

REVISED***
CITY OF FRANKLIN
COMMON COUNCIL MEETING*
FRANKLIN CITY HALL – COMMON COUNCIL CHAMBERS
9229 WEST LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA**
TUESDAY, MARCH 17, 2020 AT 6:30 P.M.

- A. Call to Order and Roll Call.
- B.
 - 1. Citizen Comment Period.
 - 2. Mayoral Announcement-Pandemic Policy No. 1 (Mayor Olson).
- C. Approval of Minutes - Regular Common Council Meeting of March 3, 2020.
- D. Hearings.
- E. Organizational Business:
***1. A Resolution Declaring A Public Health Emergency In Response To The Coronavirus Disease 2019 (COVID-19).
- F. Letters and Petitions.
- G. Reports and Recommendations:
 - 1. List of Donations for January and February, 2020 to Police, Fire and Parks Departments.
 - 2. Light and Unite RED Proclamation.
 - 3. A Resolution Authorizing Certain Officials to Accept a Conservation Easement for and as Part of the Approval of a 4 Lot Certified Survey Map Upon Property Located at 5207 West Oakwood Road (Daniel S. Duchniak, General Manager of Waukesha Water Utility, Applicant, Judith E. Gyuro And Evelyn A. Farchione (Deceased), Property Owners).
 - 4. A Resolution Authorizing Certain Officials to Accept a Landscape Bufferyard Easement for and as Part of the Approval of a 4 Lot Certified Survey Map Upon Property Located at 5207 West Oakwood Road (Daniel S. Duchniak, General Manager of Waukesha Water Utility, Applicant, Judith E. Gyuro and Evelyn A. Farchione (Deceased), Property Owners).
 - 5. A Resolution Imposing Conditions and Restrictions for the Approval of a Special Use for a Credit Union With Drive Through Use Upon Property Located at 6611 South 27th Street (University of Wisconsin Credit Union, D/B/A UW Credit Union, Applicant).
 - 6. An Ordinance to Amend Ordinance 2019-2398, an Ordinance Adopting the 2020 Annual Budgets for the Capital Improvement Fund to Carryover \$40,000 of the 2019 Unused Historical Society Barn Project Appropriations.
 - 7. Request to Enter into Contracts Totaling \$20,000 with JJ Electrical, LLC for \$4,865, G&L Contracting Services LLC for \$9,850, Southeast Construction LLC for \$2,395, and Other Expenditures as Needed to Complete the Electrical, ADA Concrete Work, and Painting of the Historical Barn-8038 S. Legend Drive.
 - 8. West Marquette Avenue Public Road Extension Construction Development.
 - 9. Tourism Commission Proposed Gateway Signage and Banners.

Common Council Meeting Agenda

March 17, 2020

Page 2

10. An Ordinance to Amend Ordinance 2019-2398, an Ordinance Adopting the 2020 Annual Budgets for the General Fund to Transfer \$105,000 of Information Systems Non-Personnel Costs to Personnel Costs.
11. Approval of the Job Descriptions for “Desktop and User Support Administrator” and “Server and Infrastructure Engineer” and Authorization to Fill Two Full-Time Positions for “Desktop and User Support Administrator” and one Full-Time Position for “Server and Infrastructure Engineer” to Replace Existing Heartland Business Systems Information Technology On-Site Contractors.
12. Authorize the Director of Information Technology to Execute a Participating Addendum Agreement Through the National Association of State Procurement Officers’ ValuePoint Cooperative Purchasing Organization for Copiers, Printers and Related Devices, as Approved by the Wisconsin Director of the State’s Bureau of Procurement; and to Authorize Department Heads to Acquire Budgeted, Replacement Copiers, Printers and Related Devices Under the Terms of the Participating Addendum Agreement.
13. Authorization for Renewal of a Contract with Inspiron Logistics for the Emergency Notification System.
14. An Ordinance to Amend Ordinance 2019-2398, an Ordinance Adopting the 2020 Annual Budgets to Move \$250,000 of Restricted Contingency to Unrestricted Contingency to Address the Corvid-19 Health Emergency.
15. An Ordinance to Amend Ordinance 2019-2398, an Ordinance Adopting the 2020 Annual Budgets for the General Fund to Provide Additional \$77,630 of Road Salt Appropriations.
16. Request to Participate in State Contract for Purchase of 2,750 Tons of Salt.
17. An Ordinance to Amend the Municipal Code, §10-19. Quarry Monitoring Committee, as it Pertains to Committee Membership; Amendment to the Administrative Rules and Procedures for the Quarry Monitoring Committee of the City of Franklin, Wisconsin, as they Pertain to Committee Membership.
18. Modify Employee Handbook Section III Clothing Allowance from \$250 to \$350 for Department of Public Works, and Sewer and Water Employees.

H. Licenses and Permits.

Miscellaneous Licenses from License Committee Meeting of March 17, 2020.

I. Bills.

Request for Approval of Vouchers and Payroll.

J. Adjournment.

*Notice is given that a majority of the Quarry Monitoring Committee and Tourism Commission may attend this meeting to gather information about an agenda item over which the Quarry Monitoring Committee and Tourism Commission has decision-making responsibility. This may constitute a meeting of the Quarry Monitoring Committee and Tourism Commission, per State ex rel. Badke v. Greendale Village Board, even though the Quarry Monitoring Committee and Tourism Commission will not take formal action at this meeting.

**Supporting documentation and details of these agenda items are available at City Hall during normal business hours.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk’s office at (414) 425-7500.]

REMINDERS

March 19	Plan Commission Meeting	7:00 p.m.
April 6	Common Council Meeting and Committee of the Whole	6:30 p.m.
April 7	Spring Election & Presidential Preference Primary	7:00 a.m.-8:00 p.m.
April 9	Plan Commission Meeting	7:00 p.m.
April 21	Common Council Meeting	6:30 p.m.
April 23	Plan Commission Meeting	7:00 p.m.

BLANK PAGE

MEMO

March 11, 2020

To. Aldermen and Department Heads

From Mayor Steve Olson

Re Covid 19 Preparedness

For some period of time now individual department heads and I have been discussing planning to handle the pandemic should it come to have significant effect on the City of Franklin municipal operation and/or our citizens. We held a selective senior staff meeting on Tuesday morning to put more issues on paper for solutions. Those are still in process but I thought it important to get some of this information in your hands given announcements by various other politicians lately.

Policy issues will be approved by committee and council. Listing here for discussion only. There will probably be items on the Personnel committee agenda for Monday.

Currently our Emergency Operations plan has the framework for our response. In this instance however, this is a health-related emergency (once declared) so working with the Fire Chief (official OEM) will be Courtney Day. Courtney should be your go to person. Our department heads have been receiving individual guidance where applicable from county, state and federal as well as professional organizations as it relates to their functional areas. I have been meeting with and talking with my counterparts as well in an effort to make sure we don't miss something. Courtney and I (and possibly others) will be attending a county wide tabletop pandemic exercise next week. At this point it appears that we're prepared and are accessing good information. Here are some issues and probable policies relative to the pandemic.

HEALTH OFFICER COURTNEY DAY IS Franklin's incident command on this issue as it relates to health questions. She is officially appointed as PUBLIC INFORMATION OFFICER for this incident.

QUARANTINE POLICY:

Medical guidelines under review and direction of Director Day will determine quarantines for employees who come into contact with (probable) patients. Employees may not self-quarantine. Supervisors will consult with Director Day for medical appropriateness. Quarantined employees may be required to perform their jobs from home during their quarantine period. Should an employee under quarantine break their quarantine they may be subject to discipline up to and including termination.

SICK LEAVE UNDER QUARANTINE:

(This is being reviewed by legal counsel and is subject to FMLA changes proposed by the President 20 minutes ago)

This is a temporary policy that does not establish precedent. Should an employee be subject to approved quarantine and exhaust their bank of sick days, the city will continue to pay as though sick days were available. New sick days will not accrue under this period. All sick time will be paid as straight time. A doctor's excuse, normally needed if out for more than 3 days, will not be needed to return to work after quarantine. Time off due to COVID-19 will not be counted toward an employee's FMLA.

TIME OFF FOR CHILD CARE IN THE CASE OF SCHOOL CLOSURE:

Generally, time off will not be granted for child or dependent care outside of normal policy. The city is aware that circumstances may arise that will cause extreme circumstances for families with children or elderly at home parents. We are working on contingency plans for child care but employees should have plans in place for such an event. (Use of the library for daycare. Employee's to manage care and supervision of the children to be discussed and worked out)

POLICE AND FIRE STAFFING

In the event that we experience quarantining of our first responders (including dispatch), both PD and Fire have contingency plans for staffing. As we all know, we don't have extra staff waiting for assignment. On a high level, the plans include reduced responses, longer shifts, replacement personnel from other departments and other service adjustments. Our focus will always be on effective service to our public based on need. There will be budget impact should we need to go down these paths and the departments are working with finance and me on projections and issues of paying other municipalities for their personnel and in reverse?

UNIQUE STAFFING ISSUES

We have a lot of positions within the city whose responsibilities are unique and done by one person. Management and administration will be working on strategies to best cover these responsibilities (how do we do payroll if our one payroll clerk is out for a month) to keep the city working. These will be complex issues to solve complicated by the lengthy nature of quarantine or recovery.

ELECTIONS

The clerk's office has significant guidance from the state on operations for the election. Sandi will have her staff trained on procedures to handle voters who present themselves as apparently ill. Procedures will be in place for cleaning machines, pens and other touchable surfaces.

LIBRARY

The library is preparing. They are implementing enhanced cleaning of public surfaces and researching quarantine of returned materials. Puzzles and games are being removed.

SENIOR HOUSING FACILITIES

Our health department has and will continue to visit with our senior facilities to remind our most vulnerable population of how to combat the virus and to maintain vigilance.

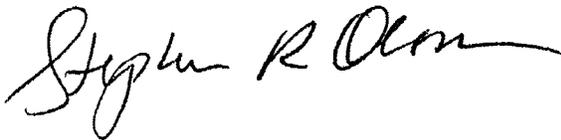
CITY MEETINGS AND EVENTS

At this point I have no intention of cancelling city meetings or events. Our chance of infection are low. I will rely on Courtney but as long as we practice good personal hygiene we'll be fine.

IF YOU FEEL LIKE YOU HAVE A COLD OR THE FLU, CONTACT YOUR SUPERVISOR.

It appears that the infection rate in Asia has begun to decline. With the measures in the other countries in place it's likely they'll start to get a handle on it too.

Remember 99.7% of people infected recover like they had the flu. Tens of thousands more have the flu than covid 19 and are dying. Wash your hands. Don't touch your face.

A handwritten signature in black ink that reads "Stephen R. Olson". The signature is fluid and cursive, with a long horizontal stroke at the end.

Stephen R. Olson
Mayor

BLANK PAGE

C.

CITY OF FRANKLIN
COMMON COUNCIL MEETING
MARCH 3, 2020
MINUTES

ROLL CALL A. The regular meeting of the Common Council was held on March 3, 2020 and called to order at 6:30 p.m. by Mayor Steve Olson in the Franklin City Hall Council Chambers, 9229 W. Loomis Road, Franklin, Wisconsin. On roll call, the following were in attendance: Alderman Mark Dandrea, Alderman Dan Mayer (arrived at 6:48 p.m.), Alderwoman Kristen Wilhelm, Alderman Steve F. Taylor, Alderman Mike Barber, and Alderman John R. Nelson. Also present were City Engineer Glen Morrow, City Attorney Jesse A. Wesolowski and City Clerk Sandra Wesolowski.

CITIZEN COMMENT B. Citizen comment period was opened at 6:31 p.m. and closed at 6:39 p.m.

MINUTES
FEBRUARY 17, 2020 C. Alderman Dandrea moved to approve the minutes of the regular Common Council meeting of February 17, 2020 as presented at this meeting. Seconded by Alderman Barber. All voted Aye; motion carried.

CONSENT AGENDA G.1. Alderman Taylor moved to approve the following consent agenda items:

AUCTION OF SCBA
EQUIPMENT G.1.(a) Approve Fire Department request to dispose of decommissioned Self Contained Breathing Apparatus, with associated parts and fill appliances, by sending them to auction, with any proceeds returned to the Equipment Replacement Fund; and

FRANKLIN VOLITION
CONTRACT WITH
TTJ GROUP, LLC G.1.(b) Authorize the Director of Health and Human Services to sign the contract, as corrected, with TTJ Group, LLC for consultant services to Franklin Volition on social media training by coalitions; and

HEALTHY
COMMUNITIES
APPLICATION G.1.(c) Authorize the Director of Health and Human Services to complete the application for Healthy Communities Designation for the City in 2020.

Approval of the consent agenda was seconded by Alderman Barber. All voted, Aye; motion carried.

NEEDS ASSESSMENT &
IMPACT FEES STUDY G.2. Alderman Taylor moved to accept the Public Facilities Needs Assessment and Impact Fee Study draft and direct that a Public Hearing be held on April 6, 2020, to consider input and adopt a revised Impact Fee Ordinance. Seconded by Alderman Dandrea. All voted Aye; motion carried.

Alderman Taylor moved that the study provide the annual increase escalator option of the U.S. Census Bureau's Construction Price

Index for single-family houses. Seconded by Alderman Nelson. All voted Aye; motion carried.

Alderman Taylor moved to create a policy that would cause a Needs Assessment to be completed every 5 years. Seconded by Alderman Dandrea. All voted Aye; motion carried.

2020 SANITARY
SEWER USER FEE

G.3. Alderman Dandrea moved to adopt a quarterly 2020 Residential Sanitary Sewer charge of \$59.90 and a fixed Commercial Connection charge of \$12.50 plus a \$3.5250195 per thousand gallons charge effective January 1, 2020 as provided by Municipal Code 207-14.H.(3)(b). Seconded by Alderman Barber. All voted Aye; motion carried.

PROFESSIONAL
SERVICE AGREEMENT
FOR PUBLIC WORKS
FACILITY
IMPROVEMENTS

G.12. Alderman Mayer moved to adopt a Resolution for Professional Service Agreement with Barrientos Design and Consulting, Inc. for a Phase I Needs Analysis and Concept Design on Department of Public Works Facility Improvements (7979 West Ryan Road) for \$15,892. Seconded by Alderman Dandrea. On roll call, Alderman Dandrea and Alderman Mayer voted Aye; Alderwoman Wilhelm, Alderman Taylor, Alderman Barber, and Alderman Nelson voted No. Motion failed.

HISTORICAL SOCIETY
BARN DONATION

G.4. Alderman Taylor moved to return to the March 17, 2020, Common Council meeting with a cost estimate, Memorandum of Understanding for Maintenance, Operations and Ownership relating to acceptance from the Franklin Historical Society to the City of Franklin of the Barn Museum building in Lions Legend Park. Seconded by Alderman Mayer. All voted Aye; motion carried.

RES. 2020-7600
3 LOT CSM LOCATED
AT 3617 W. ELM RD.
(JHB PROPERTIES, LLC,
OWNER)

G.5. Alderman Taylor moved to adopt Resolution No. 2020-7600, A RESOLUTION CONDITIONALLY APPROVING A 3 LOT AND 1 OUTLOT CERTIFIED SURVEY MAP, BEING PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5285, AS RECORDED IN THE REGISTER OF DEEDS OFFICE FOR MILWAUKEE COUNTY AS DOCUMENT NO. 6286497, BEING A PART OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN. (JHB PROPERTIES, LLC, OWNER) (3617 WEST ELM ROAD). Seconded by Alderman Dandrea. All voted Aye; motion carried.

RES. 2020-7601
SPECIAL USE
RESIDENTIAL

G.6. Alderman Dandrea moved to adopt Resolution No. 2020-7601, A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR A ONE-

- DWELLING AT 9323 W. PUETZ RD. (KEVIN M. & SONDR A J. SPIEGL APPLICANTS) FAMILY RESIDENTIAL DWELLING USE UPON PROPERTY LOCATED AT 9323 WEST PUETZ ROAD (KEVIN M. SPIEGL AND SONDR A J. SPIEGL, APPLICANTS). Seconded by Alderman Mayer. All voted Aye; motion carried.
- RES. 2020-7602 ARCHITECTURAL & ENGINEERING SVCS. AGREEMENT WITH GRAEF-USA, INC. (PLEASANT VIEW PARK) G.7. Alderman Nelson moved to adopt Resolution No. 2020-7602, A RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO EXECUTE AN AGREEMENT WITH GRAEF-USA, INC. FOR PROFESSIONAL, ARCHITECTURAL, AND ENGINEERING SERVICES FOR THE PLEASANT VIEW PARK MASTER PLAN UPDATE, IN THE AMOUNT OF \$19,900.00. Seconded by Alderman Mayer. All voted Aye; motion carried.
- RES. 2020-7603 CHANGE ORDER 02 FOR PLEASANT VIEW PARK PAVILION G.8. Alderman Nelson moved to adopt Resolution No. 2020-7603, A RESOLUTION TO ISSUE A CHANGE ORDER NO. 2 FOR PLEASANT VIEW PARK PAVILION (4901 WEST EVERGREEN STREET) IN THE AMOUNT OF \$6,407.47. Seconded by Alderman Mayer. All voted Aye; motion carried.
- RES. 2020-7604 MOU WITH WI DOT FOR TEMPORARY DRIVEWAY 10001 W. CHURCH ST. G.9. Alderman Mayer moved to adopt Resolution No. 2020-7604, A RESOLUTION TO ENTER INTO A MEMORANDUM OF UNDERSTANDING WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION FOR THE CONSTRUCTION OF A FUTURE PRIVATE DRIVEWAY CONNECTION ON THE WEST SIDE OF SOUTH LOVERS LANE ROAD (STH 100) FOR 10001 WEST CHURCH STREET (TAX ID NO. 795-9999-007). Seconded by Alderman Dandrea. All voted Aye; motion carried.
- WISDOT HWY 100, W. RAWSON AVE. TO W. COLLEGE AVE. G.10. No action was taken regarding the stock pile issue, context-sensitive solution elements, sidewalks, and crosswalks relating to the Wisconsin Department of Transportation project South Lovers Lane Road (U.S. 45 / STH 100) from West Rawson Avenue to West College Avenue.
- AMEND BUDGET FOR PUBLIC WORKS FACILITY IMPROVEMENTS G.11. No action was taken on an Ordinance to Amend Ordinance 2019-2398, an Ordinance Adopting the 2020 Annual Budgets for the Capital Improvement Fund to Carryforward a \$20,000 Appropriation for a Concept Design for Public Works Facility Improvements.
- ORD. 2020-2419 SEWER & WATER DEPT. TRUCK G.13. Alderman Taylor moved to adopt Ordinance No. 2020-2419, AN ORDINANCE TO AMEND ORDINANCE 2019-2398, AN ORDINANCE ADOPTING THE 2020 ANNUAL BUDGETS FOR THE SANITARY SEWER FUND PROVIDING ADDITIONAL RESOURCE AND CAPITAL EXPENDITURE APPROPRIATIONS FOR THE PURCHASE OF A TRUCK. Seconded by Alderman Barber. On roll call, all voted Aye; motion carried.

- ORD. 2020-2420
BUDGET
AMENDMENTS
- G.14. Alderman Dandrea moved to adopt Ordinance No. 2020-2420, AN ORDINANCE TO AMEND ORDINANCE 2018-2345, AN ORDINANCE ADOPTING THE 2019 ANNUAL BUDGETS FOR GENERAL, SOLID WASTE, ST MARTIN'S FAIR, CIVIC CELEBRATIONS, POLICE GRANTS FUNDS FOR THE CITY OF FRANKLIN FOR FISCAL YEAR 2019 TO PROVIDE APPROPRIATIONS FOR ACTUAL PERFORMANCE TO AMENDED BUDGET FOR CALENDAR YEAR 2019. Seconded by Alderman Barber. On roll call, all voted Aye; motion carried.
- LICENSES AND
PERMITS
- H. Upon recommendation from the License Committee, Alderman Nelson moved to grant an Operator License to Christopher A. Ewig, 6626 S. 26 St., Oak Creek. Seconded by Alderman Taylor. All voted Aye; motion carried.
- VOUCHERS AND
PAYROLL
- I. Alderman Barber moved to approve the following:
City vouchers with an ending date of March 1, 2020 in the amount of \$2,602,525.97; and approving \$6,588,701.17 of Debt Service payments to Bond Trust Services direct from investment accounts; and Payroll dated February 28, 2020 in the amount of \$396,414.36 and payments of the various payroll deductions in the amount of \$516,537.40 plus City matching payments; and estimated payroll dated March 13, 2020 in the amount of \$389,000.00 and payments of the various payroll deductions in the amount of \$213,000.00, plus City matching payments; property tax vouchers with an ending date of February 28, 2020 in the amount of \$6,191,982.82; and the release payment to Knight Barry in the amount of \$674,250.18; and the release of payment to Title 100, Inc. in the amount of \$340,798.60. Seconded by Alderman Nelson. On roll call, all voted Aye. Motion carried.
- ADJOURNMENT
- J. Alderman Taylor moved to adjourn the meeting at 8:11 p.m. Seconded by Alderman Nelson. All voted Aye; motion carried.

<p style="text-align: center;">APPROVAL</p> <p style="text-align: center;"><i>slw</i></p>	<p style="text-align: center;">REQUEST FOR COUNCIL ACTION</p>	<p style="text-align: center;">MEETING DATE</p> <p style="text-align: center;">March 17, 2020</p>
<p style="text-align: center;">ORGANIZATIONAL BUSINESS</p>	<p style="text-align: center;">A Resolution Declaring A Public Health Emergency In Response To The Coronavirus Disease 2019 (COVID-19)</p>	<p style="text-align: center;">ITEM NUMBER</p> <p style="text-align: center;"><i>E.1.</i></p>

Mayor Olson directed the presentation of this public emergency subject matter to the Common Council. Attached is a copy of the draft resolution. City staff will be present at the meeting to provide information to the Common Council.

COUNCIL ACTION REQUESTED

A motion to adopt A Resolution Declaring A Public Health Emergency In Response To The Coronavirus Disease 2019 (COVID-19)

RESOLUTION NO. 2020-_____

**A RESOLUTION DECLARING A PUBLIC HEALTH EMERGENCY
IN RESPONSE TO THE CORONAVIRUS DISEASE 2019 (COVID-19)**

WHEREAS, COVID-19, a novel strain of the coronavirus, was detected in December, 2019, and has subsequently spread throughout numerous countries and the United States, including Wisconsin; and

WHEREAS, international organizations, the federal, state, and local governments are all working together to contain COVID-19; and

WHEREAS, citing the World Health Organization's declaration of a Public Health Emergency of International Concern, and the United States Department of Health and Human Services declaration of a Public Health Emergency, the Governor of the State of Wisconsin has proclaimed that a Public Health Emergency exists for the State of Wisconsin, by Executive Order #72 on March 12, 2020; and

WHEREAS, the City of Franklin has been working to protect the community from the spread of this disease, and to prepare for the impacts it may have; and

WHEREAS, in order to protect the health and well-being of residents and visitors, the City of Franklin must avail itself of all resources needed to respond to and contain the presence of COVID-19.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, as follows:

1. There does now exist within the City of Franklin a public health emergency, as defined in Wis. Stat. § 323.02(16), and as such, the Common Council of the City of Franklin does hereby declare a Public Health Emergency within the City of Franklin, pursuant to Wis. Stat. § 323.11, due to an imminent threat of conditions that will impair transportation, food or fuel supplies, medical care, fire, health or police protection, or other critical systems of the City.
2. During the existence of said declared Public Health Emergency, the powers, functions and duties of the emergency management organization of the City of Franklin shall be those prescribed by state law, and by Franklin ordinances and resolutions, the City of Franklin Emergency Operations Plan, and Franklin's Comprehensive Emergency Management Program.
3. All City of Franklin Departments shall, as necessary and appropriate, work

cooperatively with internal and external stakeholders and take all necessary and appropriate measures to prevent and respond to incidents of COVID-19 in the community.

- 4. The City of Franklin Fire Chief, as the City of Franklin Emergency Manager shall implement the City of Franklin Emergency Operations Plan, coordinate the City’s response to the existing Emergency, and coordinate with County and State emergency management personnel as required by law. The City of Franklin Director of Health and Human Services/Health Officer, as an Incident Commander for the Public Health Emergency, will serve in conjunction with the Emergency Manager, and shall serve as the Public Information Officer during the term of this Emergency
- 5. Pursuant to Wis. Stat. § 323.11, this Resolution Declaring a Public Health Emergency and the period of the emergency shall be in effect and in place for forty (40) days from the date of adoption hereof, subject to any future Common Council action by way of resolution to reduce such effect and time period, or to extend same, or to amend the provisions hereof.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

BLANK PAGE

<p>APPROVAL</p> <p><i>Shw PA</i></p>	<p>REQUEST FOR COUNCIL ACTION</p>	<p>MEETING DATE</p> <p>Mar 17, 2020</p>
<p>REPORTS & RECOMMENDATIONS</p>	<p>List of Donations for January and February, 2020 to Police, Fire, and Parks</p>	<p>ITEM NUMBER</p> <p>G.I.</p>

Background

Various residents and businesses contribute to City activities to assist the Police, Fire, and Parks. Attached is a list of donors who contributed during January and February, 2020.

COUNCIL ACTION REQUESTED

Motion to acknowledge and accept donations received during January and February 2020 to the Police, Fire, and Parks.

City of Franklin, WI
Donations
Jan 1, 2020 to Feb 28, 2020

Date	Description	Reference #	Credits
4738 - CANINE DONATIONS-POLICE			
02/06/2020	ST PAULS MARY MARTHA SOCIETY	152506	50.00
4741 - OTHER POLICE DONATION			
02/25/2020	JESTER, ROBERT	152999	100.00
DONATIONS-FIRE SAFETY-SCHOOLS			
01/01/2020			
01/31/2020	BARTZ'S FLOOR COVERING INC	152268	200.00
01/31/2020	BTL PALLET SHOP	152273	100.00
02/05/2020	CARMA LABORATORIES INC	152446	200.00
01/29/2020	CINTAS	152166	120.00
01/31/2020	CROSSROADS PIZZA & SUBS II	152270	120.00
02/26/2020	FISCO AUTO BODY INC	153031	120.00
01/31/2020	G&S HAPPY HOUNDS, INC	152272	200.00
02/17/2020	HOLZ MOTORS, INC.	152762	100.00
01/31/2020	KENDOR CORPORATION	152269	100.00
02/17/2020	MAX A. SASS & SONS FUNERAL HOMES	152763	120.00
01/31/2020	ON THE BORDER	152274	200.00
01/31/2020	ZUMSTEIN CHIROPRACTIC CLINIC LLC	152271	100.00
	Total		1,680.00
DONATIONS-KAYLA'S KREW PLAYGR			
02/05/2020	FREIBERG, KRISTEN	152478	75.00
01/13/2020	GINTHER, JACK & CATHERINE	151453	100.00
01/08/2020	KOENIG, ALEX	151323	40.00
	Total		215.00
Total Donations to Donations Fund			2,045.00

APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 3/17/2020
Reports and Recommendations	Light and Unite RED Proclamation	ITEM NUMBER <i>G. 2.</i>
<p>Background: Light and Unite RED week is a County Wide Annual initiative to shine a spotlight on the dangers of substance misuse. Franklin plans to show support for this campaign by lighting an evergreen outside of City Hall with red lights. Volition Franklin members will provide community members with educational resources and encourage participation in a variety of community and school based event throughout the designated week.</p> <p>* Members from the coalition will be present at the Common Council Meeting</p> <p style="text-align: center;"><u>COUNCIL ACTION REQUESTED</u></p> <p>No action requested.</p>		

Health Department: LG

City of Franklin Proclamation

Whereas, substance abuse prevention coalitions within Milwaukee County work together annually to put a spotlight on the dangers of substance abuse during Light and Unite RED week; and

Whereas, this year, Light and Unite RED week will be March 30-April 5, 2020 to coincide with National Drug and Alcohol Facts Week; and

Whereas, one of the community groups partnering in this event is Volition Franklin; and

Whereas, the confirmed number of drug overdoses deaths in Milwaukee County for 2019 was approximately 407 fatal drug overdoses; and

Whereas, Franklin is not immune to substance misuse as evident by local data; and

Whereas, awareness, knowledge, and community support serve as protective factors against the misuse of alcohol and other drugs; and local leaders in government, schools, businesses, and citizens have the opportunity to participate in Light and Unite RED week; and

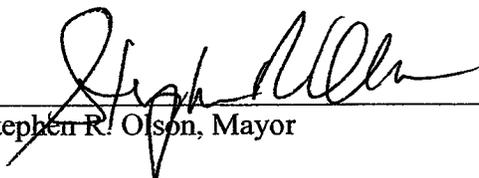
Whereas, community members are urged to participate in Light and Unite RED activities and use the color red as a way of symbolizing efforts to prevention substance abuse; and

Whereas, the City of Franklin will be illuminating an evergreen tree in front of City Hall, and Volition Franklin will be engaging the community in activities throughout the city during Light and Unite RED week; and

Whereas, continued commitment to drug and alcohol education and prevention are imperative.

Now Therefore, be it proclaimed, that I, Stephen R. Olson, Mayor of the City of Franklin, Wisconsin, on behalf of all the Citizens of Franklin, hereby declare the week of March 30-April 5, 2020 to be Light and Unite RED week in the City and ask all citizens and businesses to join me in recognizing this week.

Presented to the City of Franklin Common Council this 17th day of March, 2020.



Stephen R. Olson, Mayor

<p style="text-align: center;">APPROVAL</p> <p style="text-align: center;"><i>Slw</i></p>	<p style="text-align: center;">REQUEST FOR COUNCIL ACTION</p>	<p style="text-align: center;">MEETING DATE</p> <p style="text-align: center;">03/17/20</p>
<p style="text-align: center;">REPORTS & RECOMMENDATIONS</p>	<p style="text-align: center;">RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO ACCEPT A CONSERVATION EASEMENT FOR AND AS PART OF THE APPROVAL OF A 4 LOT CERTIFIED SURVEY MAP UPON PROPERTY LOCATED AT 5207 WEST OAKWOOD ROAD</p> <p style="text-align: center;">(DANIEL S. DUCHNIAK, GENERAL MANAGER OF WAUKESHA WATER UTILITY, APPLICANT, JUDITH E. GYURO AND EVELYN A. FARCHIONE (DECEASED), PROPERTY OWNERS)</p>	<p style="text-align: center;">ITEM NUMBER</p> <p style="text-align: center;"><i>6.3.</i></p>

City Development staff recommends approval of a resolution authorizing certain officials to accept a conservation easement for and as part of the approval of a 4 lot certified survey map upon property located at 5207 West Oakwood Road, bearing Tax Key No. 948-9998-001, Daniel S. Duchniak, General Manager of Waukesha Water Utility, subject to review and approval by the Department of City Development and technical corrections by the City Attorney.

The applicant submitted a conservation easement for Common Council approval to comply with condition No. 7 of Certified Survey Map Resolution No. 2019-7590:

The applicant shall submit a written conservation easement and landscape bufferyard easement documents, said easements shall be reviewed by City staff, and approved by the Common Council, for recording with the Milwaukee County Register of Deeds Office concurrently with recording of the Certified Survey Map.

COUNCIL ACTION REQUESTED

A motion to adopt Resolution No. 2020-_____, a resolution authorizing certain officials to accept a conservation easement for and as part of the approval of a 4 lot certified survey map upon property located at 5207 West Oakwood Road, bearing Tax Key No. 948-9998-001, Daniel S. Duchniak, General Manager of Waukesha Water Utility, applicant, Judith E. Gyuro and Evelyn A. Farchione (deceased), property owners, subject technical corrections by the Department of City Development.

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

[Draft 3-10-2020]

RESOLUTION NO. 2020-_____

**RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO ACCEPT A
CONSERVATION EASEMENT FOR AND AS PART OF THE APPROVAL OF A 4 LOT
CERTIFIED SURVEY MAP UPON PROPERTY LOCATED AT 5207 WEST OAKWOOD
ROAD (DANIEL S. DUCHNIAK, GENERAL MANAGER OF WAUKESHA WATER
UTILITY, APPLICANT, JUDITH E. GYURO AND EVELYN A. FARCHIONE
(DECEASED), PROPERTY OWNERS)**

WHEREAS, the Common Council having approved a Certified Survey Map upon the application of Daniel S. Duchniak, General Manager of Waukesha Water Utility, on February 4, 2020, and the Plan Commission having conditioned approval thereof in part upon Common Council approval of a Conservation Easement to protect the wetlands, waterways, shore wetlands, wetland buffers, wetland setbacks, shore buffers and floodplains/floodways on the site; and

WHEREAS, §15-7.0603B. of the Unified Development Ordinance requires the submission of a Conservation Easement and Natural Resource Protection Plan in the Certified Survey Map review process and the Unified Development Ordinance requires conservation easements to be imposed for natural resource features identified within such Plan to protect such features, all as part of the approval process for a Certified Survey Map; and

WHEREAS, the City Engineering Department, Department of City Development and the Office of the City Attorney having reviewed the proposed Conservation Easement and having recommended approval thereof to the Common Council.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Conservation Easement submitted by Daniel S. Duchniak, General Manager of Waukesha Water Utility, in the form and content as annexed hereto, be and the same is hereby approved, subject to review and approval by the Department of City Development and technical corrections by the City Attorney; and the Mayor and City Clerk are hereby authorized to execute such Easement as evidence of the consent to and acceptance of such easement by the City of Franklin.

BE IT FURTHER RESOLVED, that the City Clerk be and the same is hereby directed to obtain the recording of the Conservation Easement in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

A RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO ACCEPT A
CONSERVATION EASEMENT
DANIEL S. DUCHNIAK, GENERAL MANAGER OF WAUKESHA WATER UTILITY
RESOLUTION NO. 2020-_____

Page 2

Passed and adopted at a regular meeting of the Common Council of the City of
Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

CONSERVATION EASEMENT

Great Water Alliance Outfall Facilities

This Conservation Easement is made by and between the City of Franklin, a municipal corporation of the State of Wisconsin, hereinafter referred to as "Grantee," and Judith Gyuro and Evelyn Farchione, private owners, hereinafter referred to as "Grantor," and shall become effective upon the recording of this Grant of Conservation Easement, together with the Acceptance following, with the Office of the Register of Deeds for Milwaukee County, pursuant to § 700.40(2)(b) of the Wisconsin Statutes

WITNESSETH

WHEREAS, Grantor is the owner in fee simple of certain real property, located within the City of Franklin, Milwaukee County, Wisconsin, described in Exhibit A attached hereto and hereby made a part hereof (protected property), and

WHEREAS, the Grantor desires and intends that the natural elements and the ecological and aesthetic values of the protected property including, without limitation, wetlands, waterways, wetland buffers, shoreland wetlands, waterway setbacks, floodplains, floodways, and floodlands according to the Wetland and Waterway Delineation Report dated November 2018, and the Natural Resources Protection Plan Technical Memorandum, dated October 2019, both prepared by TRC Companies, Inc. on behalf of the Great Water Alliance (GWA), which Plan is on file in the office of the City of Franklin Department of City Development, be preserved and maintained by the continuation of land use that will not interfere with or substantially disrupt the natural elements or the workings of natural systems, and

WHEREAS, Grantee is a "holder", as contemplated by § 700.40(1)(b)1. of the Wisconsin Statutes, whose purposes include, while exercising regulatory authority granted to it, *inter alia*, under § 62.23 and § 236.45 of the Wisconsin Statutes, the conservation of land, natural areas, open space and water areas; and

WHEREAS, the Grantor and Grantee, by the conveyance to the Grantee of the conservation easement on, over and across the protected property, desire to conserve the natural values thereof and prevent the use or development of the protected property for any purpose or in any manner inconsistent with the terms of this conservation easement, and

WHEREAS, the Grantee is willing to accept this conservation easement subject to the reservations and to the covenants, terms, conditions and restrictions set out herein and imposed hereby;

WHEREAS, the Grantor, successors and assigns, consent to the execution, delivery and dedication of a trail easement to the Grantee, in such location and upon such lands which shall then be determined by the Grantee to then be consistent with the Comprehensive Master Plan of the City of Franklin and the Milwaukee County Trail Network Plan, as may be amended,

WHEREAS, there is no, mortgagee of the protected property ("Mortgagee"), consents to the grant of this conservation easement by Grantor to Grantee and Mortgagee's consent is attached hereto and identified as "Mortgage Holder Consent".

NOW, THEREFORE, the Grantor, for and in consideration of the foregoing recitations and of the mutual covenants, terms, conditions, and restrictions subsequently contained, and as an absolute and unconditional dedication, does hereby grant and convey unto the Grantee a conservation easement in perpetuity on, over and across the protected property.

Grantee's rights hereunder shall consist solely of the following:

- 1 To view the protected property in its natural, scenic, and open condition,
- 2 To enforce by proceeding at law or in equity the covenants subsequently set forth, including, and in addition to all other enforcement proceedings, proceedings to obtain all penalties and remedies set forth under Division 15-9.0500 of the Unified Development Ordinance of the City of Franklin, as amended from time to time, any violation of the covenants subsequently set forth being and constituting a violation of such Unified Development Ordinance, as amended from time to time, or such local applicable ordinance as may be later adopted or in effect to enforce such covenants or the purposes for which they are made, it being agreed that there shall be no waiver or forfeiture of the Grantee's right to insure compliance with the covenants and conditions of this grant by reason of any prior failure to act; and

3. To enter the protected property at all reasonable times for the purpose of inspecting the protected property to determine if the Grantor is complying with the covenants and conditions of this grant.

