	SEE A314	
97	WALL SIGNAGE - WEST	SEE A311	
98	WALL SIGNAGE - SOUTH	SEE A312	
99	WALL SIGNAGE - EAST	SEE A313	
100	WALL SIGNAGE - NORTH	SEE A314	



MADISON ; MILWAUKEE
jla-op.com

JLA PROJECT NUMBER: 17-0321

BALLPARK COMMONS
FRANKLIN, WI

BALLPARK COMMONS - INDOOR SPORTS COMPLEX

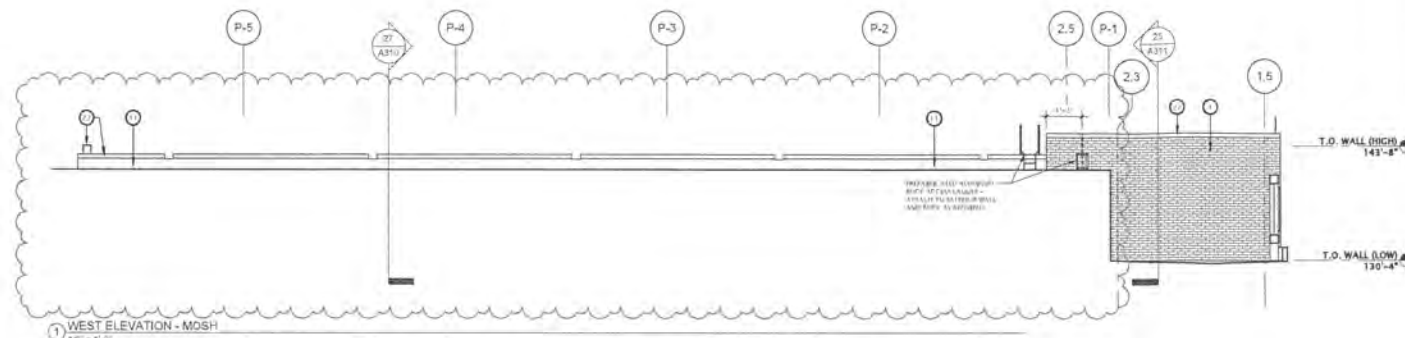
STATE OF WISCONSIN
PLAN REVIEW SET

DATE OF ISSUANCE: JUNE 5, 2019

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	05-03-19

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A200



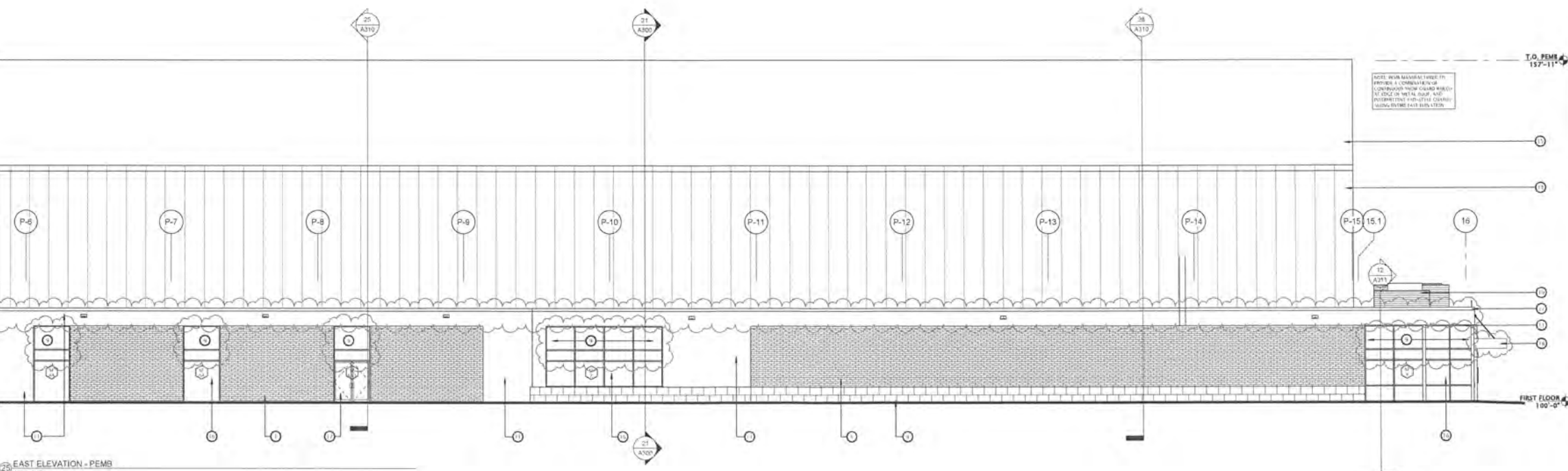
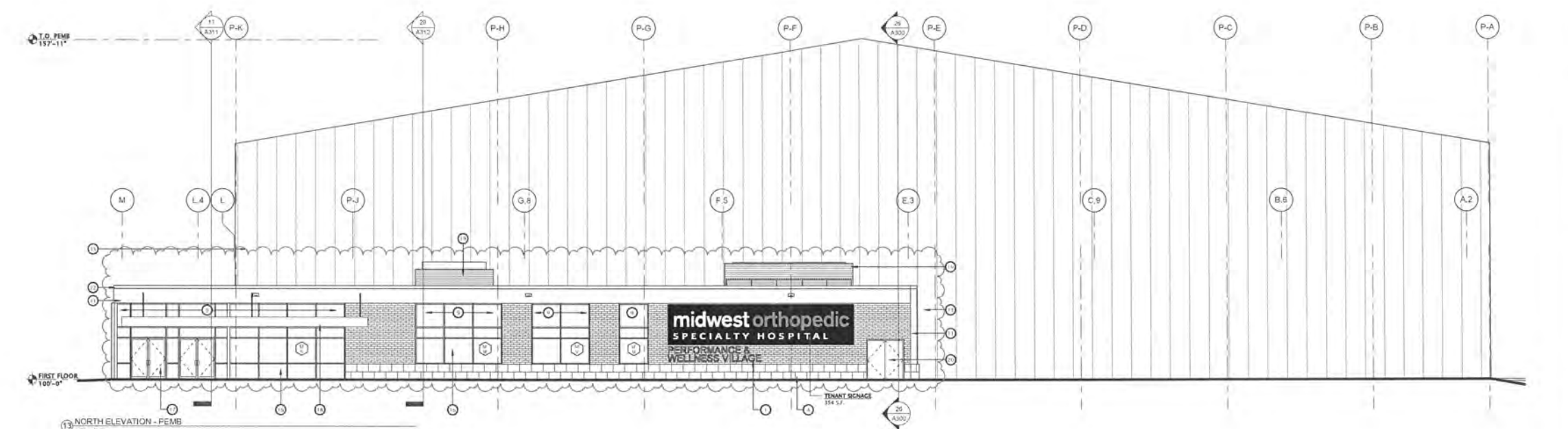
EXTERIOR MATERIALS SCHEDULE					
NO.	DESCRIPTION	MANUFACTURER	TYPE / SPEC.	FINISH/NOTES	QUANTITY
1	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
2	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
3	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
4	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
5	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
6	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
7	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
8	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
9	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
10	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
11	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
12	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
13	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
14	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
15	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
16	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
17	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
18	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
19	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
20	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
21	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
22	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
23	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
24	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
25	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
26	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
27	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
28	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
29	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
30	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
31	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
32	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
33	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
34	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
35	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
36	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
37	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
38	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
39	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
40	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
41	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT
42	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK	BRICKWORK	1.8' BUILT

