



# CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of April 9, 2020

### Special Use and Site Plan Amendment

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**RECOMMENDATION:** City Development staff recommends approval of the Natural Resource Special Exception, subject to the conditions of approval in attached draft Resolutions

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<b>Project Name:</b>	Askren Wrestling Special Use and Site Plan
<b>Project Address/Tax Key:</b>	9760 South 60 <sup>th</sup> Street/899 9993 004
<b>Property Owner:</b>	Askren Properties LLC
<b>Applicant:</b>	Askren Wrestling Academy
<b>Current Zoning:</b>	M-1 Limited Industrial District
<b>2025 Comprehensive Plan:</b>	Industrial
<b>Use of Surrounding Properties:</b>	M-1 Limited Industrial District
<b>Action Requested:</b>	Recommendation of approval of the Special Use and approval of the Site Plan Application

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### Project Description and Analysis

The applicant, Ben Askren of Askren Wrestling Academy, filed applications for a Special Use and Site Plan Amendment to locate Askren Wrestling Gym within the existing building at 9760 S. 60th Street. Staff determined that a wrestling gym and instruction use is most appropriately classified Standard Industrial Classification Code No. 7999 Amusement and Recreation Services, Not Elsewhere Classified, a Special Use in the M-1 Limited Industrial District.

The subject property is approximately 0.58-acres (approximately 24,976 square feet) and consists of a 7,337 square foot building. The building has a height of about 18-feet. The applicant is proposing only minor exterior site changes. The applicant plans to restripe the parking lot to include 16 parking spaces, including one ADA accessible space. The parking spaces are 9-feet wide and 20-feet in length (180 square feet), which complies with Unified Development Ordinance standards. The applicant is also adding wheel stops to the parking lot. No other exterior site or building changes are proposed.

The applicant will be utilizing the entire building. The vast majority of the space will be the wrestling gym. There will also be a waiting area, office, and restrooms.

The business will have signage, which requires separate review and a Sign Permit issued by the Inspection Department.

Note that the applicant has provided responses to the General Standards for Special Uses found in Section 15-3.0701 of the UDO for Plan Commission and Common Council review.

### Recommendation

A motion to recommend approval of the Special Use for Askren Wrestling and a motion to approve the Site Plan, contingent upon approval of the Special Use, and subject to the conditions in the attached draft resolution.

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

*[Draft 3-23-20]*

RESOLUTION NO. 2020-\_\_\_\_\_

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS  
FOR THE APPROVAL OF A SPECIAL USE FOR A WRESTLING  
GYMNASIUM AND INSTRUCTION USE UPON PROPERTY  
LOCATED AT 9760 SOUTH 60TH STREET  
(BENJAMIN M. ASKREN, ASKREN WRESTLING ACADEMY, LLC, APPLICANT,  
ASKREN PROPERTIES, LLC, PROPERTY OWNER)

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WHEREAS, Benjamin M. Askren, Askren Wrestling Academy, LLC having petitioned the City of Franklin for the approval of a Special Use within an M-1 Limited Industrial District under Standard Industrial Classification Title No. 7999 “Amusement and recreation services, not elsewhere classified” to allow for a wrestling gymnasium and instruction use (in an existing custom auto body and paint shop building which will be converted into an Askren Wrestling Academy gymnasium), upon property located at 9760 South 60th Street, bearing Tax Key No. 899-9993-004, more particularly described as follows:

Lot 4 of Certified Survey Map No. 1231, recorded March 16, 1970, in Reel 522, Images 1444 to 1446 inclusive, as Document No. 4515532, being a part of the Northwest 1/4 of Section 26, Township 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 9th day of April, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of

BENJAMIN M. ASKREN, ASKREN WRESTLING ACADEMY, LLC – SPECIAL USE  
RESOLUTION NO. 2020-\_\_\_\_\_

Page 2

the City of Franklin, Wisconsin, that the petition of Benjamin M. Askren, Askren Wrestling Academy, LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Benjamin M. Askren, Askren Wrestling Academy, LLC, successors and assigns, as a wrestling gymnasium and instruction use, which shall be developed in substantial compliance with, and operated and maintained by Benjamin M. Askren, Askren Wrestling Academy, LLC, pursuant to those plans City file-stamped April 1, 2020 and annexed hereto and incorporated herein as Exhibit A.
2. Benjamin M. Askren, Askren Wrestling Academy, LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Benjamin M. Askren, Askren Wrestling Academy, LLC wrestling gymnasium and instruction facility, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Benjamin M. Askren, Askren Wrestling Academy, LLC and the wrestling gymnasium and instruction use for the property located at 9760 South 60th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

BE IT FURTHER RESOLVED, that in the event Benjamin M. Askren, Askren Wrestling Academy, LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as  
BENJAMIN M. ASKREN, ASKREN WRESTLING ACADEMY, LLC – SPECIAL USE

may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

## RESOLUTION NO. 2020-\_\_\_\_\_

A RESOLUTION APPROVING A SITE PLAN FOR ALTERATIONS TO  
THE INTERIOR OF AN EXISTING CUSTOM AUTO BODY AND PAINT  
SHOP AND MINOR EXTERIOR SITE MODIFICATIONS TO ALLOW  
FOR THE OPERATION OF ASKREN WRESTLING ACADEMY  
(9760 SOUTH 60TH STREET)  
(BENJAMIN M. ASKREN, ASKREN WRESTLING ACADEMY, LLC,  
APPLICANT, ASKREN PROPERTIES, LLC, PROPERTY OWNER)

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WHEREAS, Benjamin M. Askren, Askren Wrestling Academy, LLC having applied for approval of a proposed site plan to allow for interior building alterations to an existing custom auto body and paint shop, including the addition of two Americans with Disabilities Act restrooms, construction of a small office and finish improvements, and exterior site modifications, including parking lot restriping (to include 16 parking spaces, including one Americans with Disabilities Act accessible space) and the addition of wheel stops, property located at 9760 South 60th Street; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan to allow for interior building alterations to an existing custom auto body and paint shop, including the addition of two Americans with Disabilities Act restrooms, construction of a small office and finish improvements, and exterior site modifications, including parking lot restriping and the addition of wheel stops, as depicted upon the plans dated April 1, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Benjamin M. Askren, Askren Wrestling Academy, LLC interior building alterations and exterior modifications dated April 1, 2020.
2. Benjamin M. Askren, Askren Wrestling Academy, LLC, successors and assigns, and any developer of the Benjamin M. Askren, Askren Wrestling Academy, LLC interior building alterations and exterior modifications project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees

BENJAMIN M. ASKREN, ASKREN WRESTLING ACADEMY, LLC – SITE PLAN  
RESOLUTION NO. 2020-\_\_\_\_\_

Page 2

incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Benjamin M. Askren, Askren Wrestling Academy, LLC interior building alterations and exterior modifications project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

3. The approval granted hereunder is conditional upon the Benjamin M. Askren, Askren Wrestling Academy, LLC interior building alterations and exterior modifications project, located at 9760 South 60th Street (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Benjamin M. Askren, Askren Wrestling Academy, LLC interior building alterations and exterior modifications project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

APPROVED:

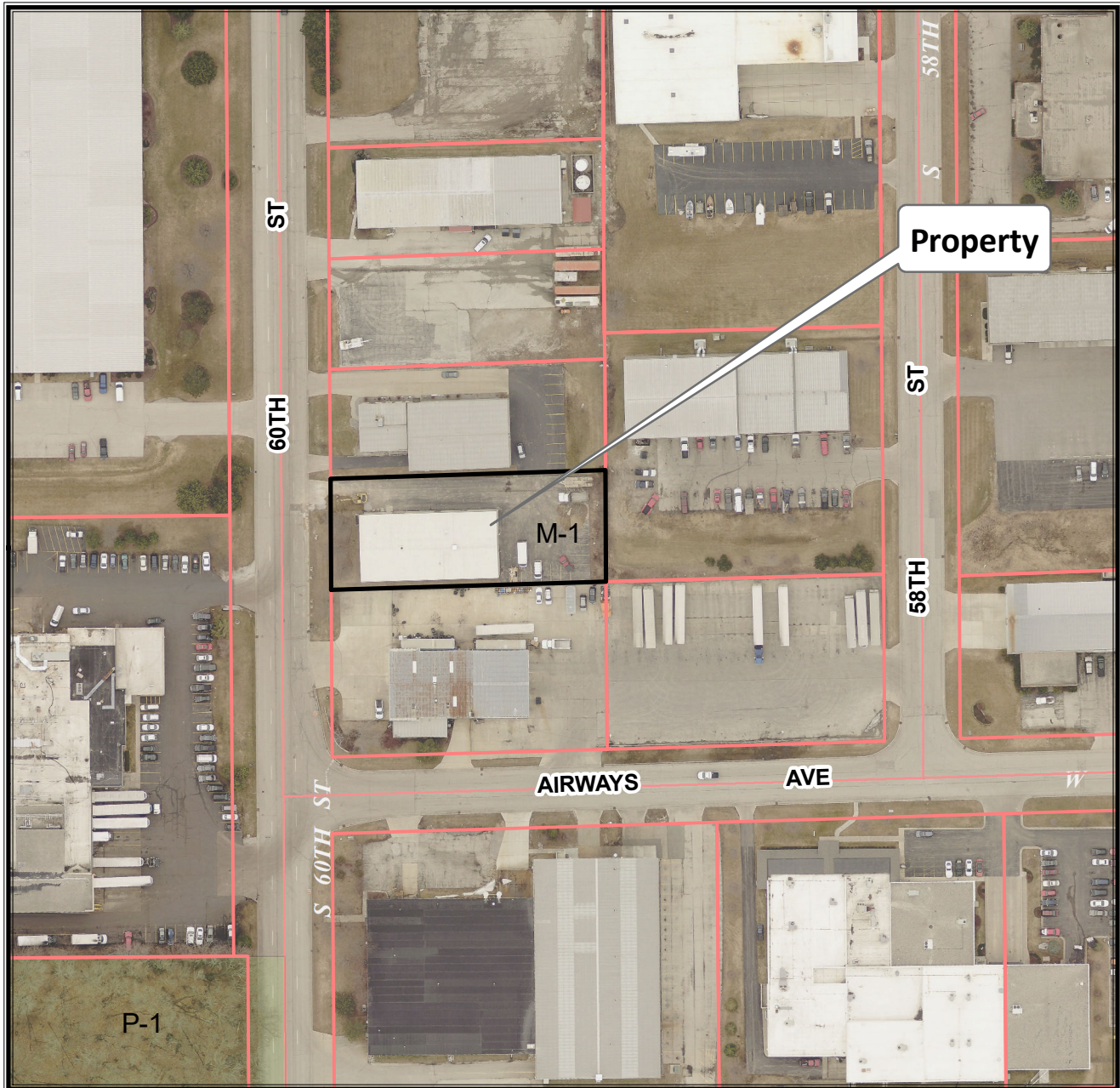
\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

9760 S. 60th Street  
TKN: 899 9993 004



Planning Department  
(414) 425-4024

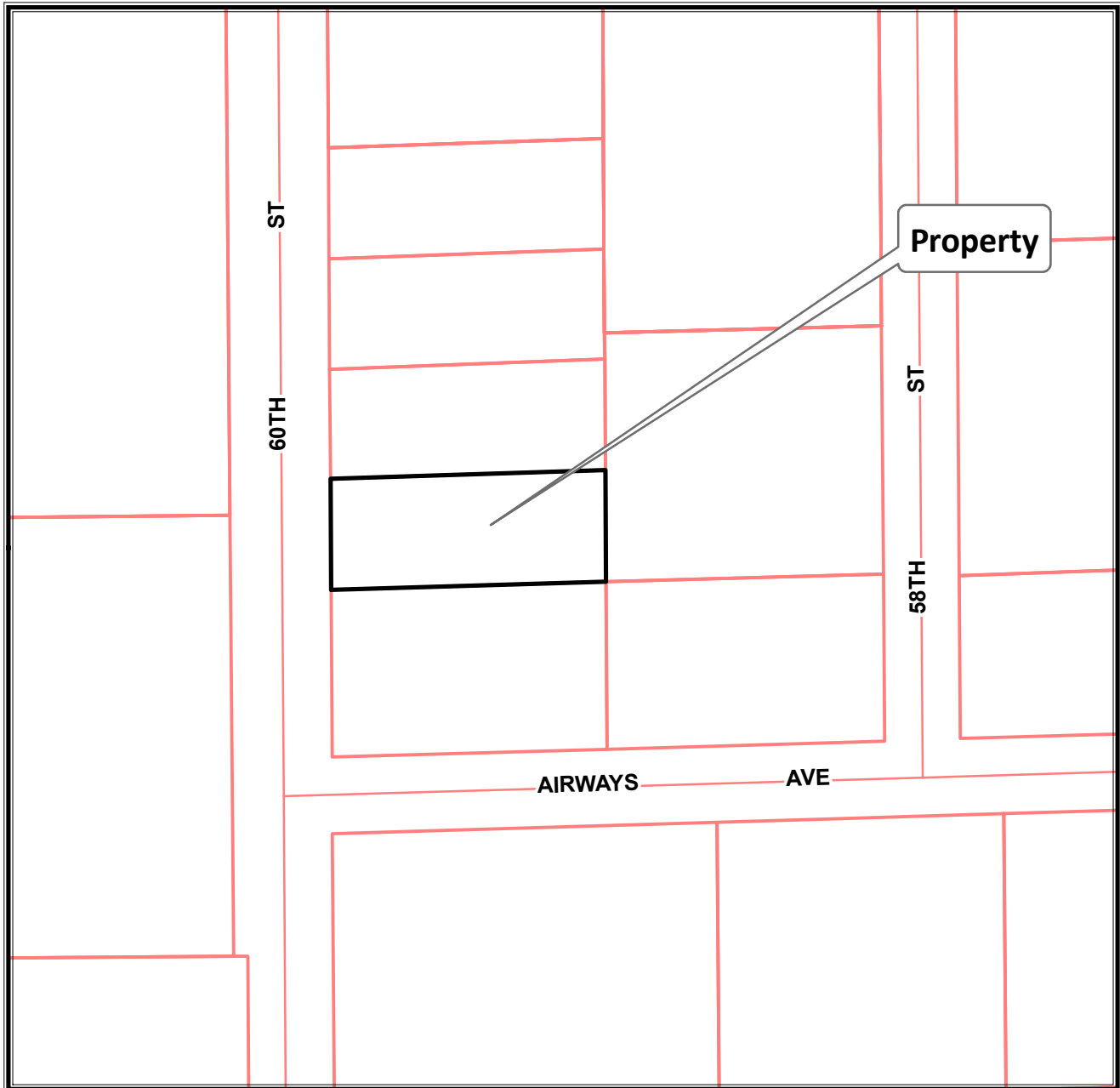
0 87.5 175 350 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

  
**NORTH**  
2017 Aerial Photo



9760 S. 60th Street  
TKN: 899 9993 004



Planning Department  
(414) 425-4024

0 87.5 175 350 Feet

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





City of Franklin Special Use Application  
March 30, 2020

Project Summary:

Askren Wrestling Academy is proposing to convert the existing building at 9760 South 60<sup>th</sup> Street from its current use as a custom auto body and paint shop to a Wrestling Academy Gym. Wrestling gyms/gymnasiums, do not fall under the permitted uses of the M-1 Zoning District, hence the submittal of this Special Use Application. Class sizes are capped at 40 students, only one class will be conducted at a time in the space, however multiple classes will be conducted each evening. The project entails interior building modifications and parking restriping on the site. Signage modifications will be required, but will be submitted under a separate signage permit request.

The interior alterations to the space include adding two new ADA restrooms, a small office and finish improvements. There are no plans to modify the exterior of the building or the site other than the parking restriping and added wheel stops as shown on the enclosed site plan. Site improvement costs will be limited to parking striping and wheels stops and is estimated at \$4,000. Interior improvements are being budget estimated now, however a rough estimate for the interior work would be approximately \$80,000.



City of Franklin Special Use Application  
December 26, 2019

Response to General Standards:

The following narrative outlines our response to the General Standards outlined in 15-3.0701 of the City of Franklin's Unified Development Ordinance. We have outlined the response to mirror the format of the General Standards found in the aforementioned code section.

*A. General Standards. No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:*

*1. Ordinance and Comprehensive Master Plan Purposes and Intent. The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.*

**The proposed wrestling gym will be in harmony with the surrounding M-1 zoning district as the hours of operation will be opposite of the surrounding businesses. Classes will be held in the evenings and over the weekend and will not conflict with typical business hours of the surrounding M-1 uses.**

*2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.*

**The proposed use will not impose any undue adverse impact on the surrounding properties or community. As noted above, use of this property will be at off hours compared to adjacent properties. The use will also be an amenity to the surrounding community, providing a facility and services which will be beneficial to Franklin residents.**

*3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.*

**No changes to the building or site (beyond parking striping) is proposed, therefore there will be no positive or negative change in the development's interference with surrounding developments. Operationally, as noted above, times of use will be opposite typical normal business hours for surrounding industrial uses.**

4. *Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.*

**Public facilities provided at the site will be adequate for the new use proposed.**

5. *No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*

**Due to the hours of operation, traffic in the surrounding industrial park should not be affected. The industrial park is not directly connected to any residential streets, so there should also be no adverse effect on any residential streets.**

6. *No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.*

**The proposed new use will not require any damage or destruction of any natural, scenic or historic features.**

7. *Compliance with Standards. The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.*

**We agree to abide by the applicable standards of the M-1 zoning. Askren Wrestling Academy is appropriate for a place which is not close to homes and fits in with industrial neighbors because of the required building type, (large open warehouse like space), and because it operates on an opposite schedule compared to it's neighbors.**

*B. Special Standards for Specified Special Uses. When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in § 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.*

**We are not aware of any special standards for this specific special use.**

*C. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:*

*1. Public Benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.*

The proposed use will provide a valuable service to the community, in particular see below for more information about Askren Wrestling Academy's mission:

**A safe and challenging environment within a state-of-the-art facility**

Since it's opening in April 2011, Askren Wrestling Academy continues to have a profound impact on wrestling. The Askren Wrestling Academy will prepare members to achieve success at the highest levels of Collegiate and International wrestling and will strive to develop a life-long passion for the sport. This may mean foregoing temporary success. Long term success will be accomplished through the development of mental toughness, persistence, a strong work-ethic and by encouraging initiative and innovation. These things will be stressed because they are the foundations for long term success in wrestling and in life.

*2. Alternative Locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.*

With other similar special uses in the industrial park, such as Swimtastic and Altius Gymnastics Academy, the proposed site is ideal for the proposed use. While other zoning districts could also be utilized for this use, the existing building and location are ideal for the proposed Wrestling Academy.

*3. Mitigation of Adverse Impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.*

No adverse impacts to the immediate vicinity are expected based on the proposed use. Some additional drop off and pick up traffic will occur at the site, however that additional traffic will only occur during off hours of adjacent properties, thereby not adversely affecting those properties.

*4. Establishment of Precedent of Incompatible Uses in the Surrounding Area. Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.*

With the existence of similar use properties in the business park (Swimtastic and Altius Gymnastics Academy), we do not believe that this new use will increase the likelihood of more intense or incompatible uses in the surrounding areas.

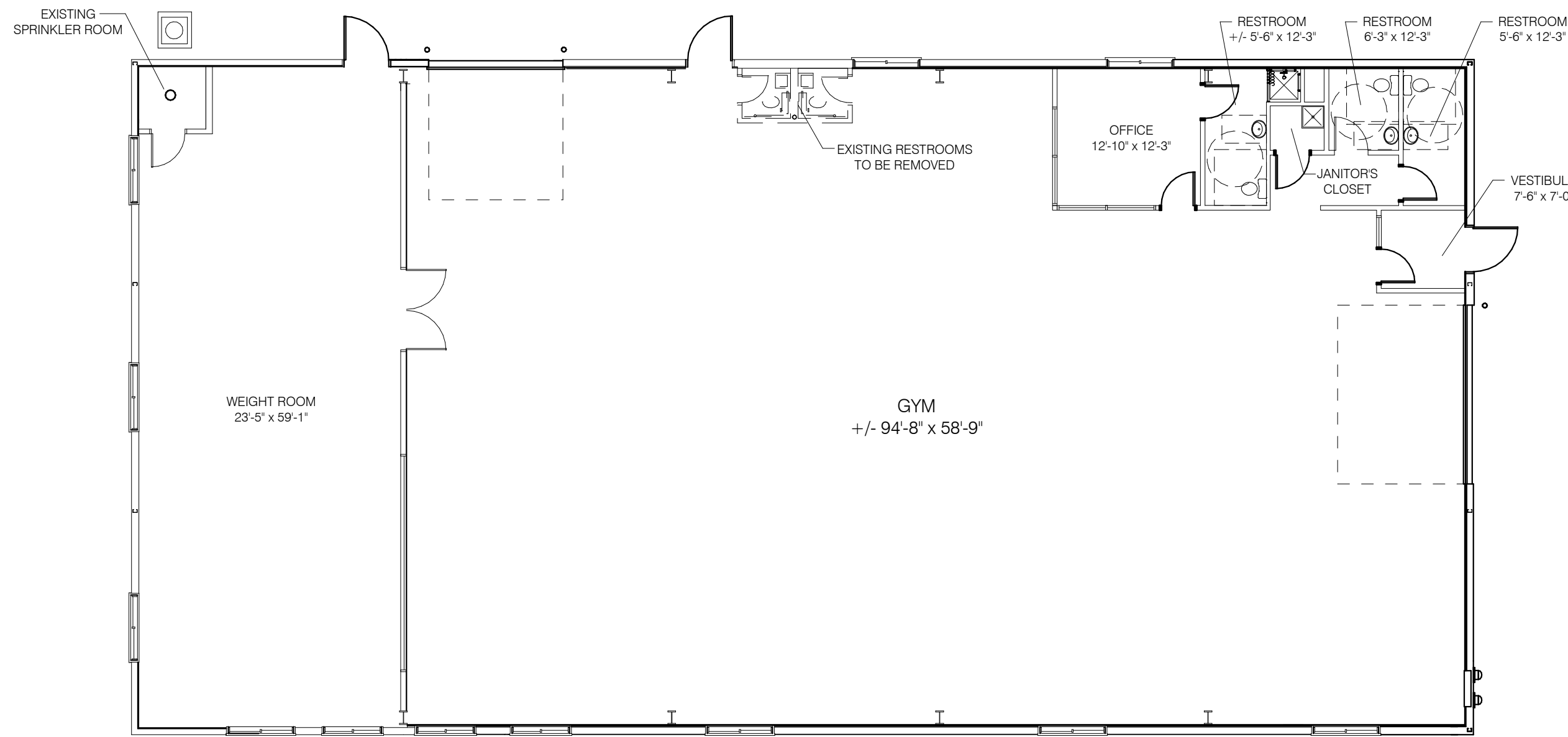
TENANT IMPROVEMENT FOR:

ASKREN WRESTLING ACADEMY

9760 60TH STREET  
FRANKLIN, WI 53132

in.studio  
architecture

833 E. Michigan St. | Suite 540 | Milwaukee, WI 53202  
ph. 414.278.6804 | www.instudioarch.com



SITE INFORMATION:		
SITE SIZE:		24,976 SF
PARKING COUNT:	STANDARD	15
	ACCESSIBLE	1
EXISTING BUILDING SQ.FT.:		7,337 SF
EXISTING BUILDING HEIGHT		18'-0"

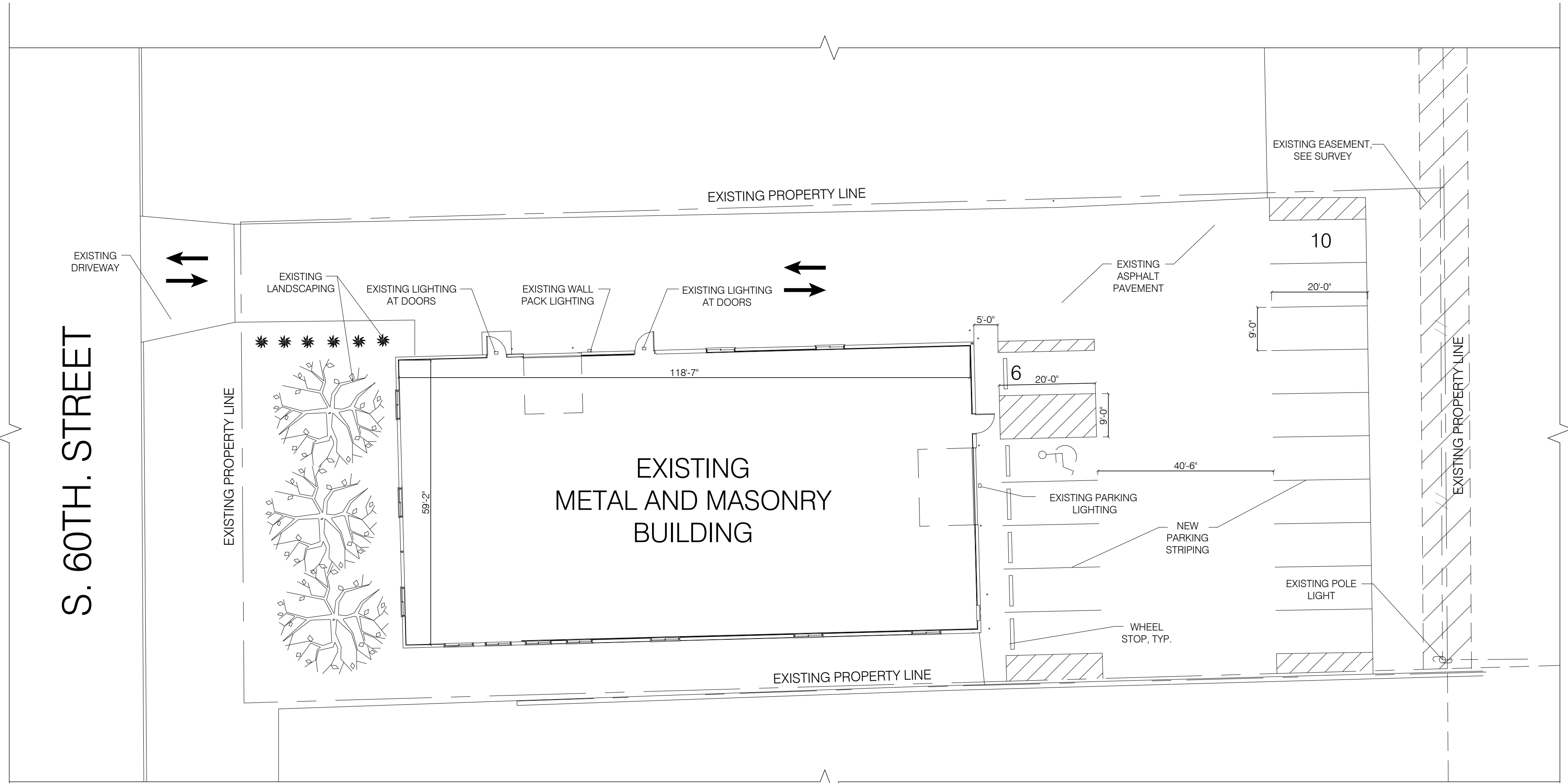
OWNER INFORMATION:	
BEN ASKREN	
ASKREN WRESTLING ACADEMY	
601 MAPLE AVE.	
DELAFIELD, WI 53015	
262-961-5617	
benaskren@gmail.com	

1

PROPOSED FLOOR PLAN

3/32" = 1'-0"

NORTH



2

SITE PLAN

1/16" = 1'-0"

NORTH



STREET VIEW OF EXISTING BUILDING

TENANT IMPROVEMENT FOR:

ASKREN WRESTLING  
ACADEMY

9760 60TH STREET  
FRANKLIN, WI 53132

REVISIONS	
NO.	REV. DATE DESCRIPTION

SHEET TITLE

TITLE SHEET, SHEET INDEX, SITE INFORMATION, SITE PLAN, AND PROPOSED FLOOR PLAN

PROJECT INFO

Original Issue Date

3/13/2020

Project No.

19-106

Drawn By

CK

A1.0

SPECIAL USE AMENDMENT APPLICATION



April 3, 2020

# **Project Plan**

## **Tax Incremental District No. 8**

### **Business Park overly of TID No. 4**

## **City of Franklin, Wisconsin**

Organizational Joint Review Board Meeting Held:	Scheduled for: April 9, 2020
Public Hearing Held:	Scheduled for: April 9, 2020
Approval by Plan Commission:	Scheduled for: April 9, 2020
Adoption by Common Council:	Scheduled for: May 5, 2020
Approval by the Joint Review Board:	Scheduled for: TBD

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## **SECTION 1:**

### **Executive Summary**

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#### **Description of District**

Tax Incremental District (“TID”) No. 8 (“District”) is a proposed Mixed-Use District comprising approximately 671 acres located to the northeast of South 27<sup>th</sup> street and West County Line Road. The District will be created to pay the costs of public infrastructure and developer incentives needed (“Project”) for the property to be developed. In addition to the incremental property value that will be created, the City expects the Project will result in potentially \$125 million in new property value within the City. The City anticipates a combination of industrial and commercial development on this site.

#### **Authority**

The City is creating the District under the provisions of Wis. Stat. § 66.1105.

#### **Estimated Total Project Cost Expenditures**

The City anticipates making total expenditures of approximately \$39 million (“Project Costs”) to undertake the projects listed in this Project Plan (“Plan”). Project Costs include an estimated \$22 million in public infrastructure, \$4 million in developer incentives and \$12.7 million in fiscal and administrative expenses.

#### **Incremental Valuation**

The City projects that new land and improvements value of approximately \$125.6 million will result from the Project. Creation of this additional value will be made possible by the Project Costs made within the District. A table detailing assumption’s as to the development timing and associated values is included in the Economic Feasibility Study located within this Plan.

#### **Expected Termination of District**

Based on the Economic Feasibility Study located within Section 9 of this Plan, the City anticipates that the District will generate sufficient tax increment to pay all Project Costs within 19 of its allowable 20 years.

#### **Summary of Findings**

As required by Wis. Stat. § 66.1105, and as documented in this Plan and the exhibits contained and referenced herein, the following findings are made:

1. That “but for” the creation of this District, the development projected to occur as detailed in this Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City. In reaching this determination, the City has considered:

The substantial investment needed to provide the public infrastructure necessary to allow for development within the District. Absent the use of tax incremental financing, the City is unable to fully fund this program of infrastructure improvements.

2. The economic benefits of the District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements. In making this determination, the City has considered the following information:

The Developer's representation that the Project is not economically viable without public participation based on extraordinary costs associated with demolition of structures and redevelopment of existing sites.

That the Developers of the property will likely purchase goods and services from local suppliers in construction of the Project, and induced effects of employee households spending locally for goods and services from retailers, restaurants and service companies.

3. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. As required by Wis. Stat. § 66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been prepared and can be found in this Plan. However, because the Project would not occur without the use of tax incremental financing, these tax increments would not be paid but for creation of the District. Accordingly, the City finds that the benefits expected to be realized as set forth in this Plan outweigh the value of the tax increments to be invested in the Project.
4. Not less than 50% by area of the real property within the District is suitable for mixed use development as defined by Wis. Stat. § 66.1105(2)(cm).
5. Based on the foregoing finding, the District is designated as a mixed-use district.
6. The Project Costs relate directly to promoting mixed use development in the District, consistent with the purpose for which the District is created.
7. Improvements to be made in the District are likely to significantly enhance the value of substantially all of the other real property in the District.
8. The equalized value of taxable property in the District, plus the incremental value of all existing tax incremental districts within the City does not exceed 12% of the total equalized value of taxable property within the City.

9. The City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wis. Stat. § 66.1105(5)(b).
10. The Plan for the District is feasible and is in conformity with the Master Plan of the City.
11. That there are no parcels to be included within the District that were annexed by the City within the preceding three-year period.

## **SECTION 2:**

# **Preliminary Map of Proposed District Boundary**

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Map Found on Following Page.

To the extent District boundaries include wetlands identified on a map prepared under Wis. Stat. § 23.32, the wetlands are excluded from the District.



## **SECTION 3:**

# **Map Showing Existing Uses and Conditions**

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Map Found on Following Page.