And in furtherance of the foregoing affirmative rights of the Grantee, the Grantor makes the following covenants which shall run with and bind the protected property in perpetuity, namely, that, on, over or across the protected property, the Grantor, without the prior consent of the Grantee, shall not:

1. Construct or place buildings or any structure;
2. Construct or make any improvements, with the exception of agricultural activities and construction of and required future maintenance of the outfall facility and appurtenances of the outfall facility, from Lot 1, as described in the Certified Survey Map, dated December 30, 2019, to the Root River, unless, notwithstanding Covenant 1. above, the improvement is specifically and previously approved by the Common Council of the City of Franklin, upon the advice of such other persons, entities, and agencies as it may elect, such improvements as may be so approved being intended to enhance the resource value of the protected property to the environment or the public and including, but not limited to animal and bird feeding stations, park benches, the removal of animal blockage of natural drainage or other occurring blockage of natural drainage, and the like;
3. Excavate, dredge, grade, mine, drill or change the topography of the land or its natural condition in any manner, including any cutting or removal of vegetation, except for the removal of dead or diseased trees and the exceptions listed in Covenant 2 above;
4. Conduct any filling, dumping, or depositing of any material whatsoever, including, but not limited to soil, yard waste or other landscape materials, ashes, garbage, or debris;
5. Plant any vegetation not native to the protected property or not typical wetland vegetation,
6. Operate snowmobiles, dune buggies, motorcycles, all-terrain vehicles or any other types of motorized vehicles with the exception to construct and also perform future required maintenance of the outfall facility and appurtenances of the outfall facility from Lot 1 to the Root River.

To have and to hold this conservation easement unto the Grantee forever Except as expressly limited herein, the Grantor reserves all rights as owner of the protected property, including, but not limited to, the right to use the protected property for all purposes not inconsistent with this grant. Grantor shall be responsible for the payment of all general property taxes levied, assessed or accruing against the protected property pursuant to law

The covenants, terms, conditions and restrictions set forth in this grant shall be binding upon the Grantor and the Grantee and their respective agents, personal representatives, heirs, successors, and assigns, and shall constitute servitudes running with the protected property in perpetuity This grant may not be amended, except by a writing executed and delivered by Grantor and Grantee or their respective personal representatives, heirs, successors, and assigns Notices to the parties shall be personally delivered or mailed by U.S. Mail registered mail, return receipt requested, as follows

To Grantor:
 Judith Gyuro and Evelyn Farchione
 4604 W Thorncrest Drive
 Franklin, WI. 53132

To Grantee:
 City of Franklin
 Office of the City Clerk
 9229 West Loomis Road
 Franklin, Wisconsin 53132

In witness whereof, the Grantor has set *their* hands on this date of _____, 2020.

By _____

By: _____

STATE OF WISCONSIN)
) ss
 MILWAUKEE COUNTY)

This instrument was acknowledged before me on the _____ day of _____, 2020, by _____, as _____ of Judith Gyuro and Evelyn Farchione, private owners, to me known to be the persons who executed

the foregoing conservation easement and acknowledged the same as the voluntary act and deed of said Judith Gyuro and Evelyn Farchione.

Notary Public

My commission expires _____

Acceptance

The undersigned does hereby consent to and accepts the Conservation Easement granted and conveyed to it under and pursuant to the foregoing Grant of Conservation Easement. In consideration of the making of such Grant Of Conservation Easement, the undersigned agrees that this acceptance shall be binding upon the undersigned and its successors and assigns and that the restrictions imposed upon the protected property may only be released or waived in writing by the Common Council of the City of Franklin, as contemplated by § 236.293 of the Wisconsin Statutes.

In witness whereof, the undersigned has executed and delivered this acceptance on the ____ day of _____, 2020.

CITY OF FRANKLIN

By. _____
Stephen R. Olson, Mayor

By _____
Sandra L. Wesolowski, City Clerk

STATE OF WISCONSIN)
) ss
COUNTY OF MILWAUKEE)

Personally came before me this _____ day of _____, 2020, the above named Stephen R. Olson, Mayor and Sandra L. Wesolowski, City Clerk, of the above named municipal corporation, City of Franklin, to me known to be such Mayor and City Clerk of said municipal corporation, and acknowledged that they executed the foregoing instrument as such officers as the Deed of said municipal corporation by its authority and pursuant to Resolution No. _____, adopted by its Common Council on the ____ day of _____, 2020.

Notary Public

My commission expires _____

This instrument was drafted by the City of Franklin

Approved as to contents:

Régulo Martínez-Montilva
Associate Planner
Department of City Development

Date

Approved as to form only:

Jesse A. Wesolowski
City Attorney

Date

MORTGAGE HOLDER CONSENT

The undersigned, (Does not apply), a *Wisconsin* banking corporation ("Mortgagee"), as Mortgagee under that certain Mortgage encumbering the protected property and recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on _____, 20____, as Document No. _____, hereby consents to the execution of the foregoing easement and its addition as an encumbrance title to the Property.

IN WITNESS WHEREOF, Mortgagee has caused these presents to be signed by its duly authorized officer, and its corporate seal to be hereunto affixed, as of the day and year first above written.

a *Wisconsin* Banking Corporation

By: _____

Name: _____

Title: _____

STATE OF WISCONSIN)
)ss
COUNTY OF MILWAUKEE)

On this, the _____ day of _____, 20____, before me, the undersigned, personally appeared _____ NA _____, as _____ of _____ NA _____, a *Wisconsin* banking corporation, and acknowledged that (s)he executed the foregoing instrument on behalf of said corporation, by its authority and for the purposes therein contained.

Name: _____ NA _____

Notary Public, State of *Wisconsin*

My commission expires _____

MORTGAGE HOLDER CONSENT

The undersigned, (Does not apply), a *Wisconsin* banking corporation ("Mortgagee"), as Mortgagee under that certain Mortgage encumbering the protected property and recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on _____, 20____, as Document No. _____, hereby consents to the execution of the foregoing easement and its addition as an encumbrance title to the Property

IN WITNESS WHEREOF, Mortgagee has caused these presents to be signed by its duly authorized officer, and its corporate seal to be hereunto affixed, as of the day and year first above written.

a *Wisconsin* Banking Corporation

By _____

Name: _____

Title: _____

STATE OF WISCONSIN)
)ss
COUNTY OF MILWAUKEE)

On this, the _____ day of _____, 20__, before me, the undersigned, personally appeared _____ NA _____, as _____ of _____ NA _____, a *Wisconsin* banking corporation, and acknowledged that (s)he executed the foregoing instrument on behalf of said corporation, by its authority and for the purposes therein contained

Name. _____ NA _____

Notary Public, State of *Wisconsin*

My commission expires _____

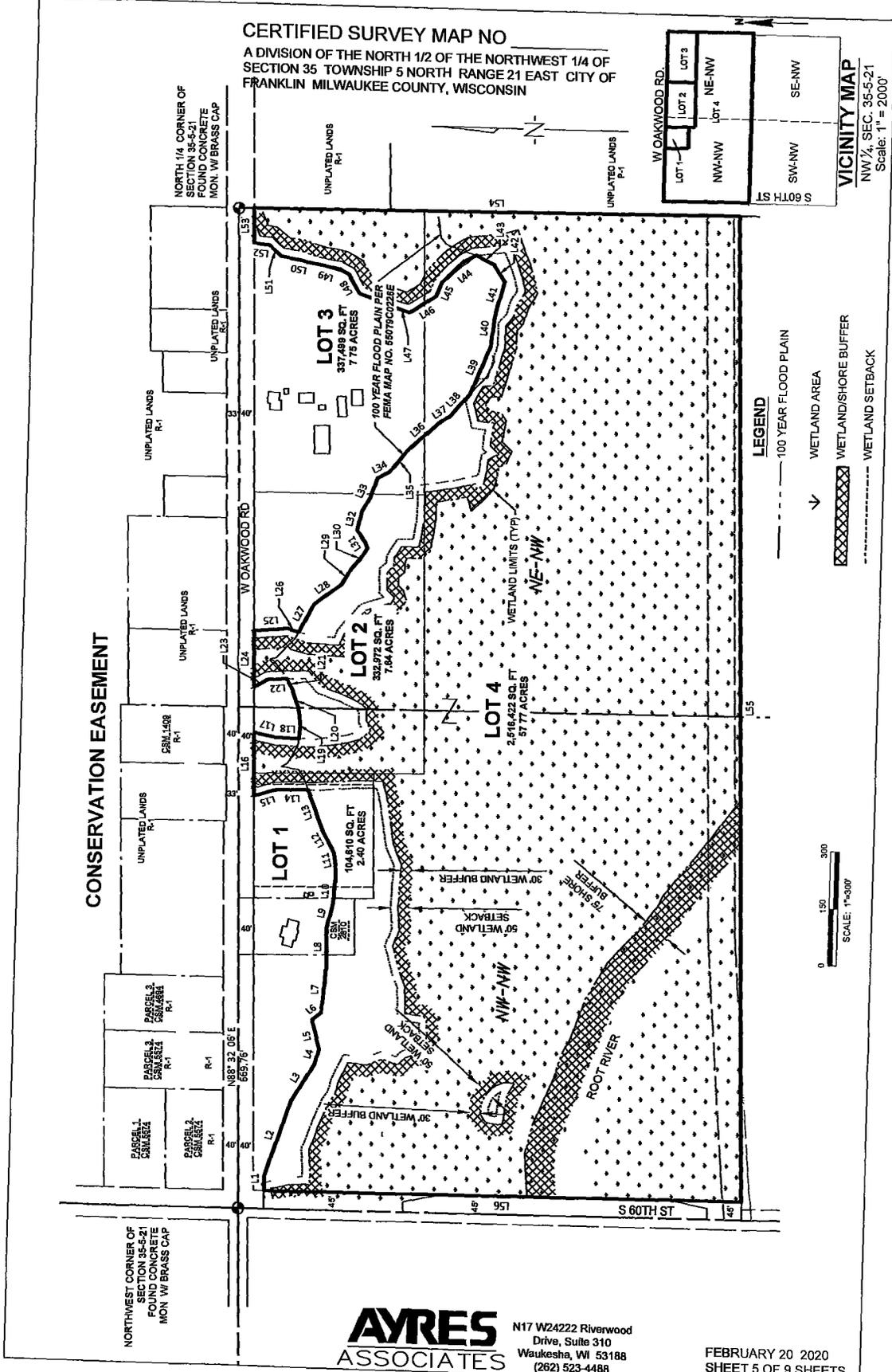
Exhibit A

Certified Survey Map (CSM) Dated December 30, 2019

CERTIFIED SURVEY MAP NO

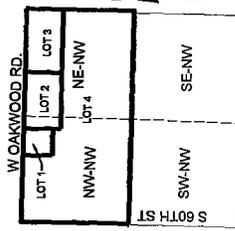
A DIVISION OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 35 TOWNSHIP 5 NORTH RANGE 21 EAST CITY OF FRANKLIN MILWAUKEE COUNTY, WISCONSIN

CONSERVATION EASEMENT



NORTH 1/4 CORNER OF SECTION 35-5-21 FOUND CONCRETE MON. W/ BRASS CAP

NORTHWEST CORNER OF SECTION 35-5-21 FOUND CONCRETE MON. W/ BRASS CAP



VICINITY MAP
NW 1/4, SEC. 35-5-21
Scale: 1" = 2000'

LEGEND

- 100 YEAR FLOOD PLAIN
- WETLAND AREA
- WETLAND/SHORE BUFFER
- WETLAND SETBACK



SCALE: 1"=300'

AYRES
ASSOCIATES

N17 W24222 Riverwood Drive, Suite 310
Waukesha, WI 53188
(262) 523-4488

FEBRUARY 20 2020
SHEET 5 OF 9 SHEETS

CERTIFIED SURVEY MAP NO _____
 A DIVISION OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF
 SECTION 35 TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF
 FRANKLIN MILWAUKEE COUNTY, WISCONSIN

CONSERVATION EASEMENT LINE TABLE

Line Table		
Line #	Length	Direction
L1	41.92	N90° 00' 00"E
L2	210.20	S72° 01' 26"E
L3	114.73	S58° 34' 59"E
L4	40.01	S74° 10' 19"E
L5	83.05	N75° 35' 01" E
L6	29.53	S37° 06' 10"E
L7	124.08	S85° 02' 37"E
L8	102.28	N88° 48' 03"E
L9	65.52	S76° 16' 29"E
L10	104.06	S87° 11' 12"E
L11	30.64	N78° 25' 48"E
L12	69.14	N60° 30' 47"E
L13	111.43	N69° 16' 10"E
L14	84.16	N01° 38' 04"W
L15	61.77	N17° 07' 12"W
L16	170.18	N88° 32' 06"E
L17	60.14	S13° 44' 01"W
L18	61.04	S00° 59' 40"W
L19	68.91	N89° 33' 31" E
L20	62.06	N71° 06' 12" E

Line Table		
Line #	Length	Direction
L21	31.61	N59° 37' 16"E
L22	50.56	N04° 26' 20"W
L23	40.85	N30° 00' 23"W
L24	149.82	N88° 32' 06"E
L25	90.01	S05° 18' 07"E
L26	29.93	S16° 36' 51"W
L27	85.43	S62° 35' 01" E
L28	87.41	S36° 55' 43"E
L29	51.61	S59° 57' 29"E
L30	68.65	S53° 59' 58"E
L31	54.33	N58° 54' 41" E
L32	51.92	S77° 45' 30"E
L33	98.39	S66° 31' 01" E
L34	35.11	S27° 38' 20"E
L35	77.74	S51° 33' 19"E
L36	106.02	S42° 29' 57"E
L37	34.43	S33° 42' 00"E
L38	79.75	S49° 26' 25"E
L39	135.76	S67° 55' 42"E
L40	82.62	S82° 58' 08"E

Line Table		
Line #	Length	Direction
L41	82.66	S74° 26' 21" E
L42	54.30	N56° 40' 05"E
L43	53.02	N26° 31' 02"E
L44	116.00	N40° 01' 05"W
L45	40.75	N67° 28' 03"W
L46	82.60	N33° 25' 29"W
L47	141.70	N19° 58' 18"E
L48	57.34	N60° 10' 30"E
L49	80.91	N15° 32' 30"E
L50	104.17	N11° 43' 07"E
L51	42.83	N41° 02' 48"E
L52	40.39	N06° 28' 10"E
L53	91.79	N88° 32' 06"E
L54	1278.49	S00° 40' 28"E
L55	2601.19	S88° 23' 52"W
L56	1256.38	N00° 33' 20"W

<p style="text-align: center;">APPROVAL</p> <p style="text-align: center;"><i>slw</i></p>	<p style="text-align: center;">REQUEST FOR COUNCIL ACTION</p>	<p style="text-align: center;">MEETING DATE</p> <p style="text-align: center;">03/17/20</p>
<p style="text-align: center;">REPORTS & RECOMMENDATIONS</p>	<p style="text-align: center;">RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO ACCEPT A LANDSCAPE BUFFERYARD EASEMENT FOR AND AS PART OF THE APPROVAL OF A 4 LOT CERTIFIED SURVEY MAP UPON PROPERTY LOCATED AT 5207 WEST OAKWOOD ROAD</p> <p style="text-align: center;">(DANIEL S. DUCHNIAK, GENERAL MANAGER OF WAUKESHA WATER UTILITY, APPLICANT, JUDITH E. GYURO AND EVELYN A. FARCHIONE (DECEASED), PROPERTY OWNERS)</p>	<p style="text-align: center;">ITEM NUMBER</p> <p style="text-align: center;"><i>G.A.</i></p>

City Development staff recommends approval of a resolution authorizing certain officials to accept a landscape bufferyard easement for and as part of the approval of a 4 lot certified survey map upon property located at 5207 West Oakwood Road, bearing Tax Key No. 948-9998-001, Daniel S. Duchniak, General Manager of Waukesha Water Utility, subject to review and approval by the Department of City Development and technical corrections by the City Attorney.

The applicant submitted a landscape bufferyard easement for Common Council approval to comply with condition No. 7 of Certified Survey Map Resolution No. 2019-7590:

The applicant shall submit a written conservation easement and landscape bufferyard easement documents, said easements shall be reviewed by City staff, and approved by the Common Council, for recording with the Milwaukee County Register of Deeds Office concurrently with recording of the Certified Survey Map.

It is noted that this easement allows the placement of structures as long as the location is in compliance with previously approved plans of Resolution 2019-7590.

COUNCIL ACTION REQUESTED

A motion to adopt Resolution No. 2020-_____, a resolution authorizing certain officials to accept a landscape bufferyard easement for and as part of the approval of a 4 lot certified survey map upon property located at 5207 West Oakwood Road, bearing Tax Key No. 948-9998-001, Daniel S. Duchniak, General Manager of Waukesha Water Utility, applicant, Judith E. Gyuro and Evelyn A. Farchione (deceased), property owners, subject to review and approval by the Department of City Development and technical corrections by the City Attorney.

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

[Draft 3-10-2020]

RESOLUTION NO. 2020-_____

RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO ACCEPT A LANDSCAPE
BUFFERYARD EASEMENT FOR AND AS PART OF THE APPROVAL OF A 4 LOT
CERTIFIED SURVEY MAP UPON PROPERTY LOCATED AT 5207 WEST OAKWOOD
ROAD (DANIEL S. DUCHNIAK, GENERAL MANAGER OF WAUKESHA WATER
UTILITY, APPLICANT, JUDITH E. GYURO AND EVELYN A. FARCHIONE
(DECEASED), PROPERTY OWNERS)

WHEREAS, the Common Council having approved a Certified Survey Map upon the application of Daniel S. Duchniak, General Manager of Waukesha Water Utility, on February 4, 2020, and the Plan Commission having conditioned approval thereof in part upon Common Council approval of a Landscape Bufferyard Easement; and

WHEREAS, §15-5.0301.D. of the Unified Development Ordinance requires landscape bufferyards between different zoning districts to minimize potential nuisances, and said landscape bufferyard to be protected by a landscape bufferyard easement; and

WHEREAS, the City Engineering Department, Department of City Development and the Office of the City Attorney having reviewed the proposed Landscape Bufferyard Easement and having recommended approval thereof to the Common Council.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Landscape Bufferyard Easement submitted by Daniel S. Duchniak, General Manager of Waukesha Water Utility, in the form and content as annexed hereto, be and the same is hereby approved, subject to review and approval by the Department of City Development and technical corrections by the City Attorney; and the Mayor and City Clerk are hereby authorized to execute such Easement as evidence of the consent to and acceptance of such easement by the City of Franklin.

BE IT FURTHER RESOLVED, that the City Clerk be and the same is hereby directed to obtain the recording of the Landscape Bufferyard Easement in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

A RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO ACCEPT A
LANDSCAPE BUFFERYARD EASEMENT
DANIEL S. DUCHNIAK, GENERAL MANAGER OF WAUKESHA WATER UTILITY
RESOLUTION NO. 2020-_____

Page 2

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

LANDSCAPE BUFFERYARD EASEMENT

Great Water Alliance Outfall Facilities

This Landscape Bufferyard easement is made by and between the City of Franklin, a municipal corporation of the State of Wisconsin, hereinafter referred to as "Grantee," and Judith Gyuro and Evelyn Farchione hereinafter referred to as "Grantor," and shall become effective upon the recording of this Grant of Landscape Bufferyard Easement, together with the Acceptance following, with the Office of the Register of Deeds for Milwaukee County, pursuant to §700.40(2)(b) of the Wisconsin Statutes

WITNESSETH

WHEREAS, Grantor is the owner in fee simple of certain real property, located within the City of Franklin, Milwaukee County, Wisconsin, a part of the North ½ of the Northwest ¼ of Section 35, Township 5 North, Range 21 East, described in Exhibit A attached hereto and hereby made a part hereof (protected property), and

WHEREAS, the Grantor is required by Section 15-5 0102A of the City of Franklin Unified Development Ordinance to provide a thirty (30) foot-wide planting strip adjacent to a portion along West Oakwood Road and boundaries along east and west boundaries of Lot 1, as described in attached Exhibit B,

WHEREAS, Judith Gyuro and Evelyn Farchione were the applicant for a proposed Certified Survey Map approval, Site Plan Amendment, and Rezoning Applications as set forth in City of Franklin Plan Commission Resolution No 2020-004, approving a Site Plan Amendment and Rezoning Applications for Great Water Alliance Outfall Facilities, and the City of Franklin Plan Commission adopted Resolution No 2020-004, on January 23, 2020 Conditions of Resolution No 2020-004 thereof providing

- 1 The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Waukesha Water Utility Outfall Facilities dated January 10, 2020
- 2 Daniel S Duchniak, General Manager of Waukesha Water Utility, successors and assigns, and any developer of the Waukesha Water Utility Outfall Facilities construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for the Waukesha Water Utility Outfall Facilities construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9 0502 thereof and §1-19 of the Municipal Code, the general penalties and remedies provisions, as amended from time to time
- 3 The approval granted hereunder is conditional upon the Waukesha Water Utility Outfall Facilities construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances, and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval
- 4 That the Waukesha Water Utility Outfall Facilities construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin
- 5 Areas of disturbance of natural resource features to provide for the proposed essential services in Lots 1 and 4 shall be restored to the restoration standards of Unified Development Ordinance §15-4 0102 I
- 6 This site plan approval is conditional upon and no development shall occur prior to approval of concurrent Comprehensive Master Plan Amendment and Rezoning applications
- 7 In the event of future development or additions to the proposed facilities, or any area development or redevelopment, applicant, owner(s) of the property, successors and assigns, upon the then direction by and notice thereof from the City, shall widen the driveway to a 24 foot width or to such other standards or requirements of the Unified Development Ordinance then in effect, as amended from time to time
- 8 Pursuant to Unified Development Ordinance §15-5 0202 I, the applicant shall revise the site plan to designate one parking space as ADA space with a minimum width of 13 feet, prior to issuance of building permits
- 9 Pursuant to Unified Development Ordinance §15-5 0202 E, the applicant shall revise the site plan to add curb and

gutter surrounding the driveway and parking lot, prior to issuance of building permits

- 10 Pursuant to Unified Development Ordinance §15-5 0303 G 3 , any plant materials included in an approved landscaping plan that do not survive a plant establishment period of two years after installation shall be replaced by applicant, owner(s) of the property, successors and assigns, with plant material(s) of the same or like species of equal size within the next planting season, but in any event, within six months of the plant material(s)' demise, and

WHEREAS, Grantee is a "holder", as contemplated by §700 40(1)(b)1 of the Wisconsin Statutes, whose purposes include, while exercising regulatory authority granted to it, *inter alia*, under §62 23 and §236 45 of the Wisconsin Statutes, the conservation of land, natural areas, open space, and water areas, and

WHEREAS, the Grantor and Grantee, by the conveyance to the Grantee of the Landscape Bufferyard Easement on, over, and across the protected property, desire to reserve the area for the planting of trees and shrubs and prevent the use or development of the protected property for any purpose or in any manner inconsistent with the terms of this Landscape Bufferyard Easement, and

WHEREAS, the Grantee is willing to accept this Landscape Bufferyard Easement subject to the reservations and to the covenants, terms, conditions, and restrictions set out herein and imposed hereby,

NOW, THEREFORE, the Grantor, for and in consideration of the foregoing recitations and of the mutual covenants, terms, conditions, and restrictions subsequently contained, and as an absolute and unconditional dedication, does hereby grant and convey unto the Grantee a Landscape Bufferyard Easement in perpetuity on, over, and across the protected property

Grantee's rights hereunder shall consist solely of the following

- 1 To establish and ensure the continuance of an area reserved for the planting of trees and shrubs for the private use by the owners of the underlying fee simple interests, to the exclusion of all others, for the purpose of buffering the properties adjoining Lot 1 as described in attached Exhibit B by requiring this protected property to be open space in perpetuity, the protected property shall consist of natural existing vegetation and approved landscaping of trees, shrubs, fences, and/or berms, designed to provide a screen and buffer between West Oakwood Drive along the north parcel boundary of Lot 1 and adjacent properties on east and west boundaries of Lot 1 as described in attached Exhibit B, property and adjacent property or right-of-way adjacent to the landscape buffer,
- 2 To enforce by proceeding at law or in equity the covenants subsequently set forth, including, and in addition to all other enforcement proceedings, proceedings to obtain all penalties and remedies set forth under Division 15-9.0500 of the Unified Development Ordinance of the City of Franklin, as amended from time to time, any violation of the covenants subsequently set forth being and constituting a violation of such Unified Development Ordinance, as amended from time to time, or such local applicable ordinance as may be later adopted or in effect to enforce such covenants or the purposes for which they are made, it being agreed that there shall be no waiver or forfeiture of the Grantee's right to insure compliance with the covenants and conditions of this grant by reason of any prior failure to act, and
- 3 To enter the protected property at all reasonable times for the purpose of inspecting the protected property to determine if the Grantor is complying with the covenants and conditions of this grant

And in furtherance of the foregoing affirmative rights of the Grantee, the Grantor makes the following covenants which shall run with and bind the protected property in perpetuity, namely, that, on, over, or across the protected property, the Grantor, without the prior consent of the Grantee, shall not

- 1 Construct or place buildings or any structure, beyond those buildings and structures and improvements as identified on any engineering or construction plans approved by the City of Franklin, including, without limitation, the civil engineering plans approved on January 23, 2020 as City of Franklin Resolution No 2020-004 , are specifically permitted and allowed within the limits of the Easement Area in compliance with this Landscape Bufferyard Easement,
- 2 Construct or make any improvements, unless, notwithstanding Covenant 1 above, the improvement is specifically and previously approved by the Plan Commission of the City of Franklin and/or by the Common Council of the City of Franklin, upon the advice of such other persons, entities, and agencies as it may elect, such improvements as may be so approved being intended to enhance the open space buffer value of the protected property to the occupants of land adjoining or neighboring the protected property including, but not limited to fences, berms, and the like

To have and to hold this Landscape Bufferyard Easement unto the Grantee forever Except as expressly limited herein, the Grantor reserves all rights as owner of the protected property, including, but not limited to, the right to use the protected property for all purposes not inconsistent with this grant Grantor shall be responsible for the payment of all general property taxes levied, assessed, or accruing against the protected property pursuant to law.

The covenants, terms, conditions, and restrictions set forth in this grant shall be binding upon the Grantor and the Grantee and their respective agents, personal representatives, heirs, successors, and assigns, and shall constitute servitudes running with the protected property in perpetuity. This grant may not be amended, except by a writing executed and delivered by Grantor and Grantee or their respective personal representatives, heirs, successors, and assigns. Notices to the parties shall be personally delivered or mailed by U S Mail registered mail, return receipt requested, as follows

To Grantor
Judith Gyuro and Evelyn Farchione
4604 W Throncrest Drive
Franklin, Wisconsin 53132

To Grantee
City of Franklin
Office of the City Clerk
9229 W Loomis Road
Franklin, Wisconsin 53132

In witness whereof, the grantor has set its hand and seals this on this date of _____, 2020

By _____
Print Name

By _____
Print Name

STATE OF WISCONSIN)
) ss
COUNTY OF MILWAUKEE)

This instrument was acknowledged before me on the _____ day of _____, A D 2020 by the above named

_____ to me known to be the person(s) who executed the foregoing Easement and acknowledged the same

Notary Public

My commission expires _____

MORTGAGE HOLDER CONSENT

The undersigned, does not apply a Wisconsin banking corporation ("Mortgagee"), as Mortgagee under that certain Mortgage encumbering the Property and recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on _____, 20__, as Document No _____, hereby consents to the execution of the foregoing easement and its addition as an encumbrance title to the Property

IN WITNESS WHEREOF, Mortgagee has caused these presents to be signed by its duly authorized officers, and its corporate seal to be hereunto affixed, as of the day and year first above written

_____ a Wisconsin Banking Corporation

By _____

Name _____

Title. _____

STATE OF WISCONSIN)
)ss
COUNTY OF MILWAUKEE)

On this, the _____ day of _____, 20__, before me, the undersigned, personally appeared _____, the _____ of _____, a Wisconsin banking corporation, and acknowledged that (s)he executed the foregoing instrument on behalf of said corporation, by its authority and for the purposes therein contained

Name _____

Notary Public, State of Wisconsin

My commission expires _____

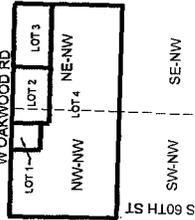
Exhibit A

Judith Gyuro and Evelyn Farchione property upon which the open space buffer lands are located is legally described as follows

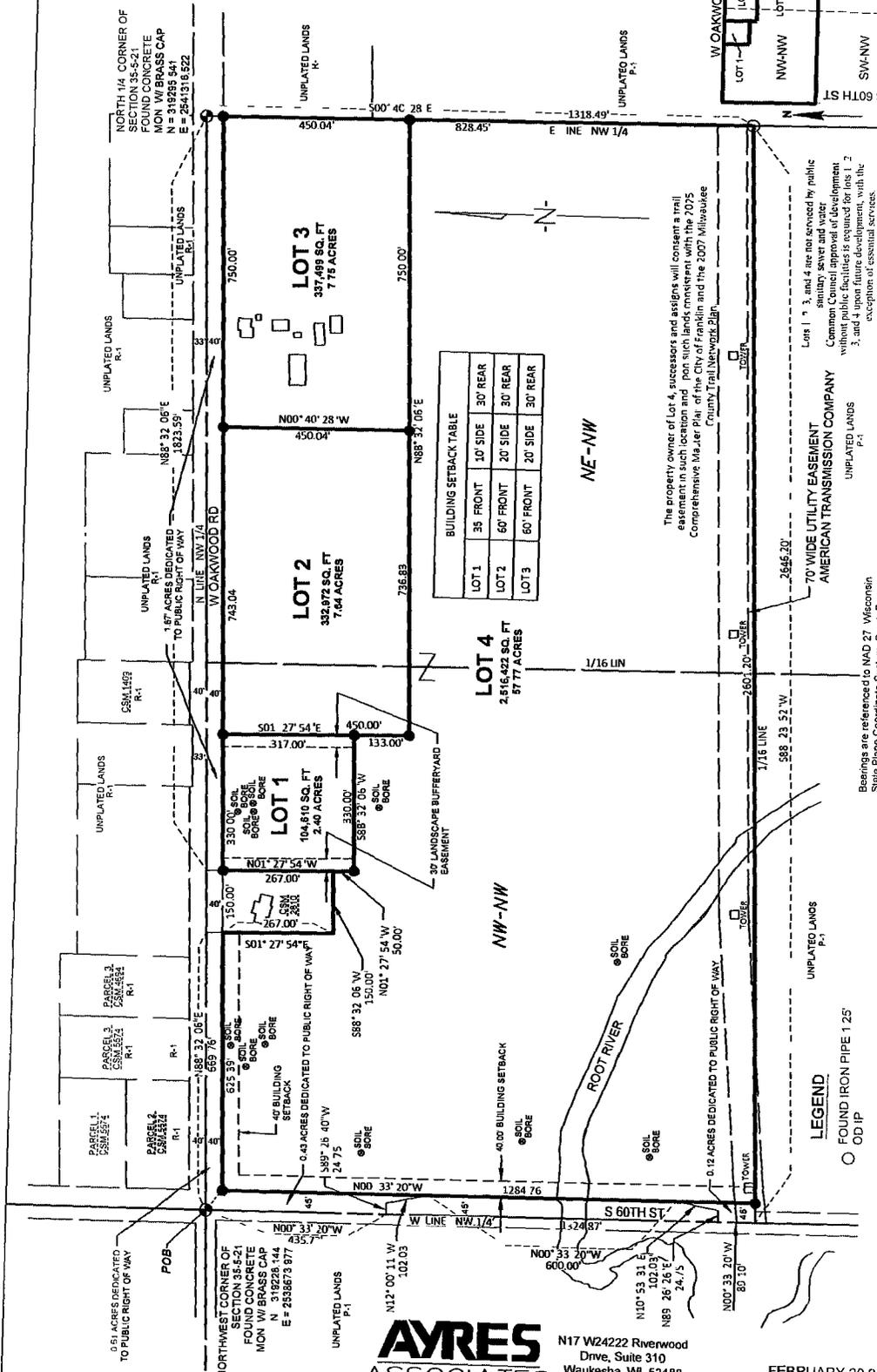
LEGAL DESCRIPTION

A map depicting the open space buffer lands is annexed hereto. The open space buffer lands are legally described as set forth on EXHIBIT B annexed hereto.

CERTIFIED SURVEY MAP NO
 A DIVISION OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF
 SECTION 35 TOWNSHIP 5 NORTH RANGE 21 EAST CITY OF
 FRANKLIN MILWAUKEE COUNTY WISCONSIN



VICINITY MAP
 NW 1/4 SEC 35-5-21
 Scale: 1" = 2000'



BUILDING SETBACK TABLE

LOT	FRONT	10' SIDE	30' REAR
LOT 1	35'	10'	30'
LOT 2	60'	20'	30'
LOT 3	60'	20'	30'

The property owner of Lot 4, successors and assigns will consent a trail easement in such location and upon such land consistent with the 2015 Comprehensive Master Plan of the City of Franklin and the 2007 Milwaukee County Trail Network Plan.

70' WIDE UTILITY EASEMENT
 AMERICAN TRANSMISSION COMPANY
 UNPLATED LANDS P-1

Lot 1, 2, 3, and 4 are not serviced by public sanitary sewer and water without public facilities is required for lots 1, 2, 3, and 4 upon future development, with the exception of essential services.

Zoning
 S16 Zoned
 R-2 Estate Single-Family Residence District
 P-1 Floodway District
 C-1 Consistency District
 FG Floodplain Conservancy District

Bearings are referenced to NAD 27 Wisconsin State Plane Coordinate System, South Zone in which the North Line of the Northwest 1/4 of Section 35, Township 5 North, Range 21 East, which bears N88°32'09"E. Distances are Ground Values. Coordinates are Grid. Ground to Grid Scale Factor is 0.99992991.



- LEGEND**
- FOUND IRON PIPE 1 1/2"
 - FOUND CONCRETE MONUMENT WITH BRASS CAP
 - SET 3/4" X 2 1/2" REBAR

AYRES ASSOCIATES
 N17 W24222 Riverwood Drive, Suite 310
 Waukesha, WI 53188
 (262) 523-4488

FEBRUARY 20, 2020
 SHEET 1 OF 9 SHEETS

<p style="text-align: center;">APPROVAL</p> <p style="text-align: center;"><i>slw</i></p>	<p style="text-align: center;">REQUEST FOR COUNCIL ACTION</p>	<p style="text-align: center;">MEETING DATE</p> <p style="text-align: center;">03/17/2020</p>
<p style="text-align: center;">REPORTS & RECOMMENDATIONS</p>	<p style="text-align: center;">A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR A CREDIT UNION WITH DRIVE THROUGH USE UPON PROPERTY LOCATED AT 6611 SOUTH 27TH STREET (UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION, APPLICANT)</p>	<p style="text-align: center;">ITEM NUMBER</p> <p style="text-align: center;"><i>G.5.</i></p>

At the regular meeting of the Plan Commission on March 5, 2020, following a properly noticed public hearing, the following action was approved: a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a Credit Union use upon property located at 6611 South 27th Street, in PDD 13 (Walmart and Sam's Club).

UW Credit Union is a state-chartered, federally insured financial institution and classified as SIC Code No. 6062. Credit Unions are allowed in B-3 zoning in the B-3 District, however, a drive-through requires a Special Use approval. Special Uses in PDD 13 require a Major PDD Amendment Application; a condition requiring that the applicant obtain approval of that amendment was added to the attached Draft Resolution. The applicant has submitted the relevant application, which is scheduled for Plan Commission and Common Council on April 6, 2020.

At said meeting of the Plan Commission, a Site Plan for the subject property was also approved with conditions. The Plan Commission did not revise the conditions of that resolution. Items relating to waivers for the 27th St. Design Overlay District are scheduled for Plan Commission on April 6, 2020.

COUNCIL ACTION REQUESTED

A motion to approve Resolution 2020-_____, imposing conditions and restrictions for the approval of a Special Use for credit union with drive through use upon property located at 6611 South 27th Street (University of Wisconsin Credit Union, d/b/a UW Credit Union).

RESOLUTION NO. 2020-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR A CREDIT UNION USE
UPON PROPERTY LOCATED AT 6611 SOUTH 27TH STREET
(UNIVERSITY OF WISCONSIN CREDIT UNION,
D/B/A UW CREDIT UNION, APPLICANT)

WHEREAS, University of Wisconsin Credit Union, d/b/a UW Credit Union having petitioned the City of Franklin for the approval of a Special Use within Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club) under Standard Industrial Classification Title No. 6062 "Credit Unions, Not Federally Chartered", to allow for construction of a 5,329 square foot one-story credit union building with an attached drive-through canopy and associated parking, landscaping, lighting and storm water management facilities [all existing improvements will be razed, including the existing gas station canopy and pumps, convenience store and car wash], with current proposed hours of operation [subject to change] for the branch lobby from 9:00 a.m. to 5:30 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays; drive-through hours of operation from 7:30 a.m. to 6:00 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays, upon property located at 6611 South 27th Street, bearing Tax Key No. 714-0001-001, more particularly described as follows:

Lot 1 of the Wal-Mart Subdivision, being a Subdivision of a part of the Southeast 1/4 and Southwest 1/4 of the Northeast 1/4, and a part of the Northeast 1/4 and the Northwest 1/4 of the Southeast 1/4 of Section 1, in Township 5 North, Range 21 East, in the City of Franklin, as recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on September 10, 1990, in Reel 2488, Images 570 and 571, as Document No. 6415241. EXCEPTING THEREFROM those lands conveyed to State of Wisconsin, Department of Transportation, in Award of Damages recorded on March 3, 2014, as Document No. 10339862; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 5th day of March, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION –
SPECIAL USE
RESOLUTION NO. 2020-_____

Page 2

Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of University of Wisconsin Credit Union, d/b/a UW Credit Union, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by University of Wisconsin Credit Union, d/b/a UW Credit Union, successors and assigns, as a credit union use, which shall be developed in substantial compliance with, and operated and maintained by University of Wisconsin Credit Union, d/b/a UW Credit Union, pursuant to those plans City file-stamped February 13, 2020 and annexed hereto and incorporated herein as Exhibit A.
2. University of Wisconsin Credit Union, d/b/a UW Credit Union, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the University of Wisconsin Credit Union, d/b/a UW Credit Union facility, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon University of Wisconsin Credit Union, d/b/a UW Credit Union, and the credit union use for the property located at 6611 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION –
SPECIAL USE
RESOLUTION NO. 2020-_____

Page 3

4. The applicant must obtain approval of a Major PDD Amendment allowing Credit Unions (SIC 6062) with Drive Through as a Special Use in PDD 13, prior to the issuance of building permits.