EXTERIOR ELEVATION NOTES

1. COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.

2. COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL JOINTS, CONTRAST JOINTS, AND EXPANSION JOINTS.

SIGNAGE SCHEDULE			
NO.	DESCRIPTION	MANUFACTURER	TYPE / SPEC.
1	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
2	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
3	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
4	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
5	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
6	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
7	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
8	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
9	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
10	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
11	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
12	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
13	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
14	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
15	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
16	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
17	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
18	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
19	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
20	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
21	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
22	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
23	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
24	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
25	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
26	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
27	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
28	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
29	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
30	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
31	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
32	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
33	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
34	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
35	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
36	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
37	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
38	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
39	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
40	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
41	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK
42	BRICK, RED, 8" x 8" x 16"	BRICKWORK	BRICKWORK



JLA ARCHITECTS

MADISON : MILWAUKEE
jla-op.com

BALLPARK COMMONS
FRANKLIN, WI

BALLPARK COMMONS - INDOOR SPORTS COMPLEX

STATE OF WISCONSIN
PLAN REVIEW SET

DATE OF ISSUANCE		JUNE 5, 2019
REVISION SCHEDULE		
Mark	Description	Date
1	1. REVISION	06/05/19

EXTERIOR ELEVATIONS

A201



JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

STATE OF WISCONSIN
PLAN REVIEW SETDATE OF ISSUANCE JUNE 5, 2019

REVISION SCHEDULE		
Mark	Description	Date
A	THE REVISIONS	10-11-19

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A202

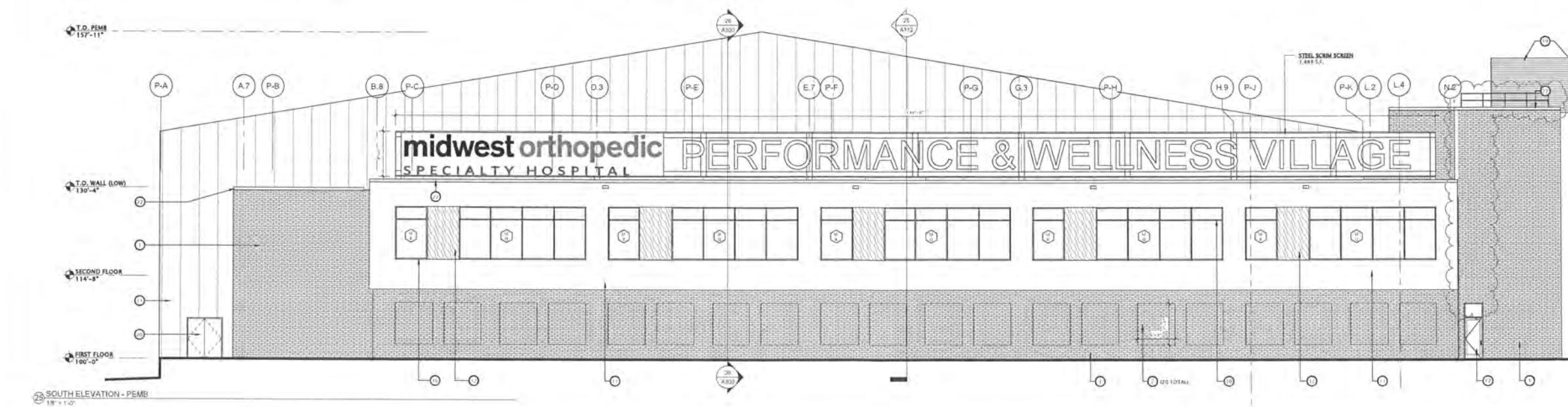
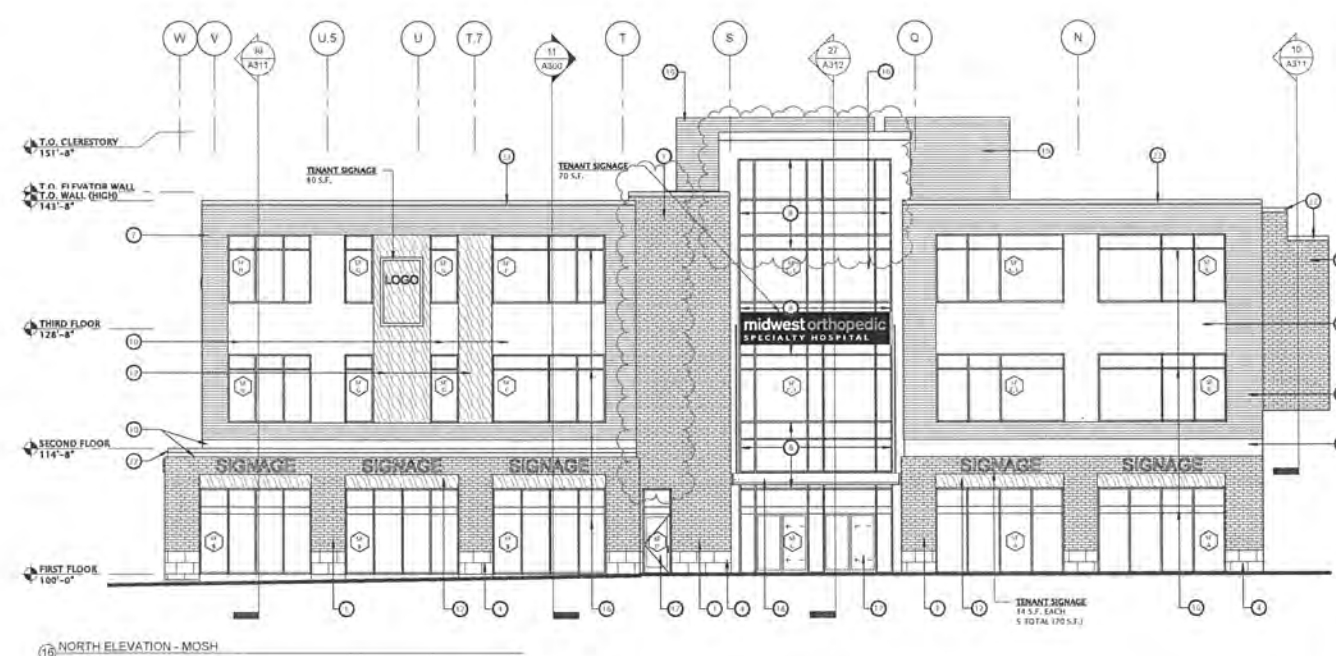


EXTERIOR ELEVATION NOTES

- 1) COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.
- 2) COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS.

SIGNAGE SCHEDULE

項目	2014年12月31日 (百万円)	2013年12月31日 (百万円)
現金・預金	1,020	1,090
有価証券	1,111	5
固定資産	1,171	1,620
固定負債	1,645	1,794
純資産(自己資本)	1,011.75	1,110
総資産	3,202	4,519





JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

FOR CONSTRUCTION
SET

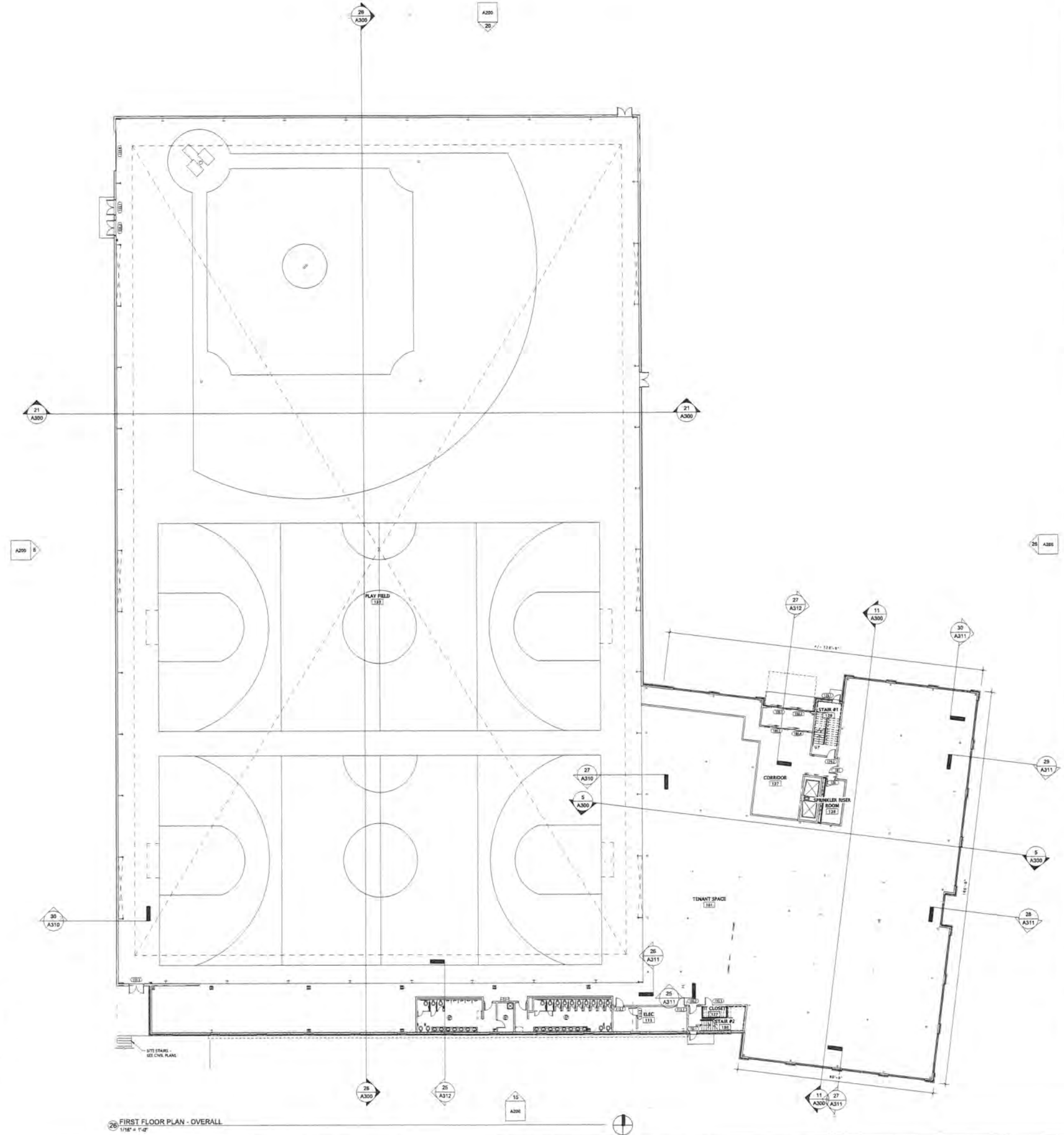
DATE OF ISSUANCE JUNE 5, 2019

REVISION SCHEDULE		
Mark	Description	Date
1	VLS REVISIONS	REVISION

SHEET TITLE
**FIRST FLOOR PLAN -
OVERALL**

SHEET NUMBER
A101

Franklin
FEB 25 2020
City Development



26 FIRST FLOOR PLAN - OVERALL
1/16" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

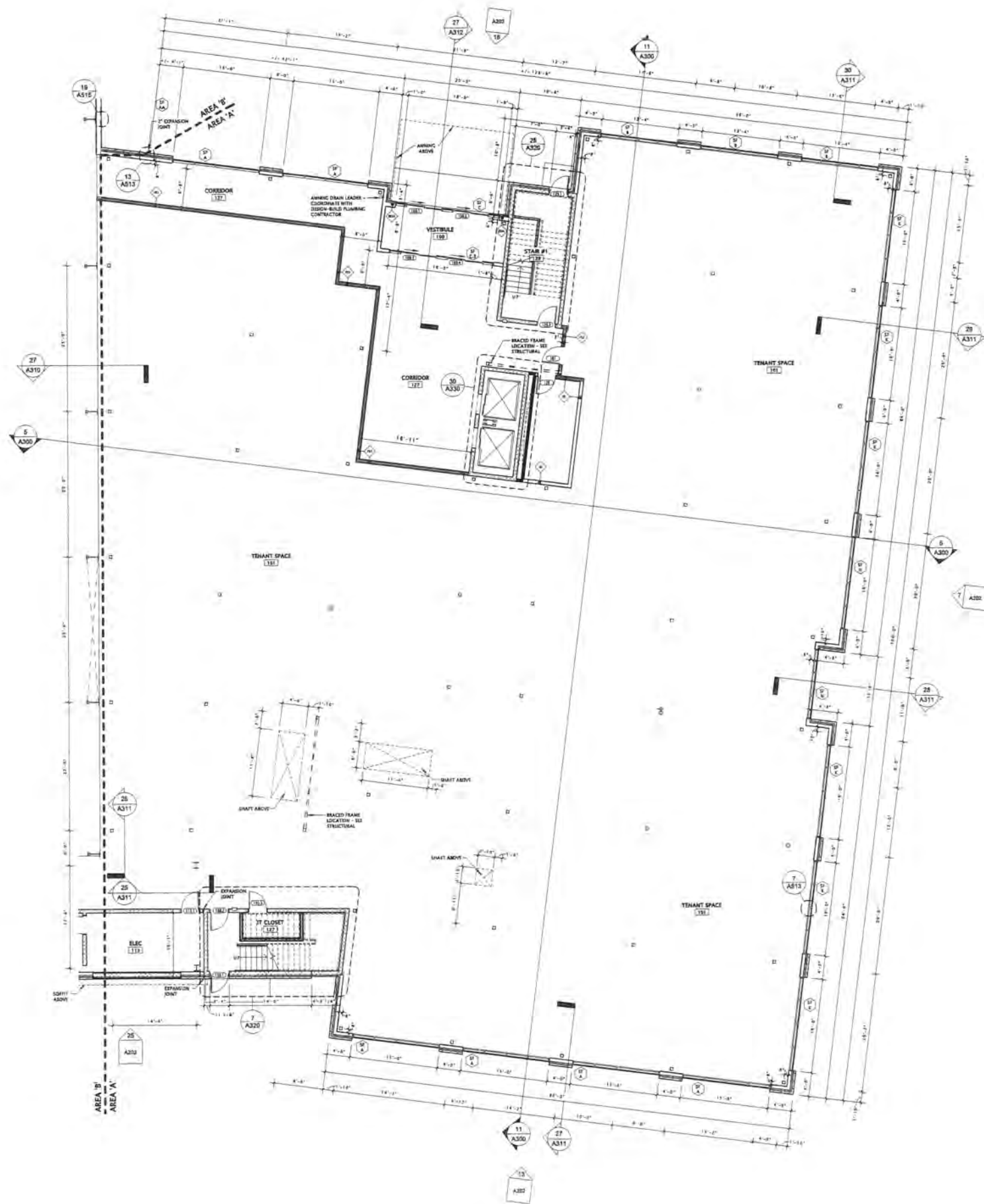
FOR CONSTRUCTION
SET

DATE OF ISSUANCE JUNE 5, 2019

REVISION SCHEDULE		
Mark	Description	Date
1	REVISEMENTS	06/05/19
2	ADDT	06/13/19

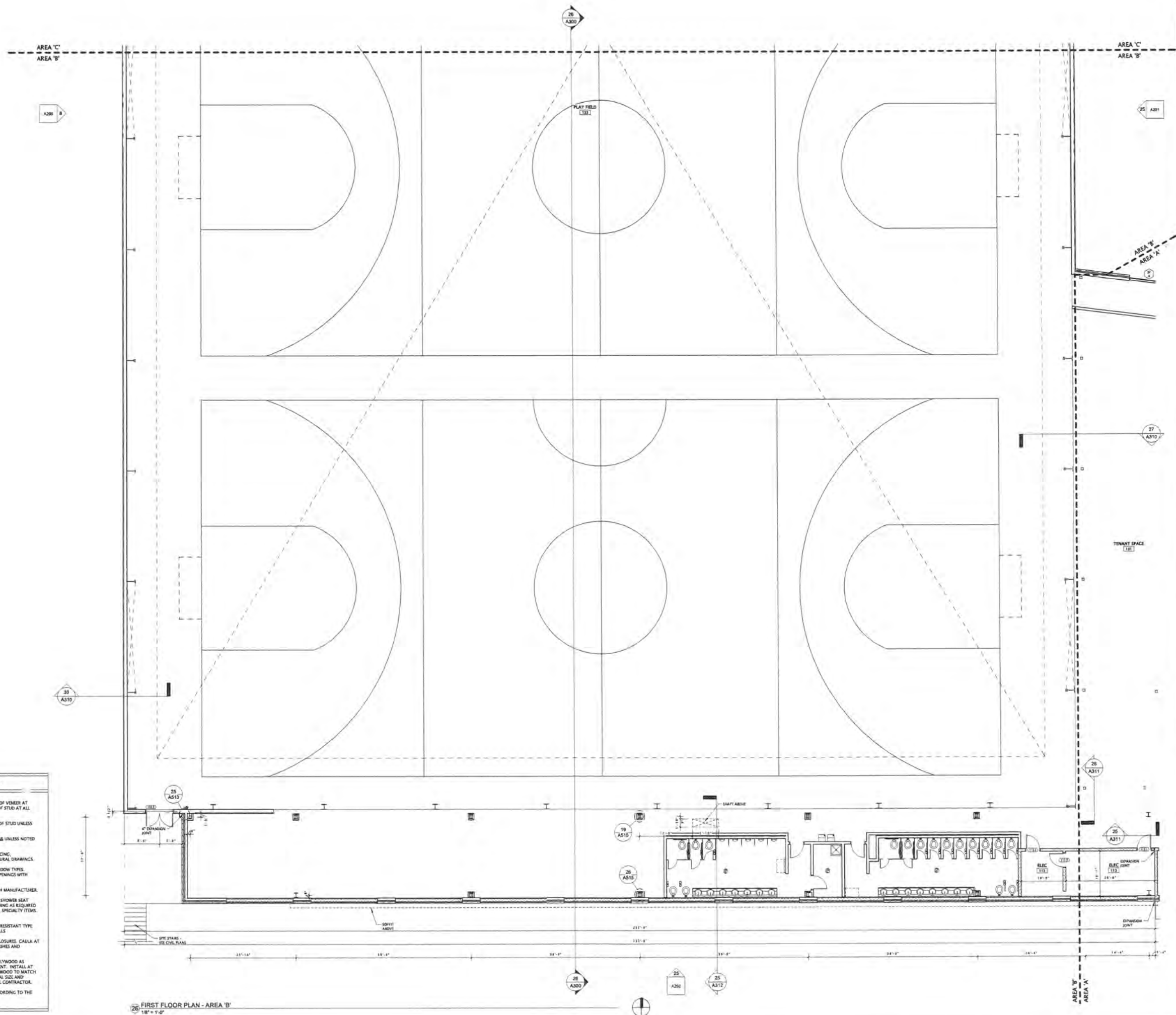
SHEET TITLE
FIRST FLOOR PLAN -
AREA 'A'

SHEET NUMBER
A101-A



- GENERAL PLAN NOTES**
- 1) EXTERIOR WALL DIMENSIONS ARE TO FACE OF VENEER AT MASONRY WALLS, AND TO OUTSIDE FACE OF STUD AT ALL OTHER WALLS.
 - 2) INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - 3) ALL INTERIOR STUD WALLS SHALL BE TYPE 22 UNLESS NOTED OTHERWISE.
 - 4) VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - 5) SEE SCHEDULES FOR EXTERIOR DOOR & WINDOW TYPES. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - 6) VERIFY ALL SHOWER ROUGH OPENINGS WITH MANUFACTURER.
 - 7) PROVIDE BLOCKING AT ALL GRAB BAR AND SHOWER SEAT LOCATIONS. PROVIDE BLOCKING AND BRACING AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
 - 8) PROVIDE MOISTURE RESISTANT AND MOLD RESISTANT TYPE CYPRESS BOARD AT PLUMBING FIXTURE WALLS.
 - 9) CAULK AT PERIMETER OF ALL SHOWER ENCLOSURES, CASES AT PERIMETER OF ALL COUNTERTOP BACKSPASHES AND SIDESPASHES.
 - 10) PROVIDE 3/4" FIRE-RETARDANT TREATED PLUMWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" APART TO FINISHED CEILING. PAINT PLUMWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
 - 11) INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.

27 FIRST FLOOR PLAN - AREA 'A'
1/8" = 1'-0"



GENERAL PLAN NOTES

- 1) EXTERIOR WALL DIMENSIONS ARE TO FACE OF VINYL AT MASONRY WALLS, AND TO OUTSIDE FACE OF STUD AT ALL OTHER WALLS.
- 2) INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- 3) ALL INTERIOR STUD WALLS SHALL BE TYPE SB UNLESS NOTED OTHERWISE.
