

CITY OF FRANKLIN  
PLAN COMMISSION MEETING\*  
FRANKLIN CITY HALL COUNCIL CHAMBERS  
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN  
AGENDA  
THURSDAY, JULY 9, 2020, 7:00 P.M.

The Facebook page for the Economic Development Commission  
<https://www.facebook.com/forwardfranklin/> will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of June 18, 2020.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **TORBENSON SHOWS LLC HOLIDAY CRAFT AND GIFT EXPO AT THE MILWAUKEE COUNTY SPORTS COMPLEX.** Temporary Use application by James C. Torbenson/Torbenson Shows LLC, for a holiday craft and gift expo at the Milwaukee County Sports Complex located at 6000 West Ryan Road, on Friday, November 27, 2020, from 9:00 a.m. to 5:00 p.m., and Saturday, November 28, 2020 from 9:00 a.m. to 5:00 p.m., on property zoned P-1 Park District, FC Floodplain Conservancy District and FW Floodway District; Tax Key Nos. 852-9999-001 and 882-9987-001.
2. **POLISH CENTER OF WISCONSIN PARKING LOT EXPANSION AND CREATION PROJECT TIME EXTENSION.** Unified Development Ordinance §15-3.0433 Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) Minor Amendment and Site Plan Amendment applications by Polish Heritage Alliance, Inc., applicant/property owner, for amendments to the minor Planned Development District Amendment and Site Plan to allow for a two year extension of time to complete the project (expansion of the easterly parking lot and creation of a southwest parking lot for the Polish Community Center) [the Planned Development District No. 28 Amendment was previously approved on June 4, 2019, by Ordinance No. 2019-2378, and the Site Plan Amendment was previously approved on May 23, 2019, by Resolution No. 2019-011, property located at 6941 South 68th Street, zoned Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) and FW Floodway District; Tax Key No. 743-8978-004.

3. **PLEASANT VIEW ELEMENTARY SCHOOL BUILDING ADDITION, NEW ENTRANCEWAY CONSTRUCTION AND ASSOCIATED SITE RENOVATIONS.** Site Plan Amendment application by Franklin Public Schools to allow for construction of a school building addition for Pleasant View Elementary School, a new main entranceway towards the west of the north façade (prior main entrance was located towards the east on the north façade), landscaped areas around the new entrance, a relocated light post, a relocated flagpole, and restriping of part of the parking lot, including dedicated pedestrian striping, relocation of one Americans with Disabilities Act accessible parking space towards the new main entrance and a new canopy over the entranceway to the gym (west façade), upon property zoned I-1 Institutional District, located at 4601 West Marquette Avenue; Tax Key No. 788-9980-000.

E. Adjournment

\*Supporting documentation and details of these agenda items are available in the Plan Commission Meeting Packet on the City of Franklin website [www.franklinwi.gov](http://www.franklinwi.gov).

\*\*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: July 23, 2020

**City of Franklin  
Plan Commission Meeting  
June 18, 2020  
Minutes**

unapproved

**A. Call to Order and Roll Call**

Mayor Steve Olson called the June 18, 2020 regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patrick Leon, Patricia Hogan, Adam Burchardt and Kevin Haley, Alderman Mark Dandrea and City Engineer Glen Morrow. Also present were Assistant Planner Marion Ecks and City Attorney Jesse Wesolowski.

**B. Approval of Minutes**

1. Regular Meeting of June 4, 2020. Commissioner Hogan moved and Alderman Dandrea seconded approval of the June 4, 2020 regular meeting minutes. On voice vote, all voted 'aye'. Motion carried (6-0-0).

**C. Public Hearing Business Matters**

1. **ENTERPRISE RENT-A-CAR AUTOMOBILE RENTAL BUSINESS INSIDE OF EWALD TRUCK CENTER.** Special Use and Site Plan applications by Enterprise Rent-A-Car Company of Wisconsin, LLC (CBDT 6321 Real Estate, LLC, property owner), to allow for an 832 square foot area of office space inside of the Ewald Truck Center (the space was previously occupied by Mayfair Rent-A-Car, which Enterprise Holdings acquired in 2018) for automobile rentals to customers of collision centers, dealerships and business travelers to local retail customers having their vehicles serviced in the area (1-25 vehicles on site at a time), with hours of operation Monday through Friday from 7:30 a.m. to 5:00 p.m. and Saturdays from 9:00 a.m. to 12:00 noon; the Site Plan includes updating the interior office space with a demising wall to separate the Truck Center and the Enterprise Rent-A-Car office space, and addition of a manager's office, property located at 6321 South 108th Street, zoned M-1 Limited Industrial District

Assistant Planner Marion Ecks presented the request by Enterprise Rent-A-Car Company of Wisconsin, LLC (CBDT 6321 Real Estate, LLC, property owner), to allow for an 832 square foot area of office space inside of the Ewald Truck Center (the space was previously occupied by Mayfair Rent-A-Car, which Enterprise Holdings acquired in 2018) for automobile rentals to customers of collision centers, dealerships and business travelers to local retail customers having their vehicles serviced in the area (1-25 vehicles on site at a time), with hours of operation Monday through Friday from 7:30 a.m. to 5:00 p.m. and Saturdays from 9:00 a.m. to 12:00 noon; the Site Plan includes updating the interior office space with a demising wall to separate the Truck Center and the Enterprise Rent-A-Car office space, and addition of a manager's office, property located at 6321 South 108th Street, zoned M-1 Limited Industrial District and C-1 Conservancy District; Tax Key No. 704-9973-000.

**Special Use (continued from May 21, 2020 Plan Commission meeting)**

Alderman Dandrea moved and Commissioner Leon seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use to allow for Enterprise Rent-a-Car office space within Ewald Truck Center for an automobile rentals use upon property located at 6321 South 108th Street. On voice vote, all voted 'aye'. Motion carried (6-0-0).

and C-1 Conservancy District; Tax Key No. 704-9973-000.

**Site Plan (continued from May 21, 20202 Plan Commission meeting)**

Alderman Dandrea moved and Commissioner Leon seconded a motion to approve a Resolution approving a Site Plan for interior office space remodeling, and exterior parking lot changes to the Ewald Truck Center, for Enterprise Rent-a-Car Automobile Rentals (6321 South 108th Street). On voice vote, all voted 'aye'. Motion carried (6-0-0).

**D. Business Matters**

**1. ASKREN WRESTLING ACADEMY: CONVERSION OF AN EXISTING CUSTOM AUTO BODY AND PAINT SHOP TO A WRESTLING ACADEMY**

**GYMNASIUM.** Special Use and Site Plan applications by Benjamin M. Askren, Askren Wrestling Academy, LLC (Askren Properties, LLC, property owner) to allow for a wrestling gymnasium and instruction use (in an existing custom auto body and paint shop building which will be converted into an Askren Wrestling Academy gymnasium), property located at 9760 South 60th Street, and a Site Plan to allow for interior building alterations to the space, including adding two Americans with Disabilities Act restrooms, a small office and finish improvements, and minor exterior site modifications, including parking lot restriping (to include 16 parking spaces, including one Americans with Disabilities Act accessible space) and addition of wheel stops, property zoned M- 1 Limited Industrial District; Tax Key No. 899-9993-004. [THE SPECIAL USE PUBLIC HEARING WAS OPENED AND CLOSED AT THE APRIL 9, 2020 MEETING AND THE SUBJECT MATTER FOR BOTH THE SPECIAL USE AND THE SITE PLAN WERE PUT OVER TO THE MAY 7, 2020 PLAN COMMISSION MEETING, WHEREIN THE PLAN COMMISSION VOTED TO REFER THE SPECIAL USE AND SITE PLAN TO THE ECONOMIC

Assistant Planner Marion Ecks presented the request by Benjamin M. Askren, Askren Wrestling Academy, LLC (Askren Properties, LLC, property owner) to allow for a wrestling gymnasium and instruction use (in an existing custom auto body and paint shop building which will be converted into an Askren Wrestling Academy gymnasium), property located at 9760 South 60th Street, and a Site Plan to allow for interior building alterations to the space, including adding two Americans with Disabilities Act restrooms, a small office and finish improvements, and minor exterior site modifications, including parking lot restriping (to include 16 parking spaces, including one Americans with Disabilities Act accessible space) and addition of wheel stops, property zoned M- 1 Limited Industrial District; Tax Key No. 899-9993-004. [THE SPECIAL USE PUBLIC HEARING WAS OPENED AND CLOSED AT THE APRIL 9, 2020 MEETING AND THE SUBJECT MATTER FOR BOTH THE SPECIAL USE AND THE SITE PLAN WERE PUT OVER TO THE MAY 7, 2020 PLAN COMMISSION MEETING, WHEREIN THE PLAN COMMISSION VOTED TO REFER THE SPECIAL USE AND SITE PLAN TO THE ECONOMIC DEVELOPMENT COMMISSION FOR REVIEW AND RECOMMENDATION.]

**Special Use (continued from May 7, 20202 Plan Commission meeting)**

Alderman Dandrea moved and Commissioner Haley seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a wrestling gymnasium and instruction use upon property located at 9760 south 60th street. On voice vote, all voted 'aye'. Motion carried (6-0-0).

**Site Plan (continued from May 7, 20202 Plan Commission meeting)**

Alderman Dandrea moved and commissioner Hogan

DEVELOPMENT COMMISSION FOR  
REVIEW AND  
RECOMMENDATION.]

seconded a motion to approve a Resolution approving a Site Plan for alterations to the interior of an existing custom auto body and paint shop and minor exterior site modifications to allow for the operation of Askren Wrestling Academy (9760 south 60th street). On voice vote, all voted 'aye'. Motion carried (6-0-0).

**E. Adjournment**

Commissioner Hogan moved and Commissioner Leon seconded a motion to adjourn the Plan Commission meeting of June 18, 2020 at 7:13 p.m. On voice vote, all voted 'aye'; motion carried. (4-0-2).

DRAFT

**CITY OF FRANKLIN****REPORT TO THE PLAN COMMISSION****Meeting of July 9, 2020****Temporary Use**


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**RECOMMENDATION:** City Development Staff recommends approval of a Temporary Use for the Holiday Craft & Gift Exposition, to be held November 27<sup>th</sup> – 28<sup>th</sup> with setup on November 25<sup>th</sup>, 2020 at the Milwaukee County Sports Complex, located at 6000 West Ryan Road.

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<b>Project Name:</b>	Holiday Craft & Gift Exposition
<b>Project Address:</b>	6000 West Ryan Road
<b>Property Owner:</b>	Milwaukee County
<b>Applicant:</b>	Torbenson Shows, LLC
<b>Agent:</b>	Jim Torbenson
<b>Zoning:</b>	P-1 Park District; FW Floodway District, FC Floodplain Conservancy District;
<b>Use of Surrounding Properties:</b>	Agriculture and recreational uses to the north and east, residential uses to the south and east, and floodplain and open space uses to the west.
<b>Comprehensive Plan:</b>	Park District
<b>Applicant Action Requested:</b>	Approval of a Temporary Use for the Holiday Craft & Gift Exposition to be held at the Milwaukee County Sports Complex November 27 <sup>th</sup> – 28 <sup>th</sup> , 2020 with setup on November 25 <sup>th</sup> , 2020.

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**INTRODUCTION:**

On April 28, 2020, Mr. Jim Torbenson filed a Temporary Use Application with the Department of City Development, requesting approval to use the Milwaukee County Sports Complex located at 6000 West Ryan Road for a Holiday Craft & Gift Exposition. The applicant is proposing to hold the event on Friday, November 27<sup>th</sup> from 9 am-5 pm and Saturday, November 28<sup>th</sup> from 9 am – 5 pm. This represents a slightly adjusted schedule from the previous years, in which the event extended into Sunday.

Setup is scheduled to occur on Wednesday, November 25<sup>th</sup> from 12:00 P.M. to 8:00 P.M. Take down is scheduled to be completed by 9:00 P.M. on Saturday, November 28<sup>th</sup>. This is the seventh year that the Holiday Craft & Gift would be held at the Milwaukee County Sports Complex.

**HISTORY:**

The City of Franklin previously worked with Milwaukee County on a Memorandum of Understanding regarding authorized uses available on the subject property and a more efficient process for the governmental review of applications for such uses. Non-sports related or “miscellaneous” events are currently subject to obtaining an Extraordinary Entertainment and Special Event License, if required by the City Clerk’s office, and/or a Temporary Use Permit. This is the seventh year that the Holiday Craft &

Gift would be held at the Milwaukee County Sports Complex using the same proposed set-up and conditions.

### **CURRENT POLICY:**

The subject use is not a listed Temporary Uses within Section 15-3.0804 of the UDO, which defines Temporary Use categories and criteria. Some Temporary Uses may be approved by staff. However, the existing Special Use approval for the Milwaukee County Sports Complex only permits an indoor multi-purpose recreational and soccer facility, offices for the Wisconsin Soccer Association, outdoor fields, accessory parking, and park and concession facilities. Therefore, staff has determined that the request requires Plan Commission review and approval, as in previous years.

### **ANALYSIS:**

In prior years, the applicant has expected approximately 250 exhibitors and several thousand patrons over the course of the three-day event. This year's event will be two days long. The applicant has made some accommodations for COVID-19 including one-way aisles. At this time, it is unclear whether the Sports Complex, a Milwaukee County facility, will even be open on the proposed dates. This and other factors leave in question whether the event will be able to occur, however the applicant is seeking this approval in order to be prepared.

The Milwaukee County Sports Complex completed a parking lot reconstruction project in 2012. The Sports Complex now has approximately 551 standard-size striped parking spaces and fourteen (14) ADA accessible striped spaces. According to previous applications, Milwaukee County can provide space for an additional 150 parking spaces on site and along the road, for a total of 700 spaces. In 2013 a portion of South 60<sup>th</sup> Street was transferred from Milwaukee County to the City after it was reconstructed. Staff recommends the Franklin Police Department post the east side of South 60<sup>th</sup> Street from Ryan Road to approximately 300 feet north of Forest View Court with "Temporary No Parking" signs for the duration of the November 27<sup>th</sup> -29<sup>th</sup>, 2015, Holiday Craft & Gift Exposition.

According to the applicant, parking at last year's event was adequate and there were no issues with traffic congestion during the three-day event. However, Staff suggests the applicant contact the Milwaukee County Sheriff's Department if parking demand exceeds parking capacity, or if vehicle stacking on the access driveway becomes congested and blocks emergency access to the facility.

The Franklin Health Department will require any food vendors to be properly licensed prior to the event.

### **STAFF RECOMMENDATION:**

City Development Staff recommends approval of a Temporary Use for the Holiday Craft & Gift Exposition, to be held November 27<sup>th</sup> – 28<sup>th</sup>, 2020 with setup on November 25<sup>th</sup>, 2020 at the Milwaukee County Sports Complex, located at 6000 West Ryan Road.

## RESOLUTION NO. 2020-\_\_\_\_\_

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR THE  
APPROVAL OF A TEMPORARY USE FOR A HOLIDAY CRAFT AND GIFT  
EXPO FOR PROPERTY LOCATED AT 6000 WEST RYAN ROAD  
(MILWAUKEE COUNTY SPORTS COMPLEX)  
(JAMES C. TORBENSON/TORBENSON SHOWS LLC, APPLICANT)

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WHEREAS, James C. Torbenson/Torbenson Shows LLC having petitioned the City of Franklin for the approval of a Temporary Use to allow for a holiday craft and gift expo, upon property located at 6000 West Ryan Road (Milwaukee County Sports Complex), for the dates of November 27, 2020, from 9:00 a.m. to 5:00 p.m. and November 28, 2020, from 9:00 a.m. to 5:00 p.m. (set up will take place on November 25, 2020 and the Sports Complex will be vacated by 9:00 p.m. on November 28, 2020); and

WHEREAS, the Plan Commission having found that the proposed Temporary Use, subject to conditions, meets the standards set forth under §15-3.0804 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the petition of James C. Torbenson/Torbenson Shows LLC for the approval of a Temporary Use to allow for a holiday craft and gift expo, for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. The approval granted hereunder shall allow for such use on November 27, 2020, from 9:00 a.m. to 5:00 p.m. and November 28, 2020, from 9:00 a.m. to 5:00 p.m. (set up will take place on November 25, 2020 and the Sports Complex will be vacated by 9:00 p.m. on November 28, 2020), and all approvals granted hereunder expiring at 5:00 p.m. on November 28, 2020.
2. The Franklin Police Department shall post the east side of South 60th Street from Ryan Road to approximately 300 feet north of Forest View Court with temporary “No Parking” signs for the duration of the November 27th – November 28th, 2020, Holiday Craft & Gift Exposition.
3. The applicant shall contact the Milwaukee County Sheriff’s Department if parking demand exceeds parking capacity, or if vehicle stacking on the access driveway becomes congested and blocks emergency access to the facility.
4. The applicant shall contact the Franklin Health Department to obtain any necessary

JAMES C. TORBENSON/TORBENSON SHOWS LLC – TEMPORARY USE  
RESOLUTION NO. 2020-\_\_\_\_\_

Page 2

permits and to provide any necessary information.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this  
\_\_\_\_\_ day of \_\_\_\_\_, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of  
Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

APPROVED:

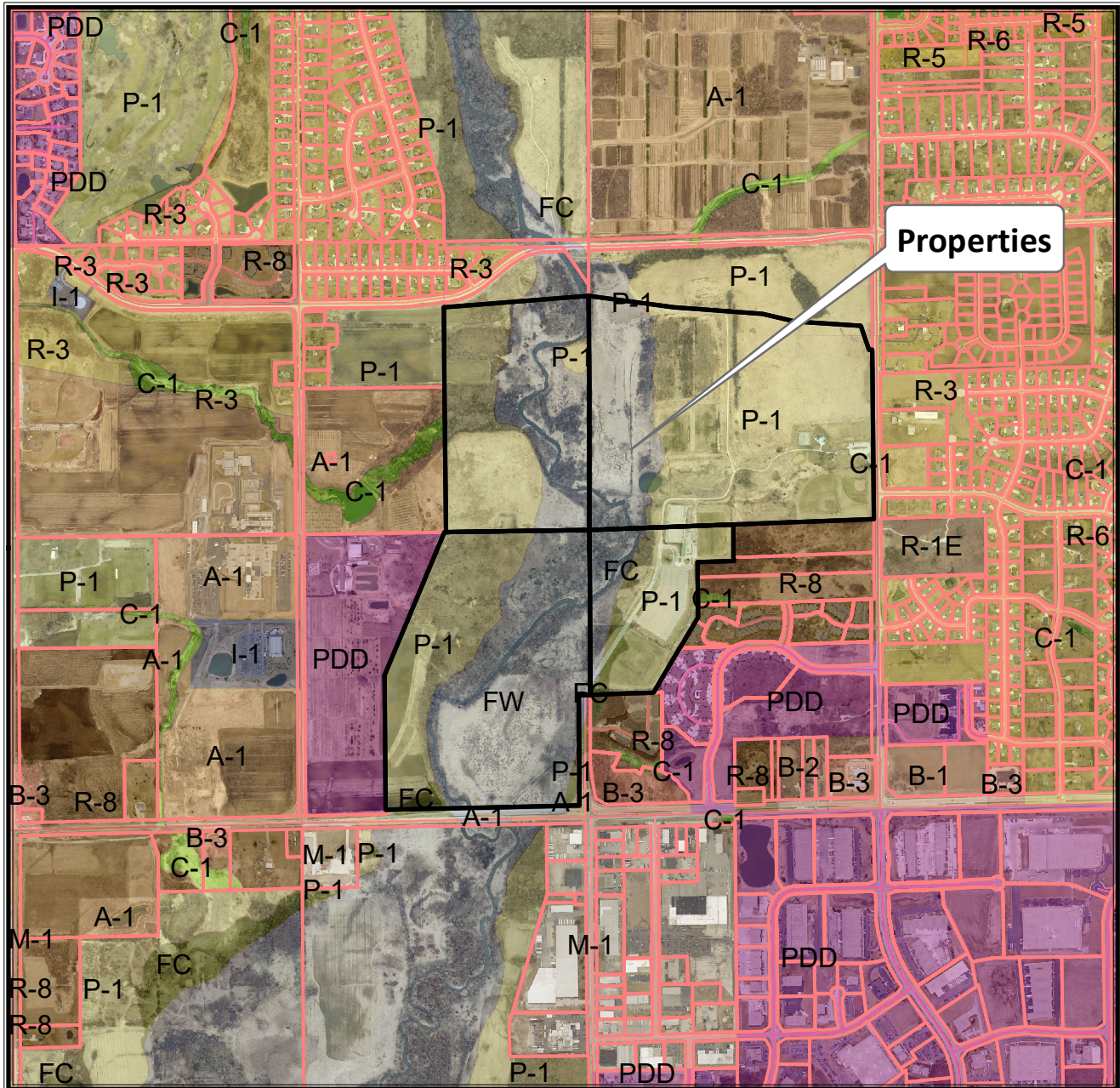
\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

6000 W. Ryan Road  
TKN: 883 9999 004  
851 9999 001  
882 9987 001  
852 9999 001



**Planning Department**  
**(414) 425-4024**

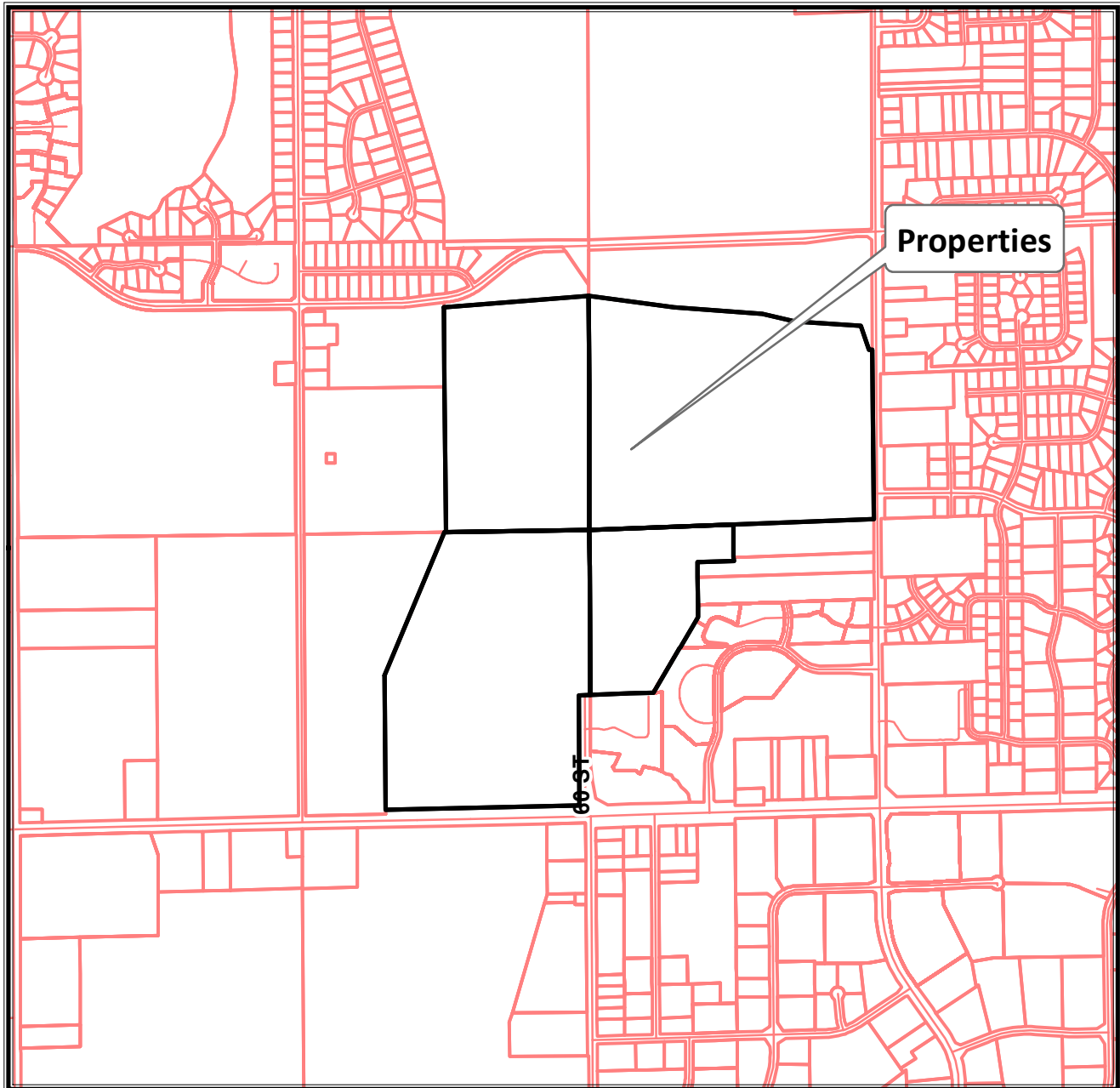
0 875 1,750 3,500 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

  
**NORTH**  
2017 Aerial Photo



6000 W. Ryan Road  
TKN: 883 9999 004  
851 9999 001  
882 9987 001  
852 9999 001



**Planning Department**  
**(414) 425-4024**

0 875 1,750 3,500 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



2017 Aerial Photo

City of Franklin  
Planning Department  
9229 West Loomis Road  
Franklin, Wisconsin 53132

To Whom This May Concern,

Please find enclosed, my Temporary Use Application, regarding the use of the Franklin Sports Complex at 6000 West Ryan Road over the Thanksgiving weekend 2020. The dates of the Holiday Craft and Gift Expo would be November 27<sup>th</sup>, and 28<sup>th</sup>. Move-in to the building would be Wednesday November 25<sup>th</sup>. The exposition folk will be setting up the booth floor plan from six AM on. Vendors will move into the complex from Noon to eight PM. The Complex is closed and locked down Thanksgiving Day. Our hours for the upcoming show have been somewhat adjusted: Friday November 27<sup>th</sup> 9:00 AM to 5:00 PM. Saturday November 28<sup>th</sup> 9:00 AM to 5:00PM. We intend to vacate the Sports Complex completely by nine PM Saturday evening November 28<sup>th</sup>.

Our first effort in 2012 was well advertised, and well attended. We appreciate the support we received from the City of Franklin services, Police and traffic control. Parking space at the Sports Complex was more than adequate to accommodate the show crowds. We also appreciate the presence of the Milwaukee County Sherriff's Department during the show weekend. We will continue to communicate with the Sherriff's office and local police should we be graced with crowd sizes that might create traffic or parking congestion. We have not faced parking or traffic issues over the last eight years, unfortunately.

We continue to aggressively advertise the Holiday Craft and Gift Expo on TV, radio, and newspapers. The show is a great venue for family and hopefully for the Franklin community. We hope to continue the Holiday Craft and Gift Expo at the Sports Complex, and create a tradition that residents of Franklin, and all surrounding areas might look forward to attending. The Expo presents a number of Artists, Crafters, and Gifters from several states. Shoppers are typically those seeking unique gifts, foods, and decorations for the upcoming Christmas Holiday.

Please schedule our application for an upcoming Planning Commission meeting. I have included seven copies of the show floor plan, and six copies of this letter, our project narrative.

My check for \$50.00 is enclosed with my application.

Best Regards,

Jim Torbenson  
Torbenson Shows LLC  
Holiday Craft and Gift Expo

We would hope for a 2020 show that is similar to past years, however, the response from vendors has been nil since the start of the Pandemic.

We have alternative layouts with one -way traffic suggestions, as well as a roped off lobby to allow for social distancing.

The Milwaukee County Sports Complex, as a Milwaukee County Park will have to open further before we will know how to respond. Whether or not we can offer a viable show to our vendors and the public is yet to be seen. In the meantime, we continue to learn from retail establishments and watch for direction from the Mayor and Governor.

The health and welfare of everyone involved as a worker, vendor, or customer of the Holiday Craft and Gift Expo is our greatest concern. Hopefully, granting a Temporary Use permit will allow us to simply continue this process of discerning the best direction.

Respectfully,

Jim Torbenson



Holiday Craft & Gift  
Expo 2019

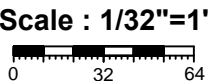
Milwaukee Sports Complex

DRAWN BY:  
Wisconsin Expo Inc

Show Date:  
November 29- December 1, 2019

REVISED:  
11-6-2019                      RV1

REVISED BY: DMA



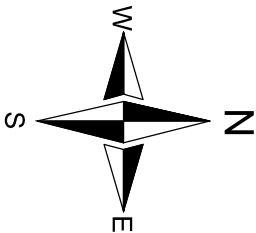
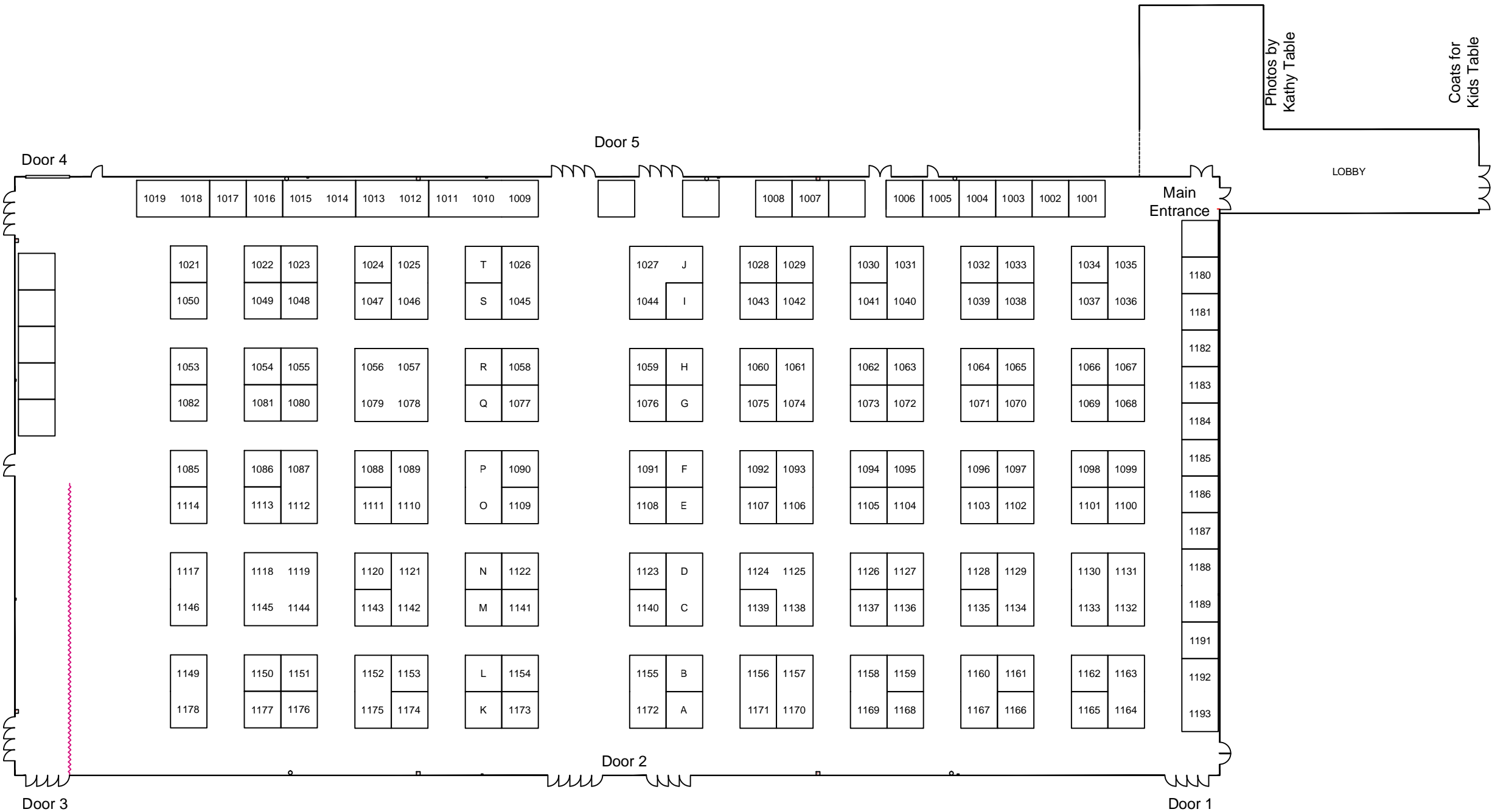
Legend

8' Drape

3' Drape

- Items:
- (138) 10'x10' Booths
  - (28) 10'x20' Booths
  - (3) 10'x30' Booths
  - (2) 20'x20' Booths
  - (171) 1 2'x8'x42" Tables

Without Dimensions





Holiday Craft & Gift Expo 2019

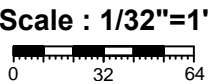
Milwaukee Sports Complex

DRAWN BY:  
Wisconsin Expo Inc

Show Date:  
November 29- December 1, 2019

REVISED: 11-6-2019 RV1

REVISED BY: DMA



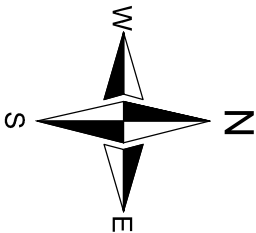
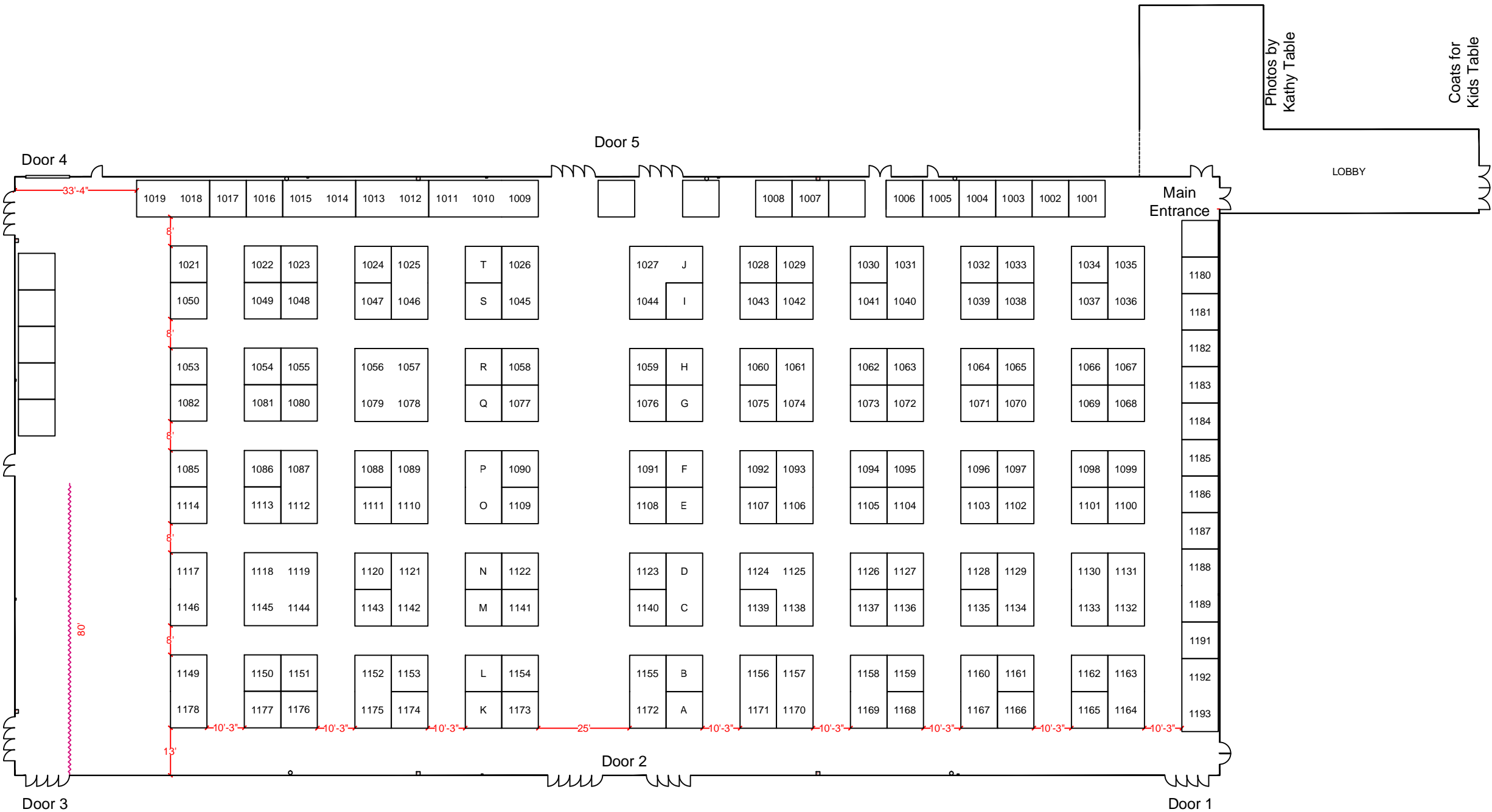
Legend

8' Drape

3' Drape

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  - (171) 1 2'x8'x42" Tables

With Dimensions



# CITY OF FRANKLIN

## REPORT TO THE PLAN COMMISSION

**Meeting of July 9, 2020**

### **Planned Development District Amendment and Site Plan Amendment Time Extension**

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**RECOMMENDATION:** City Development staff recommends approval of time extensions for the prior approvals the Planned Development District No. 28 Amendment and the Site Plan Amendment, subject to the conditions of approval in attached draft ordinance.

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<b>Project Name:</b>	Polish Community Center Parking Lot Expansion and Creation
<b>Project Address:</b>	6941 S. 68 <sup>th</sup> Street
<b>Applicant:</b>	Polish Festivals, Inc. – Polish Community Center
<b>Property Owner:</b>	Polish Festivals, Inc.
<b>Current Zoning:</b>	PDD Planned Development District No. 28 and FW Floodway District
<b>2025 Comprehensive Plan:</b>	Areas of Natural Resource Features
<b>Use of Surrounding Properties:</b>	Vacant developable land to the south, Vacant conservancy land to the north and west. S. 68 <sup>th</sup> St. and residential to the east.
<b>Applicant's Action Requested:</b>	Recommendation to the Common Council for approval of the proposed Planned Development District Amendment and Site Plan Amendment, with conditions of approval.

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### **INTRODUCTION:**

On June 1, 1999, the Common Council adopted Ordinance No. 99-1552 establishing Planned Development District No. 28 (Polish Festivals Inc.) to allow construction of a proposed Polish Community Center and a trail around Koepmeir Lake.

On April 3, 2019, the applicants submitted applications for Minor Planned Development District Amendment and subsequent Site Plan Amendment Applications for proposed expansion of the East parking lot (36 new stalls), and to establish a new southwest parking lot (81 stalls), with grading and removal of trees and additional lights within the expanded areas. The Site Plan Amendment was approved on May 23, 2019 via Resolution No. 2019-011, and the Minor PDD Amendment was approved on June 4, 2019, via Ordinance No. 2019-2378.

Both approvals require that the applicant being development within one year of their being issued. Due to a variety of circumstances, the applicant was unable to meet this requirement. They are requesting that both the Site Plan Amendment, and the Minor PDD amendment approvals be extended for a period of two (2) years, so that they may raise the necessary funds.

It should be noted that the project has requirements related to stormwater which should remain in effect.

**CONCLUSION:**

City Development staff recommends approval of time extensions for the prior approvals the Planned Development District No. 28 Amendment and the Site Plan Amendment, subject to the attached conditions of approval in attached draft ordinance.

## ORDINANCE NO. 2020-\_\_\_\_

AN ORDINANCE TO AMEND ORDINANCE NO. 2019-2378,  
AN ORDINANCE TO AMEND §15-3.0433 OF THE UNIFIED  
DEVELOPMENT ORDINANCE, PLANNED DEVELOPMENT  
DISTRICT NO. 28 (POLISH FESTIVALS, INC. – POLISH  
COMMUNITY CENTER) TO ALLOW FOR ADDITIONAL PARKING,  
TO EXTEND THE TIME FOR DEVELOPMENT COMPLETION  
(POLISH HERITAGE ALLIANCE, INC., APPLICANT/PROPERTY OWNER)  
(6941 SOUTH 68TH STREET)

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WHEREAS, §15-3.0433 of the Unified Development Ordinance provides for and regulates Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center), same having been created by Ordinance No. 99-1552 and later amended by Ordinance Nos. 04-1825, 13-2122 and 2019-2378, such District being located at 6941 South 68th Street, bearing Tax Key No. 743-8978-004; and

WHEREAS, Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) includes those lands legally described as follows:

That part of the Northeast 1/4 and the Southeast 1/4 of the Southwest Quarter of Section 3, Township 5 North, Range 21 East in the City of Franklin, County of Milwaukee, State of Wisconsin described as Lot 1 of Certified Survey Map “CSM” 7544, recorded February 9, 2005 in the Milwaukee County Registry as Document Number 08955385; said Lot 1 being more particularly described following meets and bounds and map of said CSM as follows:

Commencing at the west 1/4 corner of said Section 3; Thence S00°25'13"E 1954.77 feet along the west line of said southwest quarter; Thence N89°26'56"E 150.00 feet; Thence N89°26'56"E 1179.95 feet to the west line of the Southeast 1/4 of the Southwest quarter of said Section 3; Thence N00°21'00"W along said west line 1.06 feet; Thence N89°26'56"E 521.27 feet to the Point of Beginning; Thence N00°22'25"W 287.59 feet; Thence N63°45'22"E 113.47 feet; Thence N43°08'18"E 18.03 feet; Thence N37°25'28"W 49.51 feet to a meander line; Thence N46°54'29"E 95.09 feet along said meander line; Thence S19°16'01"E away from said meander line 56.19 feet; Thence N53°13'03"E 40.03 feet; Thence N44°44'54"E 83.80 feet; Thence N39°06'42"E 48.52 feet; Thence N55°21'39"E 32.29 feet; Thence N69°24'54"E 75.37 feet; Thence N81°30'09"E 128.02 feet; Thence N64°15'44"E 34.28 feet; Thence N42°23'19"E 157.46 feet; Thence N71°17'14"E 58.47 feet; Thence N89°07'35"E 64.15 feet; Thence S00°16'46"E 790.53 feet; Thence S89°26'56"W 283.60 feet; Thence N00°16'46"W 60.00

feet; Thence S89°26'56"W 492.08 feet to the Point of Beginning; Together with all lands between said meander line and Kopmeier Lake; Containing 435,600 square feet (10.000 acres) more or less.

[This legal description was prepared by Timothy A. Hayes, PLS at the request of the City of Franklin for the May 10, 2019 Polish Heritage Alliance of Wisconsin, LLC, (6941 S 68th Street) submission to the Franklin Plan Commission. It is not intended to be a departure from the recorded CSM]; and

WHEREAS, Ordinance No. 2019-2378, An Ordinance to Amend §15-3.0433 of the Unified Development Ordinance, Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) To Allow For Additional Parking, was adopted by the Common Council on June 4, 2019, and provided at Section 2 that the proposed Polish Community Center parking addition shall be completed within one year from the date of adoption of the Ordinance; and

WHEREAS, during these times of the Coronavirus Disease 2019 and Public Health Emergency, the applicant having been unable to meet the project completion time limit, and having requested and provided an application for an extension of two years for project completion; and

WHEREAS, the City of Franklin Plan Commission having considered the application on the 9th day of July, 2020, and the Plan Commission having determined that the proposed amendment was a minor amendment and having recommended to the Common Council that the proposed amendment to Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) be approved; and

WHEREAS, the Common Council having considered the application and having concurred with the recommendation of the Plan Commission and having determined that the proposed amendment to Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and that it will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1:           §15-3.0433 Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center), of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended as follows:

Ordinance No. 2019-2378, An Ordinance to Amend §15-3.0433 of the Unified Development Ordinance, Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) To Allow For Additional Parking, Section 2, is hereby amended to read as follows: “The proposed Polish Community Center parking addition shall be completed within two years from July 21, 2020, or this Ordinance and all rights and approvals resulting therefrom shall be null and void without any further action by the City of Franklin.”

- SECTION 2: Polish Heritage Alliance, Inc., successors and assigns and any developer of the Polish Community Center parking addition project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Polish Community Center parking addition project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
- SECTION 3: All other applicable terms and provisions of §15-3.0433 Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) not inconsistent with the terms of this Ordinance, and the Unified Development Ordinance of the City of Franklin, as amended from time to time, shall apply to the Polish Community Center parking addition project, and all terms and provisions of §15-3.0433 Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) as existing immediately prior to the adoption of this Ordinance and not amended by this Ordinance, shall remain in full force and effect.
- SECTION 4: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.
- SECTION 5: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.
- SECTION 6: This ordinance shall take effect and be in force from and after its passage and publication.

ORDINANCE NO. 2020-\_\_\_\_\_

Page 4

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020, by Alderman \_\_\_\_\_.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

STATE OF WISCONSIN

CITY OF FRANKLIN  
PLAN COMMISSION

MILWAUKEE COUNTY  
*[Draft 7/2/20]*

RESOLUTION NO. 2020-\_\_\_\_\_

A RESOLUTION TO AMEND RESOLUTION NO. 2019-011, A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTY LOCATED AT 6941 SOUTH 68TH STREET TO ALLOW FOR EXPANSION OF THE EASTERLY PARKING LOT AND CREATION OF A SOUTHWEST PARKING LOT FOR THE POLISH COMMUNITY CENTER, TO EXTEND THE TIME FOR DEVELOPMENT COMPLETION  
(TAX KEY NO. 743-8978-004)  
(POLISH HERITAGE ALLIANCE, INC., APPLICANT/PROPERTY OWNER)

---

WHEREAS, Resolution No. 2019-011, A Resolution Amending the Site Plan for Property Located at 6941 South 68th Street to Allow for Expansion of the Easterly Parking Lot and Creation of a Southwest Parking Lot for the Polish Community Center, was adopted by the Plan Commission on May 23, 2019; and

WHEREAS, the Further Resolved of Resolution No. 2019-011 provides in part that “the Polish Community Center parking lot expansion and creation... shall be developed and constructed within one year from the date of adoption of this Resolution”; and

WHEREAS, during these times of the Coronavirus Disease 2019 and Public Health Emergency, the applicant having been unable to meet the project completion time limit, and having requested and provided an application for an extension of two years for project completion; and

WHEREAS, the Plan Commission having considered such request and application and having determined that it will promote the health, safety and welfare of the Community.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that Resolution No. 2019-011, A Resolution Amending the Site Plan for Property Located at 6941 South 68th Street to Allow for Expansion of the Easterly Parking Lot and Creation of a Southwest Parking Lot for the Polish Community Center, be and the same is hereby amended to provide that the Polish Community Center parking lot expansion and creation shall be developed and constructed within two years from the date of adoption of this Resolution.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that all other terms and provisions of Resolution No. 2019-011, not inconsistent with the terms and provisions of this Resolution, shall remain in full force and effect.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

POLISH HERITAGE ALLIANCE, INC. - SITE PLAN AMENDMENT  
TO EXTEND THE TIME FOR DEVELOPMENT COMPLETION  
RESOLUTION NO. 2020-\_\_\_\_\_

Page 2

Passed and adopted at a regular meeting of the Plan Commission of the City of  
Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Chairman

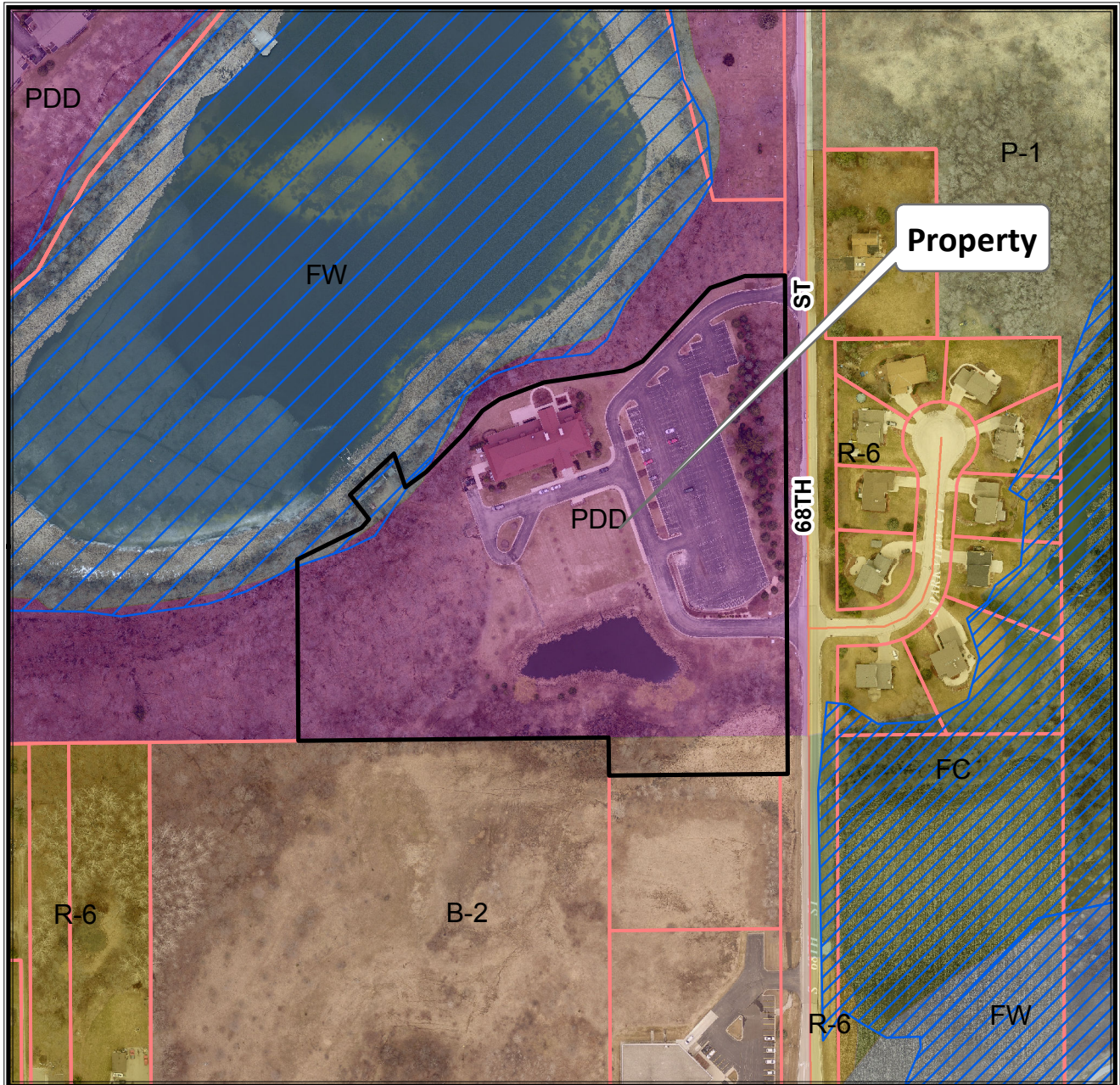
ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



6941 S. 68th Street  
TKN: 743 8978 004



**Planning Department**  
**(414) 425-4024**

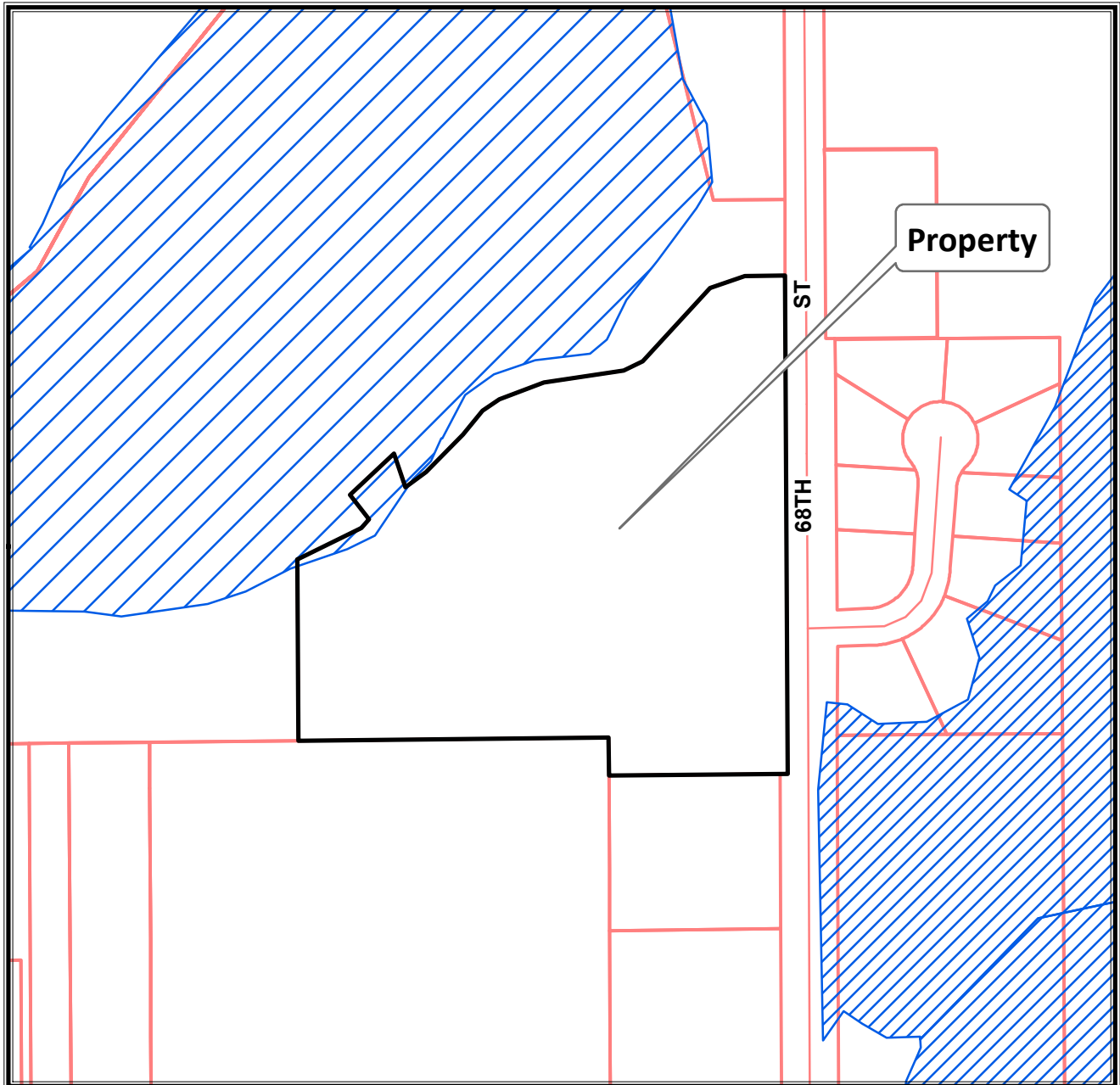
0 155 310 620 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





6941 S. 68th Street  
TKN: 743 8978 004



**Planning Department**  
**(414) 425-4024**

0 155 310 620 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





**Executive Director**  
Jeffrey Kuderski  
Email: [jkuderski@polishfest.org](mailto:jkuderski@polishfest.org)



6941 S. 68th Street  
Franklin, WI 53132-8237  
Phone: (414) 529-2140  
Fax: (414) 529-1055  
[www.polishcenterofwisconsin.org](http://www.polishcenterofwisconsin.org)

REC'D CITY OF FRANKLIN  
2020 MAY 26 AM 11:34

slw

May 21, 2020

**President**  
Steven Chybowski

**Vice President**  
Thomas Radoszewski

**Secretary**  
Leslie Storm

**Treasurer**  
David Zepecki

**Immediate Past President**  
Ken Skowronski

**Directors**  
Janet Protasiewicz  
Phil Ostroski  
Nick Ignatowski  
Janine Adamczyk  
Heidi Moshinski  
Dan Bruskiewitz  
Deanna Weiss  
Keith Triebenbach

**MISSION STATEMENT**

"The Polish Heritage Alliance, Inc.  
promotes understanding and  
appreciation of Polish heritage  
and culture as embodied in  
traditions, history, language,  
current affairs and the arts."

City of Franklin  
Mayor Steve Olson

9229 W. Loomis Rd.  
Franklin, WI 53132

City of Franklin  
Ald. Daniel Mayer

10679 W. Candlestick Lane  
Franklin, WI 53132

Dear Mayor Olson & Ald. Mayer,

I would like to submit a request of the City of Franklin for a due date extension of the Polish Center of Wisconsin parking lot improvement project. We have been approved and issued ordinance No. 2019-2378 for the project, with the completion date in June of 2020. Unfortunately with the COVID-19 and stay at home orders, we have lost major income of our fish fries, Easter Brunch, Mother's Day Brunch, Bingo, Polish Fest, weddings, and other events. We are not financially able to proceed with this project at this time. We would like to ask for a 2 year extension, so we could have this time to raise the necessary funding for this project.

If you could please help obtaining this extension and/or add to the next common council agenda if needed.

Please advise accordingly.

Jeffrey E. Kuderski

Executive Director

[jkuderski@polishfest.org](mailto:jkuderski@polishfest.org)

414-529-2140





Date of Application: \_\_\_\_\_

## SITE PLAN / SITE PLAN AMENDMENT APPLICATION

Complete, accurate and specific information must be entered. Please Print.

**Applicant (Full Legal Name(s)):**

Name: KEAN SKOWRONSKI  
Company: POLISH HERITAGE ALLIANCE INC  
Mailing Address: 6941 SOUTH 68TH ST  
City/State: FRANKLIN/WI Zip: 53132  
Phone: 714-529-2140  
Email Address: KSKOWRONSKI@LIVE.COM

**Project Property Information:**

Property Address: 6941 S 68th ST  
Property Owner(s): POLISH HERITAGE ALLIANCE  
Mailing Address: SAME  
City/State: FRANKLIN/WI Zip: 53132  
Email Address: JKUDERSKI@POLISHFEST.ORG

**Applicant is Represented by: (contact person)(Full Legal Name(s))**

Name: Tim Hayes  
Company: Hayes ENGINEERING Co., S.C.  
Mailing Address: 316 N MILWAUKEE ST SUITE 200  
City/State: MILWAUKEE/WI Zip: 53202  
Phone: 414-272-3200  
Email Address: TIM@HAYES-ENG.COM

Tax Key Nos: 7436975004 C9M 7544 LOT 1

Existing Zoning: POD NO 28  
Existing Use: CLUB/LOBBY/ASSOCIATIONS  
Proposed Use: SAME  
Future Land Use Identification: \_\_\_\_\_

\*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/Resources/Documents/Maps.htm>

**Site Plan/Site Plan Amendment submittals for review must include and be accompanied by the following:**

- ☒ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☐ Application Filing Fee, payable to City of Franklin: ☐ Tier 1: \$2000 ☐ Tier 2: \$1000 (Lot size ≤ 1 acre)  
☐ Tier 3: \$500 (≤ 10% increase or decrease in total floor area of all structures with no change to parking; or change to parking only).
- ☒ Legal Description for the subject property (WORD.doc or compatible format).
- ☒ Seven (7) complete collated sets of Application materials to include:
- ☒ One (1) original and six (6) copies of a written Project Summary, including description of any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.
  - ☒ Seven (7) folded full size, drawn to scale copies (at least 24" x 36") of the Site Plan/Site Plan Amendment package. (The submittal should include only those plans/items as set forth in Section 15-7.0103, 15-7.0301 and 15-5.0402 of the Unified Development Ordinance that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc.)
  - ☒ Reduced size (11"x17") copies of the Site Plan/Site Plan Amendment package will be at Planning staff recommendation, if applicable.
- ☐ One colored copy (11"x17") of the building elevations, if applicable. N/A
- ☐ One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3.0500 of the UDO). N/A
- ☒ Three copies of the Natural Resource Protection report, if applicable (see Section 15-7.0103Q of the UDO).
- ☐ Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

\*Upon receipt of a complete submittal, staff review will be conducted within ten business days. Additional materials may be required.

\*Site Plan/Site Plan amendment requests require Plan Commission or Community Development Authority review and approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).

<u>K. Skowronski PHA Pres</u> Signature - Property Owner <u>KENNETH P. SKOWRONSKI PRES,</u> Name & Title (PRINT) Date: <u>4-2-19</u>	<u>K. Skowronski Pres.</u> Signature - Applicant <u>KENNETH P. SKOWRONSKI PRES, PHA</u> Name & Title (PRINT) Date: <u>4-2-19</u>
<u>POLISH HERITAGE ALLIANCE INC</u> Signature - Property Owner Name & Title (PRINT) Date: <u>4/2/19</u>	<u>SAME</u> Signature - Applicant's Representative <u>SAME</u> Name & Title (PRINT) Date: <u>4/2/19</u>

Date of Application: \_\_\_\_\_

## PLANNED DEVELOPMENT DISTRICT (PDD) APPLICATION

Complete, accurate and specific information must be entered. Please Print.

**Applicant (Full Legal Name(s)):**

Name: Ken Skowronski  
Company: Polish Heritage Alliance Inc.  
Mailing Address: 6941 South 68th Street  
City / State: Franklin / WI Zip: 53132  
Phone: 414-529-2140  
Email Address: kskowronski@PLIVE.COM

**Project Property Information:**

Property Address: 6941 South 68th Street  
Property Owner(s): Polish Heritage Alliance Inc.  
Mailing Address: Same  
City / State: Franklin / WI Zip: 53132  
Email Address: kskowronski@polishfest.org

**Applicant is Represented by: (contact person)(Full Legal Name(s))**

Name: Tim Hayes  
Company: Hayes Engineering Co. S.C.  
Mailing Address: 310 N Milwaukee Street, Suite 200  
City / State: Milwaukee / WI Zip: 53202  
Phone: 414-272-3200  
Email Address: tim@hayesengr.com

Tax Key Nos: 7438078004 C8M7644 Lot 1

Existing Zoning: PDD No. 28  
Existing Use: CLUB / LODGE / ASSOCIATION  
Proposed Use: SAME  
Future Land Use Identification: \_\_\_\_\_

\*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/Resources/Documents/Maps.htm>

**PDD submittals for review must include and be accompanied by the following:**

- ☒ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☐ Application Filing Fee, payable to City of Franklin:
  - ☐ \$4000, PDD-New
  - ☐ \$3500, PDD Major Amendment
  - ☒ \$500, PDD Minor Amendment
- ☒ Legal Description for the subject property (WORD.doc or compatible format).
- ☒ Seven (7) complete collected sets of Application materials to include:
  - ☒ One (1) original and six (6) copies of a written Project Summary, (description of the proposed development of the property to include the proposal's intent, impacts, and consistency with the Comprehensive Master Plan, any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)
  - ☒ Three (3) folded full size, drawn to scale copies (at least 24" x 36") of the Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc. (See Sections 15-7.0101, 15-7.0301, and 15-8.0402 of the UDO for information that must be denoted or included with each respective plan.)
  - ☒ Four (4) folded reduced size (11"x17") copies of the Site Plan package.
- ☐ One colored copy (11"x17") of the building elevations, if applicable. N/A
- ☐ One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3.0500 of the UDO). N/A
- ☒ Three copies of the Natural Resource Protection Plan report, if applicable (see Section 15-4.0102 and 15-7.0201 of the UDO).
- ☐ Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

\*Upon receipt of a complete submittal, staff review will be conducted within ten business days.

\*PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval.

\*Minor PDD Amendment requests require Plan Commission review and Common Council approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below, if more than one, all of the owners of the property must sign this Application).

Kenneth P. Skowronski, PRES  
Signature - Property Owner  
KENNETH P. SKOWRONSKI PRES  
Name & Title (PRINT)

Date: 4-2-19

POLISH HERITAGE ALLIANCE INC  
Signature - Property Owner

Name & Title (PRINT)

Date: 4/2/19

Kenneth P. Skowronski, Pres  
Signature - Applicant  
KENNETH P. SKOWRONSKI PRES  
Name & Title (PRINT)

Date: 4-2-19

JAMES  
Signature - Applicant's Representative

Name & Title (PRINT)

Date: 4/2/19



# CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of July 9, 2020

### Site Plan Amendment

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**RECOMMENDATION:** Department of City Development staff recommends approval of the proposed Site Plan Amendment.

---

<b>Project Name:</b>	Pleasant View School – New Entrance
<b>General Project Location:</b>	4601 West Marquette Avenue
<b>Property Owner:</b>	Franklin Public Schools
<b>Applicant:</b>	James Milzer, Franklin Public Schools
<b>Agent:</b>	Nicholas Kent - Plunkett Raysich Architects
<b>Current Zoning:</b>	I-1 Institutional
<b>2025 Comprehensive Plan:</b>	Institutional
<b>Use of Surrounding Properties:</b>	Residential, Recreation, and Areas of Natural Resources
<b>Applicant's Action Requested:</b>	Approval of the Site Plan Amendment

---

### INTRODUCTION:

Franklin Public Schools submitted Site Plan Amendment application in April 2020 after a May 2020 consultation with the Department of City Development. The new site plan includes an addition to the front of the Pleasant View Elementary School building consisting of new main entrance to the building with a new administrative space, for a total addition of 1,060 square feet to the building, as well as reconfigured parking and new landscaping around the new entrance, and a new overhang over the gym entrance on the western façade of the building.

### PROJECT DESCRIPTION AND ANALYSIS:

Pleasant View Elementary School is located at 4601 West Marquette Avenue, and falls within zone I-1, Institutional District. Elementary and Secondary Schools are a permitted use within this district. The intent of the I-1 district is to “Eliminate the ambiguity of maintaining, in unrelated use districts, areas which are under public or public-related ownership and where the use for public, or quasi-public purpose, is anticipated to be permanent.” (UDO § 15-3.0312.A.) The school use and addition are consistent with the intent of the UDO.

The project consists of an addition to the front of the school building that will create a new main entrance and administrative space, for a total of 1,060 square feet, and a new outdoor overhang over the entrance to the gym on the western building façade. These additions do not substantially impact how the building conforms with setback requirements for the site. With the addition at the new entrance to the school, the building remains compliant with all dimensional requirements and site intensity listed in table 15-3.0312, I-1 Institutional District Development Standards.

No natural resources, including wetlands, will be affected by the addition. A landscape plan that includes plantings around the new addition has been submitted as part of the application.

Quantity of parking will not be affected by this site plan. However, the location of one ADA accessible parking space will be relocated towards the new entrance to the building, and new striping will mark a pedestrian path from the accessible parking spaces to the new entrance.

Aesthetically, the addition creates a contemporary, transparent, and welcoming entrance to the elementary school building.

**STAFF RECOMMENDATION:**

The Department of City Development staff recommends approval of the proposed Site Plan, pending approval of a sign permit for the new lettering on the side of the school.

## RESOLUTION NO. 2020-\_\_\_\_

A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTY LOCATED  
AT 4601 WEST MARQUETTE AVENUE TO ALLOW FOR AN ADDITION  
AND NEW ENTRANCEWAY TO THE PLEASANT VIEW ELEMENTARY  
SCHOOL BUILDING AND ASSOCIATED SITE RENOVATIONS(TAX KEY NO. 788-9980-000)  
(FRANKLIN PUBLIC SCHOOLS, APPLICANT)

---

WHEREAS, Franklin Public Schools having applied for an amendment to the site plan for the property located at 4601 West Marquette Avenue, such Site Plan having been previously approved as part of a Building Permit approval issued by Inspection Services, applied for on October 7, 1963, and a subsequent addition to the building was approved by the Architectural Review Board on March 9, 1995 and a Building Permit was issued by Inspection Services on March 24, 1995, and the property was rezoned on January 17, 1995, by Ordinance No. 95-1330; and

WHEREAS, such proposed amendment proposes construction of a school building addition for Pleasant View Elementary School, a new main entranceway towards the west of the north façade (prior main entrance was located towards the east on the north façade), landscaped areas around the new entrance, a relocated light post, a relocated flagpole, and restriping of part of the parking lot, including dedicated pedestrian striping, relocation of one Americans with Disabilities Act accessible parking space towards the new main entrance and a new canopy over the entranceway to the gym (west façade), and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for Pleasant View Elementary School, dated June 24, 2020, as submitted by Franklin Public Schools, as described above, be and the same is hereby approved, subject to the following conditions:

1. Franklin Public Schools, successors and assigns and any developer of the Pleasant View Elementary School building addition and new entranceway construction and associated site renovations project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Pleasant View Elementary School building addition and new entranceway construction and associated site renovations project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to

FRANKLIN PUBLIC SCHOOLS - SITE PLAN AMENDMENT  
RESOLUTION NO. 2020-\_\_\_\_\_

Page 2

§15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

2. The approval granted hereunder is conditional upon Franklin Public Schools and the Pleasant View Elementary School building addition and new entranceway construction and associated site renovations project for the property located at 4601 West Marquette Avenue: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The Pleasant View Elementary School building addition and new entranceway construction and associated site renovations project shall be developed in substantial compliance with the plans City file-stamped June 24, 2020.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Pleasant View Elementary School building addition and new entranceway construction and associated site renovations as depicted upon the plans City file-stamped June 24, 2020, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan for the property located at 4601 West Marquette Avenue, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

APPROVED:

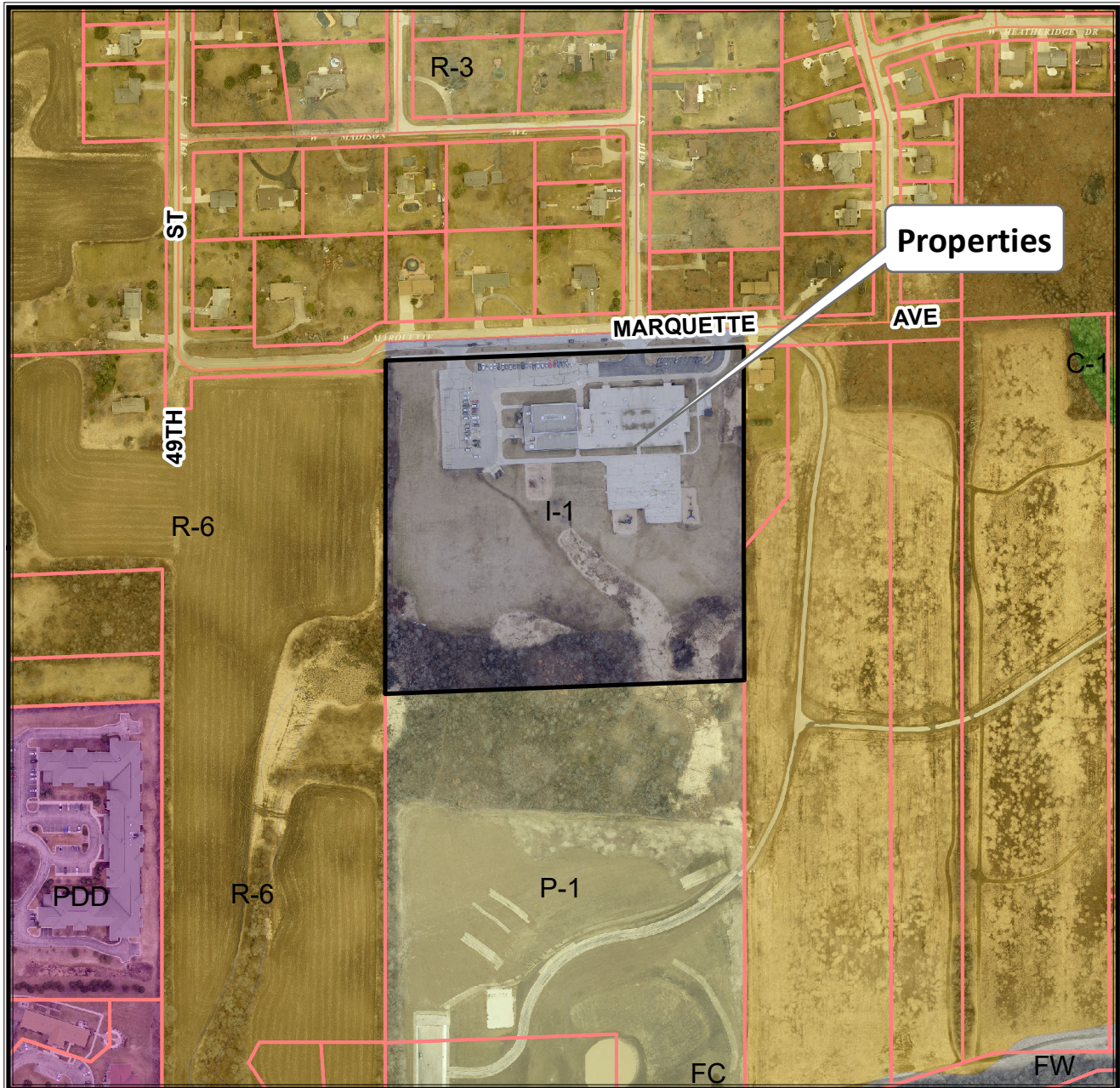
ATTEST:

\_\_\_\_\_  
Stephen R. Olson, Chairman

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

4601 W. Marquette Ave.  
TKN: 788 9980 000



**Planning Department**  
**(414) 425-4024**

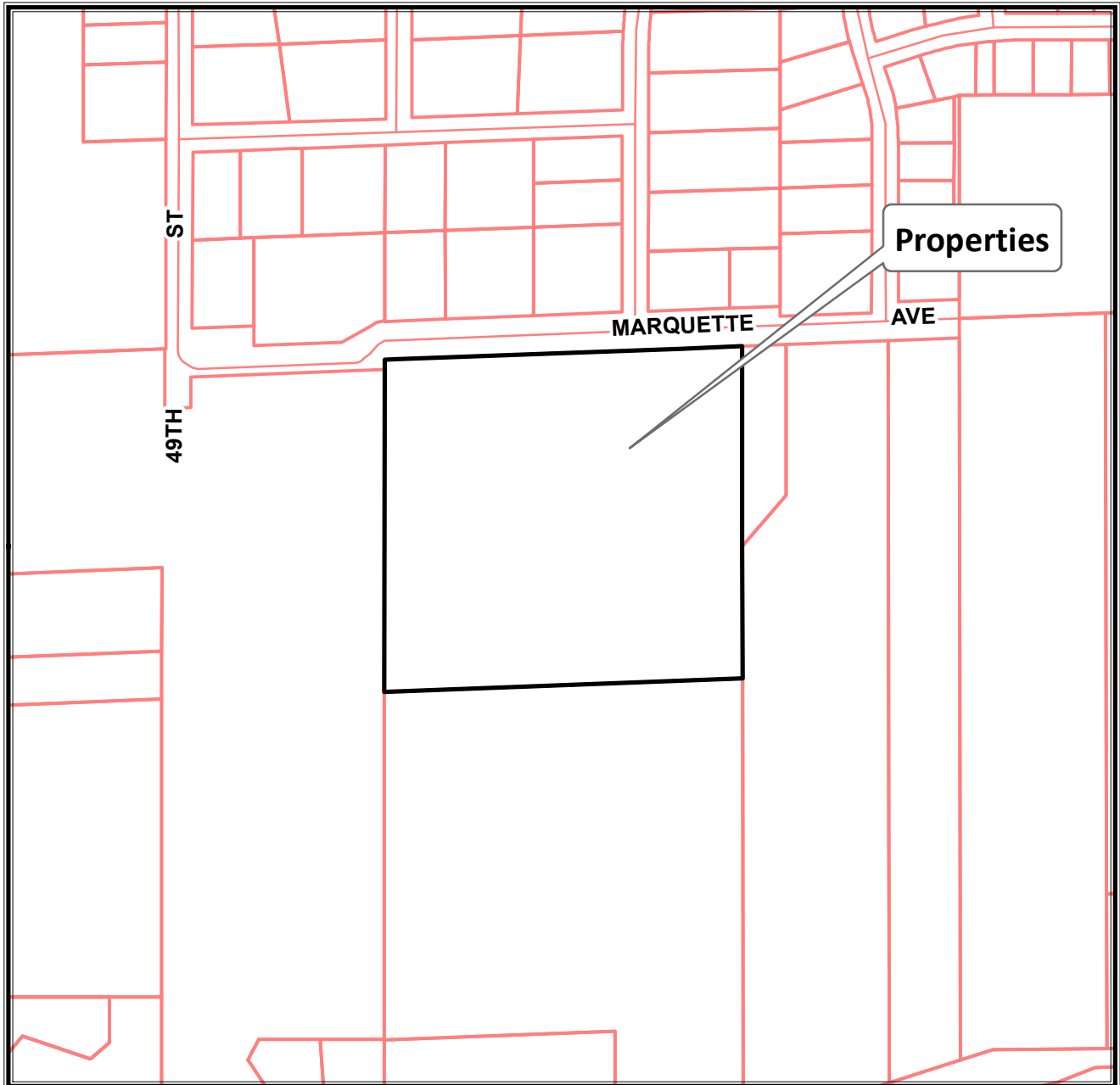
0 220 440 880 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

  
**NORTH**  
2017 Aerial Photo



4601 W. Marquette Ave.  
TKN: 788 9980 000



**Planning Department**  
**(414) 425-4024**

0 220 440 880 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



## MEMORANDUM

Date: June 15, 2020, [comments included June 24, 2020](#)

To: James Milzer, Franklin Public Schools and Nicholas Kent, Plunket Raysich Architects

From: City of Franklin, Department of City Development

RE: Application for Site Plan – Pleasant View Elementary School, 4601 W Marquette Ave

---

Please be advised that Department of City Development staff has reviewed the above application for a site plan review for Pleasant View Elementary School, located at 4601 W Marquette Ave. Department comments are as follows.

### **Site Plan review, as required by the UDO**

1. One of the requirements of Site Plan Review is Landscape Plan review. See the section below for more detailed review based on Landscape Plan requirements.
  - a. [See comment below. – PRA](#)
2. The site plan includes a new sign: pin-mounted text that says “PLEASANT VIEW ELEMENTARY SCHOOL.” A sign permit will be needed before installation.
  - a. [The Sign Permit Application for this project has been submitted and will be reviewed by the Architectural Review Board on July 9<sup>th</sup>. – PRA.](#)

### **Landscape Plan Standards & Requirements**

1. The landscape plan is missing the location, extent, type (common name and scientific name in the case of plant materials,” and sizes of existing trees and natural resource features. The full text of this requirements is § UDO-15-7.0301.G. Please resubmit landscape plan drawing , specifying the required information for existing landscape features adjacent to the northern, western, and eastern building façades and in the parking lot area.
  - a. [Per City of Franklin Unified Development Ordinance, 15-5.0301, exemption 2, “Additions to Existing Buildings Where the Total Floor Area is not Increased More than 10%. Additions to existing buildings where the total floor area is not increased more than 10% of the existing floor area,” a landscape plan is not required. The landscape plan is included for review of the new plantings provided at the new entry. Per conversations with the city, clarifications have been made on the plans to what is existing and what is new planting. – PRA](#)

### **Engineering Department Comments**

No Comment

### **Police Department Comments**

The police department has no issues with this application.

**Inspection Services Comments**

Inspection Services has no comments at this time on the subject proposal. Our issues will be addressed with the Building Permit.



Date of Application: 04-17-2020

## SITE PLAN / SITE PLAN AMENDMENT APPLICATION

Complete, accurate and specific information must be entered. Please Print.

### Applicant (Full Legal Name[s]):

Name: James Milzer  
Company: Franklin Public Schools  
Mailing Address: 8255 W Forest Hill Ave  
City / State: Franklin, WI Zip: 53132  
Phone: (414) 525-7605  
Email Address: [james.milzer@franklin.k12.wi.us](mailto:james.milzer@franklin.k12.wi.us)

### Project Property Information:

Property Address: 4601 West Marquette Ave, Franklin, WI 53132  
Property Owner(s): Franklin Public Schools  
Mailing Address: Above  
City / State: Zip:  
Email Address:

### Applicant is Represented by: (contact person)(Full Legal Name[s])

Name: Nicholas Kent  
Company: Plunkett Raysich Architects  
Mailing Address: 209 South Water Street  
City / State: Milwaukee, WI Zip: 53204  
Phone: (414) 410-2968  
Email Address: [nkent@prarch.com](mailto:nkent@prarch.com)

Tax Key Nos: 788 9980 000

Existing Zoning: I-1

Existing Use: School

Proposed Use: School

Future Land Use Identification:

\*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

### Site Plan/Site Plan Amendment submittals for review must include and be accompanied by the following:

- ☒ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☒ Application Filing Fee, payable to City of Franklin: ☐ Tier 1: \$2000 ☐ Tier 2: \$1000 (Lot size ≤ 1 acre)  
☒ Tier 3: \$500 (≤ 10% increase or decrease in total floor area of all structures with no change to parking; or change to parking only).
- ☒ Legal Description for the subject property (WORD.doc or compatible format).
- ☒ Seven (7) complete collated sets of Application materials to include:
  - ☒ One (1) original and six (6) copies of a written Project Summary, including description of any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)
  - ☒ Seven (7) folded full size, drawn to scale copies (at least 24" x 36") of the Site Plan/Site Plan Amendment package. (The submittal should include only those plans/items as set forth in Section 15-7.0103, 15-7.0301 and 15-5.0402 of the Unified Development Ordinance that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc.)
  - ☒ Reduced size (11"x17") copies of the Site Plan/Site Plan Amendment package will be at Planning staff recommendation, if applicable.
- ☒ One colored copy (11"x17") of the building elevations, if applicable.
- ☒ One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3.0500 of the UDO).
- ☐ Three copies of the Natural Resource Protection report, if applicable (see Section 15-7.0103Q of the UDO).
- ☒ Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

- \*Upon receipt of a complete submittal, staff review will be conducted within ten business days. Additional materials may be required.
- \*Site Plan/Site Plan amendment requests require Plan Commission or Community Development Authority review and approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Signature - Property Owner  
James Milzer, Director of Business Services  
Name & Title (PRINT)

Date: 4-16-20

Signature - Property Owner

Name & Title (PRINT)

Date:

Signature - Applicant  
NICHOLAS KENT, AEA PARTNER  
Name & Title (PRINT)

Date: 16 APR. 2020

Signature - Applicant's Representative

Name & Title (PRINT)

Date:

Franklin School District – Pleasant View Elementary School  
4601 W. Marquette Ave, Franklin, WI 53132  
April 17, 2020

## PROJECT SUMMARY

### CONTENTS

- A. Project Description
- B. Legal Site Description
- C. Building Heights
- D. Operations
- E. Projected Project Costs
- F. Project Schedule
- G. Landscape to Surface Ratio
- H. Site Intensity and Site Capacity
- I. Natural Resource Preservation

#### A. PROJECT DESCRIPTION

This project consists of a 1,085 sq. ft. 1.5-story admin addition on the north side of the existing school as well as a 3,175 sq. ft. renovation of classrooms, offices, and toilet rooms. The project also includes a new canopy on the lower level west entry by the gym doors. The student capacity is designed to remain the same with 542 students in grades K through 5.

The school site will largely remain the same as it currently exists. The entry to the school parking will remain off West Marquette Avenue and traffic flow in the parking lot for busses and parent drop-off will remain the same. Parking striping will be modified to allow for two handicap parking stalls in front of the new main entrance by relocating the handicap stall currently in front of the existing main entry to the new main entry.

The new administration addition has a neutral palette with a precast stone base, clear anodized storefront, and a clear anodized coping and soffit. The main entry height matches the height of the original existing school. The new main office height is raised with clerestory windows surrounding 3 sides.

#### B. LEGAL SITE DESCRIPTION

BEING LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

#### C. BUILDING HEIGHTS

- 18 ft. - Top of roof at Main Office (1.5 story)
- 12 ft - Top of roof at entry corridor (1 story)

209 south water street milwaukee, wisconsin 53204 414 359 3060  
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 240 9900  
1900 main street suite 309 sarasota, florida 34236 941 444 8845

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Partners: Kevin M. Broich, Michael P. Brush, Gregg R. Golden, John J. Holz, Nicholas D. Kent,  
Steven A. Kieckhafer, Scott A. Kramer, Jason W. Puestow, Larry A. Schneider, Michael J. Sobczak

#### **D. OPERATIONS**

##### **School hours will be as follows:**

- Busses approximately begin dropping students off at 8:15am for the 8:30am class start.
- Busses begin arriving for mid-day 4k student pick up around 11:05am for the 11:15am dismissal.
- Busses approximately begin dropping off mid-day 4K students at 12:15pm for the 12:30pm class start.
- Busses will begin arriving for pick up around 3:05pm for the 3:15pm dismissal.
- After School activities vary

#### **E. PROJECTED PROJECT COSTS**

Costs listed below are approximate.

**\$1,621,200** – Project Target Total

**\$161,355** – Estimated total site costs including existing building demolition, site grading, excavation, utilities, paving, curbs & gutters, concrete walks, concrete paving and Landscaping.

**\$178,320** – Estimated Division 1, General requirements

**\$1,281,530** – Estimated Building Construction costs including plumbing, fire protection, HVAC, Electrical and Telecommunications work.

#### **F. PROJECT SCHEDULE**

Building construction will begin with site mobilization mid-June, 2020. Interior renovations will be ready for new School year in September 2020. Exterior building addition will be complete mid-November 2020.

#### **G. LANDSCAPE TO SURFACE RATIO**

The landscape to surface ratio is 0.75 as defined by area of landscaped surface to total project site surface.

#### **H. SITE INTENSITY AND SITE CAPACITY**

Site intensity and capacity calculations are as follows:

Minimum required landscape surface: 5.64 ac

Actual landscape surface area: 10.55 ac

Net Buildable Site Area: 8.46 ac

Maximum Net Floor Area Yield of Site: 5.33 ac

Maximum Gross Floor Area Yield of Site: 5.36 ac

Maximum Permitted Floor Area of Site: 232,175 sf

Actual Footprint (Existing Pleasant View ES):	44,728 sf
Actual Footprint (New Addition):	<u>1,211 sf</u>
Actual Total (Total Site Building Area):	45,939 sf



**I. NATURAL RESOURCE PRESERVATION**

No natural resources will be affected by this addition.

**J. PROJECT PERMIT STATUS**

The project is currently in the process of obtaining all required local, county, state and federal permits/approvals for the project.

-----



# FRANKLIN PUBLIC SCHOOLS

## PLEASANT VIEW ELEMENTARY SCHOOL

4601 W MARQUETTE AVE, FRANKLIN, WI 53132

**pra**  
PLUNKETT RAYSICH  
ARCHITECTS, LLP

209 south water street      milwaukee, wisconsin      53204      t 414 359 3060  
2310 crossroads drive      suite 2000      madison, wisconsin      53718      t 608 240 9900  
1900 main street      suite 309      sarasota, florida      54236      t 941 348 3618

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### SHEET INDEX

#### GENERAL

000 TITLE SHEET

#### CIVIL

C100 DEMOLITION PLAN  
C200 LAYOUT PLAN  
C300 GRADING-EROSION CONTROL PLAN  
C400 DETAILS

#### LANDSCAPE

L200 LANDSCAPE PLAN

#### ARCHITECTURAL

A001 PERSPECTIVE RENDERINGS  
A100 DEMOLITION PLANS  
A200 OVERALL FLOOR PLANS  
A210 FLOOR PLANS  
A400 EXTERIOR ELEVATIONS  
A500 BUILDING SECTIONS

#### ELECTRICAL

ES100 EXTERIOR SITE LIGHTING PLAN

### PROJECT INFORMATION

PROJECT DATE: 07-09-2020  
PRA PROJECT NUMBER: 190275-02  
DRAWING SET: PLAN COMMISSION

#### APPLICABLE CODES AND ZONING

2015 INTERNATIONAL EXISTING BUILDING CODE  
2015 INTERNATIONAL BUILDING CODE  
EDUCATIONAL OCCUPANCY, GROUP E  
NFPA 101 - LIFE SAFETY CODE (2000) - CHAPTER 18

ZONING: CITY OF FRANKLIN ORDINANCES

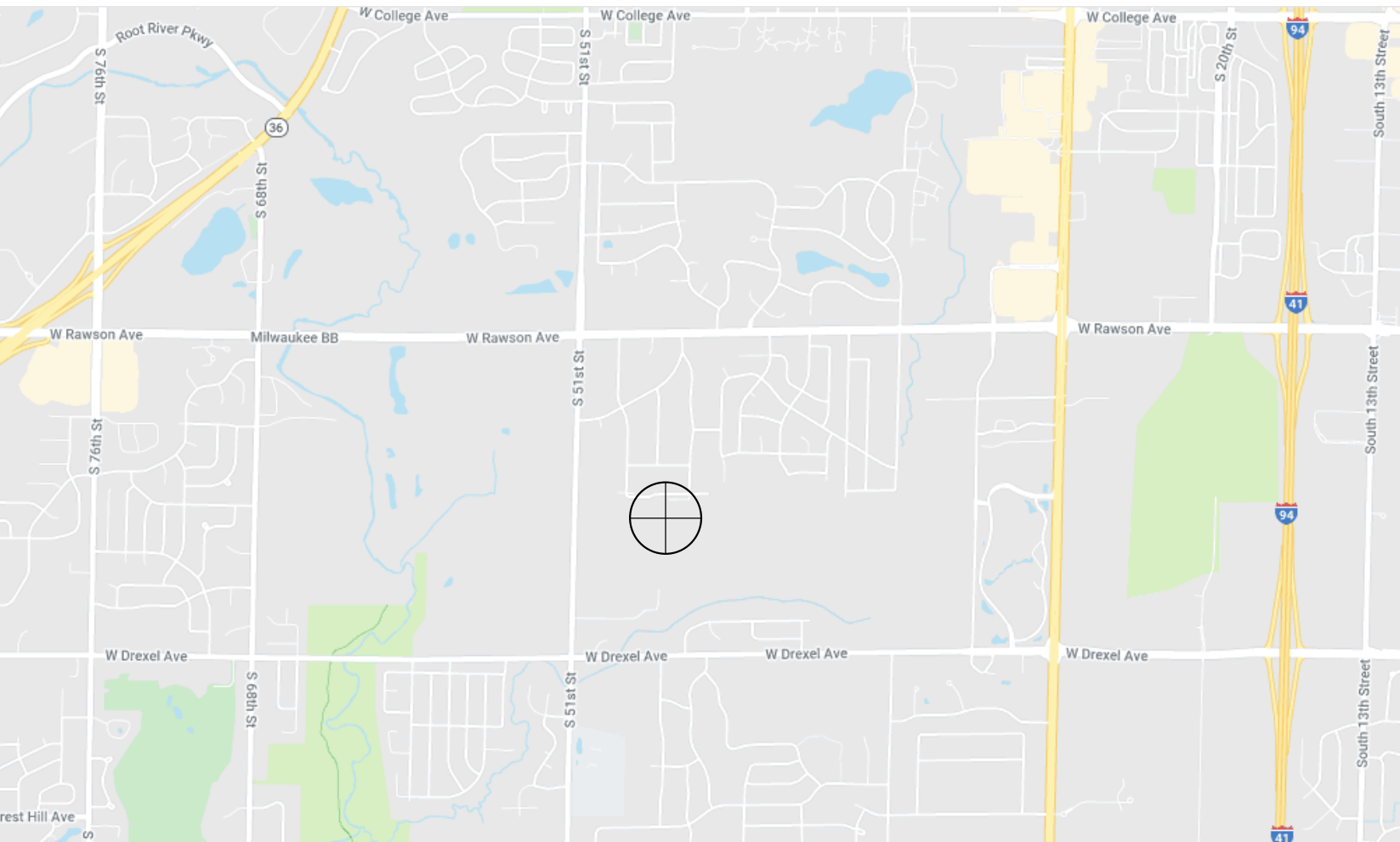
#### CONSTRUCTION CLASSIFICATION

ADDITION / ALTERATION  
TYPE OF CONSTRUCTION, UNPROTECTED, TYPE IIB - SPRINKLERED

#### BUILDING AREA

OVERALL FOOTPRINT	45,046 SF
<b>EXISTING</b>	
LOWER LEVEL	26,999 SF
FIRST FLOOR	37,418 SF
EXISTING TOTAL	64,417 SF
<b>ADDITIONS</b>	
FIRST FLOOR	1,085 SF
ADDITION TOTAL	1,085 SF
<b>BUILDING TOTAL</b>	65,502 SF
<b>ALTERATIONS</b>	
FIRST FLOOR	3,176 SF
ALTERATION TOTAL	3,176 SF

### PROJECT LOCATION



### PROJECT TEAM

#### CONSTRUCTION MANAGER

JP Cullen & Sons TEL(262) 781-4100

#### CIVIL

Point of Beginning, Inc TEL(715) 344-9999

#### LANDSCAPE

Point of Beginning, Inc TEL(715) 344-9999

#### STRUCTURAL

REYN Engineering, Inc TEL(414) 254-8526

#### FIRE PROTECTION

Fire Protection of Wisconsin, Inc DESIGN / BUILD (UNDER SEPARATE CONTRACT) TEL(262) 784-7900

#### PLUMBING

Zien Service, Inc DESIGN / BUILD (UNDER SEPARATE CONTRACT) TEL(414) 351-8700

#### MECHANICAL

Illingworth-Kilgust Mechanical DESIGN / BUILD (UNDER SEPARATE CONTRACT) TEL(414) 476-5790

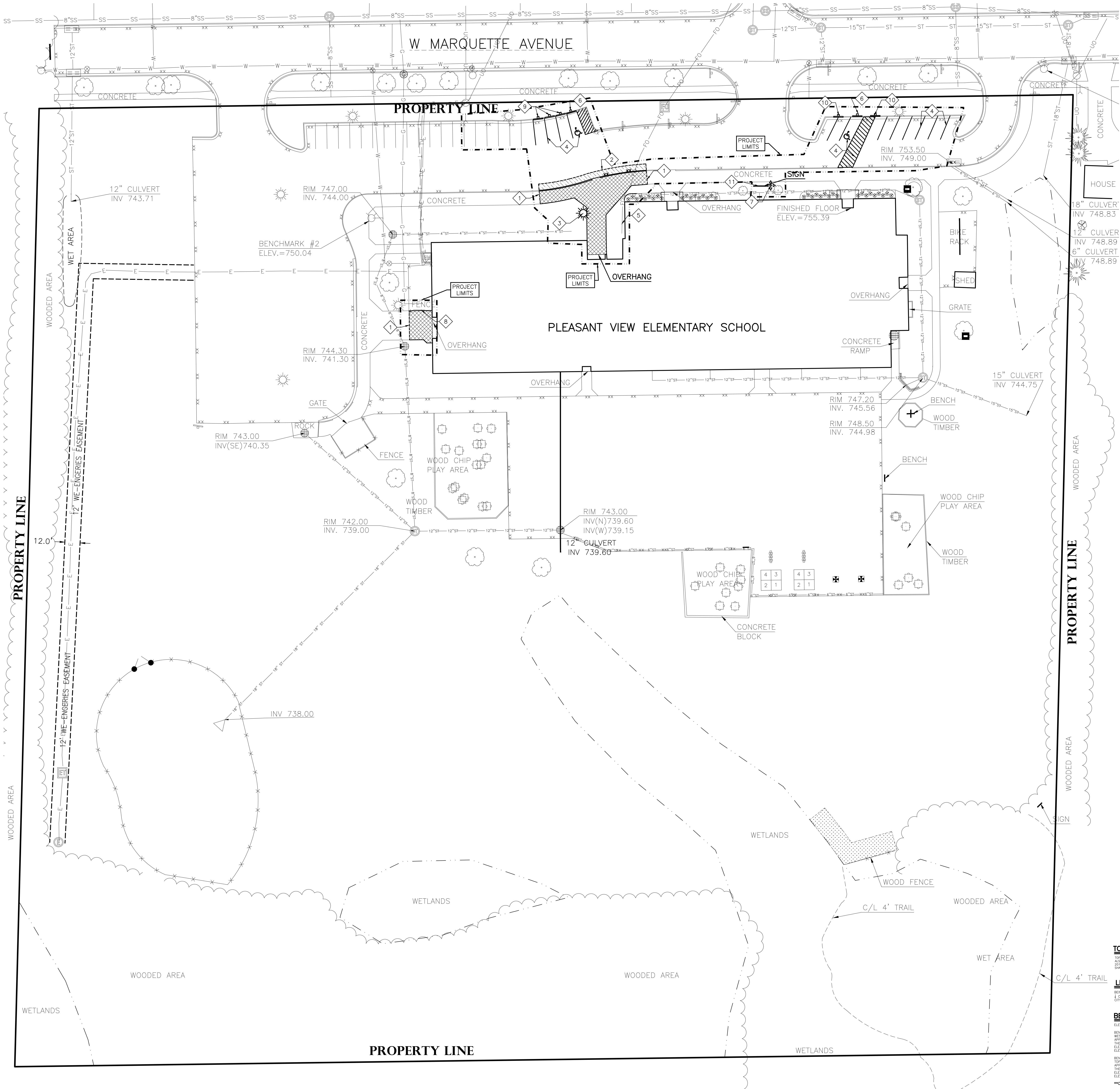
#### ELECTRICAL

NEXT Electric, Inc DESIGN / BUILD (UNDER SEPARATE CONTRACT) TEL(262) 506-3200



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NOTICE REGARDING DRAWINGS: FOR CONVENIENCE OF REFERENCE, THE DRAWINGS PREPARED BY THE UNDERSIGNED ARCHITECT HAVE BEEN BOUND TOGETHER WITH DRAWINGS PREPARED BY OTHER PERSONS OR FIRMS HIRED DIRECTLY BY THE DESIGN-BUILDER OR OWNER AND NOT UNDER THE DIRECTION OR CONTROL OF THE ARCHITECT. THE DRAWINGS PREPARED BY THE ARCHITECT CAN BE IDENTIFIED BY THE ARCHITECT'S TITLE BLOCK ON EACH INDIVIDUAL DRAWING FOR WHICH IT IS RESPONSIBLE. THE OTHER DRAWINGS ARE THE SOLE RESPONSIBILITY OF THEIR RESPECTIVE PREPARERS.



- GENERAL NOTES:**
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
  2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
  3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
  4. ALL BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
  5. COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
  6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
  7. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
  8. IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
  9. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.

**KEYNOTES:**

- 1 SAWCUT CONCRETE WALK TO NEAREST JOINT
- 2 SAWCUT BITUMINOUS PAVEMENT
- 3 REMOVE/SALVAGE LIGHT POLE
- 4 REMOVE PARKING LOT STRIPING
- 5 MAINTAIN/PROTECT FIBER OPTIC LINE. COORDINATE WITH UTILITY COMPANY IF LINE NEEDS TO BE RELOCATED
- 6 REMOVE/SALVAGE ADA PARKING SIGN
- 7 REMOVE/SALVAGE FLAG POLE-TURN OVER TO OWNER
- 8 MAINTAIN FENCE
- 9 REMOVE/SALVAGE TRAVELING TEACHER SIGN
- 10 REMOVE/SALVAGE VISITOR PARKING SIGN
- 11 REMOVE MONUMENT AND DISPOSE OF IN A LEGAL MANNER

**DEMOLITION HATCH PATTERNS:**

- BITUMINOUS REMOVAL
- CONCRETE REMOVAL

- LEGEND**
- Three standard symbols will be found in the drawing:
- SANITARY SEWER
  - STORM SEWER
  - OVERHEAD UTILITIES
  - BURIED ELECTRIC
  - BURIED GAS
  - BURIED TELEPHONE
  - WATERMAIN
  - FIBER OPTICS
  - EDGE OF BITUMINOUS
  - CONTOUR LINE
  - RECTANGULAR CATCH BASIN
  - BASKETBALL HOOP
  - CIRCULAR CATCH BASIN
  - ELECTRIC METER
  - EMERGENCY SIREN
  - ELECTRIC TRANSFORMER
  - FLAGPOLE
  - MONUMENT STONE
  - GAS VALVE
  - GUY WIRE
  - HYDRANT
  - LIGHTPOLE
  - MALIBOX
  - FIBER OPTIC MANHOLE
  - PLAY EQUIPMENT
  - POWERPOLE
  - SANITARY MANHOLE
  - SIGN
  - STORM MANHOLE
  - WATER VALVE
  - BUSH/SHRUB
  - TREE
  - PINE TREE
  - COMPUTED CORNER
  - CONCRETE MONUMENT FOUND
  - RECORDED AS
  - 1-1/4" O.D. IRON PIPE FOUND
  - 2" O.D. IRON PIPE FOUND

**TOPOGRAPHIC MAP DISCLAIMER**

TOPOGRAPHIC MAP IS FROM 5/15/2012. INFORMATION HAS ALSO BEEN TAKEN FROM THE DESIGN PLANS PROVIDED IN 2012. EXISTING INFORMATION WITHIN THE PROJECT LIMITS SHALL BE VERIFIED.

**LEGAL DESCRIPTION**

BEING LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

**BENCH MARK**

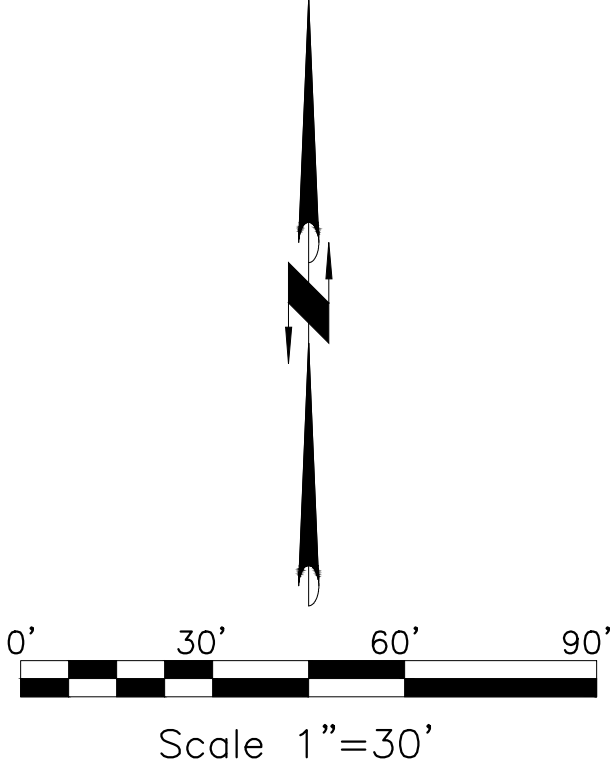
ELEVATIONS ARE REFERENCED TO NAVD 83 DATUM.

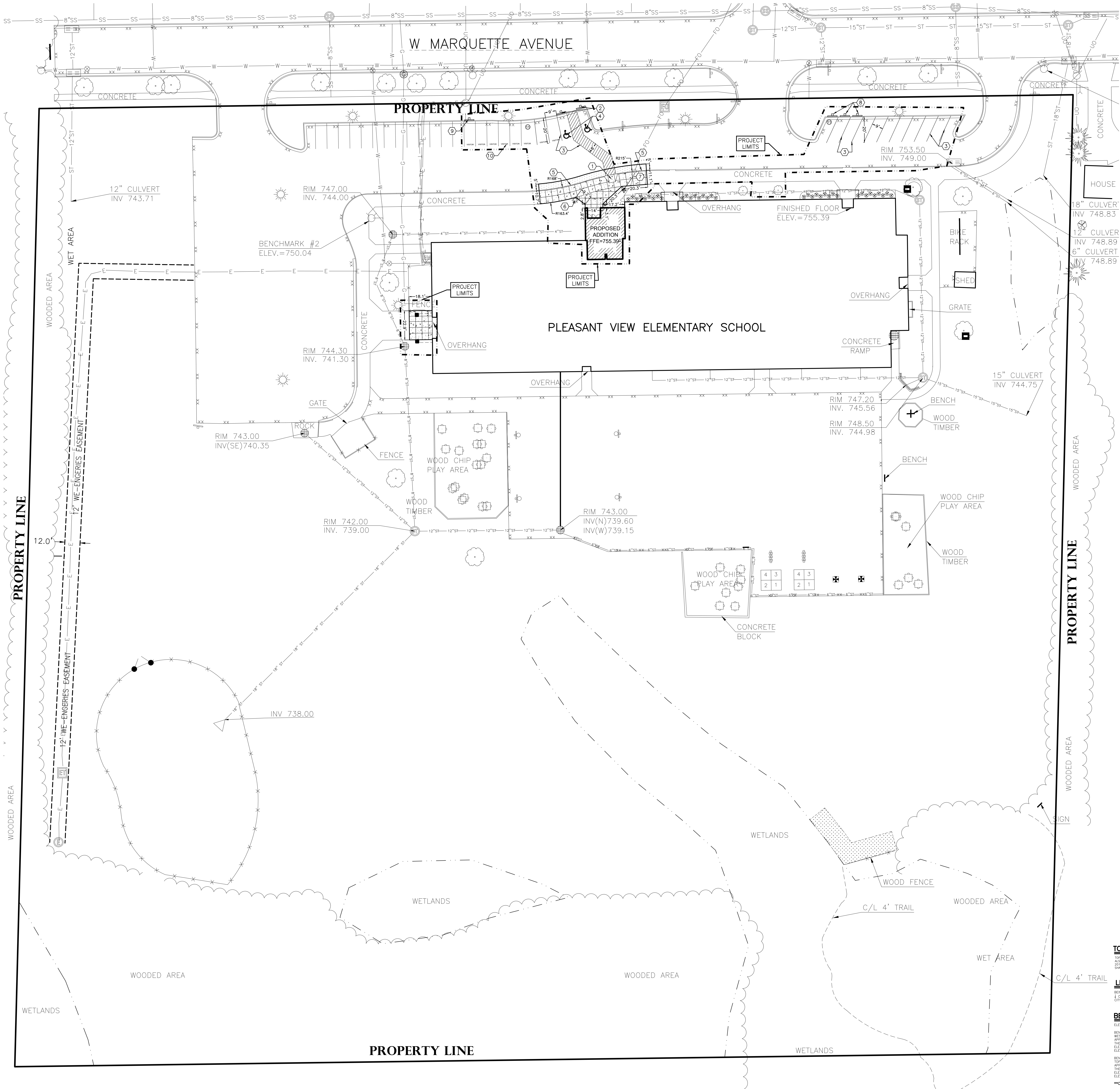
BENCHMARK #1: WEST FLANGE BOLT ON HYDRANT, LOCATED APPROXIMATELY 100 FEET EAST AND 100 FEET NORTH OF THE NORTHEAST CORNER OF THE PLEASANT VIEW ELEMENTARY BUILDING.

BENCHMARK #2: TOP OF ANGLE ON FLANGE OF HYDRANT, LOCATED APPROXIMATELY 50 FEET WEST AND 50 FEET NORTH OF THE NORTHWEST CORNER OF THE PLEASANT VIEW ELEMENTARY BUILDING.

\*\*CONTRACTOR SHALL VERIFY ALL BENCHMARKS\*\*

Utility Disclaimer: The locations, depths, sizes and types of underground public and private utilities or substructures shown herein were obtained from visual inspection, field measurements, and/or as-built plans. The locations shown herein are only approximate, and additional utility lines not discovered or marked during the survey or records are the responsibility of the contractor. The contractor shall be responsible for the discovery of additional underground utilities not shown herein. POB makes no warranty of any kind, express or implied, with respect to the existing utilities shown herein. Prior to construction, it is the contractor's responsibility to field verify locations, depths, sizes and types of underground public and private utilities or substructures within the construction limits and shall bring forward, in writing to the Engineer of Record, all discrepancies that do not align with the existing conditions as shown herein.





GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVELS TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL, MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. SEE SHEET C200 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
7. ALL BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
8. PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
9. SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY CONSTRUCTION MANAGER.
10. ALL SANDLOTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
11. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

- ① ADA RAMP
- ② REINSTALL SALVAGED ADA PARKING SIGN
- ③ PARKING LOT STRIPING
- ④ ADA PARKING STALL
- ⑤ THICKENED EDGE WALK
- ⑥ RELOCATED LIGHT POLE- SEE ELECTRICAL PLANS
- ⑦ FLAG POLE- SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS
- ⑧ REINSTALL SALVAGED TRAVELING TEACHER SIGN
- ⑨ REINSTALL SALVAGED VISITOR PARKING SIGN WITH ARROW POINTING TO THE RIGHT
- ⑩ "VISITOR" PARKING STRIPING- WHITE TRAFFIC PAINT TYP.

PAVEMENT HATCH PATTERNS:

- PROPOSED 3.5" ASPHALTIC CONCRETE PAVEMENT W/12" BASE COURSE
- PROPOSED 4" CONCRETE PAVEMENT W/6" BASE COURSE

- LEGEND**
- Three standard symbols will be found in the drawing:
- SANITARY SEWER
  - STORM SEWER
  - OVERHEAD UTILITIES
  - BURIED ELECTRIC
  - BURIED GAS
  - BURIED TELEPHONE
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TOPOGRAPHIC MAP DISCLAIMER

BEING LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN.

LEGAL DESCRIPTION

BENCH MARK

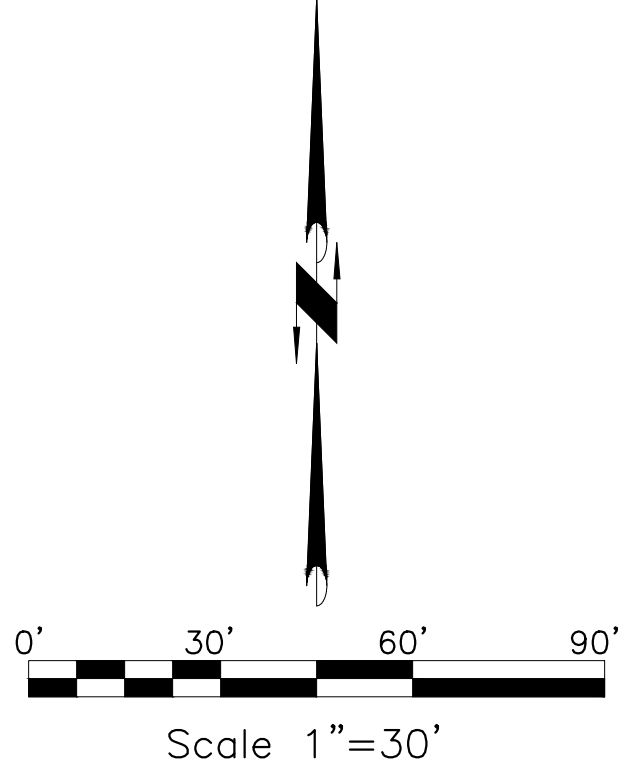
ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1: WEST FLANGE BOLT ON HYDRANT, LOCATED APPROXIMATELY 100 FEET EAST AND 100 FEET NORTH OF THE NORTHEAST CORNER OF THE PLEASANT VIEW ELEMENTARY BUILDING.

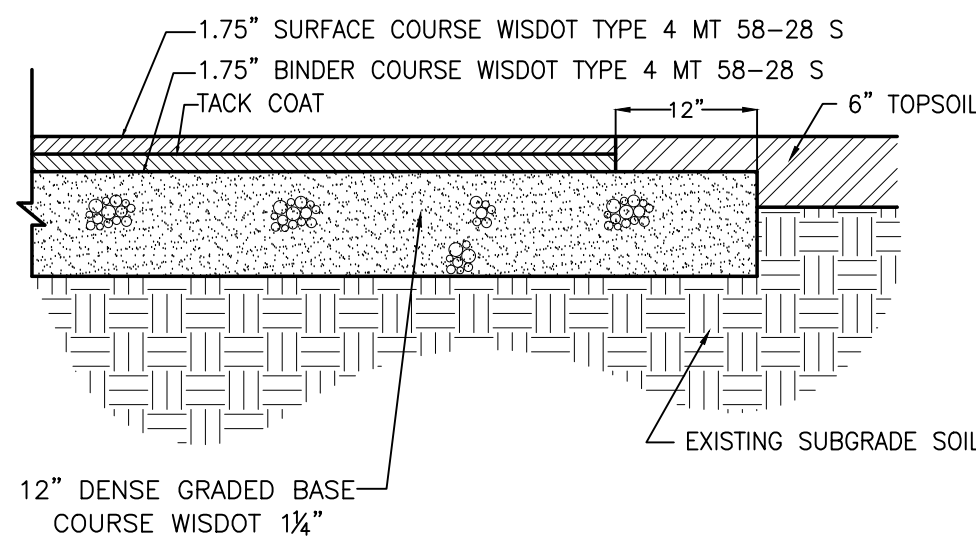
BENCHMARK #2: TOP OF ARROW ON FLANGE OF HYDRANT, LOCATED APPROXIMATELY 50 FEET WEST AND 50 FEET NORTH OF THE NORTHEAST CORNER OF THE PLEASANT VIEW ELEMENTARY BUILDING.

\*\*CONTRACTOR SHALL VERIFY ALL BENCHMARKS\*\*

Utility Disclaimer: The locations, depths, sizes and types of underground public and private utilities or substructures shown herein were obtained from visual inspection, field measurements, and/or as-built plans. The locations shown herein are only approximate, and additional utility lines not discovered, or marked, during the survey or records on file may exist. Any contractor using the information shown herein is hereby forewarned that any excavation upon this site may result in the discovery of additional underground utilities not shown herein. POB makes no warranty of any kind, express or implied, with respect to the existing utilities shown herein. Prior to construction, it is the contractor's responsibility to field verify locations, depths, sizes and types of underground public and private utilities on or under the site within the construction limits and shall bring forward, in writing to the Engineer of Record, all discrepancies that do not align with the existing conditions as shown herein.

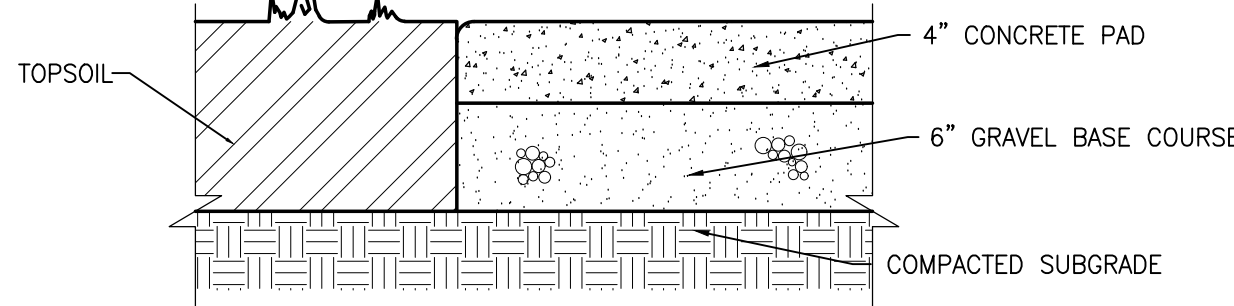
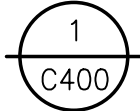




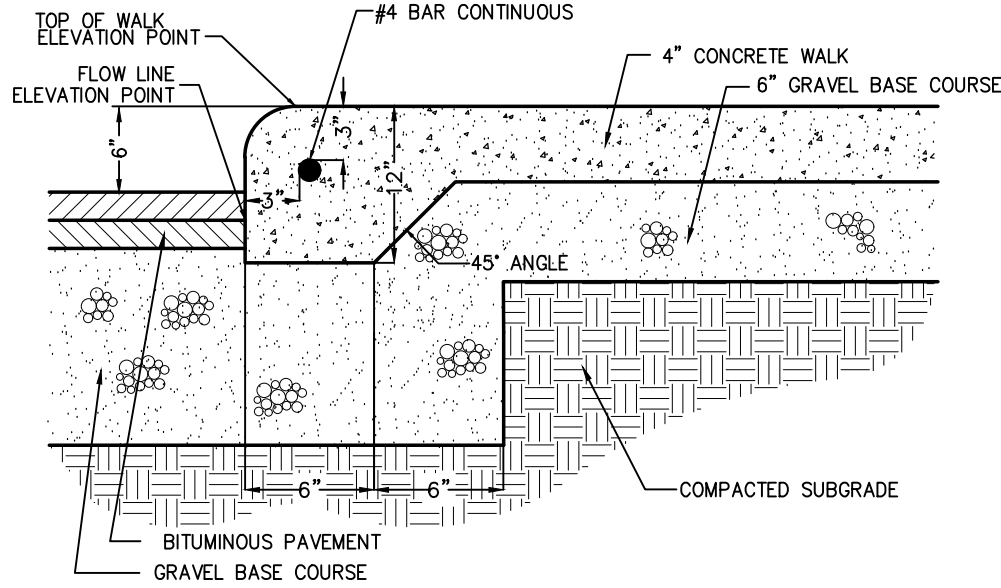
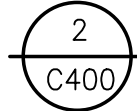


STANDARD PAVEMENT

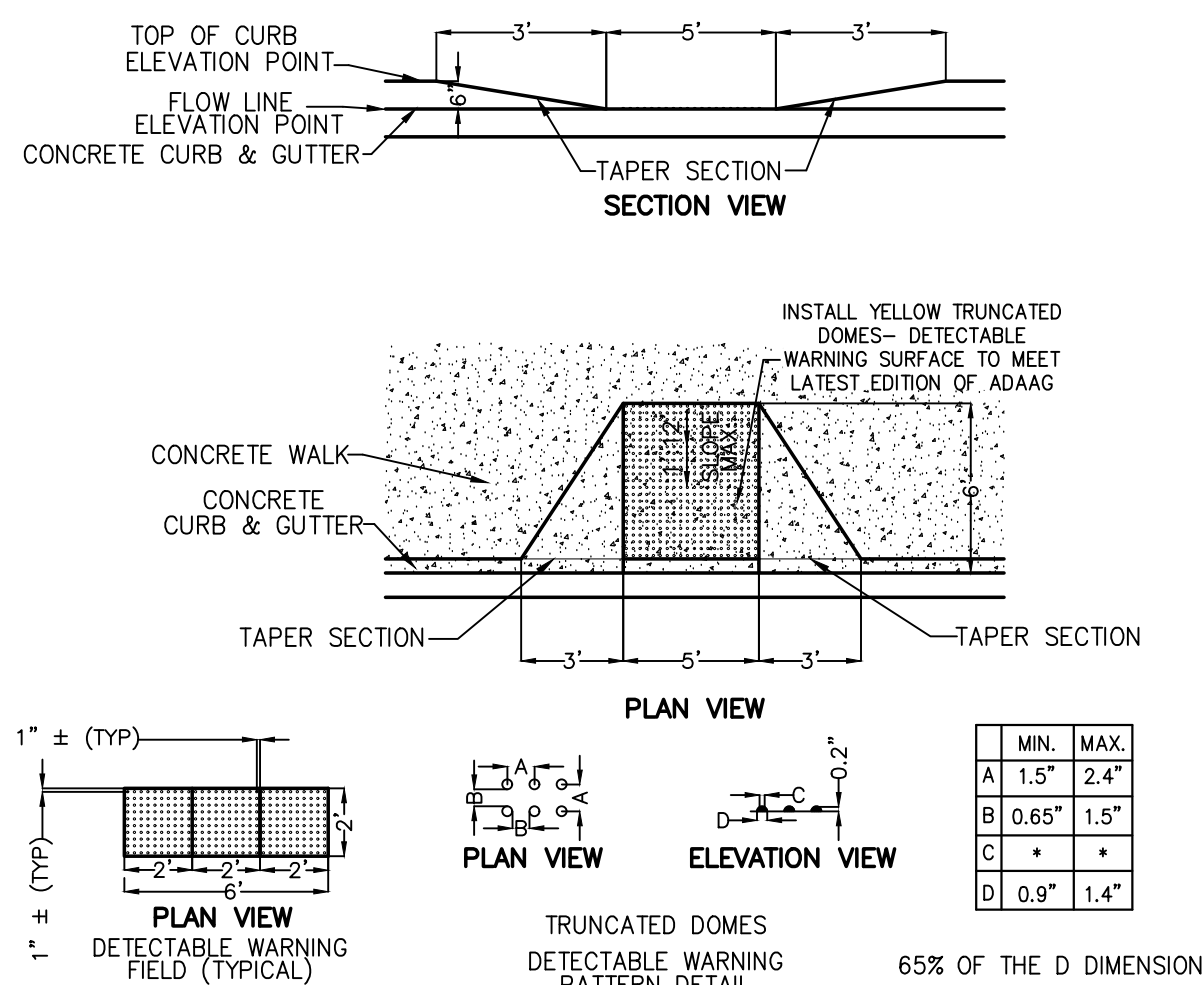
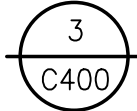
ASPHALT PAVEMENT



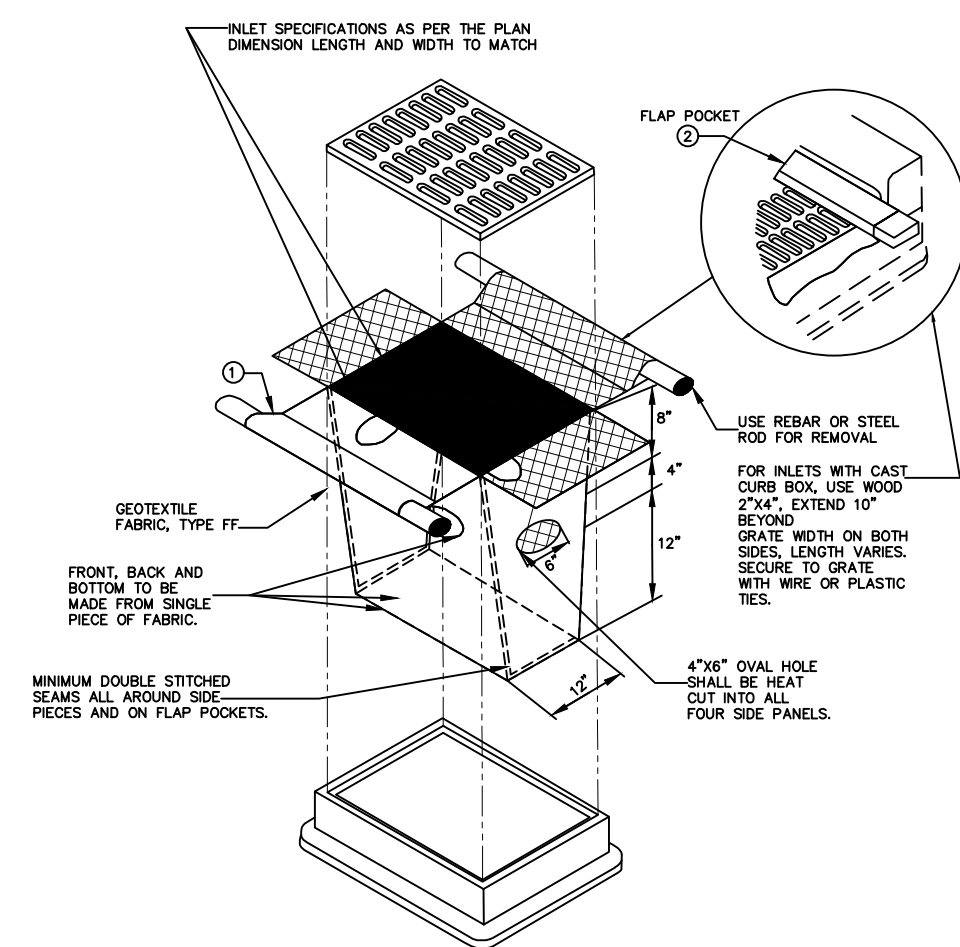
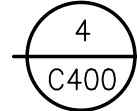
4" SIDEWALK



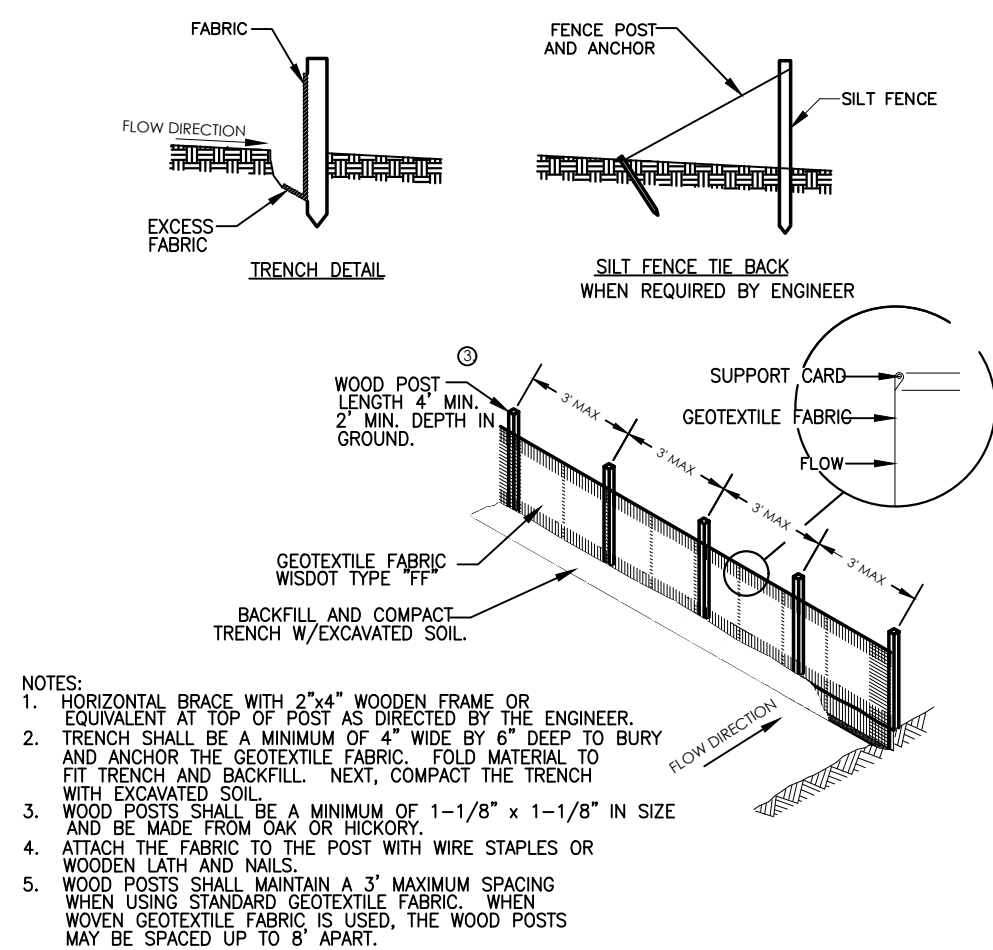
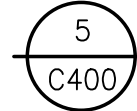
THICKENED EDGE WALK



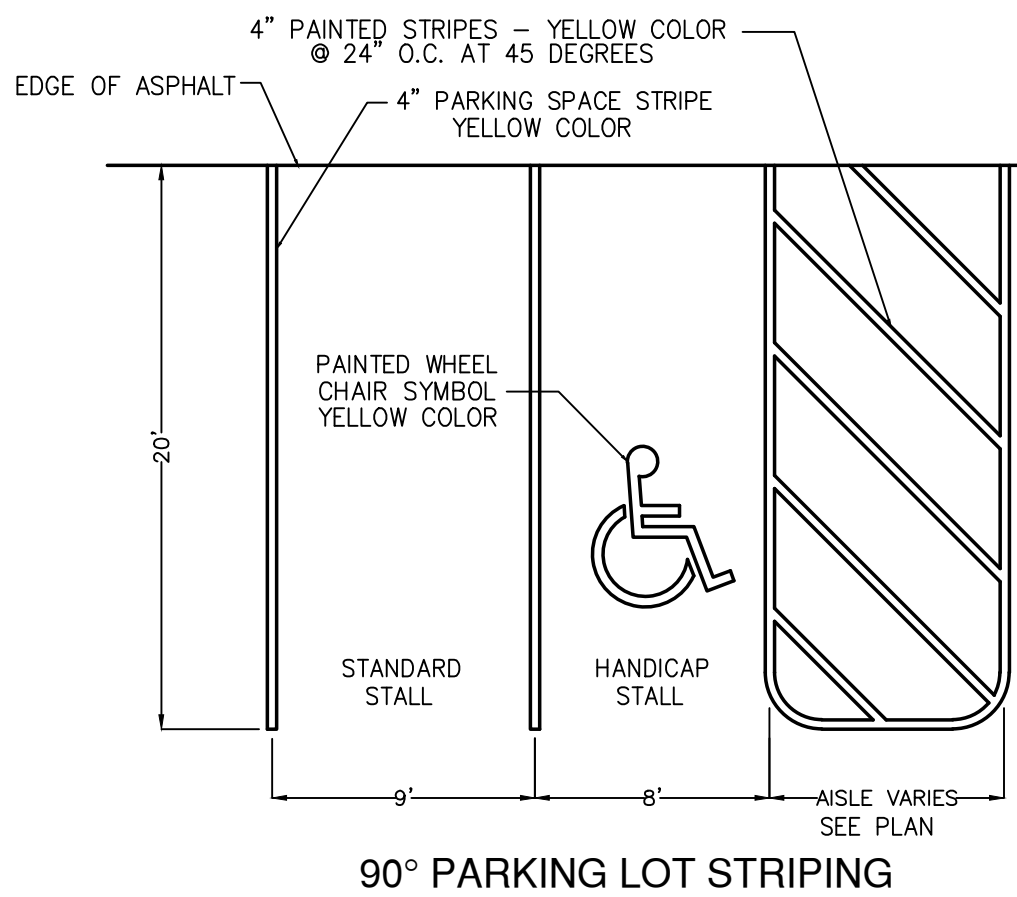
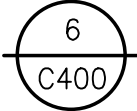
A.D.A. CURB RAMP



INLET PROTECTION

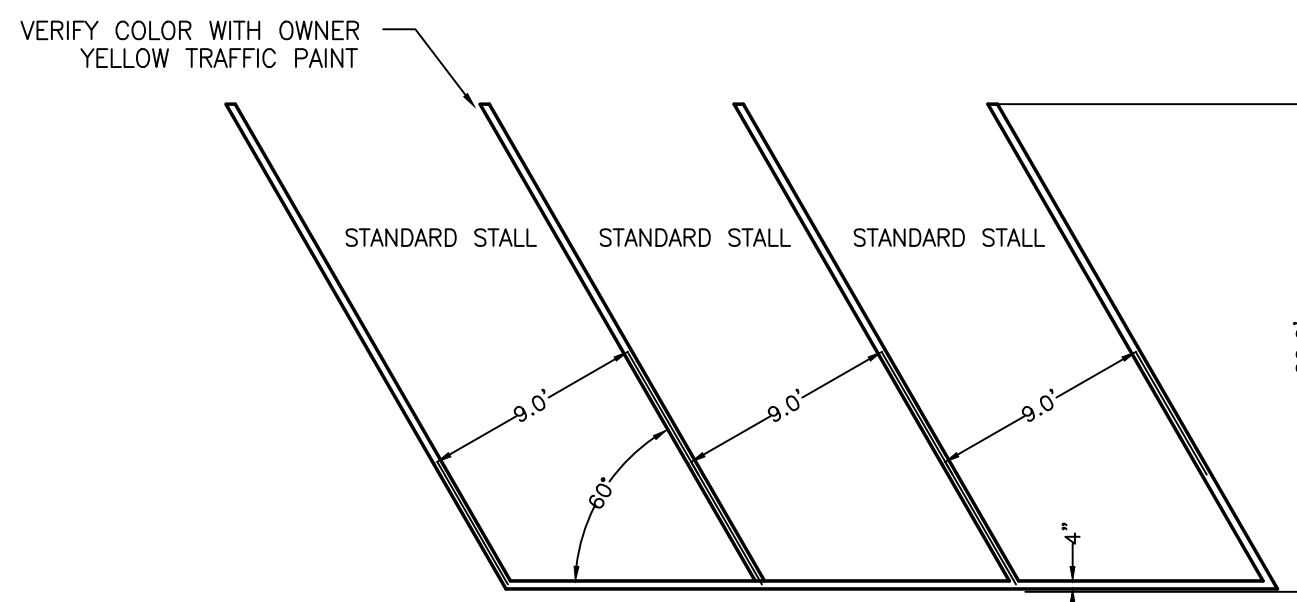
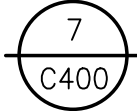


SILT FENCE

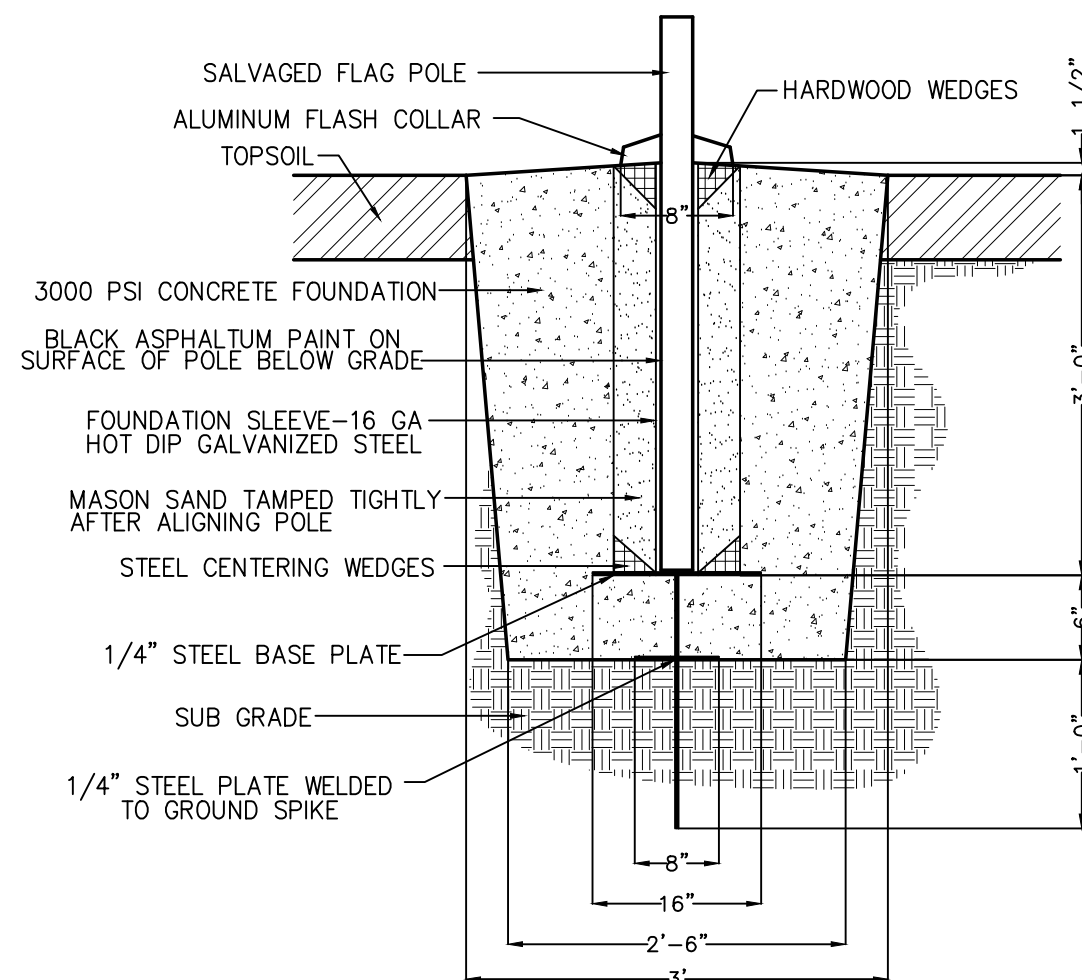


90° PARKING LOT STRIPING

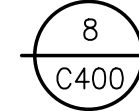
PARKING LOT STRIPING

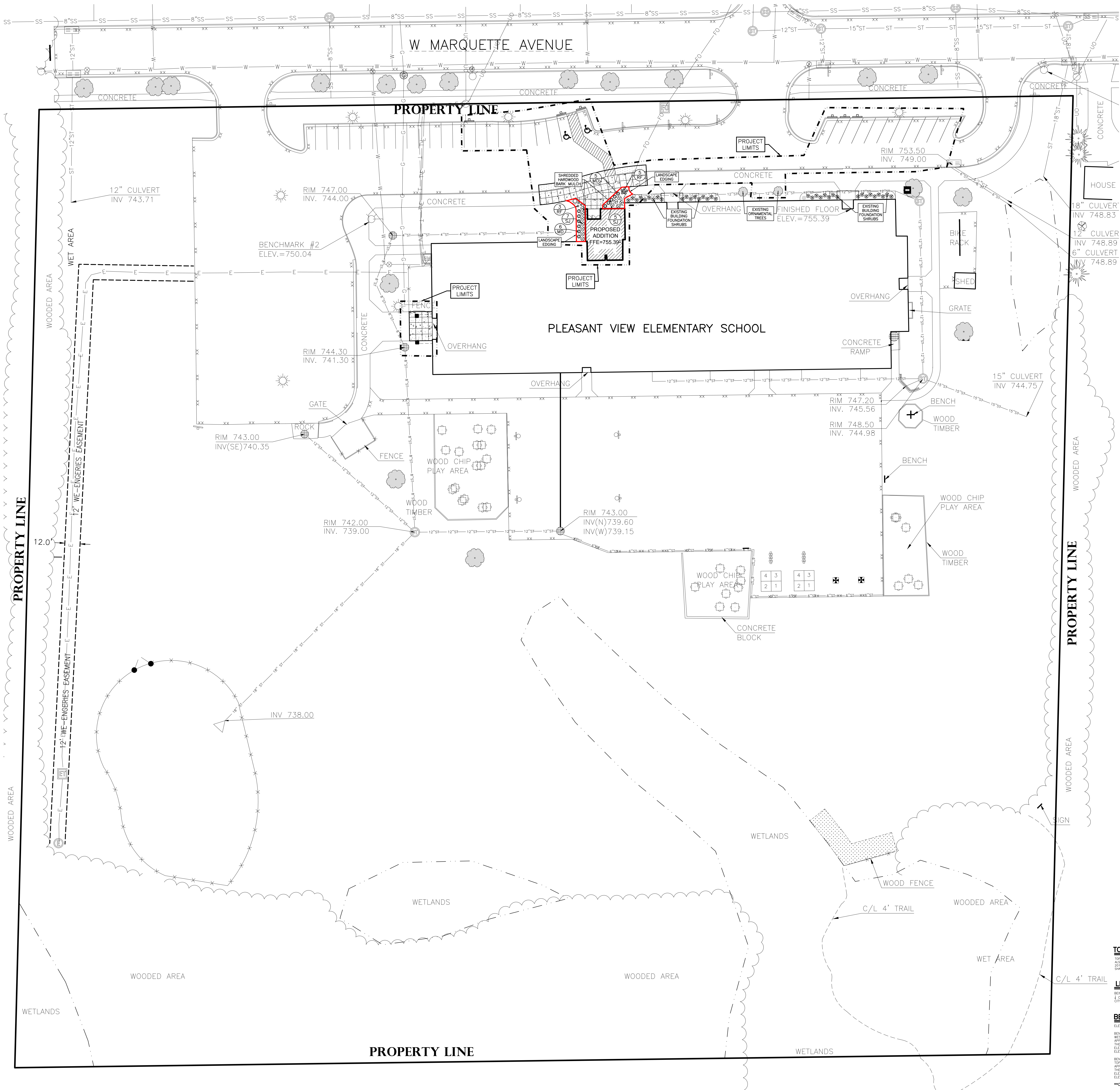


ANGLED PARKING LOT STRIPING



FLAG POLE BASE





GENERAL NOTES:

- CONTACT OWNER'S NOTING 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
- SEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THIS SPECIES.
- LANDSCAPE EDGING TO MATCH EXISTING, SHALL BE PLACED AROUND ALL LANDSCAPE BEDS.
- 3" OF SHREDDED BARK MULCH SHALL BE PLACED IN ALL PLANTING BEDS.
- 20-YEAR WEED BARRIER FABRIC SHALL BE PLACED BENEATH ALL SHREDDED HARDWOOD BARK MULCH.
- COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND CABLE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

PROPOSED PLANTING SCHEDULE:

SHRUBS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
MD	MICROBOTA DECUSATA 'CONDREW'	DREW'S BLUE SPERAN CARPET CYPRESS	3 GAL.	1-2T X 2-3W	11
SJ	SPERIA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	3 GAL.	2-2T X 4W	12
PERENNIALS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
RF	RUDECKIA FULDEA 'GOLDSTURN'	GOLDSTURN BLACK EYE SUSAN	1 GAL.	24-26T X 18-24W	8

SITE STATISTICS

LANDSCAPE SURFACE RATIO = (LANDSCAPE AREA 428,655/OVERALL SITE AREA 614,547) = 0.73

SITE INTENSITY AND SITE CAPACITY

- MINIMUM REQUIRED LANDSCAPE SURFACE: BASE SITE AREA 614,547 \* 40 MINIMUM LSR = 245,819 S.F. OR 5.64 AC.
- \*\*ACTUAL LANDSCAPE SURFACE AREA: 10.55 AC.
- NET BUILDABLE SITE AREA: BASE SITE AREA 614,547 S.F. - MINIMUM REQUIRED LANDSCAPE SURFACE 245,819 = 368,728 S.F. OR 8.46 AC.
- MAXIMUM NET FLOOR AREA YIELD OF SITE: NET BUILDABLE SITE AREA 368,728 \* MAXIMUM NET FLOOR AREA RATIO 0.3 = 110,618 S.F. OR 2.53 AC.
- MAXIMUM GROSS FLOOR AREA: BASE SITE AREA 614,547 S.F. \* MAXIMUM GROSS FLOOR AREA RATIO 0.38 = 233,528 S.F. OR 5.36 AC.
- MAXIMUM PERMITTED FLOOR AREA (LOWEST BETWEEN MAX. NFAR & GFAR YIELD OF SITE): 5.33 AC \* 43,560 S.F. = 232,175 S.F. MAXIMUM PERMITTED FLOOR AREA

ACTUAL FLOOR AREA (EXISTING ELEMENTARY SCHOOL): 44,728 S.F.  
ACTUAL FLOOR AREA (PROPOSED ADDITIONS): 1,508 S.F. (3.4% OF EXISTING FLOOR AREA)  
ACTUAL FLOOR AREA (TOTAL SITE BUILDING AREA): 46,236 S.F.

LEGEND
Three standard symbols will be found in the drawing:
Sanitary Sewer
Storm Sewer
Overhead Utilities
Buried Electric
Buried Gas
Buried Telephone
Watermain
Fiber Optics
Edge of Bituminous
Contour Line
Rectangular Catch Basin
Basketball Hoop
Circular Catch Basin
Electric Meter
Emergency Sign
Electric Transformer
Flagpole
Memorial Stone
Gas Valve
Gas Meter
Hydrant
Lightpole
Mailbox
Fiber Optic Manhole
Play Equipment
Powerpole
Sanitary Manhole
Sign
Storm Manhole
Water Valve
Bush/Shrub
Tree
Pine Tree
Computed Corner
Concrete Monument Found
Recorded As
1-1/4" O.D. Iron Pipe Found
2" O.D. Iron Pipe Found

TOPOGRAPHIC MAP DISCLAIMER

TOPOGRAPHIC MAP MAY BE FROM 5/15/2012. INFORMATION HAS ALSO BEEN TAKEN FROM THE DESIGN PLANS PROVIDED IN 2012. EXISTING INFORMATION WITHIN THE PROJECT LIMITS SHALL BE VERIFIED.

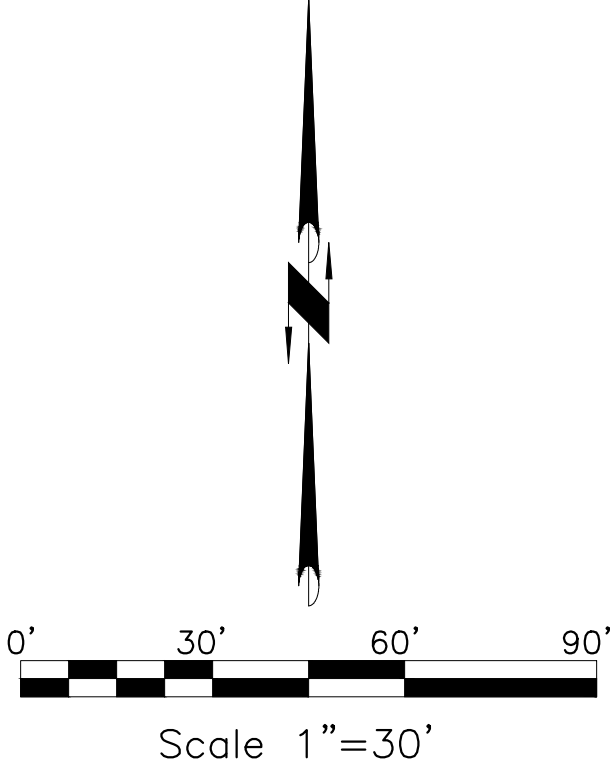
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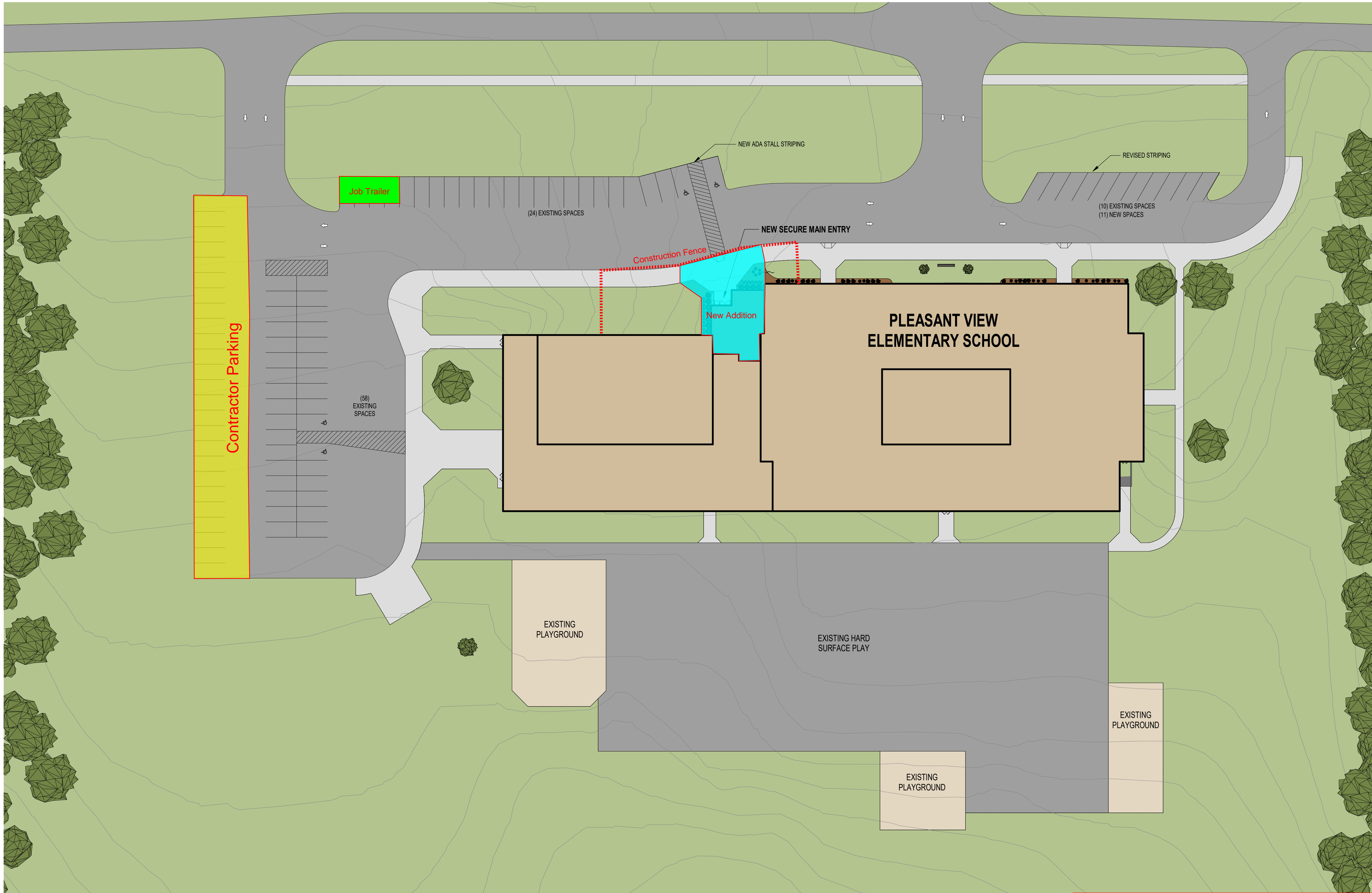
BENCHMARK #1: WEST FLANGE BOLT ON HYDRANT, LOCATED APPROXIMATELY 100 FEET EAST AND 100 FEET NORTH OF THE NORTHWEST CORNER OF THE PLEASANT VIEW ELEMENTARY BUILDING.

BENCHMARK #2: TOP OF ANGLE ON FLANGE OF HYDRANT, LOCATED APPROXIMATELY 50 FEET WEST AND 50 FEET NORTH OF THE NORTHWEST CORNER OF THE PLEASANT VIEW ELEMENTARY BUILDING.

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June 2020 to November 2020

DEVELOPMENT STAGING / PHASING PLAN



MAIN ENTRY ADMIN ADDITION



GYM ENTRY CANOPY



DRAWN BY: PES 6/24/2020 9:21:41 AM

NOT FOR CONSTRUCTION  
© 2020 PLUNKETT RAYSICH ARCHITECTS, LLP

CONSTRUCTION SET  
DATE: 06-02-2020  
JOB NO: 190275-02  
SHEET NO:

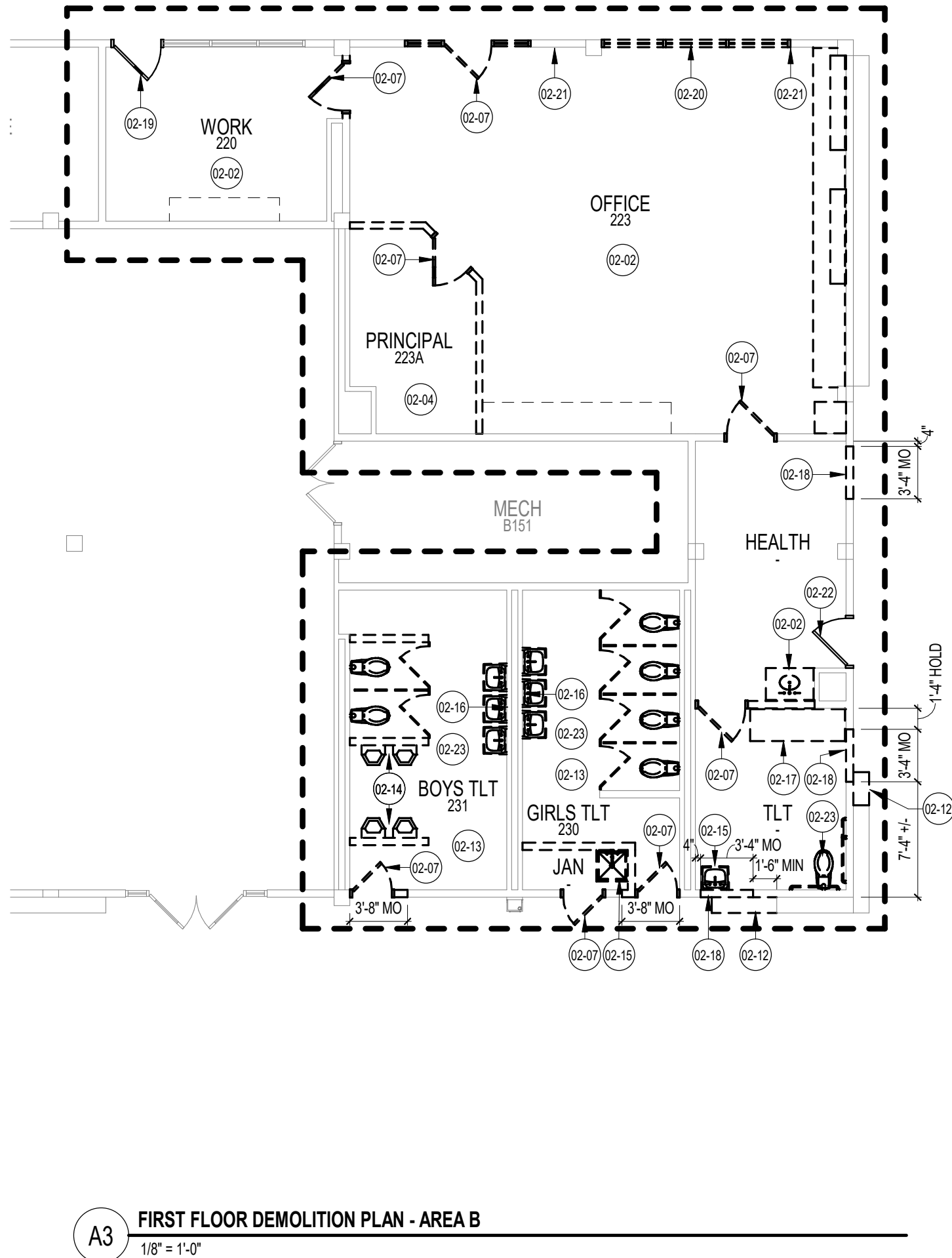
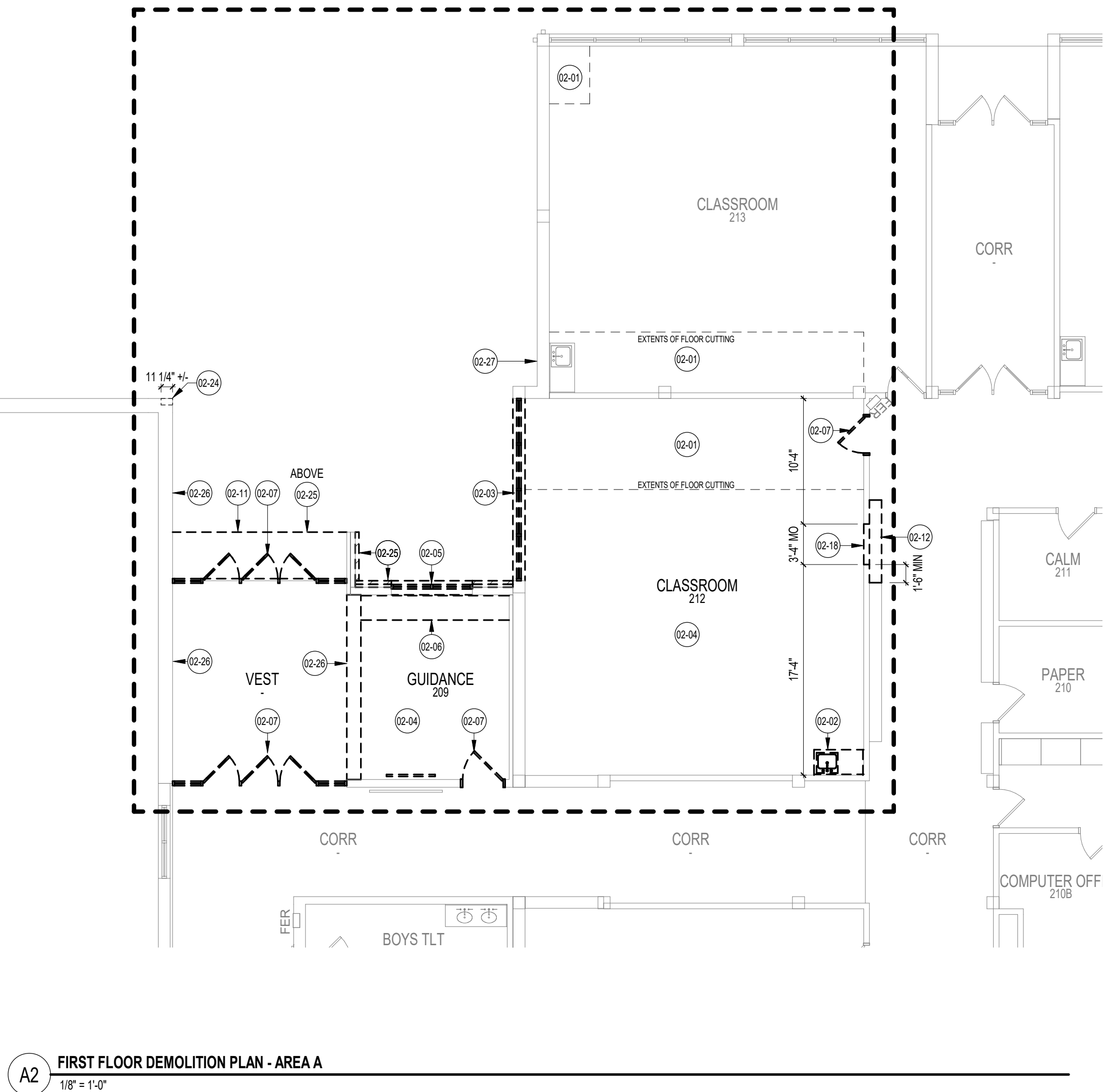
A001

FRANKLIN PUBLIC SCHOOLS  
PLEASANT VIEW ELEMENTARY SCHOOL  
14601 W MARQUETTE AVE, FRANKLIN, WI 53132

PERSPECTIVE RENDERINGS

pro PLUNKETT RAYSICH  
ARCHITECTS, LLP

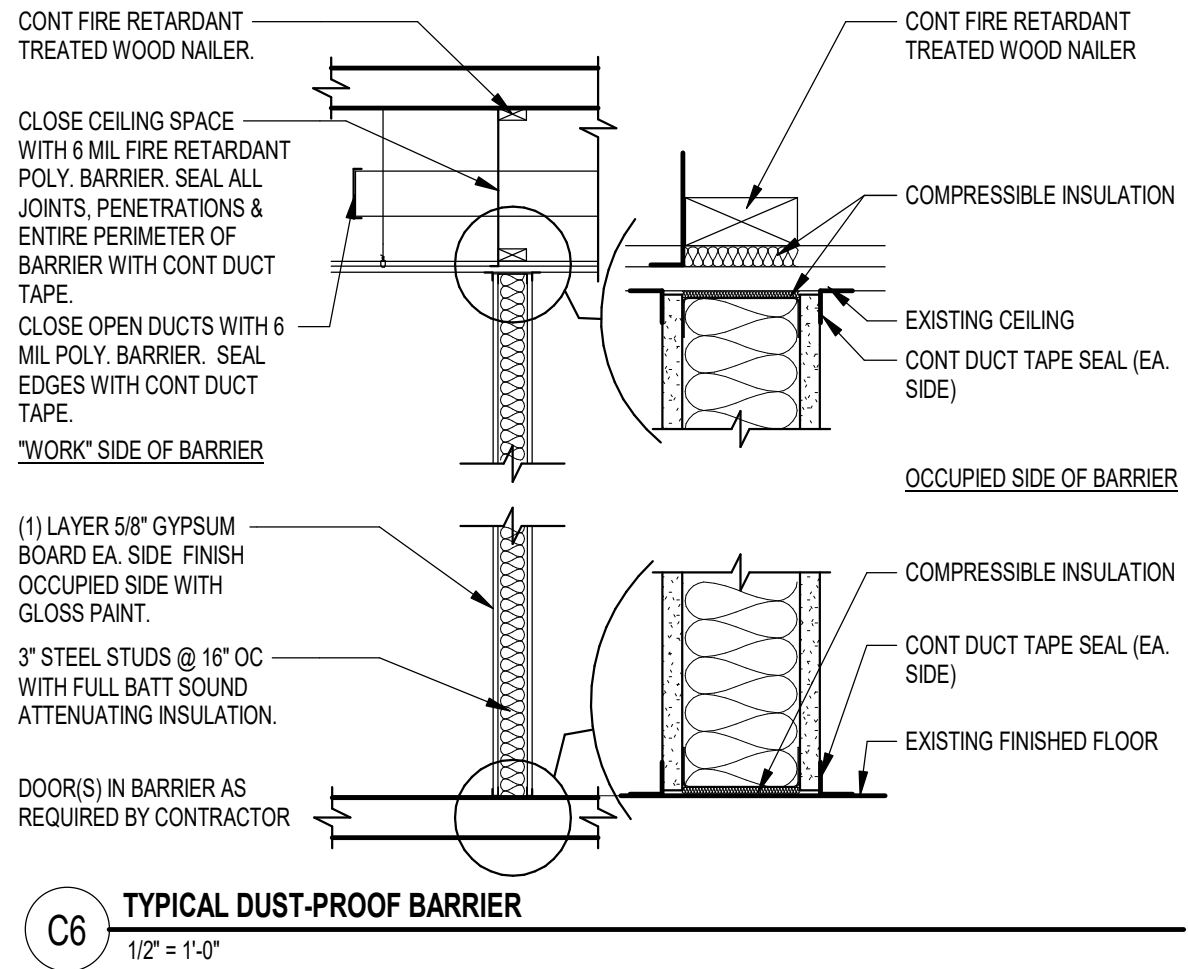
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1900 Main Street  
Suite 200  
Suite 309  
Madison, Wisconsin 53704  
Madison, Wisconsin 53704  
Sarasota, Florida 34236  
141.336.3400  
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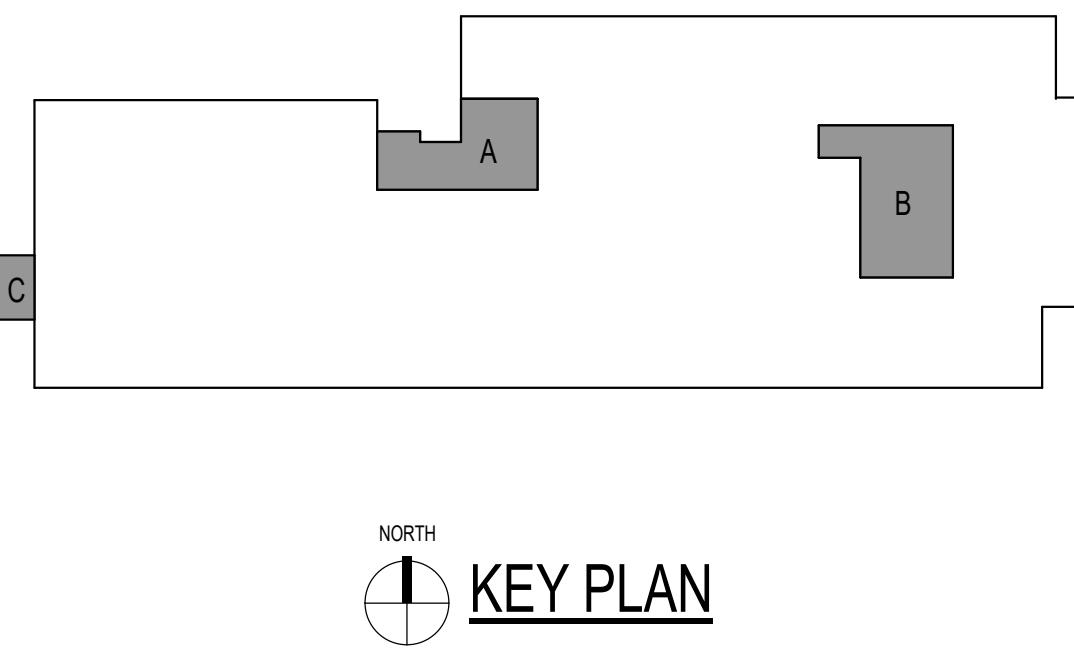
DEMOLITION PLAN - SYMBOLS LEGEND			
	EXISTING WALLS TO REMAIN		EXISTING ITEM TO REMAIN
	EXISTING WALLS TO BE REMOVED		EXISTING ITEM TO BE REMOVED
	EXISTING DOOR TO REMAIN		DEMOLITION PLAN KEYNOTE
	EXISTING DOOR TO BE REMOVED		CONSTRUCTION LIMITS

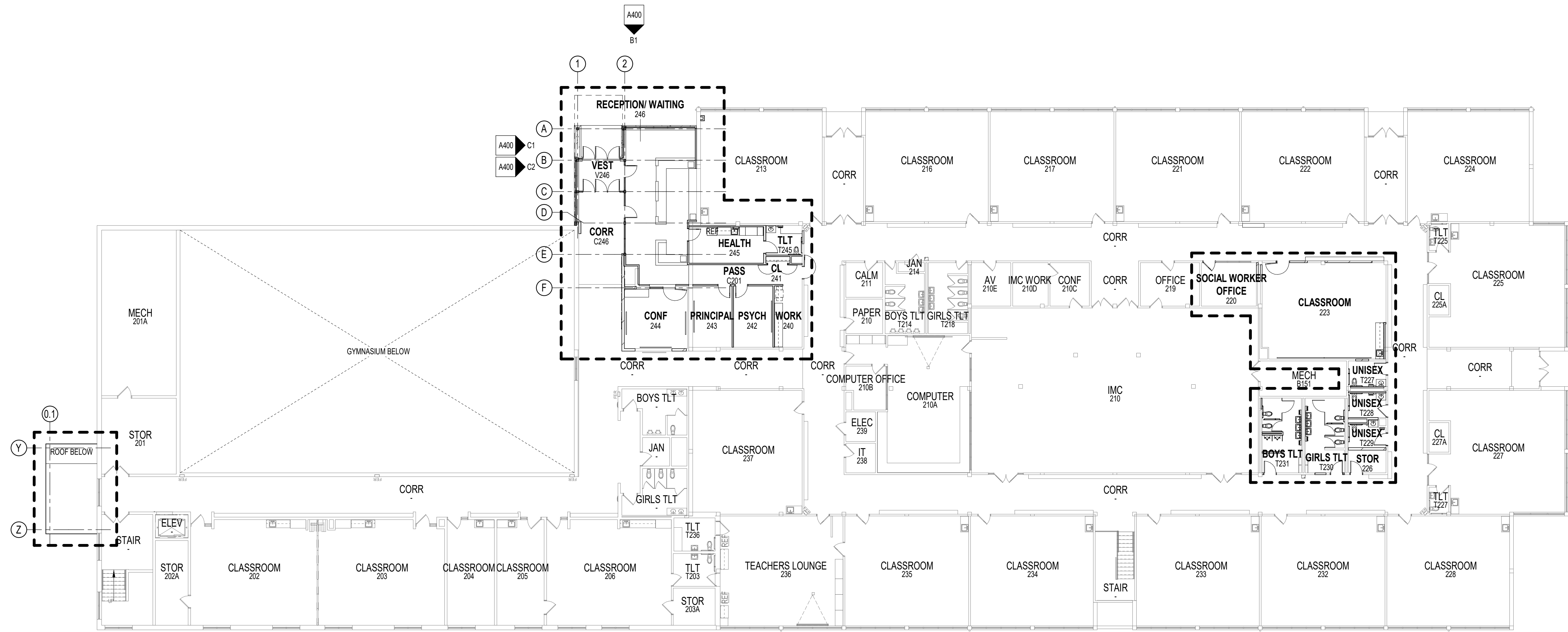
- DEMOLITION PLAN - GENERAL NOTES**
- A. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.
- B. VERIFY EXACT COMPOSITION OF EXISTING WALLS TO BE REMOVED.
- C. REMOVE FLOOR FINISHES, INCLUDING SETTING BED IN CERAMIC TILE AREAS, WHERE NEW FLOORING IS INDICATED IN ROOM FINISH SCHEDULE.
- D. REMOVE SUSPENDED CEILINGS AND RELATED HANGERS, OR GYPSUM BOARD/ PLASTER CEILINGS WHERE NEW CEILINGS ARE INDICATED ON REFLECTED CEILING PLAN OR ROOM FINISH SCHEDULE.
- E. REMOVE ALL INTERIOR AND WALL MOUNTED ITEMS IN AREAS TO BE REMODELED (REFER TO ROOM FINISH SCHEDULE) INCLUDING BUT NOT LIMITED TO, CABINETRY, EQUIPMENT, LOCKERS, TOILET PARTITIONS, SHELVING, HOOK STRIPS, HANDRAILS, CLOSET POLES, CHALK AND TACK BOARDS, MIRRORS, WALL AND CEILING TRIM, BASE.
- F. REFER TO PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.
- G. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK, OR ANY ASSOCIATED EQUIPMENT.
- H. CONSTRUCT A DUST-PROOF PARTITION TO SEPARATE AREAS OF CONSTRUCTION FROM ADJACENT OCCUPIED AREAS OUTSIDE SCOPE OF CONSTRUCTION. REFER TO DETAIL, C6 / A100.

KEYNOTES	
MARK	DESCRIPTION
02-01	CUT AND REMOVE SLAB AS REQ FOR UNDERGROUND PLUMBING WORK. COORDINATE WITH PLUMBING CONTRACTOR.
02-02	REMOVE CASEWORK, INCLUDING SINKS AND ASSOCIATED PLUMBING IN ITS ENTIRETY.
02-03	REMOVE WALL AND WINDOW INFILL BETWEEN COLUMNS AND BEAMS IN ITS ENTIRETY.
02-04	REMOVE ALL MARKER BOARDS, TACK BOARDS, PROJECTION SCREENS, AND PROJECTORS AND MOUNTS AND RETURN TO OWNER.
02-05	REMOVE WINDOW AND WALL BELOW SILL. LINTEL TO REMAIN.
02-06	REMOVE COUNTER AND WALL BELOW. COORDINATE RELOCATING ANY MEP WITHIN CHASE WITH DESIGN/BUILD CONTRACTORS.
02-07	REMOVE DOOR AND FRAME.
02-11	REMOVE STOOP. SEE STRUCTURAL S210.
02-12	REMOVE PORTION OF CURBIES FOR NEW DOOR. HOLD 1'-6" FROM DOOR EDGE. RETURN TO OWNER.
02-13	REMOVE ALL TOILET PARTITIONS, FLOOR AND WALL TILE, AND CEILINGS IN THEIR ENTIRETY.
02-14	REMOVE URINALS.
02-15	REMOVE PLUMBING FIXTURE.
02-16	REMOVE MIRRORS, PAPER TOWEL DISPENSERS, AND SOAP DISPENSERS, RETURN TO OWNER.
02-17	REMOVE CHANGING TABLE, INCLUDING CABINETRY. FOR RELOCATION IN NEW HEALTH TLT.
02-18	REMOVE PORTION OF WALL FOR NEW OPENING. SEE PLANS FOR EXACT LOCATION OF OPENING.
02-19	REMOVE DOOR PANEL AND HARDWARE. FRAME TO REMAIN.
02-20	REMOVE WINDOW.
02-21	REMOVE PORTION OF WALL TO STRUCTURE ABOVE, FROM COLUMN TO COLUMN, FOR NEW CLERESTORY WINDOW.
02-22	REMOVE DOOR HARDWARE, DOOR PANEL AND FRAME TO REMAIN.
02-23	REMOVE TOILETS AND ALL WALL MOUNTED ACCESSORIES.
02-24	REMOVE PORTION OF BRICK AND CAVITY INSULATION PER DETAIL B114B01.
02-25	REMOVE FINISH BRICK AND INSULATION STRUCTURAL WALL TO REMAIN.
02-26	REMOVE ALL WALL-MOUNTED ITEMS, PUSH PLATES, FIRE PROTECTION PANELS, CABINET HEATER, THERMOSTATS, ETC. COORDINATE RELOCATION WITH MEP DESIGN-BUILD AS NECESSARY.
02-27	REMOVE AND RELOCATE WALL MOUNTED EQUIPMENT AND CONDUIT. COORDINATE WITH MEP DESIGN BUILD.

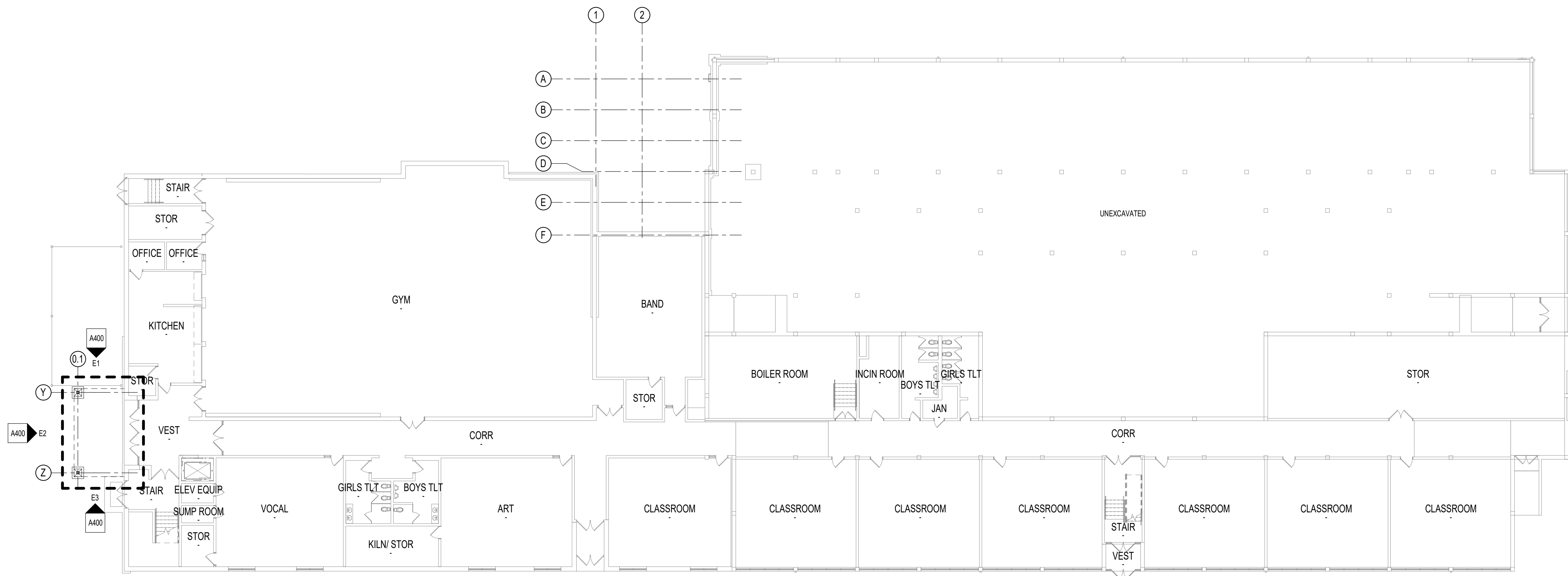


**C6** TYPICAL DUST-PROOF BARRIER  
1/2" = 1'-0"

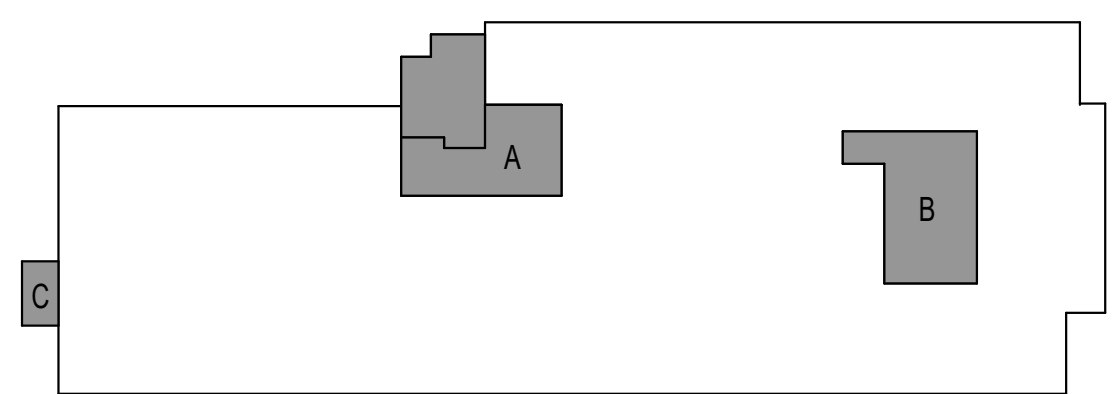




NORTH  
FIRST FLOOR OVERALL PLAN  
1/16" = 1'-0"



NORTH  
LOWER LEVEL OVERALL PLAN  
1/16" = 1'-0"



NORTH  
KEY PLAN

FRANKLIN PUBLIC SCHOOLS  
PLEASANT VIEW ELEMENTARY SCHOOL

4601 W MARQUETTE AVE, FRANKLIN, WI 53132

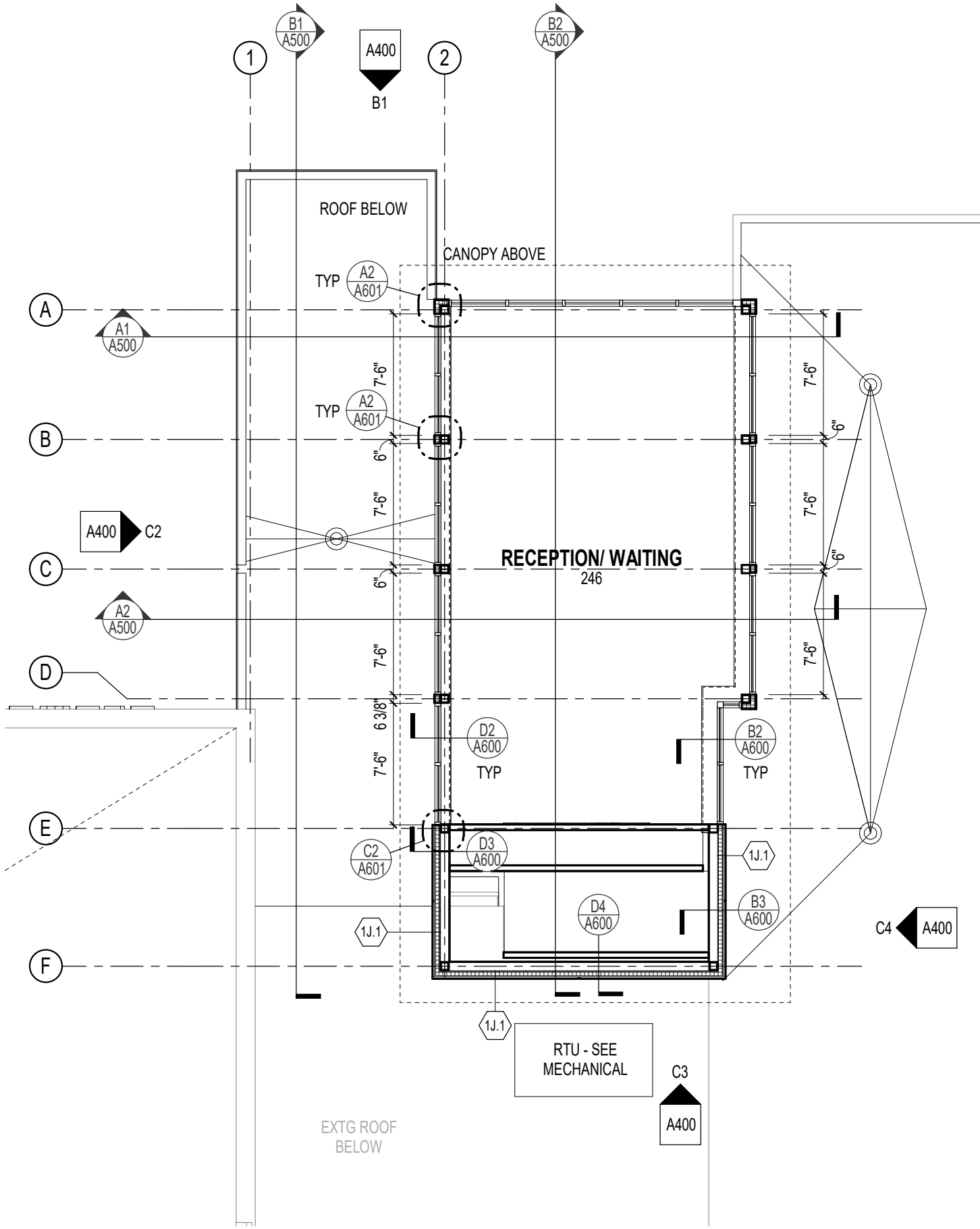
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CONSTRUCTION SET  
DATE: 06-02-2020  
JOB NO: 190275-02  
SHEET NO: A200

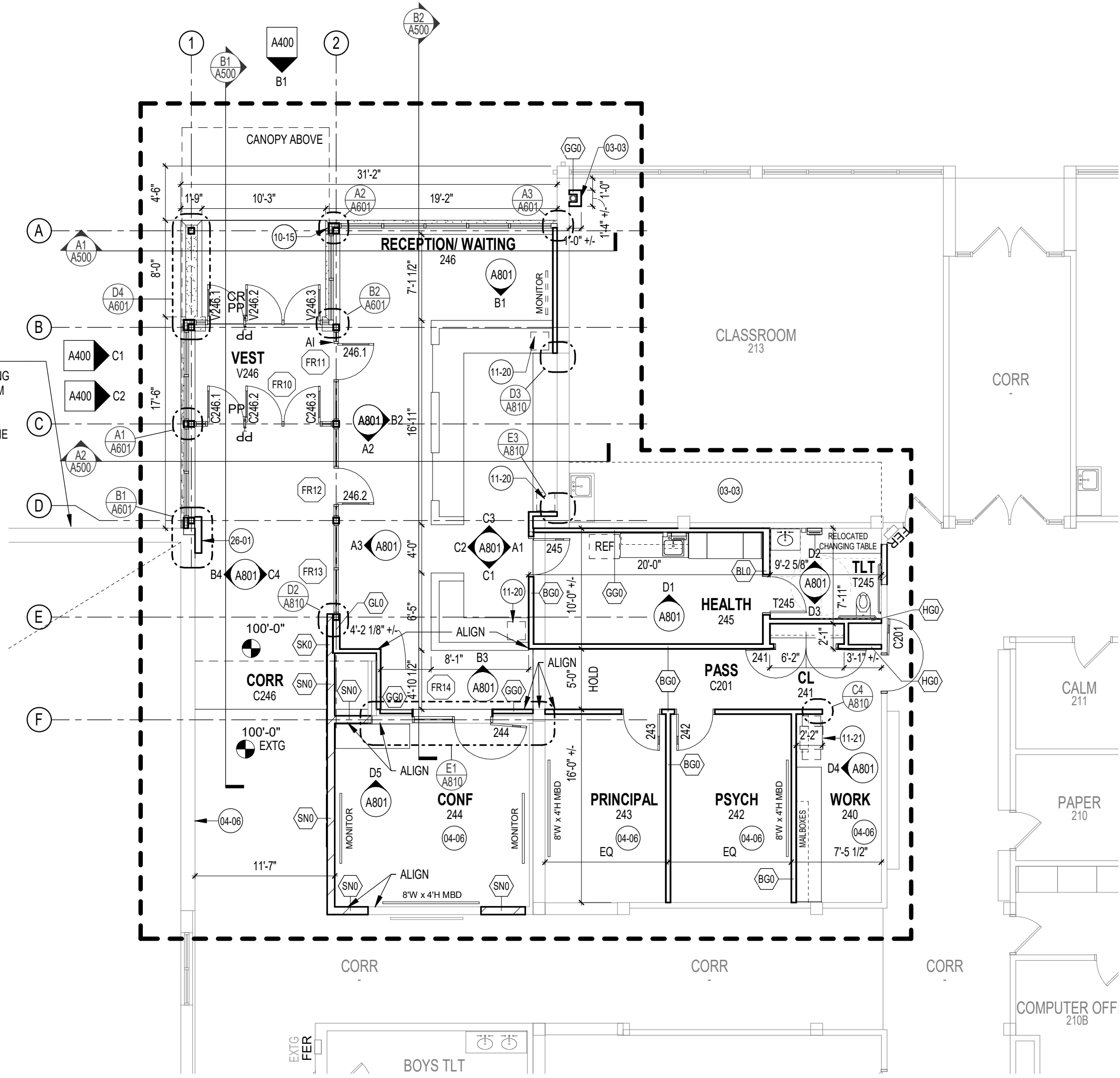
OVERALL FLOOR PLANS

prad  
PLUNKETT RAYSICH  
ARCHITECTS, LLP

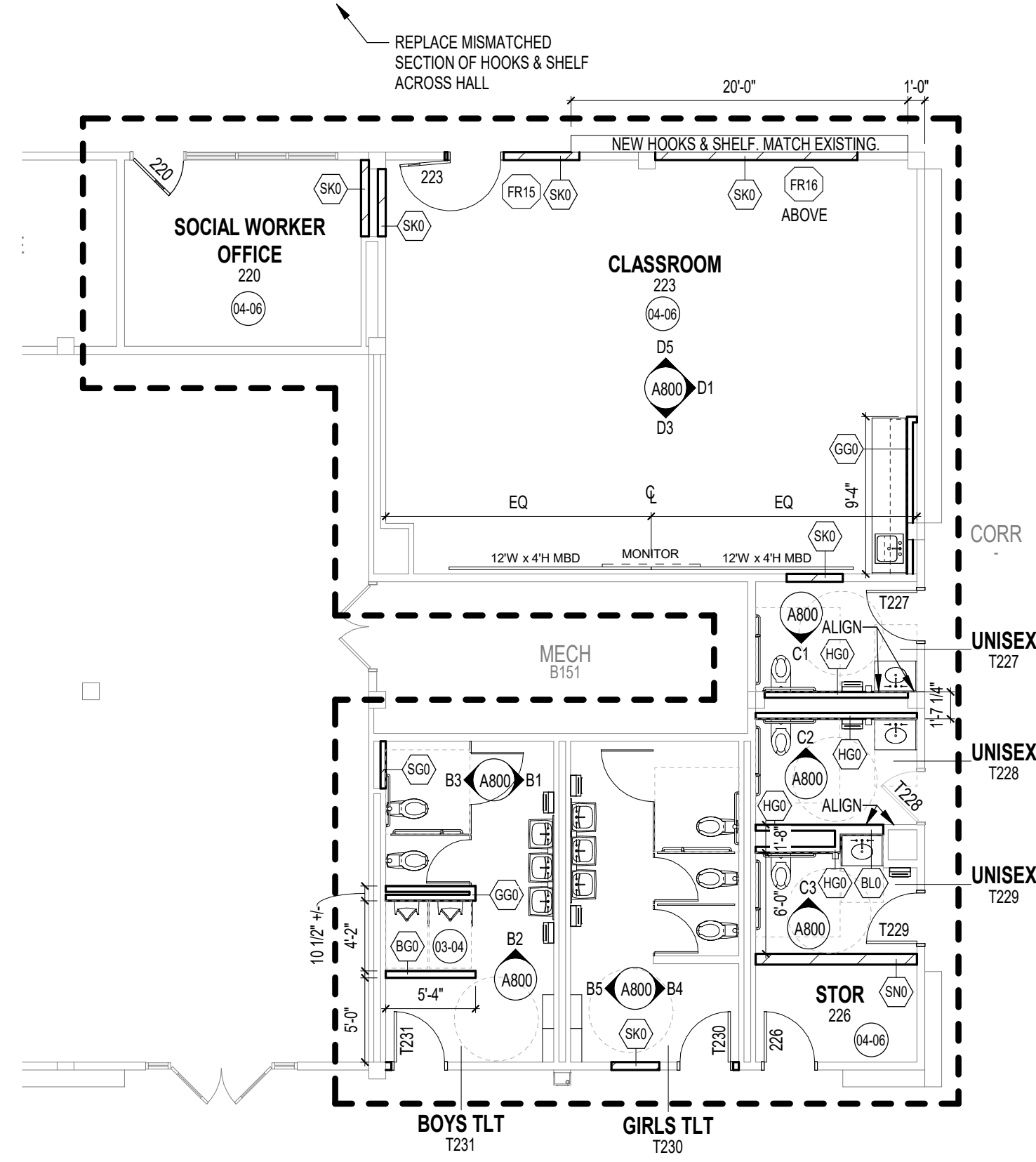
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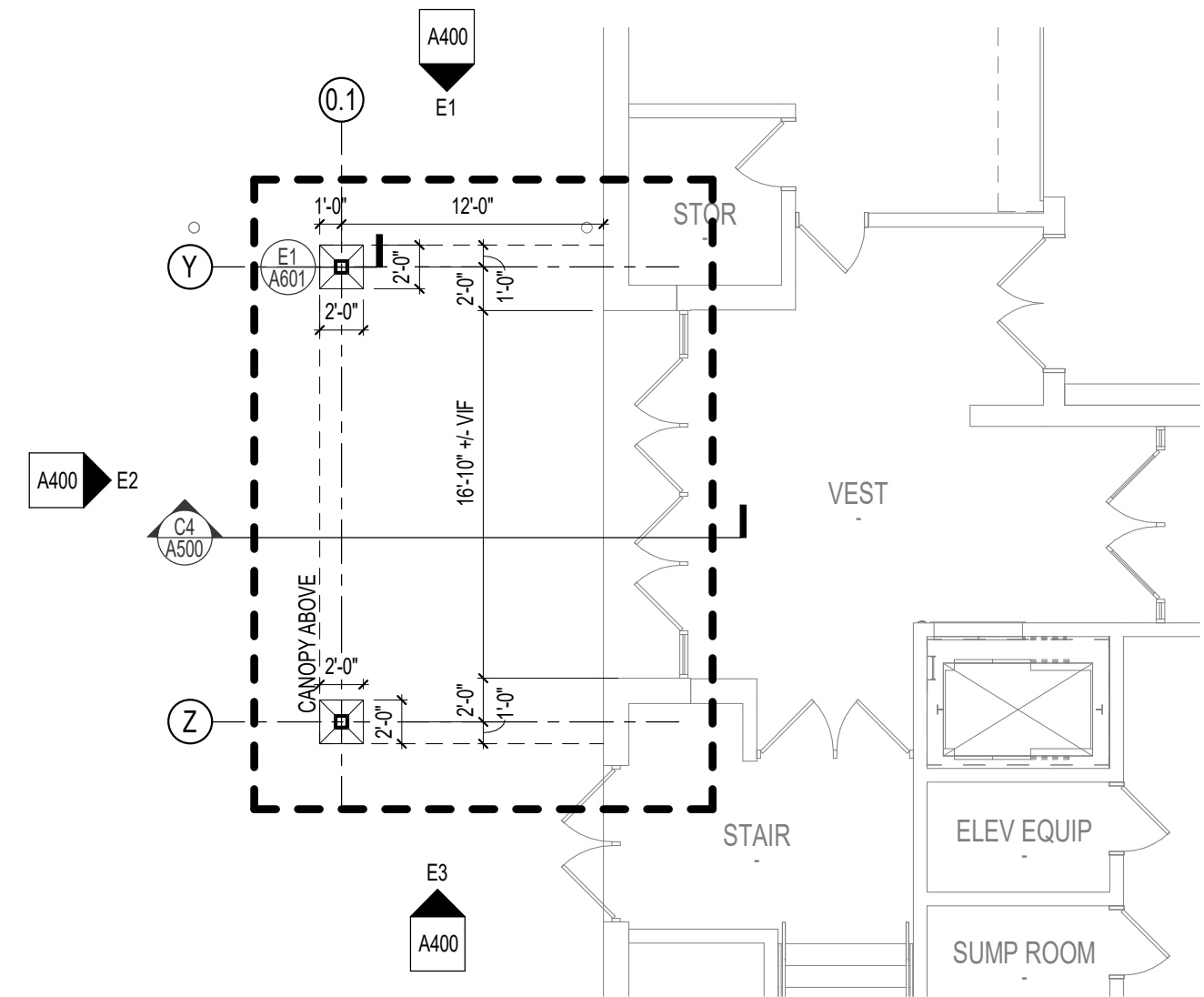
A1 FIRST FLOOR CLERESTORY PLAN  
1/8" = 1'-0"



A2 FIRST FLOOR PLAN - AREA A  
1/8" = 1'-0"



A3 FIRST FLOOR PLAN - AREA B  
1/8" = 1'-0"



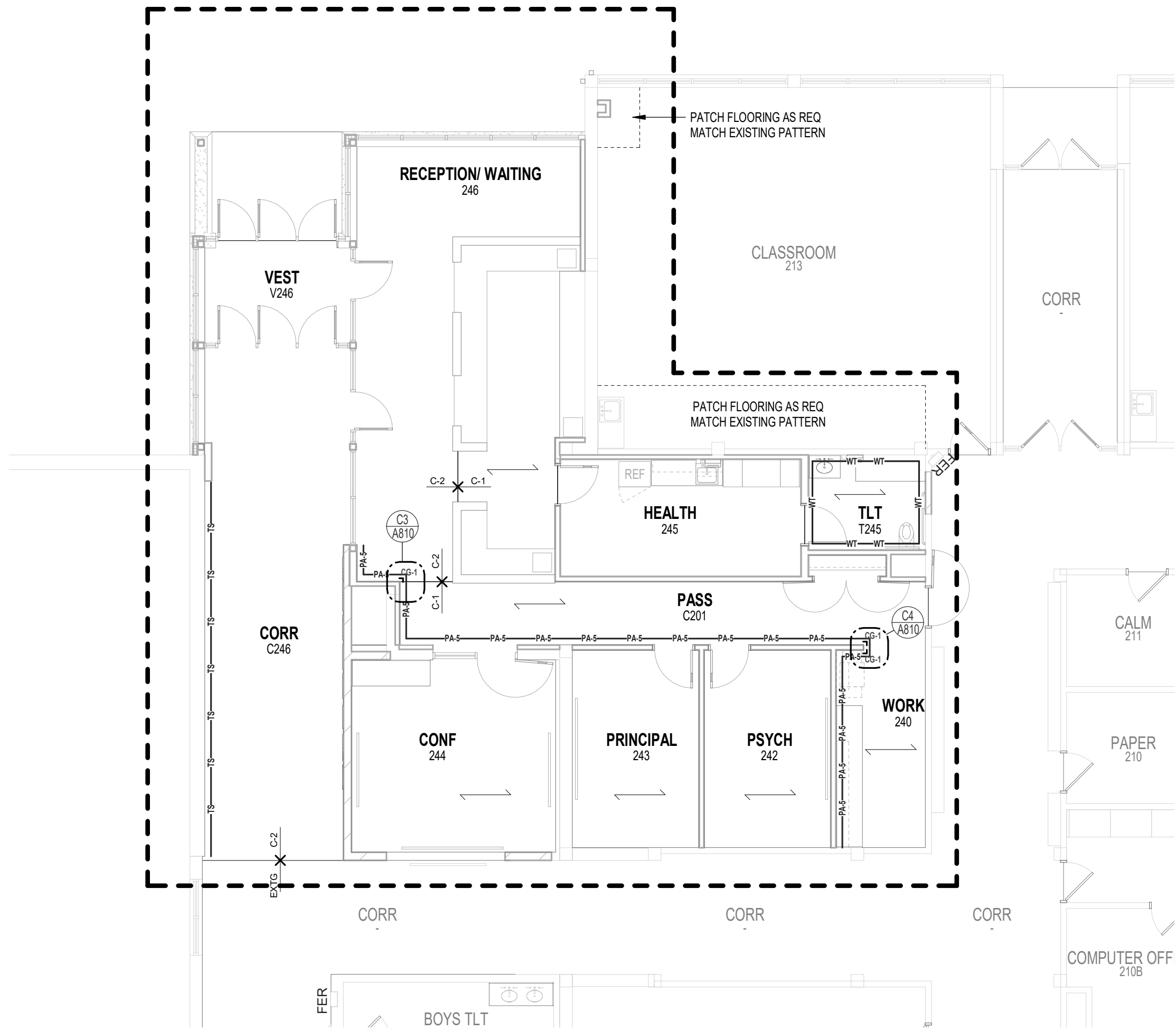
B1 LOWER LEVEL PLAN - AREA C  
1/8" = 1'-0"

#### FLOOR PATTERN PLAN - SYMBOLS LEGEND

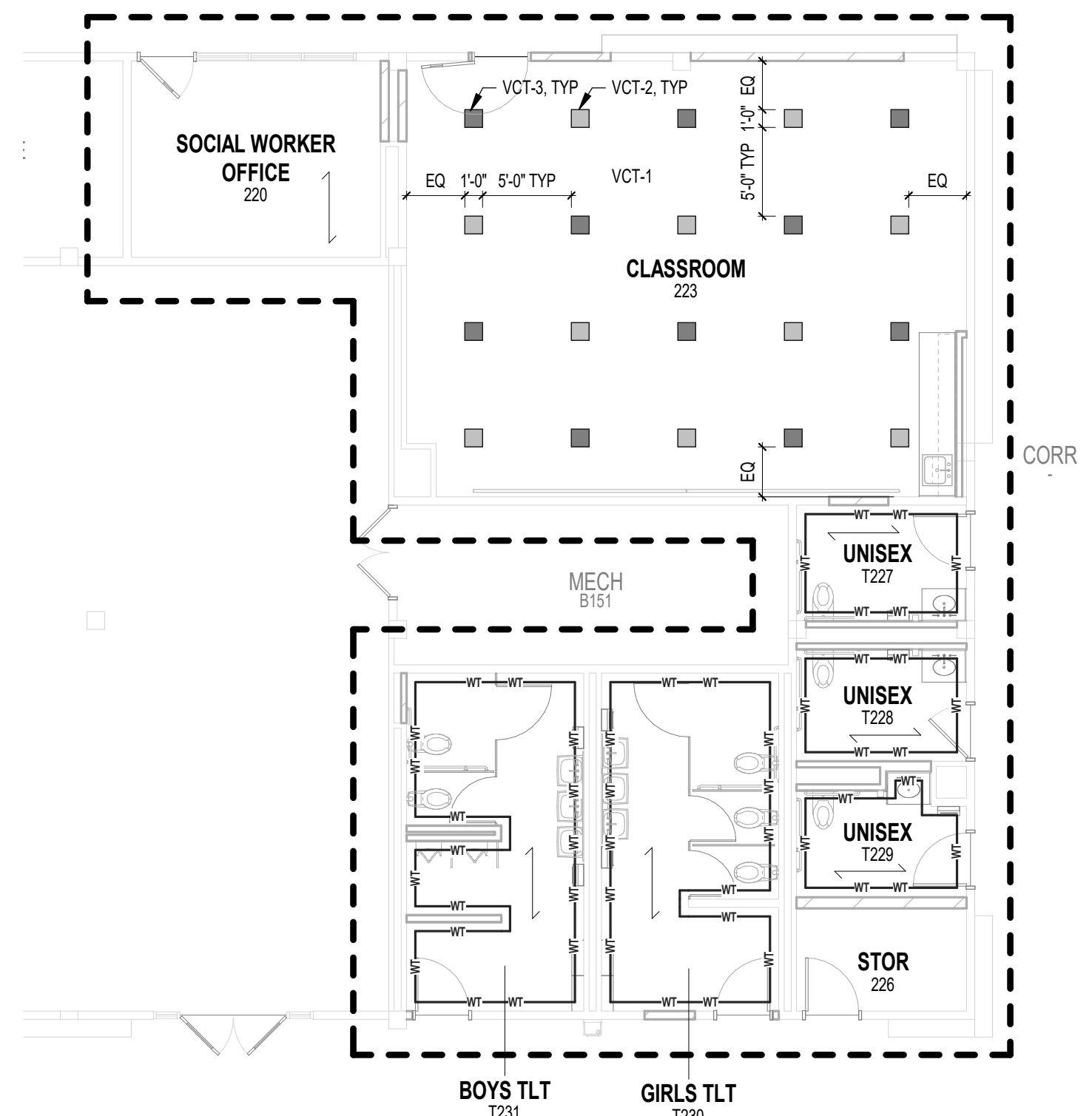
- FLOOR PATTERN/GRAIN DIRECTION
- FLOORING TRANSITION
- CORNER GUARD REFER TO DETAILS.
- FLOOR PATTERN PLAN NOTE
- CONSTRUCTION LIMITS
- ACCENT PAINT/SPECIALTY FINISH EXTENTS
- WALL TILE EXTENTS
- TACK STRIP EXTENTS

#### FLOOR PATTERN PLAN - GENERAL NOTES

- PRIOR TO FLOORING INSTALLATION, SCHEDULE A PRE-INSTALLATION CONFERENCE ON SITE WITH INTERIOR DESIGNER TO COORDINATE FLOORING LAYOUT.
- PROVIDE A FLUSH TRANSITION BETWEEN FLOORING MATERIALS OF VARYING HEIGHTS. PROVIDE TS-3 BETWEEN CARPET AND VCT. PROVIDE TS-2 BETWEEN PORCELAIN TILE AND VCT. PROVIDE TRANSITION STRIPS AND REDUCERS AS NECESSARY FOR ALL OTHER TRANSITIONS. PRIOR TO FLOORING INSTALLATION, SUBMIT SAMPLES OF PROFILE TO INTERIOR DESIGNER FOR APPROVAL AND COLOR SELECTION.
- CARPET C-1 TO BE INSTALLED IN AN ASHLAR INSTALLATION PER MANUFACTURER'S WRITTEN INSTRUCTIONS. REFER TO FLOOR PATTERN PLAN FOR PATTERN INSTALLATION DIRECTION.
- CARPET C-2 TO BE INSTALLED IN A QUARTER TURN INSTALLATION PER MANUFACTURER'S WRITTEN INSTRUCTIONS. REFER TO FLOOR PATTERN PLAN FOR PATTERN INSTALLATION DIRECTION.
- PORCELAIN TILE PT-1 TO BE INSTALLED IN A 1/3 OFFSET RUNNING BOND PATTERN. DIRECTION INDICATED ON PATTERN PLAN.
- AT AREAS WHERE TILE IS SCHEDULED TO CONTINUE UP ON TO THE WALL FROM THE FLOOR, GROUT LINES BETWEEN FLOOR AND WALL TILES ARE TO ALIGN, UNLESS OTHERWISE NOTED.
- PROVIDE RESILIENT BASE WITH A COVE PROFILE AT HARD SURFACE FLOORING AND A STRAIGHT PROFILE AT CARPET.
- AT AREAS WHERE FLOORING IS INDICATED TO ALIGN WITH AN ARCHITECTURAL ELEMENT SUCH AS COLUMN OR PLASTER, ETC., EDGE OF FLOORING TO ALIGN WITH EDGE OF FINISHED INSTALLED BASE.



C2 FIRST FLOOR FINISH PLAN - AREA A  
1/8" = 1'-0"



C3 FIRST FLOOR FINISH PLAN - AREA B  
1/8" = 1'-0"

#### FLOOR PLAN SYMBOLS LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING DOOR TO REMAIN
- SECTION REFERENCE
- EXTERIOR ELEVATION
- INTERIOR ELEVATION
- FLOOR PLAN NOTE
- CONSTRUCTION LIMITS
- NEW WALL/PARTITION
- NEW DOOR
- EXISTING DOOR RECEIVING NEW WORK - REFER TO DOOR SCHEDULE
- DETAIL REFERENCE
- WINDOW TYPE
- WALL/PARTITION TYPE

#### FLOOR PLAN GENERAL NOTES

- DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).
- VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.
- MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.
- CONTRACTOR TO VERIFY FLOOR TO FLOOR HEIGHTS.

#### GYPSUM BOARD PARTITIONS GENERAL NOTES

- ALL GYPSUM BOARD PARTITIONS SHALL BE (G00) UNLESS OTHERWISE NOTED ON FLOOR PLAN.
- GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).
- REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.
- PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.
- SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.
- EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF STEEL DECK ABOVE. AT METAL DECK CONSTRUCTION ABOVE PROVIDE SLP JOINT BETWEEN TOP OF PARTITION AND UNDERSIDE OF METAL DECK / STRUCTURAL STEEL MEMBER ABOVE. REFER TO DETAIL B3 / A810.

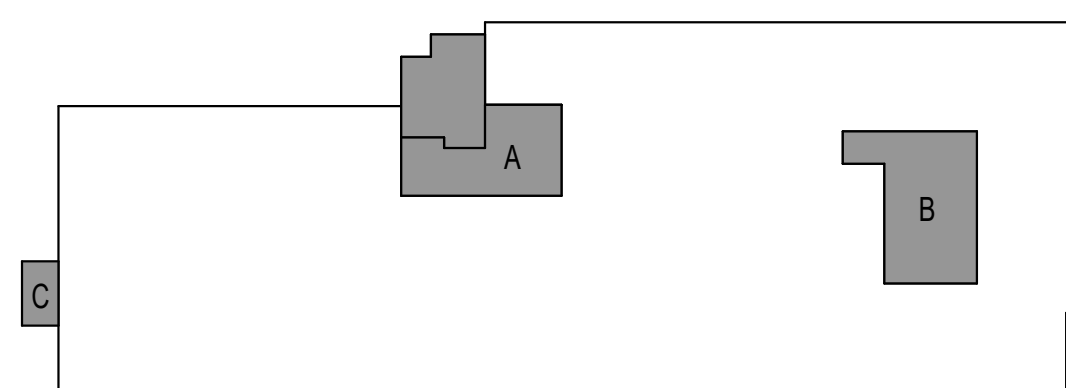
#### MASONRY PARTITIONS GENERAL NOTES

- MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:
- ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.
- PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.
- SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.
- EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF STEEL DECK ABOVE (OR PRECAST PLANK ABOVE IF APPLICABLE). REFER TO DETAIL B5 / A810 PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.
- AT MASONRY WALL INFILL LOCATIONS, CONFIRM THICKNESS OF BLOCK TO BE INFILLED. TOOTH-IN ALL MASONRY OPENING INFILLS.
- AT NEW AND INFILLED WALLS, MATCH EXISTING ADJACENT MASONRY COURSING. EXISTING WALLS TYPICALLY HAVE A 6" CMU BASE COURSE.

EXTERIOR WALL TYPES	
MARK	ASSEMBLY DESCRIPTION
1A.1	MASONRY VENEER STUD WALL CONSISTING OF 3 5/8" PRECAST STONE, 3" RIGID INSULATION, VAPOR BARRIER ON 5/8" GYPSUM SHEATHING, 6" GALVANIZED COLD FORMED STEEL STUDS (REFER TO STRUCTURAL DRAWINGS FOR GAUGE) AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE CONTROL JOINTS.
1J.1	PANEL WALL SYSTEM CONSISTING OF 1" COMPOSITE METAL PANEL, RAIN SCREEN ATTACHMENT AND SUPPORT SYSTEM, VERTICAL GIRT SYSTEM, 3" RIGID INSULATION, SPRAY APPLIED AIR/VAPOR BARRIER SYSTEM ON 5/8" GYPSUM SHEATHING, 6" GALVANIZED COLD FORMED STEEL STUDS (REFER TO STRUCTURAL DRAWINGS FOR GAUGE) @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.

INTERIOR PARTITION SCHEDULE				
MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
B00	3 5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	--	--	3-1/2" SOUND
B10	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	--	--	FULL WIDTH SOUND
G00	3 5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	--	--	--
G10	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	--	--	--
H00	3 5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	--	--	3-1/2" SOUND
SG0	4" CONCRETE MASONRY UNITS	--	--	--
SN0	8" CONCRETE MASONRY UNITS	--	--	--
SN0	8" CONCRETE MASONRY UNITS	--	--	--

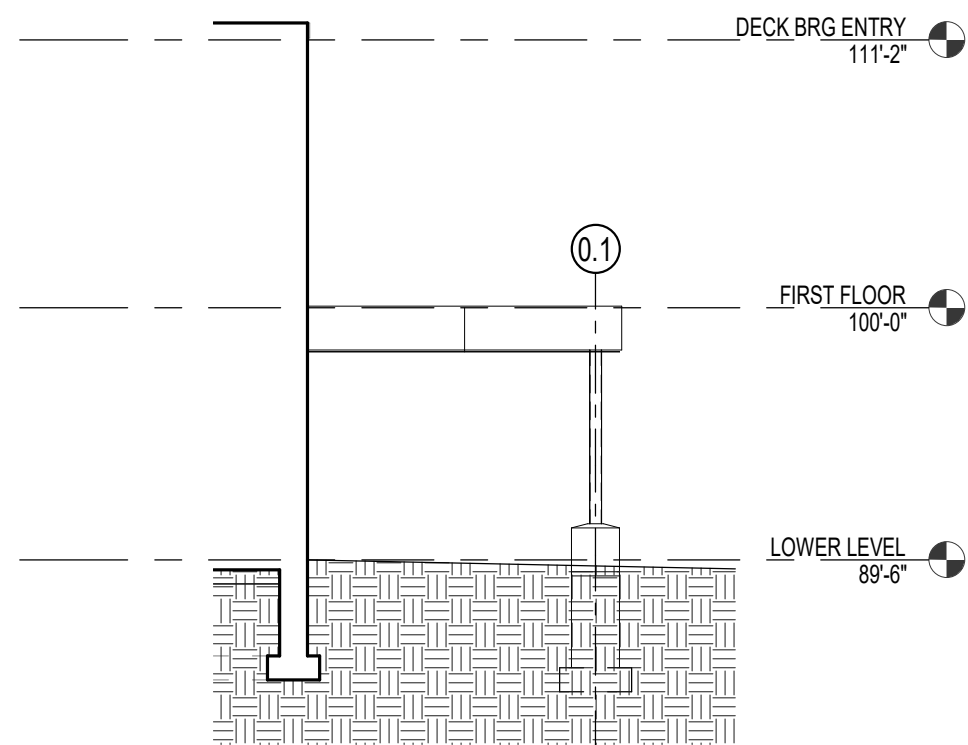
KEYNOTES	
MARK	DESCRIPTION
03-03	NEW CONCRETE SLAB AT UNDERGROUND PLUMBING WORK. SEE PLUMBING FOR EXTENTS.
03-04	INFILL CONCRETE FLOOR AT REMOVED URINALS FOR A LEVEL FLOOR.
04-06	PATCH WALLS AT DEMOLISHED PARTITIONS, CASEWORK, AND OTHER WALL MOUNTED ACCESSORIES AS NECESSARY.
10-15	KNOX BOX
11-20	PRINTER BY OWNER.
11-21	COPPER BY OWNER.
26-01	FIRE ANNUNCIATOR PANEL (SEE ELECTRICAL DRAWINGS FOR EXACT SIZE AND LOCATION)



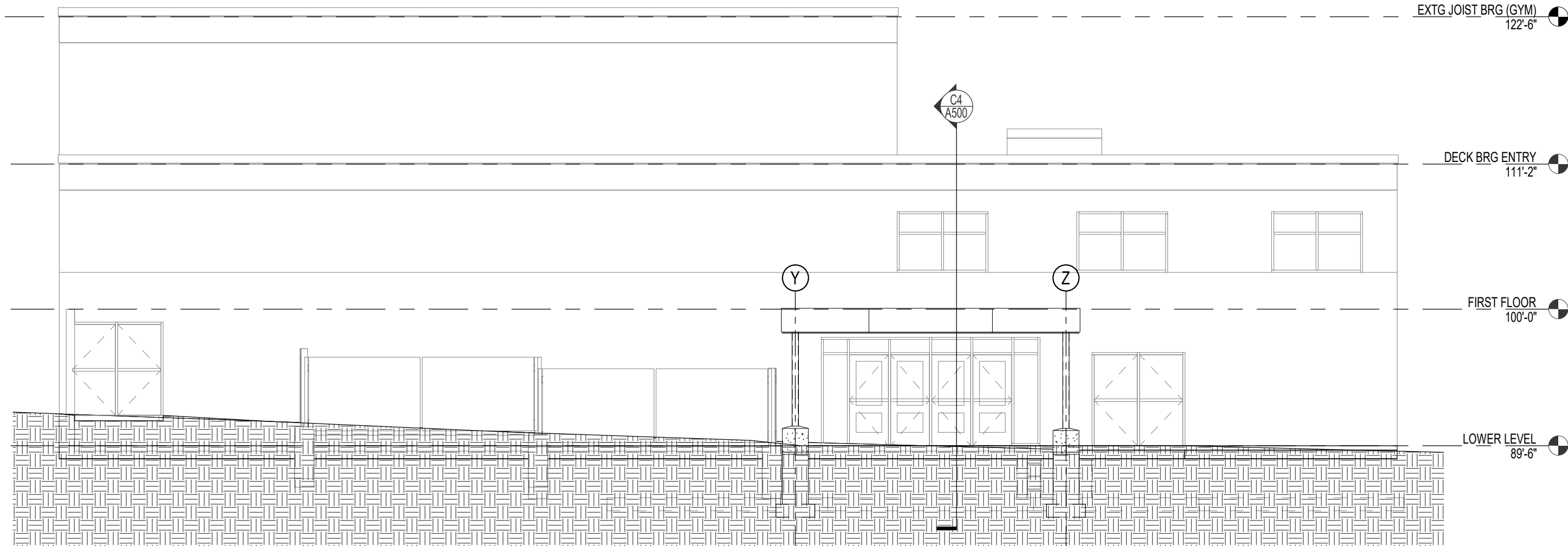
NORTH  
KEY PLAN

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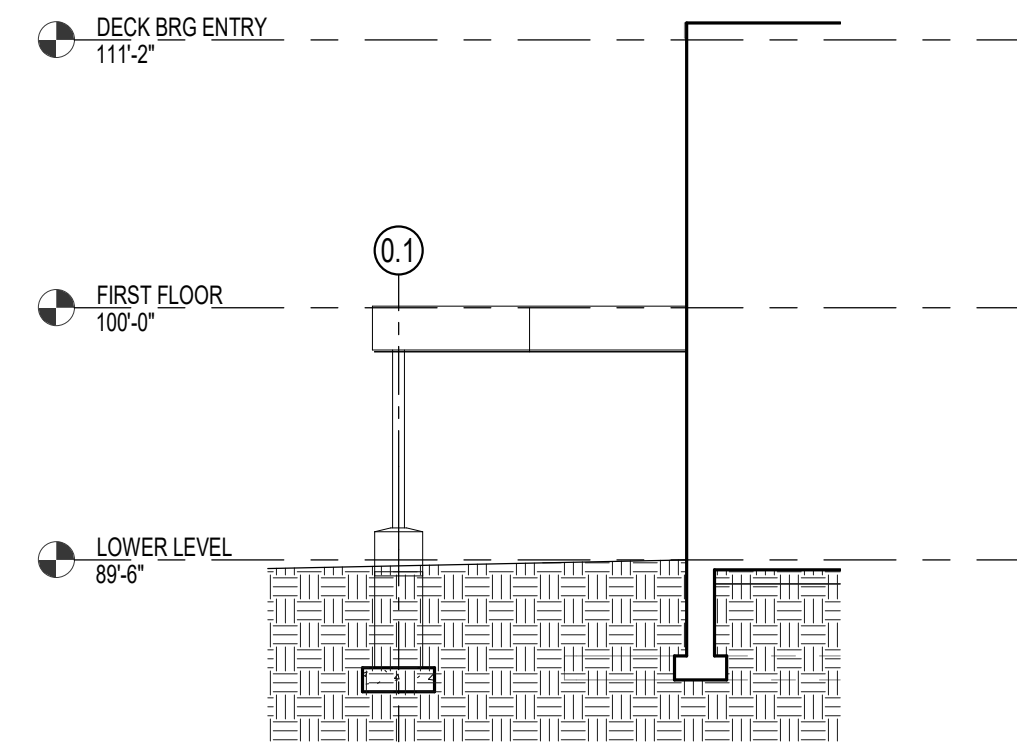
E1 NORTH ELEVATION - GYM ENTRY CANOPY  
1/8" = 1'-0"



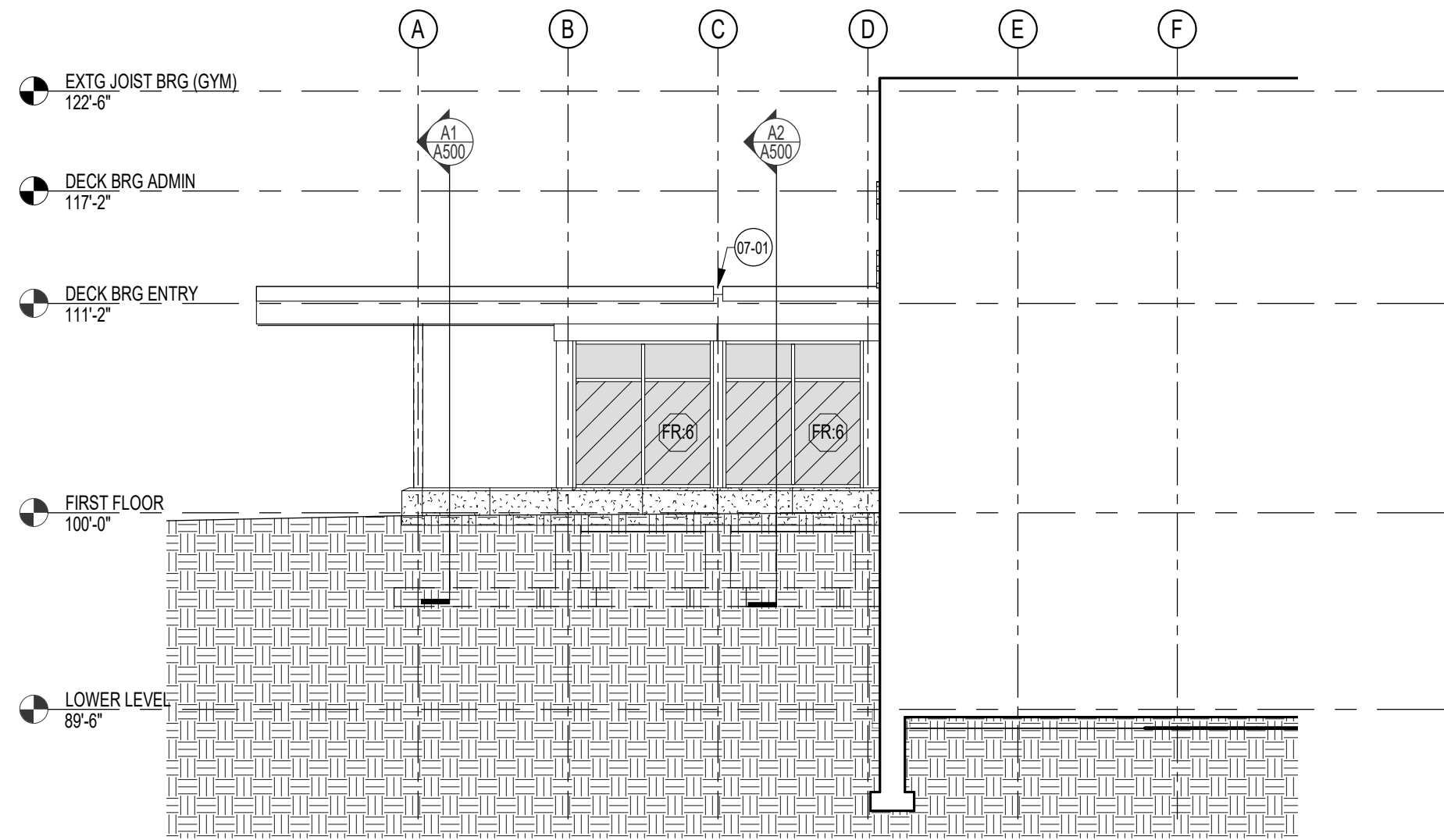
E2 WEST ELEVATION - GYM ENTRY CANOPY  
1/8" = 1'-0"



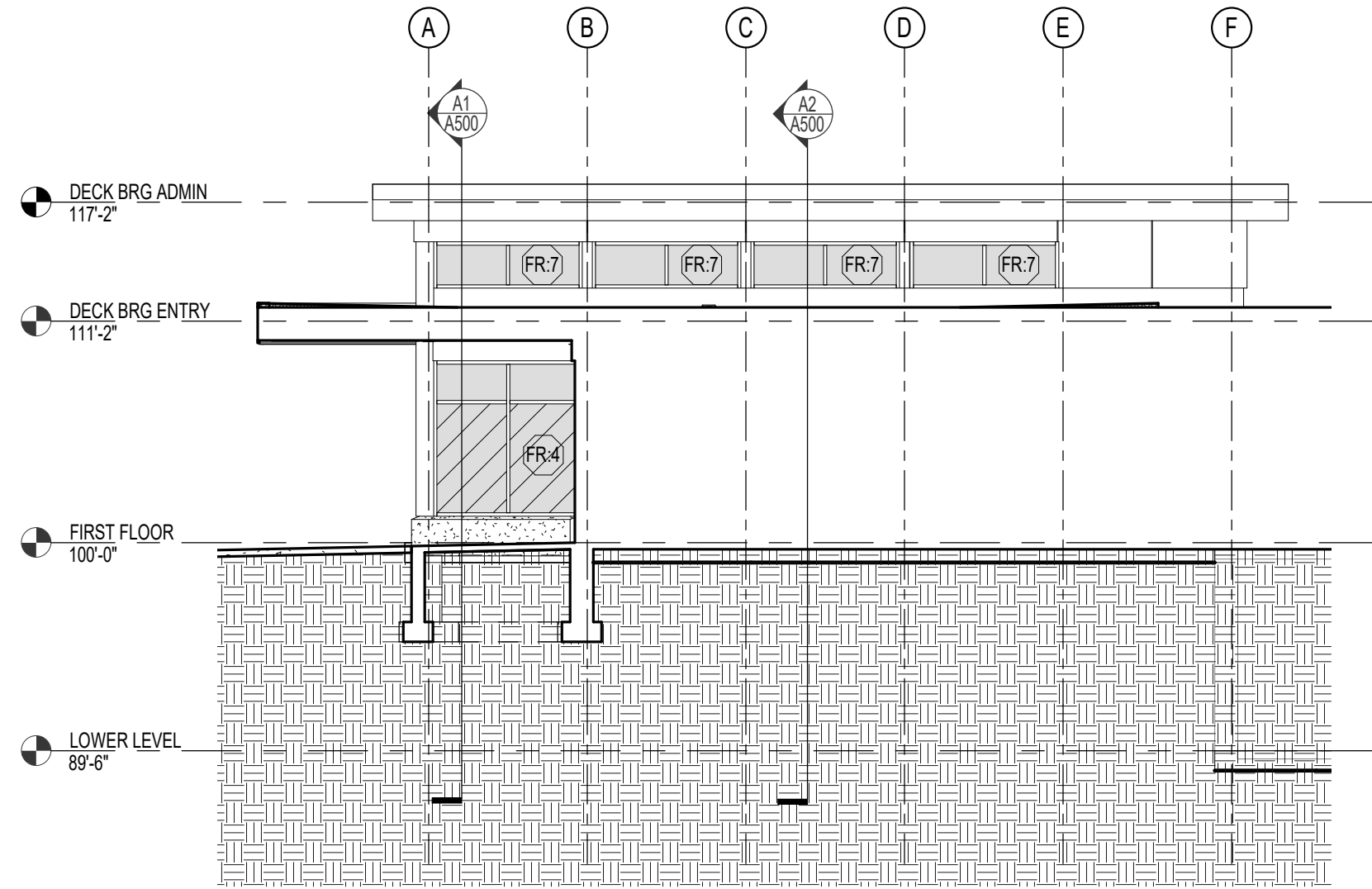
E3 SOUTH ELEVATION - GYM ENTRY CANOPY  
1/8" = 1'-0"



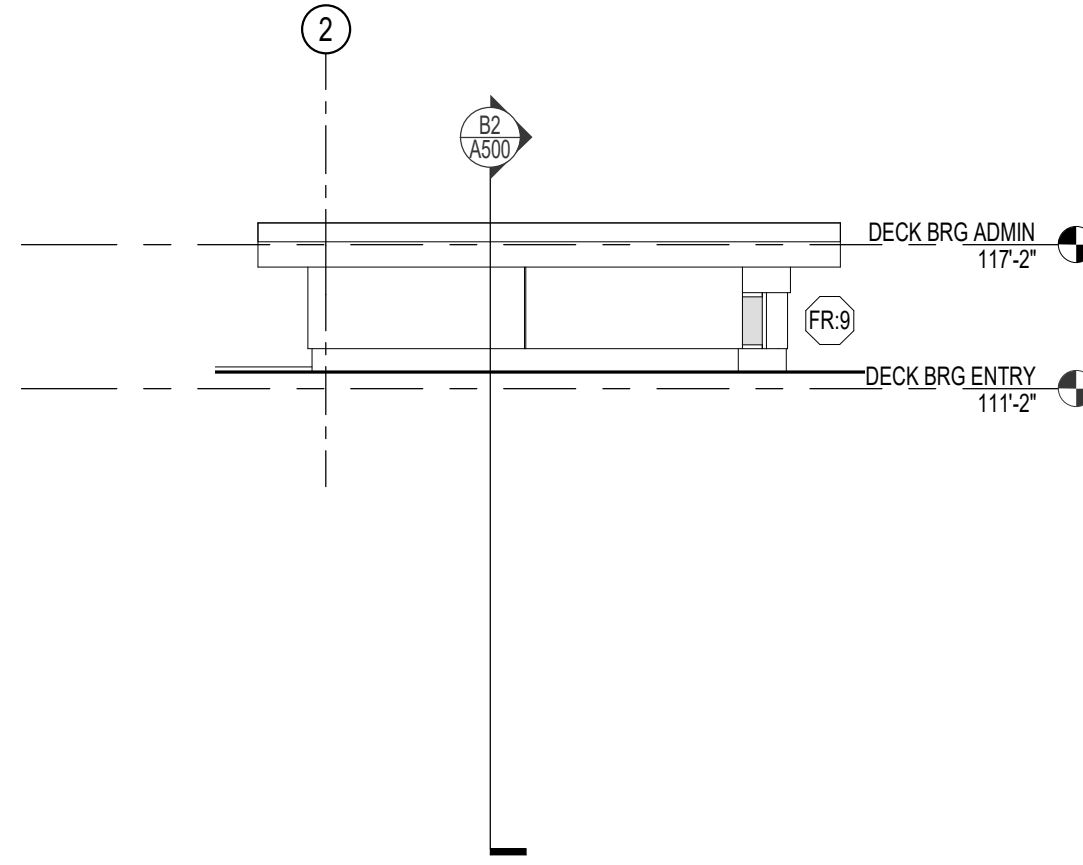
C1 WEST ELEVATION - AREA A  
1/8" = 1'-0"



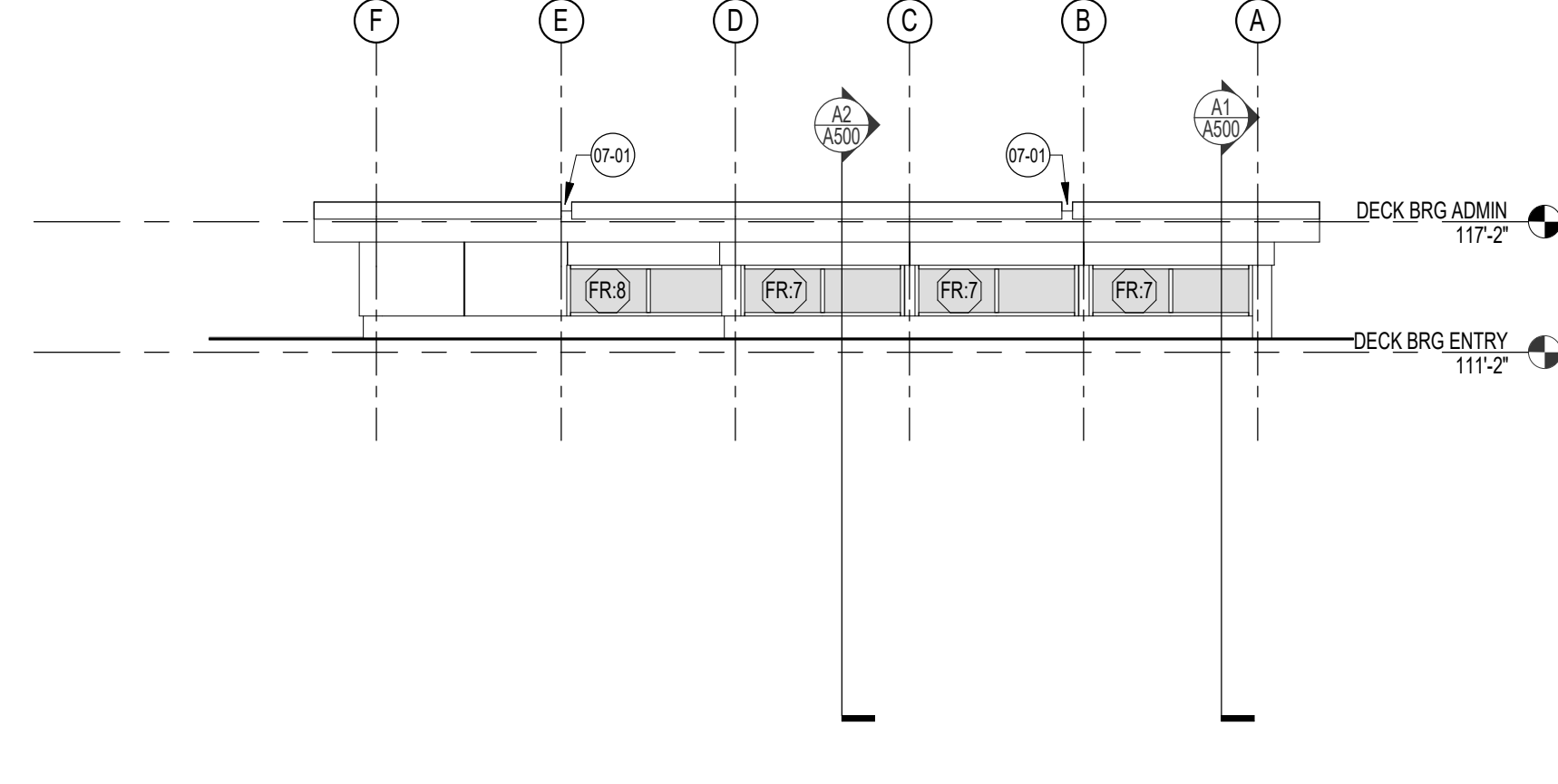
C2 WEST ELEVATION CLERESTORY - AREA A  
1/8" = 1'-0"



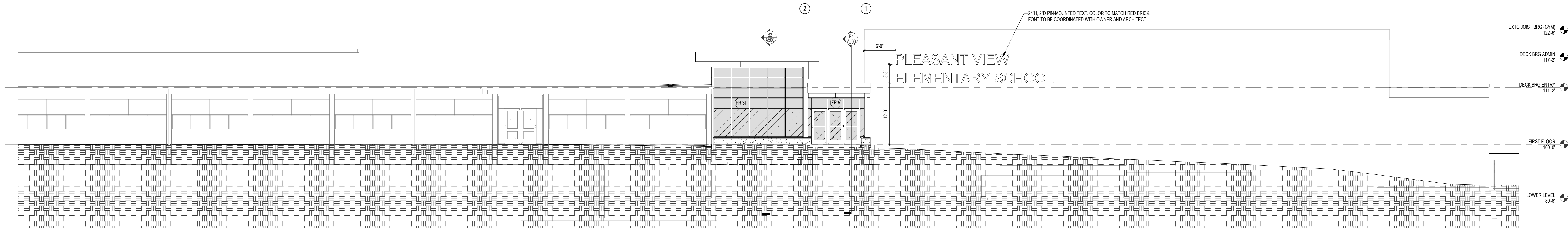
C3 SOUTH ELEVATION CLERESTORY - AREA A  
1/8" = 1'-0"



C4 EAST ELEVATION CLERESTORY - AREA A  
1/8" = 1'-0"



B1 PARTIAL NORTH ELEVATION - AREA A  
1/8" = 1'-0"



KEYNOTES	
MARK	DESCRIPTION
07-01	METAL FASCIA ROOF DRAIN OVERFLOW RELIEF (FASCIA SCUPPER) <SEE DETAIL E4/A600>

- EXTERIOR ELEVATIONS GENERAL NOTES**
- PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR
  - REFER TO SHEET A881 FOR WINDOW FRAME ELEVATIONS
  - SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.

- EXTERIOR FINISH PATTERNS**
- METAL WALL PANEL
  - CAST STONE UNIT
  - GLAZING

- EXTERIOR ELEVATIONS SYMBOLS LEGEND**
- SECTION REFERENCE
  - ELEVATION NOTE
  - DETAIL REFERENCE
  - WINDOW TYPE
  - CONSTRUCTION KEYNOTE

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CONSTRUCTION SET  
DATE: 06-02-2020  
JOB NO: 190275-02  
SHEET NO: A400

EXTerior ELEVATIONS

FRANKLIN PUBLIC SCHOOLS  
PLEASANT VIEW ELEMENTARY SCHOOL  
14601 W MARQUETTE AVE, FRANKLIN, WI 53132

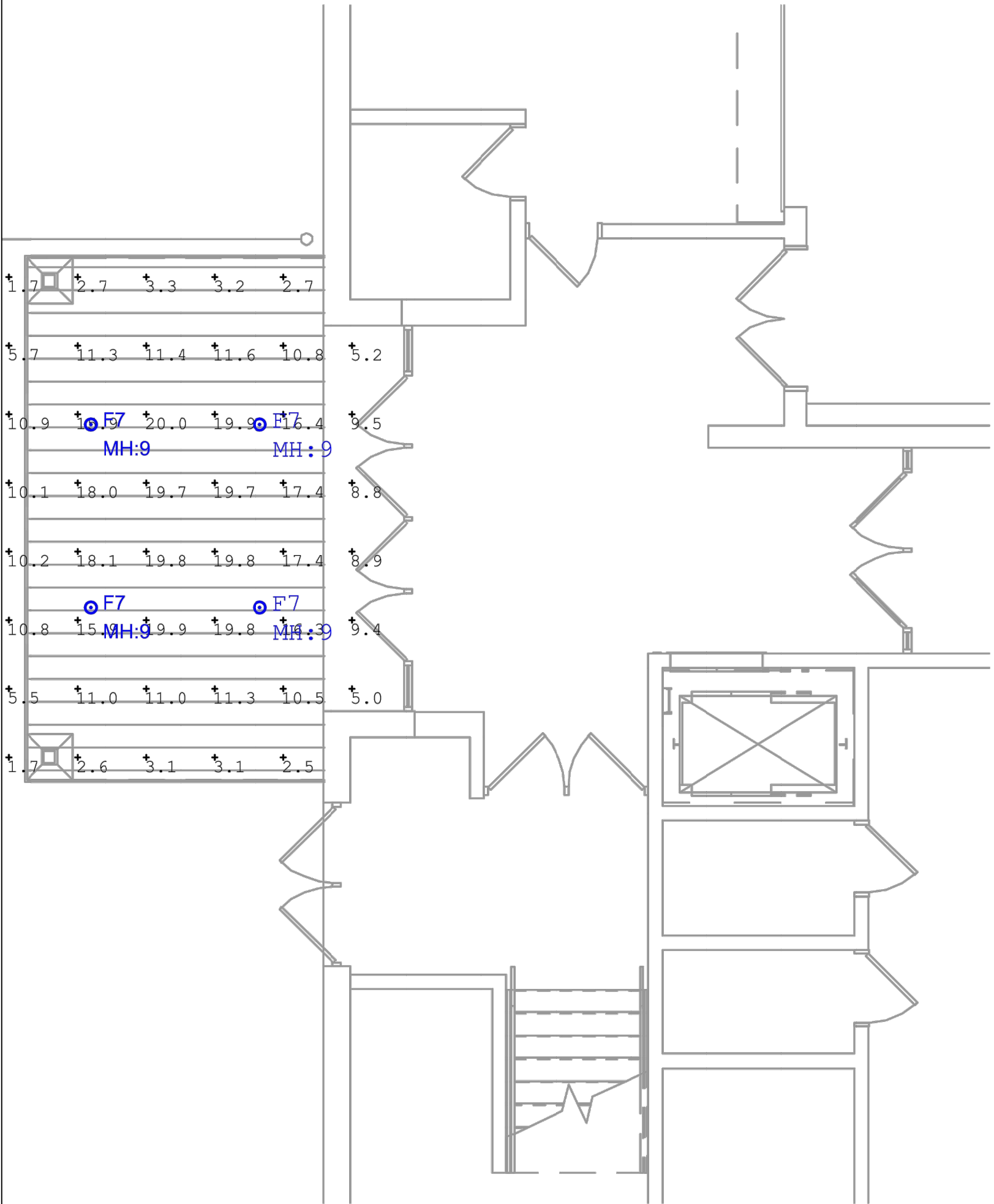
prad PLUNKETT RAYSCH ARCHITECTS, LLP

2300 East North Street  
Suite 200  
1900 Main Street  
Madison, Wisconsin 53704  
Milwaukee, Wisconsin 53204  
Sarasota, Florida 34236  
1-800-338-3300  
1-608-261-9800  
1-941-444-8845  
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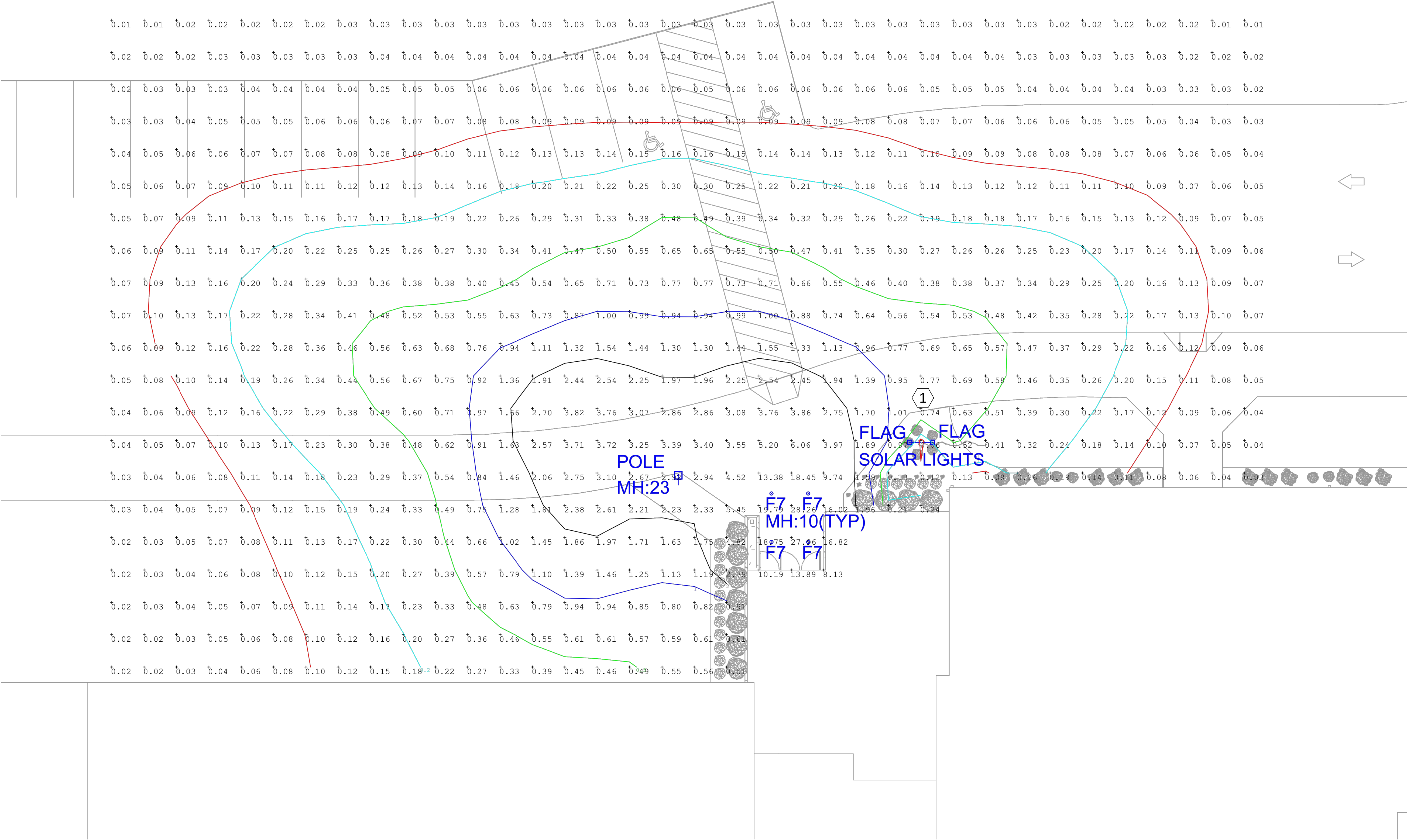
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Calculation Summary					
AREA	AVG	MAX	MIN	AVG/MIN	MAX/MIN
220 Open_Workplane	39.51	57.6	23.5	1.68	2.45
223 Classroom_Workplane	45.82	60.6	20.8	2.20	2.91
226 Storage_Workplane	28.87	37.7	18.9	1.53	1.99
242 Psych_Workplane	57.15	75.1	42.9	1.33	1.75
243 Principal_Workplane	57.19	75.3	44.9	1.27	1.68
244 Conference_Workplane	47.51	58.6	33.6	1.41	1.74
245 Health_Workplane	50.72	65.3	35.6	1.42	1.83
246 Reception_Workplane	39.38	47.1	31.5	1.25	1.50
246 Waiting_Floor	35.43	44.2	22.4	1.58	1.97
C201 Pass_Floor	28.29	40.2	19.9	1.42	2.02
C246 Corridor_Floor	27.06	36.3	9.9	2.73	3.67
First Floor Entry_At Grade	16.06	22.8	5.5	2.92	4.15
T227 Unisex_Workplane	30.27	47.3	17.1	1.77	2.77
T228 Unisex_Workplane	31.43	48.5	18.6	1.69	2.61
T229 Unisex_Workplane	24.40	34.4	14.5	1.68	2.37
T230 Girls Toilet_Workplane	64.40	94.4	33.2	1.94	2.84
T231 Boys Toilet_Workplane	64.04	89.3	31.0	2.07	2.88
T245 Toilet_Workplane	25.36	46.2	7.6	3.34	6.08
V246 Vestibule_Floor	17.81	24.5	13.0	1.37	1.88

Lighting Power Density			
Room/Space	Area (sqft)	Total Watts	Power Density (W/sqft)
220 Open	165.68	86	0.519
223 Classroom	768.53	387	0.504
226 Storage	55.62	30	0.539
242 Psych	156.11	129	0.826
243 Principal	156.11	129	0.826
244 Conference	247.48	156	0.630
245 Health	178.17	129	0.724
C246 Corridor	451.83	210	0.465
Reception, Pass	914.24	602	0.658
T227 Unisex	60.99	33	0.541
T228 Unisex	60.11	33	0.549
T229 Unisex	48.32	33	0.683
T230 Girls Toilet	187.86	218.3	1.162
T231 Boys Toilet	187.79	230.45	1.227
T245 Toilet	70.55	33	0.468
V246 Vestibule	92.8	35	0.377



Luminaire Schedule				
QTY	TYPE	MFR	PART NUMBER	LLF
4	F7	Acuity	LDN6 35/15 LO6 WR MVOLT (DRIVER)	0.900
2	FLAG	Acuity	DSXF1 LED P2 xxK MSP MVOLT (MOUNT) (FINISH)	0.950
1	POLE	Acuity	KAD 250M R3 (PROBE) @ 23' OAH - EXISTING, RELOCATED	0.700



- KEYED NOTES
- 1

LIT FROM ABOVE. SEE CUT SHEET FOR ELECTRICAL CONNECTION
- 2

REMOVE LIGHT FOR EXISTING FLAG POLE ON STREET LIGHT



NEXT ELECTRIC,INC  
www.nextelectricinc.com

PH:(262) 506-3200  
FAX:(262) 506-3201

1121 MARLIN COURT  
WAUKESHA, WI 53186  
5732 95TH AVE, SUITE 200  
KENOSHA, WI 53144

PROJECT NAME

PLEASENT VIEW SCHOOL

PROJECT ADDRESS

4601 W MARQUETTE  
AVE, FRANKLIN, WI  
53132

PROJECT NO. XXXXX

REVISIONS

DATE	DESCRIPTION
5/20/2020	90% DESIGN
5/27/2020	100% DESIGN

SHEET INFO

SHEET NAME:

SITE PHOTOMETRICS

SCALE: NTS  
PROJECT MANAGER: MIKE LEMASTER  
DRAWN BY: DV  
ISSUE DATE: 05/06/2020  
SHEET NO: E002



# SUBMITTAL PACKAGE

FOR

PLEASANT VIEW  
ELEMENTARY

26 00 00  
LIGHTING

Prepared By Electrical Contractor:

**NEXT Electric, LLC.**

Mike Lemaster, Vice President

1121 Marlin Court, Suite A

Waukesha, WI 53186

[Mike.Lemaster@nextelectricllc.com](mailto:Mike.Lemaster@nextelectricllc.com)

Ph: (262) 506-3200

Fax: (262) 506-3201

[www.nextelectricllc.com](http://www.nextelectricllc.com)



**Enterprise Lighting Ltd**  
Manufacturers' Representative

# Transmittal

Enterprise Lighting, LTD.  
2007 Pewaukee Rd.  
Waukesha WI 53188  
Phone: (262) 953-2700  
**From: Jen Solveson**

**Project** Pleasant View Elementary  
**Quote#** ELL20-95762  
**Location** Franklin WI  
**To** Next Electric  
1121 Marlin Court  
Waukesha WI 53186  
Contact: Mike LeMaster

ATTACHED WE ARE SENDING YOU 1 COPY OF THE FOLLOWING ITEM:

- |                                   |   |        |
|-----------------------------------|---|--------|
| <input type="checkbox"/> Drawings | <input type="checkbox"/> Specifications | Other: |
| <input type="checkbox"/> Prints   | <input type="checkbox"/> Information    |        |
| <input type="checkbox"/> Plans    | <input type="checkbox"/> Submittals     |        |

THESE ARE TRANSMITTED FOR:

- |  |   |                                 |
|--|---|---------------------------------|
| <input type="checkbox"/> Prior Approval        | <input type="checkbox"/> Resubmittal for Approval | <input type="checkbox"/> Record |
| <input type="checkbox"/> Approval              | <input type="checkbox"/> Corrections              | Bids due on:                    |
| <input type="checkbox"/> Approval as Submitted | <input type="checkbox"/> Your Use                 | Other:                          |
| <input type="checkbox"/> Approval as Noted     | <input type="checkbox"/> Review and Comment       |                                 |

Qty	Type	MFG	Part
4	F7/SITE	Acuity Downlighting	LDN6 35/15 LO6WR MVOLT GZ10
2	FLAG	Lithonia Exterior	DSXF1 LED P2 40K MSP MVOLT IS DDBXD



Enterprise Lighting  
Manufacturers' Representative

**Job Name:**

Pleasant View Elementary  
Contractor: Next Electric (Waukesha)  
Engineer: IMEG Corporation formerly KJWW  
Engineering Consultants (Middleton)

**Catalog Number:**

LDN6 35/15 LO6WR MVOLT GZ10

**Notes:****Type:****F7/SITE**

ELL20-95762

**FEATURES & SPECIFICATIONS**

**INTENDED USE** — Typical applications include corridors, lobbies, conference rooms and private offices.

**CONSTRUCTION** — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

**OPTICS** — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

**ELECTRICAL** — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 60,000 hours.

**LISTINGS** — Certified to US and Canadian safety standards. Wet location standard (covered ceiling).

IP55 rated. ENERGY STAR® certified product.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at:

[www.acuitybrands.com/support/customer-support/terms-and-conditions](http://www.acuitybrands.com/support/customer-support/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.



A+ Capable options indicated  
by this color background.

**ORDERING INFORMATION**

Lead times will vary depending on options selected. Consult with your sales representative.

**Example:** LDN6 35/15 LO6AR LSS MVOLT EZ10

LDN6							
Series		Color temperature	Lumens <sup>1</sup>	Aperture/Trim Color		Finish	Voltage
LDN6 6" round	27/	2700K	05 500 lumens	25 2500 lumens	LO6 Downlight	AR Clear	MVOLT Multi-volt
	30/	3000K	10 1000 lumens	30 3000 lumens	LW6 Wallwash	WR <sup>2</sup> White	
	35/	3500K	15 1500 lumens	40 4000 lumens		BR <sup>2</sup> Black	
	40/	4000K	20 2000 lumens	50 5000 lumens			
	50/	5000K					
						LSS Semi-specular	120 120V
						LD Matte diffuse	277 277V
						LS Specular	347 <sup>3</sup> 347V

Driver	Options
GZ10 0-10V driver dims to 10%	SF <sup>4</sup> Single fuse TRW <sup>5</sup> White painted flange TRBL <sup>5</sup> Black painted flange EL <sup>6</sup> Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELR <sup>6</sup> Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELSD <sup>6</sup> Emergency battery pack with self-diagnostics, integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELRSD <sup>6</sup> Emergency battery pack with self-diagnostics, remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS E10WCP <sup>6</sup> Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB E10WCPR <sup>6</sup> Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDB NPP16D <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). NPP16DER <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.
GZ1 0-10V driver dims to 1%	
EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%	N80 <sup>8</sup> nLight™ Lumen Compensation NPS80EZ <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). NPS80EZER <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.
EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	HAO <sup>11</sup> High ambient option CP <sup>12</sup> Chicago Plenum RRL RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S. NLTAIR2 <sup>9,10</sup> nLight® Air enabled NLTAIRER2 <sup>9,10</sup> nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options USPOM US point of manufacture 90CRI High CRI (90+)

**Accessories:** Order as separate catalog number.

PS1055CP	FMC Power Sentry battery pack, T20 compliant, field installable, 10w constant power
EAC ISSM 375	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
GRA68 JZ	Oversized trim ring with 8" outside diameter <sup>1</sup>
SCA6	Sloped ceiling adapter. Refer to <a href="#">TECH-SCA</a> for more options.

**Notes**

- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- Available with clear (AR) reflector only.
- 12.5" of plenum depth or top access required for battery pack maintenance.
- Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
- Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
- NLTAIR2 and NLTAIRER2 not recommended for metal ceiling installations.
- Fixture height is 6.5" for all lumen packages with HAO.
- Must specify voltage for 3000lm, 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option.

**Job Name:**

Pleasant View Elementary  
Contractor: Next Electric (Waukesha)  
Engineer: IMEG Corporation formerly KJWW  
Engineering Consultants (Middleton)

**Catalog Number:**

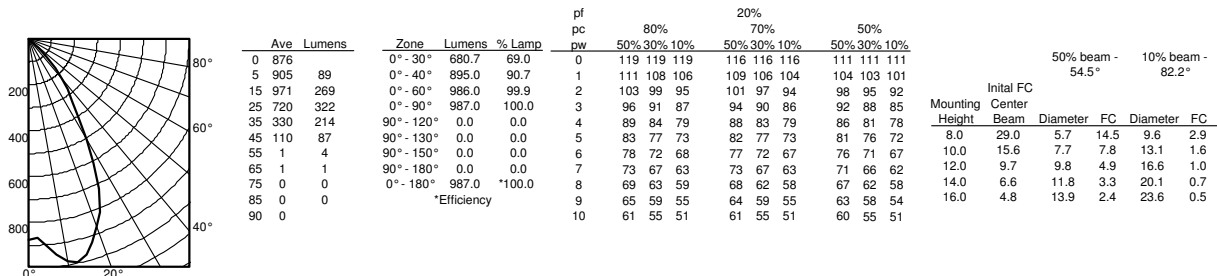
LDN6 35/15 L06WR MVOLT GZ10

**Type:****F7/SITE****Notes:**

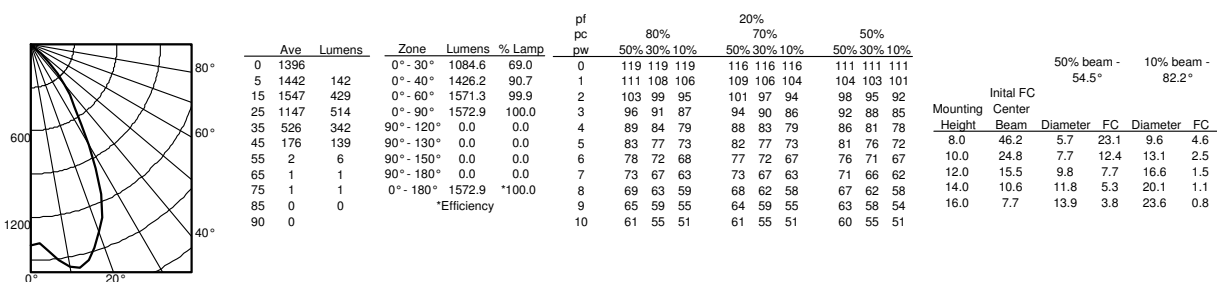
ELL20-95762

**LDN6****PHOTOMETRY****Distribution Curve****Distribution Data****Output Data****Coefficient of Utilization****Illuminance Data at 30" Above Floor for a Single Luminaire**

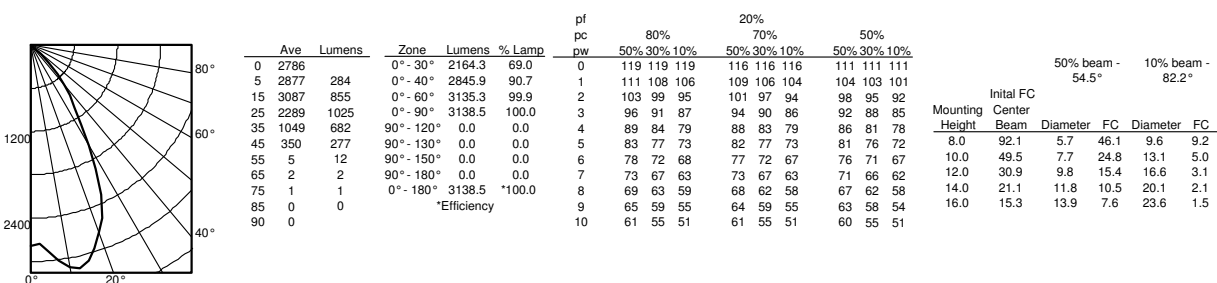
**LDN6 35/10 L06AR**, input watts: 10.44, delivered lumens: 987.10, LM/W = 94.54, spacing criterion at 0= 1.02, test no. ISF 30716P262.



**LDN6 35/15 L06AR**, input watts: 17.52, delivered lumens: 1572.9, LM/W = 89.77, spacing criterion at 0= 1.02, test no. ISF 30716P265.



**LDN6 35/30 L06AR**, input watts: 34.75, delivered lumens: 3138.5, LM/W = 90.31, spacing criterion at 0= 1.02, test no. ISF 30716P274.



**Job Name:**

Pleasant View Elementary  
Contractor: Next Electric (Waukesha)  
Engineer: IMEG Corporation formerly KJWW  
Engineering Consultants (Middleton)

**Catalog Number:**

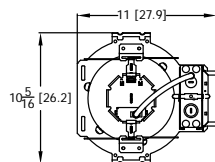
LDN6 35/15 LO6WR MVOLT GZ10

**Notes:****Type:****F7/SITE**

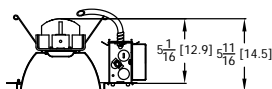
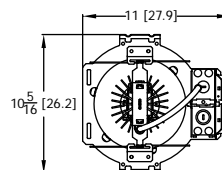
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**LDN6**

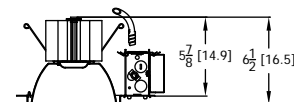
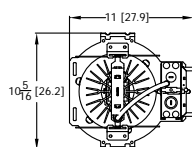
\* All dimensions are inches (centimeters) unless otherwise noted.

**LDN6 500-1500 LUMEN**

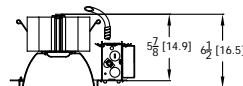
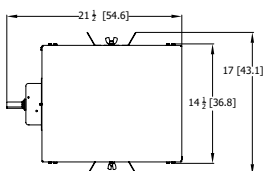
Aperture: 6-1/4 (15.9)  
Ceiling Opening: 7-1/8 (18.1)  
Overlap trim: 7-1/2 (19.1)

**LDN6 2000-3000 LUMEN**

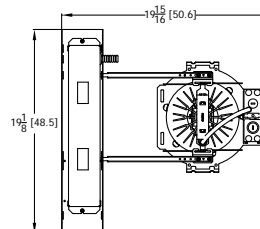
Aperture: 6-1/4 (15.9)  
Ceiling Opening: 7-1/8 (18.1)  
Overlap trim: 7-1/2 (19.1)

**LDN6 4000-5000 LUMEN**

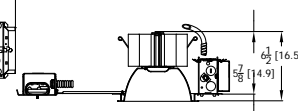
Marked Spacing: 24 x 24 x 10  
Aperture: 6-1/4 (15.9)  
Ceiling Opening: 7-1/8 (18.1)  
Overlap trim: 7-1/2 (19.1)

**LDN6 CP**

Aperture: 6-1/4" (15.9)  
Ceiling Opening: 7-1/8" (18.1)  
Overlap trim: 7-1/2" (19.1)

**LDN6 EL-ELR**

Marked Spacing above 3000 lumen: 24 x 24 x 10  
Aperture: 6-1/4 (15.9)  
Ceiling Opening: 7-1/8 (18.1)  
Overlap trim: 7-1/2 (19.1)

**LDN6**

Nominal Lumens	Lumens	Wattage	Lm/W
500	527.9	5.8	90.5
750	758.1	8.9	85.1
1000	950.1	10.4	91.0
1500	1514	17.5	86.4
2000	2006	22.5	89.1
2500	2504	28.3	88.6
3000	3021	34.8	86.9
4000	4008	44.3	90.6
5000	4975	57.7	86.3

**HOW TO ESTIMATE DELIVERED LUMENS IN EMERGENCY MODE**

Use the formula below to estimate the delivered lumens in emergency mode

$$\text{Delivered Lumens} = 1.25 \times P \times \text{LPW}$$

P = Output power of emergency driver. P = 10W for PS1055CP

LPW = Lumen per watt rating of the luminaire. This information is available on the ABL luminaire spec sheet.

The LPW rating is also available at [Designlight Consortium](http://Designlight Consortium).

**LUMEN OUTPUT MULTIPLIERS - FINISH**

	Clear (AR)	White (WR)	Black (BR)
Specular (LS)	1.0	N/A	N/A
Semi-specular (LSS)	0.950	N/A	N/A
Matte diffuse (LD)	0.85	N/A	N/A
Painted	N/A	0.87	0.73

**LUMEN OUTPUT MULTIPLIERS - CCT**

	2700K	3000K	3500K	4000K	5000K
80CRI	0.950	0.966	1.000	1.025	1.101

**Notes**

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.



LDN6

**Job Name:**

Pleasant View Elementary  
 Contractor: Next Electric (Waukesha)  
 Engineer: IMEG Corporation formerly KJWW  
 Engineering Consultants (Middleton)

**Catalog Number:**

LDN6 35/15 LO6WR MVOLT GZ10

**Type:****F7/SITE**

Notes:

ELL20-95762

**LDN6****ADDITIONAL DATA**

COMPATIBLE 0-10V WALL-MOUNT DIMMERS		
MANUFACTURER	PART NO.	POWER BOOSTER AVAILABLE
Lutron®	Diva® DVTV	
	Diva® DVSCVT	
	Nova T® NTFTV	
	Nova® NFTV	
Leviton®	AWSMT-7DW	CN100
	AWSMG-7DW	PE300
	AMRMG-7DW	
	Leviton Centura Fluorescent Control System	
	IllumaTech® IP7 Series	
Synergy®	ISD BC	RDMFC
	SLD LPCS	
	Digital Equinox (DEQ BC)	
Douglas Lighting Controls	WPC-5721	
Entertainment Technology	Tap Glide TG600FAM120 (120V)	
	Tap Glide Heatsink TGH1500FAM120 (120V)	
	Oasis OA2000FAMU	
Honeywell	EL7315A1019	EL7305A1010 (optional)
	EL7315A1009	
HUNT Dimming	Preset slide: PS-010-IV and PS-010-WH	
	Preset slide: PS-010-3W-IV and PS-010-3W-WH	
	Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V	
	Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V	
	Remote mounted unit: FD-010	
Lehigh Electronic Products	Solitaire	PBX
PDM Electrical Products	WPC-5721	
Starfield Controls	TR61 with DALI interface port	RT03 DALInet Router
WattStopper®	LS-4 used with LCD-101 and LCD-103	

**A+ Capable Luminaire**

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a **shaded background**\*
- This luminaire is part of an A+ Certified solution for nLight control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a **shaded background**\*

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

\*See ordering tree for details



LDN6

**Job Name:**

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**Catalog Number:**

LDN6 35/15 LO6WR MVOLT GZ10

**Notes:****Type:****F7/SITE**

ELL20-95762

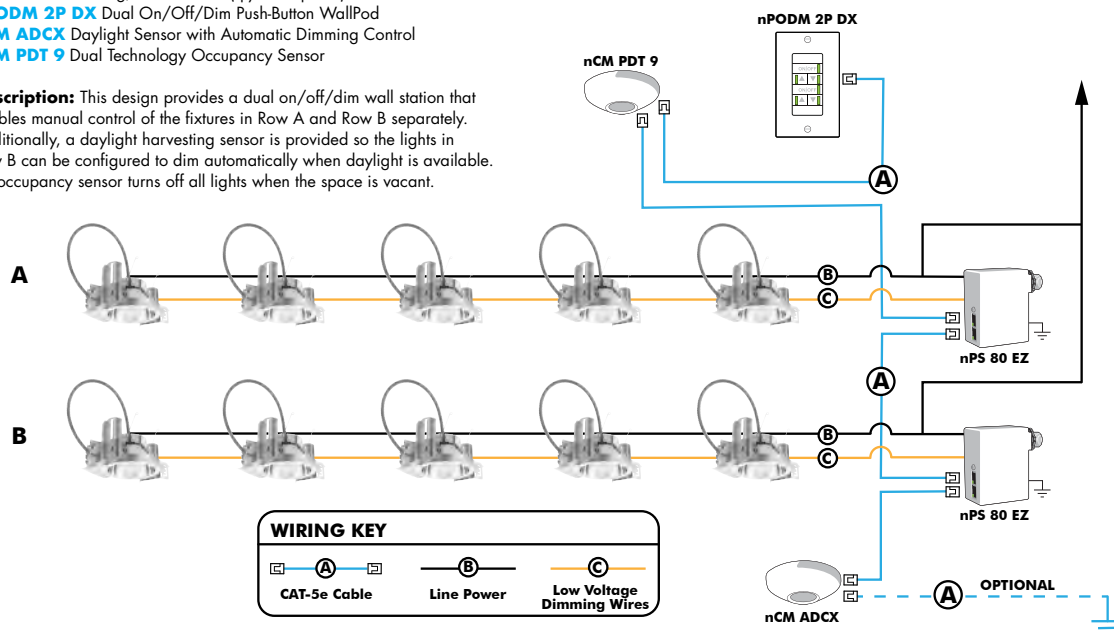
**LDN6****EXAMPLE**

Group Fixture Control\*

\*Application diagram applies for fixtures with eldoLED drivers only.

**nPS 80 EZ** Dimming/Control Pack (qty: 2 required)**nPODM 2P DX** Dual On/Off/Dim Push-Button WallPod**nCM ADCX** Daylight Sensor with Automatic Dimming Control**nCM PDT 9** Dual Technology Occupancy Sensor

**Description:** This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in Row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.

**Choose Wall Controls**

nLight offers multiple styles of wall controls - each with varying features and user experience.

**Push-Button Wallpod**

Traditional tactile buttons and LED user feedback

**Graphic Wallpod**

Full color touch screen provides a sophisticated look and feel

**nLight® Wired Controls Accessories:**

Order as separate catalog number. Visit [www.acuitybrands.com/products/controls/nlight](http://www.acuitybrands.com/products/controls/nlight) for complete listing of nLight controls.

WallPod Stations	Model number	Occupancy sensors	Model Number
On/Off	nPODM (Color)	Small motion 360°, ceiling (PIR/dual Tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPOD DX (Color)	Large motion 360°, ceiling (PIR/dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX (Color)	Wide View (PIR/dual tech)	nWV 16 / nWV PDT 16
<b>Photocell controls</b>	<b>Model Number</b>	Wall Switch w/ Raise/Lower (PIR/dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	<b>Cat-5 cables (plenum rated)</b>	<b>Model Number</b>
		10', CAT5 10FT	CAT5 10FT J1
		15, CAT5 15FT	CAT5 15FT J1

**nLight® AIR Control Accessories:**

Order as separate catalog number. Visit [www.acuitybrands.com/products/controls/nlightair](http://www.acuitybrands.com/products/controls/nlightair).

**Wall switches**

On/Off single pole

On/Off two pole

On/Off &amp; raise/lower single pole

On/Off &amp; raise/lower two pole

On/Off &amp; raise/lower single pole

**Model number**

rPODB [color]

rPODB 2P [color]

rPODB DX [color]

rPODB 2P DX [color]

rPODBZ DX WH<sup>1</sup>**Notes**

1 Can only be ordered with the RES7Z zone control sensor version.

**nLight AIR**

nLight AIR is the ideal solution for retrofit or new construction spaces where adding communication is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each Lithonia LDN Luminaire. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.

**Simple as 1,2,3**

1. Install the nLight® AIR fixtures with embedded smart sensor
2. Install the wireless battery-powered wall switch
3. With CLAIRITY app, pair the fixtures with the wall switch and if desired, customize the sensor settings for the desired outcome



LDN6

Table 15-3.0505		
Worksheet for the Calculation of Site Intensity and Capacity for Nonresidential Development		
<b>STEP 1:</b>	<b>CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:</b> Take Base Site Area (from Step 5 in Table 15-3.0502): <u>14.1</u> Multiple by Minimum Landscape Surface Ratio (LSR) (see specific zoning district LSR standard): X <u>0.4</u> Equals <b>MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =</b>	5.64 acres
<b>STEP 2:</b>	<b>CALCULATE NET BUILDABLE SITE AREA:</b> Take Base Site Area (from Step 5 in Table 15-3.0502): <u>14.1</u> Subtract Total Resource Protection Land from Table 15-3.0503) or Minimum Required Landscape Surface (from Step 1 above), whichever is greater: - <u>5.64</u> Equals <b>NET BUILDABLE SITE AREA =</b>	8.46 acres
<b>STEP 3:</b>	<b>CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:</b> Take Net Buildable Site Area (from Step 2 above): <u>8.46</u> Multiple by Maximum Net Floor Area Ratio (NFAR) (see specific nonresidential zoning district NFAR standard): X <u>0.63</u> Equals <b>MAXIMUM NET FLOOR AREA YIELD OF SITE =</b>	5.33 acres
<b>STEP 4:</b>	<b>CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:</b> Take Base Site Area (from Step 5 of Table 15-3.0502): <u>14.1</u> Multiple by Maximum Gross Floor Area Ratio (GFAR) (see specific nonresidential zoning district GFAR standard): X <u>0.38</u> Equals <b>MAXIMUM GROSS FLOOR AREA YIELD OF SITE =</b>	5.36 acres
<b>STEP 5:</b>	<b>DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:</b> Take the lowest of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above): (Multiple results by 43,560 for maximum floor area in square feet):	5.33 acres
		( <u>232,175</u> square feet)