BE IT FURTHER RESOLVED, that in the event University of Wisconsin Credit Union, d/b/a UW Credit Union, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION –
SPECIAL USE
RESOLUTION NO. 2020-_____

Page 4

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

YES _____ NOES _____ ABSENT _____

 **CITY OF FRANKLIN** 
REPORT TO THE PLAN COMMISSION

Meeting of March 5, 2020

Special Use and Site Plan

RECOMMENDATION: City Development staff recommends approval of the Special Use and approval of the Site Plan Amendment, subject to the conditions of approval in attached draft Resolutions

Project Name:	UW Credit Union Special Use and Site Plan Amendment
Project Address/Tax Key:	6611 South 27 th Street/714 0001 001
Property Owner:	Franklin Property & Fuel Services Holding LLC
Applicant:	UW Credit Union
Current Zoning:	Planned Development District No. 13
2025 Comprehensive Plan:	Commercial
Use of Surrounding Properties:	PDD 13 (Walmart and Sam's Club) to the South and West; PDD 14 to the North, and business and residential uses in the City of Oak Creek to the East.
Action Requested:	Recommendation of approval of the Special Use and approval of the Site Plan

Project Description and Analysis

- Staff recommendations are *underlined, in italics* and included in the draft resolution(s).
- Staff suggestions are only underlined and are not included in the draft resolution(s).

The applicant, University of Wisconsin Credit Union, filed an application for a Special Use and Site Plan Amendment to redevelop the property located at 6611 S. 27th Street. UW Credit Union is proposing a 5,320 square foot building with drive-through service area. The property is zoned PDD No. 13, which allows B-3 Community Business District uses. The subject property is approximately 1.54-acres (67,141 square feet) and was previously occupied by a gas station, car wash, and convenience store.

Special Use

UW Credit Union is a state-chartered, federally insured financial institution and classified as SIC Code No. 6062 Credit Unions, Not Federally Chartered. Credit Unions are allowed in B-3 zoning in the B-3 District (as amended by Ordinance No. 2017-2303). However, a drive-through requires a Special Use approval.

Special Uses in PDD 13 require a Major PDD Amendment Application, per the standards of ORD 1989-1071. PDD 13 has been amended to allow special uses in other cases (see ORD 94-1313, ORD 2013-2123, and ORD 2016-2223), including restaurants with drive-thoroughs. *Staff recommends that the applicant obtain approval of a Major PDD Amendment allowing Credit*

Unions (SIC 6062) with Drive Thorough as a Special Use in PDD 13, prior to the issuance of building permits. The applicant has submitted the relevant application, which is under review by the Planning Department.

Site Plan

The applicant proposes to raze existing structures and redevelop the site with a 5,320 square foot UW Credit Union building with a drive-through service area with canopy. The site plan includes parking, landscaping, lighting, and storm water management facilities. The plan also proposes a sidewalk extension along Sycamore Street. Staff suggests that the sidewalk along W. Sycamore Street be extended beyond the property to the west to connect to the access drive to the Planet Fitness and Dunham's development.

The site will be accessed via two driveways and cross access to the property to the north. The site plan shifts the existing West Sycamore Street drive further west. It is suggested that a cross-access easement agreement be provided and recorded with the Milwaukee County Register of Deeds. The existing driveway opening to South 27th Street appears to exceed 30feet, the maximum allowed by Section 15-5.0207 of the UDO. This Section also states that the Plan Commission may allow wider ingress/egress at the right-of-way line.

Staff would note the proposed site plan has about 29,375 square feet of greenspace and 37,766 square feet of impervious surface or a greenspace ratio of about 44%. This is an increase of 4,717 square feet of impervious surface compared to existing conditions. PDD No. 13 does not have a set landscape surface ratio requirement. For comparison, the current B-3 District requires a minimum Landscape Surface Ratio of 40%. Proposed landscaping is high-quality and exceeds the number of required plants.

Stormwater management facilities are proposed on the west side of the property. Staff recommends that a final storm water management plan shall be approved by the Engineering Department prior to any land disturbing activities.

PDD No. 13 requires that signs comply with the City's Sign Code. The applicant has provided sign information for reference only. It is recommended that all proposed signage shall comply with the requirements of Chapter 210 of the City's Municipal Code and must receive a Sign Permit from the Inspection Department prior to installation.

The building primarily consists of windows and brick with masonry and a composite veneer panel as accent materials, and features a two-story entrance. The property has a deed restriction on building heights; the applicant has obtained a waiver of this deed restriction from Walmart.

South 27th Street Design Overlay District – Requested Waivers

Per Section 15-3.0351A.5. of the Unified Development Ordinance (below), the Plan Commission may approve waivers to certain design standards.

Authorize the Plan Commission to waive any of the South 27th Street Design Overlay District Standards by 5 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project (over

and above those which are otherwise required) which compensate for the waiver of the particular standard, or, in the case of parking provisions, where it can be demonstrated that the required parking is excessive or where specified areas are provided for the future provision of additional parking if necessary. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested.

The applicant is requesting two waivers.

1. 15-3.0352A. Parking required and Location Regulated.

The Site Plan contains more than 50% of off-street parking spaces between the building and S. 27th Street.

The applicant notes that: “Due to the site configuration, required cross access drives and curb cut locations, parking is provided both north and east of the proposed building. This is further warranted by the orientation of the drive-up lanes, which are located on the side of the building away from South 27th Street.”

2. 15-3.0355B.8.d. Pedestrian Accessibility.

A corner entrance is required for corner properties, unless waived by Plan Commission.

The applicant notes that: “Due to the site & parking configuration as well internal building circulation, the building entrance is located on the primary façade facing South 27th Street.”

Staff recommends that the applicant request and obtain these waivers as a condition of approval of the site plan.

Recommendation

It is recommended that the Plan Commission recommend approval of the Special Use for UW Credit Union and approve the Site Plan Amendment with the requested waivers, contingent upon approval of the Special Use, and subject to the conditions in the attached draft resolution.

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

[Draft 2-17-20]

[Redraft 2-26-20]

RESOLUTION NO. 2020-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR A CREDIT UNION USE
UPON PROPERTY LOCATED AT 6611 SOUTH 27TH STREET
(UNIVERSITY OF WISCONSIN CREDIT UNION,
D/B/A UW CREDIT UNION, APPLICANT)

WHEREAS, University of Wisconsin Credit Union, d/b/a UW Credit Union having petitioned the City of Franklin for the approval of a Special Use within Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club) under Standard Industrial Classification Title No. 6062 "Credit Unions, Not Federally Chartered", to allow for construction of a 5,329 square foot one-story credit union building with an attached drive-through canopy and associated parking, landscaping, lighting and storm water management facilities [all existing improvements will be razed, including the existing gas station canopy and pumps, convenience store and car wash], with current proposed hours of operation [subject to change] for the branch lobby from 9:00 a.m. to 5:30 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays; drive-through hours of operation from 7:30 a.m. to 6:00 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays, upon property located at 6611 South 27th Street, bearing Tax Key No. 714-0001-001, more particularly described as follows:

Lot 1 of the Wal-Mart Subdivision, being a Subdivision of a part of the Southeast 1/4 and Southwest 1/4 of the Northeast 1/4, and a part of the Northeast 1/4 and the Northwest 1/4 of the Southeast 1/4 of Section 1, in Township 5 North, Range 21 East, in the City of Franklin, as recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on September 10, 1990, in Reel 2488, Images 570 and 571, as Document No. 6415241. EXCEPTING THEREFROM those lands conveyed to State of Wisconsin, Department of Transportation, in Award of Damages recorded on March 3, 2014, as Document No. 10339862; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 5th day of March, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION –
SPECIAL USE
RESOLUTION NO. 2020-_____

Page 2

Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of University of Wisconsin Credit Union, d/b/a UW Credit Union, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by University of Wisconsin Credit Union, d/b/a UW Credit Union, successors and assigns, as a credit union use, which shall be developed in substantial compliance with, and operated and maintained by University of Wisconsin Credit Union, d/b/a UW Credit Union, pursuant to those plans City file-stamped February 13, 2020 and annexed hereto and incorporated herein as Exhibit A.
2. University of Wisconsin Credit Union, d/b/a UW Credit Union, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the University of Wisconsin Credit Union, d/b/a UW Credit Union facility, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon University of Wisconsin Credit Union, d/b/a UW Credit Union, and the credit union use for the property located at 6611 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION –
SPECIAL USE
RESOLUTION NO. 2020-_____

Page 3

4. The applicant must obtain approval of a Major PDD Amendment allowing Credit Unions (SIC 6062) with Drive Through as a Special Use in PDD 13, prior to the issuance of building permits.

BE IT FURTHER RESOLVED, that in the event University of Wisconsin Credit Union, d/b/a UW Credit Union, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION –
SPECIAL USE
RESOLUTION NO. 2020-_____
Page 4

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

YES _____ NOES _____ ABSENT _____

STATE OF WISCONSIN

CITY OF FRANKLIN
PLAN COMMISSION

MILWAUKEE COUNTY
[Draft 2-25-20]
[Redraft 2-26-20]

RESOLUTION NO. 2020-_____

A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTY
LOCATED AT 6611 SOUTH 27TH STREET TO ALLOW FOR CONSTRUCTION
OF A CREDIT UNION BUILDING WITH ATTACHED DRIVE-THROUGH
(TAX KEY NO. 714-0001-001)
(UNIVERSITY OF WISCONSIN CREDIT UNION,
D/B/A UW CREDIT UNION, APPLICANT, FRANKLIN
PROPERTY & FUEL SERVICES HOLDINGS LLC, PROPERTY OWNER)

WHEREAS, University of Wisconsin Credit Union, d/b/a UW Credit Union having applied for an amendment to the Site Plan for the property located at 6611 South 27th Street, such Site Plan having been previously approved as part of a Zoning Permit approval dated May 24, 1990, and amended thereafter by Resolution No. 2018-015, on August 9, 2018; and

WHEREAS, such proposed amendment proposes construction of a 5,329 square foot one-story credit union building with an attached drive-through canopy and associated parking, landscaping, lighting and storm water management facilities [all existing improvements will be razed, including the existing gas station canopy and pumps, convenience store and car wash], with current proposed hours of operation [subject to change] for the branch lobby from 9:00 a.m. to 5:30 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays; drive-through hours of operation from 7:30 a.m. to 6:00 p.m. Monday through Friday, and 9:00 a.m. to 1:00 p.m. on Saturdays, and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for University of Wisconsin Credit Union, d/b/a UW Credit Union, applicant, Franklin Property & Fuel Services Holdings LLC, property owner, dated February 13, 2020, as submitted by University of Wisconsin Credit Union, d/b/a UW Credit Union, as described above, be and the same is hereby approved, subject to the following conditions:

1. University of Wisconsin Credit Union, d/b/a UW Credit Union, applicant, Franklin Property & Fuel Services Holdings LLC, property owner, successors and assigns and any developer of the UW Credit Union building with attached drive-through construction project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the UW Credit Union building with

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION - SITE
PLAN AMENDMENT
RESOLUTION NO. 2020-_____

Page 2

attached drive-through construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

2. The approval granted hereunder is conditional upon the UW Credit Union building with attached drive-through construction project, for the property located at 6611 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The UW Credit Union building with attached drive-through construction project shall be developed in substantial compliance with the plans City file-stamped February 13, 2020.
4. The applicant must obtain approval of a Major PDD Amendment allowing Credit Unions (SIC 6062) with Drive Through as a Special Use in PDD 13, prior to the issuance of building permits.
5. The applicant must request and obtain a waiver from Plan Commission of the South 27th Street Design Overlay District requirement that 50 percent of parking be located behind the building (§15-3.0352A.) prior to the issuance of any building permit.
6. The applicant must request and obtain a waiver from Plan Commission of the South 27th Street Design Overlay District requirements for a corner entrance (§15-3.0355B.8.d.) prior to the issuance of any building permit.
7. All landscaping shall be completed prior to issuance of Occupancy Permits.
8. Final storm water management plan shall be approved by the Engineering Department prior to any land disturbing activities.
9. All proposed signage shall comply with the requirements of Chapter 210 of the City's Municipal Code and must receive a Sign Permit from the Inspection Department prior to installation.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the UW Credit Union building with attached drive-through construction as depicted upon the plans City file-stamped February 13, 2020, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder

UNIVERSITY OF WISCONSIN CREDIT UNION, D/B/A UW CREDIT UNION - SITE
PLAN AMENDMENT
RESOLUTION NO. 2020-_____

Page 3

shall be null and void, without any further action by the City of Franklin; and the Site Plan for the property located at 6611 South 27th Street, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Chairman

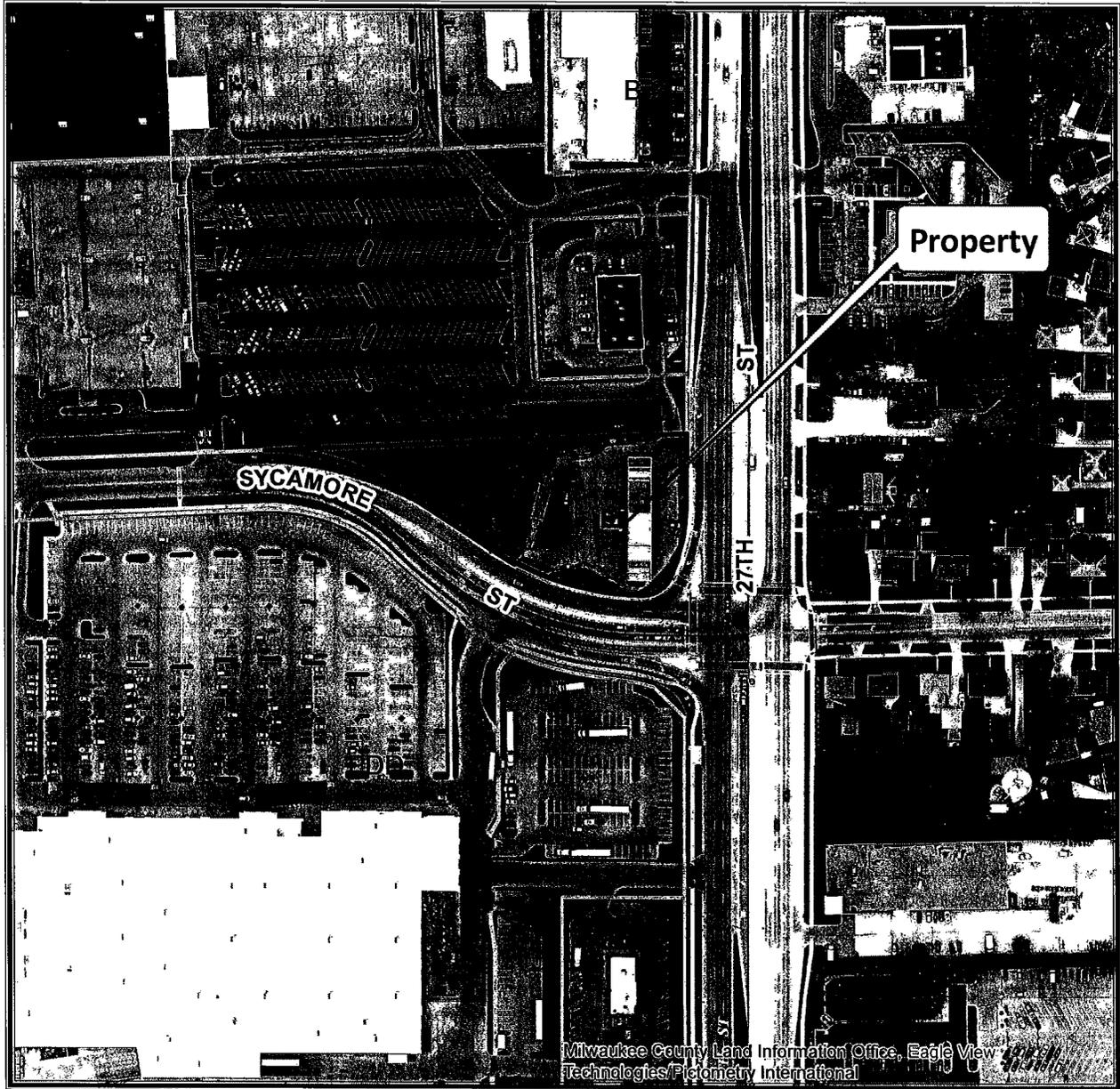
ATTEST:

Sandra L. Wesolowski, City Clerk

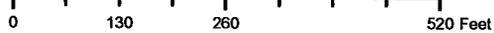
AYES _____ NOES _____ ABSENT _____



6611 S. 27th Street
TKN: 714 0001 001



Planning Department
(414) 425-4024

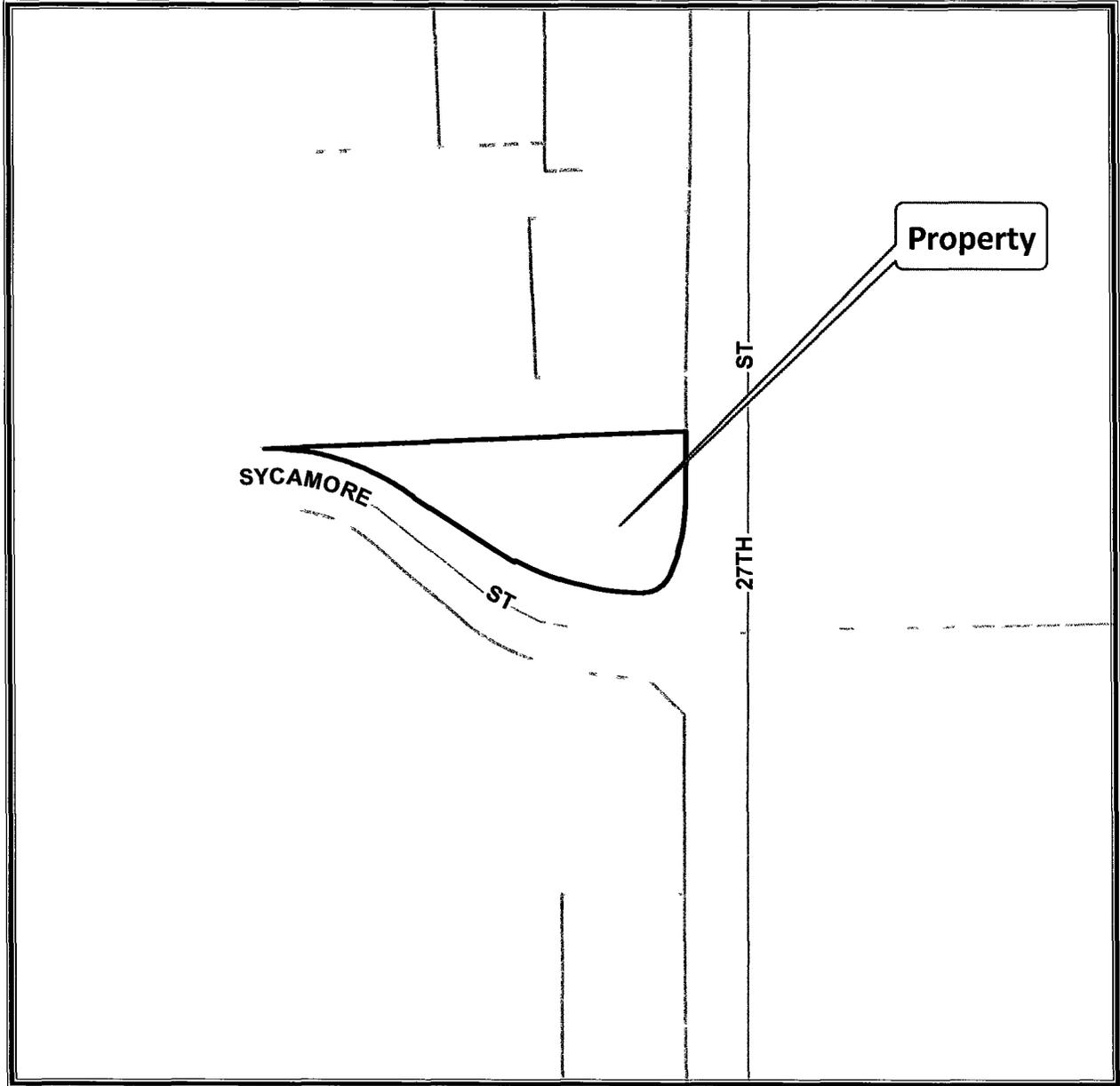


2017 Aerial Photo

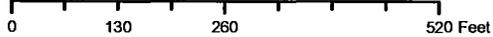
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



6611 S. 27th Street
TKN: 714 0001 001



Planning Department
(414) 425-4024



2017 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal engineering, or surveying purposes.



KEE Architecture, Inc.
621 Williamson Street
Madison, Wisconsin 53703
(608)255-9202

WRITTEN PROJECT DESCRIPTION

November 11, 2019

To: City of Franklin
Planning Department
9229 West Loomis Road
Franklin, Wisconsin 53132

RE: **Special Use Application**
UW Credit Union – Franklin Branch
6611 South 27th Street
Franklin, Wisconsin

Dear Planning Department:

We are submitting the attached Special Use application for approval on behalf of UW Credit Union, the Applicant under contract to purchase the property located at 6611 South 27th Street in the city of Franklin.

PROPOSED USE:

UW Credit Union proposes to redevelop the parcel for use as a full-service financial branch office facility. The development will feature a one-story building of approximately 5,000 gross square feet (plus exterior roofs and canopies). The branch will serve existing and new Credit Union members with consumer banking products including consumer loans, deposits and investment services. Drive-up service will also be provided.

Staffing for the branch will include 6-10 full-time employees.

Typical operating hours will be as follows:

Branch Lobby: Monday through Friday – 9:00 AM – 5:30 PM
Saturday – 9:00 AM – 1:00 PM

Drive-Up: Monday through Friday – 7:30 AM – 6:00 PM
Saturday – 9:00 AM – 1:00 PM

ESTIMATE OF PROJECT VALUE:

The proposed UW Credit Union facility will have a value of approximately \$6.5 million, including land, building construction, fixtures and furniture.

Site improvement costs are estimated at ±\$ 900,000.

City of Franklin Planning Department
RE: Special Use Application
6611 South 27th Street
Franklin, Wisconsin
November 11, 2019

ZONING:

The property is currently zoned as a Planned Development District (PDD) No. 13, with B-3 Community Business District as the underlying zoning.

Credit Union with drive through facilities are considered a Special Use in the B-3 District.

See responses to *Special Use Standards and Regulations*, attached.

SITE PLAN & UTILITIES:

The proposed site plan (Drawing C100) has been developed to provide primary vehicular access to/from the site from West Sycamore Street, as well as shared access with the adjacent commercial properties to the north and 27th Street. Pedestrian access to the building entrance is provided from the parking areas as well as from the public sidewalk along West Sycamore and 27th Streets

Bicycle parking is located near the building entry.

The proposed landscape plan and enlargement (Drawings L101 and L102) includes elements that have been provided in accordance with city of Franklin standards, including Division 15-5.0300 Required Landscaping and Division 15-3.0351 South 27th Street Design Overlay District. See *Landscape Worksheet* on Sheet L101, which proves compliance with Table 15-5.0302.

Site utilities - including water, sanitary sewer, power, natural gas - are located in West Sycamore and South 27th Streets as well along the north property line. All utilities (existing and proposed) are identified on the site survey and on the utility plan (Drawing C200).

STORMWATER MANAGEMENT:

A wet detention basin will be installed on the site to meet the applicable stormwater management requirements. The project site limits the increase in new impervious area added to the site by less than 5,000 square feet, exempting it from the MMSD stormwater rules for runoff rate control (MMSD Ordinance 13.301(2)(c)(1.)). However, this does not exempt the site from the remaining applicable City of Franklin requirements. These include redevelopment performance standards for water quality; 40% TSS reduction (Franklin Ordinance 15-8.0607(3)(a)(2.)) and peak runoff; match the site runoff rate as it exists today for the 1-, 2-, 10- and 100-year 24-hour storm events (Franklin Ordinance 15-80607(3)(b)(1.)). As a redevelopment site, the site is exempt from infiltration requirements.

Specifically, the majority of the development site will be captured within a storm sewer system designed to convey the 100-year storm and discharged into a wet detention basin located on the west side of the site. A multi-stage outlet will be constructed to limit the runoff leaving the basin to provide the required runoff rate control and water quality needed to meet the ordinance. An overflow weir will be installed at the top of the basin to provide safe downstream conveyance as needed into the right-of-way of West Sycamore Street. The discharge for the basin will be a 12" pipe connecting into the existing public curb inlet within West Sycamore Street.

City of Franklin Planning Department
RE: Special Use Application
6611 South 27th Street
Franklin, Wisconsin
November 11, 2019

PROJECT TEAM:

The team for this project includes the following:

Applicant:

UW Credit Union
3500 University Avenue
Madison, Wisconsin 53705
Attn: Brad McClain, CFO
(608)236-9000

Property Owner:

Franklin Property & Fuel Services Holding LLC
231 East 105th Street
Bloomington, Minnesota 55420
Attn: Khaled Aloul
khalaloul@gmail.com

Architect:

KEE Architecture, Inc.
621 Williamson Street
Madison, Wisconsin 53703
Attn: David Ewanowski AIA
(608)255-9202

Landscape Architect:

Saiki Design
1110 South Park Street
Madison, Wisconsin 53715
Attn: Ken Saiki
(608)251-3600

Mechanical/Electrical Engineer:

IMEG Corporation
1800 Deming Way, Suite 200
Madison, Wisconsin 53562
Attn: Kris Cotham
(608)221-6713

Site/Civil Engineer:

Wyser Engineering
312 East Main Street
Mount Horeb, WI 53572
Attn: Wade P. Wyse, P.E.
(608) 437-1980

City of Franklin Planning Department
RE: Special Use Application
6611 South 27th Street
Franklin, Wisconsin
November 11, 2019

Surveyor:

raSmith
16745 W. Bluemound Road
Brookfield, Wisconsin 53005-5938
Attn: Michael Ratzburg, Professional Land Surveyor
(262)781-1000

General Contractor:

J.H Findorff & Son
300 South Bedford Street
Madison, Wisconsin 53703
Attn: Aaron Zutz, Project Manager
(608)257-5321

PROJECT SCHEDULE:

It is anticipated that construction for the UW Credit Union project will begin in February 2020, with occupancy in October 2020.

Please review the attached application and other supporting documents, and contact us if you have any questions.

Sincerely,
KEE Architecture, Inc.



David J. Ewanowski AIA

Enclosures:

- Special Use Application – *(one copy with original signatures)*
- Application Filing Fee – *(UWCU Check # 113400, \$1,500 00)*
- Legal Description (1 page) – *(one copy)*
- Response to General Standards and Special Standards (3 pages) – *(one copy)*
- Written Project Summary (4 pages) - *(one original and six copies)*
- Plans – *(three copies at 24" x 36", four copies at 11" x 17", collated)*
 - Title Sheet – (Drawing G001)
 - Site Survey
 - Site Plan – (Drawing C100)
 - Site Utility Plan – (Drawing C200)
 - Detail Grading Plan – (Drawing C201)
 - Grading & Erosion Control Plan – (Drawing C300)

City of Franklin Planning Department
RE: Special Use Application
6611 South 27th Street
Franklin, Wisconsin
November 11, 2019

- Site Details – (Drawing C400)
- Existing Landscape Plan (Drawing L100)
- Landscape Plan & Plant Lists (Drawing L101)
- Landscape Enlargement – (Drawing L102)
- Level 1 - Floor Plan – (Drawings A201)
- Building Elevations – (Drawing A301 & A302)
- Electrical Site Plan – (Drawing EC01)
- Site Intensity and Capacity Worksheet (1 page) - *(one copy)*
- Site Light Fixture Cut Sheets (50 pages) - *(one copy)*

Submitted Under Separate Cover:

- PDF with all above documents - submitted to generalplanning@franklinwi.gov

Gail Olsen

From: Jacob C DeHaven <jake@keearch.com>
Sent: Thursday, February 27, 2020 3:56 PM
To: Marion Ecks
Cc: David Ewanowski
Subject: UWCU Franklin - 27th Street Overlay Waiver

Good afternoon Marion,

As discussed yesterday we will formally be applying for two waiver requests from Plan Commission on March 5th, 2020. Below are the specific waivers we are requesting and our reasoning behind the request.

- 15-3.0352A.: More than 50% of parking is located between the building and South 27th Street.
 - Due to the site configuration, required cross access drives and curb cut locations, parking is provided both north and east of the proposed building. This is further warranted by the orientation of the drive-up lanes, which are located on the side of the building away from South 27th Street

- 15-3.0355B.8.d.: A corner entrance is required unless waived by the Plan Commission
 - Due to the site & parking configuration as well internal building circulation, the building entrance is located on the primary façade facing South 27th Street

Please let me know if there are any other waiver requests that would apply or if I can get you any more information on the two requests above.

Best,

Jake DeHaven, Assoc. AIA
KEE Architecture, Inc.
621 Williamson Street | Madison, WI 53703
608 255 9202
www.keearch.com

DIVISION 15-3.0700 SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The proposed UW Credit Union branch facility (with drive through) is a commercial use consistent with the City of Franklin Master Plan.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: The proposed UW Credit Union branch facility (with drive through) will have a positive impact on the area, and will increase the value of the property significantly vis-a-vis its current use (abandoned gas station).

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: The proposed UW Credit Union branch facility (with drive through) will be constructed and operated in accordance with applicable PDD and B-3 zoning regulations. It will provide primary vehicular access to/from the site from West Sycamore Street, as well as shared access with the adjacent commercial properties to the north and 27th Street.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: The proposed UW Credit Union branch facility (with drive through) will be served by essential public facilities, including streets, water and sanitary sewer. Other utility connections will be provided as required. Refuse disposal will be the responsibility of the Credit Union.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The proposed UW Credit Union branch facility (with drive through) will provide primary vehicular access to/from the site from West Sycamore Street, as well as shared access with the adjacent commercial properties to the north and to 27th Street. Ingress and egress have been designed to minimize traffic congestion in the public streets.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: Construction of the proposed UW Credit Union branch facility (with drive through) will not result in the loss of any features of significant importance.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: The proposed UW Credit Union branch facility (with drive through) conforms to application regulations of the PDD district and B-3 district including Landscape Surface and Floor Area Ratios, Lot Dimensional Requirements, and Maximum Building Height.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: The proposed UW Credit Union branch facility (with drive through) complies with all applicable standards in Sections 15-3.0702 and 15-3.0703 of the UDO.

C. ***Considerations.*** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: The proposed UW Credit Union branch facility (with drive through) will provide convenient services to UWCU members and will be an asset to the community.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: UW Credit Union considered other sites before selecting the property at 6611 South 27th Street in Franklin, which UWCU determined to be the best fit for their members and the community.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: The proposed UW Credit Union branch facility (with drive through) has been designed to be consistent with the immediate context – through building design, side design and landscaping (including screening). It will be a significant improvement to replace the existing abandoned gas station.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: The proposed UW Credit Union branch facility (with drive through) is compatible with the other uses in the surrounding area.



KEE Architecture, Inc.
621 Williamson Street
Madison, Wisconsin 53703
(608)255-9202

**WRITTEN PROJECT DESCRIPTION
(UPDATED FOR REVISED APPLICATIONS)**

February 11, 2020

To: City of Franklin
Planning Department
9229 West Loomis Road
Franklin, Wisconsin 53132

RE: **REVISED Special Use and Site Plan Applications**
UW Credit Union – Franklin Branch
6611 South 27th Street
Franklin, Wisconsin

Dear Planning Department:

On behalf of UW Credit Union, the owner of the property located at 6611 South 27th Street in the city of Franklin, we are submitting the attached revised Special Use and Site Plan application materials for review and approval.

This resubmittal, including attachments, addresses staff comments from the City of Franklin Department of City Development dated February 4, 2020. We understand that this will also serve as the required submittal for city of Franklin Plan Commission review, scheduled for March 5, 2020.

As a point of clarification, since the initial applications were made in November 2019, UW Credit Union completed acquisition of the property from the previous owner, and has recorded the purchase with applicable jurisdictions.

The following items remain unchanged from the original November 2019 application and project summary:

- Proposed Use
- Estimate of Project Value
- Zoning
- Site Plan & Utilities
- Stormwater Management
- Project Team (except Owner, as noted above)
- Project Schedule

City of Franklin Planning Department
RE: Revised Special Use and Site Plan Applications
6611 South 27th Street
Franklin, Wisconsin
February 11, 2020

Please review the attached supporting documents, and contact us if you have any questions.

Sincerely,
KEE Architecture, Inc.



David J. Ewanowski AIA

Enclosures:

- Written Project Description – *(twelve copies)*
- KEE Architecture Responses to City of Franklin Department of City Development Comments – dated February 4, 2020 – *(twelve copies)*
- DNR Letter re: Resources on Property – dated October 4, 2019 – *(twelve copies)*
- Major PDD Amendment Application – *(twelve copies)*
- Walmart Deed Restriction Waiver letter (dated 1/8/2020) – *(twelve copies)*
- Plans – *(twelve copies of each, 24" x 36")*.
 - Title Sheet – (Drawing G001)
 - Site Survey
 - Demolition Plan – (Drawing C100)
 - Site Plan – (Drawing C101)
 - Site Utility Plan – (Drawing C200)
 - Detail Grading Plan – (Drawing C201)
 - Enlarged Drive-Up Plan and Details – (Drawing C202)
 - Grading & Erosion Control Plan – (Drawing C300)
 - Utility Plan – Storm Sewer Profiles – Drawing C301)
 - Site Details – (Drawing C400)
 - Existing Landscape Plan – (Drawing L100)
 - Landscape Plan & Plant Lists – (Drawing L101)
 - Landscape Enlargement – (Drawing L102)
 - Level 1 - Floor Plan – (Drawings A201)
 - Building Elevations – (Drawing A301 & A302)
 - Mechanical Plan – (Drawing M100)
 - Electrical Site Plan – (Drawing EC01)
- Exterior Light Fixture Cut Sheets (Fixtures F22, FS4, FS5, FS9, FS11 & FS12) (8 pages) - *(twelve copies)*

Submitted Under Separate Cover:

- PDF with all above documents - submitted to generalplanning@franklinwi.gov

City of Franklin
Department of City Development

Date: February 4, 2020
To: UW Credit Union
From: Department of City Development
RE: 6611 South 27th Street. – Staff Comments

- KEE Architecture responses (dated 2/11/20) noted below.

Please be advised that City Staff has reviewed the above applications for property located at the proposed UW Credit Union development for property located at 6611 South 27th Street.

Department comments are as follows for the Special Use and Site Plan date-stamped by the City of Franklin on November 12, 2019.

Planned Development District (PDD) No. 13

1. Special Uses in PDD 13 require a Major PDD Amendment Application, per the standards of ORD 1989-1071. PDD 13 has been amended to allow special uses in other cases (see ORD 94-1313, ORD 2013-2123, and ORD 2016-2223). Please apply for a Major PDD amendment to request the particular Special Use be allowed.
 - A *Planned Development District (PDD) Application* for a major PDD amendment has been submitted under separate cover (See copy, attached)
2. Please indicate PDD No. 13 setbacks on the Site Plan (see below) per ORD 1989-1071. More restrictive setbacks may be noted as applicable, such as the S. 27th Street front yard setback required by the WisDOT.
 - a. Front Yard: A front yard of not less than 25-feet
 - b. Side Yard: A side yard on each side of the building of not less than ten (10) ft. In the event a side yard adjoins a street, the minimum side yard shall be twenty-five (25) feet.
 - c. Rear Yard: A rear yard of not less than twenty (20) ft.
 - See applicable PDD-13 setbacks on revised drawing C101.
3. Please provide cut sheets/catalog pages for all light fixtures.
 - See cut sheets for all site light fixtures, attached
4. Note that no outdoor storage is allowed, except outdoor retail sales areas as may be approved by the Plan Commission.
 - No outdoor storage is proposed for this project

5. Signage must comply with the City of Franklin Chapter 210 - Sign Code and is subject to separate review and approval and issuance of a Sign Permit prior to installation. Please note on the plans that signage is shown as reference only.
 - Site and building plans have been revised to note that signage is shown for reference only
 - A complete signage package will be submitted separately for review and approval

Unified Development Ordinance (UDO) Requirements

Site Plan

6. Please show scale on the Site Plan as required by 15-7.0103.A. and 15-7.0103.E.
 - All site plans include drawing scale
7. Please show the location of all existing and proposed easements in accordance with 15-7.0103.X.
 - The locations of all easements are indicated on the Site Survey and Site Plan C101.
8. It appears a monument sign is shown on the Landscape Plan. Please illustrate this sign on the Site Plan as well and label it accordingly per 15-7.0103I. of the UDO. Further, it is recommended that sign details be provided at this time.
 - Site Plan C101 has been revised to include the proposed monument sign, with a clarifying note that signage is shown for reference only
 - Site Drawing C202 includes conceptual monument sign details.
 - A complete signage package will be submitted separately for review and approval
9. Please submit a Natural Resource Protection Plan per Section 15-7.0201 and 15-7.0103.Q of the UDO. If no resources exist onsite, a letter from a qualified professional stating that no resources exist on the property is sufficient.
 - See attached letter from the Wisconsin Department of Natural Resources (dated October 24, 2019) confirming that no wetlands or other natural resources are present on the site.
10. Please illustrate the vision triangle per Section 15-5.0201 of the UDO on the site plan.
 - The vision triangle at South 27th Street and Sycamore is indicated on revised Site Plan C101.