- 4) VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- 5) SEE SCHEDULES FOR EXTERIOR DOOR & WINDOW TYPES. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- 6) VERIFY ALL SHOWER ROUGH OPENINGS WITH MANUFACTURER.
- 7) PROVIDE BLOCCING AT ALL GRAB BAR AND SHOWER SEAT LOCATIONS. PROVIDE BLOCCING AND FRAMING AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
- 8) PROVIDE MOISTURE RESISTANT AND MOLD RESISTANT TYPE CRYSTAL BOARD AT PLUMBING FIXTURE WALLS.
- 9) CAULK AT PERIMETER OF ALL SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES AND SINKSPLASHES.
- 10) PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
- 11) INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



**BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX**

FOR CONSTRUCTION
SET

DATE OF ISSUANCE JUNE 5, 2019

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

**FIRST FLOOR PLAN -
AREA 'B'**

SHEET NUMBER

A101-B



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

FOR CONSTRUCTION
SET

DATE OF ISSUANCE JUNE 5, 2019

REVISION SCHEDULE		
Mark	Description	Date
1	ISS PRELIMINARY	08/05/19
2	ADD	08/12/19

SHEET TITLE
**FIRST FLOOR PLAN -
AREA C**

SHEET NUMBER
A101-C

- GENERAL PLAN NOTES**
- 1) EXTERIOR WALL DIMENSIONS ARE TO FACE OF VENER AT MASONRY WALLS, AND TO OUTSIDE FACE OF STUD AT ALL OTHER WALLS.
 - 2) INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - 3) ALL INTERIOR STUD WALLS SHALL BE TYPE S6 UNLESS NOTED OTHERWISE.
 - 4) VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - 5) SEE SCHEDULES FOR EXTERIOR DOOR & WINDOW TYPES. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - 6) VERIFY ALL SHOWER ROUGH OPENINGS WITH MANUFACTURER.
 - 7) PROVIDE BLOCKING AT ALL CRAB BAR AND SHOWER SEAT LOCATIONS. PROVIDE BLOCKING AND FRAMING AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
 - 8) PROVIDE MOISTURE RESISTANT AND MOLD RESISTANT TYPE CYPRESS BOARD AT PLUMBING FIXTURE WALLS.
 - 9) CAULK AT PERIMETER OF ALL SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES AND SINKS/PLUMB.
 - 10) PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
 - 11) INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.