SECTION 4:  
Preliminary Parcel List and Analysis

City of Franklin, Wisconsin																						
Tax Increment District # 8																						
Base Property Information																						
Property Information							Assessment Information					Equalized Value					District Classification					Comments
Map	Parcel Number	Street Address	Owner	Acreage	Annexed Post 1/1/04?	Part of Existing TID?	Land	Imp	PP	Total	Equalized Value Ratio	Land	Imp	PP	Total	Industrial (Suitable)	Commercial/Business	Existing Residential	Newly Platted Residential	Suitable for Mixed Use	Current Class	
Ref #																						
951 9996 005	0 ELM RD W (REAR)	JAMS-4 LLC	10.62	4.00	8,500	0	8,500	97.01%	8,762	0	0	8,762	0	0	0	8,762	0	0			0.00	G4 AGRICULTURE
978 9996 007	3151 ELM RD W	3151 ELM ROAD LLC	15.66	4.00	7,700	0	7,700	97.01%	7,937	0	0	7,937	0	0	0	7,937	0	8			8.00	G4 AGRICULTURE
979 9997 000	3617 ELM RD W	JHB PROPERTIES LLC	79.79	4.00	34,700	0	34,700	97.01%	35,770	0	0	35,770	40	0	0	35,770	40	0			40.00	G4 AGRICULTURE
979 9999 000	3548 SOUTH COUNTY LINE RD W	MLG INVESTMENTS 2002 LLC	34.86	4.00	89,700	0	89,700	97.01%	92,465	0	0	92,465	14	14	0	92,465	14	14			28.00	G4 AGRICULTURE
979 9998 000	0 60TH ST S	GERASOPOULOS, PETER & JUDITH	43.63	4.00	18,100	0	18,100	97.01%	18,658	0	0	18,658	22	22	0	18,658	22	22			44.00	G4 AGRICULTURE
951 9994 001	0 OAKWOOD RD W	JAMS-4 LLC	73.30	4.00	21,400	0	21,400	97.01%	22,060	0	0	22,060	27	27	0	22,060	27	27			54.00	G4 AGRICULTURE
950 9997 001	3617 OAKWOOD RD W	WENDT, LORRAINE C SURVIVOR'S TRUST 10%	48.90	4.00	78,500	97,100	175,600	97.01%	80,919	100,093	0	181,012	20	20	0	181,012	20	20			40.00	G4 AGRICULTURE
978 9997 000	10885 27TH ST S	FOX GLEN CORPORATE CENTRE LLC	57.94	4.00	127,100	3,200	130,300	97.01%	131,017	3,299	0	134,316	19	19	0	134,316	19	19			38.00	G4 AGRICULTURE
978 9999 001	0 SOUTH COUNTY LINE	FOX GLEN CORPORATE CENTRE LLC	22.43	4.00	13,200	0	13,200	97.01%	13,607	0	0	13,607	7	6	0	13,607	7	6			13.00	G4 AGRICULTURE
951 9997 001	10511 27TH ST S	JAMS-4 LLC	0.83	4.00	43,000	106,700	149,700	97.01%	44,325	109,989	0	154,314	0	1	0	154,314	0	1			1.00	G2 COMMERCIAL
951 9996 008	10601 27TH ST S	CON-WAY CENTRAL EXPRESS	28.86	4.00	1,300,100	3,990,100	5,290,200	97.01%	1,340,171	4,113,081	0	5,453,252	29	0	0	5,453,252	29	0			29.00	G2 COMMERCIAL
951 9996 007	10563 27TH ST S	ACKER, DELORES	1.40	4.00	72,100	108,000	180,100	97.01%	74,322	111,329	0	185,651	0	1	0	185,651	0	1			1.00	G2 COMMERCIAL
951 9996 013	3240 ELM RD W	WEST PROPERTIES INC	4.26	4.00	246,100	803,000	1,049,100	97.01%	253,685	827,750	0	1,081,435	0	4	0	1,081,435	0	4			4.00	G2 COMMERCIAL
951 9996 017	0 ELM RD W	WISCONSIN ELECTRIC POWER CO	3.41	4.00	108,900	0	108,900	97.01%	112,256	0	0	112,256	0	0	0	112,256	0	0			0.00	G2 COMMERCIAL
978 9996 006	3001 ELM RD W	WASTE MANAGEMENT OF WIS INC	2.76	4.00	141,100	204,400	345,500	97.01%	145,449	210,700	0	356,149	0	3	0	356,149	0	3			3.00	G2 COMMERCIAL
951 9996 002	0 27TH ST S	BEST DISPOSAL SYSTEMS	4.72	4.00	206,600	0	206,600	97.01%	212,968	0	0	212,968	0	5	0	212,968	0	5			5.00	G2 COMMERCIAL
951 9995 000	10467 27TH ST S	SPENCER, MARILYN REVOCABLE TRUST OF 200	0.71	4.00	36,200	117,900	154,100	97.01%	37,316	121,534	0	158,850	0	1	0	158,850	0	1			1.00	G2 COMMERCIAL
951 9998 000	10521 27TH ST S	JAMS-4 LLC	0.71	4.00	36,200	99,400	135,600	97.01%	37,316	102,464	0	139,779	0	1	0	139,779	0	1			1.00	G2 COMMERCIAL
951 9996 009	10613 27TH ST S	AMERICAN FREIGHTWAYS CORP	13.48	4.00	786,700	2,154,200	2,940,900	97.01%	810,947	2,220,596	0	3,031,543	0	13	0	3,031,543	0	13			13.00	G2 COMMERCIAL
978 9998 000	11027 27TH ST S	FOX GLEN CORPORATE CENTRE LLC	25.64	4.00	306,000	549,500	855,500	97.01%	315,431	566,436	0	881,868	13	13	0	881,868	13	13			26.00	G2 COMMERCIAL
928 2006 000	10101 27TH ST S UNIT 400	WHEATON FRANCISCAN HEALTHCARE-SE WI INC	44.03	4.00	2,400	23,500	25,900	97.01%	2,474	24,224	0	26,698	0	44	0	26,698	0	44			44.00	G2 COMMERCIAL
928 2007 000	10101 27TH ST S UNIT 500	WHEATON FRANCISCAN HEALTHCARE-SE WI INC		4.00	2,400	26,300	28,700	97.01%	2,474	27,111	0	29,585	0	0	0	29,585	0	0			0.00	G2 COMMERCIAL
928 2003 000	10101 27TH ST S UNIT 201	MIDWEST ORTHOPEDIC SPECIALTY HOSPITAL LL		4.00	581,400	8,415,500	8,996,900	97.01%	599,320	8,674,879	0	9,274,199	0	0	0	9,274,199	0	0			0.00	G2 COMMERCIAL
928 2004 000	10101 27TH ST S UNIT 202	MIDWEST ORTHOPEDIC SPECIALTY HOSPITAL LL		4.00	151,700	2,195,800	2,347,500	97.01%	156,376	2,263,478	0	2,419,854	0	0	0	2,419,854	0	0			0.00	G2 COMMERCIAL
928 9999 005	0 27TH ST S	WHEATON FRANCISCAN HEALTHCARE-SE WI INC	9.19	4.00	1,010,900	0	1,010,900	97.01%	1,042,058	0	0	1,042,058	0	9	0	1,042,058	0	9			9.00	G2 COMMERCIAL
978 9991 001	2731 ELM RD W	H A & H HOLDINGS, LLC	1.05	4.00	54,000	251,700	305,700	97.01%	55,664	259,458	0	315,122	0	1	0	315,122	0	1			1.00	G2 COMMERCIAL
978 9993 001	10741 27TH ST S	H A & H HOLDINGS LLC	5.92	4.00	379,200	644,100	1,023,300	97.01%	390,888	663,952	0	1,054,840	0	6	0	1,054,840	0	6			6.00	G2 COMMERCIAL
978 9995 000	10791 27TH ST S	10791 SOUTH 27TH STREET LLC	0.69	4.00	44,100	46,800	90,900	97.01%	45,459	48,242	0	93,702	0	1	0	93,702	0	1			1.00	G2 COMMERCIAL
978 9994 000	10771 27TH ST S	H A & H HOLDINGS LLC	0.55	4.00	28,200	107,700	135,900	97.01%	29,069	111,019	0	140,089	0	1	0	140,089	0	1			1.00	G2 COMMERCIAL
978 9996 001	2901 ELM RD W	KUHN, DONALD & GAIL	2.76	4.00	105,800	102,000	207,800	97.01%	109,061	105,144	0	214,205	3	0	0	214,205	3	0			3.00	G2 COMMERCIAL
951 9999 001	10627 27TH ST S	WASTE MANAGEMENT OF WIS INC	1.29	4.00	57,900	1,252,300	1,310,200	97.01%	59,685	1,290,898	0	1,350,582	0	1	0	1,350,582	0	1			1.00	G2 COMMERCIAL
928 2005 000	10101 27TH ST S UNIT 300	WHEATON FRANCISCAN HEALTHCARE-SE WI INC		4.00	2,400	22,100	24,500	97.01%	2,474	22,781	0	25,255	0	0	0	25,255	0	0			0.00	G2 COMMERCIAL
928 9996 007	9969 27TH ST S	WHEATON FRANCISCAN HEALTHCARE-SE WI IN	28.18	4.00	1,320,700	11,017,900	12,338,600	97.01%	1,361,406	11,357,489	0	12,718,895	0	28	0	12,718,895	0	28			28.00	G2 COMMERCIAL
951 9996 016	0 ELM RD W	WISCONSIN ELECTRIC POWER CO	2.15	4.00	0	0	0	97.01%	0	0	0	0	0	0	0	0	0	0			0.00	X4 EXEMPT
928 2001 000	10101 27TH ST S UNIT 10	WHEATON FRANCISCAN HEALTHCARE-SE WI INC	44.03	4.00	0	0	0	97.01%	0	0	0	0	0	0	0	0	0	0			0.00	X4 EXEMPT
928 2002 001	10101 27TH ST S UNIT 101	WHEATON FRANCISCAN HEALTHCARE-SE WI INC	41.76	4.00	0	0	0	97.01%	0	0	0	0	0	0	0	0	0	0			0.00	X4 EXEMPT
951 9996 015	3310 ELM RD W	BTL HOLDINGS, LLC	4.27	4.00	0	0	0	97.01%	0	0	0	0	4	0	0	0	4	0			4.00	G3 MANUFACTURING
978 9996 008	3131 ELM RD W	SRM FRANKLIN, LLC	11.38	4.00	0	0	0	97.01%	0	0	0	0	11	0	0	0	11	0			11.00	G3 MANUFACTURING
928 9999 007	10101 27TH ST S	WHEATON FRANCISCAN HEALTHCARE-SE WI INC	0.00	4.00	91,600	240,100	331,700	97.01%	94,423	247,500	0	341,924	0	0	0	341,924	0	0			0.00	G2 COMMERCIAL
					0		0	97.01%	0	0	0	0				0					0.00	
Total Acreage							671.15	7,514,600	32,579,300	0	40,093,900	7,746,212	33,583,445	0		209	249	0	0	458		
																31.14%	37.10%	0.00%	0.00%	68.24%		
The above values are as of January 1, 2019. Actual base value certification of the territory will be based on January 1, 2020 assessed values.												Estimated Base Value	41,329,657									

## SECTION 5: Equalized Value Test

The following calculations demonstrate that the City expects to be in compliance with Wis. Stat. § 66.1105(4)(gm)4.c., which requires that the equalized value of the taxable property in the proposed District, plus the value increment of all existing tax incremental districts, does not exceed 12% of the total equalized value of taxable property within the City.

The equalized value of the increment of existing tax incremental districts within the City, plus the base value of the proposed District, totals \$189,599,857. This value is less than the maximum of \$523,232,280 in equalized value that is permitted for the City.

City of Franklin, Wisconsin				
Tax Increment District # 8				
Valuation Test Compliance Calculation				
District Creation Date	5/5/2020			
	Valuation Data Currently Available 2019	Dollar Charge	Percent Change	Valuation Data Est. Creation Date
Total EV (TID In)	4,360,269,000			4,360,269,000
12% Test	523,232,280			523,232,280
Increment of Existing TIDs				
TID #3	64,781,500			64,781,500
TID #4	52,629,500			52,629,500
TID #5	30,859,200			30,859,200
TID #6	0			0
TID #7	0			0
Total Existing Increment	148,270,200			148,270,200
Projected Base of New or Amended District	41,329,657			41,329,657
Less Value of Any Underlying TID Parcels	0			0
Total Value Subject to 12% Test	189,599,857			189,599,857
Compliance	PASS			PASS

Preliminary

## **SECTION 6:**

### **Statement Listing the Kind, Number and Location of All Proposed Public Works or Improvements Within the District**

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Project Costs are any expenditure made, estimated to be made, or monetary obligations incurred or estimated to be incurred as outlined in this Plan. Project Costs will be diminished by any income, special assessments or other revenues, including user fees or charges, other than tax increments, received or reasonably expected to be received in connection with the implementation of the Plan. If Project Costs incurred benefit territory outside the District, a proportionate share of the cost is not a Project Cost. Costs identified in this Plan are preliminary estimates made prior to design considerations and are subject to change after planning, design and construction is completed.

With all Project Costs, the costs of engineering, design, survey, inspection, materials, construction, restoring property to its original condition, apparatus necessary for public works, legal and other consultant fees, testing, environmental studies, permits, updating City ordinances and plans, judgments or claims for damages and other expenses are included as Project Costs.

The following is a list of public works and other tax incremental financing eligible Project Costs that the City expects to make, or may need to make, in conjunction with the implementation of the District's Plan. The map found in Section 7 of this Plan along with the Detailed List of Project Costs found in Section 8 provide additional information as to the kind, number and location of potential Project Costs.

#### **Property, Right-of-Way and Easement Acquisition**

##### **Property Acquisition for Development**

To promote and facilitate development the City may acquire property within the District. The cost of property acquired, and any costs associated with the transaction, are eligible Project Costs. Following acquisition, other Project Costs within the categories detailed in this Section may be incurred to make the property suitable for development. Any revenue received by the City from the sale of property acquired pursuant to the execution of this Plan will be used to reduce the total project costs of the District. If total Project Costs incurred by the City to acquire property and make it suitable for development exceed the revenues or other consideration received from the sale or lease of that property, the net amount shall be considered "real property assembly costs" as

defined in Wis. Stat. § 66.1105(2)(f)1.c., and subject to recovery as an eligible Project Cost.

### **Property Acquisition for Conservancy**

To promote the objectives of this Plan, the City may acquire property within the District that it will designate for conservancy. These conservancy objectives include: preserving historic resources or sensitive natural features; protection of scenic and historic views; maintaining habitat for wildlife; maintaining adequate open space; reduction of erosion and sedimentation by preserving existing vegetation; and providing adequate areas for management of stormwater. The cost of property acquired for conservancy, and any costs associated with the transaction, are eligible Project Costs.

### **Acquisition of Rights-of-Way**

The City may need to acquire property to allow for installation of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire rights-of-way are eligible Project Costs.

### **Acquisition of Easements**

The City may need to acquire temporary or permanent easements to allow for installation and maintenance of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire easement rights are eligible Project Costs.

### **Relocation Costs**

If relocation expenses are incurred in conjunction with the acquisition of property, those expenses are eligible Project Costs. These costs may include, but are not limited to: preparation of a relocation plan; allocations of staff time; legal fees; publication of notices; obtaining appraisals; and payment of relocation benefits as required by Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

## **Site Preparation Activities**

### **Environmental Audits and Remediation**

If it becomes necessary to evaluate any land or improvement within the District, any cost incurred by the City related to environmental audits, testing, and remediation are eligible Project Costs.

### **Demolition**

To make sites suitable for development, the City may incur costs related to demolition and removal of structures or other land improvements, to include abandonment of wells or other existing utility services.

### **Site Grading**

Land within the District may require grading to make it suitable for development, to provide access, and to control stormwater runoff. The City may need to remove and dispose of excess material, or bring in fill material to provide for proper site elevations. Expenses incurred by the City for site grading are eligible Project Costs.

## **Utilities**

### **Sanitary Sewer System Improvements**

To allow development to occur, the City may need to construct, alter, rebuild or expand sanitary sewer infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: collection mains; manholes and cleanouts; service laterals; force mains; interceptor sewers; pumping stations; lift stations; wastewater treatment facilities; and all related appurtenances. To the extent sanitary sewer projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand sanitary sewer infrastructure located outside of the District. That portion of the costs of sanitary sewer system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs. The improvements to the wastewater treatment facilities, although not within the ½ mile radius, is an eligible project cost under Wis. Stat. § 66.1105(2)(f)1 k.

### **Water System Improvements**

To allow development to occur, the City may need to construct, alter, rebuild or expand water system infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: distribution mains; manholes and valves; hydrants; service laterals; pumping stations; wells; water treatment facilities; storage tanks and reservoirs; and all related appurtenances. To the extent water system projects undertaken within the District provide direct benefit to land outside of the District, the City will

make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand water system infrastructure located outside of the District. That portion of the costs of water system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

### **Stormwater Management System Improvements**

Development within the District will cause stormwater runoff. To manage this stormwater runoff, the City may need to construct, alter, rebuild or expand stormwater management infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: stormwater collection mains; inlets, manholes and valves; service laterals; ditches; culvert pipes; box culverts; bridges; stabilization of stream and river banks; and infiltration, filtration and detention Best Management Practices (BMP's). To the extent stormwater management system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand stormwater management infrastructure located outside of the District. That portion of the costs of stormwater management system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

### **Electric Service**

To create sites suitable for development, the City may incur costs to provide, relocate or upgrade electric services. Relocation may require abandonment and removal of existing poles or towers, installation of new poles or towers, or burying of overhead electric lines. Costs incurred by the City to undertake this work are eligible Project Costs.

### **Gas Service**

To create sites suitable for development, the City may incur costs to provide, relocate or upgrade gas mains and services. Costs incurred by the City to undertake this work are eligible Project Costs.

### **Communications Infrastructure**

To create sites suitable for development, the City may incur costs to provide, relocate or upgrade infrastructure required for voice and data communications, including, but not limited to: telephone lines, cable lines and fiber optic cable. Costs incurred by the City to undertake this work are eligible Project Costs.

### **Streets and Streetscape**

#### **Street Improvements**

To allow development to occur, the City may need to construct or reconstruct streets, highways, alleys, access drives and parking areas. Eligible Project Costs include, but are not limited to: excavation; removal or placement of fill; construction of road base; asphalt or concrete paving or repaving; installation of curb and gutter; installation of sidewalks and bicycle lanes; installation of culverts, box culverts and bridges; rail crossings and signals; utility relocation, to include burying overhead utility lines; street lighting; installation of traffic control signage and traffic signals; pavement marking; right-of-way restoration; installation of retaining walls; and installation of fences, berms, and landscaping.

#### **Streetscaping and Landscaping**

To attract development and/or redevelopment consistent with the objectives of this Plan, the City may install amenities to enhance development sites, rights-of-way and other public spaces. These amenities include, but are not limited to: landscaping; lighting of streets, sidewalks, parking areas and public areas; installation of planters, benches, clocks, tree rings, trash receptacles and similar items; and installation of brick or other decorative walks, terraces and street crossings. These and any other similar amenities installed by the City are eligible Project Costs.

### **Community Development**

#### **Cash Grants (Development Incentives)**

The City may enter into agreements with property owners, lessees, or developers of land located within the District for sharing costs to encourage the desired kind of improvements and assure tax base is generated sufficient to recover Project Costs. No cash grants will be provided until the City executes a developer agreement with the recipient of the cash grant. Any payments of cash grants made by the City are eligible Project Costs.

### **Contribution to Community Development Authority (CDA) or Redevelopment Authority (RDA)]**

As provided for in Wis. Stat. § 66.1105(2)(f)1.h and Wis. Stat. § 66.1333(13), the City may provide funds to its CDA to be used for administration, planning operations, and capital costs, including but not limited to real property acquisition, related to the purposes for which it was established in furtherance of any redevelopment or urban renewal project. Funds provided to the CDA for this purpose are eligible Project Costs.

### **Revolving Loan/Grant Program (Development Incentives)**

To encourage private development consistent with the objectives of this Plan, the City, through its CDA, may provide loans or grants to eligible property owners in the District. Eligible improvements will be those that are likely to improve the value of the property, enhance the visual appearance of the property and surrounding area, correct safety deficiencies, or as otherwise specified by the CDA in the program manual. Any funds returned to the CDA from the repayment of loans made are not considered revenues to the District, and will not be used to offset District Project Costs. Instead, these funds may be placed into a revolving fund and will continue to be used for the program purposes stated above. Any funds provided to the CDA for purposes of implementing this program are considered eligible Project Costs.

### **Miscellaneous**

#### **Projects Outside the Tax Increment District**

Pursuant to Wis. Stat. § 66.1105(2)(f)1.n, the City may undertake projects within territory located within one-half mile of the boundary of the District provided that: 1) the project area is located within the City's corporate boundaries; and 2) the projects are approved by the Joint Review Board. The cost of projects completed outside the District pursuant to this section are eligible project costs, and may include any project cost that would otherwise be eligible if undertaken within the District. The City intends to make the following project cost expenditures outside the District:

Street and sidewalk improvements

Intersection improvements

#### **Professional Service and Organizational Costs**

The costs of professional services rendered, and other costs incurred, in relation to the creation, administration and termination of the District, and the

undertaking of the projects contained within this Plan, are eligible Project Costs. Professional services include but are not limited to: architectural; environmental; planning; engineering; legal; audit; financial; and the costs of informing the public with respect to the creation of the District and the implementation of the Plan.

### **Administrative Costs**

The City may charge to the District as eligible Project Costs reasonable allocations of administrative costs, including, but not limited to, employee salaries. Costs allocated will bear a direct connection to the time spent by City employees relating to the implementation of the Plan.

### **Financing Costs**

Interest expense, debt issuance expenses, redemption premiums, and any other fees and costs incurred in conjunction with obtaining financing for projects undertaken under this Plan are eligible Project Costs.

## **SECTION 7:**

# **Map Showing Proposed Improvements and Uses**

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Map Found on Following Page.

## 1984-1985

[http://www.aibn.org/ci](#)

2046 26.  $\text{Mg}(\text{NO}_3)_2 \cdot 6\text{H}_2\text{O}$  1.5000 g  $\times 0.0010000 \text{ mol/g} = 0.0015000 \text{ mol}$

## **SECTION 8:**

### **Detailed List of Estimated Project Costs**

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The following list identifies the Project Costs that the City currently expects to incur in implementing the District's Plan. All projects identified and related costs reflect the best estimates available as of the date of preparation of this Plan. All costs are preliminary estimates and may increase or decrease. Certain Project Costs listed may become unnecessary, and other Project Costs not currently identified may need to be made. (Section 6 details the general categories of eligible Project Costs). Changes in Project Cost totals or the types of Project Costs to be incurred will not require that this Plan be amended. This Plan is not meant to be a budget nor an appropriation of funds for specific Project Costs, but a framework within which to manage Project Costs.

# City of Franklin, Wisconsin

## Tax Increment District # 8

### Estimated Project List

Project ID	Project Name/Type	Phase I 2020	Phase II 2021	Phase III 2022	Phase IV 2023	Phase V 2024	Ongoing 2020-2040	Total (Note 1)
1	Elm Road Construction		1,000,000					1,000,000
2	Future public infrastructure - road, water, sewer, traffic control		2,400,000	3,300,000	3,300,000	3,000,000		12,000,000
3	Demolitions	0	600,000	600,000				1,200,000
4	Power Lines Relocation		1,200,000					1,200,000
5	Property Acquisitions		200,000	75,000	75,000	50,000		400,000
6	Environmental Mitigations		25,000	25,000	25,000			75,000
7	27th Street Improvements					800,000		800,000
8	Monument Signage					250,000		250,000
9	Design/Engineering		750,000	450,000	400,000	400,000		2,000,000
10	Contingency - 20%	0	1,085,000	800,000	680,000	820,000		3,385,000
11	Developer Incentives	4,000,000						4,000,000
12	TIF Creation & Administration	30,000						30,000
13	Interest expense and financing costs on Municipal Debt						12,086,126	12,086,126
14	Administration Expenses						607,434	607,434
15								0
Total Projects		4,030,000	7,260,000	5,250,000	4,480,000	5,320,000	12,693,560	39,033,560

#### Notes:

Note 1 Project costs are estimates and are subject to modification

Preliminary

## **SECTION 9: Economic Feasibility Study, Description of the Methods of Financing Estimated Project Costs and the Time When Related Costs or Monetary Obligations are to be Incurred**

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This Section includes a forecast of the valuation increases expected within the District, the associated tax increment collections, a summary of how Project Costs would be financed, and a projected cash flow demonstrating that the District is economically feasible.

### **Key Assumptions**

The Project Costs the City plans to make are expected to create \$125.6 million in incremental value by 2029. Estimated valuations and timing for construction of the Project are included in **Table 1**. Assuming the City's current equalized TID Interim tax rate of \$21.64 per thousand of equalized value declining at the rate of 1% per year, and with a 1% economic appreciation, the Project would generate \$41 million in incremental tax revenue over the 20-year term of the District as shown in **Table 2**.

# City of Franklin, Wisconsin

## Tax Increment District # 8

### Development Assumptions

Construction Year		Actual	Acres	Developable area	Billor Development	Annual Total	Construction Year	
1	2020				25,000,000	25,000,000	2020	1
2	2021		35	13,650,000		13,650,035	2021	2
3	2022		35	13,650,000		13,650,035	2022	3
4	2023		35	13,650,000		13,650,035	2023	4
5	2024		33	12,870,000		12,870,033	2024	5
6	2025		30	11,700,000		11,700,030	2025	6
7	2026		30	11,700,000		11,700,030	2026	7
8	2027		30	11,700,000		11,700,030	2027	8
9	2028		30	11,700,000		11,700,030	2028	9
10	2029			0		0	2029	10
11	2030			0		0	2030	11
12	2031			0		0	2031	12
13	2032			0		0	2032	13
14	2033					0	2033	14
15	2034					0	2034	15
16	2035					0	2035	16
17	2036					0	2036	17
18	2037					0	2037	18
19	2038					0	2038	19
20	2039					0	2039	20
Totals		0	258	100,620,000	25,000,000	125,620,258		

Notes: Development values assumed at \$6,000 square feet per acre and \$65 per square foot.

**Table 1 – Development Assumptions**

# City of Franklin, Wisconsin

## Tax Increment District # 8

### Tax Increment Projection Worksheet

Type of District	Mixed Use	Base Value	41,329,657
District Creation Date	May 5, 2020	Appreciation Factor	1.00%
Valuation Date	Jan 1, 2020	Base Tax Rate	\$21.64
Max Life (Years)	20	Rate Adjustment Factor	-1.00%
Expenditure Period/Termination	15 5/5/2035		
Revenue Periods/Final Year	20 2041		
Extension Eligibility/Years	Yes 3	Tax Exempt Discount Rate	3.00%
Eligible Recipient District	No	Taxable Discount Rate	4.50%

Construction	Year	Value Added	Valuation Year	Inflation Increment	Total Increment	Revenue Year	Tax Rate	Tax Increment
1	2020	25,000,000	2021	0	25,000,000	2022	\$21.42	535,543
2	2021	13,650,035	2022	250,000	38,900,035	2023	\$21.21	824,973
3	2022	13,650,035	2023	389,000	52,939,070	2024	\$21.00	1,111,479
4	2023	13,650,035	2024	529,391	67,118,496	2025	\$20.79	1,395,090
5	2024	12,870,033	2025	671,185	80,659,714	2026	\$20.58	1,659,786
6	2025	11,700,030	2026	806,597	93,166,341	2027	\$20.37	1,897,971
7	2026	11,700,030	2027	931,663	105,798,035	2028	\$20.17	2,133,749
8	2027	11,700,030	2028	1,057,980	118,556,045	2029	\$19.97	2,367,143
9	2028	11,700,030	2029	1,185,560	131,441,635	2030	\$19.77	2,598,179
10	2029	0	2030	1,314,416	132,756,052	2031	\$19.57	2,597,919
11	2030	0	2031	1,327,561	134,083,612	2032	\$19.37	2,597,659
12	2031	0	2032	1,340,836	135,424,448	2033	\$19.18	2,597,399
13	2032	0	2033	1,354,244	136,778,693	2034	\$18.99	2,597,140
14	2033	0	2034	1,367,787	138,146,480	2035	\$18.80	2,596,880
15	2034	0	2035	1,381,465	139,527,945	2036	\$18.61	2,596,620
16	2035	0	2036	1,395,279	140,923,224	2037	\$18.42	2,596,361
17	2036	0	2037	1,409,232	142,332,456	2038	\$18.24	2,596,101
18	2037	0	2038	1,423,325	143,755,781	2039	\$18.06	2,595,841
19	2038	0	2039	1,437,558	145,193,339	2040	\$17.88	2,595,582
20	2039	0	2040	1,451,933	146,645,272	2041	\$17.70	2,595,322
<b>Totals</b>		<b>125,620,258</b>		<b>21,025,014</b>		<b>Future Value of Increment</b>		<b>43,086,737</b>

#### Notes:

Actual results will vary depending on development, inflation of overall tax rates.

NPV calculations represent estimated amount of funds that could be borrowed (including project cost, capitalized interest and issuance costs).

**Table 2 – Tax Increment Projection Worksheet**

### Financing and Implementation

The City anticipates the issuance of General Obligation Debt to finance the necessary infrastructure improvements, all administration and financing expenses are intended to be paid with annual increment revenue. Table 3. provides a summary of the District's financing plan.

City of Franklin, Wisconsin							
Tax Increment District # 8							
Estimated Financing Plan							
	Taxable G.O. Bond 2020	G.O. Bond 2021	G.O. Bond 2022	G.O. Bond 2023	G.O. Bond 2024	TID Cashflow 2020-2041	Totals
Projects							
Phase I	4,030,000						4,030,000
Phase II		7,260,000					7,260,000
Phase III			5,250,000				5,250,000
Phase IV				4,480,000			4,480,000
Phase V					5,320,000		5,320,000
Interest expense on City Debt						12,086,126	12,086,126
Administration Expenses						607,434	607,434
Total Project Funds	4,030,000	7,260,000	5,250,000	4,480,000	5,320,000	12,693,560	39,033,560
Estimated Finance Related Expenses							
Municipal Advisor	26,300	34,800	29,400	27,400	29,600		
Bond Counsel	12,000	13,500	13,000	13,000	13,500		
Disclosure Counsel	7,200	8,100	7,800	7,800	8,100		
Rating Agency Fee	13,500	14,000	14,500	15,000	15,500		
Paying Agent	850	850	850	850	850		
Underwriter Discount	12.50 53,125 12.50	93,938 12.50	68,188 12.50	58,375 12.50	69,313		
Debt Service Reserve							
Capitalized Interest	122,930	122,119	102,281	100,034	125,606		
Total Financing Required	4,265,905	7,547,306	5,486,019	4,702,459	5,582,469		
Estimated Interest	1.00% (20,150) 1.00%	(36,300) 1.25%	(32,813) 1.50%	(33,600) 1.50%	(39,900)		
Assumed spend down (months)	6	6	6	6	6		
Rounding	4,245	3,994	1,794	1,141	2,431		
Net Issue Size	4,250,000	7,515,000	5,455,000	4,670,000	5,545,000		27,435,000
Notes:							

**Table 3 – Financing Plan**

Based on the Project Cost expenditures as included within the cash flow exhibit (Table 4), the District is projected to accumulate sufficient funds by the year 2040 to pay off all Project cost liabilities and obligations. The projected early closure is based on the various assumptions noted in this Plan and will vary dependent on actual Project Costs incurred and the actual amount of tax increments collected.

City of Franklin, Wisconsin																		
Tax Increment District # 8																		
Cash Flow Projection																		
Year	Projected Revenues				Expenditures													
	Tax Increments	Interest	Capitalized Interest	Total Revenues	Taxable G.O. Bond 4,250,000			G.O. Bond 7,515,000			G.O. Bond 5,455,000		G.O. Bond 4,670,000		G.O. Bond 5,545,000		Admin.	Total Expenditures
		Earnings/ (Cost)			Dated Date:	08/01/20		Dated Date:	03/01/21		Dated Date:	03/01/22	Dated Date:	03/01/24	Dated Date:	03/01/25		
					Principal	Est. Rate	Interest	Principal	Est. Rate	Interest	Principal	Interest	Principal	Interest	Principal	Interest		
2020		1.25%																0
2021			122,930	122,930						122,119								245,049
2022	535,543	19	102,281	637,844	100,000	1.75%	122,930		3.25%	244,238		102,281					25,000	594,449
2023	824,973	562		825,535	125,000	1.75%	121,180	125,000	3.25%	242,206		204,563					25,500	843,449
2024	1,111,479	338	100,034	1,211,851	150,000	2.00%	118,993	150,000	3.25%	237,738	75,000	203,156		100,034			26,010	1,060,931
2025	1,395,090	2,224	125,606	1,522,921	175,000	2.00%	115,993	200,000	3.25%	232,050	100,000	199,875	75,000	196,881		125,606	26,530	1,446,935
2026	1,659,786	3,174		1,662,960	175,000	2.25%	112,493	225,000	3.25%	225,144	150,000	195,188	100,000	193,163	75,000	247,838	27,061	1,725,885
2027	1,897,971	2,387		1,900,358	200,000	2.25%	108,555	250,000	3.25%	217,425	200,000	188,625	175,000	187,319	100,000	243,900	27,602	1,898,426
2028	2,133,749	2,412		2,136,160	225,000	2.50%	104,055	275,000	3.25%	208,894	225,000	180,656	200,000	179,350	225,000	236,588	28,154	2,087,697
2029	2,367,143	3,017		2,370,161	235,000	2.50%	98,430	300,000	3.25%	199,550	250,000	171,750	200,000	170,850	250,000	225,900	28,717	2,130,197
2030	2,598,179	6,017		2,604,196	240,000	2.75%	92,555	325,000	3.25%	189,394	275,000	161,906	225,000	161,819	275,000	214,088	29,291	2,189,053
2031	2,597,919	11,206		2,609,125	245,000	2.75%	85,955	350,000	3.25%	178,425	300,000	151,125	225,000	152,256	300,000	201,150	29,877	2,218,789
2032	2,597,659	16,085		2,613,745	250,000	3.00%	79,218	375,000	3.25%	166,644	300,000	139,875	275,000	141,631	325,000	187,088	30,475	2,269,930
2033	2,597,399	20,383		2,617,783	250,000	3.00%	71,718	400,000	3.25%	154,050	325,000	128,156	300,000	129,413	350,000	171,900	31,084	2,311,321
2034	2,597,140	24,214		2,621,354	255,000	3.35%	64,218	450,000	3.25%	140,238	350,000	115,500	300,000	116,663	375,000	155,588	31,706	2,353,911
2035	2,596,880	27,557		2,624,437	260,000	3.35%	55,675	500,000	3.25%	124,800	375,000	101,906	325,000	103,381	400,000	138,150	32,340	2,416,253
2036	2,596,620	30,159		2,626,780	265,000	3.35%	46,965	525,000	3.25%	108,144	400,000	87,375	325,000	89,569	425,000	119,588	32,987	2,424,627
2037	2,596,361	32,686		2,629,047	275,000	3.35%	38,088	550,000	3.25%	90,675	410,000	72,188	350,000	75,225	450,000	99,900	33,647	2,444,722
2038	2,596,101	34,990		2,631,091	275,000	3.50%	28,875	575,000	3.25%	72,394	420,000	56,625	375,000	59,819	495,000	78,638	34,320	2,470,670
2039	2,595,841	36,996		2,632,837	275,000	3.50%	19,250	600,000	3.25%	53,300	430,000	40,688	400,000	43,350	500,000	56,250	35,006	2,452,844
2040	2,595,582	39,245		2,634,827	275,000	3.50%	9,625	650,000	3.25%	32,988	435,000	24,469	410,000	26,138	500,000	33,750	35,706	2,432,675
2041	2,595,322	41,772		2,637,095				690,000	3.25%	11,213	435,000	8,156	410,000	8,713	500,000	11,250	36,420	2,110,752
Total	43,086,737	336,982	572,971	43,996,689	4,250,000		1,617,698	7,515,000		3,251,625	5,455,000	2,534,063	4,670,000	2,135,572	5,545,000	2,547,169	607,434	40,128,560
Notes:																		

Table 4 – Cash Flow

## **SECTION 10:**

### **Annexed Property**

---

There are no lands proposed for inclusion within the District that were annexed by the City on or after January 1, 2004.

## **SECTION 11:**

### **Estimate of Property to Be Devoted to Retail Business**

---

Pursuant to Wis. Stat. § 66.1105(5)(b), the City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period.

## **SECTION 12:**

### **Proposed Changes of Zoning Ordinances, Master Plan, Map, Building Codes and City Ordinances**

---

#### **Zoning Ordinances**

The proposed Plan is in general conformance with the City's current zoning ordinances. Individual properties may require rezoning at the time of development.

#### **Master (Comprehensive) Plan and Map**

The proposed Plan is in general conformance with the City's Comprehensive Plan identifying the area as appropriate for commercial and industrial development.

#### **Building Codes and Ordinances**

Development within the District will be required to conform to State Building Codes and will be subject to the City's permitting and inspection procedures.

The proposed Plan conforms to all relevant State and local ordinances, plans, and codes. No changes to the existing regulations are proposed or needed.