11. Per Section 15-5.0202.C.4, please illustrate the required 10-foot parking setback on the site plan.
 - The required parking setback is indicated as a 10-foot “greenbelt” on Site Plan C101
12. Please show areas for snow storage on the Landscape Plan in accordance with Section 15-5.0210 of the UDO.
 - Snow storage areas have been delineated on Landscape Plan L101
13. Please provide irrigation in compliance with Section 15-5.0303D. of the UDO and note the method of irrigation on the Landscape Plan.
 - A full landscape irrigation system complying with the application UDO requirements will be installed. See revised Landscape Plan L101 for irrigation system note.
14. A minimum 2-year planting guaranty is recommended and should be noted on the Landscape Plan (see Section 15-5.0303G.3. of the UDO).
 - A two-year planting guarantee will be specified for this project as noted on revised Landscape Plan L101

South 27th Street Design Overlay District

15. Compliance with all South 27th Street Overlay Design Standards is Recommended. However, if a standard is not met, please be aware that a waiver must be specifically requested and approved by 5 votes of the Plan Commission. The waiver request may be included within a revised project narrative or a supplemental letter.

Below is a list of standards that require plan changes or a waiver. Note that if an item below is being addressed, please make sure corresponding plans are provided for review (e.g. rooftop mechanical and screening plan).

- a. 15-3.0352A.: More than 50% of parking is located between the building and South 27th Street.
 - Due to the site configuration, required cross access drives and curb cut locations, parking is provided both north and east of the proposed building. This is further warranted by the orientation of the drive-up lanes, which are located on the side of the building away from South 27th Street
- b. 15-3.0353B.: Are any other site furnishings provided other than the bicycle racks?
 - In addition to bicycle racks, an “outdoor engagement area” south of the proposed building will provide seating, tables and refuse containers (See area shown on Landscape Plan L102)

- c. 15-3.0353E.: This section requires pedestrian furnishings in addition to bicycle parking. It is recommended that benches, pedestrian lighting, trash receptacles, or other furnishings be included and shown on the Site Plan.
 - An “outdoor engagement area” south of the proposed building will provide seating, tables and refuse containers (See area noted on Site Plan C101)
- d. 15-3.0355B.4.f.: How will rooftop and ground mechanicals, if any, be screened from public view? Please provide a mechanical plan for review.
 - Rooftop mechanical equipment (shown on sheet M100) is fully screened as indicated on building elevations (sheet A301). There is no ground-mounted mechanical equipment
- e. 15-3.0355B.8.d.: A corner entrance is required unless waived by the Plan Commission
 - Due to the site & parking configuration as well internal building circulation, the building entrance is located on the primary façade facing South 27th Street.

Additional Planning Department Comments

Planned Development District No. 13

1. Note that Engineering Department approval of the final grading, erosion control, and storm water management plans will be required prior to any land disturbing activities.
 - Understood See site plans for grading, erosion control and stormwater management information
2. Note that all landscaping shall be completed prior to issuance of an Occupancy Permit.
 - Understood All landscaping will be completed prior to occupancy
3. Please revise the zoning note on the Site Plan to Planned Development District No. 13.
 - Site Plan C101 has been revised to include reference to PDD No 13.

Site Plan

4. What is the peak height of light poles, including the base and fixture (i.e. measured from grade)?
 - Site light fixtures (Type FS-4 and FS-5) are 20 feet tall, mounted on a 2’-6” concrete base Total height = 22’ – 6” above grade

5. Please correct the number of parking spaces in table 15-50302 on the overall landscape plan (sheet L101).
 - Correct number of parking stalls (26) is indicated on the revised Landscape Plan L101.
6. One of the 'TA' planting labels is missing on the Landscape Plan.
 - Labels have been corrected on the revised Landscape Plan L101.
7. It is suggested that the sidewalk along W. Sycamore Street be extended beyond the property to the west to connect to the access drive to the Planet Fitness and Dunham's development.
 - UW Credit Union will consider extending the public sidewalk west of their property as suggested by the city of Franklin

Other

8. Please provide a copy of information regarding deed restrictions applicable to the site for City records.
 - Walmart has deed restrictions in place affecting the UW Credit Union property, which they have agreed to waive, per the attached letter from Walmart Realty dated 1/8/2020.
 - UWCU is aware of no other deed restrictions applicable to the site
9. Please be aware of City impact fees. The impact fee schedule can be found on the City's website at https://www.franklinwi.gov/Files/Inspection/Impact_Fee_Handout_2020.pdf
 - Impact fees will be submitted as applicable.

Engineering Department Comments

No comments regarding the application. Once approved by the Plan Commission and Common Council, we will go ahead and review the Engineering aspects of it. Engineering may need additional information to complete our review.

- Understood. Please advise any additional information required for a complete review

Fire Department Comments

The fire department has no concerns with the Special Use and proposed Site plan. The applicant should confirm sprinkler/alarm system requirements with WI DSPS. As proposed, the building may be exceeding the threshold that would trigger requirement of those fire protection systems (believe it is 5,000 square feet).

- Per applicable provisions of the *Wisconsin Commercial Building Code* and *International Building Code* (Table 506.2), since the proposed UW Credit Union facility (a Business occupancy) is of Type 5B construction and is less than 9,000 gross square feet, a sprinkler system is not required.
- Per Section 907.2.2 of the *International Fire Code*, a manual fire alarm system is not required in the proposed UW Credit Union building due to occupancy, occupant load and number of building stories

Police Department Comments

The Police Department has no issues with this request.



October 24, 2019

EXE-SE-2019-41-03619

Franklin Property & Fuel Services Holdings LLC.
Khaled Aloul
231 E. 105th Street
Bloomington, MN 55420

RE Artificial Wetland Exemption Determination for an area described as site 1 wetland, located in the SE1/4 of the NE1/4 of Section 01, Township 05 North, Range 21 East, City of Franklin, Milwaukee County

Dear Khaled Aloul:

This letter is in response to your request for an artificial wetland exemption determination for the above mentioned wetlands.

According to 281.36 (4n), State Statutes, a landscape feature where hydrophytic vegetation may be present as a result of human modification to the landscape or hydrology and for which no definitive evidence exists showing a prior wetland or stream history before August 1, 1991, may be exempt from state wetland regulations. The following types of artificial wetlands cannot be exempted from state wetland regulation:

- 1) a wetland that serves as a fish spawning area or that is passage to a fish spawning area
- 2) a wetland created as a result of a wetland mitigation requirement.

In addition, DNR must also consider whether the artificial wetland is providing significant flood protection to adjacent or downstream properties and infrastructure, and/or significant water quality functions to adjacent or downstream water bodies.

The Department reviewed the following materials to aid in our exemption determination:

- The request narrative
- Historic Maps, including the Original Land Survey notes, Bordner Survey, the Greendale USGS topographic Quad map from 1958, and soil mapping.
- Aerial photographs, including the 1938 era photograph, a pre-construction photograph, and a post-construction photograph. Air photos reviewed include 1958, 79,80,82, 83, 84,85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 2000, 01, 02, 2017
- Site photographs that show different angles and views of the wetland

Below is a summary of our findings

Request Narrative

According to the request narrative, the wetland area identified as Site 1 (0.062 acres) is the focus of this artificial wetland exemption request. The narrative states that site 1 appears to have been a detention basin constructed after 1990, is isolated and doesn't provide fish habitat. Dominant

vegetation is hybrid cattail Site 1 receives surface water from adjacent uplands and impervious surfaces.

Historic Map Review

- Original Land Survey Plat. The original land survey indicates is inconclusive.
- Bordner Survey. The Bordner survey is not available for Milwaukee County
- Greendale USGS Topographic Quad map: The USGS Quad map indicates was open habitat.
- Soil Maps The soil maps indicate that the soils are classified as Blount Silt loam, a somewhat poorly drained soil, that is predominantly non-hydric, with hydric soil inclusions in depressions.

Aerial Photograph Review

- 1937/38 era aerial photograph. The 1938 aerial photograph shows the area was farmed-cropland
- Pre-construction aerial photograph: The 1940-1989 photos show the area is a cropped field that eventually is left alone. The area exhibits some occasional weak wetland signatures within the vicinity.
- Post-construction aerial photograph The 1990 aerial photo shows the entire area is graded, as the roads and facilities are constructed entirely around wetland site 1. The 1991 aerial photo shows the construction of the localized depression in the area of wetland site 1. The 1992 aerial photo until present day the site generally remains the same, the depression behind the business is becoming wetland.

Site Photographs

The site photographs show hydric soils, and cattail vegetation surrounded by parking lots and other developments.

Conclusion:

- Based upon the information provided above, the wetland identified as site 1 lacked a wetland history prior to August 1, 1991 and fulfills all artificial wetland exemption standards. **Therefore, wetland site 1 wetland is exempt from state wetland regulations.**

This letter describes DNR's decision regarding the jurisdictional status of site 1 and is only valid for state jurisdictional purposes. For decisions regarding the federal jurisdictional status of site 1, you will need to contact the U.S. Army Corps of Engineers. If you have any questions about this determination, please contact me at (715) 492-0200 or email Ryan.Pappas@wisconsin.gov.

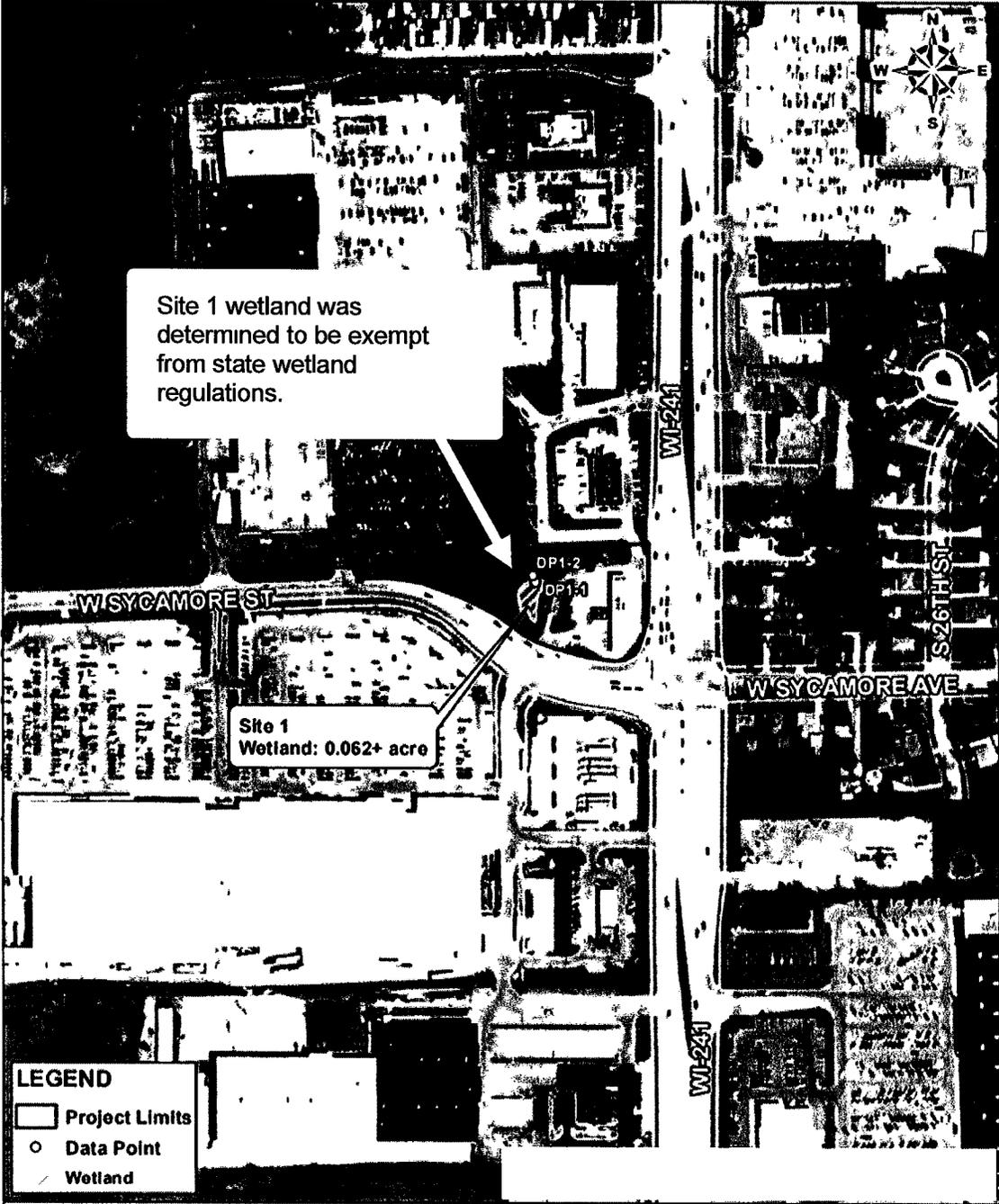
Sincerely,



Ryan Pappas
Wetland Exemption Specialist

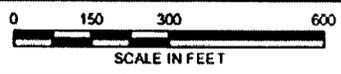
cc U.S. Army Corps of Engineers
Lilah Reich, Huff & Huff Inc., Consultant

© 2019 GZA GeoEnvironmental, Inc. J:\30\Wetlands\20156337_10_UW\Cadd\Upon Franklin WI\Wetlands\Frames\UW_CreditUpon Franklin WI\WM.mxd October 07, 2019 9:34:13 AM .amv .psb.kch



LEGEND

- Project Limits
- Data Point
- Wetland



THIS IS A PRELIMINARY MAP. IT IS NOT TO BE USED AS A BASIS FOR ANY DECISIONS. THE INFORMATION IS SHOWN ON THE DRAWING IS SUBJECT TO THE USE BY CLIENTS OF THE INFORMATION FOR THE PROJECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GZA. THE USER'S SCALE MAY VARY FROM ANY OTHER SCALE.

**6611 SOUTH 27TH STREET WETLAND DELINEATION
FRANKLIN, MILWAUKEE COUNTY,
WISCONSIN**

PREPARED BY
GZA GeoEnvironmental, Inc.
Engineers and Scientists
www.gza.com

PREPARED FOR
FRANKLIN WI WETLANDS

WETLAND LOCATION MAP

PROJECT NO. 200156337 10	DATE 10/07/2019	DESIGNED BY DES	DRAWN BY AP	REVIEWED BY LR	CHECKED BY CR
-----------------------------	--------------------	--------------------	----------------	-------------------	------------------

SCALE 1" = 250'	REVISION NO.	FIGURE 7	SHEET NO. 1 OF 1
--------------------	--------------	--------------------	---------------------

Table 15-3.0505

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

<p>STEP 1:</p>	<p>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3 0502) <u>1.54</u></p> <p>Multiple by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard) X <u>0.45</u></p> <p>Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =</p>	<p>0.69 acres</p>
<p>STEP 2:</p>	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 5 in Table 15-3 0502) <u>1.54</u></p> <p>Subtract <i>Total Resource Protection Land</i> from Table 15-3 0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater - <u>0.69</u></p> <p>Equals NET BUILDABLE SITE AREA =</p>	<p>0.85 acres</p>
<p>STEP 3:</p>	<p>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above) <u>0.85</u></p> <p>Multiple by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard) X <u>0.57</u></p> <p>Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =</p>	<p>0.48 acres</p>
<p>STEP 4:</p>	<p>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 5 of Table 15-3 0502) <u>1.54</u></p> <p>Multiple by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard) X <u>0.31</u></p> <p>Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =</p>	<p>0.47 acres</p>
<p>STEP 5:</p>	<p>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above)</p> <p>(Multiple results by 43 560 for maximum floor area in square feet)</p>	<p>0.47 acres (<u>20,473</u> s f)</p>

Planning Department
 9229 West Loomis Road
 Franklin, Wisconsin 53132
 Email generalplanning@franklinwi.gov



Phone (414) 425 4024
 Fax (414) 427 7691
 Web Site www.franklinwi.gov

Date of Application 02/11/2020

PLANNED DEVELOPMENT DISTRICT (PDD) APPLICATION

Complete, accurate and specific information must be entered. Please Print

Applicant (Full Legal Name[s])
 Name Brad McClain CFO
 Company University of Wisconsin Credit Union
 Mailing Address 3500 University Avenue
 City / State Madison Wisconsin Zip 53705
 Phone 608-232-9000 x 2244
 Email Address bmcclain@uwcu.org

Applicant is Represented by (contact person)(Full Legal Name[s])
 Name David J Ewanowski AIA
 Company KEE Architecture Inc
 Mailing Address 621 Williamson Street
 City / State Madison, Wisconsin Zip 53703
 Phone 608-255-9202
 Email Address david@keearch.com

Project Property Information.
 Property Address 6611 South 27th Street, Franklin, Wisconsin
 Property Owner(s) University of Wisconsin Credit Union
 Attn Brad McClain
 Mailing Address 3500 University Avenue
 City / State Madison Wisconsin Zip 53705
 Email Address bmcclain@uwcu.org

Tax Key Nos 714-0001-001
 Existing Zoning PDD No 13 (B-3 Community Business)
 Existing Use (Abandoned Gas Station)
 Proposed Use Commercial (Financial Institution)
 Future Land Use Identification Commercial

*The 2025 Comprehensive Master Plan Future Land Use Map is available at <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

PDD submittals for review must include and be accompanied by the following

- This Application form accurately completed with original signature(s) Facsimiles and copies will not be accepted
- Application Filing Fee, payable to City of Franklin
 - \$6000, PDD New
 - \$3500, PDD Major Amendment
 - \$500, PDD Minor Amendment
- Legal Description for the subject property (WORD doc or compatible format)
- Seven (7) complete colated sets of Application materials to include
 - One (1) original and six (6) copies of a written Project Summary, (description of the proposed development of the property to include the proposal's intent, impacts, and consistency with the Comprehensive Master Plan, any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available)
 - Three (3) folded full size, drawn to scale copies (at least 24" x 36") of the Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc (See Sections 15-7 0101, 15-7 0301, and 15-5 0402 of the UDO for information that must be denoted or included with each respective plan)
 - Four (4) folded reduced size (11"x17") copies of the Site Plan package
 - One colored copy (11"x17") of the building elevations, if applicable
 - One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3 0500 of the UDO)
 - Three copies of the Natural Resource Protection Plan report, if applicable (see Section 15-4 0102 and 15 7 0201 of the UDO)
 - Email (or CD ROM) with all plans/submittal materials *Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable)*

Franklin
 FEB 13 2020
 City Development

- Upon receipt of a complete submittal, staff review will be conducted within ten business days
- PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval
- Minor PDD Amendment requests require Plan Commission review and Common Council approval

The applicant and property owner(s) hereby certify that (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge, (2) the applicant and property owner(s) has/have read and understand all information in this application, and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis Stat §943.13

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application)

Signature Property Owner Brad McClain - CFO
 Name & Title (PRINT) _____
 Date 2/11/2020

Signature Applicant Brad McClain - CFO
 Name & Title (PRINT) _____
 Date 2/11/2020

Signature Property Owner _____
 Name & Title (PRINT) _____
 Date _____

Signature Applicant's Representative David J Ewanowski Secretary/Treasurer
 Name & Title (PRINT) KEE Architecture Inc
 Date 2/11/2020

Walmart Realty

US Real Estate
2608 SE J St.
Bentonville, AR 72716-5510

1/8/2020

Brad McClain
University of Wisconsin Credit Union
3500 University Ave.
Madison, WI 53705

Re: Deed Restriction Waiver
Walmart Store #1551 Franklin, WI

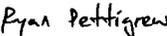
Dear Mr. McClain:

Wal-Mart Stores, Inc. ("Walmart") approves of the proposed University of Wisconsin Credit Union to be located next to Walmart Store #1551, as depicted on Exhibit "A" of this letter. As part of its approval, Walmart hereby waives the restriction against building height and size, so long as not more than two (2) buildings (not including trash enclosure and canopies) shall be erected and which buildings shall not exceed 22 feet in height or 6,000 square feet in combined floor size (not including trash enclosure and canopies). Walmart also agrees that the Credit Union will be allowed to provide not less than 5 parking spaces per 1,000 square feet of floor building area. Please note that this approval is limited to the operation of the Credit Union.

Any material change in use of the premises, or variance from the site plan attached as Exhibit "A", that violate any deed restrictions against the property shall require Walmart's further consent. This approval shall not be construed as a waiver of any of Walmart's rights or of any other obligation or restriction found in the Corporation Warranty Deed dated September 13, 1990 and recorded September 14, 1990 as Document Number 6417377 in the Register's Office for Milwaukee County, Wisconsin.

If you have any questions, please do not hesitate to contact me.

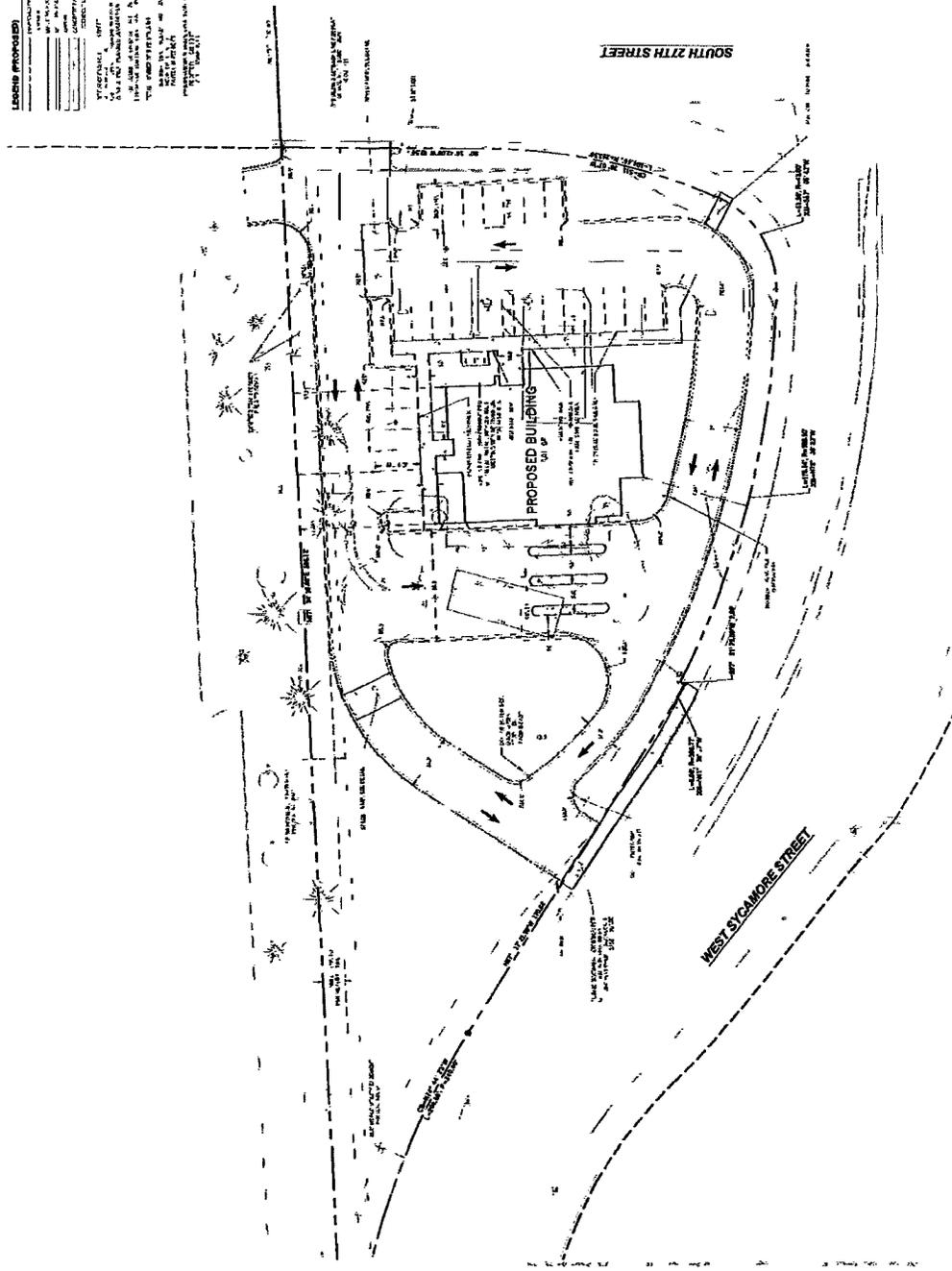
Sincerely,

DocuSigned by:

C31F0206DADB4DA

	UWCU - FRANKLIN FRANKLIN, MILWAUKEE COUNTY, WI	SHEET NO. 1 OF 1 DATE: 7/29/2018
	Project Name: UWCU - FRANKLIN Project No: 18-001 Date: 7/29/2018 Scale: 1" = 20' Sheet: C100	Project No: 18-001 Date: 7/29/2018 Scale: 1" = 20' Sheet: C100

LEGEND

1. PROPOSED BUILDING
 2. PROPOSED DRIVEWAY
 3. PROPOSED SIDEWALK
 4. PROPOSED LANDSCAPE
 5. PROPOSED UTILITY
 6. PROPOSED CURB
 7. PROPOSED DRIVEWAY CURB
 8. PROPOSED SIDEWALK CURB
 9. PROPOSED UTILITY CURB
 10. PROPOSED DRIVEWAY CURB
 11. PROPOSED SIDEWALK CURB
 12. PROPOSED UTILITY CURB




 Dick's Hotlines
 Toll Free (800) 245-5877 ext. 81
 www.dickshotlines.com

SITE PLAN

BeveLED 2.1



PROJECT INFORMATION

PROJECT _____
 DATE _____
 TYPE _____

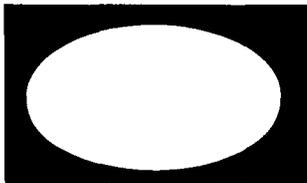
3021 DOWNLIGHT



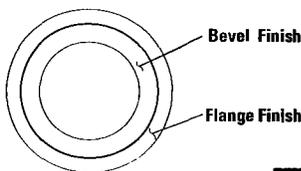
F22

BeveLED 2.1 Recessed Downlight - BeveLED 2.1 is the most complete recessed LED downlight product family available from USAI Lighting, now with more BeveLED trim finishes, LED classic white color temperatures, innovative housing styles, and dimming driver options than before. With industry-leading performance, BeveLED 2.1 can provide a solution for any project - commercial, corporate and residential installations.

1" REGRESS DOWNLIGHT



1" Regress



- 3 1/2" Ø
- 4 1/2" Ø
- 5 1/2" Ø



DELIVERED PERFORMANCE

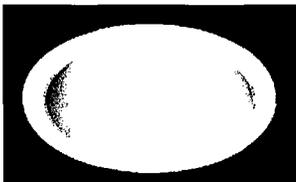
BeveLED 2.1 1" REGRESS DOWNLIGHT	9 Watts		12 Watts		16 Watts		24 Watts		33 Watts		36 Watts	
	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI
Color Rendering Index	93	68	86	67	86	67	80	63	71	57	100	78
Lumens per Watt	1150	900	1300	1025	1725	1350	2400	1875	3025	2350	4150	3250
Source Lumens	775	600	1025	800	1375	1075	1925	1500	2400	1875	3450	2700
Color Consistency	2-Step MacAdam Ellipse											

Performance based on 3000K

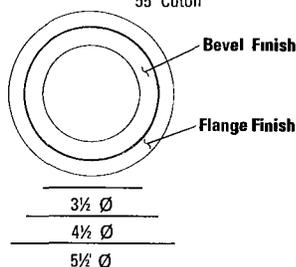
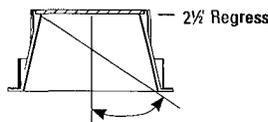
CCT MULTIPLIER	2200K	2700K		3000K		3500K	4000K
Color Rendering Index	80+ CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	80+ CRI
Multiplier for Lumen Output	0.72	0.94	0.78	1.00	.78	1.00	1.06

90+ CRI is not available for 2200K, 3500K, or 4000K

DEEP REGRESS DOWNLIGHT



Deep Regress



- 3 1/2" Ø
- 4 1/2" Ø
- 5 1/2" Ø

DELIVERED PERFORMANCE

BeveLED 2.1 DEEP REGRESS DOWNLIGHT	9 Watts		12 Watts		16 Watts		24 Watts		33 Watts		36 Watts	
	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI
Color Rendering Index	70	54	69	54	68	53	64	50	58	45	85	66
Lumens per Watt	1150	900	1300	1025	1725	1350	2400	1875	3025	2350	4150	3250
Source Lumens	625	475	825	650	1100	850	1550	1200	1925	1500	2950	2300
Color Consistency	2-Step MacAdam Ellipse											

Performance based on 3000K

CCT MULTIPLIER	2200K	2700K		3000K		3500K	4000K
Color Rendering Index	80+ CRI	80+ CRI	90+ HIGH CRI	80+ CRI	90+ HIGH CRI	80+ CRI	80+ CRI
Multiplier for Lumen Output	0.72	0.94	0.78	1.00	.78	1.00	1.06

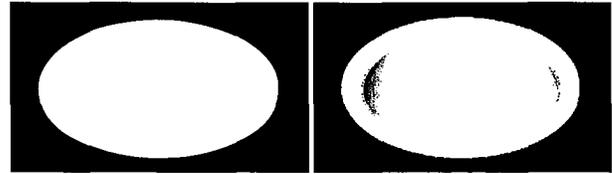
90+ CRI is not available for 2200K, 3500K, or 4000K

Bevel 1 (D) 2.1



ORDERING INFORMATION

3021 DOWNLIGHT



1" REGRESS

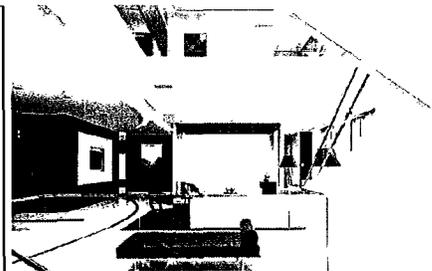
DEEP REGRESS

HOW TO SPECIFY

Ordering Example. Specify trim code and housing code to order **3021W - B1 - S - 10 - LRTD4 - 9012 - C3 - 27KS - 50 - NC - 277V - DIML2 - CB27**

TRIM ORDERING INFORMATION

TRIM	OPTION	BEVEL STYLE	LENS	FLANGE FINISH
3021				
1" REGRESS DOWNLIGHT				
3021 Round Downlight 1" Regress	W	Wet location ¹	S Solite (provided standard) F Frosted	01 Clear Matte (AC Bevel only) 02 Black Anodized (AB Bevel Only) 10 White 13 Statuary Bronze 21 Black 28 Metalized Grey RAL Custom Color (specify RAL #)
	EML	Integral Emergency Test Switch ²		
	TZ	6 TechZone ceiling compatible (NCSM only) N/A with 01 or 02 flange finishes		
DEEP REGRESS DOWNLIGHT				
3021 Round Downlight Deep Regress	W	Wet location ¹		
	EML	Integral Emergency Test Switch ²		
		B1 1" Regress Bevel, Painted Die Cast Matches Flange Finish AB1 1" Regress Bevel Black Anodized AC1 1" Regress Bevel, Clear Matte Anodized B2 2 1/2" Regress Bevel, Painted Die Cast Matches Flange Finish AB2 2 1/2" Regress Bevel, Black Anodized AC2 2 1/2" Regress Bevel, Clear Matte Anodized		



HOUSING ORDERING INFORMATION

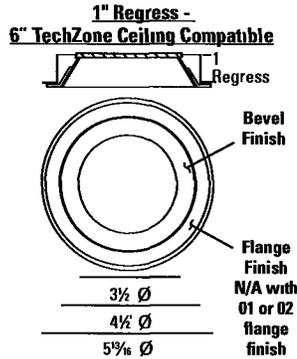
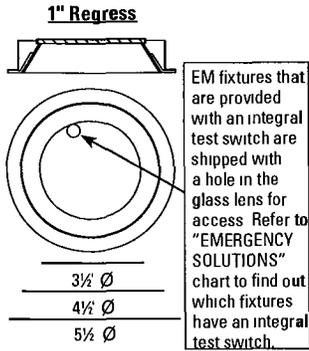
HOUSING CODE	WATTAGE	ENGINE CODE	COLOR	REFLECTOR	HOUSING TYPE	SELECT ONE VOLTAGE	DIMMING DRIVER OPTIONS	ACCESSORIES					
LRTD4													
LRTD4	9009 9W LED	C3	22KS 2200K, 80+ CRI ³	1" REGRESS DOWNLIGHT		120V 277V	For use with 120V or 277V DIML2 0-10V dim, 10% (provided standard) DIML4E Lutron 5 ECO, 5% ^{5,6} DIML4H Lutron H ECO, 1% Fade ⁵ DIML6A EdoLED 0-10V, 0.1%, logarithmic/Lutron controls DIML6B EdoLED 0-10V Linear, 0.1%, linear controls DIML6E EdoLED 0-10V, 1%, logarithmic/Lutron controls DIML6F EdoLED 0-10V, 1%, linear controls DIML7 EdoLED DALI, 0.1% DIML8 EdoLED DMX, 0.1% ^{6,7}	1" REGRESS DOWNLIGHT CB27 27" C-Channel Bars CB52 52" C-Channel Bars EML Emergency battery ⁹ EMLW Emergency battery wet location ⁹ TZ 6 TechZone ceiling compatible ¹⁰					
	9012 12W LED			25 25° beam	FT Flat Housing New Construction								
	9016 16W LED			50 50° beam	FTIC Flat Housing IC Rated/Airtight (up to 16W maximum)								
	9024 24W LED			90 90° beam	FTCP Flat Housing Chicago Plenum								
	9033 33W LED				NCSM New Construction Narrow Width								
	9036 36W LED				NC New Construction, all in one								
					CP Chicago Plenum								
					IC Insulation Contact Rated / Airtight ⁴								
					E1				27KH 2700K, 90+ CRI 30KH 3000K, 90+ CRI	DEEP REGRESS DOWNLIGHT		120V	For use with 120V only DIML3 Lutron A 2-wire, 1% 120V only DIML19 Phase 2-wire dimming, 1% 120V only ^{5,8}
			2 Step MacAdam ellipse is standard for all	C25 25° beam Comfort Cutoff C40 40° beam Comfort Cutoff C70 70° beam Comfort Cutoff	NC New Construction, all in one CP Chicago Plenum IC Insulation Contact Rated / Airtight ⁴ See emergency solutions chart for EM options with these housings	347V	For use with 347V only DIML15 0-10V dim, 1% 347 only						

⁵ N/A with 9W
⁶ N/A with 33W
⁷ N/A with FT, FTIC or FTCP housing
⁸ N/A with E1 light engine

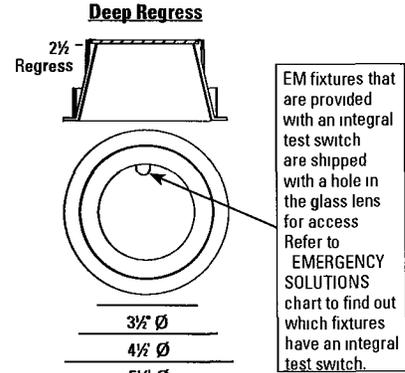
⁹ See emergency solutions chart for more details on EM options. Not available with 347V
¹⁰ With NCSM housing only

TRIM INFORMATION

1" REGRESS DOWNLIGHT TRIMS



DEEP REGRESS DOWNLIGHT TRIM



3021 - 1" Regress Emergency Solutions

Housing	EM SERVICE	Integral Test Switch	Remote Test Switch	Inverter By Others
FT, FTIC, FTCP	N/A			X
NCSM*	Above ceiling access required		X	X
NC, 25° or 50° optic	Through aperture	X		X
NC, 90° optic	Through aperture		X	X
NC Wet Location	Through aperture		X	X
CP	N/A			X
IC	N/A			X

* NCSM + DIML8 cannot be offered with EM, 347V cannot be offered with EM

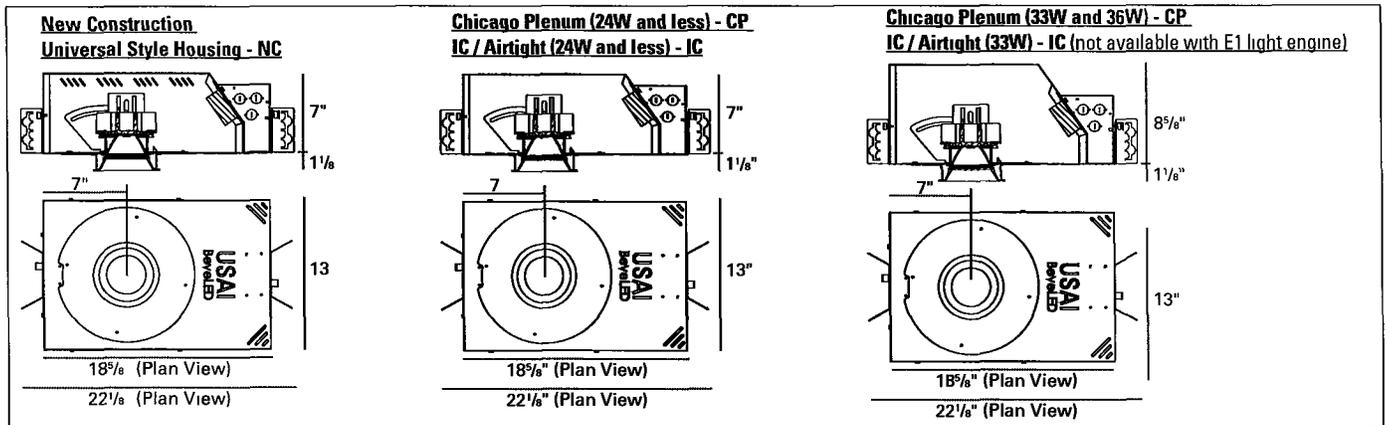
3021 - Deep Regress Emergency Solutions

Housing	EM SERVICE	Integral Test Switch	Remote Test Switch	Inverter By Others
NC, C25 or C40 optic	Through aperture	X		X
NC, C70 optic	Through aperture		X	X
NC Wet Location	Through aperture		X	X
CP	N/A			X
IC	N/A			X