28 FIRST FLOOR PLAN - AREA 'C'
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

FOR CONSTRUCTION
SET

DATE OF ISSUANCE JUNE 5, 2019

REVISION SCHEDULE		
Mark	Description	Date
1	BY REVISION	02/01/19
2	ADP1	02/12/19

SHEET TITLE

FIRST FLOOR PLAN -
AREA C

SHEET NUMBER

A101-C

GENERAL PLAN NOTES

- 1) EXTERIOR WALL DIMENSIONS ARE TO FACE OF VENEER AT MASONRY WALLS, AND TO OUTSIDE FACE OF STUD AT ALL OTHER WALLS.
- 2) INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- 3) ALL INTERIOR STUD WALLS SHALL BE TYPE SS UNLESS NOTED OTHERWISE.
- 4) VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- 5) SEE SCHEDULES FOR EXTERIOR DOOR & WINDOW TYPES. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- 6) VERIFY ALL SHOWER ROUGH OPENINGS WITH MANUFACTURER.
- 7) PROVIDE BLOCKING AT ALL CRAB BAR AND SHOWER SEAT LOCATIONS. PROVIDE BLOCKING AND FRAMING AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TBM.
- 8) PROVIDE MOISTURE RESISTANT AND MOLD RESISTANT TYPE GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
- 9) CAULK AT PERIMETER OF ALL SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES AND SINKS/ASHES.
- 10) PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
- 11) INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.

29 FIRST FLOOR PLAN - AREA 'C'
1/8" = 1'-0"

EXTERIOR ELEVATION NOTES

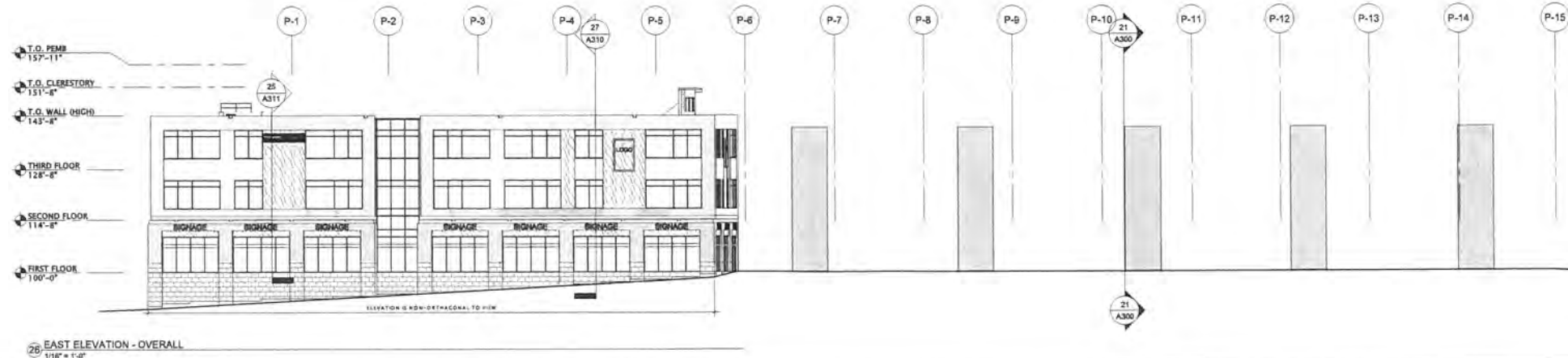
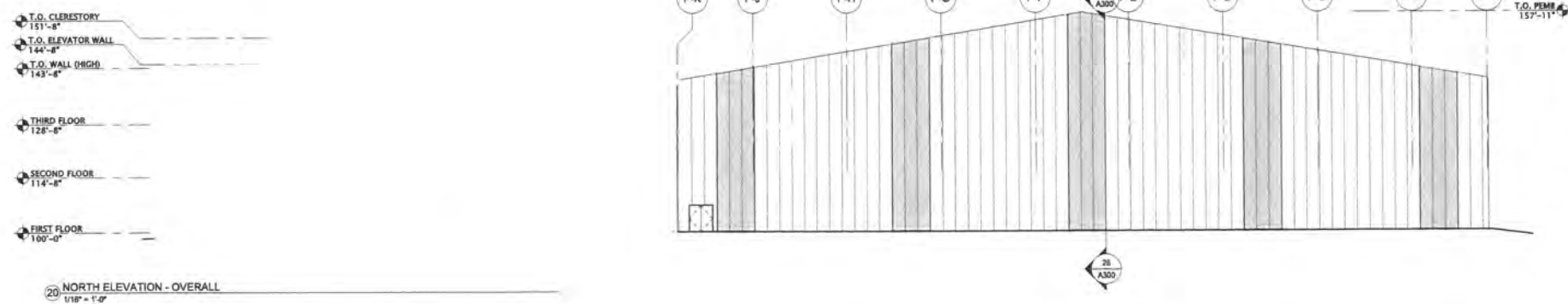
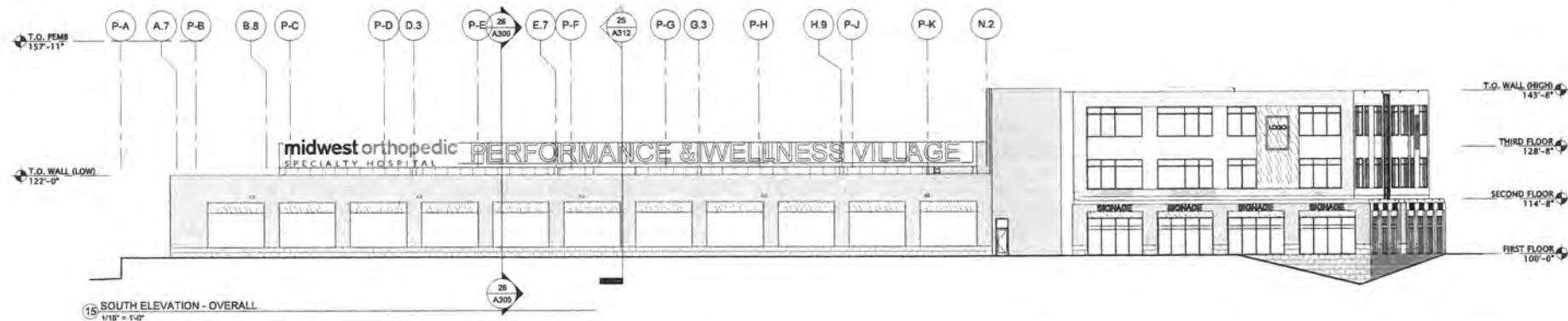
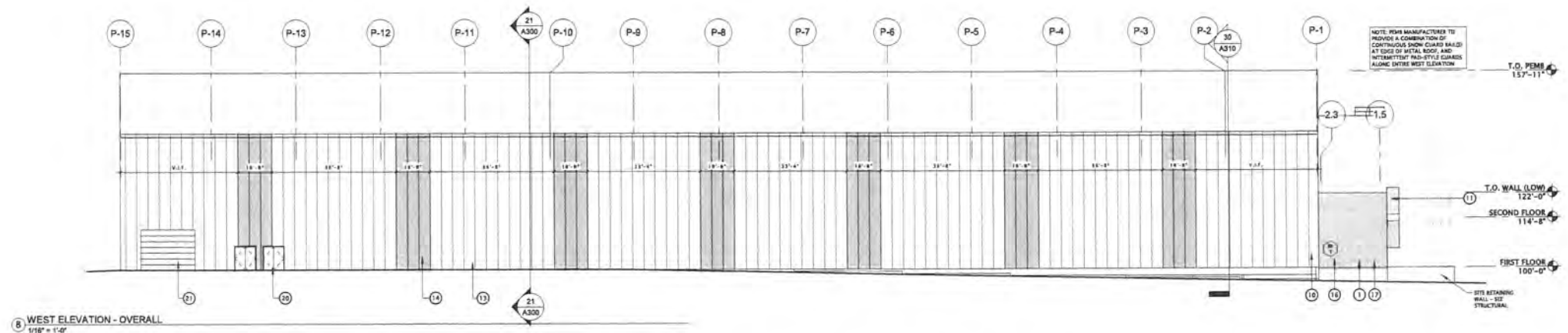
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS.