### **SECTION 13:**

## **Statement of the Proposed Method for the Relocation of any Persons to be Displaced**

---

Should implementation of this Plan require relocation of individuals or business operations, relocations will be handled in compliance with Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

### **SECTION 14:**

## **How Creation of the Tax Incremental District Promotes the Orderly Development of the City**

---

Creation of the District and the implementation of the projects in its Plan will promote the orderly development of the City by creating opportunities for mixed use development, providing necessary public infrastructure improvements and providing appropriate financial incentives for private development projects. Through use of tax increment financing, the City can attract new investment that results in increased tax base. Development will occur in an orderly fashion in accordance with approved plans so that the Projects will be compatible with adjacent land uses. Development of new uses in the District will add to the tax base and will generate positive secondary impacts in the community such as increased employment opportunities.

## **SECTION 15:**

### **List of Estimated Non-Project Costs**

---

Non-project costs are public works projects which only partly benefit the District. Costs incurred that do not benefit the District may not be paid with tax increments. Examples of non-project costs are:

- A public improvement made within the District that also benefits property outside the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- A public improvement made outside the District that only partially benefits property within the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- Projects undertaken within the District as part of the implementation of this Project Plan, the costs of which are paid fully or in part by impact fees, grants, special assessments, or revenues other than tax increments.

No improvements to be made within the District will benefit property outside the District. Furthermore, there will be no improvements made outside the District that will only partially benefit the District.

**SECTION 16:**  
**Legal Opinion Advising Whether the Plan is**  
**Complete and Complies with Wis. Stat. §**  
**66.1105(4)(f)**

---

Legal Opinion Found on Following Page.

Insert Legal Opinion

## SAMPLE

Dear Mayor:

As City Attorney for the City, I have reviewed the Project Plan and, in my opinion, have determined that it is complete and complies with Wisconsin Statutes Section 66.1105(4)(f).

Sincerely,

City Attorney

## SECTION 17:

# Calculation of the Share of Projected Tax Increments Estimated to be Paid by the Owners of Property in the Overlying Taxing Jurisdictions

The following projection is provided to meet the requirements of Wis. Stat. § 66.1105(4)(i)4.

Estimated portion of taxes that owners of taxable property in each taxing jurisdiction overlaying district would pay by jurisdiction.							
Statement of Taxes Data Year:				2018		Percentage	
County				19,244,848	32.19%		
Special District				6,650,847	11.12%		
Municipality				23,546,233	39.38%		
School District				5,535,027	9.26%		
Technical College				4,809,220	8.04%		
Total				59,786,175			
Revenue Year	County	Special District	Municipality	School District	Technical College	Total	Revenue Year
2022	172,388	59,576	210,919	49,581	43,079	535,543	2022
2023	265,554	91,773	324,908	76,376	66,361	824,973	2023
2024	357,779	123,645	437,746	102,901	89,408	1,111,479	2024
2025	449,072	155,195	549,443	129,158	112,222	1,395,090	2025
2026	534,276	184,641	653,691	153,664	133,514	1,659,786	2026
2027	610,947	211,138	747,498	175,715	152,673	1,897,971	2027
2028	686,842	237,367	840,357	197,543	171,639	2,133,749	2028
2029	761,971	263,330	932,278	219,151	190,414	2,367,143	2029
2030	836,340	289,032	1,023,269	240,540	208,998	2,598,179	2030
2031	836,256	289,003	1,023,166	240,516	208,977	2,597,919	2031
2032	836,173	288,974	1,023,064	240,492	208,957	2,597,659	2032
2033	836,089	288,945	1,022,962	240,468	208,936	2,597,399	2033
2034	836,005	288,916	1,022,859	240,444	208,915	2,597,140	2034
2035	835,922	288,887	1,022,757	240,420	208,894	2,596,880	2035
2036	835,838	288,858	1,022,655	240,396	208,873	2,596,620	2036
2037	835,755	288,829	1,022,553	240,372	208,852	2,596,361	2037
2038	835,671	288,800	1,022,450	240,348	208,831	2,596,101	2038
2039	835,587	288,772	1,022,348	240,324	208,810	2,595,841	2039
2040	835,504	288,743	1,022,246	240,300	208,789	2,595,582	2040
2041	835,420	288,714	1,022,144	240,276	208,769	2,595,322	2041
13,869,389		4,793,136	16,969,314	3,988,987	3,465,912	43,086,737	
Notes: The projection shown above is provided to meet the requirements of Wisconsin Statute 66.1105(4)(i)4.							



April 3, 2020

# Project Plan for the Territory & Project Plan Amendment of Tax Incremental District No. 6

## CITY OF FRANKLIN, WISCONSIN

Organizational Joint Review Board Meeting Held:	Scheduled for: April 9, 2020
Public Hearing Held:	Scheduled for: April 9, 2020
Consideration for Approval by Plan Commission:	Scheduled for: April 9, 2020
Consideration for Adoption by Common Council:	Scheduled for: May 5, 2020
Consideration for Approval by the Joint Review Board:	Scheduled for: TBD

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# SECTION 1: Executive Summary

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## Description of District

### Type of District, Size and Location

Tax Incremental District (“TID”) No. 6 (the “TID” or “District”) is an existing mixed-use district, which was created by a resolution of the City of Franklin (“City”) Common Council adopted on October 16, 2018 (the “Creation Resolution”).

### Amendments

The District has not been previously amended.

### Purpose of this Amendment

To further facilitate development within areas adjacent to the District, the City desires to amend its boundaries to add territory. A map, located in Section 3 of this plan, identifies the Territory to be added and its geographic relationship to the existing District’s boundaries.

This amendment will cause territory to be added to the District, providing incentive and opportunities for additional private development and redevelopment.

This amendment will modify the categories, locations or costs of the Projects to be undertaken, providing incentive and opportunities for additional private development and redevelopment.

This amendment will allow for the District to incur project costs outside of, but within ½ mile of, the boundaries of the District as permitted under Wisconsin Statutes Section 66.1105(2)(f)1.n.

The development expected to occur within the original boundaries of the District has been expanded to include property not initially included within the boundary. The new parcels, created by the development, would be partially in the boundaries of the District and partially outside of the boundaries. The City is required to maintain whole parcels within the boundaries of a tax increment district. The proposed boundary amendment will ensure the City complies with this requirement and allows the City to implement the development envisioned in the original project plan.

### Estimated Total Project Expenditures

The City anticipates making project expenditures of approximately \$500,000 to undertake projects in the amendment areas as listed in this Project Plan. It is anticipated that the remaining and additional projects will be completed in multiple phases. The Expenditure Period of this District terminates on October 16, 2033. The remaining and additional projects to be undertaken pursuant to this Project Plan are expected to be financed with General Obligation Debt and Municipal Revenue Obligations issued in various years, however, the City may use other alternative financing methods which may provide overall lower costs of financing, preserve debt capacity, mitigate risk to the City, or provide other advantages as determined by the Common Council. A discussion and listing of other possible financing mechanisms, as well as a summary of project financing by phase is located in Section 10 of this plan.

The additional project costs include costs for sewer & water improvements and road construction. These project areas, excluding the expansion of the Wastewater Treatment Plant, are located both in the current boundary, the proposed boundary & outside of, but within ½ mile of the current boundary and proposed boundary of the District and within the City.

## Economic Development

As a result of the amendment of this District, the City projects that additional land and improvements value of approximately \$6 million will be created as a result of new development, redevelopment, and appreciation in the value of existing properties. This additional value will be a result of the improvements made and projects undertaken within the amended areas and within the original District boundaries. A table detailing assumptions as to the timing of new development and redevelopment, and associated values is located in Section 10 of this plan. In addition, the amendment of the District is expected to result in further economic benefits as detailed in the Summary of Findings hereafter.

## Expected Termination of District

TID No. 6 has a maximum statutory life of 20 years, and must close not later than October 16, 2038, resulting in a final collection of increment in budget year 2040. Pre-amendment cash flow projections indicate that the entire available life of the District will be required to retire current and projected District liabilities. Based on the Economic Feasibility Study located in Section 10 of this Plan, amendment of the District would shift the projected closure year from 2040 to 2038.

## Summary of Findings

As required by Wisconsin Statutes Section 66.1105, and as documented in this Project Plan Amendment and the exhibits contained and referenced herein, the following findings are made:

1. **That “but for” amendment of this District, the additional development projected to occur within the amendment areas as detailed in this Project Plan: 1) would not occur; or 2) would not occur in the manner at the values, or within the timeframe desired by the City.** In making this determination, the City has considered the following information:
  - Some sites proposed for development have remained vacant for years due to lack of adequate infrastructure. Given that the sites have not developed as would have been expected under normal market conditions, it is the judgment of the City that the use of tax incremental financing (“TIF”) will be required to provide the necessary infrastructure inducements to encourage development on the sites consistent with that desired by the City.
  - In order to make the amendment areas suitable for development, the City will need to make a substantial investment to pay for the costs of: property, right-of-way and easement acquisition; site preparation; installation of utilities, and other associated costs. Due to the initial investment in public infrastructure that is required in order to allow development to occur, the City has determined that development of the amendment area will not occur solely as a result of private investment. Accordingly, the City finds that absent the use of TIF, development and/or redevelopment of the amendment area is unlikely to occur.
2. **The economic benefits of amending the Tax Incremental District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements.** In making this determination, the City has considered the following information:
  - As demonstrated in the Economic Feasibility Section of this Project Plan, the total tax increments projected to be collected are more than sufficient to pay for the actual and proposed Project Costs within the original District and the amended areas. On this basis alone, the finding is supported.

3. **The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.**
- If approved, the boundary amendment would become effective for valuation purposes as of January 1, 2020. As of this date, the values of all existing development would be frozen and the property taxes collected on this base value would continue to be distributed amongst the various taxing entities as they currently are now. Taxes levied on any additional value established within the amendment area due to new construction, renovation or appreciation of property values occurring after January 1, 2020 would be collected by the TID and used to repay the costs of TIF-eligible projects undertaken within the District.
  - Given that additional development is not likely to occur or in the same manner without the use of tax incremental financing (see finding # 1), and since the District will generate additional economic benefits that are more than sufficient to compensate for the additional cost of the improvements (see Finding #2), the City reasonably concludes that the overall additional benefits of the District outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. It is further concluded that since the “but for” test is satisfied, there would, in fact, be no foregone tax increments to be paid in the event the District is not amended. As required by Section 66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been made and can be found in Appendix A of the Project Plan.
4. Not less than 50% by area of the real property within the District, as amended, is suitable for a combination of industrial, commercial and residential uses, defined as “mixed-use development” within the meaning of Wisconsin Statutes Section 66.1105(2)(cm). Lands proposed or developed for newly platted residential development comprise less than 35%, as amended, by the area of the real property within the District. Any project Costs related to newly platted residential development are eligible expenditures based on the finding that the development has a residential housing density of at least 3 units per acre as defined in Wisconsin Statutes Section 66.1105(2)(f)3.a.
5. Based upon the findings, as stated above, and the original findings as stated in the Creation Resolution, the District remains declared a mixed-use District based on the identification and classification of the property included within the District.
6. The Project Costs of the District relate directly to promoting mixed-use development in the District consistent with the purpose for which the District was created.
7. The improvements to be made within the territory incorporated by this Amendment are likely to enhance significantly the value of substantially all of the other real property in the District.
8. The equalized value of the taxable property within the territory to be added to the District by this amendment, plus the value increment of all other existing tax incremental districts within the City, does not exceed 12% of the total equalized value of taxable property within the City.
9. The City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District’s maximum expenditure period, pursuant to Wisconsin Statutes Section 66.1105(5)(b).
10. The Project Plan for the District, as amended, is feasible, and is in conformity with the Master Plan of the City.

## SECTION 2: Type and General Description of District

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The District was created under the authority provided by Wisconsin Statutes Section 66.1105 on October 16, 2018 by resolution of the Common Council. The District's valuation date, for purposes of establishing base value, was January 1, 2019.

The existing District is a "Mixed Use District" based upon a finding that at least 50%, by area, of the real property within the District was suitable for a combination of industrial, commercial and residential uses within the meaning of Wisconsin Statutes Section 66.1105(2)(cm). The District will remain in compliance with this finding after the addition of the territory identified in this Amendment. The District will also remain in compliance with the prohibition that no more than 35% of the area of the District be allocated for newly-platted residential development. To the extent that the City has incurred, or may incur, Project Costs for newly platted residential development, the residential development will have a density of at least 3 units per acre as defined in Wisconsin Statutes Section 66.1105(2)(f)3.a. The Preliminary Parcel list found in Section 5 of this plan provides a calculation demonstrating continued compliance with both the 50% test and the 35% test.

Wisconsin Statutes Section 66.1105(4)(h)2. provides authority for a City to amend the boundaries of an existing Tax Increment District for purposes of adding and/or subtracting territory up to a total of four times during the life of the District. The boundaries of the District have not previously been amended.

This Project Plan Amendment supplements, and does not supersede or replace any component of the original Project Plan unless specifically stated. All components of the original Project Plan remain in effect.

The purpose of the Amendment is to facilitate development within areas adjacent to the existing District. The amendment to the District boundaries and the Project Plan will enable the City to install additional public improvements, and to make additional necessary related expenditures that will create development opportunities consistent with the original purposes for which the District was created.

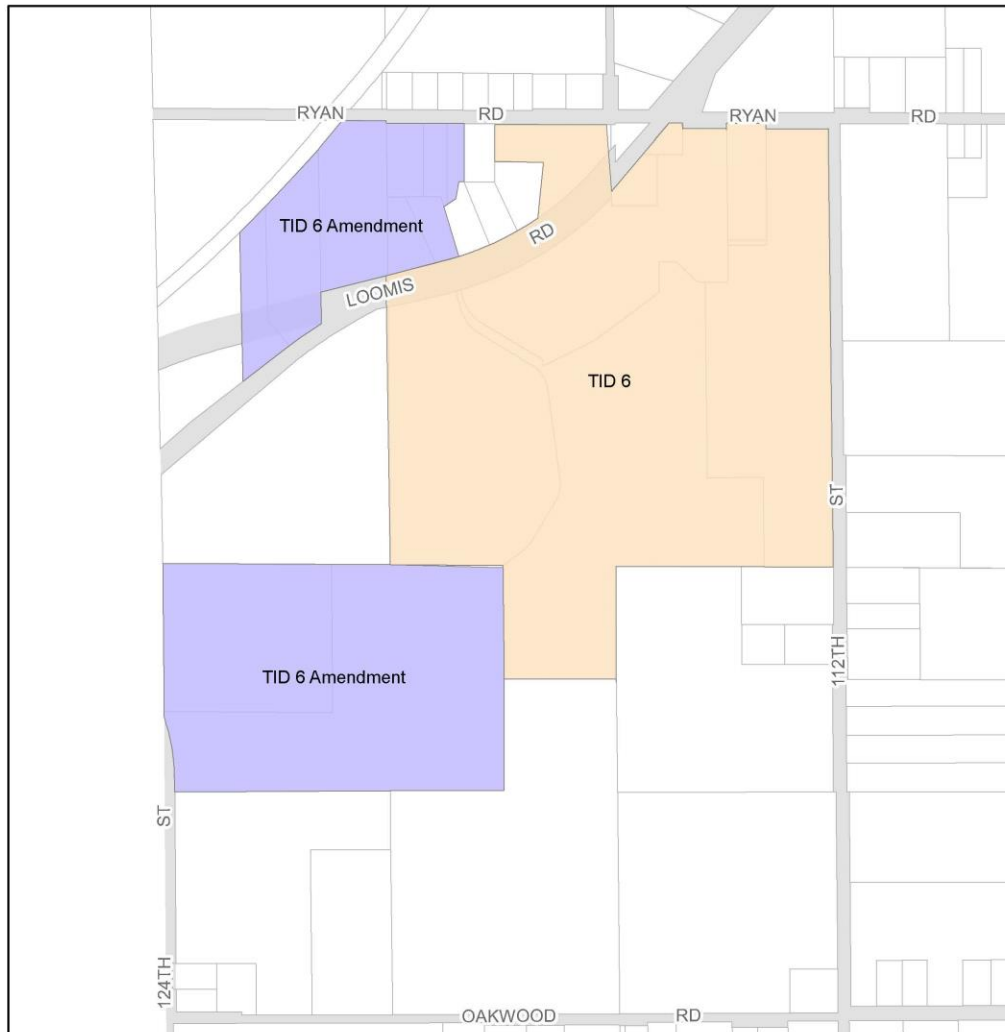
The amendment is also to update and provide for the undertaking of additional expenditures.

A map depicting the boundaries of the District is found in Section 3 of this Plan. Based upon the findings as stated above, and the original findings as stated in the Creation Resolution, the District remains a mixed-use District based on the identification and classification of the property included within the District.

To the extent District boundaries include wetlands identified on a map prepared under Wis. Stat. § 23.32, the wetlands are excluded from the District.

## SECTION 3: Preliminary Map of Original District Boundary and Territory Amendment Area Identified

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### TID 6 Amendment 2020



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor.  
This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

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## SECTION 4: Map Showing Existing Uses and Conditions Within The Territory To Be Added

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Updated map will be provided by City



Map will be provided

# SECTION 5: Preliminary Parcel List and Analysis Within The Territory To Be Added

## City of Franklin, Wisconsin

Tax Increment District # 6

Base Property Information

Property Information						Assessment Information				Equalized Value					District Classification					
Map Ref #	Parcel Number	Street Address	Owner	Acreage	Annexed Post 1/1/04?	Part of Existing TID?	Land	Imp	PP	Total	Equalized Value Ratio	Land	Imp	PP	Total	Industrial (Zoned and Suitable)	Commercial/ Business	Existing Platted Residential	Newly Platted Residential	Suitable for Mixed Use
					...Indicate date	...Indicate TID #														
891 9997 000	12204 W LOOMIS RD	Mills Hotel Wyoming, LLC	3.54	19,800			19,800				97.01%	20,410	0	0	20,410		3.54			3.54
891 9996 000	0 W LOOMIS RD	Mills Hotel Wyoming, LLC	6.68	2,600			2,600				97.01%	2,680	0	0	2,680		6.68			6.68
891 9993 000	12000 W LOOMIS RD	Mills Hotel Wyoming, LLC	8.58	1,800			1,800				97.01%	1,855	0	0	1,855		8.58			8.58
891 9001 000	11908 W LOOMIS RD	Mills Hotel Wyoming, LLC	1.98	111,600			111,600	143,400		255,000	97.01%	115,040	147,820	0	262,859		1.98			1.98
891 9002 000	11906 W LOOMIS RD	Mills Hotel Wyoming, LLC	1.54	108,100			108,100	132,000		240,100	97.01%	111,432	136,068	0	247,500		1.54			1.54
891 9004 000	n/a	Mills Hotel Wyoming, LLC	2.17	17,400			17,400				97.01%	17,936	0	0	17,936			2.17		2.17
891 9005 000	n/a	Mills Hotel Wyoming, LLC	1.43	11,400			11,400				97.01%	11,751	0	0	11,751			1.43		1.43
891 9006 000	n/a	Mills Hotel Wyoming, LLC	0.94	7,500			7,500				97.01%	7,731	0	0	7,731			0.94		0.94
939 9995 000	0 S 124TH ST	Franklin Mills, LLC	20.01	4,200			4,200				97.01%	4,329	0	0	4,329	20.01				20.01
939 9994 000	10082 S 124TH ST	MATHSON, DANIEL L & VIRGINIA K (L/E)	41.24	77,800			77,800	160,500		238,300	97.01%	80,198	165,447	0	245,645	41.24				41.24
939 9996 007	0 W OAKWOOD RD	MILLIN, DAVID J ET AL	24.76	5,000			5,000				97.01%	5,154	0	0	5,154	24.76				24.76
939 9998 001	12026 W OAKWOOD RD	MILLIN, DAVID J ET AL	10.63	71,200			71,200	110,600		181,800	97.01%	73,394	114,009	0	187,403	10.63				10.63
Total Acreage				123.50			438,400	546,500	0	984,900		451,912	563,344	0		96.64 78.25%	22.32 18.07%	4.54 3.68%	0 0.00%	123.5 100.00%
The above values are as of January 1, 2019. Actual base value certification of the territory will be based on January 1, 2020 assessed values.											Estimated Base Value					1,015,256				

## SECTION 6: Equalized Value Test

The following calculations demonstrate that the City is in compliance with Wisconsin Statutes Section 66.1105(4)(gm)4.c., which requires that the equalized value of the Territory to be added to the District, plus the value increment of the District being amended, plus the value increment of all other existing tax incremental districts, does not exceed 12% of the total equalized value of taxable property within the City.

The equalized value of the Territory to be incorporated by this Amendment, plus the increment value of TID No. 6, plus the value increment of all other existing tax incremental districts within the City, totals \$149,454,100. This value is less than the maximum of \$523,232,280 in equalized value that is permitted for the City of Franklin. The City is therefore in compliance with the statutory equalized valuation test and may proceed with amendment of this District.

City of Franklin, Wisconsin				
Tax Increment District # 6				
Valuation Test Compliance Calculation				
District Creation Date	10/16/2018			
	Valuation Data Currently Available 2019	Dollar Charge	Percent Change	Valuation Data Est. Creation Date
Total EV (TID In)	4,360,269,000			4,360,269,000
12% Test	523,232,280			523,232,280
Increment of Existing TIDs				
TID #3	64,781,500			64,781,500
TID #4	52,629,500			52,629,500
TID #5	30,859,200			30,859,200
TID #6	1,183,900			1,183,900
TID #7				0
				0
Total Existing Increment	149,454,100			149,454,100
Projected Base of New or Amended District	1,015,256			1,015,256
Less Value of Any Underlying TID Parcels	0			0
Total Value Subject to 12% Test	150,469,356			150,469,356
Compliance	PASS			PASS

## SECTION 7:

# Statement of Kind, Number and Location of Proposed Public Works and Other Projects

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The following is a list of public works and other TIF-eligible projects that the City has implemented, or expects to implement, within the original District or within the Territory to be incorporated by this Amendment. Any costs directly or indirectly related to the public works and other projects are considered "Project Costs" and eligible to be paid with tax increment revenues of the District.

## Property, Right-of-Way and Easement Acquisition

### Property Acquisition for Development

In order to promote and facilitate development the City may acquire property within the District. The cost of property acquired, and any costs associated with the transaction, are eligible Project Costs. Following acquisition, other Project Costs within the categories detailed in this Section may be incurred in order to make the property suitable for development and/or redevelopment. Any revenue received by the City from the sale of property acquired pursuant to the execution of this Plan will be used to reduce the total project costs of the District. If total Project Costs incurred by the City to acquire property and make it suitable for development and/or redevelopment exceed the revenues or other consideration received from the sale or lease of that property, the net amount shall be considered "real property assembly costs" as defined in Wisconsin Statutes Section 66.1105(2)(f)1.c., and subject to recovery as an eligible Project Cost.

### Property Acquisition for Conservancy

In order to promote the objectives of this Plan, the City may acquire property within the District that it will designate for conservancy. These conservancy objectives include: preserving historic resources or sensitive natural features; maintaining habitat for wildlife; maintaining adequate open space; reduction of erosion and sedimentation by preserving existing vegetation; and providing adequate areas for management of stormwater. The cost of property acquired for conservancy, and any costs associated with the transaction, are eligible Project Costs.

### Acquisition of Rights-of-Way

The City may need to acquire property to allow for installation of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire rights-of-way are eligible Project Costs.

### Acquisition of Easements

The City may need to acquire temporary or permanent easements to allow for installation and maintenance of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire easement rights are eligible Project Costs.

### Relocation Costs

If relocation expenses are incurred in conjunction with the acquisition of property, those expenses are eligible Project Costs. These costs may include, but are not limited to: preparation of a relocation plan; allocations of staff time; legal fees; publication of notices; obtaining appraisals; and payment of relocation benefits as required by Wisconsin Statutes Sections 32.19 and 32.195.

## Site Preparation Activities

### Environmental Audits and Remediation

There have been no known environmental studies performed within the proposed District. If, however, it becomes necessary to evaluate any land or improvement within the District, any cost incurred by the City related to environmental audits, testing, and remediations are eligible Project Costs.

### Demolition

In order to make sites suitable for development, the City may incur costs related to demolition and removal of structures or other land improvements, to include abandonment of wells or other existing utility services.

### Site Grading

Land within the District may require grading to make it suitable for development and/or redevelopment, to provide access, and to control stormwater runoff. The City may need to remove and dispose of excess material, or bring in fill material to provide for proper site elevations. Expenses incurred by the City for site grading are eligible Project Costs.

## Utilities

### Sanitary Sewer System Improvements

There are inadequate sanitary sewer facilities serving areas of the District. To allow development to occur, the City may construct, alter, rebuild or expand sanitary sewer infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: collection mains; manholes and cleanouts; service laterals; force mains; interceptor sewers; pumping stations; lift stations; and all related appurtenances. To the extent sanitary sewer projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand sanitary sewer infrastructure located outside of the District. That portion of the costs of sanitary sewer system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs. The improvements to the wastewater treatment facilities, although not within the ½ mile radius, are an eligible project cost under Section 66.1105(2)(f)1 k.

### Water System Improvements

There are inadequate water distribution facilities serving areas of the District. To allow development to occur, the City may construct, alter, rebuild or expand water system infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: distribution mains; manholes and valves; hydrants; service laterals; pumping stations; and all related appurtenances. To the extent water system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand water system infrastructure located outside of the District. That portion of the costs of water system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

### Stormwater Management System Improvements

Development within the District will cause stormwater runoff and pollution. To manage this stormwater runoff, the City may construct, alter, rebuild or expand stormwater management infrastructure within the

District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: stormwater collection mains; inlets, manholes and valves; service laterals; ditches; culvert pipes; box culverts; and infiltration, filtration and detention Best Management Practices (BMP's). To the extent stormwater management system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand stormwater management infrastructure located outside of the District. That portion of the costs of stormwater management system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

### **Electric Service**

In order to create sites suitable for development, the City may incur costs to provide, relocate or upgrade electric services. Relocation may require abandonment and removal of existing poles or towers, installation of new poles or towers, or burying of overhead electric lines. Costs incurred by the City to undertake this work are eligible Project Costs.

### **Gas Service**

In order to create sites suitable for development, the City may incur costs to provide, relocate or upgrade gas mains and services. Costs incurred by the City to undertake this work are eligible Project Costs.

### **Communications Infrastructure**

In order to create sites suitable for development, the City may incur costs to provide, relocate or upgrade infrastructure required for voice and data communications, including, but not limited to: telephone lines, cable lines and fiber optic cable. Costs incurred by the City to undertake this work are eligible Project Costs.

## **Streets and Streetscape**

### **Street Improvements**

There are inadequate street improvements serving areas of the District. To allow development to occur, the City may need to construct and/or reconstruct streets, highways, access drives and parking areas. Eligible Project Costs include, but are not limited to: excavation; removal or placement of fill; construction of road base; asphalt or concrete paving or repaving; installation of curb and gutter; installation of sidewalks and bicycle lanes; installation of culverts, utility relocation, to include burying overhead utility lines; street lighting; installation of traffic control signage and traffic signals; pavement marking; right-of-way restoration; installation of retaining walls; and installation of fences, berms, and landscaping.

### **Streetscaping and Landscaping**

In order to attract development consistent with the objectives of this Plan, the City may install amenities to enhance development sites, rights-of-way and other public spaces. These amenities include, but are not limited to: landscaping; lighting of streets, sidewalks, parking areas and public areas; installation of planters, benches, clocks, tree rings, trash receptacles and similar items; and installation of brick or other decorative walks, terraces and street crossings. These and any other similar amenities installed by the City are eligible Project Costs.

## **CDA**

### **Contribution to Community Development**

As provided for in Wisconsin Statutes Sections 66.1105(2)(f)1.h and 66.1333(13), the City may provide

funds to its CDA to be used for administration, planning operations, and capital costs, including but not limited to real property acquisition, related to the purposes for which it was established in furtherance of any redevelopment or urban renewal project. Funds provided to the CDA for this purpose are eligible Project Costs.

### **Revolving Loan/Grant Program**

To encourage private redevelopment consistent with the objectives of this Plan, the City, through its CDA, may provide loans and/or matching grants to eligible property owners in the District. Loan and/or matching grant recipients will be required to sign an agreement specifying the nature of the property improvements to be made. Eligible improvements will be those that are likely to improve the value of the property, enhance the visual appearance of the property and surrounding area, correct safety deficiencies, or as otherwise specified by the CDA in the program manual. Any funds returned to the CDA from the repayment of loans made are not considered revenues to the District, and will not be used to offset District Project Costs. Instead, these funds may be placed into a revolving loan fund and will continue to be used for the program purposes stated above. Any funds provided to the CDA for purposes of implementing this program are considered eligible Project Costs.

### **Miscellaneous**

#### **Cash Grants (Development Incentives)**

The City may enter into agreements with property owners, lessees, or developers of land located within the District for the purpose of sharing costs to encourage the desired kind of improvements and assure tax base is generated sufficient to recover Project Costs. No cash grants will be provided until the City executes a developer agreement with the recipient of the cash grant. Any payments of cash grants made by the City are eligible Project Costs.

#### **Projects Outside the Tax Increment District**

Pursuant to Wisconsin Statutes Section 66.1105(2)(f)1.n, the City may undertake projects within territory located within one-half mile of the boundary of the District provided that: 1) the project area is located within the City's corporate boundaries and 2) the projects are approved by the Joint Review Board. The cost of projects completed outside the District pursuant to this section are eligible project costs, and may include any project cost that would otherwise be eligible if undertaken within the District. The City intends to make the following project cost expenditures outside the District: Street improvements and intersection improvements.

#### **Professional Service and Organizational Costs**

The costs of professional services rendered, and other costs incurred, in relation to the creation, administration and termination of the District, and the undertaking of the projects contained within this Plan, are eligible Project Costs. Professional services include, but are not limited to: architectural; environmental; planning; engineering; legal, audit; financial; and the costs of informing the public with respect to the creation of the District and the implementation of the Plan.

#### **Administrative Costs**

The City may charge to the District as eligible Project Costs reasonable allocations of administrative costs, including, but not limited to, employee salaries. Costs allocated will bear a direct connection to the time spent by City employees in connection with the implementation of the Plan.

#### **Financing Costs**

Interest expense, debt issuance expenses, redemption premiums, and any other fees and costs incurred in conjunction with obtaining financing for projects undertaken under this Plan are eligible Project Costs.

With all projects the costs of engineering, design, survey, inspection, materials, construction, restoring property to its original condition, site preparation, legal and other consultant fees, testing, environmental studies, permits, updating City ordinances and plans, judgments or claims for damages, and other expenses are included as Project Costs.

In the event any of the public works project expenditures are not reimbursable out of the special tax increment finance fund under Wisconsin Statutes Section 66.1105, in the written opinion of counsel retained by the City for such purpose or a court of record so rules in a final order, then such project or projects shall be deleted herefrom and the remainder of the projects hereunder shall be deemed the entirety of the projects for purposes of this Project Plan Amendment.

**The City reserves the right to implement only those projects that remain viable as the Plan period proceeds.**

Project Costs are any expenditure made, estimated to be made, or monetary obligations incurred or estimated to be incurred, by the City and as outlined in this Plan or the original Project Plan. To the extent the costs benefit the City outside the District, a proportionate share of the cost is not a Project Cost. Costs identified in this Plan are preliminary estimates made prior to design considerations and are subject to change after planning is completed. Prorations of costs in the Plan are also estimates and subject to change based upon implementation, future assessment policies and user fee adjustments. Project Costs will be diminished by any income, special assessments or other revenues, including user fees or charges, other than tax increments, received or reasonably expected to be received by the City in connection with the implementation of this Plan.

SECTION 8:  
Map Showing Proposed Improvements and Uses Within  
The Territory To Be Added

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**Map will be provided by City**

## SECTION 9: Detailed List of Additional **and** Updated Project Costs

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This Section contains information relative to the specific projects and expenditures that the City anticipates it will undertake or make within the Territory to be incorporated into the District by this Amendment. In addition, included for reference purposes, is a listing of the project cost estimates for the original District, and the current status of their implementation.

All costs are based on 2020 prices and are preliminary estimates. The City reserves the right to increase these costs to reflect inflationary increases and other uncontrollable circumstances between 2020 and the time of construction. However, for increases in excess of 25% over the cost of inflation of total Project Costs, the City would pursue an amendment to the Plan in accordance with the amendment procedures specified in Wisconsin Statutes Section 66.1105(4)(h), which include review by the Joint Review Board. The City also reserves the right to increase certain Project Costs to the extent others are reduced or not implemented, without amending the Plan. The tax increment allocation is preliminary and is subject to adjustment based upon the implementation of the Plan.

**This Plan is not meant to be a budget, nor an appropriation of funds for specific projects, but a framework within which to manage projects. All costs included in the Plan are estimates based on best information available. The City retains the right to delete projects or change the scope and/or timing of projects implemented as they are individually authorized by the Common Council, without further amending this Plan.**

## Proposed TIF Project Cost Estimates

City of Franklin, Wisconsin			
Tax Increment District # 6			
Estimated Project List			
Project ID	Project Name/Type	Original 2019	Amended 2021
			Total (Note 1)
1	Infrastructure Costs in amended area		1,500,000
2	TID creation/amendment	30,000	30,000
3	Administration Expenses (original & amended)	550,000	
4	Interest Expense on Debt Issuance (original Plan)	3,117,082	
5	Interest on MRO (only if funds are available)	2,780,910	
6	Interest Expense on Debt Issuance amended)		299,514
7	Developer Incentive Land Acquisition(original Plan)	3,710,000	
8	Infrastructure Costs (original Plan)	8,360,000	
Total Projects		<u>18,547,992</u>	<u>1,829,514</u>
			<u>20,377,506</u>
Notes:			
Note 1 Project costs are estimates and are subject to modification			

## SECTION 10: Economic Feasibility Study, Financing Methods, and the Time When Costs or Monetary Obligations Related are to be Incurred

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The information and exhibits contained within this Section demonstrate that the District, as proposed to be amended by the addition of territory, will remain economically feasible insofar as:

- The City has available to it the means to secure the necessary financing required to accomplish the remaining projects contained within this Plan. A listing of “Available Financing Methods” follows.
- The City expects to complete the remaining projects in one or multiple phases, and can adjust the timing of implementation as needed to coincide with the pace of private development. A discussion of the phasing and projected timeline for project completion is discussed under “Plan Implementation” within this Section. A table identifying the financing method for each phase and the time at which that financing is expected to be incurred is included.
- The development anticipated to occur as a result of the continued implementation of this Plan will generate sufficient tax increments to pay for the cost of the projects. Within this Section are tables identifying: 1) the development expected to occur, 2) an updated projection of tax increments to be collected resulting from that development and other economic growth within the District, and 3) an updated cash flow model demonstrating that the projected tax increment collections and all other revenues available to the District will be sufficient to pay all Project Costs.

### Available Financing Methods

Implementation of this Plan may require that the City issue debt obligations to provide direct or indirect financing for the Projects to be undertaken. The following is a list of the types of obligations the City may choose to utilize.

#### General Obligation (G.O.) Bonds or Notes

The City may issue G.O. Bonds or Notes to finance the cost of projects included within this Plan. The Wisconsin State Constitution limits the principal amount of G.O. debt that the community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (TID IN). As of the date of this plan, the City has a G.O. debt limit of \$218,013,450, of which \$159,623,109 is currently unused and could be made available to finance Project Costs.

#### Bonds Issued to Developers (“Pay as You Go” Financing)

The City may issue a bond or other obligation to one or more developers who provide financing for projects included in this Plan. Repayment of the amounts due to the developer under the bonds or other obligations are limited to an agreed percentage of the available annual tax increments collected that result from the improvements made by the developer. To the extent the tax increments collected are insufficient to make annual payments, or to repay the entire obligation over the life of the District, the City’s obligation is limited to not more than the agreed percentage of the actual increments collected. Bonds or other obligations issued to developers in this fashion are not general obligations of the City and, therefore, do not count against the City’s statutory borrowing capacity.

## **Tax Increment Revenue Bonds**

The City has the authority to issue revenue bonds secured by the tax increments to be collected. These bonds may be issued directly by the City, or as a form of lease revenue bond by its Community Development Authority (CDA). Tax Increment Revenue Bonds and Lease Revenue Bonds are not general obligations of the City and therefore do not count against the City's statutory borrowing capacity. To the extent tax increments collected are insufficient to meet the annual debt service requirements of the revenue bonds, the City may be subject to either a permissive or mandatory requirement to appropriate on an annual basis a sum equal to the actual or projected shortfall.

## **Utility Revenue Bonds**

The City can issue revenue bonds to be repaid from revenues of its various utility systems, including revenues paid by the City that represent service of the system to the City. There is neither a statutory nor constitutional limitation on the amount of revenue bonds that can be issued, however, water rates are controlled by the Wisconsin Public Service Commission and the City must demonstrate to bond purchasers its ability to repay revenue debt with the assigned rates. To the extent the City utilizes utility revenues other than tax increments to repay a portion of the bonds, the City must reduce the total eligible Project Costs in an equal amount.

## **Special Assessment "B" Bonds**

The City has the ability to levy special assessments against benefited properties to pay part of the costs for street, curb, gutter, sewer, water, storm sewers and other infrastructure. In the event the City determines that special assessments are appropriate, the City can issue Special Assessment B bonds pledging revenues from special assessment installments to the extent assessment payments are outstanding. These bonds are not counted against the City's statutory borrowing capacity. If special assessments are levied, the City must reduce the total eligible Project Costs under this Plan in an amount equal to the total collected.

## **Plan Implementation**

As stated in the original project plan, projects identified will provide the necessary anticipated governmental services and/or development incentives to the remaining district. The order in which expenditures are made should be adjusted in accordance with development and execution of developer agreements, if any. The City reserves the right to alter the implementation of this Plan to accomplish this objective.

Projects identified will provide the necessary anticipated governmental services and/or development incentives to the additional territory. It is anticipated these expenditures will be made during 2020. However, public debt and expenditures should be made at the pace private development occurs to assure increment is sufficient to cover expenses. The order in which expenditures are made should be adjusted in accordance with development and execution of developer agreements. The City reserves the right to alter the implementation of this Plan to accomplish this objective. In any event, all additional Project Costs are to be incurred within the period specified in Wisconsin Statutes Section 66.1105(6)(am).

It is anticipated developer agreements between the City and property owners will be in place prior to major public expenditures. These agreements can provide for development guarantees or a payment in lieu of development. To further assure contract enforcement these agreements might include levying of special assessments against benefited properties.

The order in which expenditures are made should be adjusted in accordance with development and execution of developer agreements. The City reserves the right to alter the implementation of this Plan to accomplish this objective.

Interest rates projected are based on current market conditions. Municipal interest rates are subject to constantly changing market conditions. In addition, other factors such as the loss of tax-exempt status of municipal bonds or broadening the purpose of future tax-exempt bonds would affect market conditions. Actual interest expense will be determined once the methods of financing have been approved and securities or other obligations are issued.

**If financing as outlined in this Plan proves unworkable, the City reserves the right to use alternate financing solutions for the projects as they are implemented.**

# Implementation and Financing Timeline

City of Franklin, Wisconsin						
Tax Increment District # 6						
Estimated Financing Plan						
	2019B					
	G.O. Bond 2/20/2019	G.O. Bond 2020	Municipal Revenue Obligation (MRO) 4/1/2021	G.O. Promissory Note 2021	TID Cash Flow Ongoing	Totals
Projects						
Land Acquisition			3,100,000			3,100,000
Utility Extensions	3,850,000			1,500,000		5,350,000
Interior Infrastructure	1,510,000	3,000,000				4,510,000
Development Incentive	610,000					610,000
Creation Expenses	30,000				30,000	60,000
Administration Expenses					550,000	550,000
Interest Expenses City Debt					3,416,596	3,416,596
Interest on MRO (only if funds are available)					2,780,910	2,780,910
Total Project Funds	6,000,000	3,000,000	3,100,000	1,500,000	6,777,506	20,377,506
Estimated Finance Related Expenses						
Municipal Advisor	14,400	17,600		14,500		
Bond Counsel	14,000	12,500		12,000		
Disclosure Counsel	8,400	7,500		7,200		
Rating Agency Fee	6,000	13,500		13,500		
Paying Agent	662	850		850		
Underwriter Discount	10.31 65,638	12.50 41,063	0.00 0	10.00 16,050		
Reoffering Premium	(273,320)					
Capitalized Interest	555,963	204,559		47,606		
Total Financing Required	6,391,743	3,297,571	3,100,000	1,611,706		
Estimated Interest	1.00% (30,000)	1.00% (15,000)	0.00% 0	1.25% (9,375)		
Assumed spend down (months)	6	6	0	6		
Rounding	3,257	2,429	0	2,669		
Net Issue Size	6,365,000	3,285,000	3,100,000	1,605,000		14,355,000
Notes:						

# Development Assumptions

City of Franklin, Wisconsin									
Tax Increment District # 6									
Development Assumptions									
Construction Year	Actual	Original TID Area Residential	Original TID Area Large Industrial	Original TID Area Commercial	Original TID Area Other Light Industrial	North Amended Areas	South Amended Areas	Annual Total	Construction Year
1 2019								0	2019 1
2 2020		6,320,000	12,000,000				3,000,000	21,320,000	2020 2
3 2021		4,140,000	2,000,000			1,350,000	3,000,000	10,490,000	2021 3
4 2022		5,520,000				2,400,000		7,920,000	2022 4
5 2023		6,210,000				3,000,000		9,210,000	2023 5
6 2024		4,140,000						4,140,000	2024 6
7 2025		4,140,000						4,140,000	2025 7
8 2026		3,105,000						3,105,000	2026 8
9 2027		0						0	2027 9
10 2028			1,000,000					1,000,000	2028 10
11 2029								0	2029 11
12 2030								0	2030 12
13 2031								0	2031 13
14 2032								0	2032 14
15 2033								0	2033 15
16 2034								0	2034 16
17 2035								0	2035 17
18 2036								0	2036 18
19 2037								0	2037 19
20 2038								0	2038 20
Totals	0	33,575,000	15,000,000	0	0	6,750,000	6,000,000	61,325,000	

Notes: Development assumptions for original area based upon absorptions number provided to the City by the Developer on 9/26/19

# Increment Revenue Projections

Tax Increment District # 6									
Tax Increment Projection Worksheet									
Type of District	Mixed Use				Base Value after Amendment	2,199,156			
District Creation Date	October 16, 2018				Appreciation Factor	1.00%			
Valuation Date	Jan 1,	2019			Base Tax Rate	\$23.38			
Max Life (Years)	20				Rate Adjustment Factor	-1.00%			
Expenditure Period/Termination	15	10/16/2033							
Revenue Periods/Final Year	20	2040							
Extension Eligibility/Years	Yes	3			Tax Exempt Discount Rate				
Eligible Recipient District	No				Taxable Discount Rate	1.50%			

Construction Year	Value Added	Valuation Year	Inflation Increment	Total Increment	Revenue Year	Tax Rate	Tax Increment
1 2019	0	2020	0	0	2021	\$23.14	0
2 2020	21,320,000	2021	0	21,320,000	2022	\$22.91	488,457
3 2021	10,490,000	2022	213,200	32,023,200	2023	\$22.68	726,338
4 2022	7,920,000	2023	320,232	40,263,432	2024	\$22.45	904,107
5 2023	9,210,000	2024	402,634	49,876,066	2025	\$22.23	1,108,757
6 2024	4,140,000	2025	498,761	54,514,827	2026	\$22.01	1,199,759
7 2025	4,140,000	2026	545,148	59,199,975	2027	\$21.79	1,289,841
8 2026	3,105,000	2027	592,000	62,896,975	2028	\$21.57	1,356,687
9 2027	0	2028	628,970	63,525,945	2029	\$21.35	1,356,551
10 2028	1,000,000	2029	635,259	65,161,204	2030	\$21.14	1,377,556
11 2029	0	2030	651,612	65,812,816	2031	\$20.93	1,377,419
12 2030	0	2031	658,128	66,470,944	2032	\$20.72	1,377,281
13 2031	0	2032	664,709	67,135,654	2033	\$20.51	1,377,143
14 2032	0	2033	671,357	67,807,010	2034	\$20.31	1,377,005
15 2033	0	2034	678,070	68,485,080	2035	\$20.10	1,376,868
16 2034	0	2035	684,851	69,169,931	2036	\$19.90	1,376,730
17 2035	0	2036	691,699	69,861,631	2037	\$19.70	1,376,592
18 2036	0	2037	698,616	70,560,247	2038	\$19.51	1,376,455
19 2037	0	2038	705,602	71,265,849	2039	\$19.31	1,376,317
20 2038	0	2039	712,658	71,978,508	2040	\$19.12	1,376,179
<b>Totals</b>	<b>61,325,000</b>		<b>10,653,508</b>		<b>Future Value of Increment</b>		<b>23,576,043</b>

Notes:

Actual results will vary depending on development, inflation of overall tax rates.

NPV calculations represent estimated amount of funds that could be borrowed (including project cost, capitalized interest and issuance costs).

# Cash Flow

Expenditures																			Balances			
G.O. Bond 6,365,000 Dated Date: 02/20/19		G.O. Bond 3,285,000 Dated Date: 06/01/20		Municipal Revenue Obligation (MRO) 3,100,000 Dated Date: 04/01/21					G.O. Promissory Note 1,605,000 Dated Date: 09/01/21					Total	Principal							
Principal	Interest	Principal	Interest	Principal	Est. Rate	Accrued Interest	Paid Interest	Total Paid	EOY Principal Outstanding	Principal	Est. Rate	Interest	Admin.	Expenditures	Annual	Cumulative	Outstanding	Year				
3/1	116,563	1-Mar																				
	219,700				5.50%	170,500 *	0	0	3,100,000				25,000	141,563	414,400	414,400	6,365,000	2019				
	219,700		113,644		5.50%	170,500 *	0	0	3,100,000				25,000	244,700	(35,997)	378,403	9,650,000	2020				
160,000	216,500		90,915		5.50%	170,500 *	0	0	3,100,000			47,606	25,000	358,344	(306,953)	71,449	11,255,000	2021				
215,000	209,000	75,000	90,165		5.50%	170,500 *	0	0	3,100,000				25,000	540,021	(50,850)	20,599	11,095,000	2022				
					5.50%	170,500 *	0	0	3,100,000			38,085	25,000	652,250	74,294	94,893	10,805,000	2023				
270,000	199,300	100,000	88,395		5.50%	170,500 *	0	0	3,100,000	100,000	2.00%	38,085	25,000	820,780	84,276	179,169	10,335,000	2024				
370,000	186,500	150,000	85,808		5.50%	170,500 *	0	0	3,100,000	125,000	2.04%	36,085	25,000	978,393	132,156	311,325	9,690,000	2025				
515,000	168,800	150,000	82,613		5.50%	170,500 *	0	0	3,100,000	150,000	2.09%	33,535	25,000	1,124,948	77,925	389,250	8,875,000	2026				
535,000	147,800	200,000	78,755		5.50%	170,500 *	0	0	3,100,000	175,000	2.17%	30,400	25,000	1,191,955	101,779	491,029	7,965,000	2027				
560,000	125,900	250,000	73,588		5.50%	170,500 *	0	0	3,100,000	200,000	2.23%	26,603	25,000	1,261,090	100,507	591,536	6,955,000	2028				
575,000	106,075	300,000	66,975		5.50%	170,500 *	0	0	3,100,000	225,000	2.35%	22,143	25,000	1,320,193	42,274	633,810	5,855,000	2029				
595,000	88,525	325,000	58,669		5.50%	170,500 *	0	0	3,100,000	275,000	2.45%	16,855	25,000	1,384,049	(154)	633,656	4,660,000	2030				
615,000	70,375	350,000	48,875		5.50%	170,500 *	0	0	3,100,000	355,000	2.85%	10,118	25,000	1,474,368	(90,612)	543,044	3,340,000	2031				
630,000	51,700	425,000	37,231		5.50%	170,500 *	0	0	3,100,000		2.95%		25,000	1,168,931	213,780	756,824	2,285,000	2032				
650,000	32,094	450,000	23,663		5.50%	170,500 *	0	0	3,100,000		3.05%		25,000	1,180,756	203,955	960,779	1,185,000	2033				
675,000	10,969	510,000	8,288		5.50%	170,500	170,500	170,500	3,100,000		3.15%		25,000	1,399,756	(13,143)	947,636	0	2034				
				2,138,000	5.50%	170,500	170,500	2,308,500	962,000		3.25%		25,000	2,333,500	(947,156)	480	0	2035				
				962,000	5.50%	52,910	389,910	1,351,910	0		3.35%		25,000	1,376,910	(175)	305	0	2036				
					5.50%	0	1,351,000	1,351,000	0		3.50%		25,000	1,376,000	595	900	0	2037				
					5.50%	0	699,000	699,000	0		3.50%		25,000	724,000	652,464	653,364	0	2038				
					5.50%	0		0	0		3.50%		25,000	25,000	1,357,851	2,011,214	0	2039				
				0	5.50%	0		0	0		3.50%		25,000	25,000	1,371,292	3,382,506	0	2040				
6,365,000	2,169,501	3,285,000	947,581	3,100,000		2,780,910	2,780,910	5,880,910		1,605,000		299,514	550,000	21,102,506				Total				
Accrued interest 2,780,910																						
Short interest 0																						
Projected TID Closure																						

## **SECTION 11: Annexed Property**

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There are no lands within the Territory proposed to be included within the District by Amendment that were annexed by the City on or after January 1, 2004.

## **SECTION 12: Estimate of Additional Property to be Devoted to Retail Business**

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The City estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wisconsin Statutes Section 66.1105(5)(b). This finding is made to fulfill the reporting requirement as contained in Wisconsin Statutes Sections 66.1105(5)(b) and 66.1105(6)(am)1.

## **SECTION 13: Proposed Zoning Ordinance Changes**

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The City anticipates that a portion of the Territory to be incorporated into the District by Amendment will be rezoned prior to development.

## **SECTION 14: Proposed Changes in Master Plan, Map, Building Codes and City of Franklin Ordinances**

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It is expected that this Plan will be complementary to the City's Master Plan. There are no proposed changes to the Master Plan, map, building codes or other City ordinances for the implementation of this Plan.

## SECTION 15: Relocation

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It is not anticipated there will be a need to relocate persons or businesses in conjunction with this Plan. In the event relocation or the acquisition of property by eminent domain becomes necessary at some time during the implementation period, the City will follow applicable Wisconsin Statutes Section chapter 32.

## SECTION 16: Orderly Development of the City of Franklin

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This amendment will have no impact on the viability of the original District Project Plan as it relates to the orderly development of the City.

## SECTION 17:

### List of Estimated Non-Project Costs

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Non-Project Costs are public works projects that only partly benefit the District or are not eligible to be paid with tax increments, or costs not eligible to be paid with TIF funds.

#### Examples would include:

A public improvement made within the District that also benefits property outside the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.

A public improvement made outside the District that only partially benefits property within the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.

Projects undertaken within the District as part of the implementation of this Project Plan, the costs of which are paid fully or in part by impact fees, grants, special assessments, or revenues other than tax increments.

The City does not expect to incur any non-project costs in the implementation of this Project Plan.

SECTION 18:  
Opinion of Attorney for the City of Franklin Advising  
Whether the Plan is Complete and Complies with  
Wisconsin Statutes 66.1105

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April 3, 2020

**SAMPLE**

Mayor Steve Olson  
City of Franklin  
9229 West Loomis Road  
Franklin, Wisconsin 53132

**RE: City of Franklin, Wisconsin Tax Incremental District No. 6 Amendment**

Dear Mayor:

As City Attorney for the City of Franklin, I have reviewed the Project Plan and, in my opinion, have determined that it is complete and complies with Section 66.1105 of the Wisconsin Statutes. This opinion is provided pursuant to Wisconsin Statutes Section 66.1105(4)(f).

Sincerely,

Attorney Jesse Wesolowski  
City of Franklin

## Calculation of the Share of Projected Tax Increments Estimated to be Paid by the Owners of Property in the Overlying Taxing Jurisdictions

The projection shown above is provided to meet the requirements of Wisconsin Statute 66.1105(4)(i)4.

STATE OF WISCONSIN

CITY OF FRANKLIN  
PLAN COMMISSIONMILWAUKEE COUNTY  
*[Draft 4-3-20]*

## RESOLUTION NO. 2020-\_\_\_\_\_

A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION  
OF A 7,200 SQUARE FOOT BUILDING AND VEHICLE STORAGE YARD,  
ALONG WITH ASSOCIATED PARKING, LANDSCAPING, LIGHTING,  
FENCING, STORMWATER MANAGEMENT FACILITIES AND A DROP LOT  
FOR RECEIVING VEHICLES, FOR A GLOBAL ONLINE VEHICLE AUCTION  
COMPANY SPECIALIZING IN ASSET LIQUIDATION SERVICES  
(10082 SOUTH 124TH STREET)  
(COPART OF CONNECTICUT, INC., APPLICANT)

---

WHEREAS, Copart of Connecticut, Inc. having applied for approval of a proposed site plan for construction of a 7,200 square foot building and vehicle storage yard for Copart, Inc. (on approximately 44-acres (approximately .5 acres are located within the City of Muskego)), a global online vehicle auction company specializing in asset liquidation services (including short-term storage and sales of assets, and ancillary receiving, shipping, lien sale and administrative activities-all assets liquidated intact) to institutional, commercial and private owners of used undamaged vehicles, trailers, watercraft, and powersports, industrial and construction equipment, the development consisting of a building containing an office and shop space, as well as associated parking, landscaping, lighting, fencing, storm water management facilities, and a drop lot for receiving vehicles (a significant amount of space is dedicated for vehicle storage), with hours of operation Monday through Friday, from 8:00 a.m. to 5:00 p.m., at 10082 South 124th Street *[this Site Plan application is being submitted in conjunction with a Rezoning application for Mills Hotel Wyoming, LLC, requesting to rezone the property from M-1 Limited Industrial District to M-2 General Industrial District];* and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the construction of a 7,200 square foot building and vehicle storage yard for Copart, Inc., as well as associated parking, landscaping, lighting, fencing, storm water management facilities, and a drop lot for receiving vehicles, as depicted upon the plans date-stamped March 31, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Copart of

COPART OF CONNECTICUT, INC. – SITE PLAN  
RESOLUTION NO. 2020-\_\_\_\_\_

Page 2

Connecticut, Inc. “Copart, Inc.” vehicle auction company date-stamped March 31, 2020.

2. Copart of Connecticut, Inc., successors and assigns, and any developer of the Copart of Connecticut, Inc. “Copart, Inc.” vehicle auction company construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Copart of Connecticut, Inc. “Copart, Inc.” vehicle auction company construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Copart of Connecticut, Inc. “Copart, Inc.” vehicle auction company construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Copart of Connecticut, Inc. “Copart, Inc.” vehicle auction company construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. This Site Plan shall be contingent upon the recording of a CSM or land transfer, as may be allowed, to combine the southern portion of Lot 84 of the Ryan Meadows subdivision and Lot 1 of the previously approved CSM for the redivision of parcels bearing Tax Key Nos. 939-9994-000 and 939-9995-000.
6. This Site Plan shall be contingent upon the approval of the Natural Resources Special Exception (NRSE) application to allow for impacts to wetlands, wetland buffers and wetland setbacks.
7. Conservation and landscape bufferyard easements shall be recorded with the Milwaukee County Register of Deeds, prior to issuance of a Building Permit.
8. Pursuant to Unified Development Ordinance Division 15-5.0400, the applicant shall submit a Lighting Plan for Department of City Development review and approval, prior to issuance of a Building Permit.

COPART OF CONNECTICUT, INC. – SITE PLAN  
RESOLUTION NO. 2020-\_\_\_\_\_

Page 3

9. Pursuant to Unified Development Ordinance §15-7.0301.G, the applicant shall submit a tree survey of the areas designated as Landscape Bufferyard Easement.
10. Final utility, grading, erosion control and storm water management shall be subject to review and approval by the Engineering Department, prior to issuance of a Building Permit.
11. All signage shall comply with the requirements of Chapter 210 of the City's Municipal Code and must receive a Sign Permit from the Inspection Department prior to installation.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

## Copart Statement of Operations and Project Narrative Franklin, Wisconsin

### Statement of Operations

Copart, Inc., (“**Copart**”), and its subsidiaries, provide cutting edge asset liquidation services (“**Copart Asset Services**”) to institutional, commercial, and private owners (collectively “**Sellers**”) of used undamaged or damaged vehicles, trailers, watercraft, and powersports, industrial and construction equipment (collectively, “**Assets**”). Most Sellers are insurance companies, licensed dealers, financial institutions, charities, municipalities, and fleet operators. Copart Asset Services include short-term storage and sales of Assets, and ancillary receiving, shipping, lien sale and administrative activities. All Assets are liquidated intact, meaning no dismantling, draining of fluids, crushing, or sale of parts occurs at a Copart facility (“**Facility**”).

After being received at the Facility, Assets are inspected, photographed, catalogued, and placed in ground-level short-term storage designed for quick retrieval. Assets are never stacked and remain in short-term storage for an average of only 50 to 60 days.

After being placed in short-term storage, Assets are listed for sale through Copart’s proprietary online action-style website and mobile apps for purchase only by Copart registered members (collectively, “**Members**”). Members are primarily licensed dealers, dismantlers, rebuilders, and exporters, and in some cases are end users. All offers are submitted and accepted electronically, without the use of a live auctioneer. Members are provided the opportunity to inspect Assets at the Facility, although most Asset inspections are limited to viewing images and information made available online. Members may electronically submit preliminary offers from (a) anywhere in the world via a personal computer or mobile device with internet access (each, a “**Remote Online Device**”), or (b) a limited number of computer kiosks located at the Facility. The high preliminary offer is carried over to the online virtual sale, during which Members may submit offers electronically only from a Remote Online Device.

Assets are sold to the Member with the highest offer (“**Buyer**”), who then arranges for pickup and transportation of their Assets from the Facility. Payment for sold Assets may be made electronically, via wire-transfer, or in person at the Facility. Titles to sold Assets are either picked up by the Buyer along with the sold Assets, or mailed by Copart to the Buyer.

### Project Narrative

Copart’s intention of the property is to buy the approximate 44 acres to start a new facility. Copart is experiencing rapid growth of new business in the region and is looking at opening a new Facility as soon as possible. The Franklin area has been identified as a potential location.

The new Facility will include a single-story, pre-engineered, steel, 7,200 SF office/shop building to headquarter their operations. It will also include paved employee and customer parking, a drop lot/receiving yard, stormwater ponding, Asset storage yard, metal panel screen fence and decorative masonry fencing.

Copart's operations are very unique compared to most facilities that have outdoor storage. Their operation does not allow the public in the storage yard or beyond the building. That being said, most of the personal vehicle traffic at a Copart Facility is employees and the adequate number of parking stalls needed are far less than a typical outdoor storage facility. We are requesting a reduction in the number of parking stalls at this Facility to 41 stalls, two of which are accessible spaces to meet the current City code and ADA Standards. This should more than cover the number of employees and any visitors.

The Facility will have approximately 15 full-time employees. The hours of operation are Monday through Friday from 8 am to 5 pm. The Facility will be closed Saturdays and Sundays.

March 30, 2020

Regulo Martinez-Montilva, AICP  
Associate Planner – Department of City Development  
City of Franklin  
9229 W. Loomis Road  
Franklin, WI 53132

Re: Applications for Rezoning and Site Plan  
File 0023687.00

Dear Mr. Martinez-Montilva:

This letter is in response to the comments for Rezoning and Site Plan Review received and dated March 13, 2020. We have the following responses for each of the comments below.

## **REZONING**

1. Please be aware of the M-2 District intent, which will be considered by the Plan Commission in review of the rezoning request. See below.  
Unified Development Ordinance (UDO) § 15-3.0310  
*M-2 General Industrial District.*
  - A. *District Intent.*
    1. *The M-2 General Industrial District is intended to:*
      - a. *Provide for manufacturing, industrial, warehousing, and uses of a more general and less restrictive nature and size than either the M-1 or BP Districts.*
      - b. *Be used in locations where the relationship to surrounding land use would create fewer problems of compatibility.*
    2. *The M-2 District is not intended to:*
      - a. *Abut residential zoning districts.* *[emphasis added]*
      - b. *Accommodate industrial or business parks under unified design and ownership which exceed 20 acres in area.**The community character of the M-2 District is SUBURBAN as set forth in the City of Franklin Comprehensive Master Plan.*

**Response: Noted. No resubmittal required per phone conference with Regulo and Nick Fuchs**

2. Per UDO Section 15-5.0302., landscape bufferyards are required to separate different zoning districts. It is noted that Bear Development, LLC submitted landscape bufferyard easements for Lot 1 of the CSM (Resolution 2019-7565). However, a bufferyard easement is required along the eastern boundary, excluding the area subject to previously approved conservation

easement (Resolution 2019-7548). Consider existing power line when designing the required landscape buffer.

**Response: A 25' landscape bufferyard has been added to the east property line.**

3. It is recommended that an exhibit be labeled "Rezoning Exhibit," which clearly states the current zoning and proposed zoning.

**Response: Bear development to resubmit this exhibit**

## **SITE PLAN**

### **City Development Department comments**

4. What is the condition of vehicles that are stored onsite? Would some of these be considered junked vehicles?

**Response: Refer to Statement of Operations**

5. Is any vehicle repair or maintenance done onsite?

**Response: Refer to Statement of Operations**

6. Is there any overnight parking of commercial vehicles? Section 15-11.0101 of the UDO defines a Commercial Vehicle as "any vehicle over 6,000 pounds empty weight." Further, Section 15-5.0202G.3. states:

*Any vehicle over 8,000 pounds rated Gross Vehicle Weight may be parked in districts not previously mentioned in the normal course of business in conjunction with a commercial or industrial use of the property; however, any overnight parking shall be allowed only with a Special Use.*

**Response: A Special Use Permit Application will likely be submitted at a later date to make sure Copart is covered, however, it does not hinder their typical operations.**

7. Note that a Certified Survey Map (CSM) or land transfer, as may be allowed, is required for combining the southern portion of the proposed Lot 84 of the Ryan Meadows subdivision and Lot 1 from the previously approved CSM. All plats, CSMs, and land transfers to create the parcel presented for the Copart, Inc. development must be approved and recorded, prior to the issuance of a Building Permit.

**Response: Noted. This will be submitted at a later date.**

8. Related to the above comment, the Rezoning shall be contingent upon the recording of the Final Plat for the Ryan Meadows Subdivision and the previously submitted CSM for a redivision of parcels bearing Tax Key Nos. 939-9994-000 and 939-9995-000.

**Response: Noted**

9. The Site Plan will also be contingent upon the approval of the Natural Resources Special Exception application to allow for impacts to wetlands, wetland buffers and wetland setbacks.

**Response: Noted. The Environmental Commission recommended approval of the NRSE at the 3/25 meeting.**

10. Is there grading within the 30-foot Wetland Buffer, just east of the proposed storm water pond (see Grading Plan – East, Sheet 7 of 16)? Please confirm that all grading throughout the site is outside of the Wetland Buffer.

**Response: All grading has been removed from the wetland buffers.**

11. Protected natural resource features shall be placed within a Conservation Easement, approved by the Common Council and recorded with the Milwaukee County Register of Deeds, prior to the issuance of building permits. It is noted that Bear Development, LLC is preparing conservation easements for natural resources within lot 1 of previously approved CSM (Res. 2019-7565), and that the conservation easement for the southern portion of Lot 84 has been approved but not yet recorded.

**Response: No further action. Already submitted to the City.**

12. Please be aware that any proposed signage will require separate review and approval by the Architectural Review Board and a Sign Permit issued by the Building Inspection Department.

**Response: Noted. This will be submitted at a later date.**

13. Note that an 8-foot fence height specifically requires Plan Commission approval per Section 15-3.0803C.2.b. of the UDO.

**Response: We request that this be review by Plan Commission as part of the site plan approval.**

14. Note that final grading, erosion control and storm water management plans shall be subject to review and approval by the Engineering Department, prior to issuance of a Building Permit.

**Response: Noted. Comments have been addressed as part of that submittal as well.**

15. What is the length of Monarch Drive as a proposed cul-de-sac? Section 15-5.0103A. of the UDO states that cul-de-sacs shall not exceed 800 feet in length. If this is exceeded, has the extension of this road through the development or an alternate design to keep it a through street as originally planned been considered? Please be aware that modifications to the right-of-way may delay the recording of the Ryan Meadows subdivision plat.

If it remains a cul-de-sac, please discuss the design requirements with the Engineering Department.

- See e-mail from Engineering dated March 13, 2020.

**Response: The cul-de-sac layout is shown for reference only and matches the permanent cul-de-sac design detail that was supplied by the City's engineering department. Final design of this cul-de-sac is by others as part of the other project.**

16. To consider parking requirements, what is the total square footage of outdoor storage areas.

**Response: We request that this be reviewed by the Plan Commission as part of the site plan approval. The typical parking count requirements set forth by the UDO do not fit Copart's use and further explanation can be found in the Statement of Operations.**

17. Below are several comments related to the proposed Landscape Plan:

- a) The CSM approved via Res. 2019-7565 depicts landscape bufferyard easement areas in Lot 1, please add these easement areas to the landscape plan.

**Response: These have been added.**

- b) See comment #2 for required bufferyard easement along the eastern boundary.

**Response: This has been added.**

- c) For areas designated as landscape bufferyard easement, the following section applies;

UDO §15-7.0301.G.

*Location, Extent, Type, and Sizes of Existing Trees and Natural Resource Features. Location, extent, type (common name and scientific name in the case of plant materials), and sizes of all existing trees and natural resource features in all areas of the proposed development, Subdivision, Certified Survey Map, or Condominium which are designated as a "Landscape Bufferyard Easement" and/or mitigation area. If any existing vegetation or other natural resource features are to be demolished or mitigated, the extent of such demolition or area to be mitigated shall be clearly delineated and so noted on the "Landscape Plan." [emphasis added]*

**Response: All existing trees within the landscape bufferyard easements will remain in place. Since no mitigation is required, we believe that a tree survey is not needed. Existing trees locations, types, sizes, etc. have not been identified and we request the tree survey be a condition of approval, if it is still needed.**

- d) Staff will review further the bufferyard easement areas, where necessary, it will be recommended that gaps or areas that are not very dense within the existing tree lines around the property be infilled with plantings to better screen this site and the large expanse of metal fencing from adjacent properties.

**Response: A requirement to "infill" within existing tree lines or less dense areas was not found in the UDO. This would add additional expense to the project and make it less economical to build.**

- e) Please also confirm that the existing tree lines around all property boundaries will remain and not be disturbed. If impacted, landscaping would be recommended to buffer adjacent properties.

**Response: A note has been added to the Landscape Plan and Existing Conditions that all existing trees within a bufferyard or along the perimeter boundary are to remain.**

- f) It is recommended that plantings be added in front of the fence wherever visible from public rights-of-way, such as along South 124th Street. A significant amount of landscaping could be added to the north and south of the entrance drive across the entire property.

**Response: Plantings have been added along the west fence line to screen the building and fence per the UDO quantity and type requirements. Additional plantings beyond the UDO requirements would add expense to the project and make it less economical to build.**

- g) The quantity of plants provided is not listed in the Plant Schedule. Per Table 15-5.0302 of the UDO, nine plantings of each type are required (Canopy/Shade Trees, Evergreens,

Decorative Trees, and Shrubs). However, being adjacent to residential zoning districts, that amount must be increased by 20%.

**Response: The plant schedule has been updated.**

- h) Note the plant schedule should categorize plantings in the same manner as the UDO.

**Response: The plant schedule has been updated to match the UDO.**

- i) On the Landscape Plan, please add language in compliance with Section 15-5.0303D. of the UDO to the irrigation note.

**Response: See note #20 on Sheet 16 of 16 for temporary irrigation until the plantings are established. Planting species have been specifically chosen to be tolerable of drought conditions, so permanent irrigation should not be needed.**

18. Section 15-5.0202E. of the UDO requires concrete curb and gutter surrounding all new driveway, parking lot, and landscape islands. The parking lot has curb and gutter; however, the proposed driveway does not. It is recommended that curb and gutter be shown on the site plan in compliance with this Section of the UDO.

**Response: Curb & gutter has been added along the driveway.**

19. Note that Section 15-5.0207B. requires driveways to not exceed 24 feet at the street right-of-way line and 30-feet at the roadway, unless a greater distance is approved by the Plan Commission.

**Response: We request that this be reviewed by the Plan Commission as part of the site plan approval. The current driveway is 28' wide to comply with the WisDOT commercial development standards. We feel this is acceptable because this will be a shared driveway when Lot 1 of CSM 11704 (to the north) is developed.**

20. Please illustrate areas for snow storage on the Landscape Plan in accordance with Section 15-5.0210 of the UDO.

**Response: This has been identified on the Landscape Plan.**

21. Please submit Site Intensity and Capacity Calculation Worksheets.

**Response: Attached to this submittal.**

22. Please submit an exterior Lighting Plan in accordance with Division 15-5.0400 of the UDO.

**Response: At this time it is only planned to have exterior building lighting. We request this be a condition of approval.**

23. It is recommended that the architecture and building materials proposed be reconsidered. Generally, a higher quality building is recommended. Furthermore, metal is not recommended to be used as a primary building material.

**Response: Copart prefers to use a metal building, similar to all their buildings, for consistency and cost savings. Refer to color building elevations.**

24. It is recommended that color elevations be provided for Plan Commission review.

**Response: Attached to this submittal.**

25. The minimum rear yard setback for the M-2 zoning district is 50 feet, not 40 as illustrated on the Site Plan. This setback applies to the outdoor storage areas. Consider also comment #1.

**Response: This has been update to 50'.**

**Engineering Department comments**

26. *Must provide legal access to the ponds.*

**Response: An 8' wide maintenance access has been identified on the plans.**

27. *Must submit a plat of survey meeting the requirement for the plat's submittal (for Building permit).*

**Response: This will be addressed at the time of building permit application.**

28. *Must meet the requirement of the City of Franklin for the proposed retaining wall (Legend shows proposed retaining wall).*

**Response: There is no retaining wall for this project. All references have been removed.**

29. *In addition, Engineering previously reviewed a plan set and storm water management plan. That review is attached. Due to the significant amount of storm water comments, it is unknown whether the management facilities will require changes that will affect the site plan.*

**Response: The stormwater management comments have been addressed as part of this submittal as well.**

**Fire Department comments**

30. *All structures on site must meet WI DSPS requirements regarding fire protection and associated systems.*

**Response: This will be addressed at the time of the building permit application.**

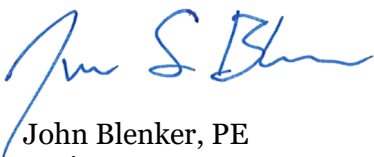
31. See e-mail from Chief Remington dated March 13, 2020.

**Response: Refer to civil plans of the Ryan Meadows project for hydrant locations.**

Please contact me if you have any questions.

Sincerely,

WESTWOOD PROFESSIONAL SERVICES



John Blenker, PE  
Project Manager

# PRELIMINARY PLANS

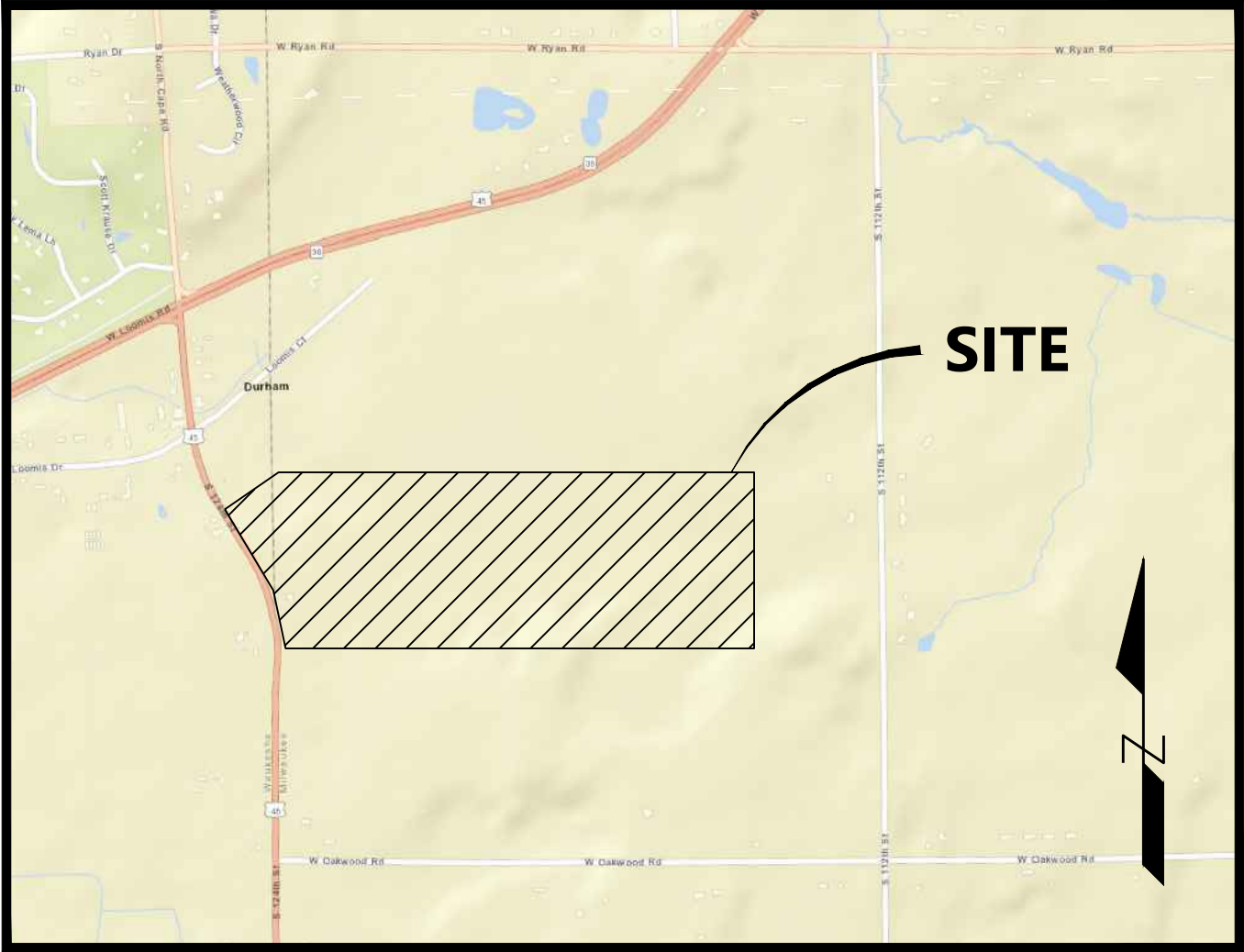
## SITE, GRADING, EROSION CONTROL, AND STORM SEWER

FOR  
**FRANKLIN YARD**  
FRANKLIN, WI

PREPARED FOR:  
**COPART, INC.**  
14185 DALLAS PARKWAY, SUITE 300  
DALLAS, TX 75254  
CONTACT: MASON LAYCOCK  
PHONE: (972) 391-5375  
EMAIL: MASON.LAYCOCK@COPART.COM

PREPARED BY:  
**Westwood**  
Phone (320) 253-9495 3701 12th Street North, Suite 206  
Fax (320) 358-2001 St. Cloud, MN 56303  
Toll Free (800) 270-9495 [westwoodps.com](http://westwoodps.com)  
Westwood Professional Services, Inc.

PROJECT NUMBER: 0023687.00  
CONTACT: JOHN S. BLENKER



Vicinity Map  
(NOT TO SCALE)

SHEET INDEX

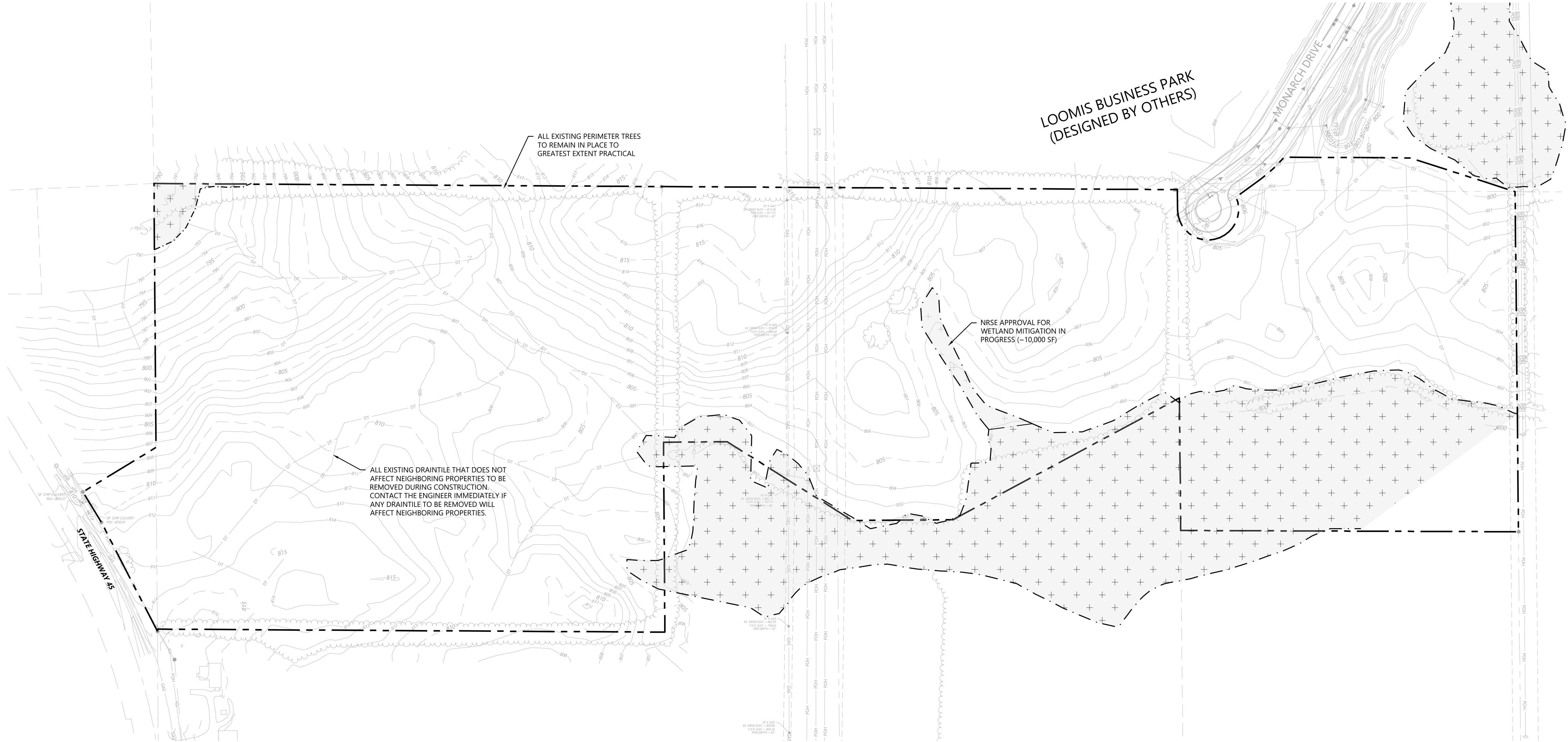
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	OVERALL SITE PLAN
4	SITE PLAN - WEST
5	SITE PLAN - EAST
6	GRADING PLAN - WEST
7	GRADING PLAN - EAST
8	UTILITY PLAN - WEST
9	UTILITY PLAN - EAST
10	EROSION CONTROL PLAN - WEST
11	EROSION CONTROL PLAN - EAST
12	DETAILS
13	DETAILS
14	OVERALL LANDSCAPE PLAN
15	LANDSCAPE ENLARGEMENT
16	LANDSCAPE NOTES & DETAILS

NO.	DATE	REVISION	SHEETS
1	3/23/2020	PER CITY COMMENTS	ALL
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	

PRELIMINARY PLANS

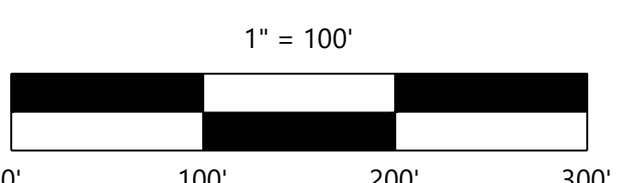
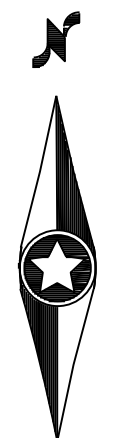
SITE, GRADING, EROSION CONTROL,  
AND STORM SEWER  
FOR  
FRANKLIN YARD  
FRANKLIN, WI

INITIAL SUBMITTAL DATE: 02/12/20 SHEET: 1 OF 16



LEGEND

	SANITARY MANHOLE		STEEL/WOOD POST		DRYWELL		WEATHER STATION		DOUBLE DETECTOR CHECK VALVE		BUSH/SHRUB		POWER POLE WITH LIGHT		CABLE TV MANHOLE
	SEWER CLEANOUT		SIGN		STORM INTERCEPTOR		TURBINE		FARM HYDRANT		CONIFEROUS TREE		GUY WIRE		FIBER OPTIC MANHOLE
	SEPTIC COVER		MAIL BOX		HYDRANT		IRRIGATION MANHOLE		REDUCE PRESSURE VALVE		DECIDUOUS TREE		POWER POLE		FIBER OPTIC PEDESTAL
	STORM MANHOLE		FLAG POLE		GATE VALVE		IRRIGATION SH		STOCK TANK		SAGURA		MAST ARM		NATURAL GAS METER
	BEEHIVE CATCH BASIN		HANDICAPPED STALL		WATER METER		IRRIGATION SP		WINDMILL		BOUNDARY LINE		MAST ARM W/ LIGHT		NATURAL GAS VALVE
	CATCH BASIN		BENCH		FIRE DEPARTMENT CONNECTION		IRRIGATION VALVE		ELECTRIC BOX		RIGHT-OF-WAY LINE		TRAFFIC SIGNAL		NATURAL GAS MANHOLE
	FLARED END SECTION		OIL MANHOLE		CURB STOP BOX		SOIL BORING		ELECTRIC METER		LOT LINE		TELEPHONE BOX		NATURAL GAS RISER/SERVICE
	CULVERT		OIL PUMP JACK		WATER MANHOLE		PERC TEST		ELECTRIC MANHOLE		EASEMENT LINE		TELEPHONE MANHOLE		NATURAL GAS VENT PIPE
	CATCH BASIN MANHOLE		OIL WELL		WELL		MONITORING WELL		ELECTRIC TOWER		SECTION LINE		HAND HOLE/JUNCTION BOX		NATURAL GAS WELL
	DOWNSPOUT		MET TOWER		POST INDICATOR VALVE		PIEZOMETER		STREET LIGHT		TREE LINE		CABLE TV BOX		AIR CONDITIONER
															CABLE TV MANHOLE
															FIBER OPTIC MANHOLE
															FIBER OPTIC PEDESTAL
															NATURAL GAS METER
															NATURAL GAS VALVE
															NATURAL GAS MANHOLE
															NATURAL GAS RISER/SERVICE
															NATURAL GAS VENT PIPE
															NATURAL GAS WELL
															AIR CONDITIONER
															UNKNOWN MANHOLE
															MISCELLANEOUS METER
															MISCELLANEOUS PEDESTAL



DESIGNED: JSB	INITIAL ISSUE: 02/12/20
CHECKED: BCW	REVISIONS:
DRAWN: JSB	3/23/2020 PER CITY COMMENTS
HORIZONTAL SCALE: 100'	
VERTICAL SCALE: 20' OR 10'	

PREPARED FOR:

JOHN S. BLECKER  
E-46564  
ALBANY  
MN  
PROFESSIONAL ENGINEER

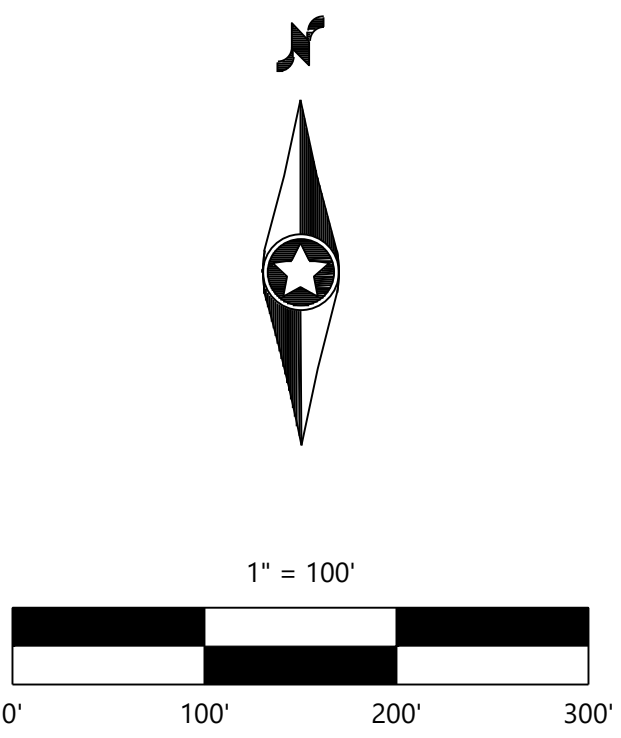
FRANKLIN PROPERTY  
FRANKLIN, WI

**Westwood**  
Phone (320) 253-9495 3701 12th Street North, Suite 206  
Fax (320) 358-2001 St. Cloud, MN 56303  
Toll Free (800) 270-8495 westwoodps.com  
Westwood Professional Services, Inc.

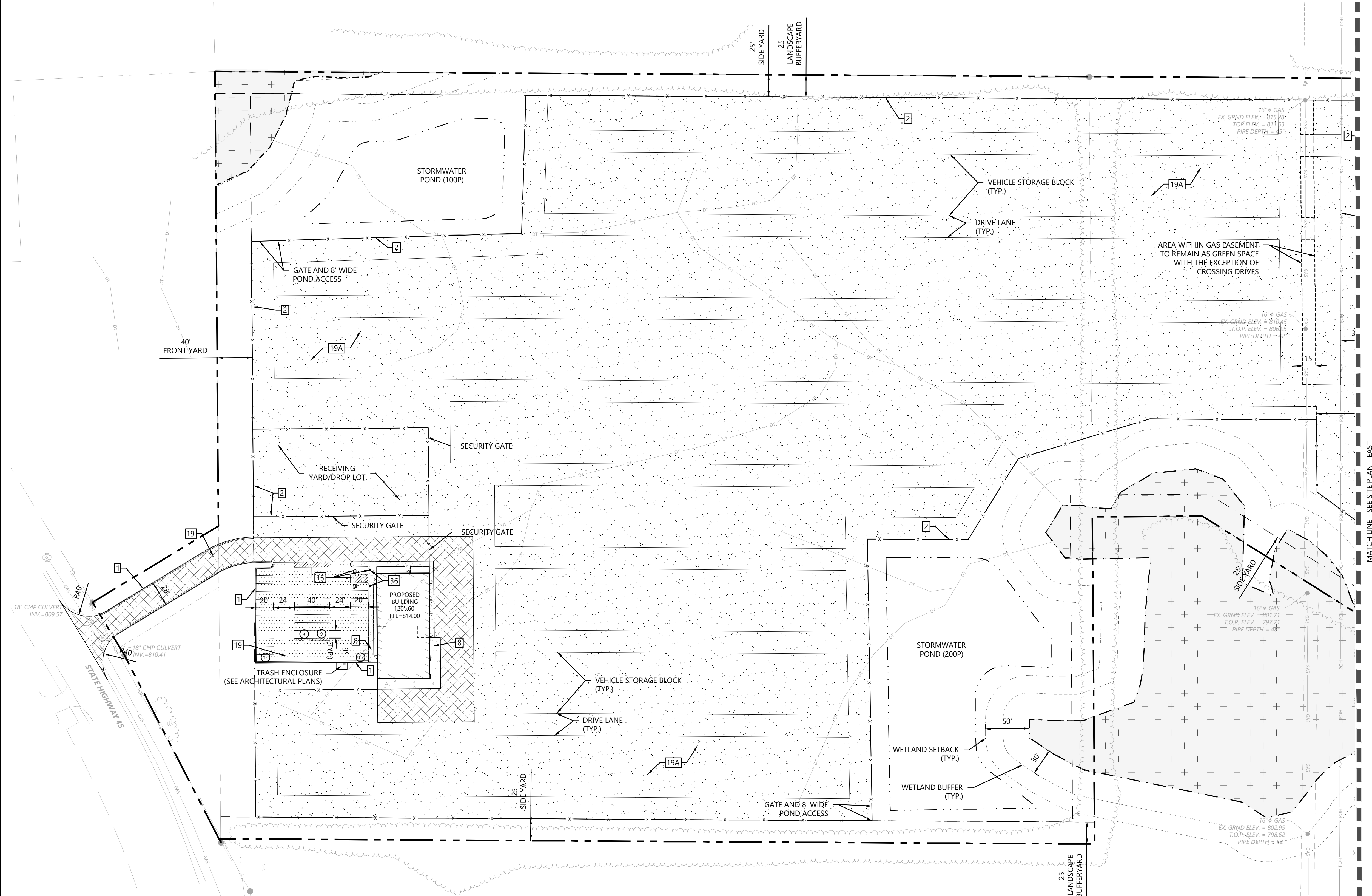
EXISTING CONDITIONS

PROJECT NUMBER: 0023687.00

SHEET NUMBER:  
2 OF 16  
DATE: 03/30/20



SHEET NUMBER:  
3 OF 16  
DATE: 03/30/20



## SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		MASONRY FENCE
		METAL PANEL FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY BITUMINOUS PAVEMENT
		BITUMINOUS PAVEMENT
		ROCK BALLAST SURFACING
		WETLAND
		NUMBER OF PARKING STALLS
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

## GENERAL SITE NOTES

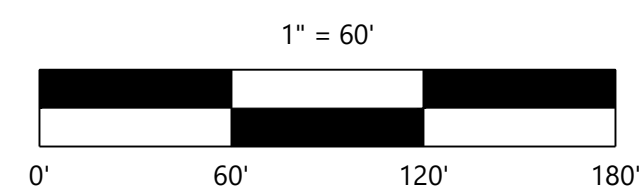
- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY OMNNI ASSOCIATES, APPLETON, WI, 08/06/19.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE 6" VFCC&G UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE WisDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

## SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	R2, ESTATE SINGLE-FAMILY RESIDENCE
PROPOSED ZONING:	M2, GENERAL INDUSTRIAL
PROPERTY AREA:	1,917,979 SF (44.0 AC)
PERVIOUS SURFACE:	720,541 SF (37.6%)
IMPERVIOUS SURFACE(RATIO):	1,197,438 SF (62.4%)
BUILDING GROSS SIZE:	7,200 SF
BUILDING SETBACK PER CODE:	40'=FRONT 25'=SIDE / 25'=SIDE TO ROW 50'=REAR
PARKING SETBACK:	10'=FRONT AND ROW 10'=SIDE AND REAR
PARKING SPACE/DRIVE AISLE:	9' WIDE X 20' LONG, 24' AISLE
PARKING PROVIDED:	41

## 1 SITE DETAILS (SI-0XX)

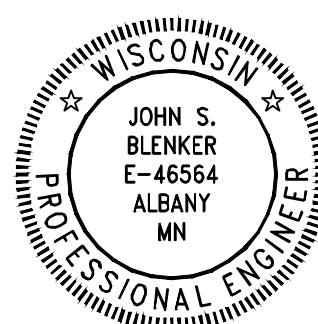
- TYPE A CURB AND GUTTER
- COPART METAL PANEL FENCE
- PRIVATE CONCRETE SIDEWALK
- HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- PAVEMENT SECTIONS
- YARD SURFACE SECTION
- SIGN POST WITH BOLLARD



DESIGNED: JSB  
CHECKED: BCW  
DRAWN: JSB  
HORIZONTAL SCALE: 60'  
VERTICAL SCALE: 12' OR 6'

INITIAL ISSUE: 02/12/20  
REVISIONS:  
3/23/2020 PER CITY COMMENTS  
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PREPARED FOR:



FRANKLIN PROPERTY  
FRANKLIN, WI

**Westwood**

Phone (320) 253-9495 3701 12th Street North, Suite 206  
Fax (820) 358-2001 St. Cloud, MN 56303  
Toll Free (800) 270-9495 westwoodps.com  
Westwood Professional Services, Inc.

SITE PLAN - WEST

PROJECT NUMBER: 0023687.00

SHEET NUMBER:

4

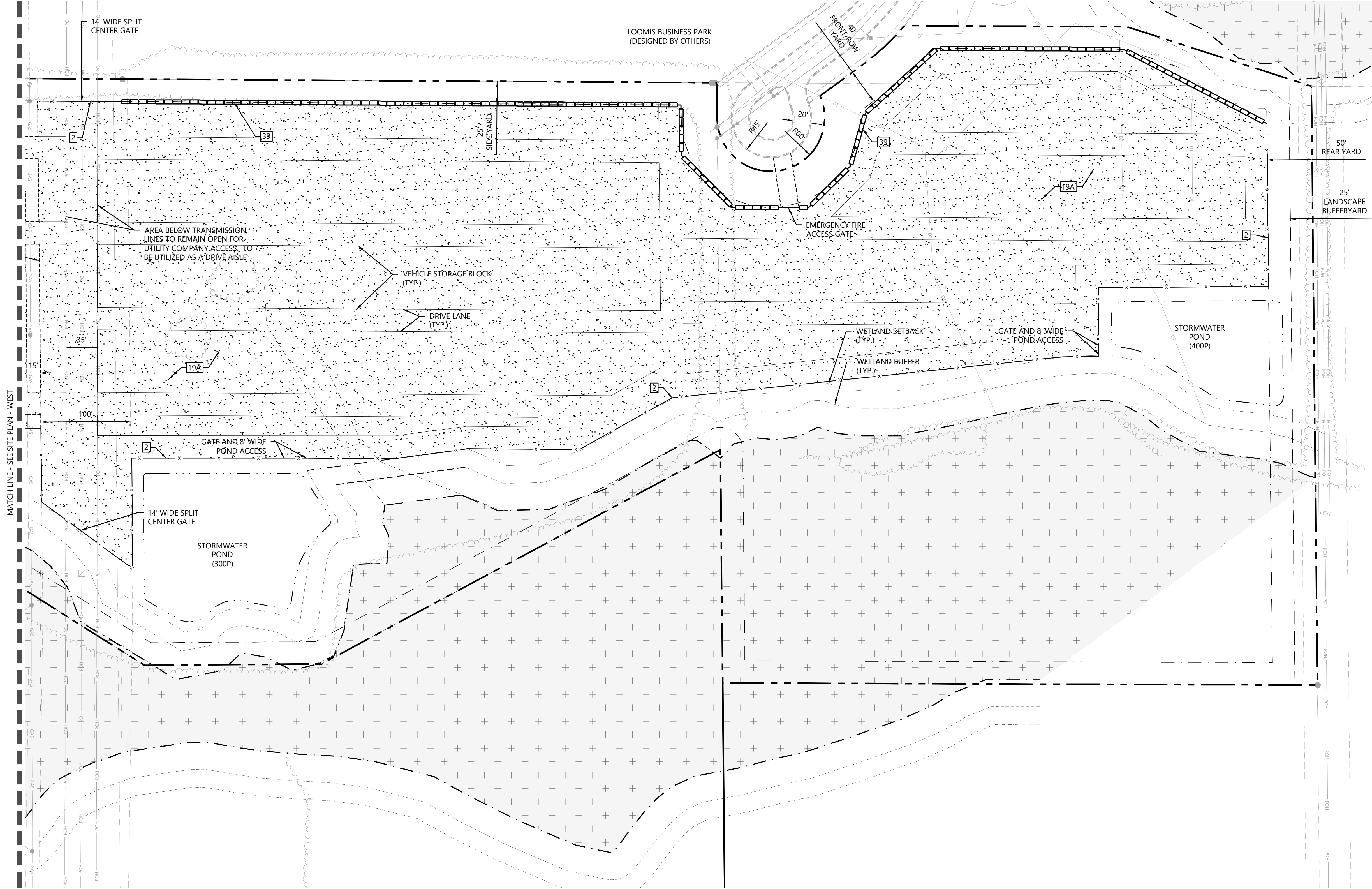
OF

16

DATE: 03/30/20

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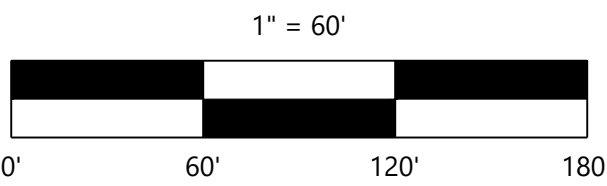
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EXISTING	PROPOSED	
		PROPERTY LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		MASONRY FENCE
		METAL PANEL FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		BITUMINOUS PAVEMENT
		ROCK BALLAST SURFACING
		WETLAND
		NUMBER OF PARKING STALLS
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

1 SITE DETAILS (SI-0XX)

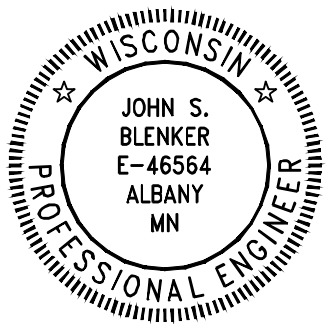
- 2 COPART METAL PANEL FENCE  
19 PAVEMENT SECTIONS  
19A YARD SURFACE SECTION  
39 MASONRY FENCE



DESIGNED:	JSB
CHECKED:	BCW
DRAWN:	JSB
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12' OR 6'

INITIAL ISSUE:	02/12/20
REVISIONS:	
3/23/2020	PER CITY COMMENTS

PREPARED FOR:



FRANKLIN PROPERTY  
FRANKLIN, WI

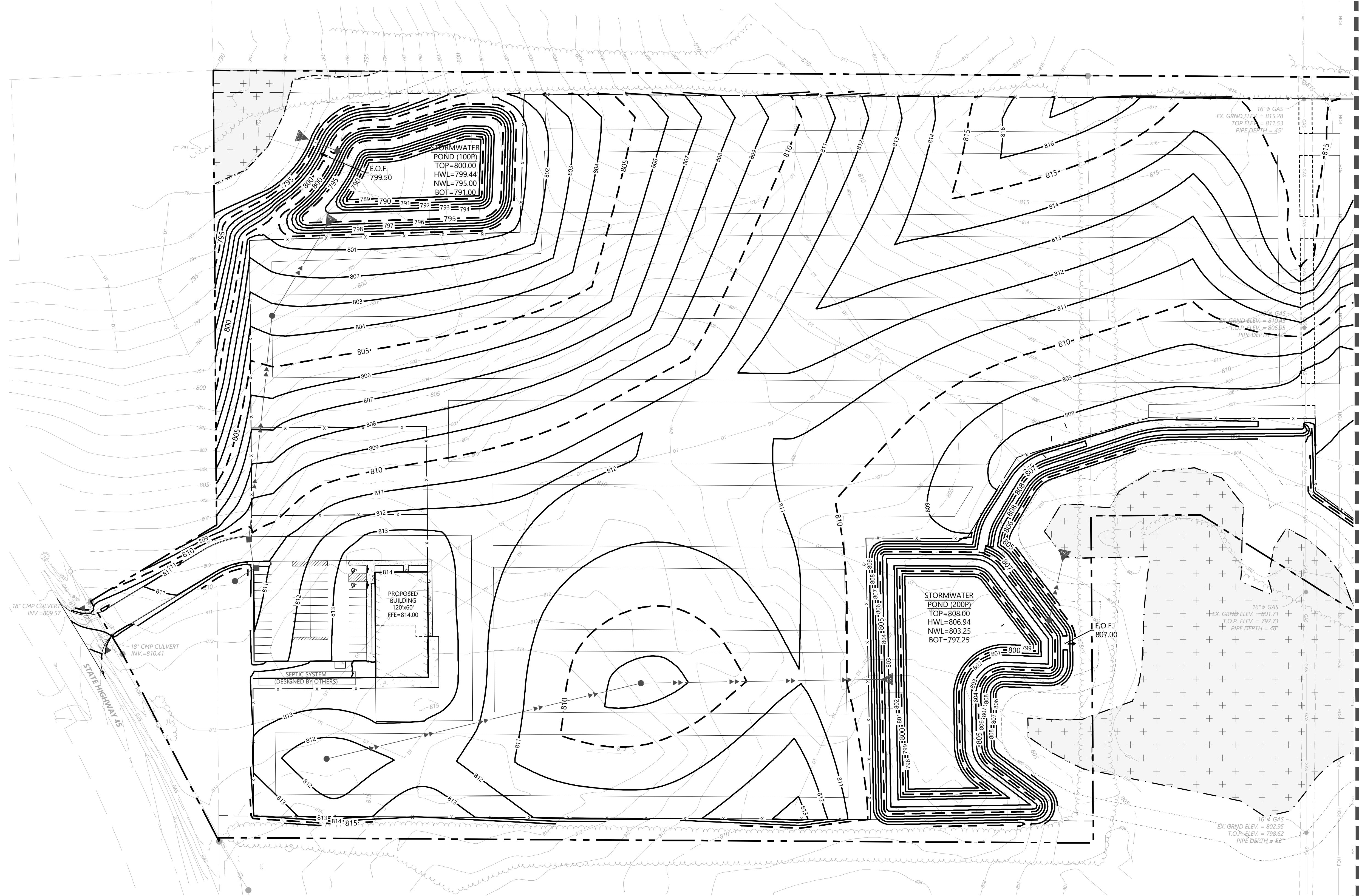
**Westwood**

Phone (320) 253-9495 3701 12th Street North, Suite 206  
Fax (320) 358-2001 St. Cloud, MN 56303  
Toll Free (800) 270-8495 westwoodps.com  
Westwood Professional Services, Inc.

SITE PLAN - EAST

PROJECT NUMBER: 0023687.00

SHEET NUMBER:  
5 OF 16  
DATE: 03/30/20



## GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION

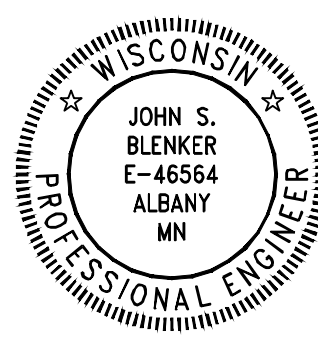
## GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY AND STATE STANDARDS AND LOCAL AGENCY REGULATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE WisDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH WisDOT STANDARDS.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

DESIGNED: JSR  
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DRAWN: JSB  
HORIZONTAL SCALE: 60'  
VERTICAL SCALE: 12' OR 6'

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**Westwood**

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Westwood Professional Services, Inc.

GRADING PLAN - WEST

PROJECT NUMBER: 0023687.00

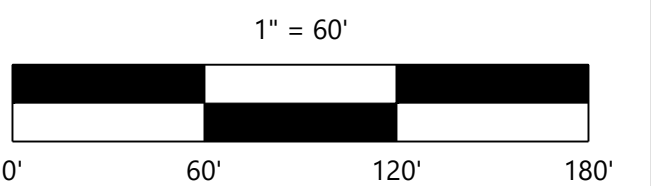
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OF

16

DATE: 03/30/20



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MATCH LINE - SEE GRADING PLAN - WEST

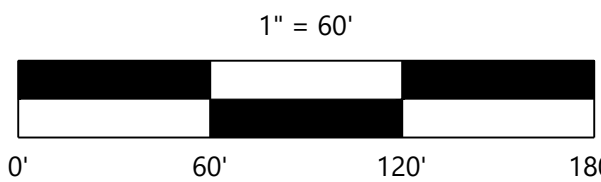
LOOMIS BUSINESS PARK  
(DESIGNED BY OTHERS)

STORMWATER  
POND (300P)  
TOP=806.00  
HWL=805.00  
NWL=802.25  
BOT=796.25

STORMWATER  
POND (400P)  
TOP=805.50  
HWL=804.38  
NWL=801.50  
BOT=795.50

## GRADING LEGEND

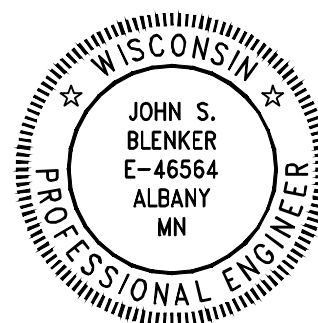
EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION



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GRADING PLAN - EAST

PROJECT NUMBER: 0023687.00

SHEET NUMBER:

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OF

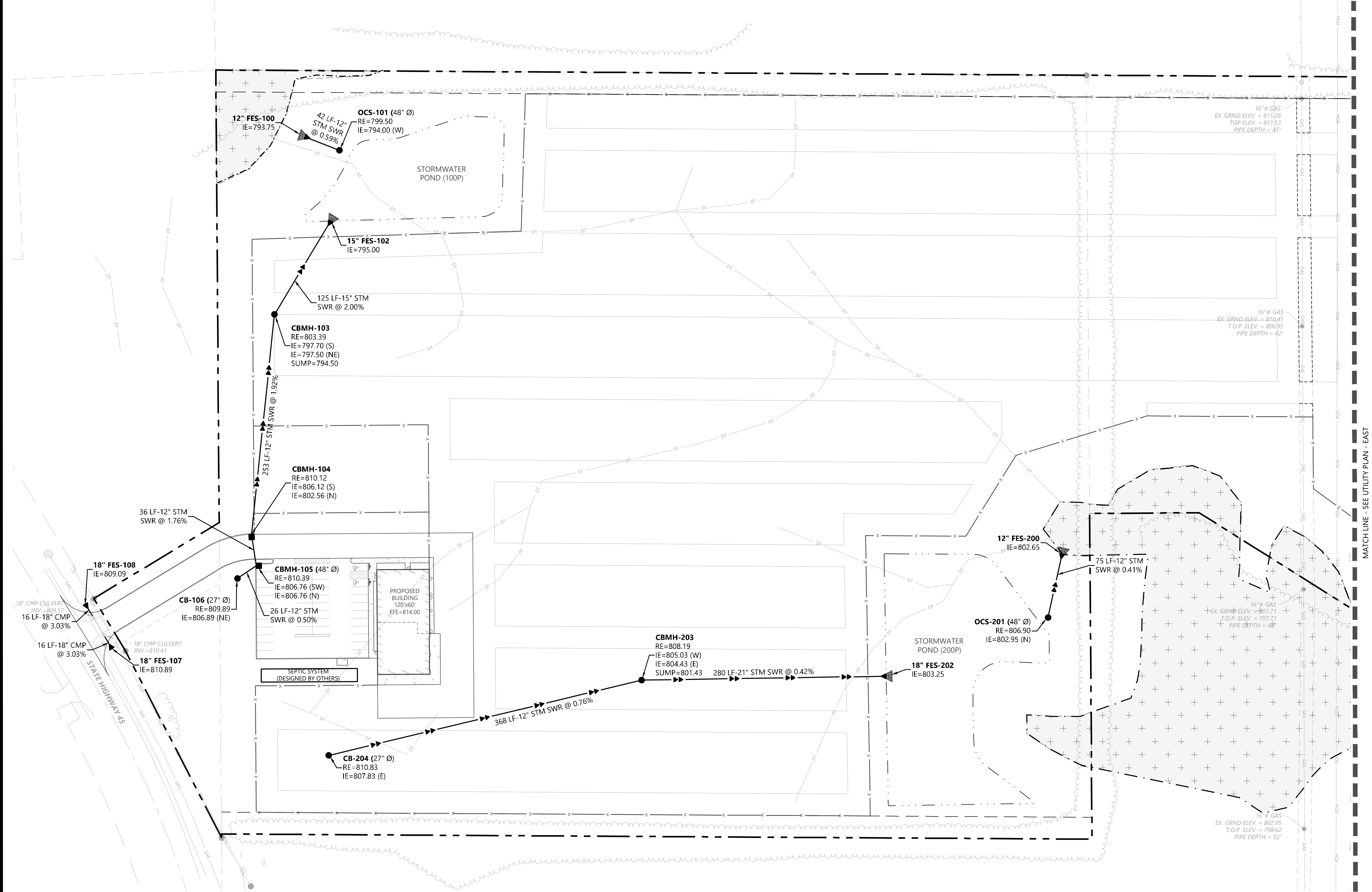
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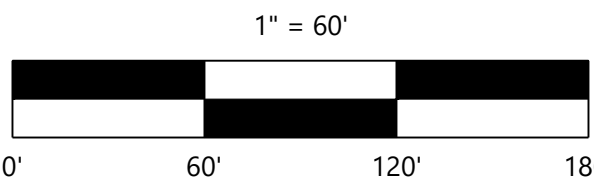


## UTILITY LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)

## GENERAL STORM SEWER NOTES

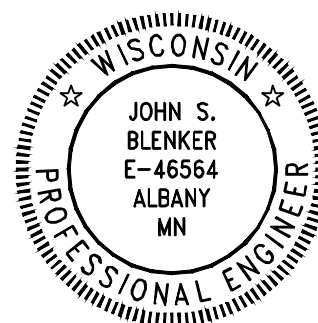
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL STORM SEWER MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 2' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- STORM SEWER PIPE:
  - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
  - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76 WITH R-4 GASKETS.
  - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
  - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
  - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10-FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL EXISTING DRAINTILE LOCATIONS ARE BASED ON LIMITED INFORMATION AND SHOULD BE VERIFIED DURING CONSTRUCTION. IF DRAINTILE IS ENCOUNTERED DURING CONSTRUCTION, THE TILE IS COMPLETELY WITHIN THE PROPERTY BOUNDARY, AND THE TILE DOESN'T AFFECT NEIGHBORING PROPERTIES, THE TILE NEEDS TO BE REMOVED. IF A DRAINTILE IS ENCOUNTERED THAT AFFECTS NEIGHBORING PROPERTY, CONTACT THE ENGINEER AND CITY FOR FURTHER DIRECTION.



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UTILITY PLAN - WEST

PROJECT NUMBER: 0023687.00

SHEET NUMBER:

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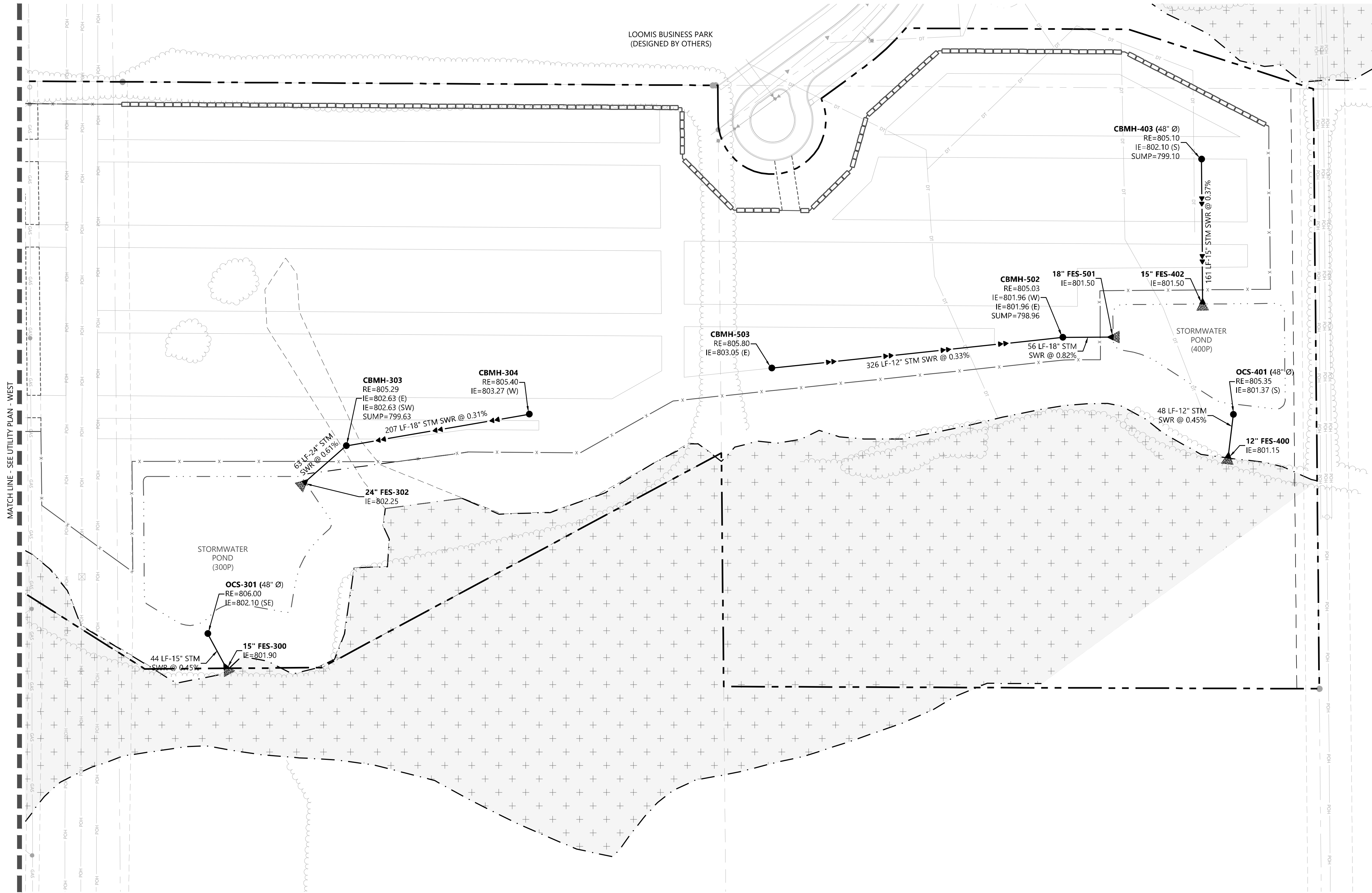
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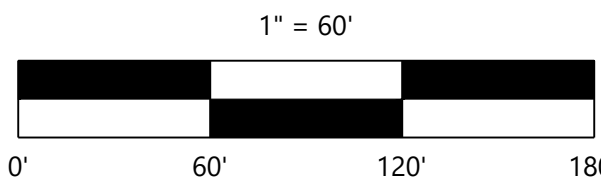
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## UTILITY LEGEND

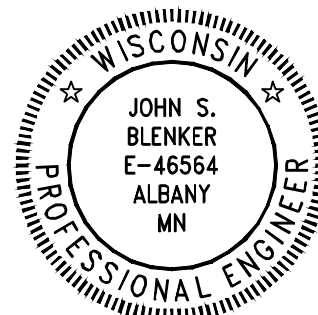
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
SAN	---	SANITARY SEWER
STO	---	STORM SEWER
WAT	---	WATER MAIN
WAT	---	HYDRANT
GAS	---	GAS
PUG	---	UNDERGROUND ELECTRIC
POH	---	OVERHEAD ELECTRIC
TUG	---	UNDERGROUND TELEPHONE
TOH	---	OVERHEAD TELEPHONE
FO	---	TELEPHONE FIBER OPTIC
CTV	---	CABLE TELEVISION
DT	---	DRAIN TILE
▽	▽	GATE VALVE
▽	▽	FLARED END SECTION (WITH RIPRAP)



DESIGNED: JSB  
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HORIZONTAL SCALE: ###  
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UTILITY PLAN - EAST

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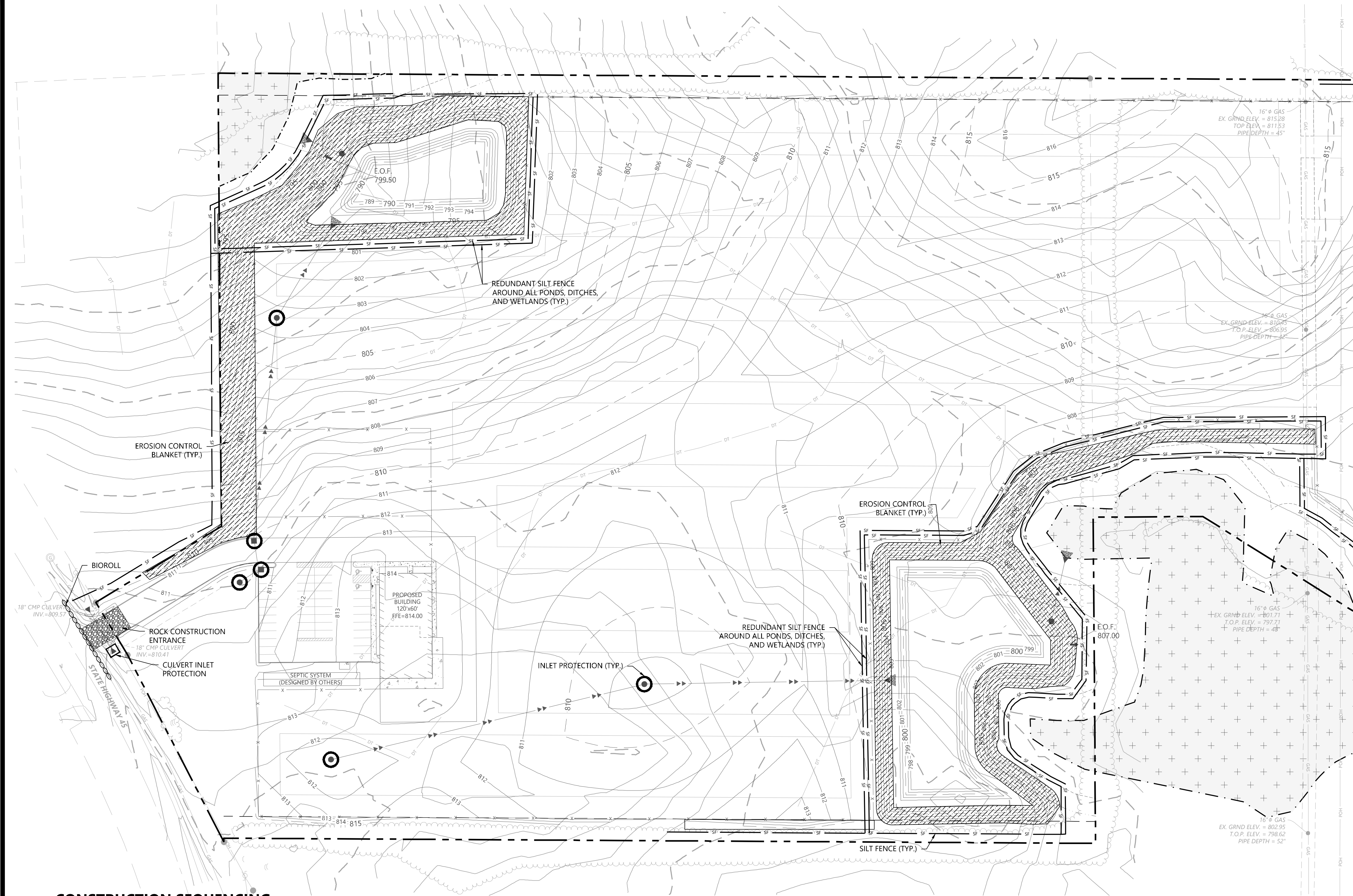
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## EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		HEAVY DUTY SILT FENCE
		REDUNDANT SILT CONTROL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		GRADING LIMITS
		BIOROLL
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		EMERGENCY OVERTFLOW
		SOIL BORING LOCATION
		INLET PROTECTION

## GENERAL EROSION CONTROL NOTES

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT [http://dnr.wis.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wis.gov/topic/stormwater/standards/const_standards.html).
8. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
11. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE. (Rev. February 2017)
12. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061. (Rev. February 2017)
13. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP # 1063.
14. CONSTRUCT AND PROTECT THE BIOINFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1004.
15. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
16. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
17. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
18. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
19. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
20. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
21. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY. SEPARATE SWEEP MATERIALS SOILS AND DISPOSE OF APPROPRIATELY.
22. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
23. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
24. COORDINATE WITH THE OWNER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
25. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS [SPECIFY CLASS I, II, OR III] TYPE [SPECIFY TYPE A, B, OR C] EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
26. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS [SPECIFY CLASS I, II, OR III] TYPE [SPECIFY TYPE A, B, OR C] EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
27. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

## CONSTRUCTION SEQUENCING

BELOW IS THE GENERAL SEQUENCING THAT THE PROJECT WILL FOLLOW:

1. INSTALL SILT FENCE AND TRACKING PADS AS SHOWN ON THE PLANS.
2. STRIP TOPSOIL FROM AREAS BEING USED FOR STORMWATER DETENTION AND CONVEYANCE SYSTEMS.
3. INSTALL STORMWATER CONVEYANCE SYSTEMS AND GRADE THE PONDS
4. MASS GRADE REMAINDER OF THE SITE
5. CONSTRUCT LARGE UTILITIES
6. INSTALL INLET PROTECTION
7. TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS
8. BUILDING CONSTRUCTION
9. SEED AND MULCH ALL DISTURBED AREAS
10. STABILIZE ENTIRE CONSTRUCTION SITE

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EROSION CONTROL PLAN  
- WEST

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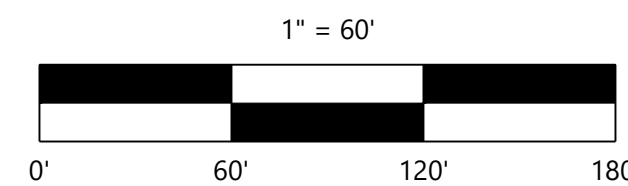
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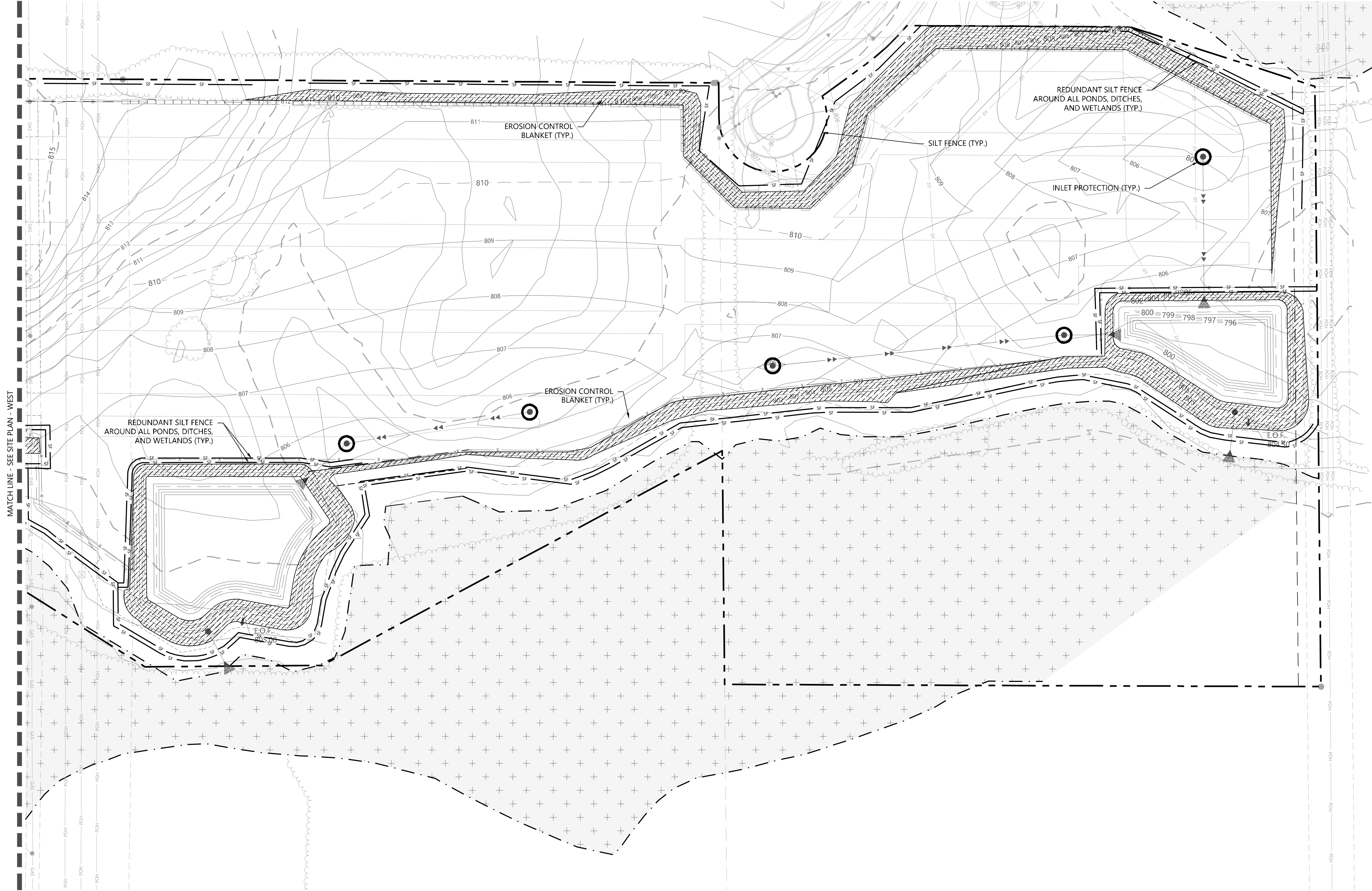
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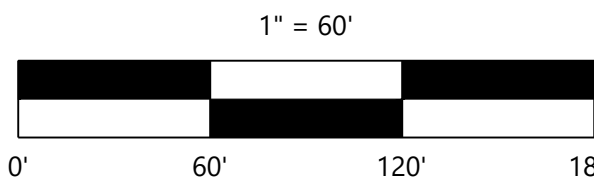
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EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		HEAVY DUTY SILT FENCE
		REDUNDANT SILT CONTROL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION
		INLET PROTECTION



DESIGNED:	JSR
CHECKED:	BCW
DRAWN:	JSR
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12' OR 6'

INITIAL ISSUE:	02/12/20
REVISIONS:	
3/23/2020	PER CITY COMMENTS

PREPARED FOR:

FRANKLIN PROPERTY  
FRANKLIN, WI

**Westwood**

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Fax (320) 358-2001 St. Cloud, MN 56303  
Toll Free (800) 270-9495 westwoodps.com  
Westwood Professional Services, Inc.

EROSION CONTROL PLAN  
- EAST

PROJECT NUMBER: 0023687.00

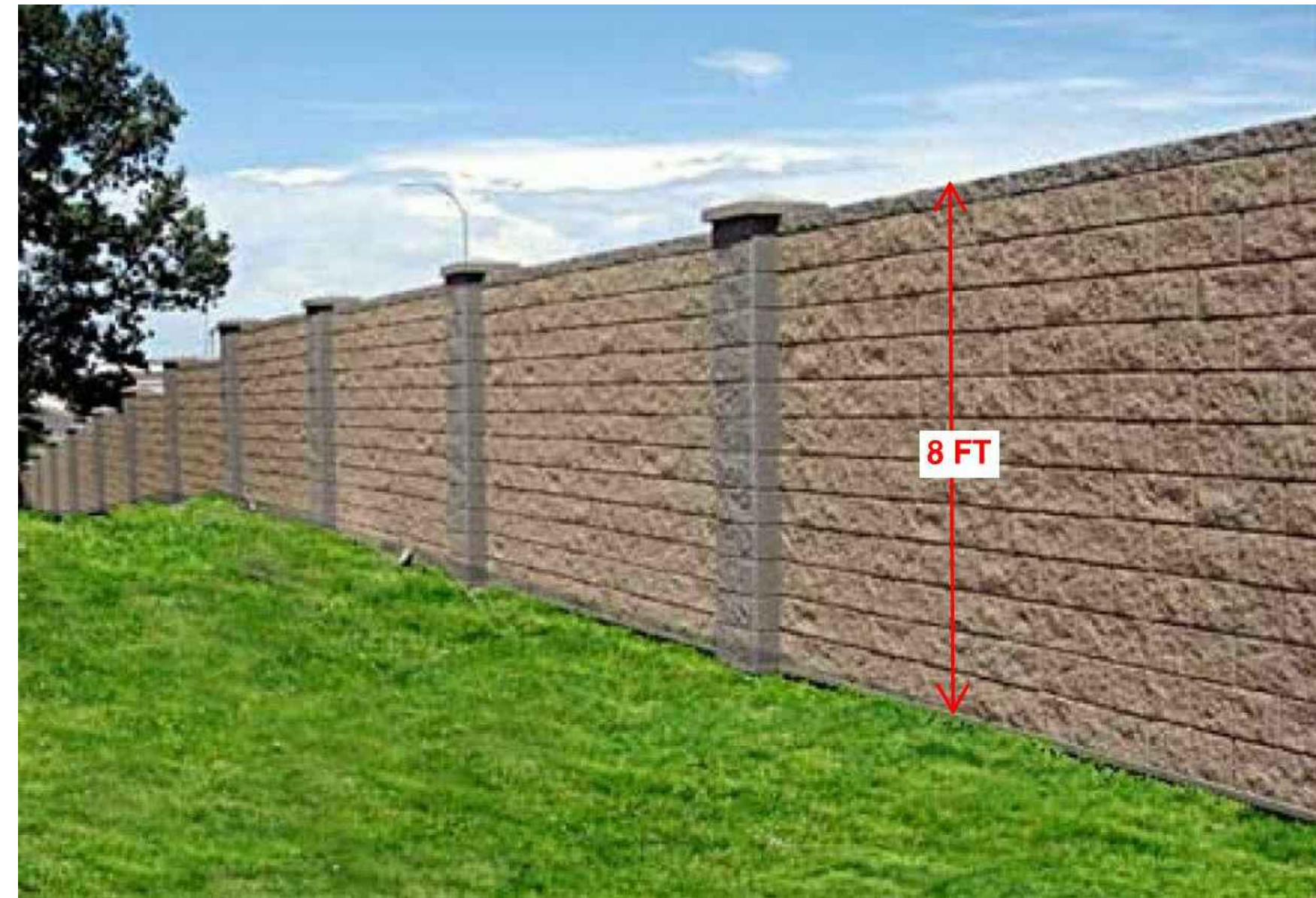
SHEET NUMBER:  
11 OF 16  
DATE: 03/30/20

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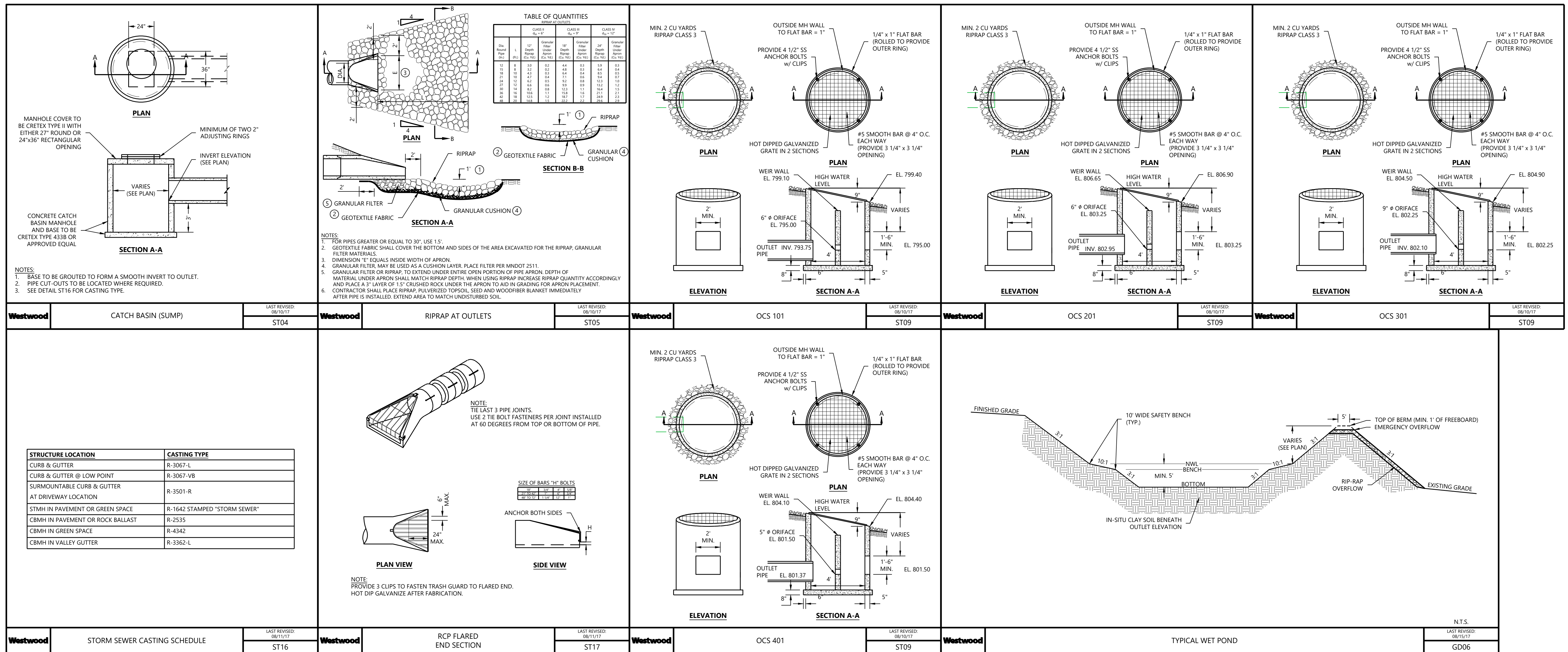
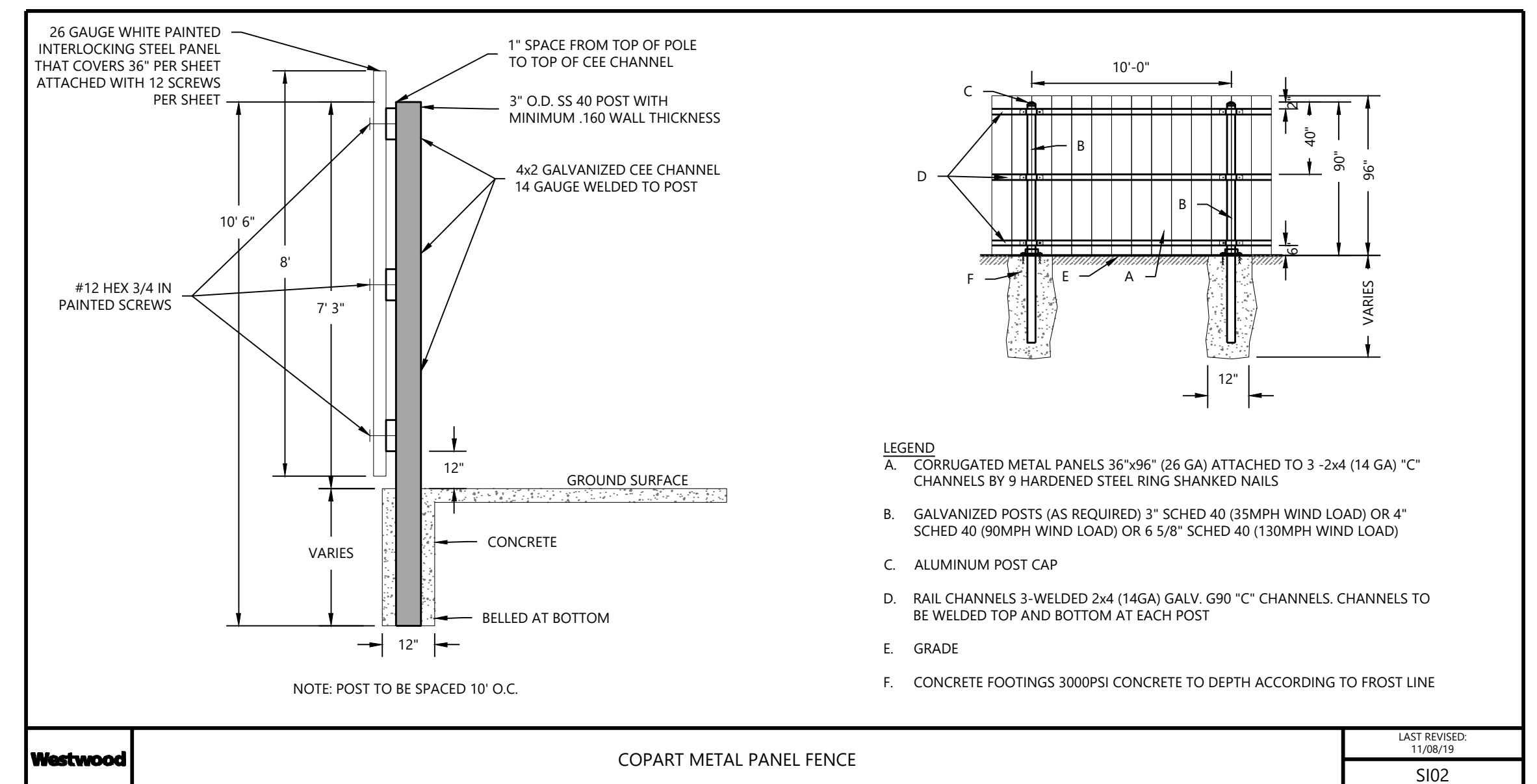




## METAL PANEL FENCING



## DECORATIVE MASONRY FENCING



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## LANDSCAPE NOTE

1. ALL EXISTING TREES WITHIN LANDSCAPE BUFFERYARDS SHALL REMAIN

## LANDSCAPE SUMMARY

### BUFFERYARD REQUIREMENT

THE MINIMUM QUANTITY OF PLANTINGS REQUIRED IN TABLE 15-5.0302 INCREASES BY 20%

### CANOPY TREE REQUIREMENT

1 CANOPY/ EVERGREEN TREE PER 5 PROVIDED PARKING SPACES (41/5= 9 TREES)

### EVERGREEN TREE REQUIREMENT

1 EVERGREEN TREE PER 5 PROVIDED PARKING SPACES (41/5= 9 TREES)

### DECORATIVE TREE REQUIREMENT

1 DECORATIVE TREE PER 5 PROVIDED PARKING SPACES (41/5= 9 TREES)

OVERALL TREES REQUIRED: 27 + 20% = 33

OVERALL TREES PROVIDED: 33 (11 PROPOSED DECIDUOUS TREES + 11 PROPOSED CONIFEROUS TREES + 11 PROPOSED DECORATIVE TREES)

### SHRUB REQUIREMENT

1 DECORATIVE SHRUB PER 5 PROVIDED PARKING SPACES (41/5= 9 SHRUBS)

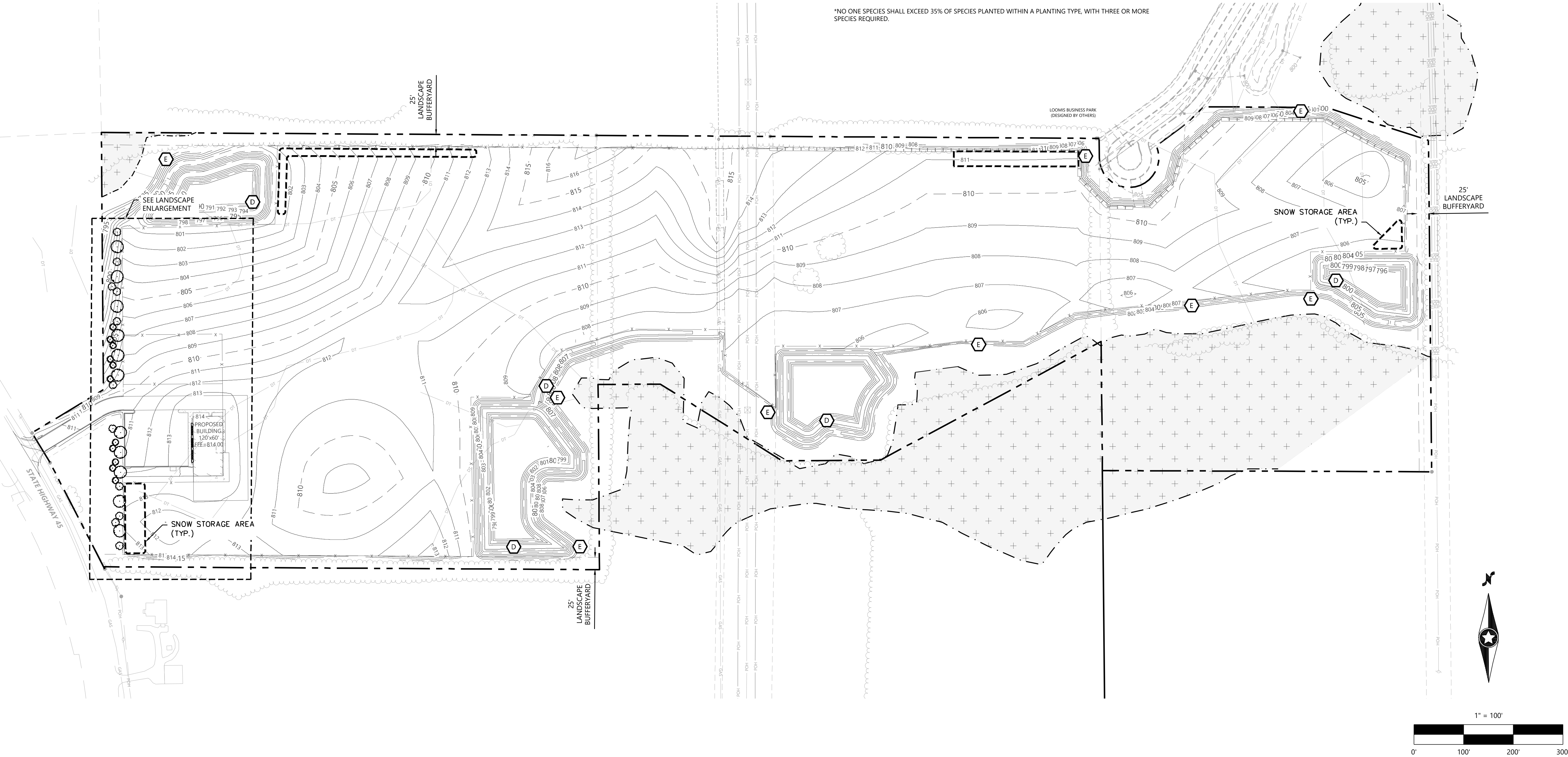
OVERALL SHRUBS REQUIRED= 9 + 20% = 11

OVERALL SHRUBS PROVIDED= 15  
(10 PROPOSED DECIDUOUS TREES + 5 PROPOSED CONIFEROUS TREES)

\*NO ONE SPECIES SHALL EXCEED 35% OF SPECIES PLANTED WITHIN A PLANTING TYPE, WITH THREE OR MORE SPECIES REQUIRED.

## LANDSCAPE KEYNOTES A

- A SHREDDED HARDWOOD MULCH (TYP.)  
B EDGER (TYP.)  
C SOD (TYP., ALL DISTURBED AREAS)  
D WISDOT SEED MIX #60 (ALL DISTURBED AREAS)  
E WISDOT SEED MIX #70 (ALL DISTURBED AREAS)



DESIGNED: JSR  
CHECKED: BCW  
DRAWN: JSB  
HORIZONTAL SCALE: 100'  
VERTICAL SCALE: 20' OR 10'

INITIAL ISSUE: 02/12/20  
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OVERALL LANDSCAPE  
PLAN

PROJECT NUMBER: 0023687.00

SHEET NUMBER:

14 OF 16

DATE: 03/30/20

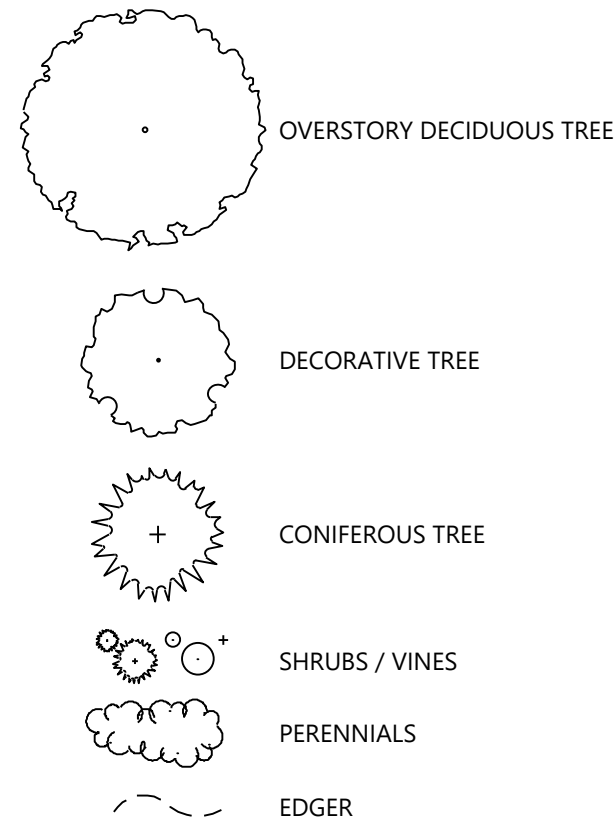
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## LANDSCAPE KEYNOTES A

- A SHREDDED HARDWOOD MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP., ALL DISTURBED AREAS)
- D WISDOT SEED MIX #60 (ALL DISTURBED AREAS)
- E WISDOT SEED MIX #70 (ALL DISTURBED AREAS)

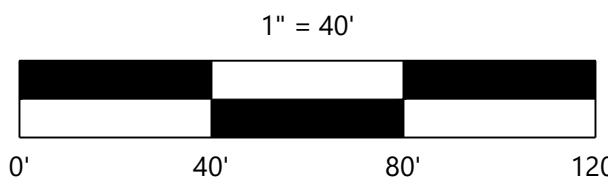
## LANDSCAPE LEGEND



## PLANT SCHEDULE

CODE	QTY	COMMON	BOTANICAL NAME	SIZE	ROOT	SPACING	REMARKS
<strong>CANOPY/SHADE TREES 11</strong>							
NWM	3	NORTHWOOD MAPLE	ACER RUBRUM 'NORTHWOOD'	2.5" CAL.	B&B	AS SHOWN	SINGLE
SKH	3	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYCOLE'	2.5" CAL.	B&B	AS SHOWN	SINGLE
NHE	3	NEW HORIZON ELM	ULMUS X 'NEW HORIZON'	2.5" CAL.	B&B	AS SHOWN	SINGLE
SEL	2	SENTRY LINDEN	TILLIA AMERICANA 'MCSENTRY'	2.5" CAL.	B&B	AS SHOWN	SINGLE
<strong>DECORATIVE TREES 11</strong>							
ALS	3	ALLEGHENY SERVICEBERRY	AMELANCHIER LAEVIS	1.5" CAL.	B&B	AS SHOWN	SINGLE
PFC	3	PRAIRIEFIRE CRAB	MALUS 'PRAIRIEFIRE'	1.5" CAL.	B&B	AS SHOWN	SINGLE
PAD	3	PAGODA DOGWOOD	CONRUS ALTERNIFOLIA	1.5" CAL.	B&B	AS SHOWN	SINGLE
ASB	2	AUTUMN SPLENDOR BUCKEYE	AESCULUS X ARNOLDIANA 'AUTUMN SPLENDOR'	1.5" CAL.	B&B	AS SHOWN	SINGLE
<strong>EVERGREEN TREES 11</strong>							
BHS	3	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6' HT.	B&B	AS SHOWN	FULL
WHP	3	WHITE PINE	PINUS STROBUS	6' HT.	B&B	AS SHOWN	FULL
WFI	3	WHITE FIR	ABIES CONCOLOR	6' HT.	B&B	AS SHOWN	FULL
ERC	2	EASTERN RED CEDAR	JUNIPEROUS VIRGINIANA	6' HT.	B&B	AS SHOWN	FULL
<strong>SHRUBS 15</strong>							
TAY	3	TAUNTON YEW	TAXUS MEDII 'TAUNTON'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
GOJ	2	GREY OWL JUNIPER	JUNIPERUS VIRGINIANA 'GREY OWL'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
AJN	5	AMBER JUBILEE NINEBARK	PHYSOCARPUS OPUULIFOLUS 'JEFAM'	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
RGD	5	RED GNOME DOGWOOD	CORNUS ALBA SIBIRICA	4'-0" O.C.	#5 CONT.	X'-X" O.C.	--
<strong>PERENNIALS 40</strong>							
ASD	10	APRICOT SPARKLES DAYLILY	HEMEROCALLIS 'APRICOT SPARKLES'	12" O.C.	#1 CONT.	X" O.C.	--
MNS	10	MAY NIGHT SALVIA	SALVIA X NEMOROSA 'MAY NIGHT'	18" O.C.	#1 CONT.	X" O.C.	--
KFG	20	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	24" O.C.	#1 CONT.	X" O.C.	--

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER  
NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.



DESIGNED: JSB  
CHECKED: BCW  
DRAWN: JSB  
HORIZONTAL SCALE: 40'  
VERTICAL SCALE: 8' OR 4'

INITIAL ISSUE: 02/12/20  
REVISIONS:  
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LANDSCAPE  
ENLARGEMENT

PROJECT NUMBER: 0023687.00

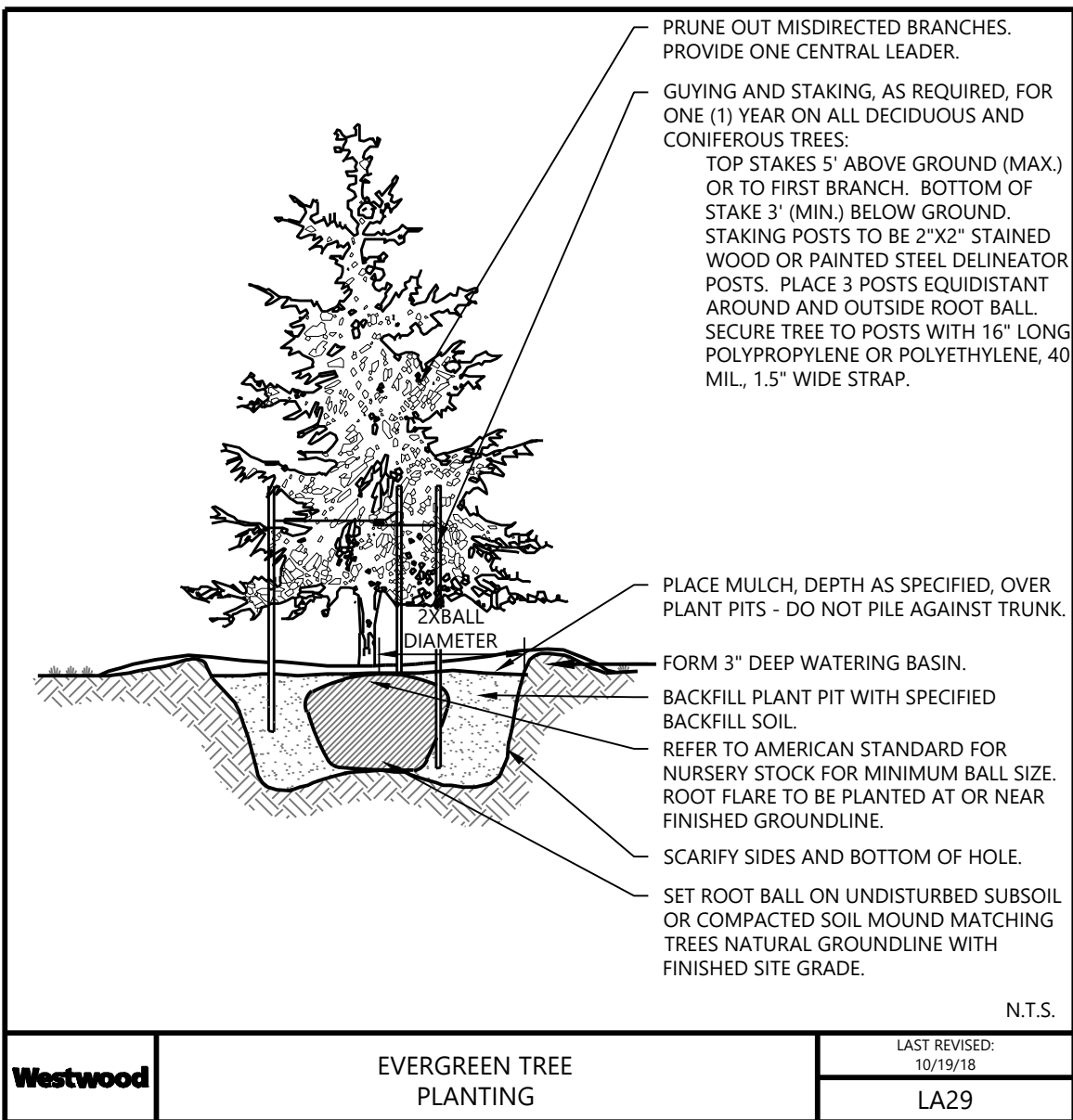
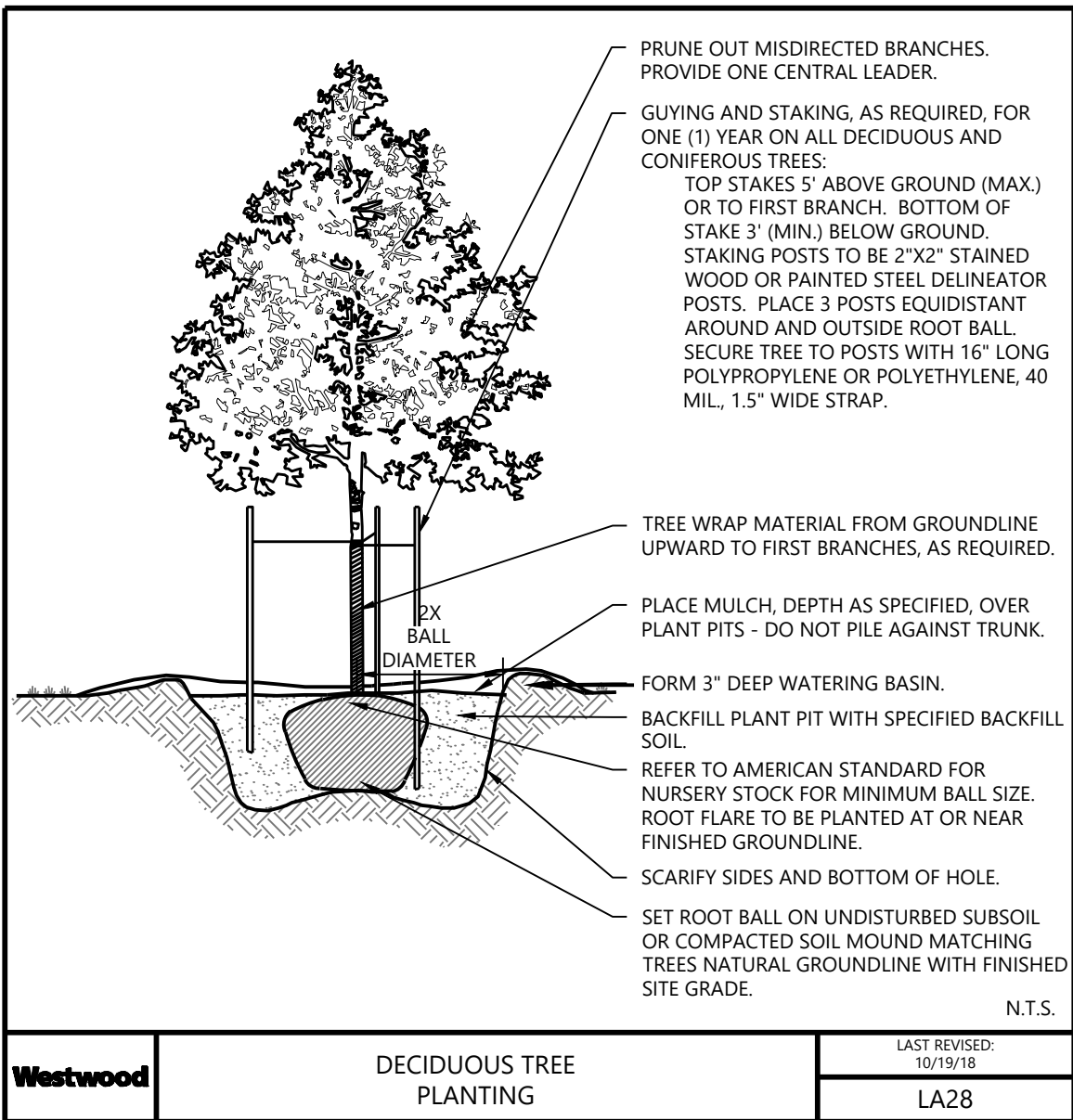
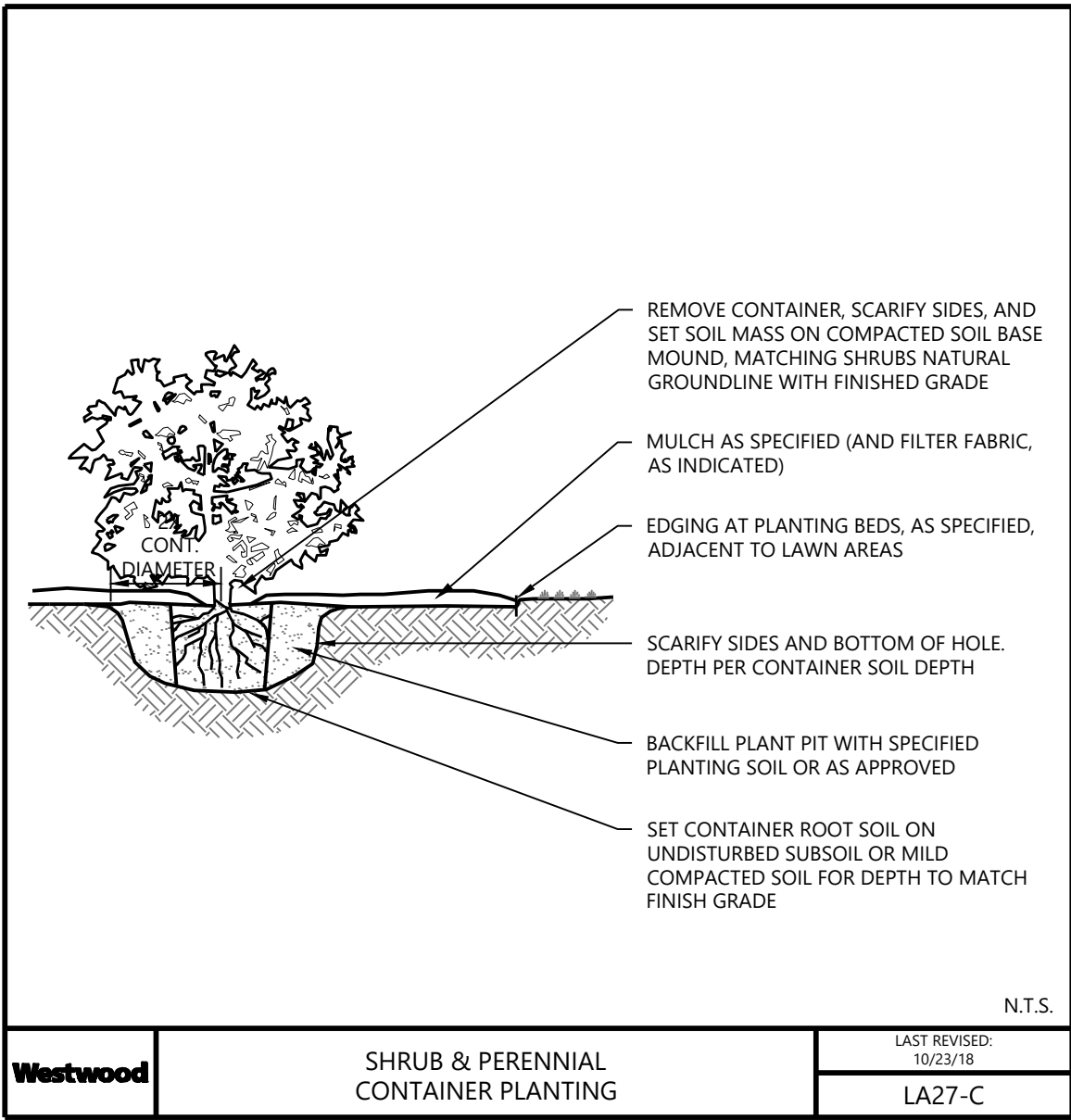
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OF

16

DATE: 03/30/20



## PLANTING NOTES

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, WISCONSIN-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
  - ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
  - ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
  - ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
  - ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
  - CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER WisDOT & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO WisDOT STANDARD SPECIFICATION AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
18. EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD WISCONSIN GROWN OR WisDOT STANDARD SPECIFICATION 630.2.1.5.1.1 HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
20. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS FOR THE FIRST YEAR TO ESTABLISH PLANT GROWTH. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
21. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
22. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

DESIGNED: JSB  
CHECKED: BCW  
DRAWN: JSB  
HORIZONTAL SCALE: ###  
VERTICAL SCALE: ## OR ##

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PREPARED FOR:



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FRANKLIN, WI

Westwood

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LANDSCAPE NOTES &  
DETAILS

PROJECT NUMBER: 0023687.00

SHEET NUMBER:

16

OF

16

DATE: 03/30/20



01 **ELEVATION - NORTH**



02 **ELEVATION - EAST**



**NICKEL**  
SW 4030



**BLUEPRINT**  
SW 4056

**COPART, INC.**  
24125 NORTH 7TH AVENUE  
PHOENIX, ARIZONA 85085

**A2.0**  
EXTERIOR ELEVATIONS

PROJECT NO. 20-55-100		
REVISIONS:		



EXPIRES: 09-30-22



2935 W 16th Ave  
Phoenix, Arizona 85015



03 ELEVATION - SOUTH



04 ELEVATION - WEST



NICKEL  
SW 4030



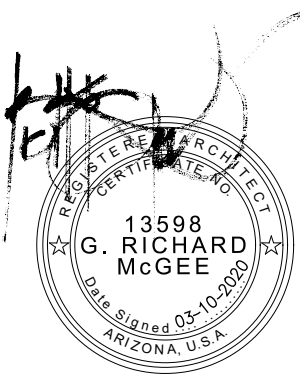
BLUEPRINT  
SW 4056

**COPART, INC.**  
24125 NORTH 7TH AVENUE  
PHOENIX, ARIZONA 85085

# A2.1

EXTERIOR ELEVATIONS

PROJECT NO. 20-55-100		
REVISIONS:		



EXPIRES: 09-30-22



2935 W 16th Ave  
Phoenix, Arizona 85015

**Table 15-3.0502**

**Worksheet for the Calculation of Base Site Area for Both Residential and Nonresidential Development**

<b>STEP 1:</b>	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	43.56	acres
<b>STEP 2:</b>	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	1.83	acres
<b>STEP 3:</b>	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	0	acres
<b>STEP 4:</b>	In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	0	acres
<b>STEP 5:</b>	Equals "Base Site Area"	41.73	acres

Table 15-3.0503

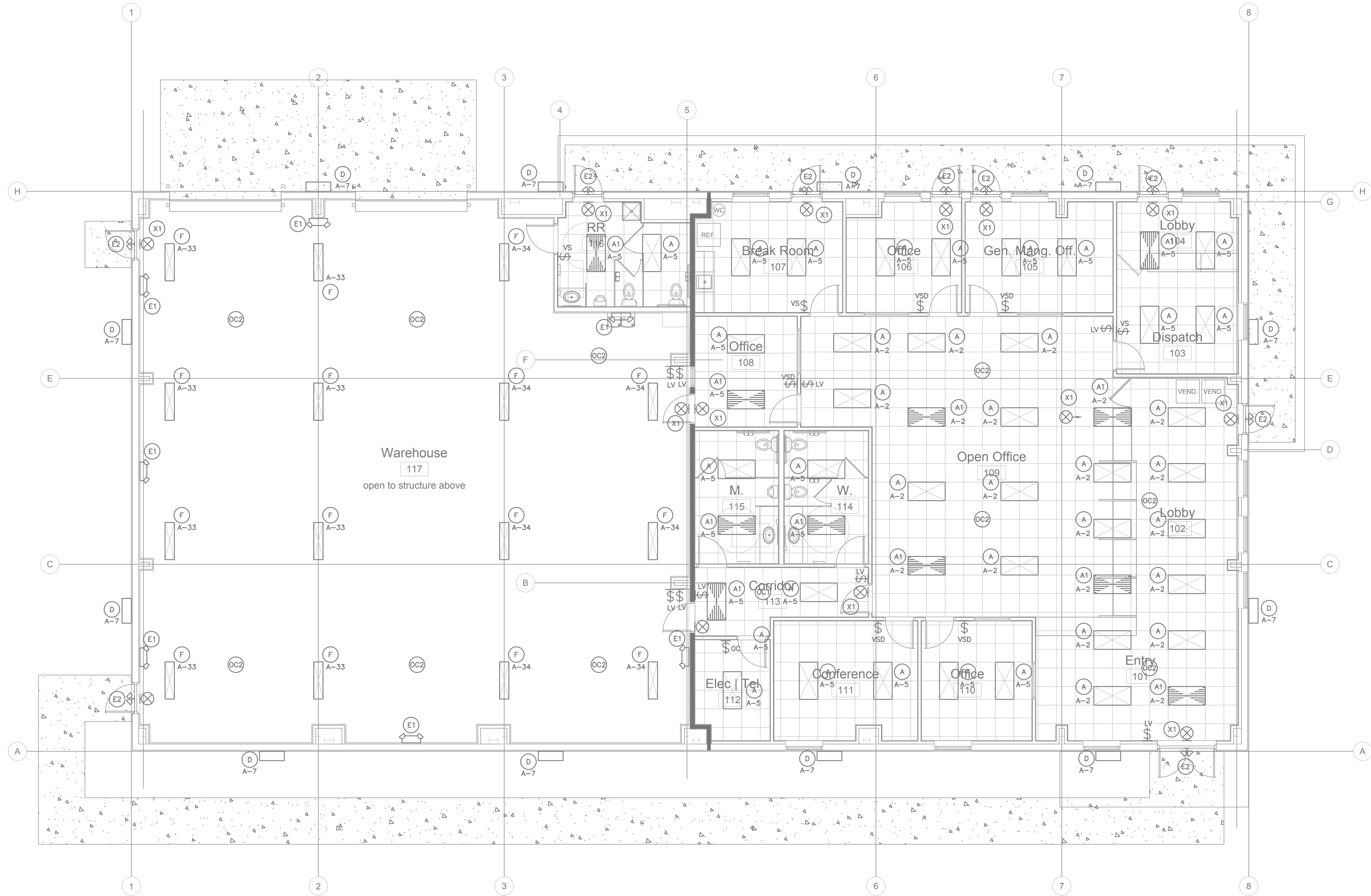
## Worksheet for the Calculation of Resource Protection Land

Natural Resource Feature	Protection Standard Based Upon Zoning District Type			Acres of Land in Resource Feature	
	Agricultural	Residential	Non-Residential		
Steep Slopes:					
10-19%	0.00	0.60	0.40	.40x.08=	0.03
20-30%	0.65	0.75	0.70	-	-
+30%	0.90	0.85	0.80	-	-
Woodlands & Forests:					
Mature	0.70	0.70	0.70	-	-
Young	0.50	0.50	0.50	-	-
Lakes & Ponds	1.00	1.00	1.00		
Streams	1.00	1.00	1.00	-	-
Shore Buffer	1.00	1.00	1.00	-	-
Floodplains	1.00	1.00	1.00	-	-
Wetland Buffers	1.00	1.00	1.00	1x2.29	2.29
Wetlands & Shoreland	1.00	1.00	1.00	1x1.62	1.62
Total Resource Protection Land				3.94	Acres

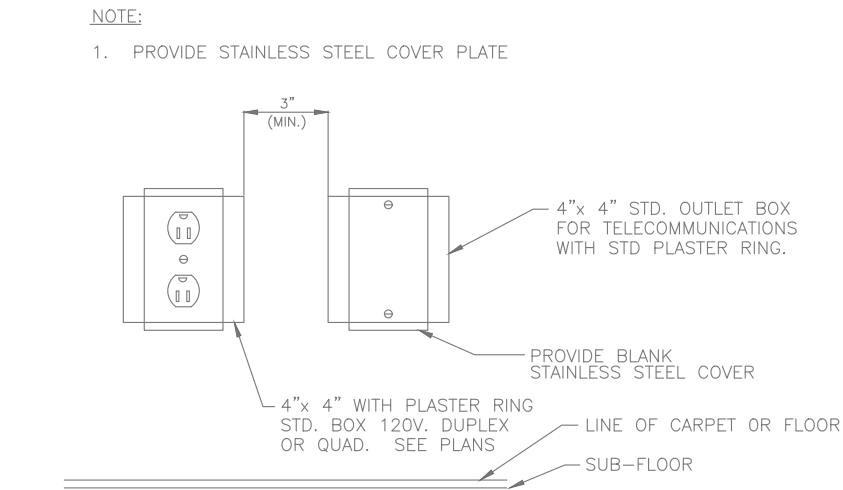
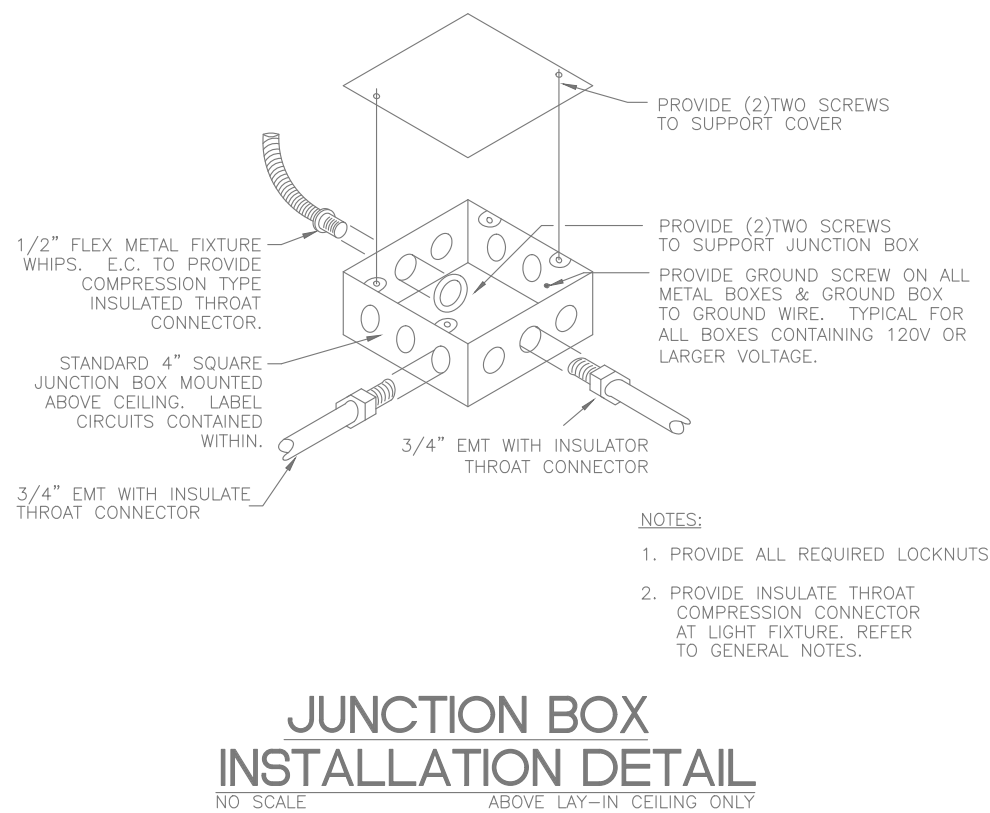
**Table 15-3.0505**

**Worksheet for the Calculation of Site Intensity and Capacity for Nonresidential Development**

<b>STEP 1:</b>	Calculate minimum required landscape surface: Base Site Area x Landscape Surface Ratio = <b>Minimum Required On-Site Landscape Surface</b>	14.61	acres
<b>STEP 2:</b>	Calculate Net Buildable Site Area: Base Site Area - Total Resource Protection Land or Min. Required Landscape Surface = <b>Net Buildable Site Area</b>	27.12	acres
<b>STEP 3:</b>	Calculate Maximum Net Floor Area Yield of Site: Net Buildable Site Area x NFAR = <b>Maximum Net Floor Area Yield of Site</b>	23.06	acres
<b>STEP 4:</b>	Calculate Maximum Gross Floor Area Yield of Site: Base Site Area x GFAR = <b>Maximum Gross Floor Area Yield of Site</b>	22.95	acres
<b>STEP 5:</b>	<b>Determine Maximum Permitted Floor Area of Site:</b> Lowest of MNFAY/MGFAY x 43,560	22.95	acres

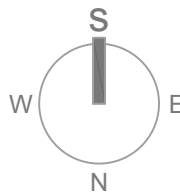


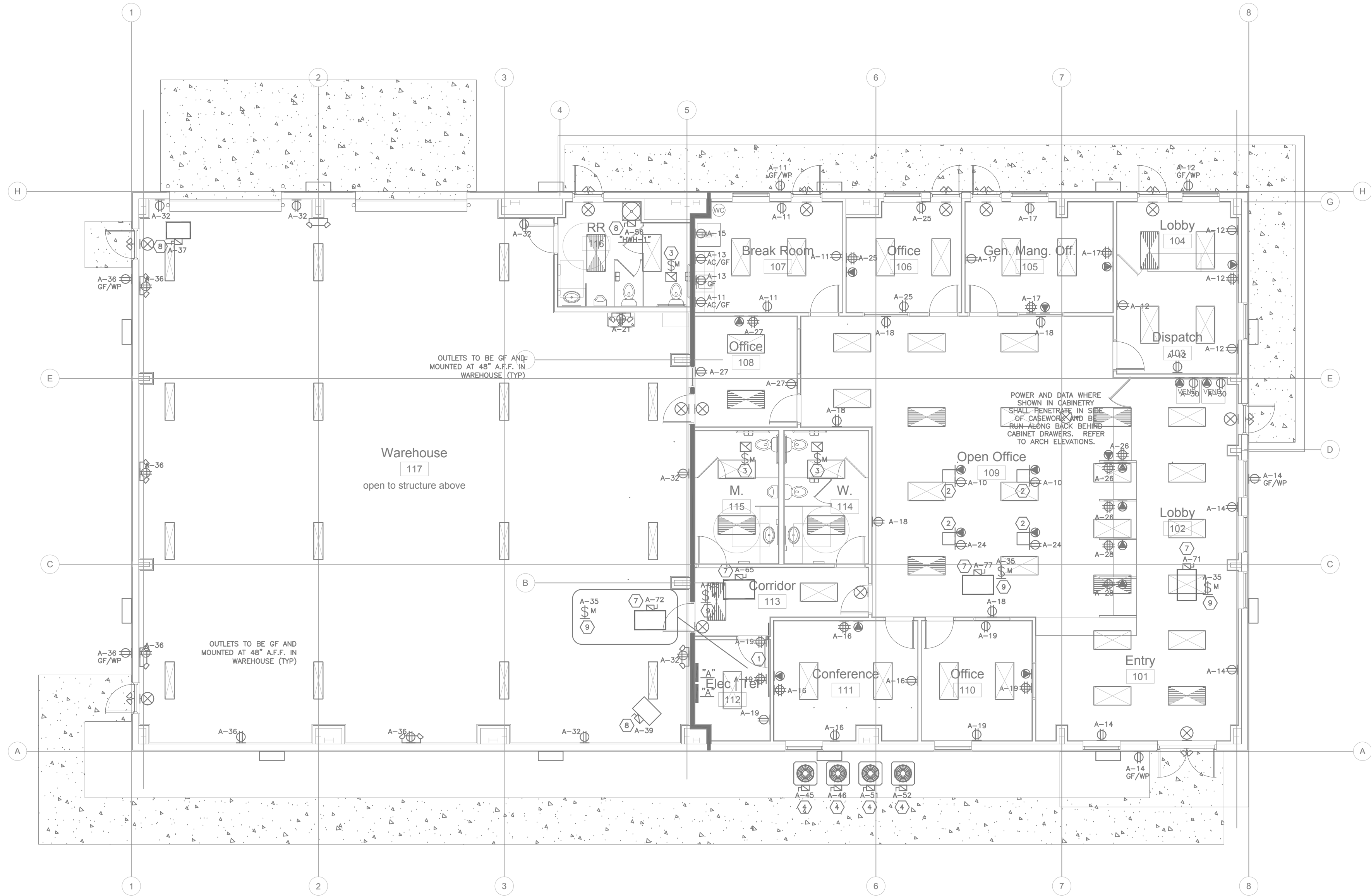
FLOOR PLAN - LIGHTING  
SCALE 1/8" = 1'-0"



ELECTRICAL SYMBOLS LEGEND	
ITEM	DESCRIPTION
	2' X 4' LENS LAY-IN / SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE.
	1' X 4' LENS LAY-IN / SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE.
	EXIT LIGHT.
	REMOTE LIGHTING FIXTURE HEAD.
	LIGHT FIXTURE DESIGNATION. REFER TO LIGHT FIXTURE SCHEDULE.
	SINGLE POLE LIGHT SWITCH.
	THREE-WAY OR FOUR-WAY LIGHT SWITCH.
	1 POLE, 20 AMP, 125 VOLT MOTOR RATED TOGGLE SWITCH.
	NOMENCLATURE "WP" INDICATED DEVICE TO BE INSTALLED IN A WEATHERPROOF ENCLOSURE.
	NOMENCLATURE "OC" INDICATED OCCUPANCY SENSOR LIGHT SWITCH. SENSOR SWITCH #WST-X. FINISH TO MATCH DEVICE FINISH.
	CEILING MOUNTED OCCUPANCY SENSOR. SENSOR SWITCH #CM-PDT-9-PP-20. INSTALL PER MANUFACTURERS RECOMMENDATION.
	CEILING MOUNTED OCCUPANCY SENSOR WITH EXTENDED RANGE. SENSOR SWITCH #CM-PDT-10-PP-20. INSTALL PER MANUFACTURERS RECOMMENDATION.
	CORNER MOUNTED OCCUPANCY SENSOR. SENSOR SWITCH #WV-PDT PP-20. INSTALL PER MANUFACTURERS RECOMMENDATION.
	DIMMER SWITCH RATED AT 1500 WATTS.
	JUNCTION BOX.
	DUPLEX RECEPTACLE.
	QUADRUPLUX RECEPTACLE.
	ADJUSTABLE FLOOR BOX WITH WIRING DEVICE. REFER TO SPECIFICATIONS.
	ADJUSTABLE FLOOR BOX WITH TELECOMMUNICATION DEVICE. REFER TO SPECIFICATIONS. STUB ONE (1) 1" CONDUIT WITH BUSHING AND PULL WIRE UP NEAREST WALL AND EXTEND TO ACCESSIBLE CEILING SPACE UNLESS NOTED OTHERWISE.
	NOMENCLATURE INDICATES WIRING DEVICE AS FOLLOWS. "WP" WEATHER PROOF DEVICE. "AC" DEVICE MOUNTED ABOVE COUNTER. "GF" GROUND FAULT DEVICE. "IG" DEVICE WITH ISOLATED GROUND. "SP" SURGE SUPPRESSION TYPE DEVICE. "LK" DEVICE WITH LOCKABLE COVER.
	POWER PANEL BOARD.
	DISCONNECT SWITCH. SIZE AS NOTED ON DRAWINGS.
	TELEPHONE OUTLET. DUAL GANG JUNCTION BOX, STUB ONE (1) 1" CONDUIT WITH BUSHING AND PULL WIRE UP NEAREST WALL AND EXTEND TO ACCESSIBLE CEILING SPACE UNLESS NOTED OTHERWISE.
	TELECOMMUNICATION OUTLET. DUAL GANG JUNCTION BOX, STUB ONE (1) 1" CONDUIT WITH BUSHING AND PULL WIRE UP NEAREST WALL AND EXTEND TO ACCESSIBLE CEILING SPACE UNLESS NOTED OTHERWISE.
	TELEVISION OUTLET. DUAL GANG JUNCTION BOX, STUB ONE (1) 1" CONDUIT WITH BUSHING AND PULL WIRE UP NEAREST WALL AND EXTEND TO ACCESSIBLE CEILING SPACE UNLESS NOTED OTHERWISE.

- GENERAL NOTES
- REFER TO POWER PLANS FOR PANEL BOARD AND FIRE ALARM DEVICE LOCATIONS.
  - ALL RECEPTACLES LOCATED IN KITCHEN, FOOD PREP, BREAK ROOMS OR MAINTENANCE/GARAGE AREAS SHALL BE "GF" TYPE DEVICES AS REQUIRED BY NEC.
  - ALL CONDUIT AND SUPPORTS SHALL NOT BE ALLOWED TO HANG FROM MECHANICAL DUCT WORK OR CEILING GRID HANGERS.
  - REFER TO SPECIFICATIONS FOR GROUNDING REQUIREMENTS. PROVIDE EQUIPMENT GROUND IN ALL BRANCH CIRCUITS AND PANEL FEEDERS. SIZE AS INDICATED ON DRAWINGS OR PER NEC WHERE NOT INDICATED.
  - ELECTRICAL CONTRACTOR TO COORDINATE SWITCH LOCATIONS WITH ALL ARCHITECTURAL DRAWINGS, CASEWORK ELEVATIONS, EQUIPMENT PLANS, ETC., PRIOR TO ROUGH-IN.
  - ALL FLEXIBLE WHIPS TO LIGHT FIXTURES TO BE 1/2" FLEX METALLIC CONDUIT TYPE. ALL WHIPS TO BE SECURELY SUPPORTED. WHIPS LAYING ON CEILING GRID ARE UNACCEPTABLE.
  - EMERGENCY AND NORMAL LIGHTING MARKED WITH "NL" SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UN-SWITCHED HOT TO NORMAL AND EMERGENCY BALLAST.
  - WHERE INDICATED FOR TWO-LEVEL SWITCHING ALL ROOMS WITH FLUORESCENT LIGHTING AND TWO (2) SINGLE POLE OR FOUR (4) THREE-WAY LIGHT SWITCHES SHALL BE WIRED FOR TWO-LEVEL LIGHTING. EACH BALLAST OF TWO-BALLAST FIXTURES TO BE SWITCHED SEPARATELY. REFER TO WIRING DETAIL.
  - DO NOT USE 90 DEGREE ELBOWS OR LB'S ON TELECOMMUNICATION AND FEEDER CONDUITS. USE LONG SWEEP ELBOWS OR PULL BOXES.
  - SIZE WIRING UP ONE SIZE FOR EVERY 100' LENGTH OF BRANCH CIRCUITING.
  - ALL PANEL BOARD AND WIRING INSTALLATIONS ARE TO MEET NEC SECTION 210.4. IT IS AT THE CONTRACTORS DISCRETION TO EITHER PROVIDE MUTL-POLE BREAKERS OR TO PROVIDE DEDICATED NEUTRALS IN ORDER TO MEET THE CODE.
  - FIELD VERIFY EXACT LOCATION OF ALL ELECTRICAL DISTRIBUTION EQUIPMENT AND COORDINATE WITH OTHER TRADES PRIOR TO INSTALLATION OF CONDUIT.
  - OUTLET BOXES SHALL NOT BE INSTALLED BACK TO BACK IN WALLS. WHERE OUTLETS ARE LOCATED APPROXIMATELY BACK-TO-BACK ON OPPOSITE SIDES OF ADJACENT WALLS, OUTLETS SHALL BE SEPARATED BY A MINIMUM OF ONE STUD UNLESS OTHERWISE APPROVED.
  - PROVIDE A #12 AWG (MINIMUM) GREEN EQUIPMENT GROUND IN ALL FEEDER AND BRANCH CIRCUIT CONDUITS, UNO. GROUND CONDUCTORS SHALL BE SIZED PER NEC (NFPA-70).
  - PROVIDE U.L. LISTED FIRE STOP ASSEMBLY IN ALL PENETRATIONS THROUGH FIRE WALLS/CEILINGS AND SMOKE WALLS/CEILINGS. WHERE FIRE RATED CEILING ASSEMBLIES ARE INDICATED, PROVIDE RATED AND APPROVED GYPSUM BOARD ENCLOSURES TO MAINTAIN CEILING RATINGS.
  - PROVIDE PULL STRINGS IN ALL EMPTY CONDUITS.
  - PROVIDE END BUSHINGS ON ALL CONDUIT STUB-OUTS.
  - PROVIDE ACCESS PANELS PER NEC (NFPA-70).
  - PANELBOARD TUBS AND OTHER FLUSH MOUNTED EQUIPMENT ARE NOT TO BE RECESSED IN FIRE-RATED WALLS.
  - EXIT SIGNS, EMERGENCY BATTERY PACKS AND INVERTORS SHALL BE CONNECTED TO AN UNSWITCHED PHASE CONDUCTOR. INVERTORS INSTALLED IN LIGHT FIXTURES SHALL BE CONNECTED TO THE SAME CIRCUIT SUPPLYING POWER TO THE FIXTURE BUT SHALL NOT BE SWITCHED.
  - LOCATE LIGHT FIXTURES IN MECHANICAL ROOMS TO AVOID DUCTWORK AND PIPING WHILE MAXIMIZING AVAILABLE LIGHT. SPACE LIGHT FIXTURES AROUND EQUIPMENT TO PROVIDE ADEQUATE LIGHTING TO ALL AREAS OF THE ROOM.
  - ALL RACEWAY RUNS AND ASSOCIATED PULL BOXES SHALL BE CONCEALED WHERE POSSIBLE UNLESS SPECIFICALLY INDICATED TO BE EXPOSED.
  - MARK CIRCUIT DESIGNATIONS ON JUNCTION BOX COPPER PLATES USING BLACK INDELEIBLE MARKER OR PAINT.
  - DO NOT SCALE DRAWINGS.
  - ALL CONDUITS SHALL CONTAIN THREE (3) BRANCH CIRCUITS MAXIMUM. ADDITIONAL BRANCH CIRCUITS MAY BE ADDED TO CONDUITS PROVIDED THAT ONE NEUTRAL CONDUCTOR IS ADDED FOR EVERY THREE (3) ADDITIONAL PHASE CONDUCTORS. PROVIDE A DEDICATED NEUTRAL FOR ALL QUADRUPLUX RECEPTACLES. IN ADDITION, ALL PHASE CONDUCTORS MUST BE DERATED PER N.E.C. SECTION #310 UNDER "NOTES TO AMPACITY TABLES" #8 (a), AND CONDUIT MUST BE UPSIZED PER N.E.C. APPENDIX #C - TABLE #C1 AS REQUIRED.





FLOOR PLAN - POWER  
SCALE 1/8" = 1'-0"

- SHEET NOTES (#)**
1. PROVIDE 3/4" TREATED PLYWOOD TELEPHONE BOARD ON WALL AS SHOWN. INSTALL FROM FLOOR TO 8'-0" AND RUN LENGTH OF WALL.
  2. POWER POLE WITH DATA RACEWAY AS SELECTED BY OWNER.
  3. CONNECT TO LOCAL 120V. LIGHTING BRANCH CIRCUIT AND SWITCH WITH SAME.
  4. 3 POLE 30 AMP 250V, NEMA 3R DISCONNECT SWITCH FUSED PER UNIT NAMEPLATE. FINAL CONNECTION WITH SEAL-TITE.
  5. 2 POLE 30 AMP 250V, NEMA 1 DISCONNECT SWITCH FUSED PER UNIT NAMEPLATE. FINAL CONNECTION WITH SEAL-TITE.
  6. 3 POLE 30 AMP 250V, NEMA 1 DISCONNECT SWITCH FUSED PER UNIT NAMEPLATE. FINAL CONNECTION WITH SEAL-TITE.
  7. 3 POLE 60 AMP 250V, NEMA 1 DISCONNECT SWITCH FUSED PER UNIT NAMEPLATE. FINAL CONNECTION WITH SEAL-TITE.
  8. 3 POLE 100 AMP 250V, NEMA 1 DISCONNECT SWITCH FUSED PER UNIT NAMEPLATE. FINAL CONNECTION WITH SEAL-TITE.
  9. PROVIDE A 120 VOLT CONNECTION AT EACH AHU'S CORRESPONDING MOTORIZED DAMPER. REFER TO HVAC DRAWINGS FOR EXACT LOCATION.

- GENERAL NOTES - SITE WORK**
1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
  2. CONTRACTOR SHALL DETERMINE EXACT LOCATIONS, BURIAL DEPTH AND ROUTING OF ALL BURIED UTILITIES PRIOR TO EXCAVATION WORK. CONTRACTOR SHALL AVOID INTERFERENCE WITH AND PRESERVE ALL EXISTING UTILITIES.
  3. PROVIDE EQUIPMENT GROUNDING IN ALL CONDUIT RUNS. GROUND FIXTURE POLE TO EQUIPMENT GROUNDING CONDUCTORS.
  4. ANY AND ALL BEDROCK REMOVAL REQUIRED BY THE EXCAVATION SHALL BE THE RESPONSIBILITY OF AND AT THE EXPENSE OF THE CONTRACTOR PERFORMING SUCH EXCAVATING.
  5. ELECTRICAL CONTRACTOR TO INSTALL RIGID 90° ELBOWS AND RISER CONDUIT FOR ELECTRICAL AND TELEPHONE SERVICES.
  6. ALL EXTERIOR SITE POWER AND LIGHTING WIRING SHALL BE #10 AWG MINIMUM WITH GROUND IN PVC CONDUIT OF SIZE REQUIRED BY THE N.E.C. INSTALL CONDUITS MINIMUM 30" BELOW FINISHED GRADE.

- GENERAL NOTES - POWER**
1. PROVIDE MOUNTING FOR RECEPTACLES ON ROOF WHERE WALLS ARE NOT WITHIN 25'-0" OF MECHANICAL EQUIPMENT. COORDINATE WITH ALL TRADES FOR EXACT LOCATIONS AND MOUNTING TYPES.
  2. WHILE INSTALLING ALL EQUIPMENT, DEVICES, FIXTURES, CONDUITS AND ASSOCIATED MATERIALS MAINTAIN ADEQUATE SPACE FOR FUTURE REMOVAL AND REPLACEMENT OF ALL DISTRIBUTION EQUIPMENT AND MAINTAIN CODE WORK SPACE REQUIREMENTS.
  3. COORDINATE EXACT LOCATIONS AND MOUNTING REQUIREMENTS OF ALL EQUIPMENT AND DEVICES REQUIRING POWER CONNECTIONS. LOW VOLTAGE CABLING, RECONNECTS, STARTERS, ETC. INSTALL EQUIPMENT AND DEVICES AS REQUIRED TO AVOID CONFLICTS WITH OTHER TRADES AND IN ACCORDANCE WITH APPLICABLE CODES AND OWNER REQUESTS.
  4. COORDINATE EXACT POWER REQUIREMENTS, BACKBOX AND DEVICE LOCATIONS, CONDUITS, AND CABLING REQUIREMENTS FOR ALL SYSTEMS WITH OWNER'S VENDOR(S).
  5. LIGHT FIXTURES, SWITCHES, POWER RECEPTACLES, AND VOICE/DATA OUTLETS INDICATED ON DRAWINGS ARE TO BE VERIFIED AND COORDINATED WITH OWNER, OWNER'S VENDOR AND IT DIRECTOR FOR EXACT LOCATIONS, QUANTITIES, AND EQUIPMENT ARRANGEMENTS. PROVIDE ALL POWER, BACKBOXES, AND CONDUITS (WITH PULL STRINGS) AT OWNER'S REQUEST AND PER VENDOR'S LAYOUT. PRIOR TO THE INSTALLATION OF VOICE AND DATA BACKBOXES, CONSULT OWNER AND IT DIRECTOR AND VERIFY THAT BACKBOX LOCATIONS INDICATED ON DRAWINGS ARE CONSISTENT WITH OWNER'S REQUIREMENTS.
  6. PROVIDE BACKBOX AND CONDUIT FOR ALL THERMOSTAT DEVICE LOCATIONS. COORDINATE WITH MECHANICAL DRAWINGS FOR ALL DEVICE LOCATIONS.

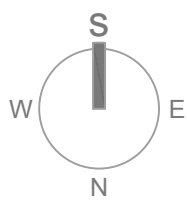
CIRCUIT SCHEDULE FOR PANEL A											
VOLT		120/208		PHASE		3		WIRE		4	
A. MAINS		500		A. MCB		600					
FEEDER (2) SETS OF - (4) #250 MCM IN 2-1/2"C.											
TYPE PANEL		NGOOD		MOUNTING		SURFACE		A.I.C.		65,000	
REMARKS											
CIRCUIT BREAKER NO	TRIP	WIRE SIZE	LOAD WATTS	SERVICE DESCRIPTION	PHASE			SERVICE DESCRIPTION	LOAD WATTS	WIRE SIZE	CIRCUIT BREAKER TRIP NO
					A	B	C				
1	20	---	---	SPARE				LIGHTING	1200	12	20
3	20	---	---	SPARE				SPACE	---	---	4
5	20	12	1500	LIGHTING				SPACE	---	---	6
7	20	10	800	BUILDING LIGHTING				SPARE	---	---	8
9	20	10	800	SITE LIGHTING				RECEPTACLE	720	12	10
11	20	12	540	RECEPTACLE				RECEPTACLE	720	12	12
13	20	12	540	RECEPTACLE				RECEPTACLE	1080	12	14
15	20	12	540	RECEPTACLE				RECEPTACLE	1080	12	16
17	20	12	720	RECEPTACLE				RECEPTACLE	720	12	18
19	20	12	720	RECEPTACLE				SPARE	---	---	20
21	20	12	500	EWC				SPARE	---	---	22
23	20	---	---	SPARE				RECEPTACLE	540	12	24
25	20	---	---	SPARE				RECEPTACLE	1080	12	26
27	20	---	---	SPARE				RECEPTACLE	1080	12	28
29	20	---	---	SPARE				RECEPTACLE	540	12	30
31	20	---	---	SPARE				WAREHOUSE RECEPTACLES	1260	12	32
33	20	12	1140	WAREHOUSE LIGHTING				WAREHOUSE LIGHTING	1140	12	34
35	20	12	400	MOTORIZED DAMPER				WAREHOUSE RECEPTACLES	1260	12	36
37	30	3	8333	EH - 1				EH-2	8333	3	38
39	---	3	8333	-----				-----	8333	3	40
41	---	3	8333	-----				-----	8333	3	42
TOTAL		-----		DEMAND		-----		-----			

• - CONTROL WITH PHOTOCELL AND SEVEN (7) DAY TIMECLOCK.

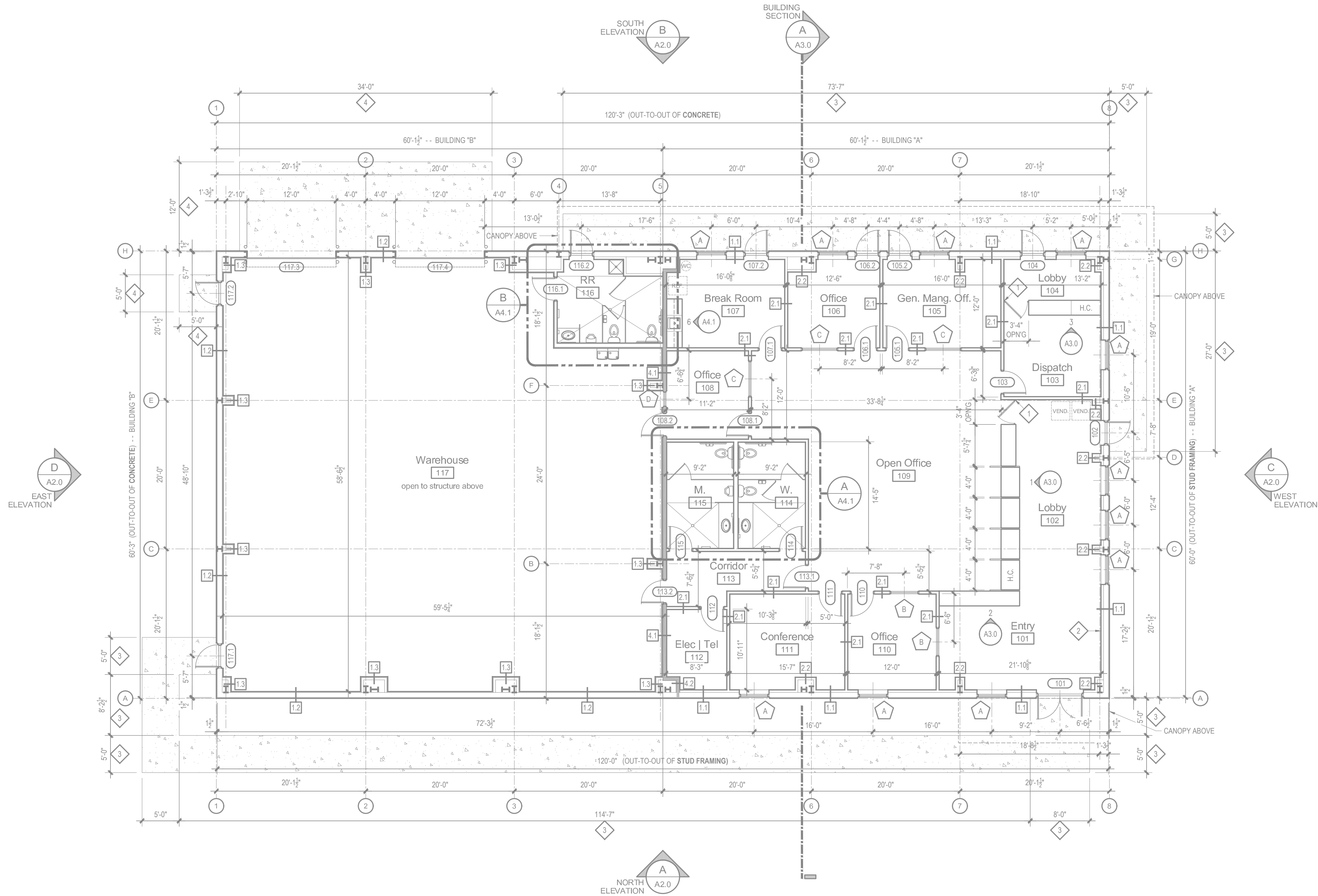
\* - CONTROL WITH PHOTOCELL AND SEVEN (7) DAY TIMECLOCK.

CIRCUIT SCHEDULE FOR PANEL												A							
VOLT		100/208		PHASE		3		WIRE		4		A. MAINS		---		A. MCB		---	
FEEDER																			
TYPE PANEL		---		MOUNTING		---		A.I.C.		---		REMARKS		---					
CIRCUIT BREAKER NO	TRIP	WIRE SIZE	LOAD WATTS	SERVICE DESCRIPTION	PHASE			SERVICE DESCRIPTION	LOAD WATTS	WIRE SIZE	CIRCUIT BREAKER TRIP	NO							
					A	B	C												
43	30	10	2400	CU - 1				CU - 2	2400	10	44								
45	---	10	2400	-----				-----	2400	10	46								
47	---	10	2400	-----				-----	2400	10	48								
49	30	10	2400	CU - 3				CU - 4	2400	10	50								
51	---	10	2400	-----				-----	2400	10	52								
53	---	10	2400	-----				-----	2400	10	54								
55	---	---	---	SPACE				HWH - 1	8000	3	56								
57	---	---	---	SPACE				-----	8000	3	58								
59	---	---	---	SPACE				-----	8000	3	60								
61	20	---	---	SPARE				SPARE	---	---	62								
63	20	---	---	SPARE				SPARE	---	---	64								
65	30	10	1680	AHU - 1				AHU - 2	1680	10	66								
67	---	10	1680	-----				-----	1680	10	68								
69	---	10	1680	-----				-----	1680	10	70								
71	30	10	1680	AHU - 3				AHU - 4	1680	10	72								
73	---	10	1680	-----				-----	1680	10	74								
75	---	10	1680	-----				-----	1680	10	76								
77	---	---	---	SPACE				SPACE	---	---	78								
79	---	---	---	SPACE				SPACE	---	---	80								
81	---	---	---	SPACE				SPACE	---	---	82								
83	---	---	---	SPACE				SPACE	---	---	84								
TOTAL		80,760W		DEMAND		83,467W													

SERVICE LOAD CALCULATION PANEL "A"			
LOAD DESCRIPTION	CONNECTED LOAD (KVA)	DEMAND CALCULATION	DEMAND LOAD (KVA)
LIGHTING	3.0	+ 20%	3.6
RECEPTACLE	15.4	100%	15.4
HVAC - AHU	28.8	100%	28.8
HVAC - COND UNIT	20.1	100%	20.1
HWH	24.0	100%	24.0
ELECTRIC HEATERS	50.0	100%	50.0
TOTAL CONNECTED LOAD (KVA)	141.3	TOTAL DEMAND LOAD (KVA)	141.9
DEMANDS CURRENT - 120/208 VOLT 3 PHASE 4 WIRE		TOTAL SERVICE AMPS - 394.16 AMPS	







**FLOOR PLAN**  
Scale: 1/8" = 1'-0"

NOTES:

GENERAL NOTES:

- EXTERIOR AND INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD FRAMING TO FACE OF STUD FRAMING (UNLESS OTHERWISE NOTED).
- DOORS AND WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE OPENING (UNLESS OTHERWISE NOTED).
- EDGE OF DOOR JAMB FRAMING IS LOCATED 4" FROM CORNER (UNLESS OTHERWISE NOTED).
- IN LOCATIONS WHERE CASEWORK, PLUMBING FIXTURES AND TOILET ACCESSORIES ARE INSTALLED ON DRYWALL PARTITION, PROVIDE WOOD BLOCKING FOR SOLID MOUNT ATTACHMENT PER MANUFACTURER'S RECOMMENDATIONS.

PLAN KEY NOTES:

- WHERE GATE ATTACHES TO WALL, PROVIDE WOOD BLOCKING FOR SOLID MOUNT ATTACHMENT
- WHERE LOBBY MONITOR IS INSTALLED (COORDINATE w/ ELECTRICAL DRAWINGS), PROVIDE WOOD BLOCKING FOR SOLID MOUNT ATTACHMENT
- CONCRETE SIDEWALK
- CONCRETE PAD w/ METAL BOLLARDS WHERE INDICATED (PAINTED)

WALL TYPES LEGEND:

**WALL TYPE 1.1 (exterior):**

- 1-1/2" PRE-FINISHED METAL (26-gauge) METAL SIDING PANEL
- METAL BUILDING PANEL w/ 3" VINYL FACED F-GLASS INSULATION (R-10)
- 3-5/8" 20-GAUGE METAL STUD FRAMING @ 16"o.c. w/ R-11 BATT INSULATION
- 5/8" GWB (EXTEND TO 6" ABOVE CEILING - U.O.N)
- COORDINATE METAL PANELS w/ METAL BUILDING DRAWINGS

**WALL TYPE 1.2 (exterior):**

- 1-1/2" PRE-FINISHED METAL (26-gauge) SIDING PANEL
- METAL BUILDING PANEL w/ 3" VINYL FACED F-GLASS INSULATION (R-10)
- 1-1/2" PRE-FINISHED METAL (26-gauge) LINER PANEL (EXTEND TO 8'-0" A.F.F. - U.O.N)
- COORDINATE METAL PANELS w/ METAL BUILDING DRAWINGS

**WALL TYPE 1.3 (interior):**

- 1-1/2" PRE-FINISHED METAL (26-gauge) LINER PANEL (EXTEND TO 8'-0" A.F.F. - U.O.N)
- 3-5/8" 20-GAUGE METAL STUD FRAMING @ 16"o.c.
- IN CHASE WALL LOCATIONS: LIMITS OF CHASE WALL DEPENDENT ON TAPER OF METAL BUILDING COLUMNS - COORDINATE w/ METAL BUILDING DRAWINGS

**WALL TYPE 2.1 (interior):**

- 5/8" GWB (EXTEND TO 6" ABOVE CEILING, U.O.N)
- 3-5/8" 20-GAUGE METAL STUD FRAMING @ 16"o.c. w/ SOUND INSULATION
- 5/8" GWB (EXTEND TO 6" ABOVE CEILING, U.O.N)

**WALL TYPE 2.2 (interior):**

- 5/8" GWB (EXTEND TO 6" ABOVE CEILING, U.O.N)
- 3-5/8" 20-GAUGE METAL STUD FRAMING @ 16"o.c.
- IN CHASE WALL LOCATIONS: LIMITS OF CHASE WALL DEPENDENT ON TAPER OF METAL BUILDING COLUMNS - COORDINATE w/ METAL BUILDING DRAWINGS

**WALL TYPE 2.3 (interior):**

- 1-1/2" PRE-FINISHED METAL (26-gauge) LINER PANEL (EXTEND TO 8'-0" A.F.F. - U.O.N)
- 3-5/8" 20-GAUGE METAL STUD FRAMING @ 16"o.c. w/ SOUND INSULATION
- 5/8" GWB (EXTEND TO 6" ABOVE CEILING, U.O.N)

**WALL TYPE 3.1 (interior):**

- 5/8" GWB (EXTEND TO 6" ABOVE CEILING, U.O.N)
- 6" 20-GAUGE METAL STUD FRAMING @ 16"o.c. w/ SOUND INSULATION
- 5/8" GWB (EXTEND TO 6" ABOVE CEILING, U.O.N)

**WALL TYPE 3.2 (interior):**

- 1-1/2" PRE-FINISHED METAL (26-gauge) LINER PANEL (EXTEND TO 8'-0" A.F.F. - U.O.N)
- 6" 20-GAUGE METAL STUD FRAMING @ 16"o.c. w/ SOUND INSULATION
- 5/8" GWB (EXTEND TO 6" ABOVE CEILING, U.O.N)

**WALL TYPE 4.1 (interior):**

2-hour fire separation wall

- (2) LAYERS OF 5/8" GWB (fire rated) - EXTEND WALL TO UNDERSIDE OF ROOF AND FIRE SEAL COMPLETE
- 3-5/8" 20-GAUGE METAL STUD FRAMING @ 16"o.c. w/ SOUND INSULATION
- (2) LAYERS OF 5/8" GWB (fire rated) - EXTEND WALL TO UNDERSIDE OF ROOF AND FIRE SEAL COMPLETE

**WALL TYPE 4.2 (interior):**

2-hour fire separation wall

- 1-1/2" PRE-FINISHED METAL (26-gauge) LINER PANEL (EXTEND TO 8'-0" A.F.F. - U.O.N)
- (2) LAYERS OF 5/8" GWB (fire rated) - EXTEND WALL TO UNDERSIDE OF ROOF AND FIRE SEAL COMPLETE
- 3-5/8" 20-GAUGE METAL STUD FRAMING @ 16"o.c. w/ SOUND INSULATION
- (2) LAYERS OF 5/8" GWB (fire rated) - EXTEND WALL TO UNDERSIDE OF ROOF AND FIRE SEAL COMPLETE



1. EXTERIOR LIGHT - REFER TO ELECTRICAL DRAWINGS.
2. LOUVER - REFER TO MECHANICAL DRAWINGS.
3. METAL CANOPY - REFER TO METAL SHOP DRAWINGS.  
CONFIRM COLOR w/ OWNER.
4. METAL BUILDING ROOF PANEL - REFER TO METAL SHOP DRAWINGS.  
CONFIRM COLOR w/ OWNER.
5. METAL SIDING - REFER TO METAL SHOP DRAWINGS.  
CONFIRM LOCATION OF TRIM COLOR (BLUEPRINT-SW4056) w/ OWNER.
6. METAL BOLLARD, PAINTED.



1. DRAWER LOCK
2. 10" x 3/8" CHECK SLOT
3. 2" wide PARTITION BY COPART