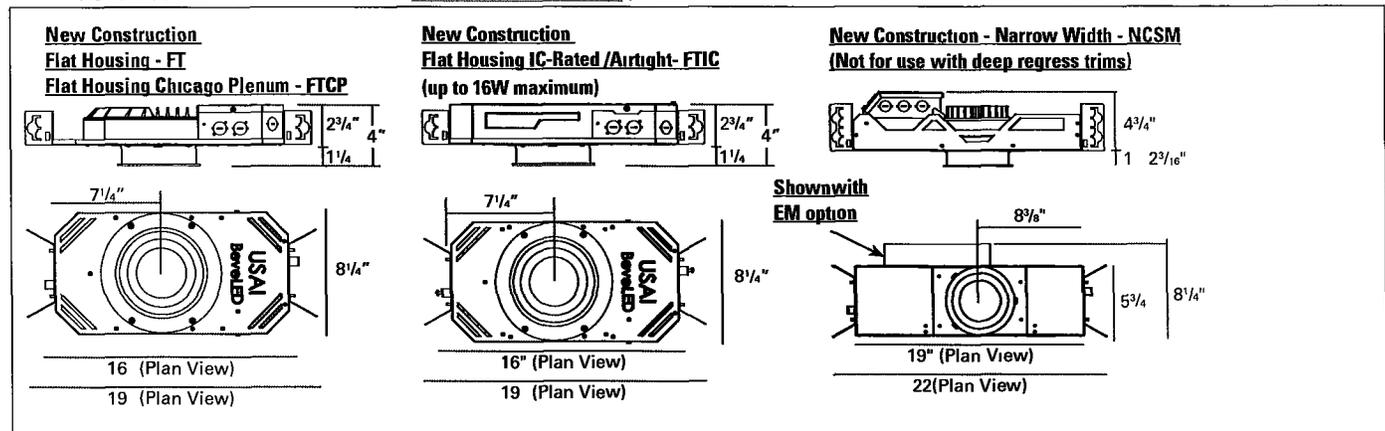
* 347V cannot be offered with EM

HOUSING INFORMATION

NC, IC AND CP HOUSINGS BELOW ARE FOR USE WITH 1" REGRESS TRIMS & DEEP REGRESS TRIMS



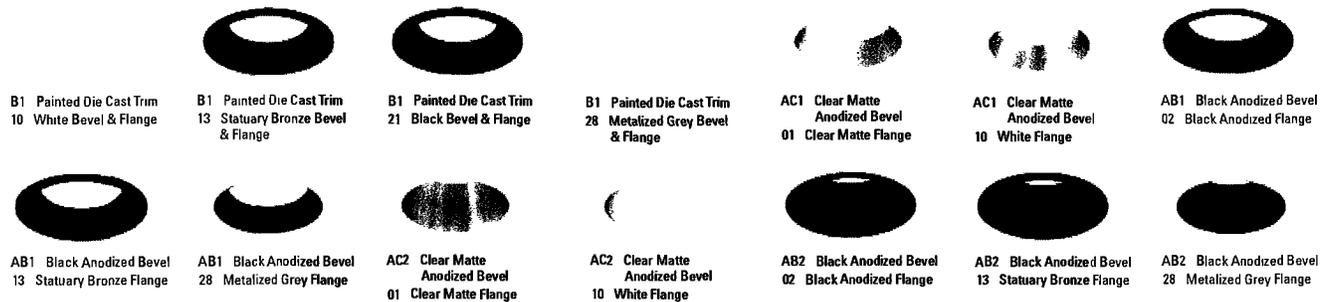
HOUSINGS BELOW ARE FOR USE WITH 1" REGRESS TRIMS ONLY (FT, FTIC, FTCP AND NCSM ARE NOT AVAILABLE FOR USE WITH DEEP REGRESS)



SPECIFICATIONS

TRIM: 4-1/2" round aperture with a 1" regress or deep regress bevel and 1/2" flange, retained by two mounting clips Die cast aluminum bevel is available in white, statuary bronze, black, and metalized grey painted finishes, with flange painted to match Also available in black or clear matte anodized finishes, with self-finish or contrasting painted flange Custom colors are available (provide RAL#) Trim is shipped with a solite lens provided standard

Some examples of standard trim finish options for 3021 are shown below



FIELD REPLACEABLE LED LIGHT ENGINE: is serviceable through the aperture without tools All USAI Lighting Classic White light engines feature industry leading color consistency within a 2-Step MacAdam's ellipse 2200K is not available with E1 light engine

FIELD REPLACEABLE DIMMING DRIVER: 0-10V, 100%-10% solid state electronic constant current DIML2 dimming driver with a high power factor provided standard and sources 2mA Specify 120V or 277V Driver complies with IEEE62 41 surge protection Multiple dimming driver options are available, some on-time delay may be experienced, depending on control system used

EMERGENCY: Fixtures provided with an integral test switch are provided with a hole in the glass lens as per drawing Fixtures provided with a remote test switch are provided with a 24" lead length for location of the test switch Fixtures that have no USAI EM option may be connected to an inverter (by others) for emergency lighting **SPECIAL NOTE FOR NCSM HOUSING** DIML8 cannot be combined with EM options in NCSM housing See emergency solutions chart for more information on EM test switches and servicing

HOUSING: 1" regress fixture housing options are NC, IC, CP, FT, FTIC, FTCP and NCSM DEEP regress fixture housing options are NC, IC, and CP only FT and NCSM housings are not available with DEEP regress trims Fabricated of 20 ga galvanized steel with thru wire J-box, 4 in 4 out at min 90°C, #12 AWG thru branch circuit wiring FTIC housing is IC-rated up to 16W maximum IC-rated housings for use with 9W, 12W, and 16W light engines only are rated for direct contact with spray foam insulation of R-42 or less IC rated housing is not available with E1 light engine NCSM with TZ option is compatible with 6" TechZone ceiling systems When using DIML8, NCSM housing can NOT be used with thru-branch circuit wiring

MOUNTING: Butterfly brackets and adjustable nailer bars with integral nails provided Nailer bars are extendible from 14" to 24" centers C-channel bars are optionally available for acoustical ceiling applications

MAXIMUM CEILING THICKNESS: As noted on housing drawings

CEILING CUT OUT: 5-1/16"Ø

WARRANTY: Based on IESNA LM80 2008, BeveLED 2.1 has a 50,000 hour rated life at 70% lumen maintenance (L70) USAI Lighting Warranty covers replacement parts for 5 years from date of shipment

LISTINGS: Dry/Damp Wet location option available with B1 trim only NRTL/CSA-US tested to UL standards IBEW union made Energy Star Qualified under Luminaires Specification V2.0 Please see Energy Star website for exact model #s included in the listing Please note that the following options are not Energy Star qualified 22KS, 27KH, and 30KH light engines, E1 light engines, B-13, B 21, and AB trim styles, Frosted lens and EM options CEC/ Title 24 Compliant up to 16W maximum See CEC website for exact models included

NOTES:

- Not for use in corrosive environment.
- Use of pressure washer voids warranty



PHOTOMETRICS: Consult factory or website for IES files Tested in accordance with IESNA LM79

DIMMING DRIVER WIRING SCHEMES:

NOTES

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details

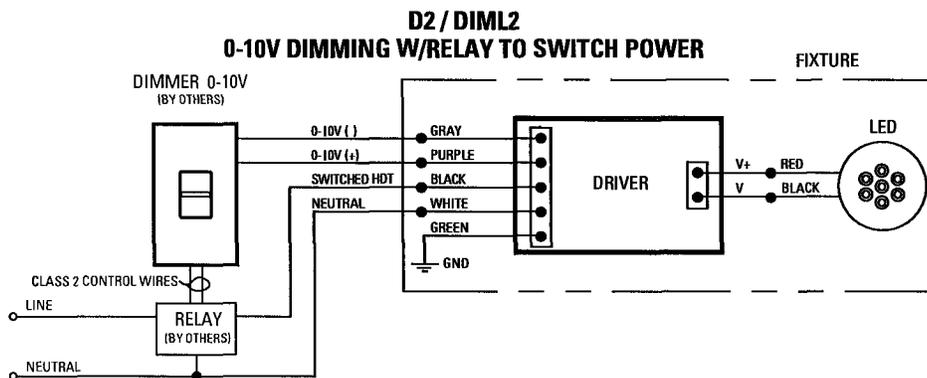
**IMPORTANT SAFETY INSTRUCTIONS
- SAVE THESE INSTRUCTIONS**

- 1 Keep these instructions in a safe place for future reference
- 2 Only qualified electricians in accordance to local codes should install these fixtures
- 3 De-energize the electrical circuit at the circuit breaker prior to installation process or servicing
- 4 Make sure all connections are in accordance with the National Electrical Code and any local regulations
- 5 Cap any wires not used separately (not together)

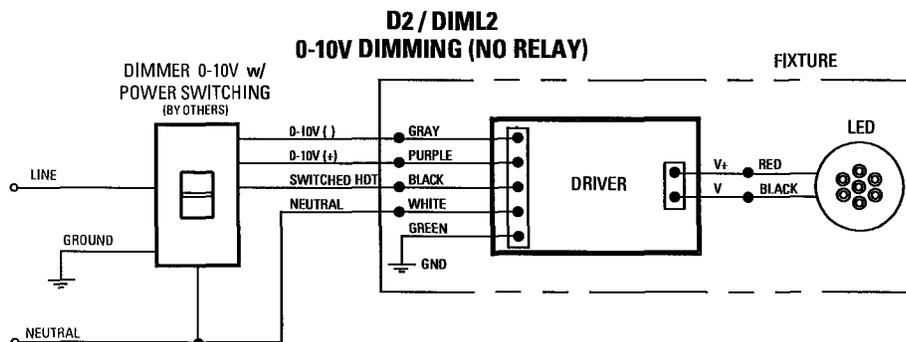
D2 / DIML2 LED: 0-10V Dimming Driver Wiring (Dims down to 10%)

D2 / DIML2 Dimmer Compatibility Chart				
Manufacturer	Product	Part Number	Dimmed Light Output Range	Qty Fixtures Per Dimmer*
120V / 277V				
Crestron	iLux dimmer expansion module	CLS-EXP-DIMFLV	100% - 10%	Use source current per fixture specification sheet to determine number of fixtures per dimmer. Max number of fixtures is limited by dimmer load rating.
Crestron	DIN Rail dimmer	DIN-4DIMFLV4	100% - 10%	
Crestron	DIN Rail analog output module	DIN-A08	100% - 10%	
Crestron	8 Channel dimmer module	GLX-DIMFLV8	100% - 10%	
Crestron	8 Channel dimmer module	GLXP-DIMFLV8	100% - 10%	
Leviton	IllumaTech dimmer	IP710-DLX	100% - 10%	
Lightolier (Philips)	Vega	V2000FAMU	100% - 10%	
Lutron	Diva	DVTV-XX	100% - 10%	

* NOTE Refer to dimmer manufacturer's documentation for installation instructions and circuit details



NOTE:
If switched, non dimming operation is desired, cap off purple and gray wires individually at installation. Do NOT cap purple and gray wires together



NOTE:
If switched, non-dimming operation is desired, cap off purple and gray wires individually at installation. Do NOT cap purple and gray wires together

DIMMING DRIVER WIRING SCHEMES:

NOTES

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

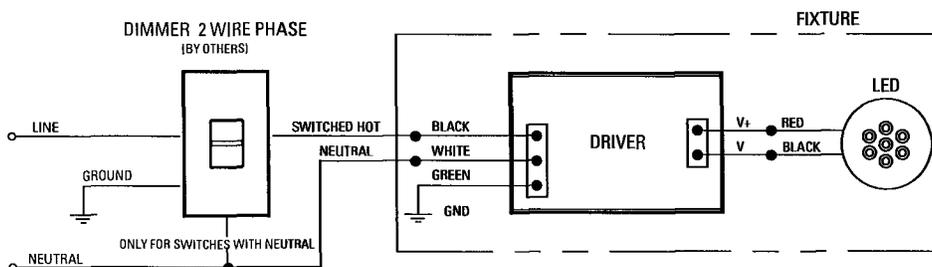
1. Keep these instructions in a safe place for future reference.
2. Only qualified electricians in accordance to local codes should install these fixtures.
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing.
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations.
5. Cap any wires not used separately (not together).

D3 / DIML3 LED: Lutron Hi-Lume A-Series 2 Wire Fwd Phase (with neutral) / LED Dimming Driver Wiring (Dims down to 1%) 120V

D3 / DIML3 Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range	Qty Fixtures Per Dimmer*	
				Fixture Wattage	
120V Only				39W and Less	40W - 80W
ETC	Sensor+ Cabinet	ELV10	100% - 1%	1-26	1-13
ETC	Unison DRd Cabinet	ELV10	100% - 1%	1-26	1-13
Lutron	Maestro Wireless® 600W dimmer	MRF2-6ND-120-	100% - 1%	1-8	1-4
Lutron	Maestro Wireless® 1000W dimmer	MRF2-10ND 120	100% - 1%	1-13	1-6
Lutron	HomeWorks® QS adaptive dimmer	HQRD-6NA-	100% - 1%	1-8	1-4
Lutron	HomeWorks® QS 600W dimmer	HQRD-6ND-	100% - 1%	1-8	1-4
Lutron	HomeWorks® QS 1000 W dimmer	HQRD-10ND-	100% - 1%	1-13	1-6
Lutron	Caseta Wireless® Pro 1000W dimmer	PD-10NXD	100% - 1%	1-13	1-6
Lutron	Stanza® dimmer	SZ-6ND-	100% - 1%	1-8	1-4
Lutron	RadioRA® 2 adaptive dimmer	RRD-6NA-	100% - 1%	1-8	1-4
Lutron	RadioRA® 2 1000 W dimmer	RRD 10ND-	100% - 1%	1-6	1-3
Lutron	myRoom DIN power module	MQSE-4A1-D	100% - 1%	1-6	1-3
Lutron	HomeWorks® QS wallbox power module	HQRJ WPM-6D-120-	100% - 1%	1-26	1-13
Lutron	Homeworks® DIN power module	LQSE-4A1-D	100% - 1%	1-6	1-3
Lutron	HomeWorks® wallbox power module	HWI-WPM-6D-120	100% - 1%	1-26	1-13
Lutron	GRAFIK Eye® QS control unit	QSGR-, QSGRJ-	100% - 1%	1-26	1-13
Lutron	GRAFIK Eye® 3000 control unit	GRX-3100-, GRX-3500-	100% - 1%	1-26	1-13
Lutron	RPM-4U module	HW-RPM-4U 120, LP-RPM-4U-120	100% - 1%	1-26	1-13
Lutron	RPM-4A module	HW-RPM-4A-120, LP-RPM-4A-120	100% - 1%	1-26	1-13
Lutron	GP dimming panels	Various	100% - 1%	1-26	1-13
Lutron	Anadmi CL 250W dimmer	AYCL-253P	100%-1%	1-8	1-4
Lutron	Diva CL 250W dimmer	DVCL-253P-, DVSCCL-253P-	100%-1%	1-8	1-4
Lutron	Grafik T CL or RF CL dimmer	GT-250M-, GTJ-250M-	100%-1%	1-8	1-4
Lutron	Nova T CL 250W dimmer	NTCL-250-	100%-1%	1-10	1-5

* NOTE Refer to dimmer manufacturer's documentation for installation instructions and circuit details.

**D3 / DIML3
2 WIRE PHASE DIMMING**



DIMMING DRIVER WIRING SCHEMES:

NOTES

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

1. Keep these instructions in a safe place for future reference
2. Only qualified electricians in accordance to local codes should install these fixtures
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations
5. Cap any wires not used separately (not together)

D4E / DIML4E LED: Lutron 5 Series EcoSystem LED Driver / LED Dimming Driver Wiring (Dims down to 5%)

D4E / DIML4E EcoSystem Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range	Qty Fixtures Per Control*	
				Fixture Wattage	
120V / 277V				39W and Less	40W - 80W
Lutron	PowPak dimming module	RMJ-ECO32-DV-B	100%-5%	1-32	1-16
Lutron	Energi Savr Node	QSN-1ECO-S, QSN-2ECO-S	100%-5%	1-64	1-32
Lutron	GRAFIK Eye QS (120V ONLY)	QSGRJ- E, QSGR- E	100%-5%	1-64	1-32
Lutron	Quantum	Various	100%-5%	1-64	1-32

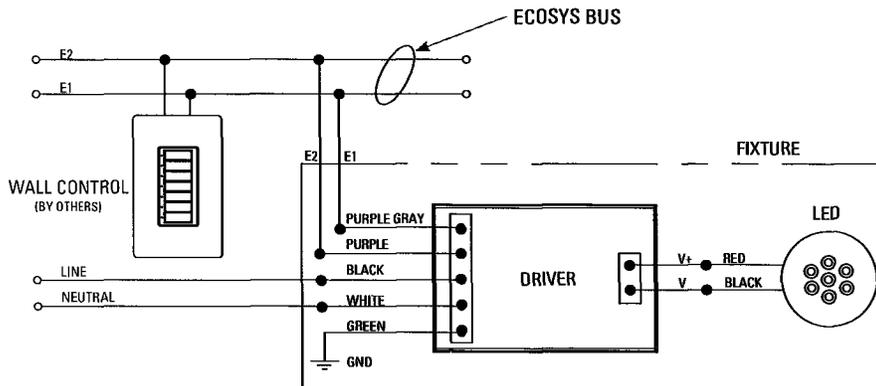
* NOTE: Number of fixtures may be higher if wattage is less than maximum values shown. Refer to dimmer manufacturer's documentation for installation instructions and circuit details.

D4H / DIML4H LED: Lutron H Series EcoSystem LED Driver with Fade to Black (dims down to 1%)

D4H / DIML4H EcoSystem Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range	Qty Fixtures Per Control*	
				Fixture Wattage	
120V / 277V				39W and Less	40W - 80W
Lutron	PowPak dimming module	RMJ-ECO32-DV-B	100%-1%	1-32	1-16
Lutron	Energi Savr Node	QSN-1ECO-S, QSN-2ECO-S	100%-1%	1-64	1-32
Lutron	GRAFIK Eye QS (120V ONLY)	QSGRJ- E, QSGR- E	100%-1%	1-64	1-32
Lutron	Quantum	Various	100%-1%	1-64	1-32

* NOTE: Number of fixtures may be higher if wattage is less than maximum values shown. Refer to dimmer manufacturer's documentation for installation instructions and circuit details.

**D4E / DIML4E and D4H / DIML 4H
EcoSystem CONTROLS**



DIMMING DRIVER COMPATIBILITY SELECTION GUIDE

D6A / DIML6A and D6E / DIML6E

D6B / DIML6B and D6F / DIML6F

IMPORTANT SAFETY INSTRUCTIONS - SAVE THESE INSTRUCTIONS

- 1 Keep these instructions in a safe place for future reference
- 2 Only qualified electricians in accordance to local codes should install these fixtures
- 3 De-energize the electrical circuit at the circuit breaker prior to installation process or servicing
- 4 Make sure all connections are in accordance with the National Electrical Code and any local regulations
- 5 Cap any wires not used separately (not together)

D6A / DIML6A and D6E / DIML6E LED Dimming Compatibility Table

D6A / DIML6A and D6E / DIML6E are linearly programmed dimming drivers for use with the dimming controls listed in the table below
 D6A / DIML6A = EldoLED SOLdrive 0-10V control dims from 100% to 0 1%
 D6E / DIML6E = EldoLED ECoDrive 0-10V control dims from 100% to 1%

D6A / DIML6A and D6E / DIML6E Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range		Qty Fixtures Per Dimmer*
			DIML6A	6E	
120V & 277V					
Lutron	Diva	DVTV/NFTV with PP 20	99% - 0.1%	1%	Refer to manufacturer's dimmer load rating for maximum and minimum fixture quantities per dimmer Enlighted compatible
Lutron	Nova T	NFTV with PP-20	99% - 0.1%	1%	
Lutron	Energi Savr Node	QSN-4T16-S	100% - 0.1%	1%	
Lutron	GP Dimming Panels	TVM2 Module	99% - 0.1%	1%	
Lutron	Interfaces	GRX-TVI w/ GRX3503	100% - 0.1%	1%	
Sensor Switch	nIO	nIO EZ	100% - 0.1%	1%	
enlighted	Control Unit	CU-3E-1R	100% - 0.1%	1%	

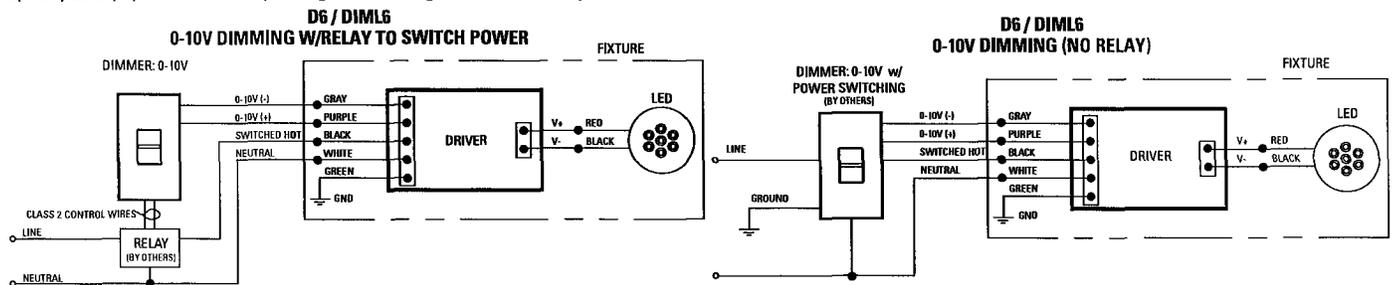
D6B / DIML6B and D6F / DIML6F LED Dimming Compatibility Table

D6B / DIML6B and D6F / DIML6F are logarithmic-programmed dimming drivers for use with the dimming controls listed in the table below
 D6B / DIML6B = EldoLED SOLdrive 0-10V control dims from 100% to 0 1% D6F / DIML6F = EldoLED ECoDrive 0-10V control dims from 100% to 1%

D6B / DIML6B and D6F / DIML6F Dimmer Compatibility Chart					
Manufacturer	Product	Part Number	Dimmed Light Output Range		Qty Fixtures Per Dimmer*
			DIML6B	6F	
120V & 277V					
Bush-Jaeeger	Electronic potentiometer	2112U-101	100% - 0.1%	1%	Refer to manufacturer's dimmer load rating for maximum and minimum fixture quantities per dimmer Enlighted compatible
Jung	Electronic potentiometer	240 10	100% - 0.1%	1%	
Leviton	Illuma Tech dimmer	IP710-DLX	100% - 0.1%	1%	
Lightolier (Philips)	Momentum (120V ONLY)	ZP600FAM120	100% - 0.1%	1%	
Merten	Electronic potentiometer	5729	100% - 0.1%	1%	
Pass & Seymour	Titan	CD4EB-W	100% - 0.1%	1%	
Watt Stopper	Miro	DCLV1	100% - 0.1%	1%	
Synergq	Wallbox Dimmers	ISD BC	100% - 0.1%	1%	
ABB	r-bus	SD/S 2.16.1	100% - 0.1%	1%	
Crestron	Modules	GLX-DIMFLV8, GLXP-DIMFLV8	100% - 0.1%	1%	
Crestron	Green Light	GLPAC-DIMFLV4-, GLPAC-DIMFLV8-	100% - 0.1%	1%	
Crestron	Green Light Power Pack	GLPP-DIMFLVEX-PM, GLPP-1DIMFLV2EX-PM, GLPP-1DIMFLV3EX-PM	100% - 0.1%	1%	
Crestron	DIN Rail Analog Output Module	DIN-A08	100% - 0.1%	1%	
Crestron	DIN Rail 0-10V Fluorescent Dimmer	DIN-4DIMFLV4	100% - 0.1%	1%	
Crestron	iLux 0-10V Dimmer Expansion Module	CLS-EXP-DIMFLV	100% - 0.1%	1%	
enlighted	Control Unit	CU-3E-1R	100% - 0.1%	1%	

DIMMING DRIVER WIRING SCHEMES:

NOTES Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details



DIMMING DRIVER WIRING SCHEMES:

NOTES

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

1. Keep these instructions in a safe place for future reference
2. Only qualified electricians in accordance to local codes should install these fixtures
3. De-energize the electrical circuit at the circuit breaker prior to installation process or servicing
4. Make sure all connections are in accordance with the National Electrical Code and any local regulations
5. Cap any wires not used separately (not together)

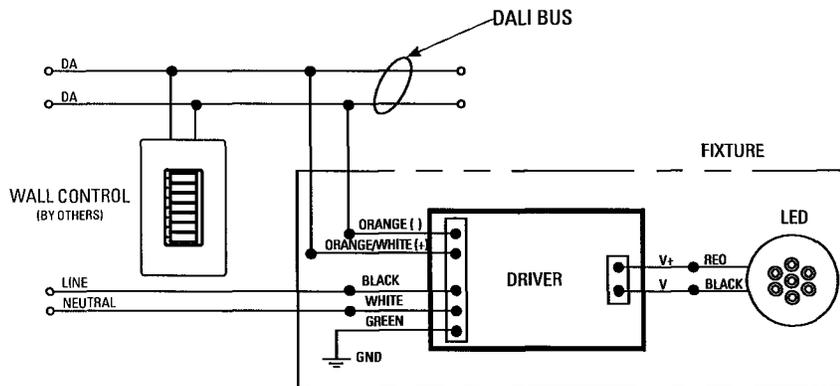
D7 / DIML7 and D7E Dimming Driver Wiring

D7 / DIML7 and D7E are linearly programmed dimming drivers.

D7 / DIML7 = EldoLED SOLDrive DALI control dims from 100% to 0.1%

D7E = EldoLED ECOdrive DALI control dims from 100% to 1%

**D7 / DIML7 / D7E
DALI CONTROLS**



DIMMING DRIVER WIRING SCHEMES:

NOTES

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

- 1 Keep these instructions in a safe place for future reference
- 2 Only qualified electricians in accordance to local codes should install these fixtures
- 3 De-energize the electrical circuit at the circuit breaker prior to installation process or servicing
- 4 Make sure all connections are in accordance with the National Electrical Code and any local regulations
- 5 Cap any wires not used separately (not together)

D8 / DIML8 and D8E Dimming Driver Wiring

D8 / DIML8 and D8E are linearly programmed dimming drivers
 D8 / DIML8 = EldoLED POWERdrive DMX control dims from 100% to 0.1%
 D8E = EldoLED POWERdrive DMX control dims from 100% to 1%

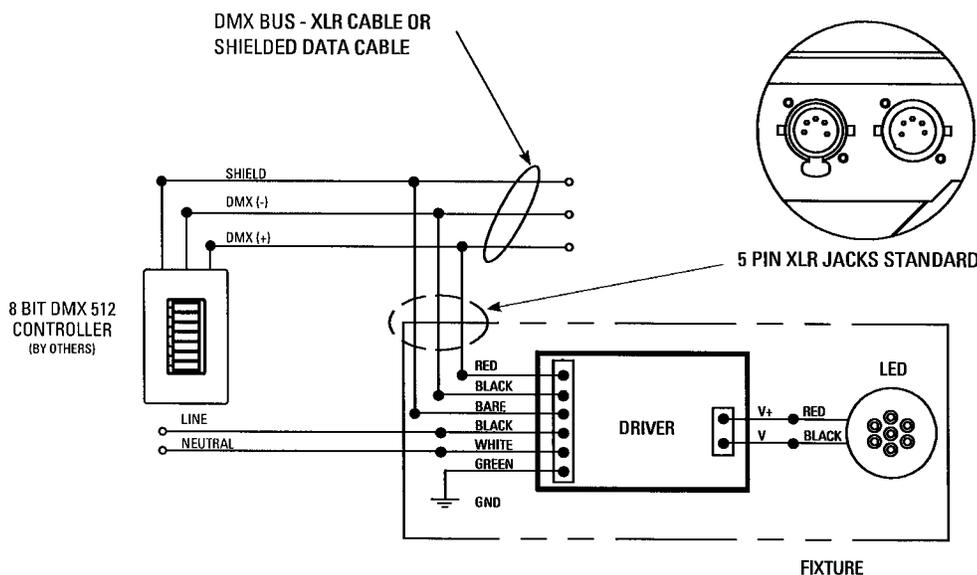
DMX BUS - XLR CABLE OR
SHIELDED DATA CABLE

The data cable used must meet the following requirements

- type shielded, 2 conductor twisted pair
- maximum capacitance between conductors 30 pF/ft
- maximum capacitance between conductor and shield 55 pF/ft
- maximum resistance 0.02 ohms/ft
- normal impedance 100-140 ohms
- conductive core 24 AWG is recommended

If 3-wire data cables are preferred, we suggest a Belden 9841 or equivalent cable which meets the specifications for EIA RS 485 applications. Do not use standard microphone cables they cannot transmit DMX512 data reliably over long distances. NOTE: DMX link termination device (by others) should be used on last fixture in line on a circuit to avoid signal loss.

**D8 / DIML8 / D8E
DMX CONTROLS**



DIMMING DRIVER WIRING SCHEMES:

NOTES

Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

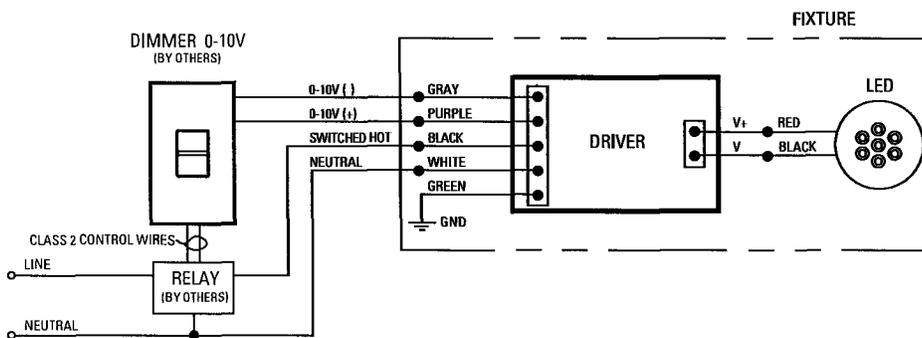
- 1 Keep these instructions in a safe place for future reference
- 2 Only qualified electricians in accordance to local codes should install these fixtures
- 3 De-energize the electrical circuit at the circuit breaker prior to installation process or servicing
- 4 Make sure all connections are in accordance with the National Electrical Code and any local regulations
- 5 Cap any wires not used separately (not together)

D15 / DIML15 LED: 0-10V, 347V Dimming Driver Wiring (Dims down to 1%) 347V Only

D15 / DIML15 Dimmer Compatibility Chart			Qty Fixtures Per Dimmer*
Manufacturer	Product	Dimmed Light Output Range	
347			Use source current per fixture specification sheet to determine number of fixtures per dimmer. Max number of fixtures is limited by dimmer load rating.
Acuity	Synergy ISD-BC	100% - 1%	
Douglas Lighting	WPN 5721, WPN-5822	100% - 1%	
Hubbell	Light Hawk2 LHD-IRS3-N347-xx	100% - 1%	
Leviton	Illumatech IP710-DLZ with 347V relay	100% - 1%	
Leviton	Centura Fluorescent Control System	100% - 1%	
Lutron	Nova NFTV-* dimmer plus 347V relay	100% - 1%	
Lutron	Diva DDTV-* dimmer plus 347V relay	100% - 1%	

* NOTE Refer to dimmer manufacturer's documentation for installation instructions and circuit details

**D15 / DIML15
0-10V DIMMING W/RELAY TO SWITCH POWER**



NOTE:

If switched, non-dimming operation is desired, cap off purple and gray wires individually at installation. Do NOT cap purple and gray wires together.

DIMMING DRIVER WIRING SCHEMES:

NOTES

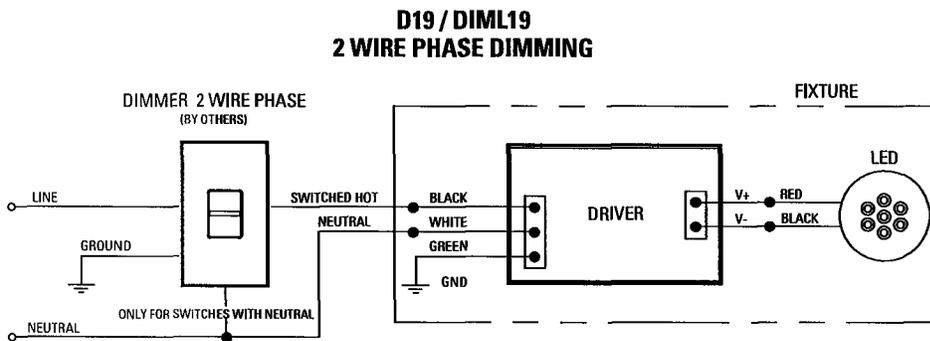
Wiring diagrams are examples of typical installations intended to illustrate the number of wires that must be run to fixture. These diagrams are not intended to specify all equipment necessary for a given dimming circuit. Refer to specific dimmer manufacturer's documentation for details.

IMPORTANT SAFETY INSTRUCTIONS

- SAVE THESE INSTRUCTIONS

- 1 Keep these instructions in a safe place for future reference
- 2 Only qualified electricians in accordance to local codes should install these fixtures
- 3 De-energize the electrical circuit at the circuit breaker prior to installation process or servicing
- 4 Make sure all connections are in accordance with the National Electrical Code and any local regulations
- 5 Cap any wires not used separately (not together)

D19 / DIML19 LED: Hatch XTC series or equivalent - Forward and Reverse Phase Dimming Driver. Dims down to 1% contingent upon dimmer specification and load. 120V only.



D19 / DIML19 Dimmer Compatibility Chart

120V ONLY		
Forward Phase / TRIAC Dimming		
Manufacturer	Product	Qty Fixtures Per Dimmer
Leviton	IPL06-10Z	Use fixture wattage per
	6613-xxx	fixture specification
Lutron	S-600P	sheet to determine
	S-603P	number of fixtures
	DV-600P	per dimmer Max number
	DV-603P	of fixtures is limited by
	DVSC-603P	dimmer load rating
	CT-600P	
	CT-603P	

120V ONLY		
Reverse Phase / ELV Dimming		
Manufacturer	Product	Qty Fixtures Per Dimmer
Leviton	6615	Use fixture wattage per
	IPE04 xxx	fixture specification
Lutron	NTELV-300	sheet to determine
	NTELV-600	number of fixtures
	SELV-300P	per dimmer Max number
	SELV-303P	of fixtures is limited by
	DVELV-300P	dimmer load rating
		DVELV-303P

Cree Edge® Series

LED Area/Flood Luminaire



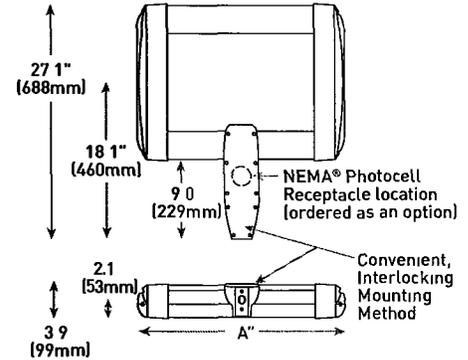
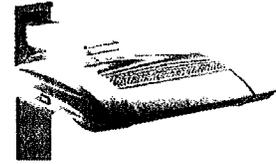
Rev Date V8 R2 08/29/2019

Product Description

The Cree Edge® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways.

DA Mount



Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K) 5700K (+/- 500K) standard

Limited Warranty¹: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

¹ See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed	
Blrd Spikes XA-BRDSPK Hand-Held Remote XA-SENSREM For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required.	Backlight Control Shields XA-20BLS-4 Four-pack Unpainted stainless steel

LED Count (x10)	Dim. "A"	Weight
02	12.1 (306mm)	21 lbs. (10kg)
04	12.1 (306mm)	24 lbs. (11kg)
06	14.1 (357mm)	27 lbs. (12kg)
08	16.1 (408mm)	28 lbs. (13kg)
10	18.1 (459mm)	32 lbs. (15kg)
12	20.1 (510mm)	34 lbs. (15kg)
14	22.1 (560mm)	37 lbs. (17kg)
16	24.1 (611mm)	41 lbs. (19kg)

Ordering Information

Example: ARE EDG 2M AA 12 E UL SV 350

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options								
ARE-EDG	2M Type II Medium 3MB Type III Medium w/BLS 4MP Type IV Medium w/Partial BLS 2MB Type II Medium w/BLS 3MP Type III Medium w/Partial BLS 5M Type V Medium 2MP Type II Medium w/Partial BLS 4M Type IV Medium 3M Type III Medium 4MB Type IV Medium w/BLS	AA Adjustable Arm DA Direct Arm DL Direct Long Arm	02	E	UL Universal 120 277V UH Universal 347 480V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA Available with 20 60 LEDs	DIM 0-10V Dimming Control by others. Refer to Dimming spec sheet for details. Can't exceed specified drive current. Not available with PML options. HL Hi/Low (Dual Circuit Input) Refer to HL spec sheet for details. Sensor not included. P Photocell Refer to PML spec sheet for availability with PML options. Available with UL voltage only. PML Programmable Multi-Level, 20-40' Mounting Height Refer to PML spec sheet for details. Intended for downlight applications at 0° tilt.								
			04													
			06													
			08													
			10													
			12													
			14													
			16													
			FLO-EDG						25 25° Flood 40 70° Flood 40° Flood Sign	AA Adjustable Arm SA Side Arm Available with 20-60 LEDs	N6 NEMA® 6	E	UL Universal 120 277V UH Universal 347 480V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA Available with 20 60 LEDs	PML2 Programmable Multi-Level, 10-30 Mounting Height Refer to PML spec sheet for details. Intended for downlight applications at 0° tilt. R NEMA® 3-Pin Photocell Receptacle 3-pin receptacle per ANSI C136 10. Intended for downlight applications with maximum 45° tilt. Photocell and shorting cap by others. Refer to PML spec sheet for availability with PML options. 40K 4000K Color Temperature Minimum 70 CRI Color temperature per luminaire
											SN					
6																

* Reference EPA and pole configuration suitability data beginning on page 19

AA/DL/SA Mount - see page 22 for weight & dimensions



US: creelighting.com (800) 236-6800
 Canada: creelighting-canada.com (800) 473-1234

CREE LIGHTING

Cree Edge® LED Area/Flood Luminaire

Product Specifications

CONSTRUCTION & MATERIALS

- Slim low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method Mounting is rugged die cast aluminum mounts to 3/6 (76 152mm) square or round pole and secures to pole with 5/16 18 UNC bolts spaced on 2 (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2 (51mm) IP 2 3/75 (60mm) O D tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion Black bronze silver and white are available
- **Weight** See Dimensions and Weight Charts on pages 1 and 22

ELECTRICAL SYSTEM

- **Input Voltage** 120-277V or 347 480V 50/60Hz Class 1 drivers
- **Power Factor** > 0.9 at full load
- **Total Harmonic Distortion** < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in luminaire fusing is required
- **Maximum 10V Source Current** 20 LED (350mA) 10mA 20 LED (525 & 700mA) and 40 80 LED 0.15mA 100 160 LED 0.30mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31 2001 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- ANSI C136.2 10kV surge protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15 Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5 000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA

CA RESIDENTS WARNING Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*							
LED Count (x10)	System Watts 120-480V	Total Current (A)					
		120V	208V	240V	277V	347V	480V
350mA							
02	25	0.21	0.13	0.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	0.12
06	66	0.52	0.31	0.28	0.26	0.20	0.15
08	90	0.75	0.44	0.38	0.34	0.26	0.20
10	110	0.92	0.53	0.47	0.41	0.32	0.24
12	130	1.10	0.63	0.55	0.48	0.38	0.28
14	158	1.32	0.77	0.68	0.62	0.47	0.35
16	179	1.49	0.87	0.77	0.68	0.53	0.39
525mA							
02	37	0.30	0.19	0.17	0.16	0.12	0.10
04	70	0.58	0.34	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
08	133	1.13	0.66	0.58	0.51	0.39	0.28
10	171	1.43	0.83	0.74	0.66	0.50	0.38
12	202	1.69	0.98	0.86	0.77	0.59	0.44
14	232	1.94	1.12	0.98	0.87	0.68	0.50
16	263	2.21	1.27	1.11	0.97	0.77	0.56
700mA							
02	50	0.41	0.25	0.22	0.20	0.15	0.12
04	93	0.78	0.46	0.40	0.36	0.27	0.20
06	134	1.14	0.65	0.57	0.50	0.39	0.29

* Electrical data at 25°C (77°F) Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

Cree Edge® Series Ambient Adjusted Lumen Maintenance ¹					
Ambient	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Estimated ³ LMF	100K hr Estimated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21. Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

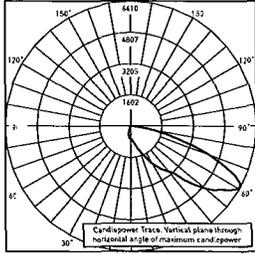
³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Cree Edge® LED Area/Flood Luminaire

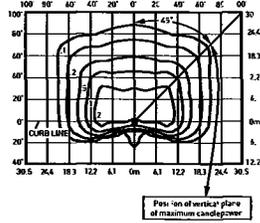
Photometry

All published luminaire photometric testing performed to IESNA LM 79-08 standards. To obtain an IES file specific to your project consult http://creelighting.com/products/outdoor/area/cree_edge_series_1

4MB



RESTL Test Report # PL01023-002B
ARE EDG-4MB-** 06 E UL-525-40K
Initial Delivered Lumens 7 985



ARE EDG-4MB-** 10 E UL 525-40K
Mounting Height: 25 (7.6m) A.F.G
Initial Delivered Lumens 13 185
Initial FC at grade

Type IV Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens	BUG Ratings** Per TM-15-11	Initial Delivered Lumens	BUG Ratings Per TM-15-11
350mA				
02	1 884	B0 U0 G1	1 921	B0 U0 G1
04	3 768	B1 U0 G1	3,843	B1 U0 G1
06	5,588	B1 U0 G1	5 698	B1 U0 G2
08	7 450	B1 U0 G2	7 598	B1 U0 G2
10	9 291	B1 U0 G2	9,475	B1 U0 G2
12	11 149	B1 U0 G2	11,370	B1 U0 G2
14	12,924	B1 U0 G2	13 181	B1 U0 G2
16	14,771	B2 U0 G2	15,063	B2 U0 G2
525mA				
02	2 674	B0 U0 G1	2 730	B0 U0 G1
04	5 348	B1 U0 G1	5 460	B1 U0 G1
06	7 930	B1 U0 G2	8,096	B1 U0 G2
08	10 573	B1 U0 G2	10,794	B1 U0 G2
10	13 185	B1 U0 G2	13,461	B1 U0 G2
12	15 821	B2 U0 G3	16,153	B2 U0 G3
14	18 341	B2 U0 G3	18,726	B2 U0 G3
16	20 962	B2 U0 G3	21,401	B2 U0 G3
700mA				
02	3,156	B1 U0 G1	3 220	B1 U0 G1
04	6,311	B1 U0 G2	6,440	B1 U0 G2
06	9 359	B1 U0 G2	9 549	B1 U0 G2

* Initial delivered lumens at 25 C (77 F) Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight Uplight Glare) Rating visit <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Luminaire EPA

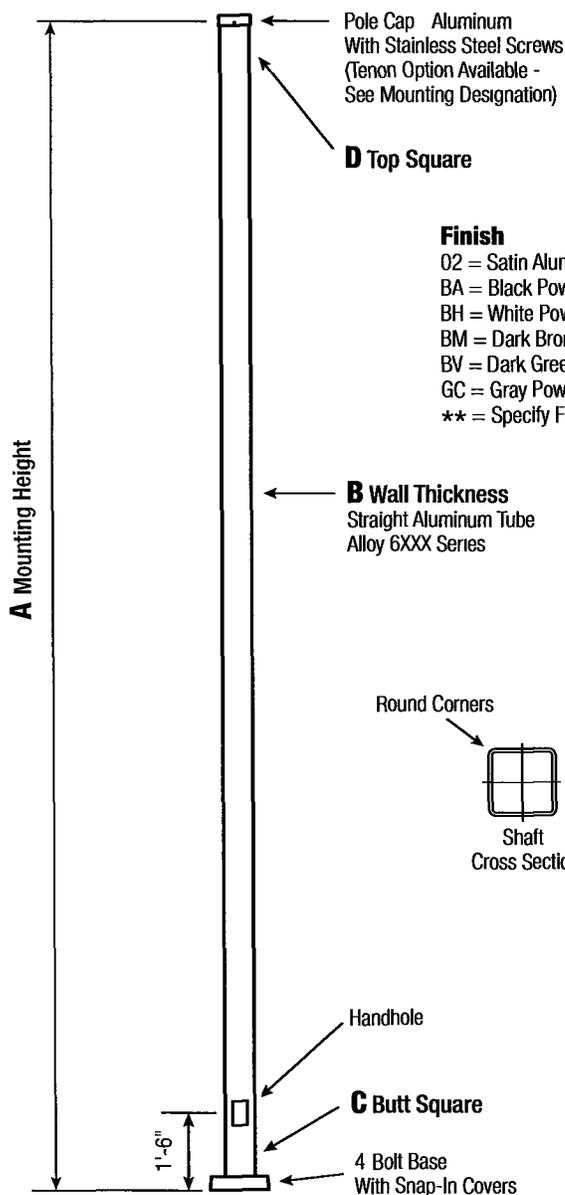
Fixed Arm Mount – ARE-EDG-DA						
LED Count (x10)	Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
02	0.60	0.87	1.20	1.47	1.47	1.75
04	0.60	0.87	1.20	1.47	1.47	1.75
06	0.60	0.92	1.20	1.51	1.51	1.83
08	0.60	0.96 N/A with 3 poles	1.20	1.55 N/A with 3 poles	1.55	1.91 N/A with 3 poles
10	0.60	1.00 N/A with 3 poles	1.20	1.60 N/A with 3 poles	1.60	2.00 N/A with 3 poles
12	0.60	1.04 N/A with 3 poles	1.20	1.64 N/A with 3 poles	1.64	2.08 N/A with 3 poles
14	0.60	1.08 N/A with 3 or 4 poles	1.20	1.68 N/A with 3 or 4 poles	1.68	2.16 N/A with 3 or 4 poles
16	0.60	1.12 N/A with 3 or 4 poles	1.20	1.72 N/A with 3 or 4 poles	1.72	2.24 N/A with 3 or 4 poles
Fixed Arm Mount – ARE-EDG-DL						
02	0.75	1.02	1.50	1.77	1.77	1.91
04	0.75	1.02	1.50	1.77	1.77	1.91
06	0.75	1.07	1.50	1.82	1.82	1.98
08	0.75	1.11	1.50	1.86	1.86	2.04
10	0.75	1.15	1.50	1.90	1.90	2.10
12	0.75	1.19	1.50	1.94	1.94	2.16
14	0.75	1.23	1.50	1.98	1.98	2.22
16	0.75	1.27	1.50	2.02	2.02	2.28

Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In Line 2 @ 180°	3 @ 90°	3 @ 120°	In Line 3 @ 180°	4 @ 90°	In Line 4 @ 180°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
	Vertical PB 1A* PT 1 PW 1A3** Horizontal By others	Vertical PB 2A* PB-2R2.375 PW 2A3** Horizontal PD 2A4(90) PT 2(90)	Vertical PB 2A* PB 2R2.375 PW 2A3** Horizontal PD-2A4(180) PT-2(180)	Vertical PB-2A* PB 2R2.375	Vertical PB-3A* PB-3R2.375 Horizontal PD-3A4(90) PT-3(90)	Vertical PB 3A* PB-3R2.375 Horizontal PT-3(120)	Vertical PB-3A* PB-3R2.375	Vertical PB-4A*(90) PB-4R2.375 Horizontal PD-4A4(90) PT-4(90)	Vertical PB-4A*(180) PB-4R2.375
0° Tilt									
02	0.66	0.98	1.32	1.32	1.77	1.64	1.98	1.91	2.64
04	0.66	0.98	1.32	1.32	1.64	1.64	1.98	1.97	2.64
06	0.66	1.02	1.32	1.32	1.68	1.68	1.98	2.05	2.64
08	0.66	1.07	1.32	1.32	1.80	1.72	1.98	2.29	2.64
10	0.66	1.11	1.32	1.32	1.76	1.76	1.98	2.21	2.64
12	0.66	1.15	1.32	1.32	1.80	1.80	1.98	2.29	2.64
14	0.66	1.19	1.32	1.32	1.84	1.84	1.98	2.38	2.64
16	0.66	1.23	1.32	N/A	1.89	1.89	N/A	2.46	N/A

* Specify pole size 3 [3] 4 [4] 5 [5] or 6 [6] for single, double or triple luminaire orientation or 4 [4] 5 [5] or 6 [6] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size 3 [3] 4 [4] 5 [5] or 6 [6]

SSA

Square Straight Aluminum Pole No Arm — 4-Bolt Base



Finish

- O2 = Satin Aluminum
- BA = Black Powder Coat
- BH = White Powder Coat
- BM = Dark Bronze Powder Coat
- BV = Dark Green Powder Coat
- GC = Gray Powder Coat
- ** = Specify Finish

WARNING:
Do not install light pole without luminaire

Satin Aluminum or Powder Coated
Finish per Customer Specification

A Mtg. Hgt.	B WALL THICKNESS	C BUTT SQUARE	TOTAL LUM. WEIGHT	MAXIMUM EPA					Cat. NUMBER	CATALOG NUMBER
				90	100	110	120	130		
20	0.125"	4	40	5.0	3.4	2.8	1.8	-	11-183	SSA20B4-4-**

C BUTT Sq.	D TOP Sq.	F BOLT CIR. DIA.	G BASE Sq.	H BOLT PROJ.	I BOLT SIZE
4	4	8.5 - 9.5	9.875	1.5	.75 x 17 x 3

Dimensions in Inches

CUSTOMER NAME:

PROJECT:

LOCATION:

NOTES:

QUANTITY:

SSA20B4-4

CATALOG NUMBER

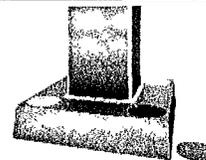
FINISH

Pole

The pole shaft will be constructed of seamless extruded tube of 6XXX Series Aluminum Alloy per the requirements of ASTM B221. The shaft assembly shall be full-length heat treated after base weld.

Base Style

4-Bolt Cast Aluminum Base Flange of Alloy 356 T6 with Aluminum Snap-In Bolt Covers.

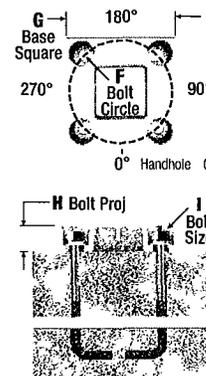


Handhole

2" x 4" Handhole with curved Lap Style Aluminum Door and two (2) Stainless Steel Self-Tapping Attaching Screws. A Grounding Provision incorporating a tapped 11/4"-20NC hole is provided opposite the Handhole.

Anchorage

Anchorage Kit will include four (4) L-shaped Steel Anchor Bolts conforming to AASHTO M314-90 Grade 55. Ten inches (10") of threaded end will be galvanized per ASTM A153. Kits will contain four (4) Hex Nuts, four (4) Lock Washers, and four (4) Flat Washers (all components Galvanized Steel). A bolt circle template will be provided.

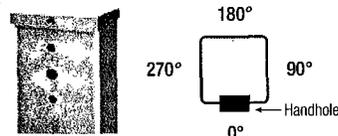


Vibration Damper

When determined necessary by Hapco, a Vibration Damper will be factory-installed inside the pole shaft. Customer specification of the damper is available.

Mounting Designation

Side Drill Mount - For Side Drill Mount applications specify luminaire type, quantity and orientation. A luminaire drilling template must be supplied at time of order.



Tenon Mount

For Tenon Mount applications specify both Tenon diameter (2.375", 2.875", 3.5" etc.) and length (3", 4", etc.).



EPA Notes: Effective Projected Area (EPA) in square feet. EPA's calculated using wind velocity (mph) indicated in accordance with 2009 AASHTO LTS-5 using a 25 year design life. Maximum EPA is based on the luminaire weight shown. Increased luminaire weight may reduce the maximum EPA. If weight is exceeded, or if other design life or code is required, please consult the factory.



26252 Hillman Highway
Abingdon, VA 24210
800 368 7171
www.hapco.com

Cree Edge® Series

LED Area/Flood Luminaire



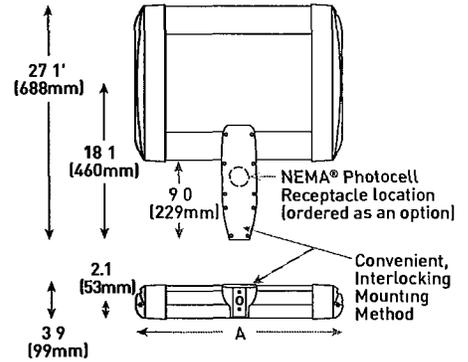
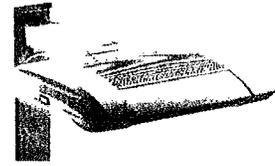
Rev Date V8 R2 08/29/2019

Product Description

The Cree Edge® Series has a slim low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways.

DA Mount



Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K) 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BRDSPK Hand-Held Remote XA-SENSREM For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required.	Backlight Control Shields XA-20BLS-4 Four-pack Unpainted stainless steel

LED Count (x10)	Dim. "A"	Weight
02	12.1 (306mm)	21 lbs (10kg)
04	12.1 (306mm)	24 lbs (11kg)
06	14.1 (357mm)	27 lbs (12kg)
08	16.1 (408mm)	28 lbs (13kg)
10	18.1 (459mm)	32 lbs (15kg)
12	20.1 (510mm)	34 lbs (15kg)
14	22.1 (560mm)	37 lbs (17kg)
16	24.1 (611mm)	41 lbs (19kg)

Ordering Information

Example: ARE EDG-2M AA-12 E UL SV 350

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
ARE-EDG	2M Type II Medium	AA Adjustable Arm DA Direct Arm DL Direct Long Arm	02	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	350 350mA	OIM 0-10V Dimming Control by others Refer to Dimming spec sheet for details Can't exceed specified drive current Not available with PML options HL Hi/Low (Dual Circuit Input) Refer to HL spec sheet for details Sensor not included P Photocell Refer to PML spec sheet for availability with PML options Available with UL voltage only PML Programmable Multi-Level, 20-40° Mounting Height Refer to PML spec sheet for details Intended for downlight applications at 0° tilt
	3MB Type III Medium w/BLS		04					
	4MP Type IV Medium w/Partial BLS		06					
	5M Type V Medium		08					
	4M Type IV Medium		10					
	3M Type III Medium w/BLS		12					
	70 70° Flood Sign		14					
	N6 NEMA® 6		16					
	40 40° Flood							
	40° Flood							
FLD-EDG	25 25° Flood 40 40° Flood 40° Flood	AA Adjustable Arm SA Side Arm Available with 20-60 LEDs						PML2 Programmable Multi-Level, 10-30° Mounting Height Refer to PML spec sheet for details Intended for downlight applications at 0° tilt R NEMA® 3-Pin Photocell Receptacle 3-pin receptacle per ANSI C136.10 Intended for downlight applications with maximum 45° tilt Photocell and shunting cap by others Refer to PML spec sheet for availability with PML options 40K 4000K Color Temperature Minimum 70 CRI Color temperature per luminaire

AA/DL/SA Mount - see page 22 for weight & dimensions

* Reference EPA and pole configuration suitability data beginning on page 19



US: creelighting.com (800) 236-6800
 Canada: creelighting-canada.com (800) 473-1234

CREE LIGHTING

Cree Edge® LED Area/Flood Luminaire

Product Specifications

CONSTRUCTION & MATERIALS

- Slim low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3/6" (76/152mm) square or round pole and secures to pole with 5/16" 18 UNC bolts spaced on 2" (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2" (51mm) IP 2 3/75" (60mm) O.D. tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E Coat epoxy primer with an ultra-durable powder topcoat providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available
- **Weight:** See Dimensions and Weight Charts on pages 1 and 22

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V 50/60Hz Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in luminaire fusing is required
- **Maximum 10V Source Current:** 20 LED (350mA) 10mA 20 LED (525 & 700mA) and 40 80 LED 0.15mA 100-160 LED 0.30mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- ANSI C136.2 10kV surge protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*							
LED Count (x10)	System Watts 120-480V	Total Current [A]					
		120V	208V	240V	277V	347V	480V
350mA							
02	25	0.21	0.13	0.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	0.12
06	66	0.52	0.31	0.28	0.26	0.20	0.15
08	90	0.75	0.44	0.38	0.34	0.26	0.20
10	110	0.92	0.53	0.47	0.41	0.32	0.24
12	130	1.10	0.63	0.55	0.48	0.38	0.28
14	158	1.32	0.77	0.68	0.62	0.47	0.35
16	179	1.49	0.87	0.77	0.68	0.53	0.39
525mA							
02	37	0.30	0.19	0.17	0.16	0.12	0.10
04	70	0.58	0.34	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
08	133	1.13	0.66	0.58	0.51	0.39	0.28
10	171	1.43	0.83	0.74	0.66	0.50	0.38
12	202	1.69	0.98	0.86	0.77	0.59	0.44
14	232	1.94	1.12	0.98	0.87	0.68	0.50
16	263	2.21	1.27	1.11	0.97	0.77	0.56
700mA							
02	50	0.41	0.25	0.22	0.20	0.15	0.12
04	93	0.78	0.46	0.40	0.36	0.27	0.20
06	134	1.14	0.65	0.57	0.50	0.39	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

Cree Edge® Series Ambient Adjusted Lumen Maintenance ¹					
Ambient	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Estimated ³ LMF	100K hr Estimated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM 21 based on IES LM-80 report data for the LED package and in situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the Temperature Zone Reference Document for outdoor average nighttime ambient conditions.

² In accordance with IES TM 21. Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

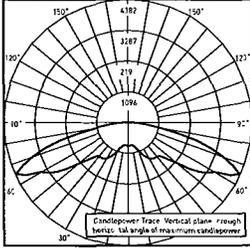
³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Cree Edge® LED Area/Flood Luminaire

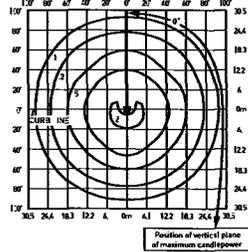
Photometry

All published luminaire photometric testing performed to IESNA LM 79-08 standards To obtain an IES file specific to your project consult http://creelighting.com/products/outdoor/area/cree_edge_series_1

5M



RESTL Test Report # PL09285-001
ARE EDG 5M **-06 E UL 700 40K
Initial Delivered Lumens 13 136



ARE EDG-5M ** 10-E UL-525-40K
Mounting Height 25 (7.6m) A.F.G
Initial Delivered Lumens 18,413
Initial FC at grade

Type V Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens	BUG Ratings** Per TM-15 11	Initial Delivered Lumens*	BUG Ratings Per TM-15-11
350mA				
02	2,631	B2 U0 G1	2 683	B2 U0 G1
04	5 262	B3 U0 G1	5,367	B3 U0 G1
06	7,804	B3 U0 G2	7 958	B3 U0 G2
08	10,405	B4 U0 G2	10 611	B4 U0 G2
10	12 975	B4 U0 G2	13 232	B4 U0 G2
12	15 570	B4 U0 G3	15,878	B4 U0 G3
14	18,049	B4 U0 G3	18,407	B4 U0 G3
16	20,628	B5 U0 G3	21 037	B5 U0 G3
525mA				
02	3 734	B2 U0 G1	3,812	B2 U0 G1
04	7,468	B3 U0 G2	7 625	B3 U0 G2
06	11 074	B4 U0 G2	11 306	B4 U0 G2
08	14,766	B4 U0 G2	15 075	B4 U0 G3
10	18,413	B4 U0 G3	18 799	B4 U0 G3
12	22,096	B5 U0 G3	22,558	B5 U0 G3
14	25 615	B5 U0 G3	26 151	B5 U0 G3
16	29 274	B5 U0 G3	29,887	B5 U0 G3
700mA				
02	4,407	B3 U0 G1	4,497	B3 U0 G1
04	8,814	B3 U0 G2	8,993	B3 U0 G2
06	13,070	B4 U0 G2	13,336	B4 U0 G2

* Initial delivered lumens at 25°C (77 F) Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight Uplight Glare) Rating visit https://www.es.org/wp-content/uploads/2017/03/TM_15_11BUGRatingsAddendum.pdf

Luminaire EPA

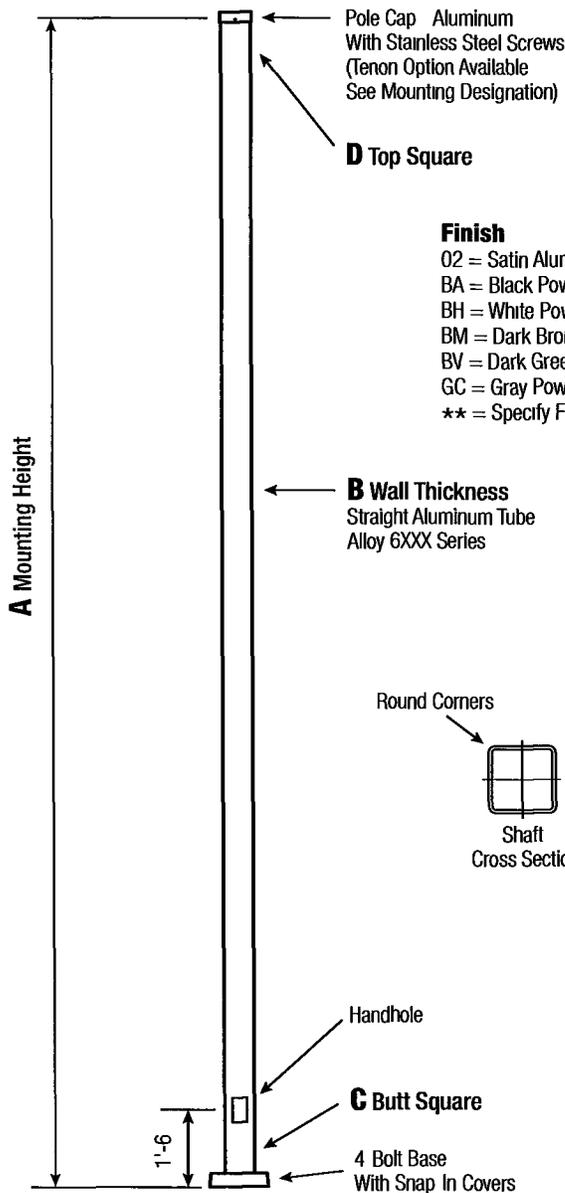
Fixed Arm Mount – ARE-EDG-DA						
LED Count (x10)	Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
02	0.60	0.87	1.20	1.47	1.47	1.75
04	0.60	0.87	1.20	1.47	1.47	1.75
06	0.60	0.92	1.20	1.51	1.51	1.83
08	0.60	0.96 N/A with 3 poles	1.20	1.55 N/A with 3 poles	1.55	1.91 N/A with 3 poles
10	0.60	1.00 N/A with 3 poles	1.20	1.60 N/A with 3 poles	1.60	2.00 N/A with 3 poles
12	0.60	1.04 N/A with 3 poles	1.20	1.64 N/A with 3 poles	1.64	2.08 N/A with 3 poles
14	0.60	1.08 N/A with 3 or 4 poles	1.20	1.68 N/A with 3 or 4 poles	1.68	2.16 N/A with 3 or 4 poles
16	0.60	1.12 N/A with 3 or 4 poles	1.20	1.72 N/A with 3 or 4 poles	1.72	2.24 N/A with 3 or 4 poles
Fixed Arm Mount – ARE-EDG-DL						
02	0.75	1.02	1.50	1.77	1.77	1.91
04	0.75	1.02	1.50	1.77	1.77	1.91
06	0.75	1.07	1.50	1.82	1.82	1.98
08	0.75	1.11	1.50	1.86	1.86	2.04
10	0.75	1.15	1.50	1.90	1.90	2.10
12	0.75	1.19	1.50	1.94	1.94	2.16
14	0.75	1.23	1.50	1.98	1.98	2.22
16	0.75	1.27	1.50	2.02	2.02	2.28

Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
Tenon Configuration If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
	Vertical PB 1A* PT 1 PW-1A3** Horizontal By others	Vertical PB 2A* PB 2R2.375 PW 2A3** Horizontal PD 2A4(90) PT 2(90)	Vertical PB 2A* PB 2R2.375 PW 2A3** Horizontal PD 2A4(180) PT 2(180)	Vertical PB 2A* PB 2R2.375	Vertical PB-3A* PB-3R2.375 Horizontal PD-3A4(90) PT-3(90)	Vertical PB-3A* PB 3R2.375 Horizontal PT-3(120)	Vertical PB-3A* PB-3R2.375	Vertical PB-4A*(90) PB-4R2.375 Horizontal PD-4A4(90) PT-4(90)	Vertical PB-4A*(180) PB-4R2.375
0° Tilt									
02	0.66	0.98	1.32	1.32	1.77	1.64	1.98	1.91	2.64
04	0.66	0.98	1.32	1.32	1.64	1.64	1.98	1.97	2.64
06	0.66	1.02	1.32	1.32	1.68	1.68	1.98	2.05	2.64
08	0.66	1.07	1.32	1.32	1.80	1.72	1.98	2.29	2.64
10	0.66	1.11	1.32	1.32	1.76	1.76	1.98	2.21	2.64
12	0.66	1.15	1.32	1.32	1.80	1.80	1.98	2.29	2.64
14	0.66	1.19	1.32	1.32	1.84	1.84	1.98	2.38	2.64
16	0.66	1.23	1.32	N/A	1.89	1.89	N/A	2.46	N/A

* Specify pole size 3 [3 | 4 [4 | 5 [5 | 6 [6 | 7 for single, double or triple luminaire orientation or 4 [4 | 5 [5 | 6 [6 | 7 for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size 3 [3 | 4 [4 | 5 [5 | 6 [6 | 7

SSA

Square Straight Aluminum Pole No Arm — 4-Bolt Base



WARNING:
Do not install light pole without luminaire

Satin Aluminum or Powder Coated Finish per Customer Specification

A Mtg. Hgt.	B WALL THICKNESS	C BUTT SQUARE	TOTAL LUM. WEIGHT	MAXIMUM EPA					OLD CAT. NUMBER	CATALOG NUMBER
				90	100	110	120	130		
20	0.125"	4	40	5.0	3.4	2.8	1.8	-	11-183	SSA20B4-4-**

C BUTT SQ.	D TOP SQ.	F BOLT CIR. DIA.	G BASE SQ.	H BOLT PROJ.	I BOLT SIZE
4	4	8.5 - 9.5	9.875	1.5	.75 x 17 x 3

Dimensions in Inches

CUSTOMER NAME:

PROJECT:

LOCATION:

NOTES:

QUANTITY:

SSA20B4-4

CATALOG NUMBER

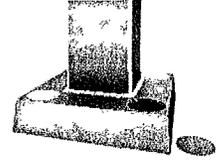
FINISH

Pole

The pole shaft will be constructed of seamless extruded tube of 6XXX Series Aluminum Alloy per the requirements of ASTM B221. The shaft assembly shall be full-length heat treated after base weld.

Base Style

4-Bolt Cast Aluminum Base Flange of Alloy 356-T6 with Aluminum Snap-In Bolt Covers

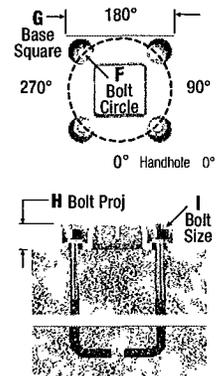


Handhole

2" x 4" Handhole with curved Lap Style Aluminum Door and two (2) Stainless Steel Self-Tapping Attaching Screws. A Grounding Provision incorporating a tapped 11/4" 20NC hole is provided opposite the Handhole.

Anchorage

Anchorage Kit will include four (4) L-shaped Steel Anchor Bolts conforming to AASHTO M314-90 Grade 55. Ten inches (10") of threaded end will be galvanized per ASTM A153. Kits will contain four (4) Hex Nuts, four (4) Lock Washers, and four (4) Flat Washers (all components Galvanized Steel). A bolt circle template will be provided.

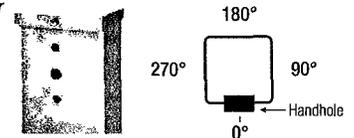


Vibration Damper

When determined necessary by Hapco, a Vibration Damper will be factory-installed inside the pole shaft. Customer specification of the damper is available.

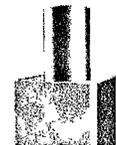
Mounting Designation

Side Drill Mount - For Side Drill Mount applications specify luminaire type, quantity and orientation. A luminaire drilling template must be supplied at time of order.



Tenon Mount

For Tenon Mount applications specify both Tenon diameter (2.375", 2.875", 3.5", etc.) and length (3", 4", etc.).



EPA Notes: Effective Projected Area (EPA) in square feet. EPA's calculated using wind velocity (mph) indicated in accordance with 2009 AASHTO LTS-5 using a 25 year design life. Maximum EPA is based on the luminaire weight shown. Increased luminaire weight may reduce the maximum EPA. If weight is exceeded, or if other design life or code is required, please consult the factory.

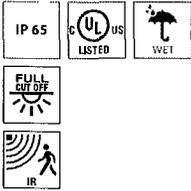


26252 Hillman Highway
 Abingdon, VA 24210
 800 368 7171
 www.hapco.com

MIMIK 10 BOLLARD

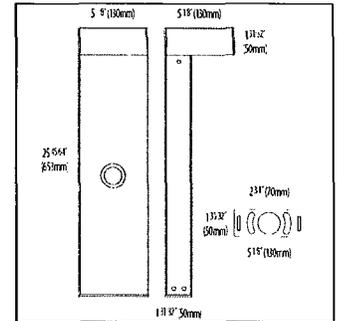
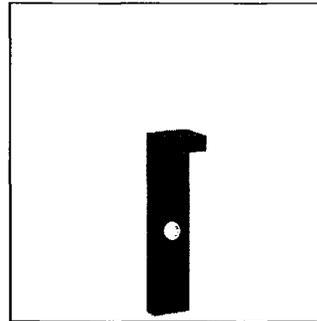


MIMIK 10 BOLLARD 600 SENSOR



Landscaping LED bollard luminaire comprising

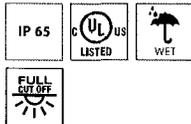
- Painted die cast aluminium housing and cover
- Painted extruded aluminium pole
- Powder polyester painting process optimized against UV rays in 13 different steps
- Tempered glass diffuser, printed
- Reflector in satin finish pure aluminium (Al 99 98)
- Silicone gasket
- Stainless steel locking screws
- Base plate included
- Version is available with low and line voltage passive infrared fixture integrated motion sensor (Wattstopper)
- Complying with the recommendations for glare control and upward light pollution



- AN-96 / IRON GRAY / TEXTURED
- GR-94 / ALUMINUM METALLIC / TEXTURED
- On request*
- RB-10 / IRON RUST (BRONZE) / TEXTURED
- WH-87 / WHITE / TEXTURED
- BK-81 / TEXTURED BLACK / TEXTURED

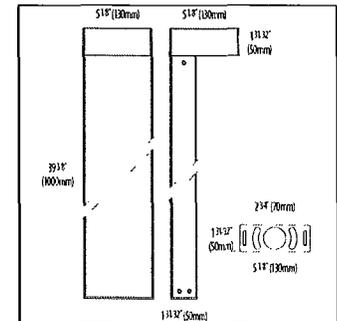
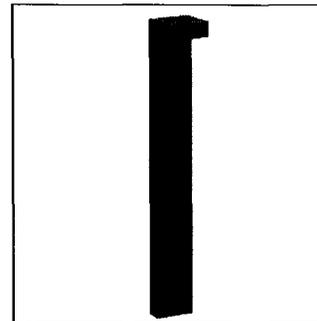
LAMP/ORDER	POWER	VOLTAGE	CRI	KELVIN	OPTIC TYPE	OPTIC BEAM	LIGHTSOURCE LUMEN OUTPUT	LUMINAIRE LUMEN OUTPUT	L	B	LIFETIME	FINISH	PART NUMBER
HIGH POWER LEDS 120/277 V													
LED	11 W	120/277V	70	3000			1006 lm	744 lm	10		60000 h	●	071820
LED	11 W	120/277V	70	4000			1075 lm	915 lm	10		60000 h	●	071824
LED	11 W	120/277V	70	3000			1006 lm	744 lm	10		60000 h	○	071818
LED	11 W	120/277V	70	4000			1075 lm	915 lm	10		60000 h	○	071822

MIMIK 10 BOLLARD 1000



Landscaping LED bollard luminaire comprising

- Painted die cast aluminium housing and cover
- Painted extruded aluminium pole
- Powder polyester painting process optimized against UV rays in 13 different steps
- Tempered glass diffuser, printed
- Reflector in satin finish pure aluminium (Al 99 98)
- Silicone gasket
- Stainless steel locking screws
- Base plate included
- Complying with the recommendations for glare control and upward light pollution



- AN-96 / IRON GRAY / TEXTURED
- GR-94 / ALUMINUM METALLIC / TEXTURED
- On request*
- RB-10 / IRON RUST (BRONZE) / TEXTURED
- WH-87 / WHITE / TEXTURED
- BK-81 / TEXTURED BLACK / TEXTURED

LAMP/ORDER	POWER	VOLTAGE	CRI	KELVIN	OPTIC TYPE	OPTIC BEAM	LIGHTSOURCE LUMEN OUTPUT	LUMINAIRE LUMEN OUTPUT	L	B	LIFETIME	FINISH	PART NUMBER
HIGH POWER LEDS 120/277 V													
LED	11 W	120/277V	70	3000			1006 lm	744 lm	10		60000 h	●	071812
LED	11 W	120/277V	70	4000			1075 lm	915 lm	10		60000 h	●	071816
LED	11 W	120/277V	70	3000			1006 lm	744 lm	10		60000 h	○	071804
LED	11 W	120/277V	70	4000			1075 lm	915 lm	10		60000 h	○	071814

PROVIDE WITH OPTIONAL BASE PLATE

Date _____ Customer: _____
 Project: _____
 Type: _____ Qty: _____



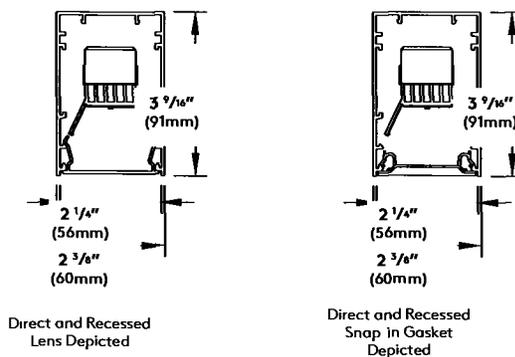
M60
 LED Direct
 Wet Location



Order Code: L60W

<u>L60W</u>	Series	L60W M60 LED Direct Wet Location												
	Light Engine	1B45^{1,2,3} 789lm/11 1W per foot	1B40^{1,2,3} 713lm/9 8W per foot	1B35¹ 628lm/8 6W per foot	1B30^{1,2} 536lm/7 2W per foot	1B25^{1,2} 481lm/6.4W per foot	1B20^{1,2} 363lm/4 7W per foot	¹ Values calculated from a 4' fixture at 4000K using LW Shielding and DIM driver For additional information please see page 2. ² Available starting at 2' and up. ³ Not available with Lutron.						
	CCT	27 2700K	30 3000K	35 3500K	40 4000K									
	Shielding	LW LED Optimized white lens	MI⁴ Clear Lens with Microprism	NB⁴ LMO Symmetric	A2⁴ LMO Asymmetric 20° Wall Washer	A5⁴ LMO Asymmetric 5° Wall Grazer	BW⁴ LMO Batwing	⁴ See page 2 for details.						
	Mounting	RS Rigid Stem Mount	W Wall Mount	F Surface Mount	VF Vertical Surface Mount									
	Nominal Fixture Length	01* 1 ft	02 2 ft	03 3 ft	04 4 ft	05 5 ft	06 6 ft	07 7 ft	08 8 ft	09 9 ft	10 10 ft	11 11 ft	12 12 ft	XX Runs (over 12') round up to the nearest foot and replace the 'xx' with the # (i.e. 13=13 nominal)
	Finish	WH White	BK Black	BL Semi Matte Black	SV Silver	SP Specify Premium Color	<i>Custom colors are available, Please consult factory</i>							
	Voltage	120 120 Volt	277 277 Volt	UNV 120 through 277 50/60hz capable	347⁵ 347V (consult factory)	⁵ 347V not available with EM internal battery option								
	Driver	DIM⁶ 0-10V (Linear)	DM^{6,7,10} eLdLED SOLOdrive 0-10V (Linear)	DML^{6,7,10} eLdLED SOLOdrive 0-10V (Logarithmic)	DMD^{6,7,10} eLdLED DAU (Logarithmic)	DC2^{6,7,8,9} Lutron 2-Wire	DE1^{6,7,9} Lutron 5-Series	DC5^{7,9} Lutron Eco-System ⁴ (consult factory)	⁶ See page 7 for full details ⁷ Not available for 1' length ⁸ 120V only ⁹ Not available with 1B45 or 1B40 ¹⁰ EM option not available n 4' length					
	Fixture Options	FS¹¹ In-line Fuse	SS¹¹ Separate Switching	TR¹¹ Tamper Resistant ¼ End Cap	EFC 1/2 Conduit End Feed (consult factory)	¹¹ See page 8 for full details and restrictions								
	Emergency Options	EC^{13,14} Emergency Circuit Wiring	EMR¹⁴ Remote Micro Inverter (consult factory)	EM^{13,14,15} Integral EM battery pack	¹³ See page 8 for full details and restrictions ¹⁴ For EM with sensors please consult factory ¹⁵ 4' available with DIM driver only. 25' available with all driver options.									





Construction:

Housing - Continuous, low copper 6063 T6 extruded aluminum profile with aluminum endcaps, available as Individual fixtures (up to 12') or Runs

Geartray - Low copper 6063 T6 extruded aluminum profile

Shielding - Extruded, impact resistant acrylic lens

LED Optimized White Lens (LW)
Clear Lens with Microprism (MI)

* Please note that the snap-in cover is a frosted acrylic, and will not match the visual appearance of the MI Lens

"LMO" refers to the Selux proprietary LED optical system - Light modulation optics. These lenses are offered in M60 behind a Satine Lens for even illumination and comfortable lit appearance

"LMO" symmetric lens (NB)

"LMO" Asymmetric 20° wall washer (A2)

- "LMO" Asymmetric 5° wall grazer (A5)

- "LMO" Batwing (BW)

Gasketing - Frosted acrylic snap-in cover at ends and each joint, combined with transmissive gasket ensures ease of installation and a clean, illuminated surface

*Housings other than White may have additional shadowing at the cover plates

Tamper Resistant - Aluminum plates with gasket and tamper resistant hardware replaces the snap in cover at ends and joints. Painted housing color by default

Mounting(s) - Ø^{3/8}" Rigid Steel Stem (RS), Wall Bracket (W), Surface mount (VF or F mountings), See pages 2 through 6 for details

** Stem and Wall mountings may not be symmetrical for Runs due to the use of modular housing lengths. If symmetrical suspensions are required please consult the factory. Surface mount on wall in vertical position only (VF)

Standard Luminaire lengths - All standard luminaires are supplied in nominal lengths to ensure full, even, illumination. Runs are available in approximately 1/4" increments starting at the nominal 12' fixture length

** Individual luminaires are not joinable in the field

Exact Luminaire lengths - Individual luminaires and Runs are available in exact lengths to meet your project needs. Please consult factory with your requirements
** Lens luminance may soften at the very ends of the straight sections for exact length luminaires

L60W Joiner(s) - Runs are supplied in multiple housings that are joined together in the field using the supplied L60W Joiner System. This allows ease of installation and ensures a uniform appearance (see page 8 for detail)

Weight: 2.4 lb per foot

Electrical/Performance:

LED Light Engine - Brand name mid power LEDs create a high efficiency LED light engine able to provide a lumen maintenance of 96% at 25,000 hours and 92% at 60,000 hours at 25°C per TM 21 reports. Reported L70 greater than 60,000 hours

Delivered Lumens - Due to LED manufacturer's tolerances the listed output has a ±5% tolerance. For outputs based on different shielding or CCT please see photometry section at the end

CCT - Available in 2700K, 3000K, 3500K and 4000K, tolerance within a 3-step MacAdam ellipse

CRI - Min 90

All Drivers - High efficiency, constant current, soft start, Electronic Class 2 with a PFC>0.90. For more detailed information on the available drivers please see page 7

Emergency - There are multiple emergency options available: emergency circuit, remote micro inverter, and integral battery pack. All options compliant with UL 924 listed emergency luminaire. Please consult factory for use of sensors with emergency options. For more details on EC and EM options, see page 8

Thermal Performance:

Ambient Operating Temperature - Luminaires suitable for maximum ambient temperature of 35°C (95°F) for all drivers

Luminaires are suitable for minimum ambient temperatures of -40°C (-40°F) for DIM, DM, DML, and DMD drivers. 0°C (32°F) for DC2 and DE1 drivers

Luminaire Finish:

Powder Coat - All Selux luminaires are finished in high quality polyester powder coating in our Tiger Drylac certified facility and are tested in accordance with test specifications for coatings from ASTM and PCI

All products undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated, and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention

Standard interior colors are White (WH), Black (BK), Semi-Matte Black (BL), and Silver (SV). Selux premium colors (SP) are available, please specify from your Selux color selection guide. Housing colors other than White may have additional shadowing at the cover plates

Warranty:

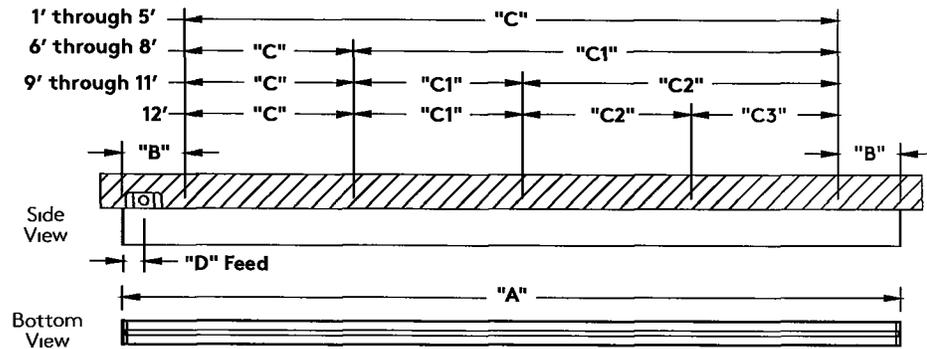
5 Year Limited LED Luminaire Warranty - Selux offers a 5 Year Limited Warranty to the original purchaser that the M60 series LED luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LED light engine when installed according to Selux instructions and operated within the Ambient Temperature. For additional details and exclusions, see "Selux Terms and Condition of Sale"

Certifications and Compliance:

NRTL - For Dry, Damp, and Wet Location (IEC ULus, cCSAus)
Suitable for stem mount, surface mount (including vertical wall mount and wall mount) for wet locations

ADA Compliant
ARRA Compliant
RoHS Compliant

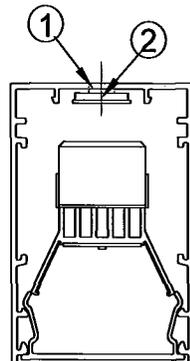
Surface Mounting (F) - 1' to 12'



Surface Mount (F) Dimensions														
Nominal Length	"A" Housing Length		* "B" (Ref) End Suspensions		"C" Mid Suspension		"C1" Mid Suspension		"C2" Mid Suspension		"C3" Mid Suspension		"D" Feed Location	
	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM	Feet/Inch	MM
01 (1 ft)	1 - 3/16	313	0 1 3/8	41	0 9 1/8	231	N/A		N/A		N/A		0 4 1/8	105
02 (2 ft)	2 1/4	616	0 1 3/8	41	1 9	534	N/A		N/A		N/A		0 4 1/8	105
03 (3 ft)	3 1/16	923	0 6 1/8	156	2 1/8	612	N/A		N/A		N/A		0 2 1/8	54
04 (4 ft)	3 11 1/16	1205	0 6 1/8	156	2 11 3/16	894	N/A		N/A		N/A		0 2 1/8	54
05 (5 ft)	4 11 1/16	1510	0 - 6 1/8	156	3 11 1/16	1199	N/A		N/A		N/A		0 2 1/8	54
06 (6 ft)	5 11 1/16	1815	0 6 1/8	156	3	914	1 11 1/16	590	N/A		N/A		0 2 1/8	54
07 (7 ft)	6 11 1/16	2119	0 6 1/8	156	3	914	2 11 1/16	894	N/A		N/A		0 2 1/8	54
08 (8 ft)	7 11 1/16	2424	0 6 1/8	156	3	914	3 11 1/16	1199	N/A		N/A		0 2 1/8	54
09 (9 ft)	8 11 1/16	2729	0 6 1/8	156	3	914	3	914	1 11 1/16	590	N/A		0 2 1/8	54
10 (10 ft)	9 11 1/16	3034	0 6 1/8	156	3	914	3	914	2 11 1/16	894	N/A		0 2 1/8	54
11 (11 ft)	10 11 1/16	3338	0 6 1/8	156	3	914	3	914	3 11 1/16	1199	N/A		0 2 1/8	54
12 (12 ft)	11 11 1/16	3643	0 6 1/8	156	3	914	3	914	3	914	1 11 1/16	590	0 2 1/8	54

*Dimension(s) rounded to the nearest 1/16 with a ± 1/16 (1mm) tolerance

Surface Mount (F)



- 1 Ø3/16 Mounting hole drilled at the factory (mounting hardware to code by others)
- 2 1/4 20 sealing washer (supplied by Selux, installed by others)

*Please note Fixture does not cover a 4x4 J-box

Drivers:

0-10V linear dimming (DIM)

Luminaires supplied with drivers offering the capability of either normal switched operation or 0-10V dimming for linear dimming curve. Fixtures ship wired for dimming. For on/off functionality, simply cap the dimming leads. Minimum dimming level preset at factory to 1%. (Due to size constraints, 1' luminaires are supplied with a driver from a different manufacturer than 2' and above luminaires. For details, please consult factory.)

eldoLED SOLOdrive 0-10V linear dimming (DM)

Luminaires supplied with SOLOdrive 0-10V dimming driver for linear dimming curve. Minimum dimming level preset at factory to 1%. For "dim to dark" (down to 0%), please consult factory.

eldoLED SOLOdrive 0-10V logarithmic dimming (DML)

Luminaires supplied with SOLOdrive 0-10V dimming driver for logarithmic dimming curve. Minimum dimming level preset at factory to 1%. For "dim to dark" (down to 0%), please consult factory.

eldoLED SOLOdrive DALI dimming (DMD)

Luminaires supplied with SOLOdrive DALI dimming driver for logarithmic dimming curve. Minimum dimming level preset at factory to 1%. For "dim to dark" (down to 0%), please consult factory.

*For control recommendations for eldoLED drivers, please consult eldoLED.

LUTRON 2-wire dimming (DC2)

Luminaires supplied with Hi-lume 2-wire dimming driver (120V only) programmed for Constant Current Reduction (CCR). For Pulse Width Modulation (PWM) dimming, please consult factory. Minimum dimming level down to 1%.

LUTRON Ecosystem dimming (DE1)

Luminaires supplied with Hi Lume EcoSystem (4-wire, digital link) dimming driver programmed for Constant Current Reduction (CCR). For Pulse Width Modulation (PWM) dimming, please consult factory. Minimum dimming level down to 1% with SoftOn/FadeToBlack.

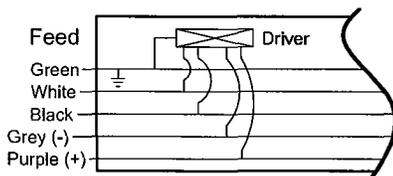
*For control recommendations and system layout for Lutron drivers, please contact Lutron.

	Driver Quantity												RUN
	1 ft	2 ft	3 ft	4 ft	5 ft	6 ft	7 ft	8 ft	9 ft	10 ft	11 ft	12 ft	
DIM	1	1	1	1	2	2	2	2	3	3	3	3	Approximately 1 driver per 4 ft
DM, DML, and DMD drivers	N/A	1	1	1	1	1	2	2	2	2	3	3	Approximately 1 driver per 4 ft
DC2 and DE1 drivers	N/A	1	1	1	2	2	2	2	3	3	3	3	Consult Factory

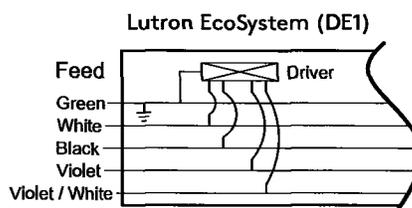
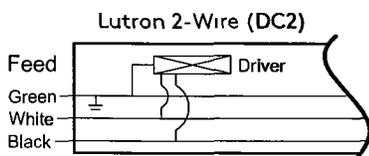
*For inrush and control current, please refer to the driver manufacturers' spec sheets.

Wiring Diagrams

- 0-10V linear (DIM)
- 0-10V linear eldoLED SOLOdrive (DM)
- 0-10V logarithmic eldoLED SOLOdrive (DML)
- DALI eldoLED SOLOdrive (DMD)
- Philips SR DALI (SR)



Standard Wiring supplied for all drivers	Green = Ground White = Neutral Black = Hot
- The following wire(s) are in addition to the standard above	
DIM, DM, DML, DMD & SR	Gray = () DALI or 0-10V Dimming Control Purple = (+) DALI or 0-10V Dimming Control
DC2	No additional wires
DE1	Violet = "E1" Digital Link Dimming Control Violet/White = "E2" Digital Link Dimming Control



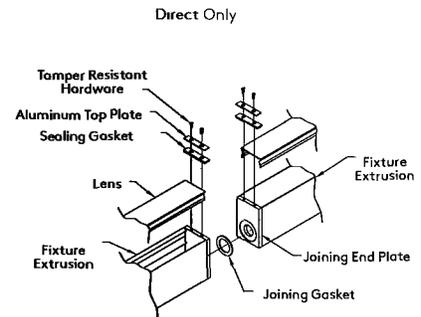
Fuse (FS) - Fusing, luminaires supplied with a in-line fuse located on the hot wire for each feed (supplied with an 8A slow burn fuse)

Separate Switching (SS) - Luminaires available with separately switched 4' (nominal) sections starting at 7' and up Luminaire is intended to be wired to the same panel/breaker (not intended for Emergency use)

- To specify this option, the number of separately switched sections and locations of these sections must be provided at time of order

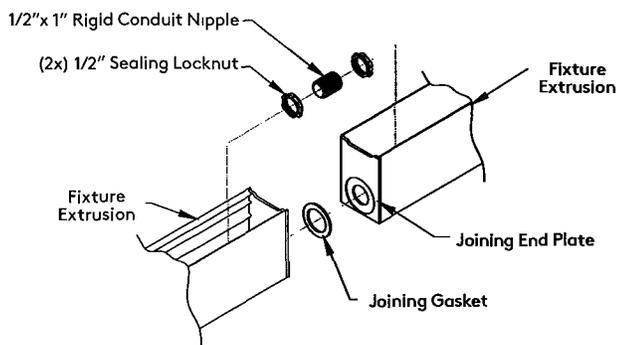
* If the project requires different separate switching than outlined above please consult the factory

Tamper Resistant (TR)



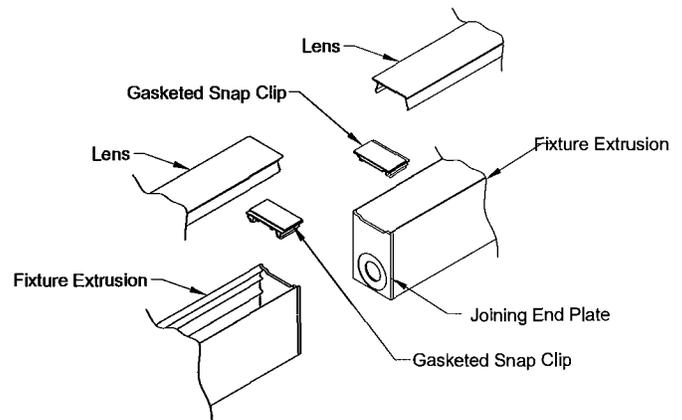
Joiner System - standard for Runs

L60W Joining Detail



Snap-In Cover and Gasket

L60W Lens and Gasketed Snap Clip Detail



Emergency Circuit (EC) - Luminaires with EC option compliant to UL 924 listed emergency luminaire EC luminaires are intended to be wired to separate panels/breakers for emergency use

- For 1' to 6' nominal luminaires, the entire fixture is wired for operation on emergency circuit

- For 7' and up nominal luminaires, the first 4' nominal length is wired for operation by a separate EM circuit by default to meet the required "Life Safety Code" (NFPA 101)

*If a different configuration is needed please consult the factory

*For EC with sensors, please consult factory

Emergency Battery (EM) Luminaires with EM option are provided with factory installed emergency battery In the event of an emergency, EM battery will illuminate a nominal 4' section at 12W (constant) for 90 minutes (250C) Recharge time of 24 hours If a different configuration is needed, please consult factory

The emergency battery pack is located integral to fixture and available in nominal 4' fixtures with DIM driver only Fixtures ≥6' available with all driver options Emergency option will illuminate the first nominal 4' section of fixture For fixtures >12' or if a different configuration is needed, please consult factory

*Emergency battery option is UNV for use with 120/277V and is not available for 347V

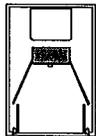
*For EM with sensors, please consult factory

M60
LED Direct
Wet Location

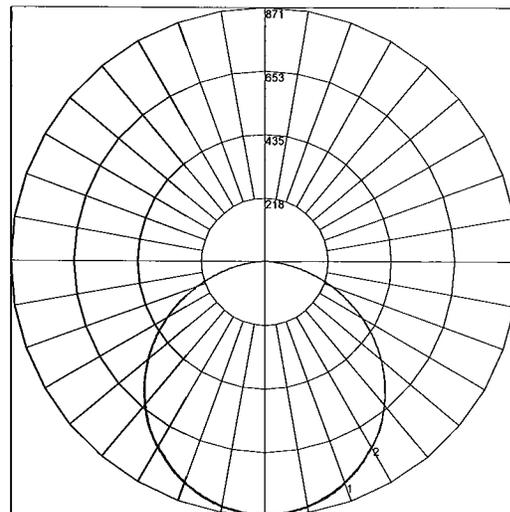
selux

Photometry

LW Optics / 34W LED / 4000K CCT

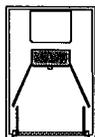


Catalog # L60 1B35 40 LW X 04 XX UNV
Report # 11685012 01
Delivered Lumens 2510
Input Watts 34 4177W
Efficacy 73
CCT 3926K
CRI 841

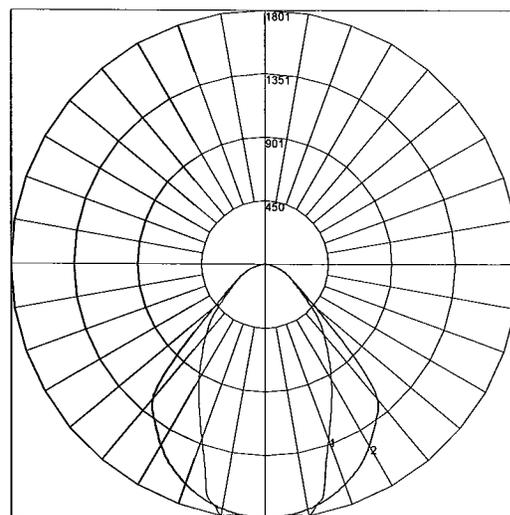


Maximum Candela 870.7 Located At Horizontal Angle = 90, Vertical Angle 5
1 Vertical Plane Through Horizontal Angles (90 270)
2 Vertical Plane Through Horizontal Angles (0 180)

MI Optics / 35W LED / 4000K CCT



Catalog # L60 1B35 40 MI X 04 XX UNV
Report # 11685012 05
Delivered Lumens 2908
Input Watts 34 3932W
Efficacy 85
CCT 3926K
CRI 841



Maximum Candela 1801 Located At Horizontal Angle 90, Vertical Angle 9.5
1 Vertical Plane Through Horizontal Angles (90 270)
2 Vertical Plane Through Horizontal Angles (0 180)

L60 LED Photometry Multiplier Table	
CCT Multiplier	
4000K	1.000
3500K	0.972
3000K	0.963
2700K	0.931

CCT and CRI multipliers apply to the photometry, IES files and per foot values listed on page one (light engine)

Light engine multiplier supplied for per foot values listed on page one (light engine)

Wall luminaires with directed light



Housing: One piece die cast aluminum supplied with universal mounting bracket for direct attachment to 3½" or 4" octagonal wiring box Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy

Enclosure: One piece die-cast aluminum cover frame secured by captive socket head, stainless steel screws threaded into stainless steel inserts Semi specular, anodized aluminum internal reflector Stippled tempered clear glass Fully gasketed for weather tight operation using a molded silicone rubber O-ring gasket

Electrical: 17.9W LED luminaire, 22.9 total system watts, -30°C start temperature Integral 120V through 277V electronic LED driver, 0-10V dimming LED module(s) are available from factory for easy replacement Standard LED color temperature is 3000K with an 90 CRI Available in 4000K (90 CRI), add suffix K4 to order

Note: LEDs supplied with luminaire Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA US For the most current technical data, please refer to www.bega-us.com

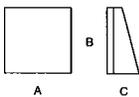
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness Available in four standard BEGA colors: Black (BLK) White (WHT) Bronze (BRZ), Silver (SLV) To specify add appropriate suffix to catalog number Custom colors supplied on special order

CSA certified to U.S. and Canadian standards suitable for wet locations Protection class IP65

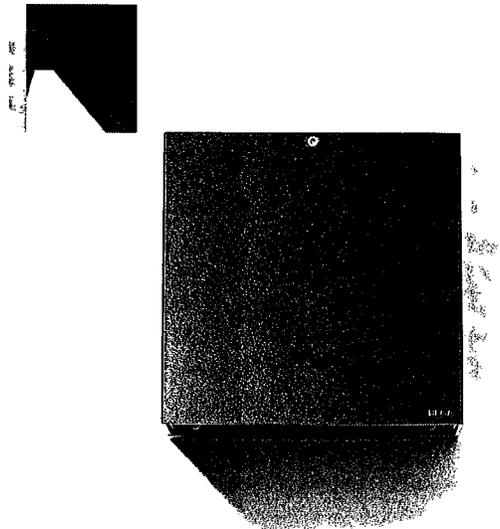
Weight: lbs

Luminaire Lumens 1893

Type
 BEGA Product
 Project
 Voltage
 Color
 Options
 Modified



	Lamp	A	B	C
33 242	ADA 17.9W LED	8	8	3¾



NOTE:

- THE WEST SYCAMORE STREET RIGHT-OF-WAY THE CITY OF FRANKLIN IS SUBJECT TO CHANGE. ANY TIME PER THE ACCOMMODATION OF A PLAN OF IMPROVEMENT ENGINEERING, THE CITY OF FRANKLIN MAY CHANGE THE RIGHT-OF-WAY LINE. THE CITY OF FRANKLIN IS NOT RESPONSIBLE FOR ANY CHANGES TO THE RIGHT-OF-WAY LINE. THE CITY OF FRANKLIN IS NOT RESPONSIBLE FOR ANY CHANGES TO THE RIGHT-OF-WAY LINE.
- THE CITY OF FRANKLIN IS NOT RESPONSIBLE FOR ANY CHANGES TO THE RIGHT-OF-WAY LINE.
- ALL NECESSARY PERMITS REQUIRED FROM THE CITY OF FRANKLIN, ILLINOIS, AND THE STATE OF ILLINOIS, MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.

SITE INFORMATION BLOCK:

PROJECT NO. 210220
 SHEET NO. C101
 DATE 02/11/2020

LEGEND (PROPOSED):

- PROPOSED IMPROVEMENTS
- EXISTING IMPROVEMENTS
- PROPOSED SIDEWALK
- PROPOSED BIKEWAY
- PROPOSED STREET LIGHTS
- PROPOSED SIGNAGE
- PROPOSED UTILITIES
- PROPOSED LANDSCAPE
- PROPOSED TREES
- PROPOSED FENCES
- PROPOSED WALLS
- PROPOSED CURBS
- PROPOSED DRIVEWAYS
- PROPOSED PAVEMENT
- PROPOSED GRADE
- PROPOSED EROSION CONTROL
- PROPOSED STORMWATER MANAGEMENT
- PROPOSED UTILITIES
- PROPOSED LANDSCAPE
- PROPOSED TREES
- PROPOSED FENCES
- PROPOSED WALLS
- PROPOSED CURBS
- PROPOSED DRIVEWAYS
- PROPOSED PAVEMENT
- PROPOSED GRADE
- PROPOSED EROSION CONTROL
- PROPOSED STORMWATER MANAGEMENT

GENERAL NOTES:

- THE PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN ARE SUBJECT TO THE CITY OF FRANKLIN'S REVIEW AND APPROVAL. THE CITY OF FRANKLIN IS NOT RESPONSIBLE FOR ANY CHANGES TO THE RIGHT-OF-WAY LINE.
- THE CITY OF FRANKLIN IS NOT RESPONSIBLE FOR ANY CHANGES TO THE RIGHT-OF-WAY LINE.
- ALL NECESSARY PERMITS REQUIRED FROM THE CITY OF FRANKLIN, ILLINOIS, AND THE STATE OF ILLINOIS, MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.

WYSER ENGINEERS

02/11/2020

CITY OF FRANKLIN REVIEW

02/11/2020

DATE

DESCRIPTION

DATE

uw Credit Union

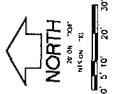
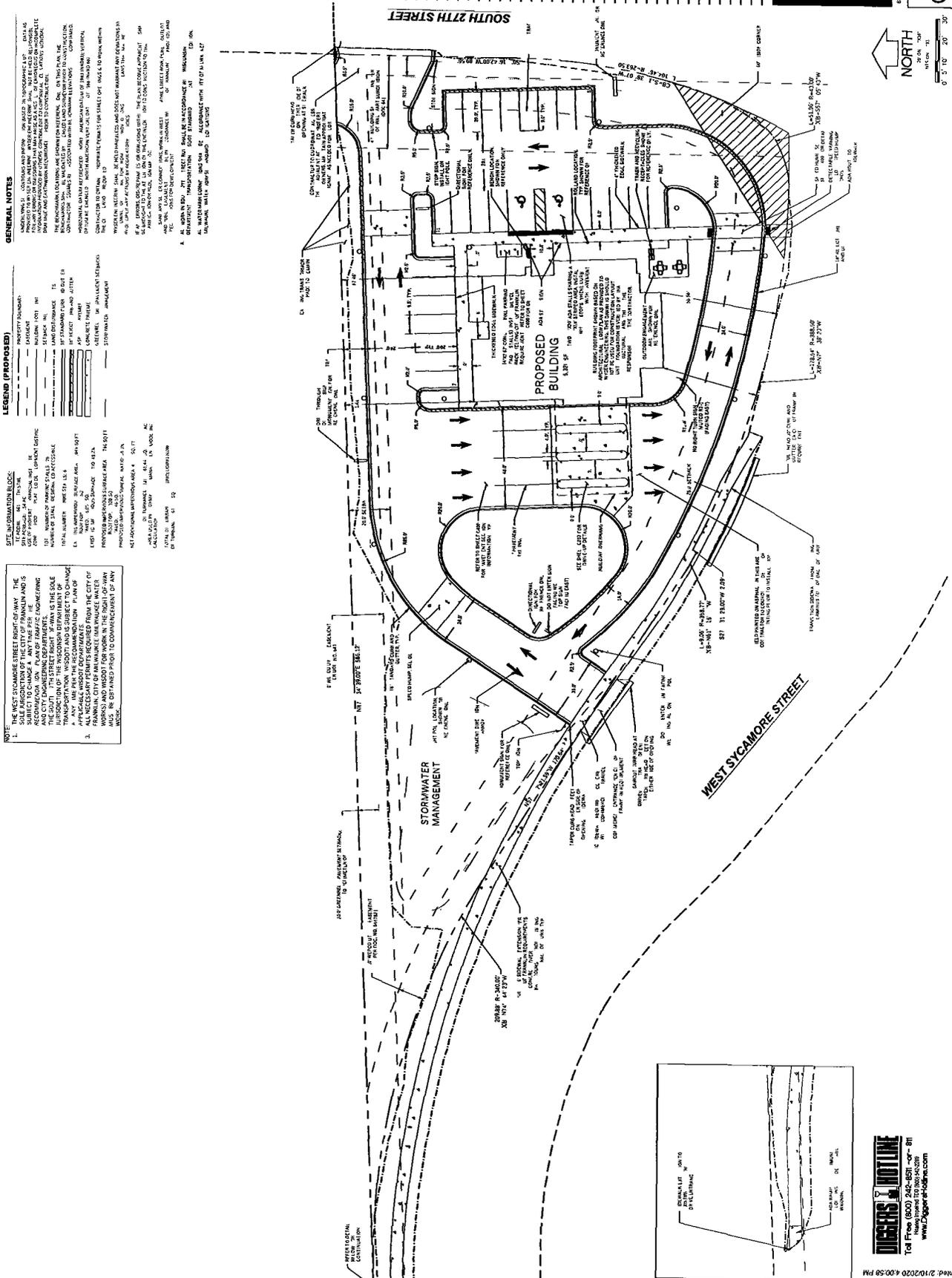
uw Credit Union
 Franklin Branch
 681 & 27th Street
 Franklin, Wisconsin 53132

KEE architecture

681 WILMINGTON ST | MADISON, WI 53703

C101

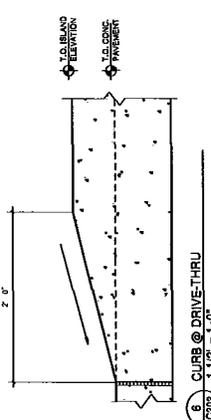
SITE PLAN



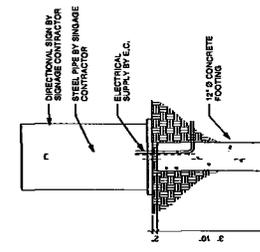
DESIGNS & DRAFTING

Toll Free: 800.368.8888
 Fax: 608.785.8888
 Email: info@designs-drafting.com
 Website: www.designs-drafting.com

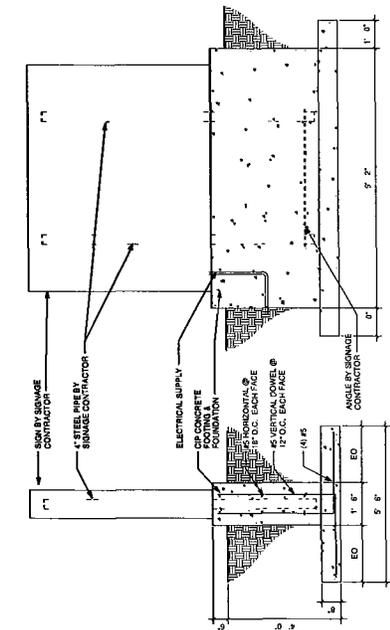
KEYNOTES	
KEY NUMBER	DESCRIPTION
1	STEEL PIPE ROLLARD WITH ROLLARD SLEEVE
2	HEAVY SEALANT
3	OTHER DIMENSIONS SHOWN TO CENTERLINE UNLESS OTHERWISE NOTED
4	CONCRETE ISLAND
5	CONCRETE ISLAND
6	CONCRETE ISLAND
7	CONCRETE ISLAND
8	CONCRETE ISLAND
9	CONCRETE ISLAND
10	CONCRETE ISLAND
11	CONCRETE ISLAND
12	CONCRETE ISLAND
13	CONCRETE ISLAND
14	CONCRETE ISLAND
15	CONCRETE ISLAND
16	CONCRETE ISLAND
17	CONCRETE ISLAND
18	CONCRETE ISLAND
19	CONCRETE ISLAND
20	CONCRETE ISLAND
21	CONCRETE ISLAND
22	CONCRETE ISLAND
23	CONCRETE ISLAND
24	CONCRETE ISLAND
25	CONCRETE ISLAND
26	CONCRETE ISLAND
27	CONCRETE ISLAND
28	CONCRETE ISLAND
29	CONCRETE ISLAND
30	CONCRETE ISLAND
31	CONCRETE ISLAND
32	CONCRETE ISLAND
33	CONCRETE ISLAND
34	CONCRETE ISLAND
35	CONCRETE ISLAND
36	CONCRETE ISLAND
37	CONCRETE ISLAND
38	CONCRETE ISLAND
39	CONCRETE ISLAND
40	CONCRETE ISLAND
41	CONCRETE ISLAND
42	CONCRETE ISLAND
43	CONCRETE ISLAND
44	CONCRETE ISLAND
45	CONCRETE ISLAND
46	CONCRETE ISLAND
47	CONCRETE ISLAND
48	CONCRETE ISLAND
49	CONCRETE ISLAND
50	CONCRETE ISLAND
51	CONCRETE ISLAND
52	CONCRETE ISLAND
53	CONCRETE ISLAND
54	CONCRETE ISLAND
55	CONCRETE ISLAND
56	CONCRETE ISLAND
57	CONCRETE ISLAND
58	CONCRETE ISLAND
59	CONCRETE ISLAND
60	CONCRETE ISLAND
61	CONCRETE ISLAND
62	CONCRETE ISLAND
63	CONCRETE ISLAND
64	CONCRETE ISLAND
65	CONCRETE ISLAND
66	CONCRETE ISLAND
67	CONCRETE ISLAND
68	CONCRETE ISLAND
69	CONCRETE ISLAND
70	CONCRETE ISLAND
71	CONCRETE ISLAND
72	CONCRETE ISLAND
73	CONCRETE ISLAND
74	CONCRETE ISLAND
75	CONCRETE ISLAND
76	CONCRETE ISLAND
77	CONCRETE ISLAND
78	CONCRETE ISLAND
79	CONCRETE ISLAND
80	CONCRETE ISLAND
81	CONCRETE ISLAND
82	CONCRETE ISLAND
83	CONCRETE ISLAND
84	CONCRETE ISLAND
85	CONCRETE ISLAND
86	CONCRETE ISLAND
87	CONCRETE ISLAND
88	CONCRETE ISLAND
89	CONCRETE ISLAND
90	CONCRETE ISLAND
91	CONCRETE ISLAND
92	CONCRETE ISLAND
93	CONCRETE ISLAND
94	CONCRETE ISLAND
95	CONCRETE ISLAND
96	CONCRETE ISLAND
97	CONCRETE ISLAND
98	CONCRETE ISLAND
99	CONCRETE ISLAND
100	CONCRETE ISLAND



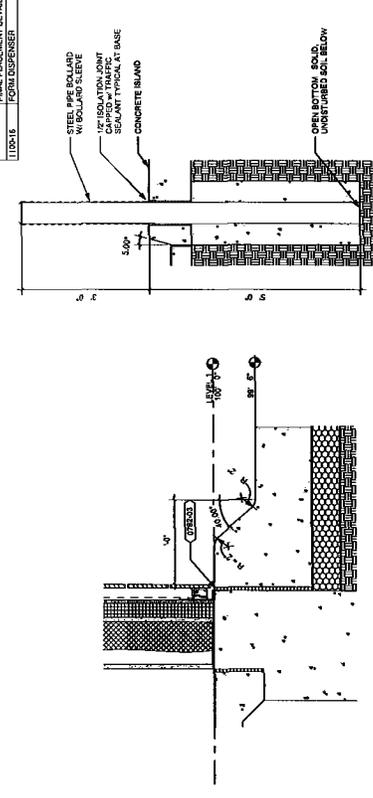
6 CURB @ DRIVE-THRU
1/2" = 1'-0"



5 SIGN BASE DIRECTIONAL SIGN
1/2" = 1'-0"

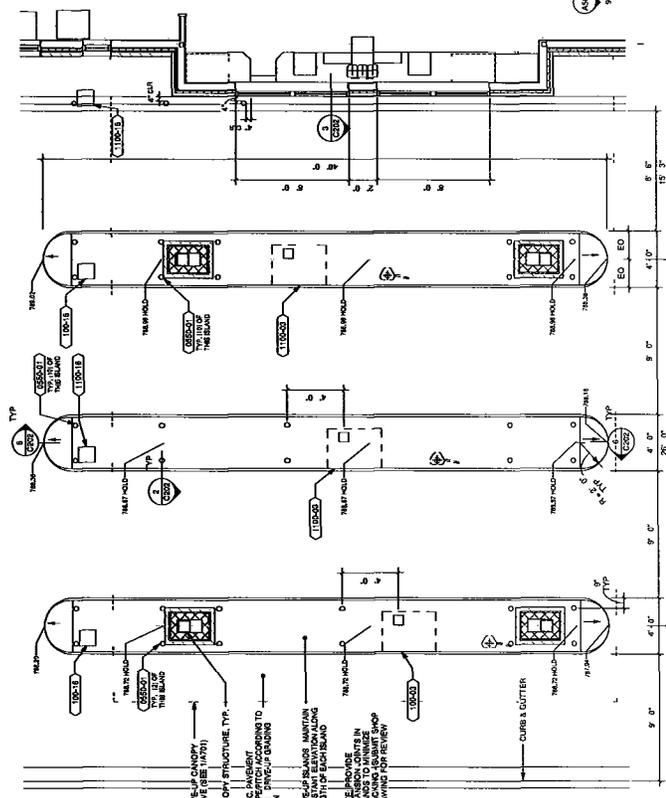


4 SIGN BASE MONUMENT SIGN
1/2" = 1'-0"



3 DRIVE-UP CURB DETAIL
1 1/2" = 1'-0"

2 DRIVE-UP ISLAND DETAIL
3/4" = 1'-0"



1 DRIVE-UP PLAN COORDINATION
1/4" = 1'-0"

CITY OF FRANKLIN REVIEW

02/11/2020

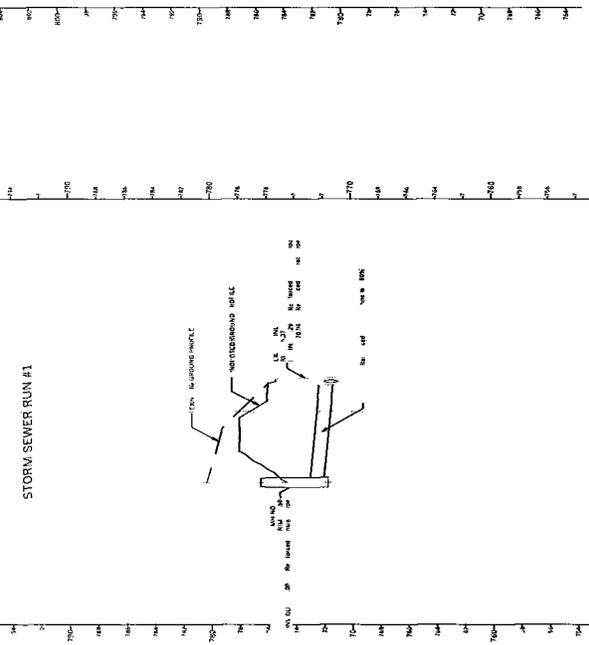
REV DESCRIPTION DATE

UW credit union
UW Credit Union
Franklin Branch
6811 S. 27th Street
Franklin, Wisconsin 53132

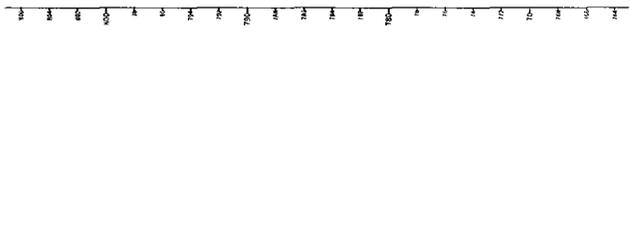
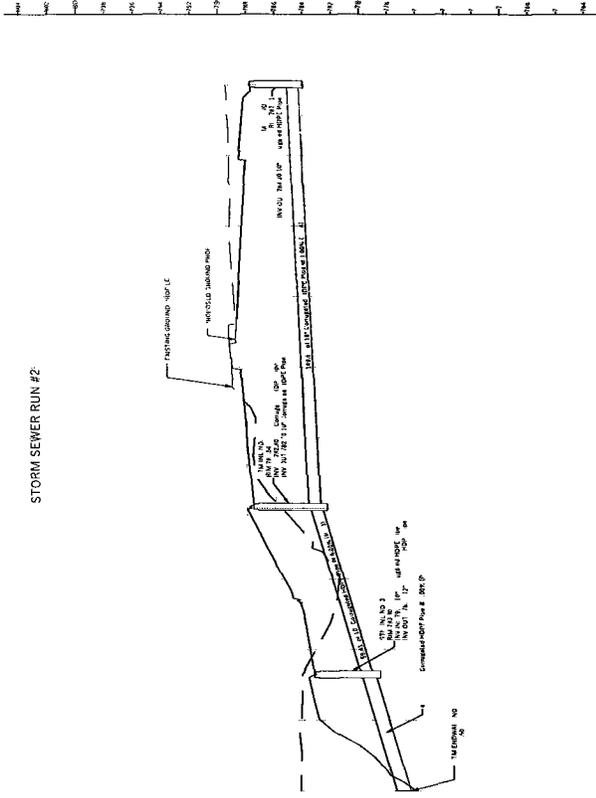
KEEP
architecture

C202
ENLARGED DRIVE-UP PLAN AND DETAILS

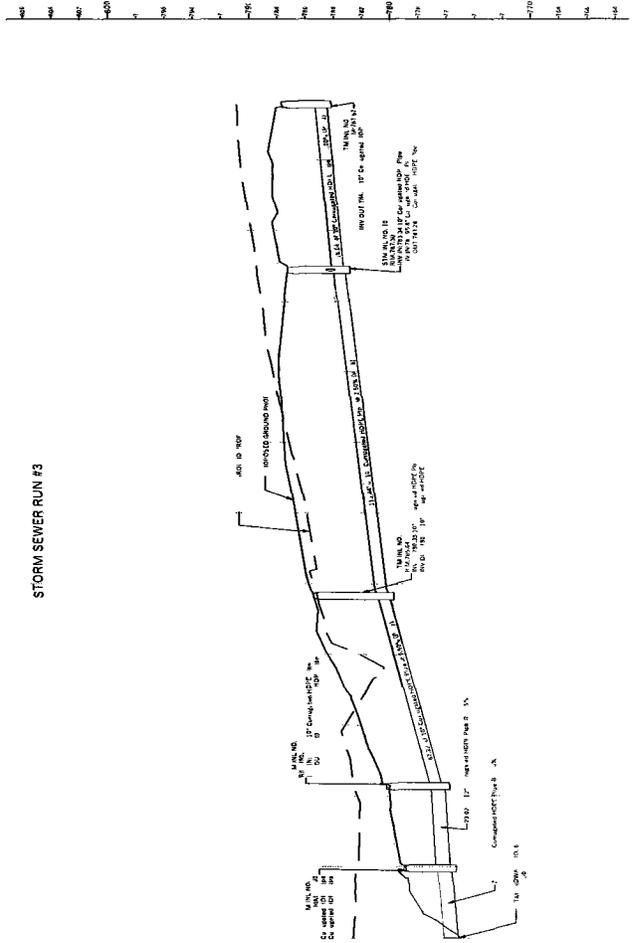
STORM SEWER RUN #1



STORM SEWER RUN #2



STORM SEWER RUN #3



CITY OF FRANKLIN REVIEW

02/11/2020

REV	DESCRIPTION	DATE



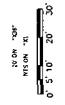
uw Credit Union
Franklin Branch



621 MILLIMON ST | MIDDLETOWN MA 01870

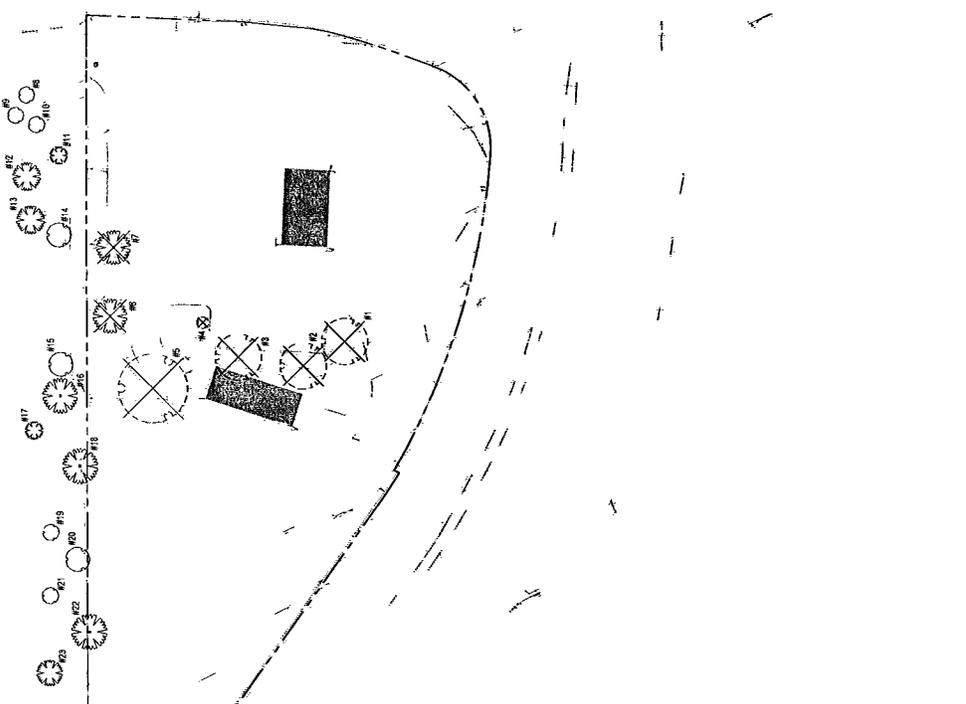
C301

UTILITY PLAN - STORM SEWER PROFILES



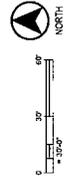
LEGEND

- DECIDUOUS TREE TO BE REMOVED
- DECIDUOUS TREE TO REMAIN
- EVERGREEN TREE TO BE REMOVED
- EVERGREEN TREE TO REMAIN

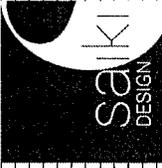


LWCU - Franklin Branch
Tree Disposition Schedule
Survey Date November 4, 2019

Item	Botanical Name	Common Name	Disposition	Size
1	<i>Tilia sp.</i>	Linden	remove	20' cal.
2	<i>Gleditsia triacanthos</i>	Honeylocust	remove	12' cal.
3	<i>Gleditsia triacanthos</i>	Honeylocust	remove	12' cal.
4	<i>Prunus virginiana</i>	Cherry	remove	clump, 3' trunks
5	<i>Gleditsia triacanthos</i>	Honeylocust	remove	18" cal.
6	<i>Pinus sp.</i>	Pine	remove	12' cal.
7	<i>Pinus sp.</i>	Pine	remove	10" cal.
8	<i>Crataegus phaenopynum</i>	Washington Hawthorn	remain	4' cal.
9	<i>Crataegus phaenopynum</i>	Washington Hawthorn	remain	4' cal.
10	<i>Crataegus phaenopynum</i>	Washington Hawthorn	remain	4' cal.
11	<i>Picea glauca</i>	White Spruce	remain	5' cal.
12	<i>Picea glauca</i>	White Spruce	remain	8' cal.
13	<i>Picea glauca</i>	White Spruce	remain	8' cal.
14	<i>Quercus rubra</i>	Red Oak	remain	6' cal.
15	<i>Quercus rubra</i>	Red Oak	remain	6' cal.
16	<i>Pinus sp.</i>	Pine	remain	12' cal.
17	<i>Pinus sp.</i>	Pine	remain	4' cal.
18	<i>Pinus sp.</i>	Pine	remain	10' cal.
19	<i>Acer sp.</i>	Maple	remain	4' cal.
20	<i>Acer sp.</i>	Maple	remain	6' cal.
21	<i>Acer sp.</i>	Maple	remain	4' cal.
22	<i>Picea sp.</i>	Spruce	remain	9' cal.
23	<i>Picea sp.</i>	Spruce	remain	6' cal.
24	<i>Prunus serotina</i>	Black Cherry	remain	6' cal.
25	<i>Prunus serotina</i>	Black Cherry	remain	6' cal.
26	<i>Betula nigra</i>	River Birch	remain	clump, 3' trunks
27	<i>Betula nigra</i>	River Birch	remain	clump, 4' trunks
28	<i>Betula nigra</i>	River Birch	remain	4' cal.
29	<i>Crataegus sp.</i>	Hawthorn	remove	clump, 10'
30	<i>Picea sp.</i>	Spruce	remain	6' cal.
31	<i>Picea sp.</i>	Spruce	remain	6' cal.
32	<i>Picea sp.</i>	Spruce	remain	6' cal.
33	<i>Pinus sp.</i>	Crabapple	remain	6' cal.
34	<i>Pinus sp.</i>	Crabapple	remain	6' cal.
35	<i>Pinus sp.</i>	Crabapple	remain	6' cal.



1 Existing Landscape Plan
SCALE 3/4" = 1'-0"



CITY OF FRANKLIN REVIEW

02/17/2020

REV DESCRIPTION DATE
SPECIAL USE APPLICATION 1 02/19



UW Credit Union
Franklin Branch

6611 S. 27th Street
Franklin, Wisconsin 53132

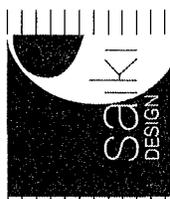
ZONE



621 WILLIAMSON ST. | MADISON WI 53703

L100

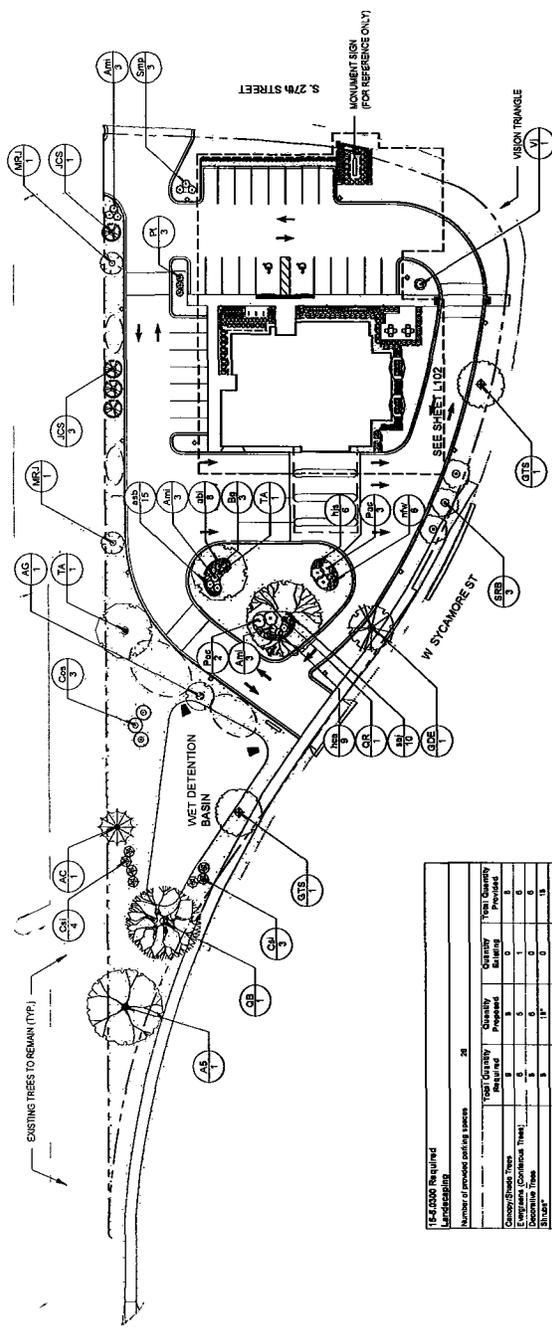
EXISTING LANDSCAPE PLAN



CITY OF FRANKLIN REVIEW
09/17/2020

REV DESCRIPTION DATE
SPECIAL USE APPLICATION 9/20/21

- LEGEND**
- MOWED TURF SOD
 - MOWED TURF SEED
 - HARDWOOD BARK MULCH
 - DECORATIVE STONE MULCH
 - ALUMINUM EDGING
 - LANDSCAPE BOULDER, TYP
 - SITE LIGHTING (SEE ELECTRICAL PLANS)
 - SNOW STORAGE AREA

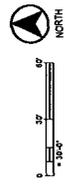


164,000 Required Landscaping

Number of proposed parking spaces: 28

Group/Species/Tree	Total Quantity	Quantity	Quantity	Total Quantity
Emphatic/Companion Tree	Planting	Planting	Planting	Planting
Emphatic Tree	5	5	1	6
Companion Tree	5	5	0	5
Planting	5	15	0	15

*Only include the most intensive planting height requirement as included in the schedule. See General Notes for details on planting height, trunk caliper, and planting location.



Overall Landscape Plan and Landscape Worksheet
SCALE: 1" = 30'-0"

PLANT SCHEDULE

CODE	BOTANICAL COMMON NAME	CONT.	SIZE
AS	Aster multiflorus / Sugar Maple	8.8.8	2'0" x 2'0"
OTS	Quercus imbricaria / Shademaster TM / Shademaster Honeylocust	8.8.8	2'0" x 2'0"
ODE	Gymnocladia dioica / Express - Express Weeping Callery	8.8.8	2'0" x 2'0"
CB	Quercus bicolor / Swamp White Oak	8.8.8	2'0" x 2'0"
OR	Quercus rubra / Red Oak	8.8.8	2'0" x 2'0"
TA	Tilia americana / American Linden	8.8.8	2'0" x 2'0"
CODE <th>BOTANICAL COMMON NAME</th> <th>CONT.</th> <th>SIZE</th>	BOTANICAL COMMON NAME	CONT.	SIZE
AC	Aster multiflorus / Sugar Maple	8.8.8	1'5" x 1'5"
HRJ	Hamamelis virginica / Witch Ham	8.8.8	1'5" x 1'5"
SRB	Syringa reticulata / Snowflake Tree Lilac	8.8.8	2'0" x 2'0"
CODE <th>BOTANICAL COMMON NAME</th> <th>CONT.</th> <th>SIZE</th>	BOTANICAL COMMON NAME	CONT.	SIZE
AC	Aster multiflorus / Sugar Maple	8.8.8	6" FT (H/L)
JCS	Juncus communis / J.K. Select-Bark / Star Power Juniper	8.8.8	5" FT (H/L)

DECADECUS SHRUBS	CODE	BOTANICAL COMMON NAME	SIZE	DECADECUS PERENNIALS	CODE	BOTANICAL COMMON NAME	SIZE	
○	Am	Aster multiflorus / Low Spine / Low Spine / Low Spine	5" gal	○	Am	Aster multiflorus / Summer Beauty	Summer Beauty / 4" gal	
○	Am	Aster multiflorus / Iron TM / Iron Beauty / Black Chokeberry	5" gal	○	Am	Aster multiflorus / Black Ice / Black Ice / Black Ice	5" gal	
○	Ch	Cornus alternifolia / Sweet A / Dark Green / European	5" gal	○	Am	Aster multiflorus / Chicago Beauty / Dolly	5" gal	
○	Ch	Cornus alternifolia / Iron / Iron / Redstar / Dogwood	5" gal	○	Am	Aster multiflorus / Jean Sevier / Jean Sevier / White Dolly	5" gal	
○	Ph	Physocarpus opulifolius / Silver Creek / Overwinter	3" gal	○	Am	Aster multiflorus / William Law / William Law / Cream	4" gal	
○	Hb	Hydrangea paniculata / Bobo / Hydrangea	3" gal	○	Am	Aster multiflorus / Little Spire / Little Spire / Russian Spire	5" gal	
○	Ph	Physocarpus opulifolius / Coral Glow / Coral Glow / Wainwright	5" gal	○	Am	Aster multiflorus / Mark's Little Spire / Conifer	5" gal	
○	Ph	Physocarpus opulifolius / Little Dots / Overwinter	3" gal	○	Am	Aster multiflorus / Autumn Joy / Autumn Joy / Seaton	5" gal	
○	Smp	Syringa vulgaris / Palom / Magna Lilac	3" gal	○	Am	Aster multiflorus / Autumn Joy / Autumn Joy / Seaton	5" gal	
○	V	Viburnum cedricum / J.K. Select-A / Snowflake / Snowflake / Snowflake	8.8.8	3" ft	○	Am	Aster multiflorus / Autumn Joy / Autumn Joy / Seaton	5" gal
○	Bg	Buxus sempervirens / Green Mound / Green Mound / Green Mound	3" gal	○	Am	Aster multiflorus / Autumn Joy / Autumn Joy / Seaton	5" gal	
○	Tb	Thuja occidentalis / Bobae / Hb. Snowflake / Bobae	5" gal	○	Am	Aster multiflorus / Autumn Joy / Autumn Joy / Seaton	5" gal	

Overall Plant List
SCALE: 1" = 30'-0"

LEGEND

- MOWED TURF SOD
- MOWED TURF SEED
- HARDWOOD BARK MULCH
- DECORATIVE STONE MULCH
- ALUMINUM EDGING
- LANDSCAPE BOULDER, TYP
- SITE LIGHTING (SEE ELECTRICAL PLANS)
- SNOW STORAGE AREA

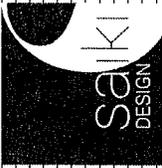
UW credit union
UW Credit Union
Franklin Branch
6611 E. 27th Street
Franklin, Wisconsin 53122

KEEF architecture
671 WILLIAMSON ST | MADISON WI 53703

L101
OVERALL LANDSCAPE PLAN

NOTES:
ALL NUMBER STOCK TO BE GUARANTEED FOR A PERIOD OF TWO YEARS FROM TIME OF LANDSCAPE COMPLETION.
CONTRACTOR TO INSTALL PERMANENT PERISHION OF TURF AREAS AND LANDSCAPE PLANTING BEDS.

PHN 608 278 1162 1/6/2019 11:17:43 AM



CITY OF FRANKLIN IN REVIEW
09/11/2020

REV DESCRIPTION DATE
SPECIAL USE APPLICATION //10/2019



UW Credit Union
Franklin Branch

5611 S. 27th Street
Franklin, Wisconsin 53122

LDJ:RE

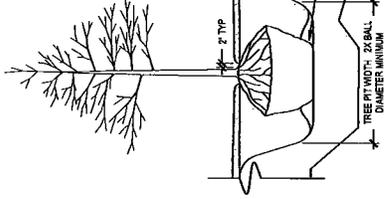


631 WILMAMSON ST | JACKSON, WI 53120

L102

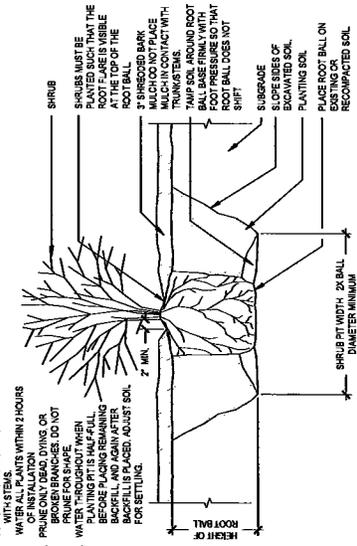
LANDSCAPE
ENGAGEMENT

NOTES:
1. PLANT EACH TREE SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE ROOT FLARE.
2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLES MUST BE NO DEEPER THAN THE ROOT BALL.
3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE THE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ALL PLANTS.
4. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. WATER ALL PLANTS WITHIN 2 HOURS OF PLANTING.
6. PRUNE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE.
7. WATER PLANTS THROUGHLY AFTER PLANTING. PLANTING PIT SHOULD BE WATERED THROUGHLY AFTER BACKFILL IS PLACED. ADJUST SOIL FOR SETTLING.
8. PLANTING HOLES SHOULD BE 2" DEEPER TO OUTER EDGE OF PLANTING HOLES.

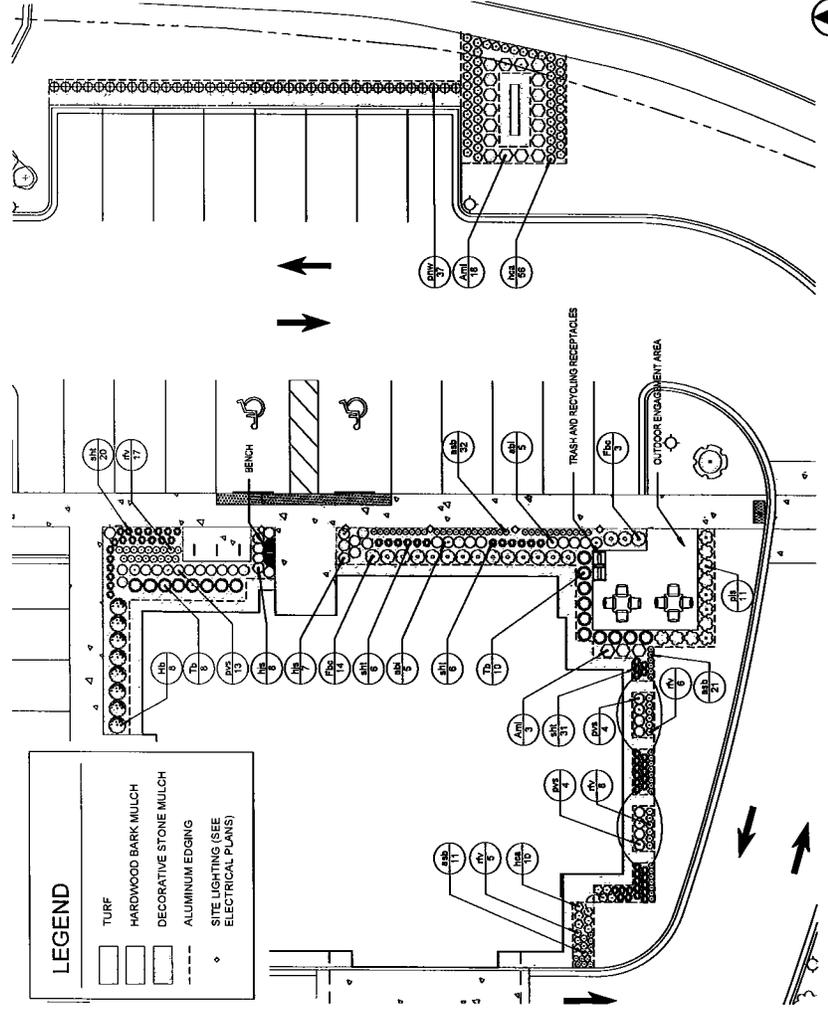


4 Tree Planting Detail
SCALE: NTS

1. FOR TREES, 1.5 BALL ON CONTAINERS. MAKE 1 TO 2 FEET VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING. AT THE TOP OF THE ROOT BALL, DO NOT COVER THE TOP OF THE ROOT FLARE WITH SOIL.
2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT FLARE WITH SOIL.
3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
4. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
5. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
6. WATER PLANTS THROUGHLY AFTER PLANTING. PLANTING PIT SHOULD BE WATERED THROUGHLY AFTER BACKFILL IS PLACED. ADJUST SOIL FOR SETTLING.
7. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
8. PRUNE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE.
9. WATER PLANTS THROUGHLY AFTER PLANTING. PLANTING PIT SHOULD BE WATERED THROUGHLY AFTER BACKFILL IS PLACED. ADJUST SOIL FOR SETTLING.



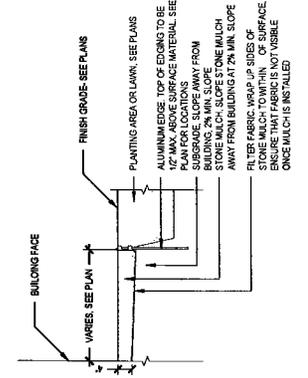
5 Container Planting Detail
SCALE: NTS



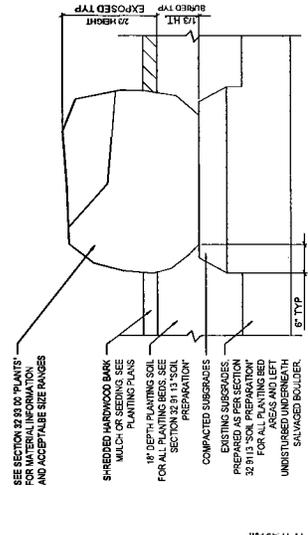
1 Foundation & Sign Planting Engagement
SCALE: 1" = 16'-0"

LEGEND

[Symbol]	TURF
[Symbol]	HARDWOOD BARK MULCH
[Symbol]	DECORATIVE STONE MULCH
[Symbol]	ALUMINUM EDGING
[Symbol]	SITE LIGHTING (SEE ELECTRICAL PLANS)



3 Stone Mulch Maintenance Strip Detail
SCALE: NTS

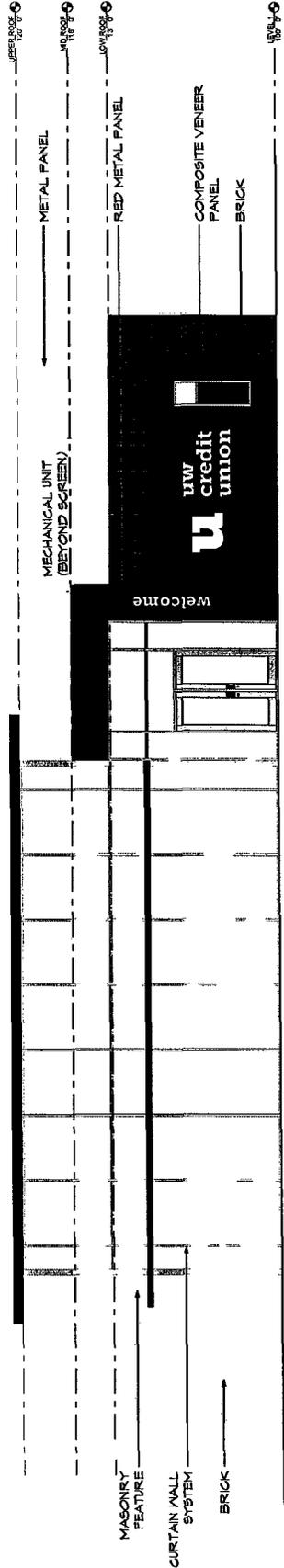


2 Landscape Boulder Detail
SCALE: NTS

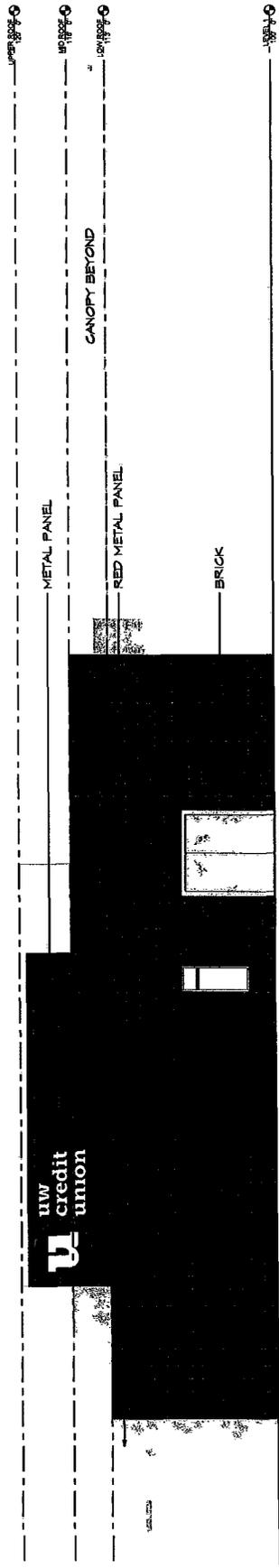
CITY OF FRANKLIN
REVIEW

02/11/2020

REV. DESCRIPTION DATE



1 EAST
1/4" = 1'-0"



2 NORTH
1/4" = 1'-0"

UW Credit Union
 UW Credit Union
 Franklin Branch
 641 S 27th Street
 Franklin, Wisconsin 53132

2018E



6211 WILLOWSON ST | MADISON WI 53703

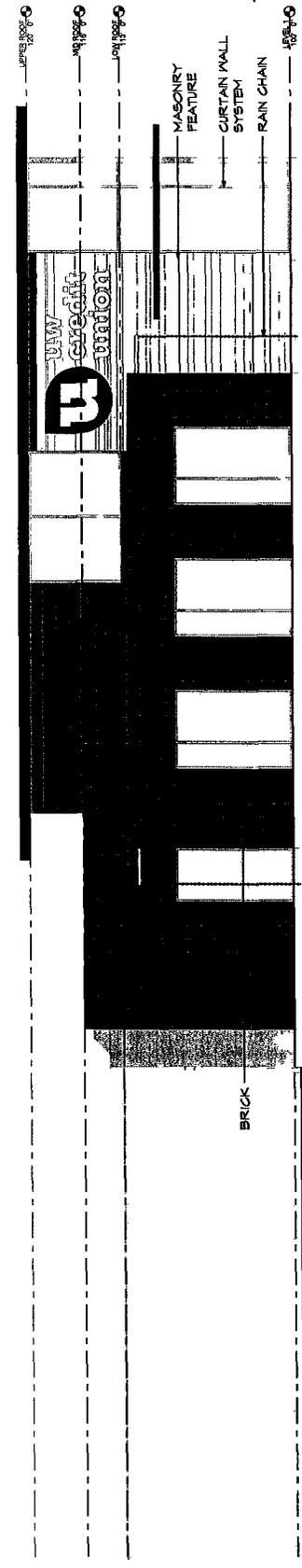
A301 BUILDING ELEVATIONS

SIGNAGE IS CONCEPTUAL. SUBJECT TO SEPARATE APPLICATION AND REVIEW

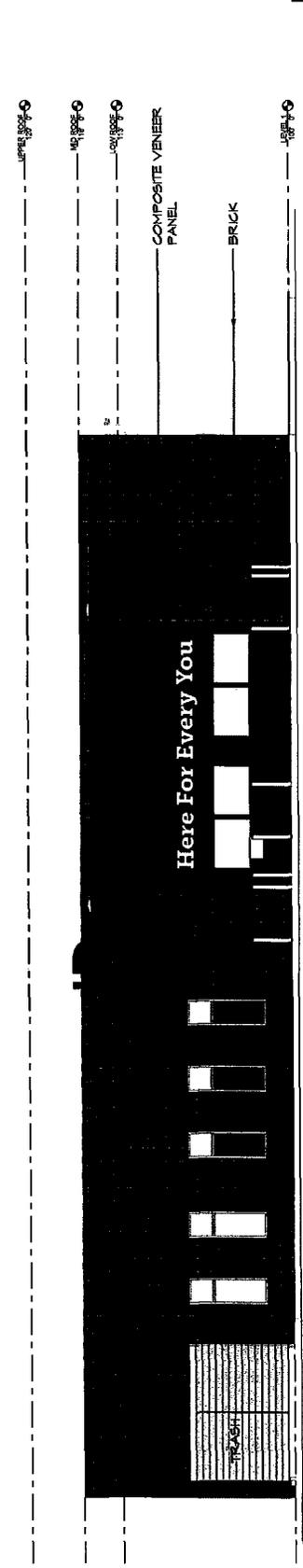
CITY OF FRANKLIN
REVIEW

02/11/2020

REF. DESCRIPTION DATE



1 SOUTH
A302 1/4" = 1'-0"



2 WEST
A302 1/4" = 1'-0"

SIGNAGE IS CONCEPTUAL SUBJECT TO SEPARATE APPLICATION AND REVIEW

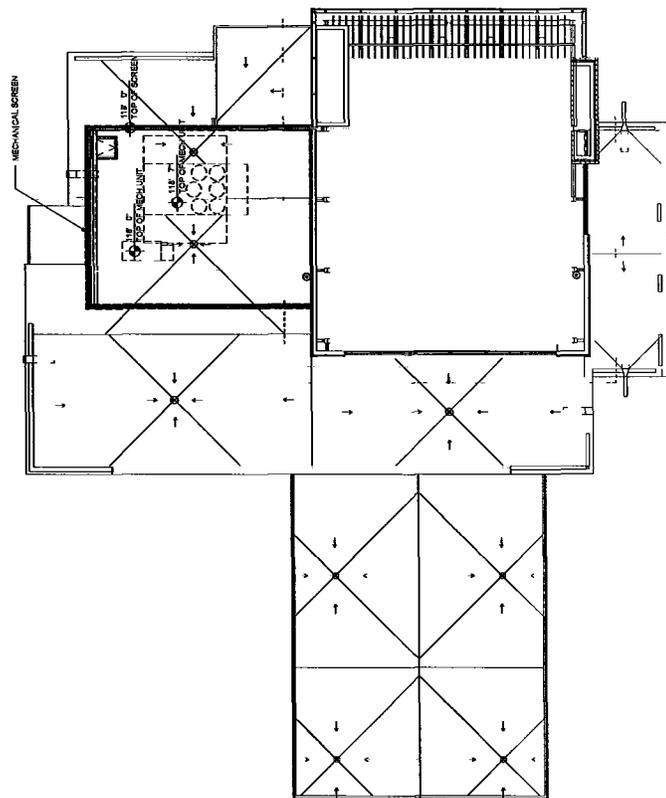
UW credit union
UW Credit Union
Franklin Branch
9811 S 27th Street
Franklin, Wisconsin 53132



621 WILLOWSON ST | MADISON, WI 53702

A302

BUILDING ELEVATIONS



1 ROOF MECHANICAL PLAN
 (M100) 1/8" = 1'-0"

REV.	DESCRIPTION	DATE

CITY OF FRANKLIN REVIEW

02/11/2020

UW credit union
 UW Credit Union
 Franklin Branch
 601 S. 27th Street
 Franklin, Wisconsin 53132



621 WILKINSON ST | MADISON, WI 53703

M100 MECHANICAL PLAN

BLANK PAGE