SIGNAGE SCHEDULE

ELEVATION	MAX ALLOWABLE (SQ)	TOTAL PROVIDED (SQ)
EAST ELEVATION - WEST	185	185
EAST ELEVATION - FIRM	185	185
WEST ELEVATION - WEST	185	185
WEST ELEVATION - FIRM	185	185
WEST ELEVATION - OVERALL	185	185

EXTERIOR MATERIALS SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	BRICK WARDEN	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
2	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
3	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
4	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
5	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
6	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
7	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
8	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
9	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
10	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
11	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
12	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
13	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
14	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
15	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
16	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
17	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
18	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
19	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
20	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
21	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
22	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
23	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
24	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
25	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
26	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
27	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
28	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
29	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
30	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
31	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST
32	BRICK WARDEN - WEST	BRICK WARDEN	CL-400	12" x 8"	ALASKA WHITE VELVET	3/4" MIST



MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



BALLPARK COMMONS -
INDOOR SPORTS COMPLEX

FOR CONSTRUCTION SET

DATE OF ISSUANCE JUNE 5, 2019

Mark	Description	Date
1	25 REVISIONS	05/11/19

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A200



VIEW LOOKING NORTHWEST



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

FOR CONSTRUCTION
SET

DATE OF ISSUANCE FEBRUARY 21, 2020

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE
EXTERIOR IMAGES

SHEET NUMBER
A211



JLA
ARCHITECTS

MADISON • MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0321



BALLPARK
COMMONS -
INDOOR SPORTS
COMPLEX

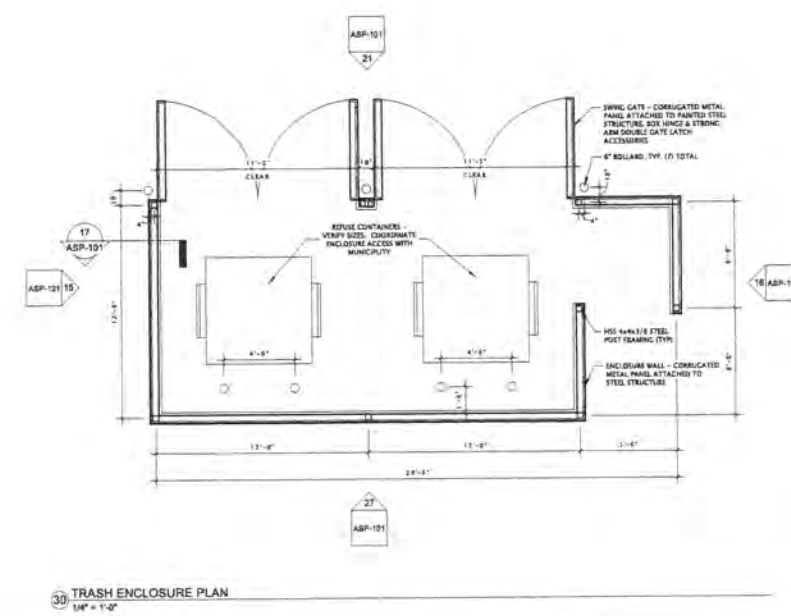
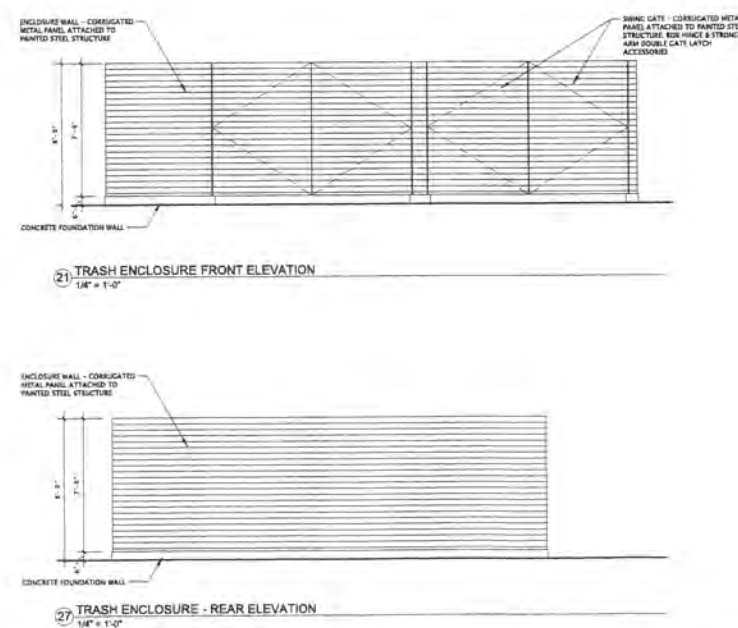
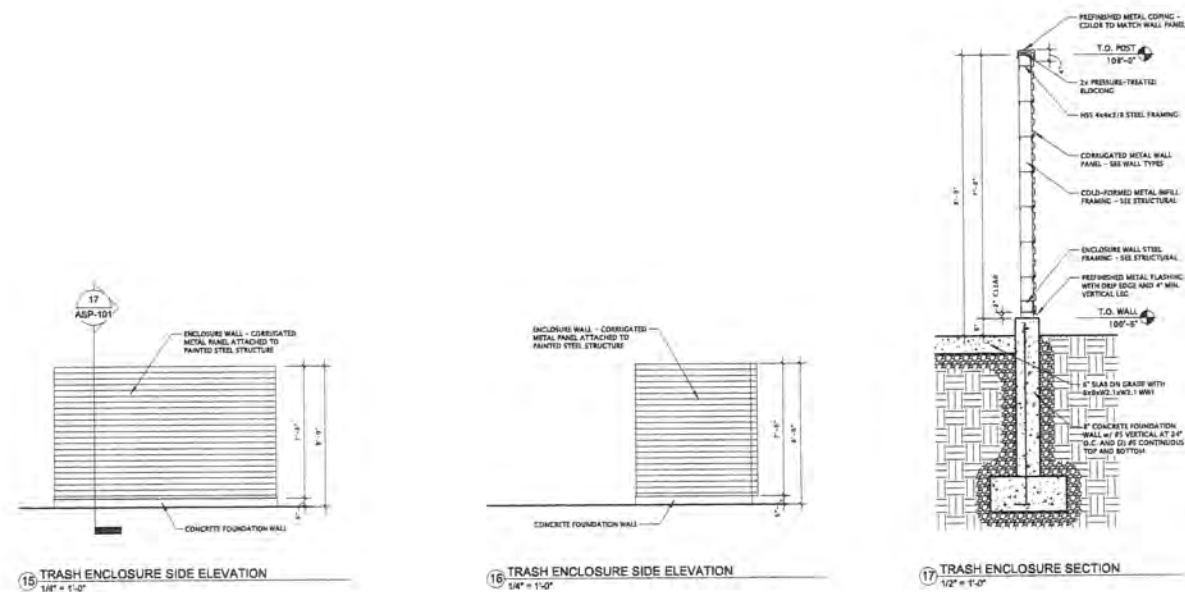
FOR CONSTRUCTION
SET

DATE OF ISSUANCE: JUNE 5, 2019

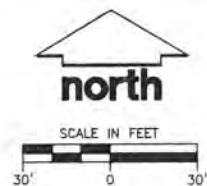
REVISION SCHEDULE		
Mark	Description	Date
T	CRS	02/28/19

SHEET TITLE
SITE DETAILS

SHEET NUMBER
ASP-101

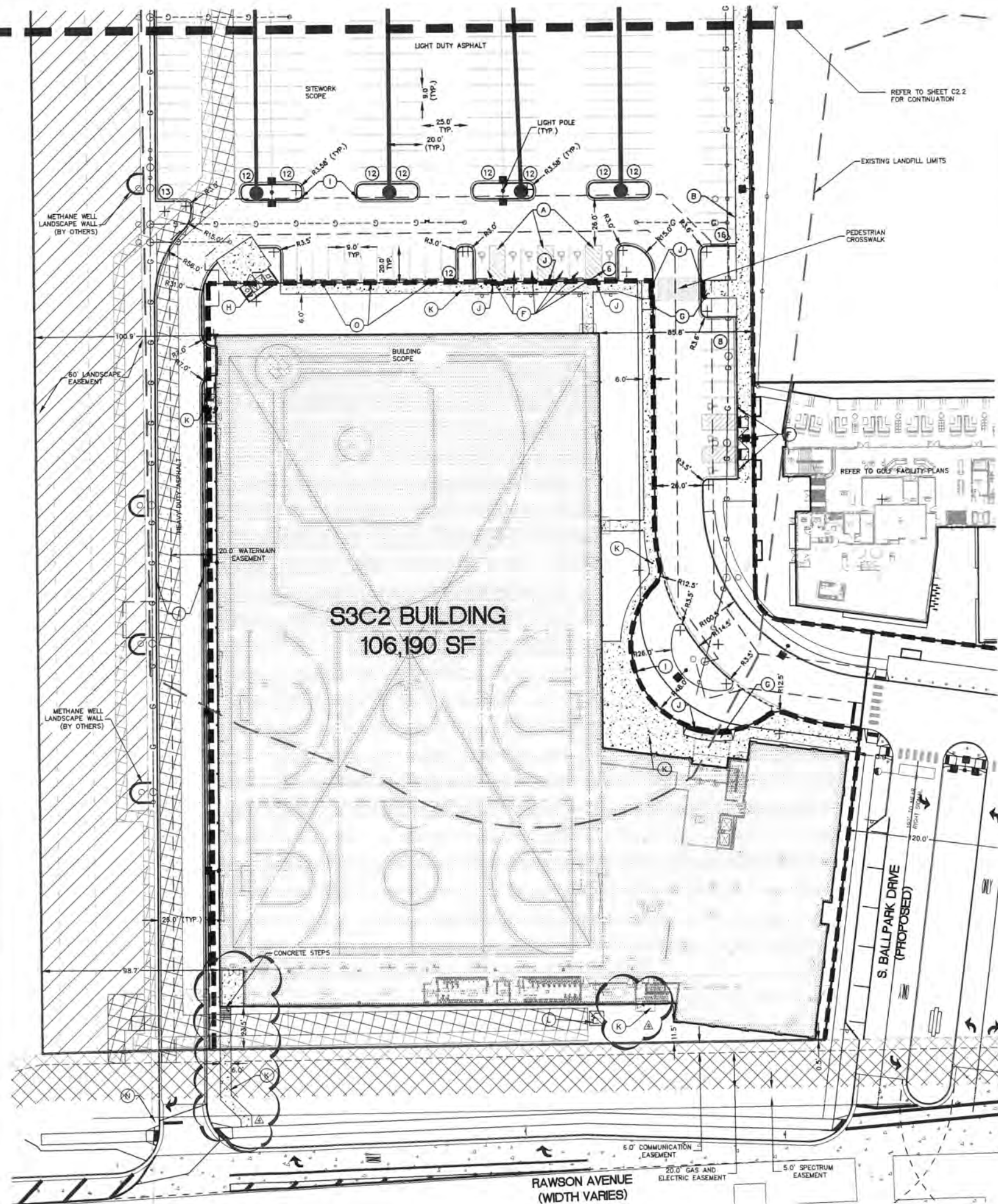


File: R:\2014\1402548 Ballpark Commons\dwg\S3C2\1402548.dwg Layout: C2.1 User: ekzpmk Plotted: Jun 24, 2020 - 11:52am xrefc



SITE LEGEND

- (A) DIAGONAL HATCH - SWSL/4" AT 45° @ 2'-0" O.C.
- (B) THICKENED EDGE SIDEWALK
- (C) STOP BAR - 12" SWSL/8"
- (D) 6" DIA. PIPE BOLLARD TYPICAL UNLESS NOTED OTHERWISE
- (E) 6'-0" WIDE PEDESTRIAN CROSSWALK, EDGE LINES PAINTED SWSL/8"
- (F) ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAILS FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- (G) ACCESSIBLE RAMP
- (H) TRASH ENCLOSURE (REFER TO ARCHITECTURE PLANS)
- (I) CONCRETE CURB AND GUTTER 18"
- (J) DETECTABLE WARNING FIELD
- (K) CONCRETE SIDEWALK
- (L) CONCRETE TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- (M) MONUMENT SIGN (REFER TO ARCHITECTURE PLANS)
- (N) SINGLE POST W/ STOP SIGN
- (O) CONCRETE WHEEL STOP, SEE DETAIL



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:

roc
VENTURES

CLIENT ADDRESS:

PROJECT:



BUILDING
S3C2



Toll Free (800) 242-8511

PLAN MODIFICATIONS		
#	Date	Description
1	03-23-18	SITE PLAN SUBMITTAL
2	06-08-18	PLAN COMMISSION SUBMITTAL
3	08-28-18	STATE SUBMITTAL
4	09-20-18	ISSUED FOR CONSTRUCTION
5	06-21-19	S3C2.CB03.C
6	08-22-19	S3C2.CB04.C

Design/Drawn: CAPSLK
Approved: [Signature]

SHEET TITLE:
DETAILED SITE PLAN

SHEET NUMBER:

C2.1

JSD PROJECT NO:

14-0548

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

THE ROCK SPORTS COMPLEX
THE ROCK - 7900 CRYSTAL RIDGE ROAD
FRANKLIN, WI 53132

INDOOR SPORTS COMPLEX

TREES			
AF	Acer 'Autumn Blaze'	Autumn Blaze Maple	5 2.5"
AAB	Amelanchier 'Autumn Brilliance'	Autumn Brilliance Serviceberry	26 2"
CO	Celtis occidentalis	Hackberry	8 2"
MRR	Malus 'Royal Raindrops'	Royal Raindrops Crabapple	4 2"
MS	Malus 'Sargent'	Sargent Crabapple	1 2"
SR	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	3 2"

SHRUBS

HA	Hydrangea 'Annabelle'	Annabelle Hydrangea	21 3 gal
HL	Hydrangea 'Limelight'	Limelight Hydrangea	5 5 gal
TMD	Taxus x media 'Densiformis'	Densiform Yew	16 5 gal

PERENNIALS AND ORNAMENTAL GRASSES

AT	Amsonia tabernaemontana	Blue Star	11 1 gal
AR	Anemone tomentosa 'Robustissima'	Pink Windflower	402 1 gal
APC	Astilbe chinensis 'Purple Candles'	Purple Candles False Spirea	300 1 gal
EM	Echinacea 'Magnus'	Purple Coneflower	55 1 gal
HSC	Hemerocallis 'Strawberry Candy'	Strawberry Candy Daylily	314 1 gal
HS	Helictotrichon sempervirens	Blue Oats Grass	60 1 gal
HH	Hosta 'Halcyon'	Halcyon Hosta	279 1 gal
MML	Miscanthus 'Morning Light'	Morning Light Miscanthus	47 1 gal
NBW	Nepeta 'Blue Wonder'	Blue Wonder Nepeta	36 1 gal
PHM	Panicum 'Heavy Metal'	Heavy Metal Switchgrass	8 1 gal
RF	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	878 1 gal
SD	Sedum 'Dazzleberry'	Dazzleberry Stonecrop	492 1 gal

INDOOR
SPORTS
FACILITY

REVISIONS

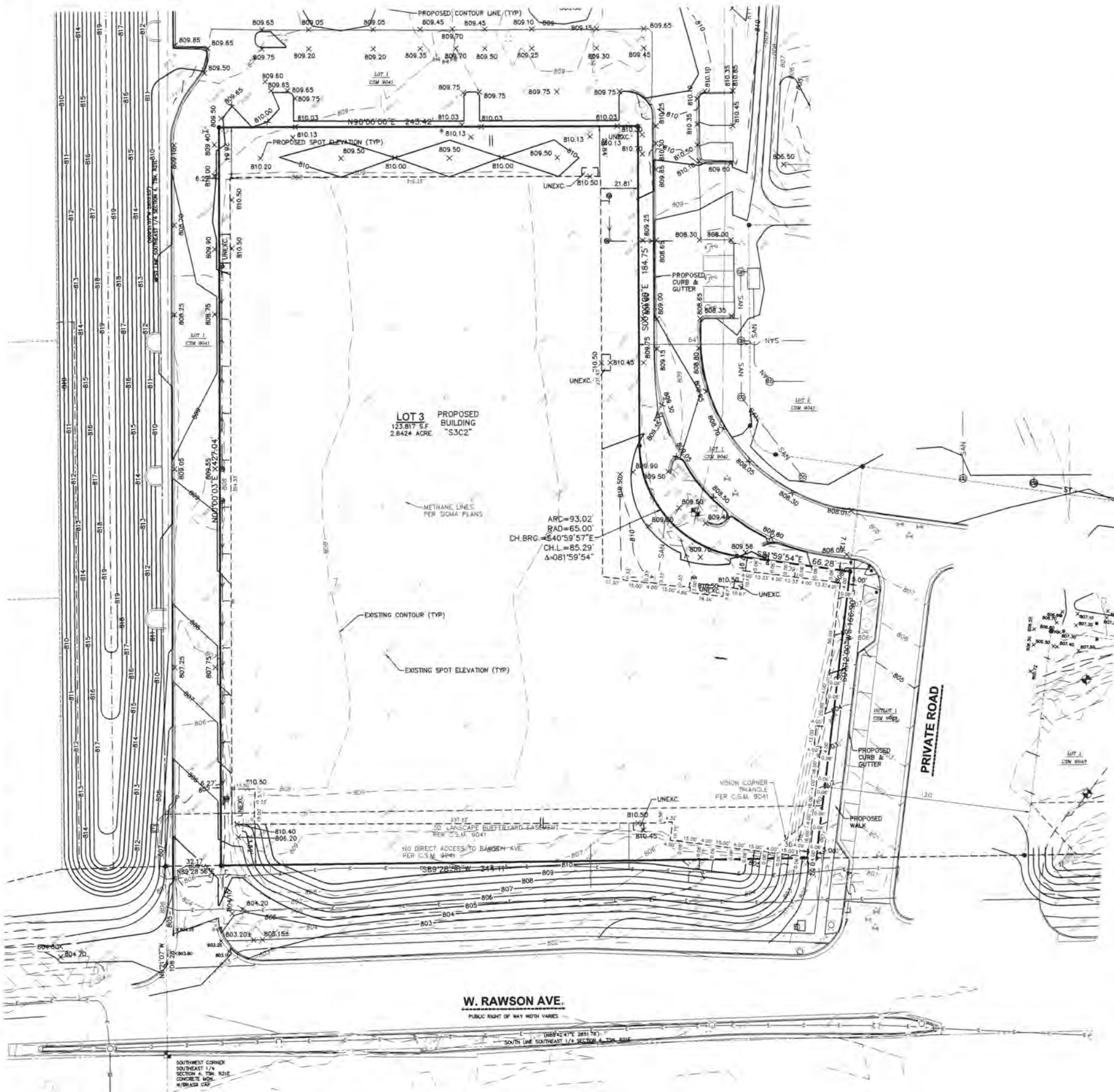
DATE	
01-28-20	REVISED LANDSCAPE

DATE
JANUARY 25, 2020

SCALE: 1"=20'-0"

SHEET NAME
INDOOR SPORTS
PLANTING PLAN

SHEET NUMBER
L-203



PLAT OF SURVEY

LOT 3 OF CERTIFIED SURVEY MAP NO. 9041, BEING PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 4, TOWN 5 NORTH, RANGE 19 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

NOTES

1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JULY 8, 2019 & FEBRUARY 7, 2020.
2. ALL BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 4 WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) (NAD 27) BEARING OF N88°42'47"E.
3. ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29). BENCHMARK IS A CONCRETE MONUMENT WITH BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SECTION 4, T8N, R19E, ELEVATION = 803.378.
4. CONTOUR INTERVAL IS ONE FOOT.
5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
6. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
7. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
8. THIS PARCEL IS ZONED PDD - PLANNED DEVELOPMENT DISTRICT NO. 37.
9. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.



LEGEND

- | | |
|--------------------------------|----------------------------|
| • GOVERNMENT CORNER | — HANDICAP PARKING |
| • 1/2" REBAR FOUND | — PLAT BOUNDARY |
| • CONTROL POINT | --- CHORD LINE |
| • BENCHMARK | --- RIGHT-OF-WAY LINE |
| • FINISHED FLOOR SHOT LOCATION | --- SETBACK LINE |
| • SOIL BORING | --- SECTION LINE |
| • MONITORING WELL | --- PLATTED LOT LINE |
| • BOLLARD | --- EASEMENT LINE |
| • FLAG POLE | --- LANDSCAPE LIMITS |
| • MAIL BOX | --- FENCE LINE |
| • POST | --- EDGE OF PAVEMENT |
| • SIGN | --- CONCRETE CURB & GUTTER |
| • SANITARY MANHOLE | --- EDGE OF GRAVEL |
| • CLEAN OUT | --- SANITARY SEWER |
| • VENT PIPE | --- WATER LINE |
| • WATER MANHOLE | --- STORM SEWER |
| • HYDRANT | --- NATURAL GAS |
| • WATER VALVE | --- UNDERGROUND ELECTRIC |
| • CURB STOP/SERVICE VALVE | --- FIBER OPTIC |
| • STORM MANHOLE | --- UNDERGROUND TELEPHONE |
| • ROUND CASTED INLET | --- OVERHEAD CABLE |
| • SQUARE CASTED INLET | --- UNDERGROUND CABLE |
| • CURB INLET | --- BUILDING |
| • GAS REGULATOR/METER | --- SPOT ELEVATION |
| • GAS VALVE | --- BITUMINOUS PAVEMENT |
| • MANHOLE - UNVERIFIED TYPE | --- RETAINING WALL |
| • ELECTRIC MANHOLE | --- CONCRETE PAVEMENT |
| • ELECTRIC PEDESTAL | --- EDGE OF BITUMINOUS |
| • ELECTRIC METER | |
| • ELECTRIC TRANSFORMER | |
| • LIGHT POLE | |
| • POWER POLE W/GUY | |
| • TRAFFIC SIGNAL | |
| • PULL BOX | |
| • SIGNAL CONTROLLER BOX | |
| • VAULT | |
| • TELEPHONE MANHOLE | |
| • TELEPHONE PEDESTAL | |
| • CABLE MANHOLE | |
| • CABLE PEDESTAL | |

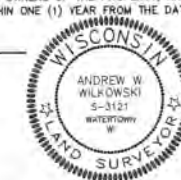
SURVEYOR'S CERTIFICATE

I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY (PROPERTY) AND THE ABOVE MAP COMPLETES WITH A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE THERETO, WITHIN ONE (1) YEAR FROM THE DATE HEREON.

ANDREW W. WILKOWSKI, S-3121
PROFESSIONAL LAND SURVEYOR

JULY 9, 2019
DATE
REVISED: 2/21/20



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE
N338 W1810 BUSSE ROAD, SUITE 100
WALKESSHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:

ROC
VENTURES

CLIENT ADDRESS:

510 W. KILBOURN AVE.
MILWAUKEE, WI 53202

PROJECT:



BUILDING S3C2

PROJECT LOCATION:

FRANKLIN, WI
MILWAUKEE COUNTY

REVISED 2/21/20 NEW FOUNDATION PLAN

Design/Drawn: DHS
Approved: AWW

SHEET TITLE:

PLAT OF
SURVEY
FOR PERMIT

MAP NO. 0--*

SHEET NUMBER:

1 OF 1

JSD PROJECT NO: