



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of April 23, 2020

UDO Text Amendment, Special Use and Site Plan

RECOMMENDATION: City Development staff recommends approval of the UDO Text Amendment and Special Use and approval of the Site Plan Application subject to the conditions of approval in attached draft Resolutions and Ordinance.

Project Name:	Firestone Complete Auto Care UDO Text Amendment, Special Use and Site Plan
Project Address/Tax Key:	10800 W. Speedway Drive/704 1012 000
Property Owner:	Menard, Inc.
Applicant:	Pavilion Development Company
Current Zoning:	M-1 Limited Industrial District
2025 Comprehensive Plan:	Commercial
Action Requested:	Recommendation of approval of the UDO Text Amendment and Special Use and approval of the Site Plan Application

Introduction

Please note:

- Staff recommendations are underlined, in italics and are included in the draft ordinance.
- Staff suggestions are only underlined and are not included in the draft resolution.

The applicant, Pavilion Development Company, filed the applications below for the development of a Firestone Complete Auto Care facility for property located at 10800 W. Speedway Drive.

- **UDO Text Amendment**

The applicant is requesting to amend Table 15-3.0603 of the Unified Development Ordinance to allow Standard Industrial Classification No. 7539 Automotive Repair Shops, Not Elsewhere Classified as a Special Use within the M-1 District. Currently this SIC Code is not allowed.

- **Special Use**

The Firestone Complete Auto Care use primarily involves the sale of tires and minor automotive repair. The retail sales of tires business use are allowed as a Special Use in the M-1 District under SIC Code No. 5531 Auto and Home Supply Stores. The minor automotive repair is allowed under SIC Code No. 7539, which is proposed to be added to the M-1 District as a Special Use. The applicant's responses to Special Use standards are attached for review.

The applicant has indicated that no commercial vehicles will be parked overnight onsite.

- **Site Plan**

The applicant is proposing to construct a 6,262 square foot building and associated parking, lighting, landscaping and other site amenities upon a 1.23-acre parcel. Site Plan details are further discussed below.

Project Description and Analysis

The subject property is approximately 1.23-acres (53,443 square feet) and is currently vacant. The applicant is proposing to construct a 6,262 square foot Firestone Complete Auto Care facility with eight service bays.

The site plan includes the auto care building as well as associated parking, landscaping, lighting, and storm water management facilities. The plan also includes a trash enclosure on the south side of the building. Staff suggests that elevations of the proposed trash enclosure be provided for staff review and approval.

The site will be accessible from West Speedway Drive as no access is allowed via S. Lovers Lane Road (S.T.H. 100). The site plan also provides cross access to the vacant property to the northwest. As such, it is recommended that a cross-access easement agreement be provided and recorded with the Milwaukee County Register of Deeds prior to issuance of an Occupancy Permit.

The driveway opening to West Speedway Road appears to exceed 24-feet at the street right-of-way line and 30-feet at the roadway, which is the maximum allowed per Section 15-5.0207 of the UDO. This Section also states that the Plan Commission may allow wider ingress/egress at the right-of-way line in non-residential districts.

The Site Plan includes 32 parking spaces, including two ADA accessible spaces. The UDO recommended Standard Parking Ratio is four parking spaces per service bay. The proposed building has seven service bays, thus 28 parking spaces are recommended. The applicant is exceeding this standard by four spaces. Note that all parking spaces are 9-feet wide and 180 square feet, which complies with the minimum parking space size required by the UDO.

Staff would note the proposed site plan has about 25,010 square feet of greenspace and 28,433 square feet of impervious surface or a greenspace ratio of about 46.8%. This complies with the M-1 District development standards, which requires a minimum Landscape Surface Ratio of 40%. UDO requirements regarding plantings have been met.

Information about natural resources on the site was not provided. As required by Section 15-7.0201 of the UDO, Staff recommends that the applicant provide a letter from a qualified professional stating that no natural resources exist on the property prior to the issuance of building permits.

A photometric plan which complies with Division 15-5.0400 of the Unified Development Ordinance is required. It is recommended that the applicant provide a photometric plan for staff review and approval, prior to the issuance of building permits.

The applicant has provided a grading plan and discusses storm water management within its project narrative. Staff recommends that a final grading, erosion control and storm water management shall be subject to review and approval by the Engineering Department, prior to any land disturbing activities.

Sign plans have been provided and include wall signs and a monument sign adjacent to S.T.H. 100/Lovers Lane Road. It is recommended that all proposed signage shall comply with the requirements of Chapter 210 of the City's Municipal Code and must receive a Sign Permit from the Inspection Department prior to installation.

Staff recommended the several improvements to architecture in staff comments, based on the requirements of Section 15-7.0802 of the UDO. The applicant has provided revised elevations which include the addition of brick as a primary material, and better reflect the architecture of the adjacent Kwik Trip and Waterstone Bank developments. It is suggested that the, north, and west elevations should incorporate architectural elements similar to the south and east sides of the building or otherwise be enhanced.

Recommendation

It is recommended that the Plan Commission recommend approval of the UDO Text Amendment and Special Use for Firestone Complete Auto Care and approve the Site Plan, contingent upon approval of the UDO Text Amendment and Special Use, and subject to the conditions in the attached draft resolution.

ORDINANCE NO. 2020-____

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE TEXT AT
TABLE 15-3.0603 STANDARD INDUSTRIAL CLASSIFICATION TITLE NO. 7539
“AUTOMOTIVE REPAIR SHOPS, NOT ELSEWHERE CLASSIFIED” TO ALLOW FOR
SUCH USE AS A SPECIAL USE IN THE M-1 LIMITED INDUSTRIAL DISTRICT
(PAVILION DEVELOPMENT COMPANY, APPLICANT)

WHEREAS, Table 15-3.0603 of the Unified Development Ordinance sets forth the permitted and special uses in the nonresidential zoning districts; and

WHEREAS, Pavilion Development Company having applied for a text amendment to Table 15-3.0603, Standard Industrial Classification Title No. 7539 “Automotive Repair Shops, Not Elsewhere Classified”, to allow for such use as a Special Use in the M-1 Limited Industrial District; and

WHEREAS, the Plan Commission having reviewed the proposed amendment to allow for Standard Industrial Classification Title No. 7539 “Automotive Repair Shops, Not Elsewhere Classified” as a Special Use in the M-1 Limited Industrial District, and having held a public hearing on the proposal on the 23rd day of April, 2020 and thereafter having recommended approval of such amendment; and

WHEREAS, the Common Council having accepted the recommendation of the Plan Commission and having determined that the proposed amendment is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and will serve to further orderly growth and development and promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: Table 15-3.0603 of the Unified Development Ordinance of the Municipal Code of the City of Franklin, Wisconsin, only as it pertains to: Standard Industrial Classification Title No. 7539 “Automotive Repair Shops, Not Elsewhere Classified”, is hereby amended as follows: insert “S” (Special Use) in the M-1 column.

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

ORDINANCE NO. 2020-____

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SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2020-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS FOR
THE APPROVAL OF A SPECIAL USE TO OPERATE AN AUTOMOTIVE
MINOR REPAIR (PRIMARY USE) AND TIRE RETAIL SALES AND
INSTALLATION (ACCESSORY USE) BUSINESS UPON PROPERTY
LOCATED AT 10800 WEST SPEEDWAY DRIVE
(PAVILION DEVELOPMENT COMPANY, APPLICANT)

WHEREAS, Pavilion Development Company having petitioned the City of Franklin for the approval of a Special Use within an M-1 Limited Industrial District under Standard Industrial Classification Title No. 7539 “Automotive Repair Shops, Not Elsewhere Classified” (which is contingent upon approval of the concurrent Unified Development Ordinance Text Amendment to allow Standard Industrial Classification Code No. 7539 as a Special Use within the M-1 Limited Industrial District), and for a Special Use under Standard Industrial Classification Title No. 5531 “Auto and home supply stores”, to operate an automotive minor repair (primary use) and tire retail sales and installation (accessory use) business (Firestone Complete Auto Care), with hours of operation from 7:00 a.m. to 7:00 p.m., Monday through Friday, 7:00 a.m. to 6:00 p.m. on Saturdays, and 9:00 a.m. to 5:00 p.m. on Sundays, upon property located at 10800 West Speedway Drive (approximately 900 feet northeast of the intersection of South Lovers Lane Road and West Speedway Drive, on the north side of West Speedway Drive [near the Kwik Trip convenience store property]), bearing Tax Key No. 704-1012-000, more particularly described as follows:

Lot 2 of Certified Survey Map No. 8519, recorded February 21, 2013 as Document Number 10219102, being a division of Lots 2 and 3 Certified Survey Map No. 7721, being a part of the Southeast 1/4 of the Northeast 1/4 of Section 6 and part of the Southwest 1/4 of the Northwest 1/4 of Section 5, all in Town 5 North, Range, 21 East, in the City of Franklin, Milwaukee County, Wisconsin; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 23rd day of April, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic

PAVILION DEVELOPMENT COMPANY – SPECIAL USE
RESOLUTION NO. 2020-_____

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congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Pavilion Development Company, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Pavilion Development Company, successors and assigns, as an automotive repair and tire retail sales and installation business use, which shall be developed in substantial compliance with, and operated and maintained by Pavilion Development Company, pursuant to those plans City file-stamped April 14, 2020 and annexed hereto and incorporated herein as Exhibit A.
2. Pavilion Development Company, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Pavilion Development Company automotive repair and tire retail sales and installation business, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Pavilion Development Company and the automotive repair and tire retail sales and installation business use for the property located at 10800 West Speedway Drive: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

BE IT FURTHER RESOLVED, that in the event Pavilion Development Company, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon

PAVILION DEVELOPMENT COMPANY – SPECIAL USE
RESOLUTION NO. 2020-_____

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notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

ATTEST:

Stephen R. Olson, Mayor

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2020-____

A RESOLUTION APPROVING A SITE PLAN FOR CONSTRUCTION
OF A FIRESTONE COMPLETE AUTO CARE FACILITY WITH EIGHT SERVICE
BAYS AND ASSOCIATED PARKING, LIGHTING, LANDSCAPING, STORMWATER
MANAGEMENT, UTILITY CONNECTIONS AND OTHER SITE AMENITIES
(AT APPROXIMATELY 10800 WEST SPEEDWAY DRIVE)
(PAVILION DEVELOPMENT COMPANY, APPLICANT,
MENARD, INC., PROPERTY OWNER)

WHEREAS, Pavilion Development Company having applied for approval of a proposed site plan to construct a 6,262 square foot Firestone Complete Auto Care facility (tire sales/installation and minor automobile repair with mercantile showroom) with eight service bays and associated parking (approximately 32 spaces), lighting, landscaping, stormwater management, utility connections and other site amenities, including vehicular and pedestrian circulation, a trash enclosure and used inventory storage enclosure, with hours of operation from 7:00 a.m. to 7:00 p.m., Monday through Friday, 7:00 a.m. to 6:00 p.m. on Saturdays, and 9:00 a.m. to 5:00 p.m. on Sundays, upon a vacant 1.23 acre parcel, property located at 10800 West Speedway Drive (approximately 900 feet northeast of the intersection of South Lovers Lane Road and West Speedway Drive, on the east side of West Speedway Drive), zoned M-1 Limited Industrial District; Tax Key No. 704-1012-000; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the construction of a 6,262 square foot Firestone Complete Auto Care facility (tire sales/installation and minor automobile repair with mercantile showroom) with eight service bays and associated parking (approximately 32 spaces), lighting, landscaping, stormwater management, utility connections and other site amenities, including vehicular and pedestrian circulation, a trash enclosure and used inventory storage enclosure, with hours of operation from 7:00 a.m. to 7:00 p.m., Monday through Friday, 7:00 a.m. to 6:00 p.m. on Saturdays, and 9:00 a.m. to 5:00 p.m. on Sundays, upon a vacant 1.23 acre parcel, property located at 10800 West Speedway Drive (approximately 900 feet northeast of the intersection of South Lovers Lane Road and West Speedway Drive, on the east side of West Speedway Drive), as depicted upon the plans dated April 14, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

PAVILION DEVELOPMENT COMPANY – SITE PLAN
RESOLUTION NO. 2020-_____

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1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for Pavilion Development Company, for the Firestone Complete Auto Care facility, dated April 14, 2020.
2. Pavilion Development Company, successors and assigns, and any developer of the Firestone Complete Auto Care facility construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Firestone Complete Auto Care facility construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon Pavilion Development Company, for the Firestone Complete Auto Care facility construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Firestone Complete Auto Care facility construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. The applicant shall provide a letter from a qualified professional stating that no natural resources exist on the property prior to the issuance of building permits.
6. The applicant shall obtain Engineering Department approval of the final grading, erosion control, and storm water management plans prior to any land disturbing activities.
7. The applicant shall prepare a Cross Access Easement for review by City staff and approval by the Common Council prior to issuance of any Building Permit. In addition, the applicant shall record the Cross Access Easement with the Milwaukee County Register of Deeds Office prior to issuance of any Occupancy Permit.
8. The applicant shall provide a photometric plan for staff review and approval, prior to the issuance of building permits.

PAVILION DEVELOPMENT COMPANY – SITE PLAN
RESOLUTION NO. 2020-_____

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Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____
day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of
Franklin this _____ day of _____, 2020.

APPROVED:

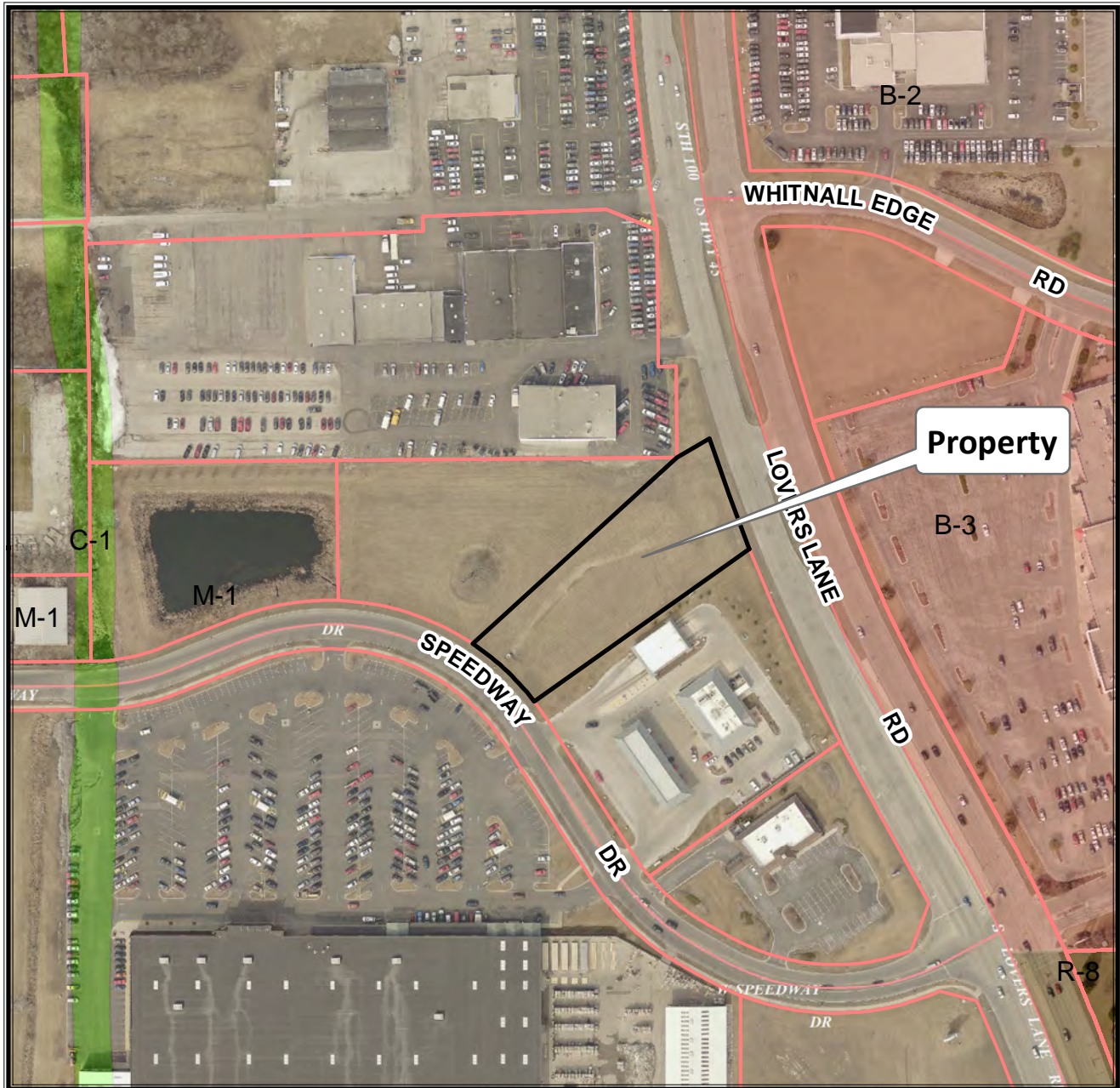
ATTEST:

Stephen R. Olson, Chairman

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

10800 W. Speedway Drive
TKN: 704 1012 000



Planning Department
(414) 425-4024

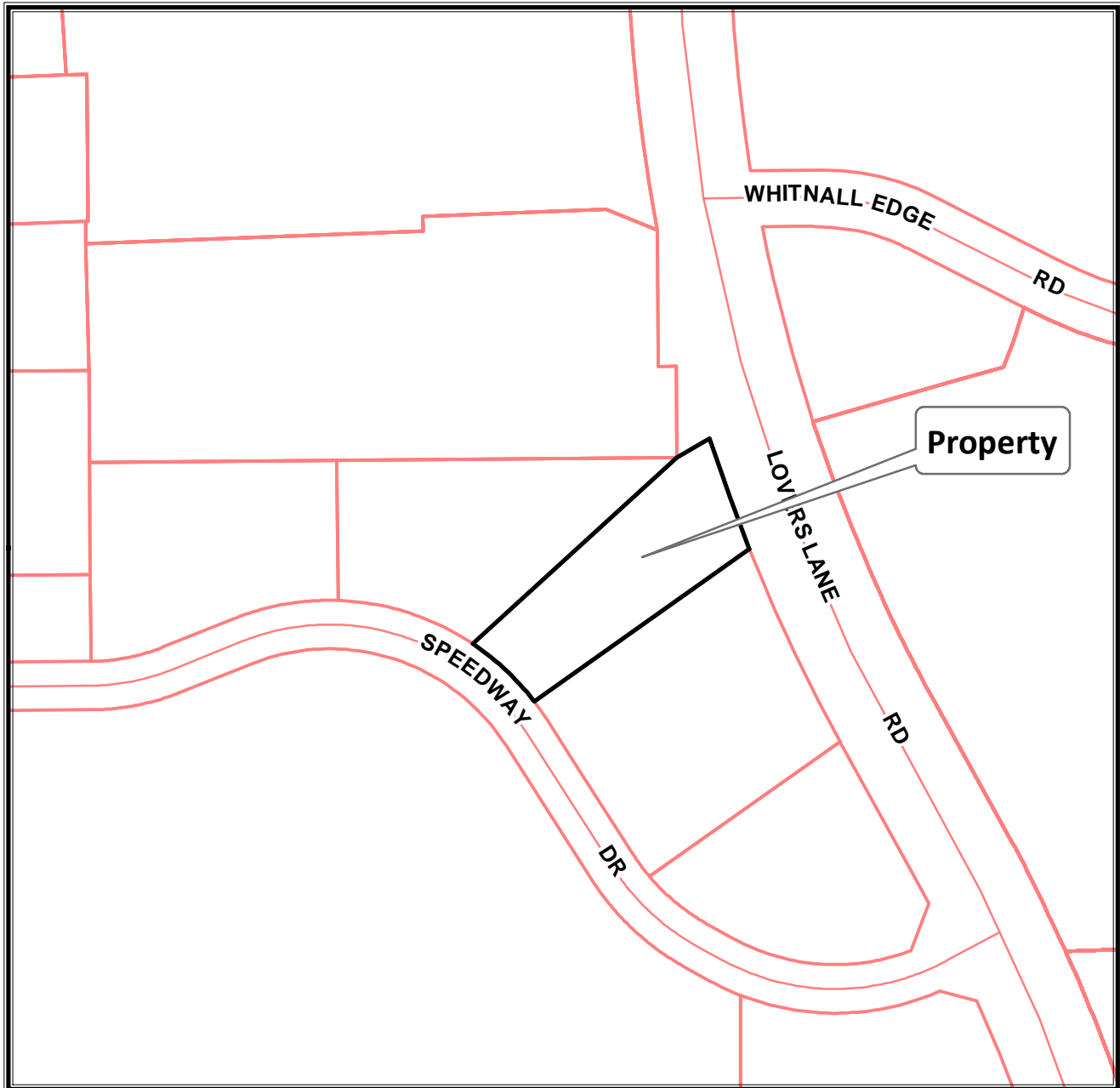
0 130 260 520 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.


NORTH
2017 Aerial Photo



10800 W. Speedway Drive
TKN: 704 1012 000



Planning Department
(414) 425-4024

0 130 260 520 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





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LANDSCAPE ARCHITECTS ■ ENVIRONMENTAL SCIENTISTS

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04/09/2020

Planning and Zoning Department
City of Franklin
Attn: Mrs. Marion Eck
9229 W. Loomis Road
Franklin, WI 53132

RE: Building Plan Review – Comment Response Letter
10800 W. Speedway Drive – New Firestone Complete Auto Care

Below are the responses to the Civil Plan review comments received on the proposed Firestone Complete Auto Care located at 10800 W. Speedway Drive.

Review Comments:

Unified Development Ordinance (UDO) Requirements

1. Note that a cross-access easement is recommended to be recorded with Milwaukee County for the access to the property to the northwest.

Acknowledged. Easement will be recorded with the County.

2. The building setback (abutting S.T.H. 100) is 40-feet per Section 15-5.0108B of the UDO. Please revise accordingly.

Acknowledged. Revised setbacks are included in the site plan.

3. Is 10-feet of concrete paving and a 20-foot drive aisle sufficient area for cars maneuvering in and out of service bays and parking spaces on the opposite side of the drive aisle? It appears many Firestone locations have more room in this area of the site. Note that a minimum 24' drive aisle is required. It is recommended that the drive aisle outside of the concrete paving be at least 24 feet.

•Please consider requesting a reduced west side yard setback to allow the building to be shifted in order to provide a 24' drive aisle width or greater as may be necessary. Per Section 15-3.0701A.7. the Common Council, pursuant to a Plan Commission recommendation, may modify district regulations.

The drive aisle in front of the building is 30 ft wide which exceeds the code required 24' width for aisle with 90-degree parking spaces. 30ft aisle is Bridgestone standard implemented throughout the country for their stores.

4. Is the temporary construction easement already in place and agreed to by the adjacent property owner?

The temporary construction easement has been verbally agreed upon, document will be provided as required by the City.

5. Note that no outdoor storage is allowed, except outdoor retail sales areas as may be approved by the Plan Commission. If any outdoor sales areas are proposed, please illustrate the location on the Site Plan.

Acknowledged. Temporary outdoor display examples will be submitted to the City prior to the meeting for review and consideration.

6. The Landscape Plan includes one sheet of the Site Intensity and Capacity Calculations according to the procedure in DV 15-3.0500 (<https://ecode360.com/33224849>)

Acknowledged. Landscape plan has been revised to include the all required tables per comment.

7. Please provide an elevation of the trash enclosure. It is noted that the enclosure will be of similar building materials as the principal building; however, those materials should be specifically identified.

Acknowledged. Trash elevation is provided with this submittal.

8. Please provide landscape screening around the transformer pad as may be possible.

Acknowledged. Landscape plan has been revised and landscape screening provided around the transformer.

9. Please provide a 30-foot Landscape Buffer yard Easement adjacent to South Lovers Lane Road (S.T.H. 100). Note that no structures shall be allowed within this easement.

Acknowledged. 30-foot landscape buffer is shown on the plan.

10. Please show areas for snow storage on the Landscape Plan in accordance with Section 15-5.0210 of the UDO.

Acknowledged. Snow storage areas as required by UDO have been shown on the Landscape Plan.

11. Please list plantings by type in Plant Schedule (Canopy/Shade Trees, Evergreens, Decorative Trees, and Shrubs). The UDO requires seven plantings of each type based on 32 parking spaces provided. Please demonstrate that this requirement as well as the minimum planting size requirements are being met.

Acknowledged. Landscape Schedule has been revised per comment.

12. Also note that at least two species of each type are required.

Acknowledged. Landscape plan has been revised to include at least two species of each type tree.

13. Please provide irrigation in compliance with Section 15-5.0303D. of the UDO and note the method of irrigation on the Landscape Plan.

Acknowledged. Irrigation plan provided.

14. A minimum 2-year planting guaranty is recommended and should be noted on the Landscape Plan (see Section 15-5.0303G.3. of the UDO).

Acknowledged. Note added to the plans

15. Note that all landscaping shall be completed prior to issuance of an Occupancy Permit.

Acknowledged. Note added to the plans.

16. Please provide a Lighting Plan in conformance with Division 15-5.0400. Please include catalog/cut sheets for all light types. What is the peak height of light poles, including the base and fixture (i.e. measured from grade)?

Acknowledged. Photometric plan is included in the set.

17. Note that Engineering Department approval of the final grading, erosion control, and storm water management plans will be required prior to any land disturbing activities.

Acknowledged. Two copies of these plans will be sent to Sara Arnold with Engineering for review.

18. Please be aware that signage must comply with the City of Franklin Sign Code and is subject to separate review and approval, and issuance of a Sign Permit prior to installation. Please note on the plans that signage is shown for reference only.

Acknowledged. Note has been added to the plans.

19. Architectural revisions are recommended. Please consider Section 15-7.0802 of the UDO and the suggestions below.

- It is recommended that EIFS only be used as an accent material. Brick and stone are the recommended primary building materials. Note the building materials and architecture of the adjacent Kwik Trip and Waterstone Bank developments.

- The east, north, and west elevations should incorporate architectural elements similar to the south and east sides of the building.

- Consider additional bump-outs, variations in building height, building articulation, and other architectural elements that may enhance and improve the architecture of the building.

Acknowledged. The architectural elevations will be revised so that the brick wainscot is raised to be higher than the top of the awnings around all four elevations. This will significantly increase the amount of brick on the building, so the EIFs is only an accent around the top of the building.

20. Please submit a Natural Resource Protection Plan per Section 15-7.0201 of the UDO. If no resources exist onsite, a letter from a qualified professional stating that no resources exist on the property is sufficient.

The site is graded and cleared with no existing trees, no steep slopes nor wetlands. Statement in a letter form by Wisconsin Department Natural Resources will be provided as received.

21. Please be aware of City impact fees. The impact fee schedule can be found on the City's website at https://www.franklinwi.gov/Files/Inspection/Impact_Fees_2020_Revised_3-9-20201.pdf

Acknowledged.

Engineering Department Comments:

Engineering requests additional information to complete the review before its recommendation for approval. Since a complete submittal was not made we cannot offer review comments. The engineer will need to make a complete submittal:

- Two full-size hard copies of the plans
- One hard copy of the require storm water management materials previously discussed in detail with the engineer both in person and in emails (April 23, 2019, and October 10, 2019)
- Electronic copy of the above documents

Acknowledged.

Fire Department Comments

The Fire Department has no comments/concerns regarding the proposed changes and use at this location.

Acknowledged.

Police Department Comments

The Franklin Police Department has reviewed the Special Use, Site Plan, and UDO Text Amendment Applications for 10800 W. Speedway Dr. The Police Department has no issues with this request.

Acknowledged.

Should you have any questions or comments please feel free to give me call.

Sincerely,

Rado Nedkov, Project Manager
CEI Engineering Associates, Inc.
(479) 254-1423



CEI Engineering Associates, Inc.

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December 16, 2019

Planning & Zoning Department
City of Franklin, WI
9229 W Loomis Rd
Franklin, WI 53132

Special Use Permit Application

This letter is in request of Special Use Permit for the proposed Firestone Complete Auto Care development located at Speedway Drive near Lover's Lane in the City of Franklin, SIC 7539 (Auto-repair store, not elsewhere classified), and inclusion of SIC 5531 (Auto and Home Supply Stores) use as an accessory use with this development. Under a separate application we have requested UDO text amendment to allow SIC 7539 (Auto-repair store, not elsewhere classified) as a Special Use in M-1, which the property is zoned currently.

Project Summary

This site is currently a vacant lot and consists of approximately 1.23 acres. The site is located approximately 900 feet northeast of the intersection of S. Lovers Lane Road and West Speedway Drive, on the east side of West Speedway Drive.

This project is a proposed 6,262 SF Firestone Complete Auto Care Store (tire and minor automobile repair with mercantile showroom) with eight vehicle service bays. There will be no servicing of vehicles outside the building. The project will include all necessary site improvements including vehicular and pedestrian circulation, a trash enclosure, used inventory storage enclosure, site lighting, landscaping, stormwater management, and all utility connections.

There are 32 proposed parking spaces with this layout, located along the southeast and northeast building façades. A loading area and screened enclosure at the southwest building wall. There will be shared access provided with the property to the west. Temporary construction easement by the adjacent owner will be issued for the improvements and limited grading on the adjacent lot.

There is an existing sanitary sewer and water main crossing the site in an easement, which will be tapped for service per City standards.

Solutions for Land and Life

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA

Post development storm water runoff will be captured by few inlets on site and connected to existing manhole located near Speedway Drive. That manhole is a part of the overall development storm system which discharges into an existing pond located west of the site. Business sign is located along Lovers Lane and elevations of the proposed sign are included in the submittal package.

The proposed landscaping will be in compliance with the City standards.

Please see the attached operations statement for a brief description of services offered.

Respectfully submitted,

Radoslav Nedkov, RLA, ASLA, CID
Project Manager
CEI Engineering

Attachments (1)



BRIDGESTONE AMERICAS, INC.
200 4th Avenue South
Nashville, TN 37201

BRIDGESTONE / FIRESTONE SITE CRITERIA / FACTS

Firestone is a 100 + year old company with its regional headquarters in Nashville, TN. We operate over 2200 stores nationwide. Our primary competition is Goodyear, Pep Boys, NTB, Discount Tire and numerous other regional competitors. Seventy percent of our customers come from a radius of three miles of the store. Other than the retail sale of tires, our primary focus is Manufacture's Scheduled Maintenance, preventative maintenance and automotive repairs.

General Operational Facts:

- 28-35 Cars per day
- 30- 45 car parking is adequate
- 7-10 employees
- Hours of Operation
 - 7AM – 7 PM Monday through Friday
 - 7AM – 6 PM Saturday
 - 9 AM – 5PM Sunday
- No underground storage tanks are utilized for operations
- Store will be Company owned and Operated or Leased.
- Uses / activities of business
 - Sale and installation of tires & parts
 - Light automotive service including shocks, struts, brakes, tune-ups and other similar types of repairs
 - No heavy engine work
 - No major transmission work
 - No body or painting type work
 - No towing service
- We do not sell over the counter parts / fluids to consumer
- Low noise generation – 40 db outside of building
- All recyclable products are hauled away by licensed recyclers



BRIDGESTONE AMERICAS, INC.
200 4th Avenue South
Nashville, TN 37201

- Most customers drop off vehicles early and are picked up the same day. Cars left overnight are secured in the bays when applicable.

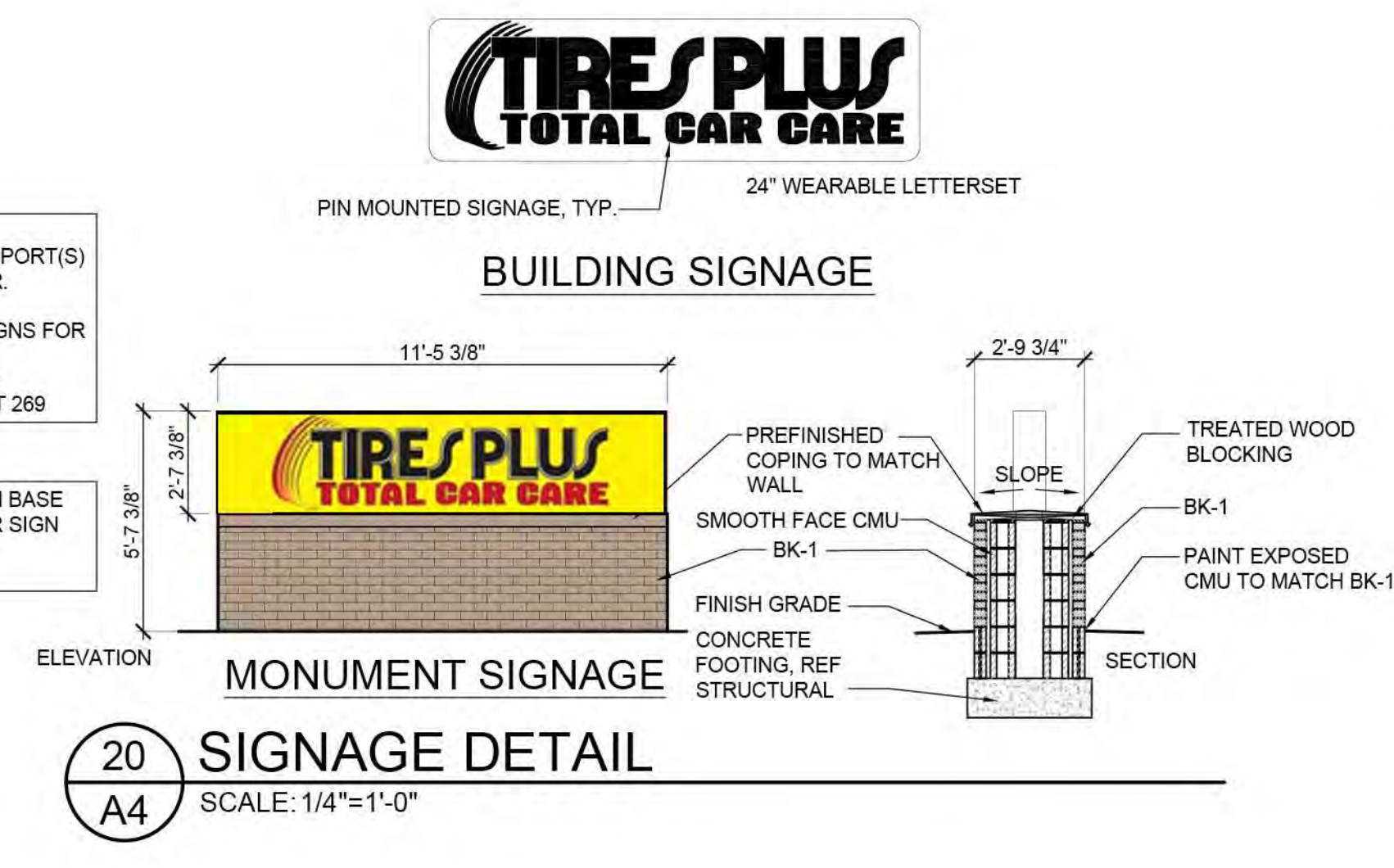
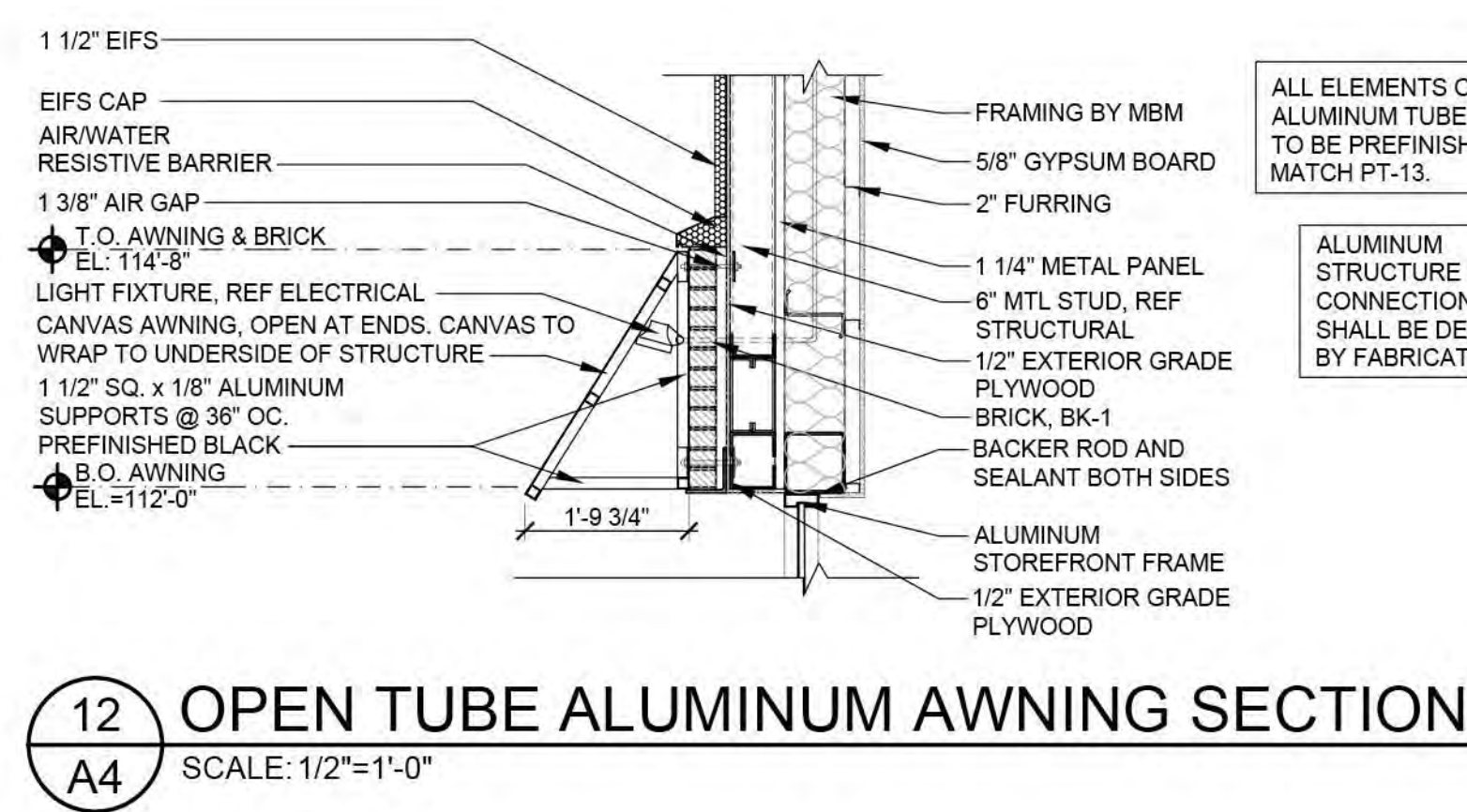
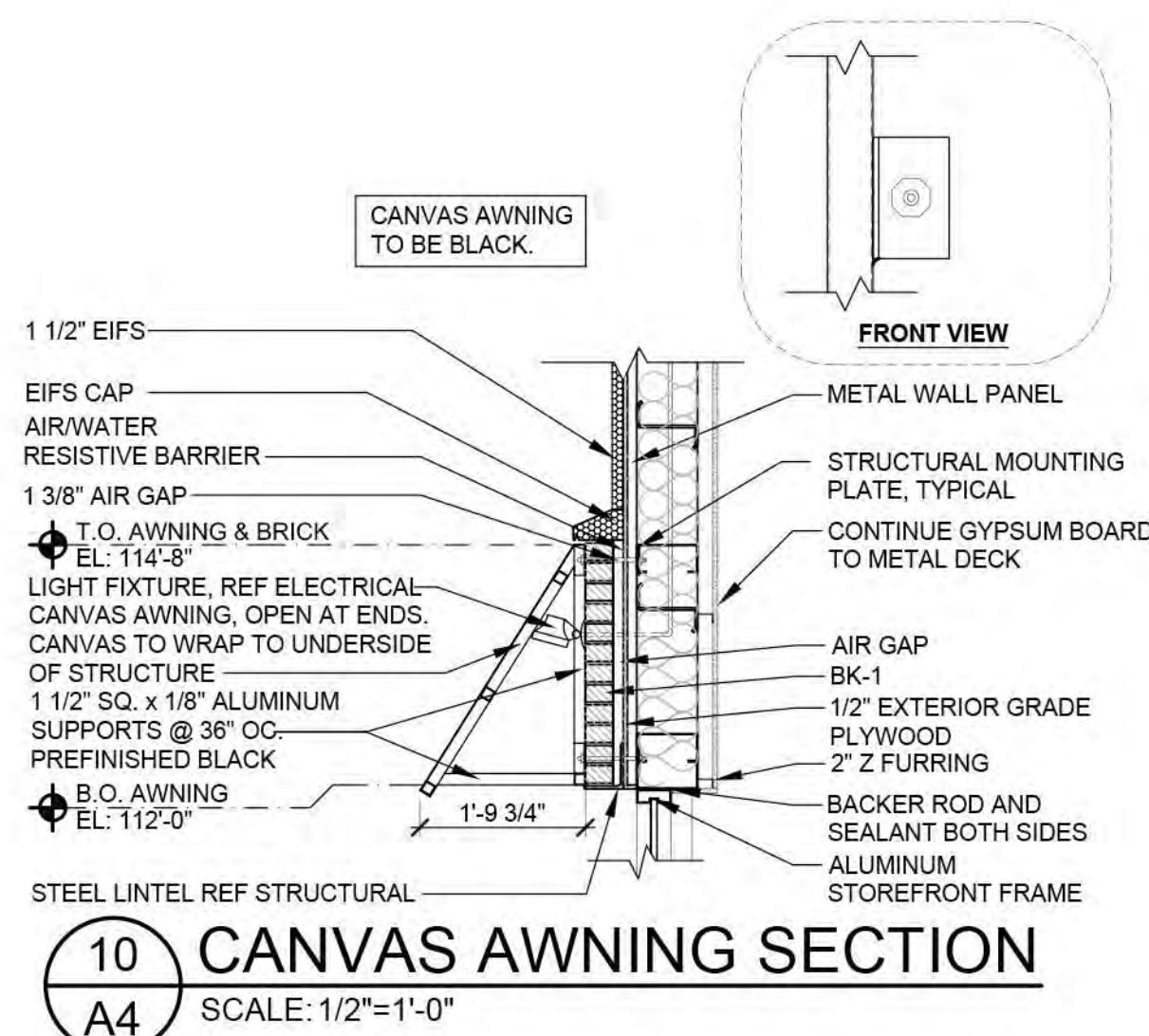
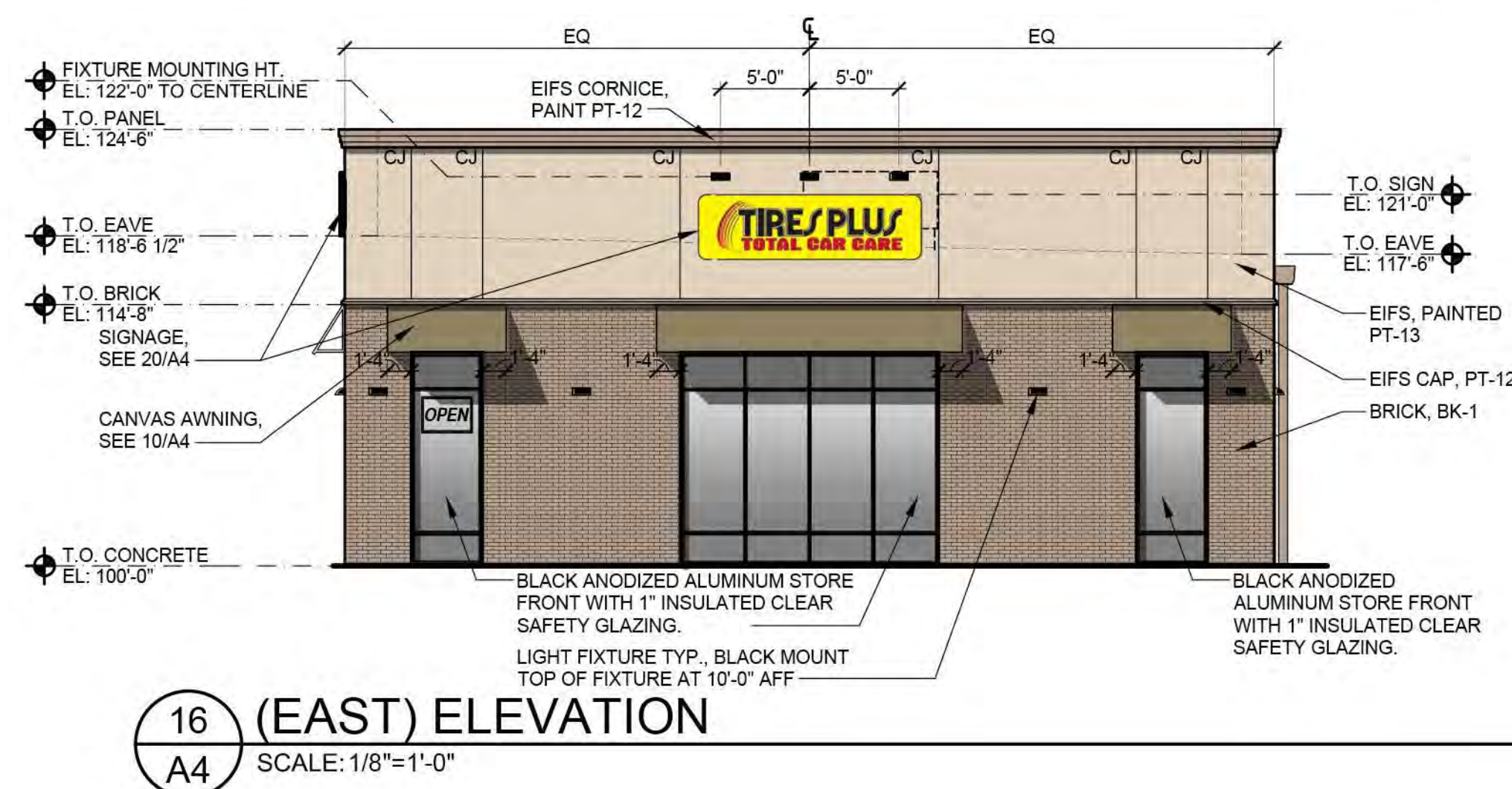
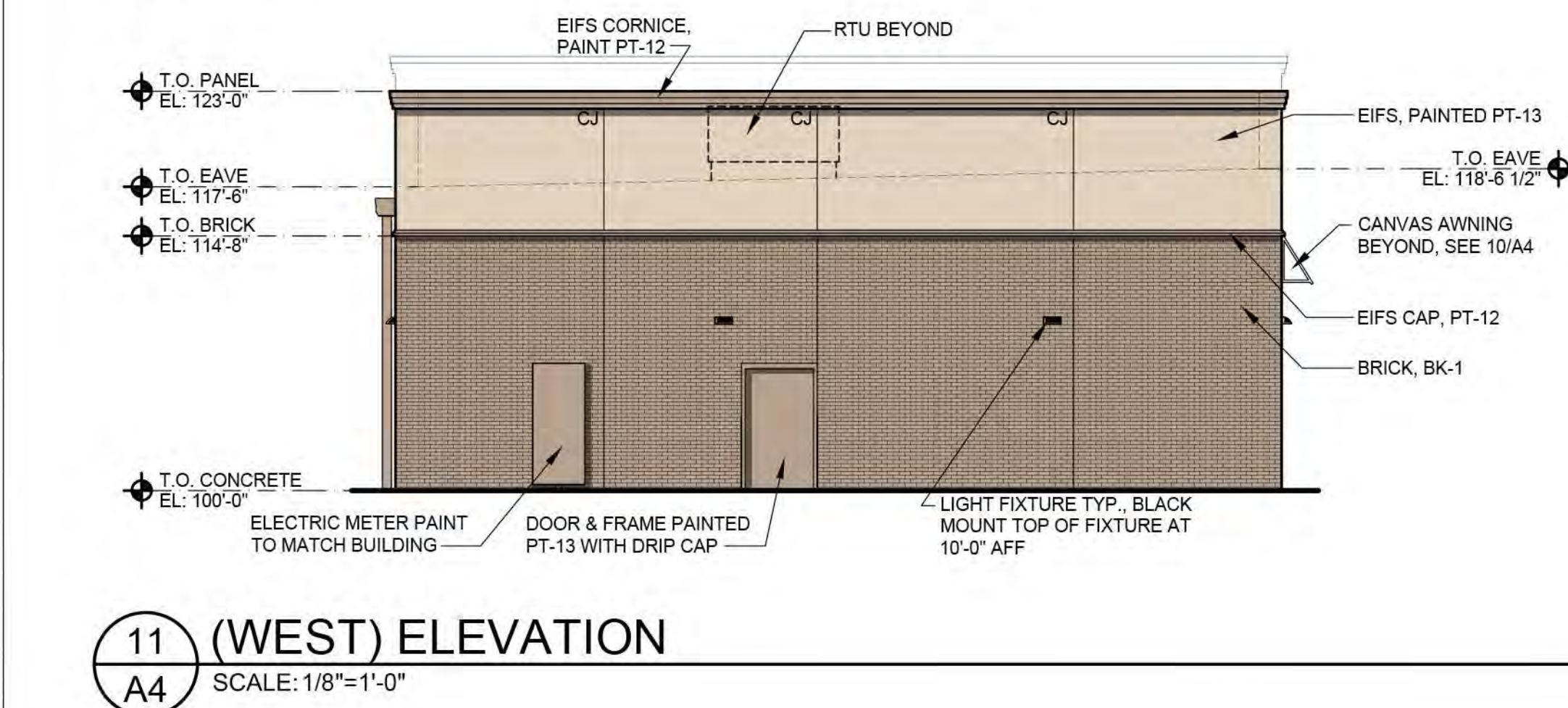
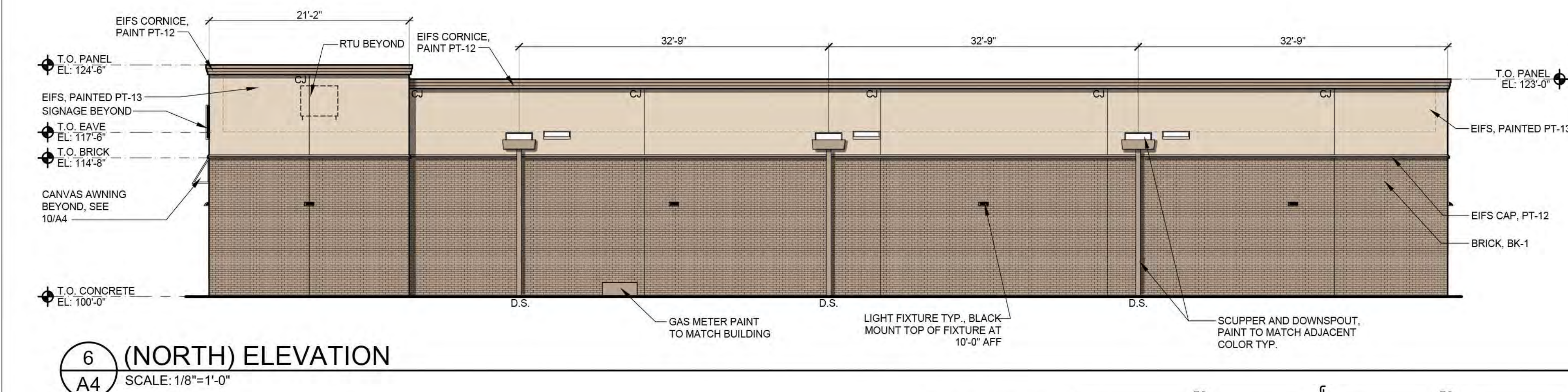
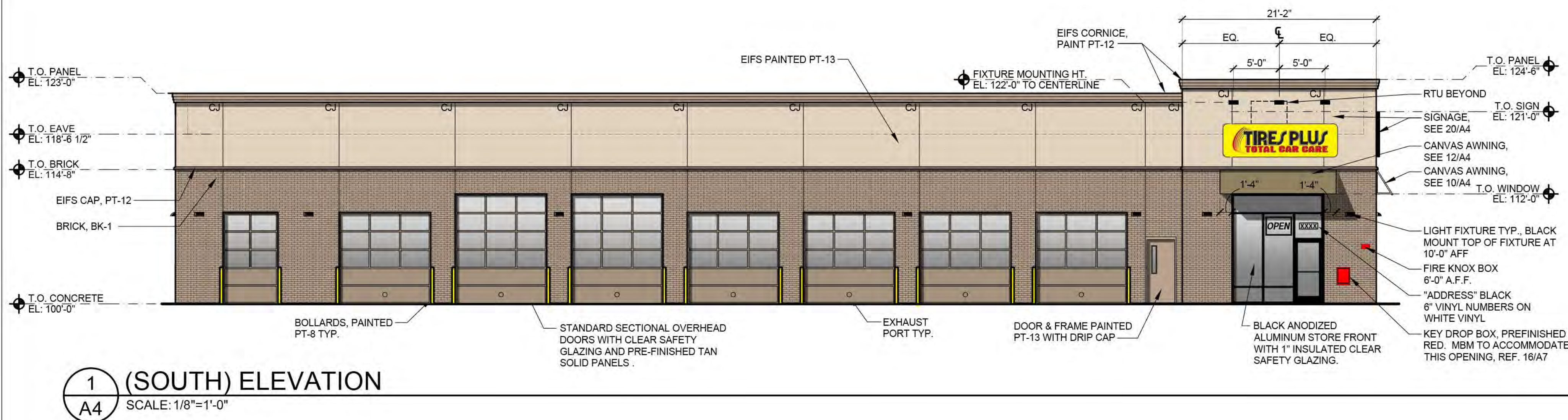
Storage & Waste Issues:

Tire Storage: Our architectural plans provide for a specific area in the building for the storage of used tires. Additionally, we provide for a storage area within the dumpster enclosure to occasionally store (on a temporary basis) small quantities of used tires and metals. We have licensed recyclers who pick up and remove the used products on a regular basis every 7 -10 days. We will also use this same area to store other materials that can be reused / recycled / or reconditioned such as oil filters, brake linings, calipers, exhaust piping, which will be removed by the same licensed recyclers.

Waste Recycling: Our policy is to recycle material whenever possible to remove it from the waste stream. Firestone contracts with duly licensed and insured recyclers to ensure that the disposal of used tires, oil, oil filters, and exhaust systems is accomplished in the most environmentally responsible manner and conforms to all federal and state regulations. Space is provided for the storage of all such materials pending their pickup by a recycler.

Dumpster Enclosure: Our site plan shows two proposed enclosures that will screen a trash dumpster from the neighboring properties. To provide architectural integrity, the dumpster enclosure will be constructed of similar building material as the building itself. A wooden gate, which will remain closed at all times, will provide additional screening for the dumpster and the area inside the enclosure.

Trash Disposal: As a matter of company policy, Firestone restricts the use of its dumpsters to the disposal of trash and discarded parts that can be accepted at landfills. We contract with a licensed waste disposal hauler to dispose of the normal trash associated with operations. Consequently, the dumpster will only be used for cardboard and similar parts packaging materials and discarded parts such as used shock absorbers, air filters, tire valves, etc. that cannot be recycled.



GENERAL NOTES:

1. PROVIDE DRIP CAP OVER ALL MAN DOORS SEE DETAIL 1C/A8
2. PAINT ALL EXPOSED LINTELS & JAMBS TO MATCH ADJACENT BUILDING COLOR.
3. SEE ELECTRICAL FOR SIGNAGE OPERATING TIME SETUP
4. INSTALLATION OF BUILDING SIGNS AND STREET SIGN BY SIGN VENDOR, G.C. TO PROVIDE WIRING. REFER ELECTRICAL.
5. REFER SHEET A8 FOR PAINT COLOR KEY.
6. ANY EXTERIOR CONSTRUCTION JOINT, EXPANSION JOINT, AND CRACK OF ABUTTING DISSIMILAR OR SIMILAR MATERIALS MUST BE APPROPRIATELY PROTECTED TO PROVIDE AN AIR, MOISTURE, AND WATER TIGHT EXTERIOR. REFER TO SPECIFICATION SECTION 079200 FOR PRODUCTS.

MATERIAL KEY:

BK-1: GLEN-GERY "BORDEAUX" (OR EQUAL)

BK-1: GLEN-GERY BRICK "BORDEAUX"

PT-12: "PATIENCE" SW7555

PT-13: TO MATCH BK-1

CANVAS AWNING: BEIGE® by SUNBRELLA

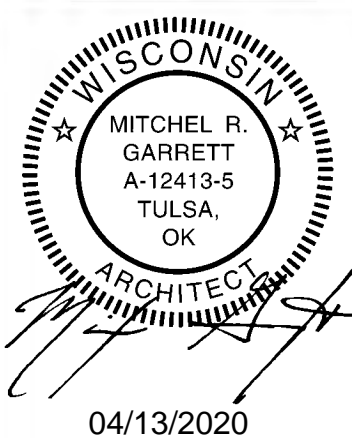
SGA Design Group, P.C.
1437 South Boulder, Suite 550
Tulsa, Oklahoma 74119.3609
p: 918.587.8600
f: 918.587.8601
www.sgadesigngroup.com

TIRES PLUS
TOTAL CAR CARE

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THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT FRANKLIN, WI CONTEMPORANEOUSLY WITH ITS ISSUE DATE ON 7/7/77 AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORISED AND MAY BE CONTRARY TO THE A/E/A.

NEW FCAC STORE
2020 ER
W. SPEEDWAY DR.
FRANKLIN, WI



ISSUE BLOCK

PROPERTY NO.:	16005
6 DIGIT NO.:	90608
4 DIGIT NO.:	017

AOR PROJECT NUMBER: 1955B6
 TO PERMIT: DATE: ##-##-##
 TO BID: DATE: ##-##-##
 KMP

SHEET TITLE:
EXTERIOR
ELEVATIONS
& DETAILS

SHEET NUMBER:

A4

GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY: CHAPUT LAND SURVEYS
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
WWW.CHAPUTLANDSURVEYS.COM
- CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. **WARRANTY/DISCLAIMER:** THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. **SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. **WETLANDS NOTE:** ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. **RESIDENT ENGINEERING SERVICES:** WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.
- L. FINAL APPROVAL WILL BE SUBJECT TO THE ACCEPTANCE OF THE PROPOSED DEVELOPMENT CIVIL DESIGN BY THE BUILDING OFFICIAL.

NOTICE TO BIDDERS:

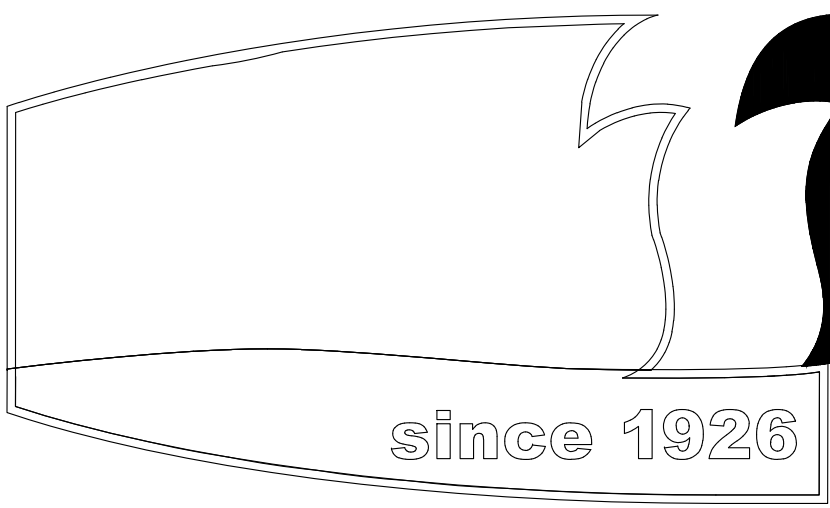
ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT, PAVILION DEVELOPMENT COMPANY, MICHAEL MCDONALD, AT (704) 944-5962.

SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

FLOOD ZONE INFORMATION:

BY SCALED MAP LOCATION AND GRAPHICAL PLOTTING ONLY. THIS PROPERTY IS LOCATED ON ZONE "X" WHICH ARE AREAS OF 0.2% CHANCE FLOOD AND NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOODPLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD INSURANCE RATE MAP FOR MILWAUKEE COUNTY, WI, COMMUNITY PANEL NO. 55079C0141E, EFFECTIVE DATE OF SEPTEMBER 26, 2008.

SITE DEVELOPMENT PLANS FOR



Firestone
COMPLETE AUTO CARE™

W. SPEEDWAY DR
FRANKLIN, WI



Vicinity Map

Not to Scale

PLAN INDEX:

- C0 COVER SHEET
- C1 SITE PLAN
- C2 DEMOLITION PLAN
- C3 GRADING PLAN
- C4 EROSION CONTROL PLAN
- C4.1 EROSION CONTROL NOTES
- C5 UTILITY PLAN
- C6 PAVING PLAN
- C7 LANDSCAPE PLAN
- C7.1 LANDSCAPE NOTES
- C8 IRRIGATION PLAN
- C8.1 IRRIGATION NOTES
- C9 DETAIL SHEET I
- C10 DETAIL SHEET II

ASSOCIATED PLANS:

- 1 OF 1 ALTA/ACSM LAND TITLE SURVEY
- 1 OF 1 PHOTOMETRIC PLAN
- 1 OF 1 TRASH AND USED TIRE ENCLOSURE LAYOUT AND ELEVATIONS

RESOURCE LIST:

OWNER/DEVELOPER
PAVILION DEVELOPMENT COMPANY
5605 CARNEGIE BLVD., SUITE 110
CHARLOTTE, NC 28209
MICHAEL MCDONALD
(704) 273-9472
MM@PAVDEVCO.COM

CIVIL ENGINEER
CET ENGINEERING
3108 SW REGENCY PKWY - SUITE 2
BENTONVILLE, AR
RADO NEDKOV, RLA, ASLA
(479) 273-9472
RNEDKOV@CEIENG.COM

ARCHITECT
SGA DESIGN GROUP
1437 S BOULDER AVE, SUITE 550
TULSA, OK 74119
JEFF DALTON, AIA
(918) 587-9602 EX 255
JEFF@SGADESIGNGROUP.COM

PLANNING & ZONING DEPARTMENT
CITY OF FRANKLIN
9229 W LOOMIS RD
FRANKLIN, WI 53132
MARRION ECK
414-425-4024
BHOHOUT@FRANKLINWI.GOV

ELECTRIC
WE ENERGIES
414-423-6100

STORM SEWER
CITY OF FRANKLIN
9229 W LOOMIS RD
FRANKLIN, WI 53132
SARA ARNOLD
414-425-7510
SARNOLD@FRANKLINWI.GOV

SANITARY SEWER
CITY OF FRANKLIN
9229 W LOOMIS RD
FRANKLIN, WI 53132
MIKE ROBERTS
414-425-7510
MROBERTS@FRANKLINWI.GOV

NATURAL GAS
WE ENERGIES
414-423-6100

FIRE DEPARTMENT
CITY OF FRANKLIN
9229 W LOOMIS RD
FRANKLIN, WI 53132
ADAM REMINGTON
414-425-1420
AREMINGTON@FRANKLINWI.GOV

WATER
CITY OF FRANKLIN
9229 W LOOMIS RD
FRANKLIN, WI 53132
MIKE ROBERTS
414-425-7510
MROBERTS@FRANKLINWI.GOV

APPROVED

CITY OF FRANKLIN

DATE



Engineering
Associates, Inc.

ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS

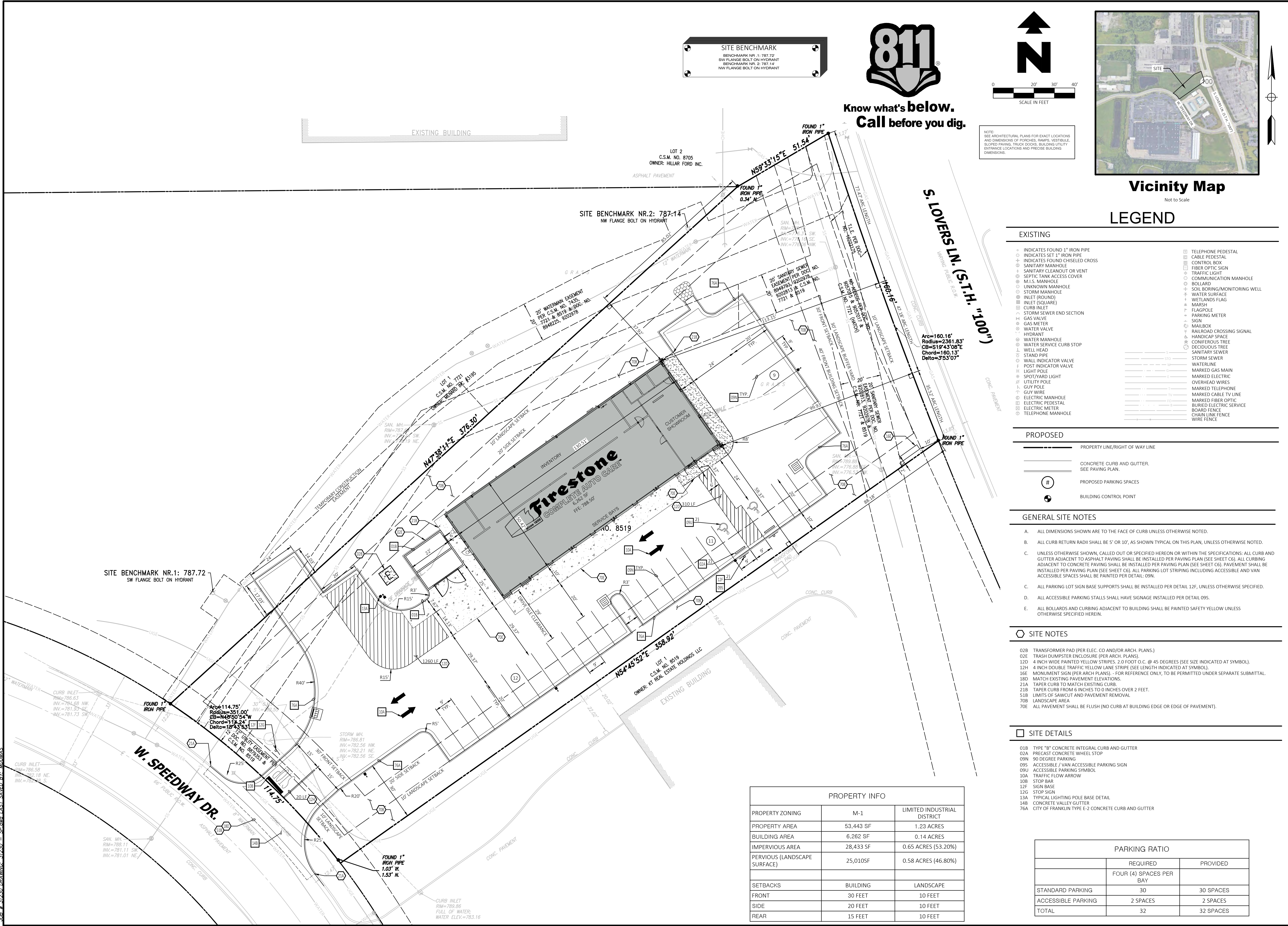
3108 S.W. REGENCY PARKWAY, SUITE 2 (479) 273-9472
BENTONVILLE, AR 72712 fax (479) 273-0844

Arkansas * California * Minnesota * Pennsylvania * Texas



JOB NO.: 31230	
DWG NAME: 31230 - CS	
DATE	SHEET NO.
04/09/2020	C0
REV 1	

JOB # 31230 DRAWING: 31230 - SP.dwg LAST SAVED BY: MOLINAS



Engineering Associates, Inc.
CEI
1000 N. W. SPEEDWAY DR.
FRANKLIN, AR 72030
TEL: (501) 790-1000
FAX: (501) 790-1001

Firestone
COMPLETE AUTO CARE

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NEW FCAC STORE
8-BAY-FCAC-ER-RIGHT
W. SPEEDWAY DR
FRANKLIN, WI

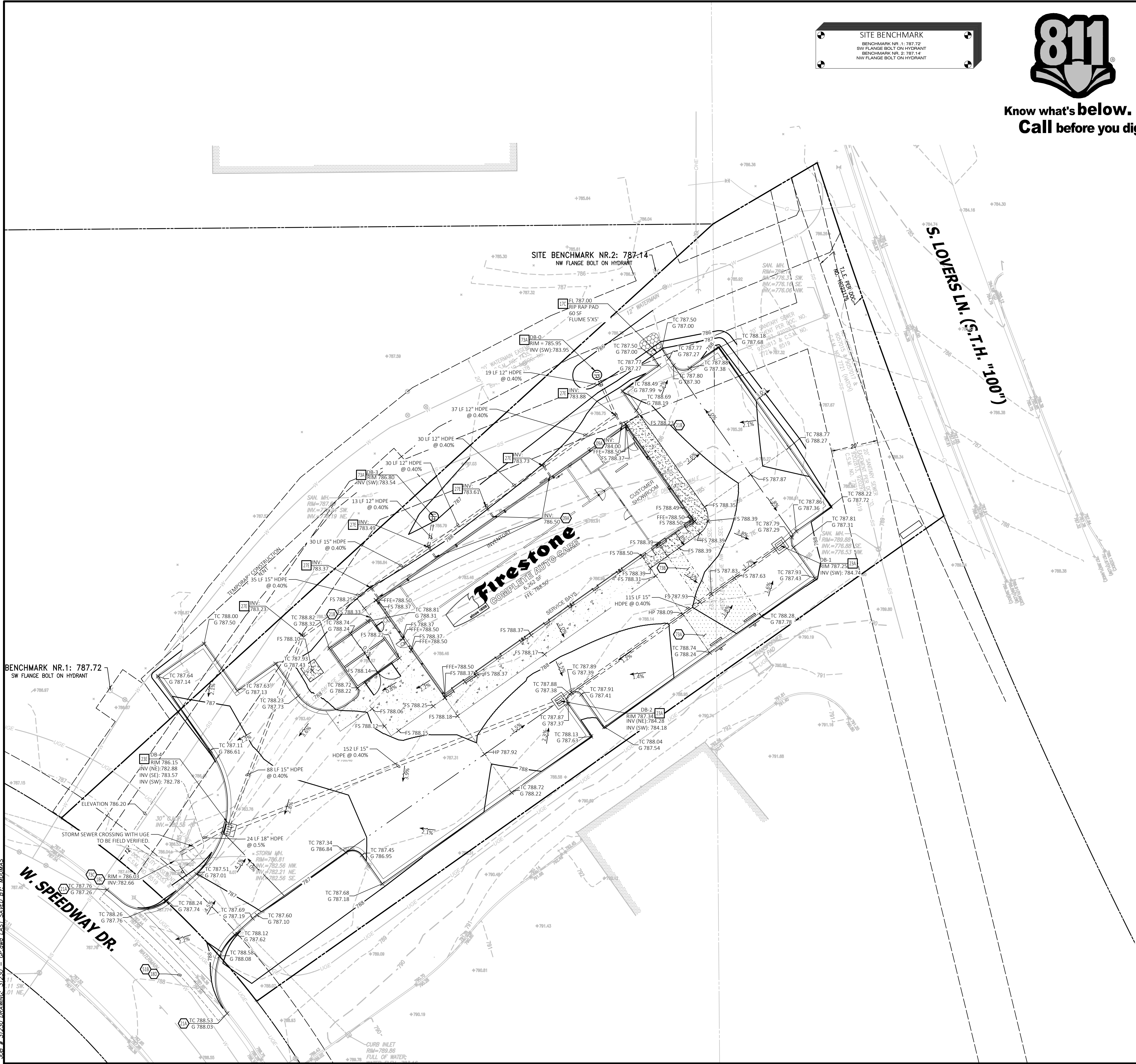
WISCONSIN
ANDREW D. SLYTER
E-43148-6
BENTONVILLE, ARKANSAS
PROFESSIONAL ENGINEER
04/10/2020

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CEI PROJECT NUMBER: 31230
REVISION: REV 1 DATE: 04/09/2020

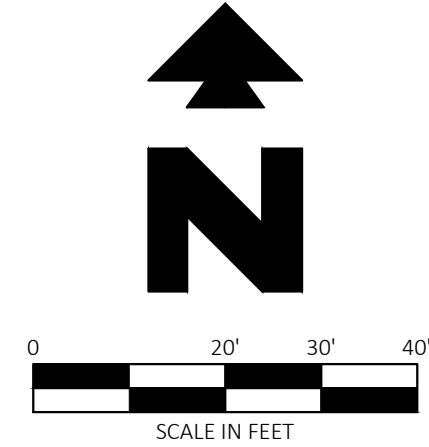
SHEET TITLE:
SITE PLAN

CEI JOB NUMBER
31230
SHEET NUMBER:
C1





SITE BENCHMARK
BENCHMARK NR. 1: 787.72
SW FLANGE BOLT ON HYDRANT
BENCHMARK NR. 2: 787.14
NW FLANGE BOLT ON HYDRANT



Vicinity Map

Not to Scale
Latitude: 36°23'22"N
Longitude: 94°13'18"W

LEGEND

EXISTING

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- INDICATES FOUND CHISELED CROSS
- SANITARY MANHOLE
- SEPTIC TANK ACCESS COVER
- M.I.S. MANHOLE
- UNKNOWN MANHOLE
- STORM MANHOLE
- INLET (ROUND)
- INLET (SQUARE)
- CURB INLET
- STORM SEWER END SECTION
- GAS VALVE
- GAS METER
- WATER VALVE
- HYDRANT
- WATER MANHOLE
- WATER SERVICE CURB STOP
- WELL HEAD
- STAND PIPE
- WALL INDICATOR VALVE
- POST INDICATOR VALVE
- LIGHT POLE
- SPOT/YARD LIGHT
- UTILITY POLE
- GUY POLE
- GUY WIRE
- ELECTRIC MANHOLE
- BURIED ELECTRIC SERVICE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- CONTROL BOX
- FIBER OPTIC SIGN
- TRAFFIC LIGHT
- COMMUNICATION MANHOLE
- BOLLARD
- SOIL BORING/MONITORING WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- FLAGPOLE
- PARKING METER
- SIGN
- MAILBOX
- RAILROAD CROSSING SIGNAL
- HANDICAP SPACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- BURIED ELECTRIC SERVICE
- BOARD FENCE
- CHAIN LINK FENCE
- WIRE FENCE

PROPOSED

- PROPERTY LINE/RIGHT OF WAY LINE
- GRADE BREAK
- XXX CONTOUR ELEVATIONS
- STORM DRAIN
- x XX.XX SPOT ELEVATIONS:
TC = TOP OF CURB
G = GUTTER
FG = FUTURE GRADE
FS = FINISHED SURFACE
- FFE = FINISHED FLOOR ELEVATION
HP = HIGH POINT
INV = INVERT

GENERAL GRADING NOTES

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

GRADING NOTES

- 09A DOWN SPOUTS - (TYP. - PER ARCH. PLANS).
- 18C CONNECT TO EXISTING STORM DRAIN MANHOLE OR INLET.
- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 21A TAPER CURB TO MATCH EXISTING CURB
- 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- 73A ADA AREA, SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION
- 73B PEDESTRIAN CROSSING NO MORE THAN 5% SLOPE ALONG THE PATH OF TRAVEL AND 2% CROSS SLOPE.
- 73C REMOVE SOLID LID AND FRAME AND INSTALL GRATE (J.R. HOE AND SONS PART #LD3-36) IN TOP OF STRUCTURE AND PRESERVE THE STRUCTURE.

GRADING DETAILS

- 17C CONCRETE FLUME WITH RIP RAP TO TOE OF SLOPE
- 23A GRATE INLET
- 23C COMBINATION INLET
- 27E STORM DRAIN CLEAN OUT
- 73A DOME LID DRAIN BASIN (NYLOPLAST)

Engineering Associates, Inc.
CEI
COMPLETE AUTO CARE
FIRESTONE

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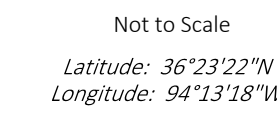
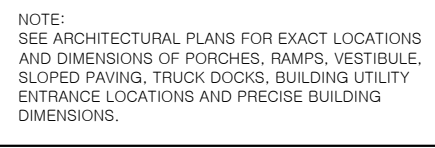
NEW FCAC STORE
8-BAY-FCAC-ER-RIGHT
W. SPEEDWAY DR
FRANKLIN, WI



FILE NAME: 31230 - GP.dwg
CEI PROJECT NUMBER: 31230
REVISION: REV 1 DATE: 04/09/2020

SHEET TITLE:
GRADING PLAN

CEI JOB NUMBER
31230
SHEET NUMBER:
C3



INDICATES FOUND 1" IRON PIPE	TELEPHONE PEDESTAL
INDICATES SET 1" IRON PIPE	CABLE PEDESTAL
INDICATES FOUND CHISELED CROSS	CONTROL BOX
SANITARY MANHOLE	FIBER OPTIC SIGN
SANITARY CLEANOUT OR VENT	TRAFFIC LIGHT
SEPTIC TANK ACCESS COVER	COMMUNICATION MANHOLE
M.I.S. MANHOLE	BOLLARD
UNKNOWN MANHOLE	SOIL BORING/MONITORING WELL
STORM MANHOLE	WATER SURFACE
INLET (ROUND)	WETLANDS FLAG
INLET (SQUARE)	MARSH
CURB INLET	FLAGPOLE
STORM SEWER END SECTION	PARKING METER
GAS VALVE	SIGN
GAS METER	RAILROAD CROSSING SIGNAL
WATER VALVE	HANDICAP SPACE
HYDRANT	CONIFEROUS TREE
WATER MANHOLE	DECIDUOUS TREE
WATER SERVICE CURB STOP	SANITARY SEWER
WELL HEAD	STORM SEWER
STAND PIPE	WATERLINE
WALL INDICATOR VALVE	MARKED GAS MAIN
TOP INDICATOR VALVE	MARKED ELECTRIC
LIGHT POLE	OVERHEAD WIRE
SPOT/YARD LIGHT	MARKED TELEPHONE
UTILITY POLE	MARKED CABLE TV LINE
GUY POLE	MARKED FIBER OPTIC
GUY WIRE	BURIED ELECTRIC SERVICE
ELECTRIC MANHOLE	BOARD FENCE
ELECTRIC PEDESTAL	CHAIN LINK FENCE
ELECTRIC METER	WIRE FENCE
TELEPHONE MANHOLE	

	PROPERTY LINE/RIGHT OF WAY LINE		CONCRETE WASHOUT
	LIMITS OF DISTURBANCE		CONSTRUCTION ENTRANCE
	CONTOUR ELEVATIONS		
	GRADE BREAK		
	STORM DRAIN		
	SOIL TYPE BOUNDARIES		SWP-CI (BIG RED)

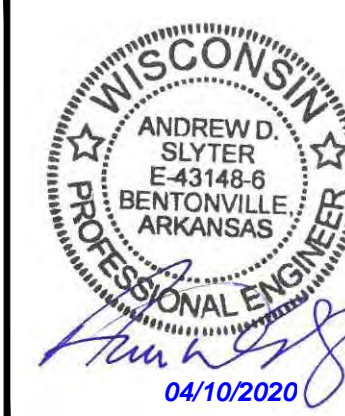
AREA OF DISTURBANCE = 1.11 ACRES (48,370 S.F.)

75A SWP-CI BIG RED
75C TEMPORARY DANDY BAG INLET PROTECTION
85A TEMPORARY STONE CONSTRUCTION ENTRANCE
85C TEMPORARY CONCRETE WASH OUT.

Lu	LOAMY LAND
BIA	BLOUNT SILT LOAM, 1 TO 3 PERCENT SLOPES

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FRANKLIN, WI



FILE NAME: 31230 - GP.dwg
CEI PROJECT NUMBER: 31230
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EROSION CONTROL NOTES

1230

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JOB # 31230 DRAWING: 31230 - GE.dwg LAST SAVED BY: MOLINAS

GENERAL EROSION NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF WISCONSIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- A COPY OF THE SWPPP AND EROSION CONTROL PLANS, INCLUDING APPLICABLE DETAIL SHEETS, MUST REMAIN ONSITE THROUGHOUT CONSTRUCTION AND MADE AVAILABLE TO THE PUBLIC UNTIL THE SITE IS TERMINATED AND/OR PERMANENTLY STABILIZED PER THE NPDES PERMIT.
- THE CONTRACTOR MUST UPDATE THE SWPPP AND EROSION CONTROL PLANS TO REFLECT THE PROGRESS OF CONSTRUCTION AND GENERAL CHANGES TO THE PROJECT SITE. CHANGES MAY INCLUDE BMP INSTALLATION, MODIFICATION, OR REMOVAL, CONSTRUCTION ACTIVITIES, CLEARING, GRUBBING, OR GRADING, AND TEMPORARY OR PERMANENT STABILIZATION.
- THE CONTRACTOR MUST ADHERE TO ANY HOURS OF WORK, NOISE LEVEL, OR OTHER CONSTRUCTION RELATED RESTRICTIONS IN ACCORDANCE WITH LOCAL OR STATE REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ANY OFFSITE BORROW, SPOIL, OR STORAGE AREAS TO BE UTILIZED, BUT NOT PROVIDED WITHIN THE PROJECT'S LIMITS OF DISTURBANCE, ARE TO BE PROPERLY LICENSED AND PERMITTED.
- THE NPDES PERMIT DOES ALLOW CERTAIN NON-STORMWATER DISCHARGES AT THE CONSTRUCTION SITE. SEE NPDES PERMIT, FOR A COMPLETE LIST OF PERMITTED DISCHARGES. THESE DISCHARGES MUST BE TREATED BY AN ONSITE BMP PRIOR TO LEAVING THE SITE AND MUST NOT CAUSE EROSION OR DAMAGE TO DOWNSTREAM PROPERTIES AND INFRASTRUCTURE. ALL OTHER DISCHARGES ARE STRICTLY PROHIBITED UNLESS AN APPLICABLE PERMIT HAS BEEN OBTAINED PRIOR TO THE DISCHARGE BY THE CONTRACTOR.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER AND DEPICTED ON THE ONSITE EROSION CONTROL PLAN.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- ADEQUATE HOUSEKEEPING MEASURES SHALL BE IMPLEMENTED SO THAT LOOSE TRASH, MATERIALS, TOOLS, AND EQUIPMENT ARE COLLECTED AND PROPERLY STORED AT THE CONSTRUCTION SITE.
- DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES, DRAINAGE STRUCTURES, OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY STABILIZED IMMEDIATELY.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IMMEDIATELY, BUT NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- IF SOIL STOCKPIILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- SEDIMENT BASINS AND TRAPS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL AND/OR STATE ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHERED TO.
- ALL EXISTING AND PROPOSED STORM SEWER PIPES, DRAINAGE STRUCTURES, AND DRAINAGE DITCHES WITHIN THE PROJECT AREA SHALL BE CLEANED OF ANY TRASH AND ACCUMULATED SEDIMENT PRIOR TO FINAL STABILIZATION.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80% COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, WATTLES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
- ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- IN AN EMERGENCY SITUATION, THE CONTRACTOR IS RESPONSIBLE FOR MODIFYING OR ADDING BMPS NECESSARY TO STOP POLLUTANT OR SEDIMENT DISCHARGES FROM THE CONSTRUCTION SITE AND PROTECT THE WATER QUALITY OF THE RECEIVING WATERBODY.
- IF AN EXCAVATION NEEDS TO BE DEWATERED DUE TO A RECENT RAINFALL EVENT, THE CONTRACTOR CAN DEWATER THE EXCAVATION VIA A PUMPED FILTER BAG. THE PUMPED FILTER BAG MUST DISCHARGE ONTO A STABILIZED SURFACE AND UPSTREAM OF AN EROSION CONTROL BMP LIKE A SEDIMENT BASIN/TRAP, SILT FENCE, OR OTHER PERIMETER BMP. IT IS STRICTLY PROHIBITED TO DISCHARGE THE PUMPED FILTER BAG INTO A STORM DRAIN OR OTHER CONVEYANCE STRUCTURE WITHOUT THE RUNOFF BEING TREATED VIA AN EROSION CONTROL BMP FIRST.

SEQUENCE OF CONSTRUCTION

NOTE: DOWNSLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. CONSTRUCTION STEPS CAN BE IMPLEMENTED CONCURRENTLY ONLY IF ASSOCIATED DOWNSLOPE PROTECTIVE MEASURES HAVE BEEN INSTALLED FOR EACH ACTIVITY.

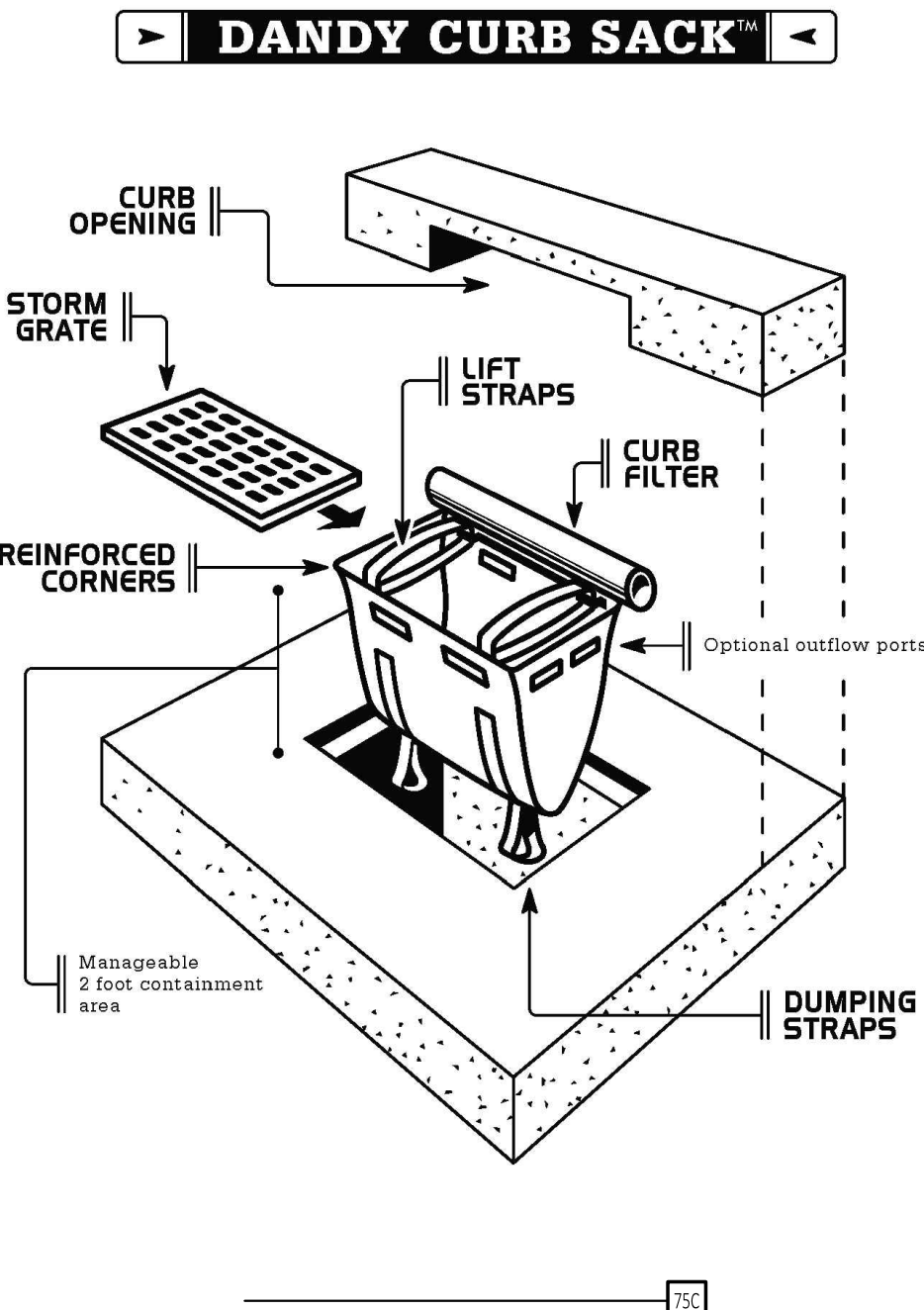
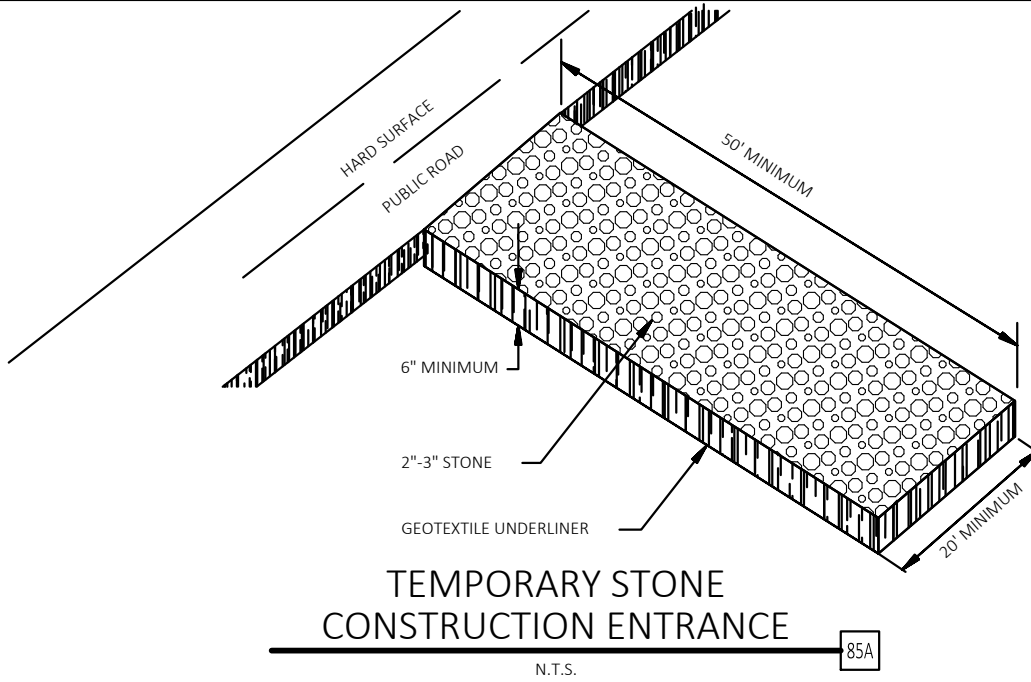
- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- INSTALL INLET PROTECTION DEVICES ON EXISTING INLETS.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CLEAR AND GRUB THE SITE.
- BEGIN GRADING THE SITE.
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED DENUDEED AREAS.
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL INLET PROTECTION DEVICES.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

GENERAL EROSION NOTES CONT'D

MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT GREATER THAN 0.5 -INCHES, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEDED AS NEEDED.
- SILT FENCES AND WATTLES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES AND WATTLES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE BMP.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS OR ROCK CHECK DAMS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.
- THE TEMPORARY SEDIMENT TRAP AND SEDIMENTATION BASIN STRUCTURES SHALL BE CHECKED REGULARLY TO ENSURE THAT THEY ARE STRUCTURALLY SOUND AND HAVE NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
- DIVERSION DIKES AND/OR DITCHES SHALL BE CHECKED REGULARLY FOR EROSION AND SCOUR. ANY ERODED AREAS FOUND MUST BE IMMEDIATELY REPAIRED.
- CONCRETE WASHOUT AREAS SHALL BE CHECKED REGULARLY FOR LEAKS AND CAPACITY. ALL LEAKS MUST BE REPAIRED IMMEDIATELY. WHEN THE WASHOUT VOLUME HAS BEEN REDUCED BY 85%, THE BMP MUST BE REMOVED AND REPLACED.



SWP-CI "Big Red"

Curb Inlet Protector

By ASP Enterprises and Storm Water Products
Temporary and Reusable Solutions for Sediment Control



- Reusable Curb Inlet Protection
- Environmentally Friendly
- Drops out sediment by dissipating the water energy

"Big Red" Filter Advantages:

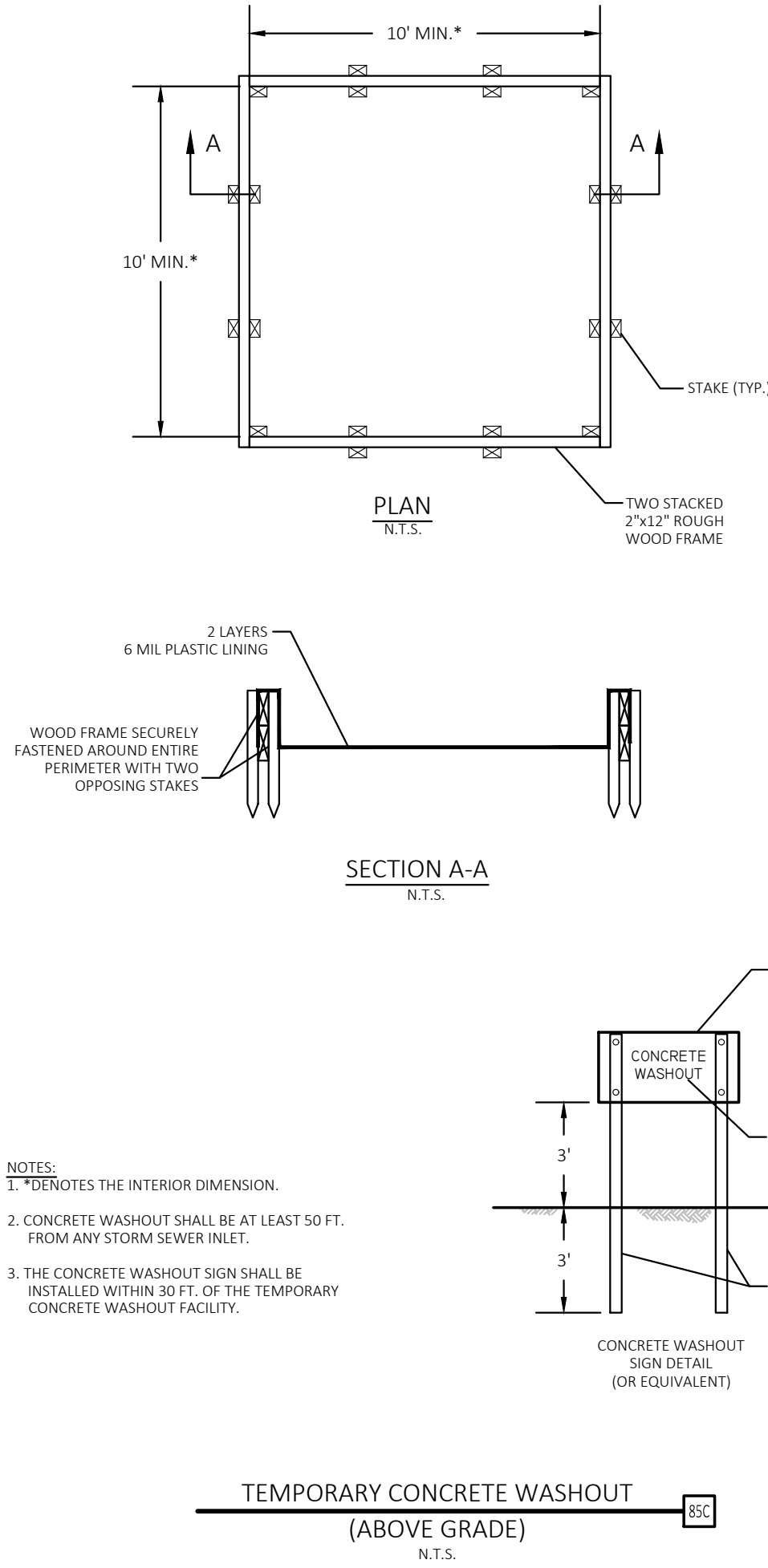
- Easy to Install
- Versatile for a variety of curb inlets
- Reusable and Extremely easy to clean
- Made from 90% Inert Recycled Materials

The SWP-CI "Big Red" Filter is a REUSABLE inlet protector that keeps out sediment throughout the entire construction project. There are no pockets to fill, no velcro bags, no assembly etc. Simply place in front of the inlet, make sure it lays in the contour, and you are DONE!

Simple installation also translates into simple removal, cleanup and re-use at the next project or phase. Maintenance is simple as well by lifting the unit from the inlet, shaking the mud off of it, removing the sediment on the concrete, and placing the unit back. If it is severely filled with sediment, wash it out in a vegetated area and it is as good as new.

All of these features and benefits combine to make the SWP-CI "Big Red" curb inlet protector the perfect choice for all curb inlet applications. It comes in 54" long for single curb inlets and 104" lengths for double curb inlets.

- High Flow Rate
- Made of Durable High-Strength Geotextile
- Fully Reusable
- Made of Recycled Materials



- NOTES:
- * DENOTES THE INTERIOR DIMENSION.
 - CONCRETE WASHOUT SHALL BE AT LEAST 50 FT. FROM ANY STORM SEWER INLET.
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

SWP-CI "Big Red"

Curb Inlet Protector

By ASP Enterprises and Storm Water Products



Specifications:

- Infill Material: shredded recycled rubber tires
- Weight: approx. 10 lbs per linear foot
- Diameter: approx. 8"

Geotextile fabric made of durable high flow fabric with the following properties:

Property	Test Method	Units	Typical Value
Weight	ASTM D5261	oz/sq. yd	9.3
Grab Tensile Strength	ASTM D4632	lb	warp fill 250 290
Tear Strength (Trapezoid)	ASTM D4533	lb	warp fill 60 50
Burst	ASTM D3786	psi	440

(Efforts were made to determine flow rate-the fabric exceeded all capacities of the testing equipment)



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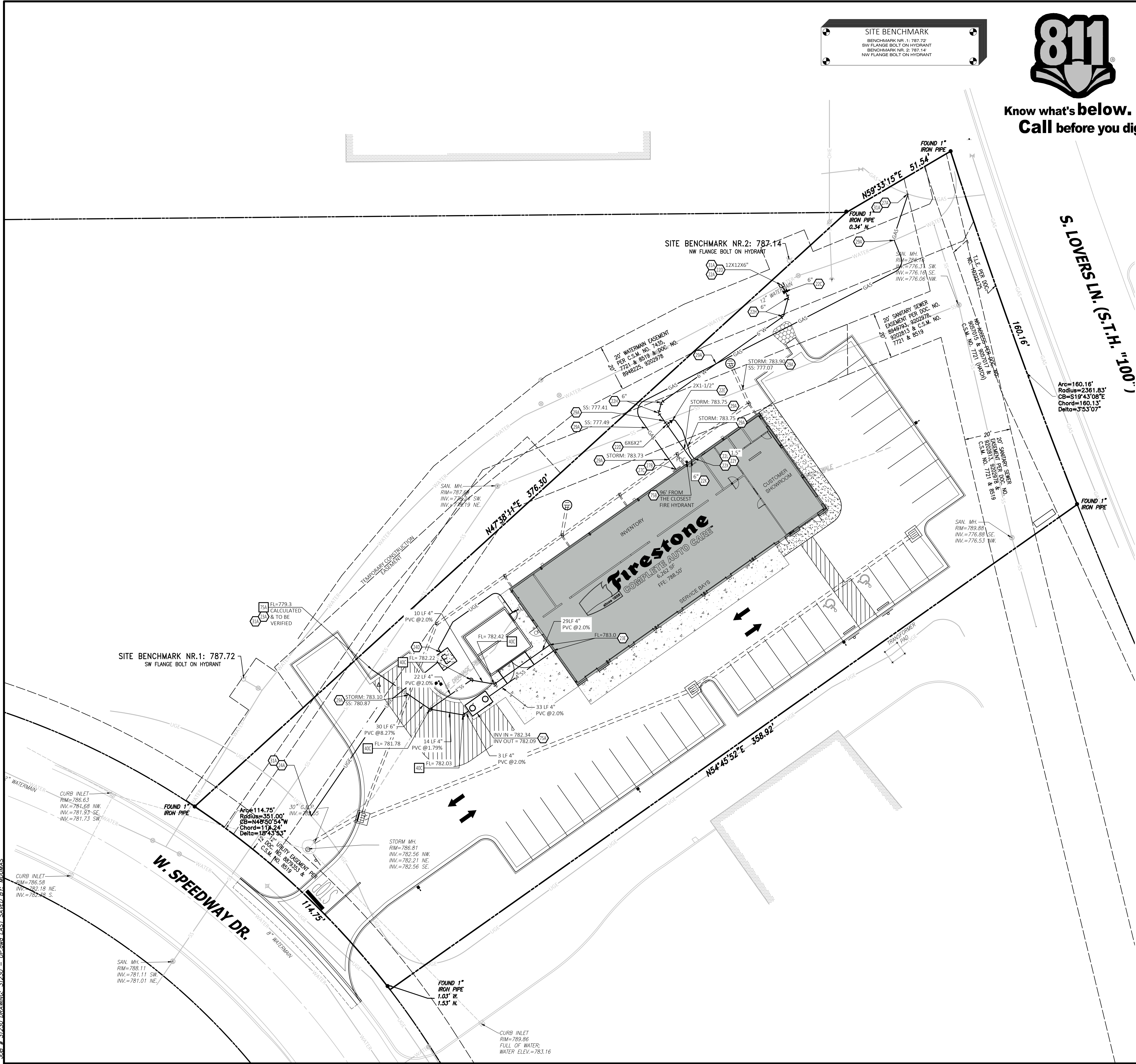
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04/09/2020
04/10/2020

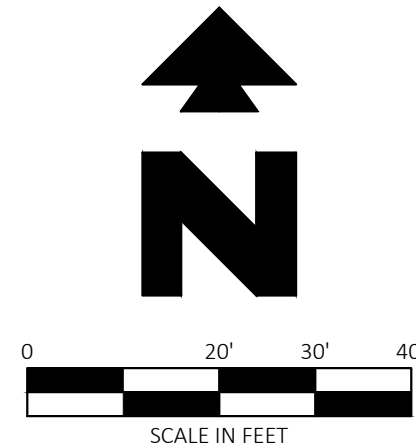
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SITE BENCHMARK
BENCHMARK NR.1: 787.72
SW FLANGE BOLT ON HYDRANT
BENCHMARK NR.2: 787.14
NW FLANGE BOLT ON HYDRANT



Know what's below.
Call before you dig.



NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS
AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE,
SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY
ENTRANCE LOCATIONS AND PRECISE BUILDING
DIMENSIONS.



Vicinity Map
Not to Scale

LEGEND

EXISTING

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- INDICATES FOUND CHISELED CROSS
- SANITARY MANHOLE
- SANITARY CLEANOUT OR VENT
- SEPTIC TANK ACCESS COVER
- M.I.S. MANHOLE
- UNKNOWN MANHOLE
- STORM MANHOLE
- INLET (ROUND)
- INLET (SQUARE)
- CURB INLET
- STORM SEWER END SECTION
- GAS VALVE
- GAS METER
- WATER VALVE
- HYDRANT
- WATER MANHOLE
- WATER SERVICE CURB STOP
- WELL HEAD
- STAND PIPE
- WALL INDICATOR VALVE
- POST INDICATOR VALVE
- LIGHT POLE
- SPOT/YARD LIGHT
- UTILITY POLE
- GUY WIRE
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- CONTROL BOX
- FIBER OPTIC SIGN
- TRAFFIC LIGHT
- COMMUNICATION MANHOLE
- BOLLARD
- SOIL BORING/MONITORING WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- FLAGPOLE
- PARKING METER
- SIGN
- MAILBOX
- RAILROAD CROSSING SIGNAL
- HANDICAP SPACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- BURIED ELECTRIC SERVICE
- BOARD FENCE
- CHAIN LINK FENCE
- WIRE FENCE

PROPOSED

- PROPERTY LINE/RIGHT OF WAY LINE
- STORM DRAIN
- X" G GAS SERVICE
- X" SS SANITARY SEWER SERVICE
- UGE UNDERGROUND ELECTRIC SERVICE
- X" W WATER SERVICE

GENERAL UTILITY NOTES

- ALL WATER LINES SHALL BE TYPE K COPPER WITH 60" MIN. COVER. ALL FIRE WATER LINES SHALL BE DUCTILE IRON WITH 60" MIN. COVER.
- ALL SANITARY SEWER LINES SHALL BE SDR 35 PVC WITH 60" MIN. COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER DETAIL 31C. ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42A. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42B.

UTILITY NOTES

- 22A POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
- 22C M.J. GATE VALVE WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET).
- 22D M.J. TEE WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
- 22E M.J. REDUCER (SEE SIZES THIS SHEET).
- 22H 45 DEGREE M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
- 22K SPRINKLER ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
- 22L METEORED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
- 22Y INTERIOR BACK FLOW PREVENTER (PER ARCH. PLANS).
- 22X INTERIOR WATER METER (PER LOCAL CODES).
- 23A POINT OF CONNECTION - SANITARY SEWER SERVICE (PER LOCAL CODES).
- 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
- 24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS).
- 24D PROPOSED ELECTRIC TRANSFORMER.
- 27A POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENTS).
- 27B GAS SERVICE PER LOCAL GAS COMPANY.
- 27C PROPOSED GAS METER.
- 29A MAINTAIN MIN. 18 INCHES VERTICAL SEPARATION.
- 31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
- 75A OIL/WATER SEPARATOR WITH TRAFFIC RATED LID (PER ARCH. PLANS)
- 75B BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.

UTILITY DETAILS

- 40C SANITARY SEWER CLEAN-OUT
- 75A TYPICAL SANITARY SEWER CUT IN LATERAL CONNECTION (PER CITY OF FRANKLIN STANDARD FIGURE 36)

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04/10/2020

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GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR THE ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
 - CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR WORK IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS AND APPLICABLE CODES AND REQUIREMENTS.
 - QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
 - IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
 - ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
 - CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
 - ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
 - THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
 - COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
 - CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
 - ALL HARDSCAPE MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
 - WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
 - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 - IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
 - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
 - ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX 20% KENTUCKY BLUEGRASS, 40% ANNUAL RYEGRASS, 40% TURF TYPE FESCUE BY WEIGHT @ 3LBS/ 1000 SF.
- PLANTING NOTES
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN FARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNRE'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
 - FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.
 - LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2" FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
 - ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.
 - TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
 - ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
 - TOPSOIL DEPTH SHALL BE AS FOLLOWS :
PLANTER BEDS - 12" MINIMUM
GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)
 - BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
 - THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
 - ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURE'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
 - FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
 - ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST
 - ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
 - ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
 - IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
 - PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
 - ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
 - ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
 - NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
 - MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
 - A FOUR INCH (4") TOP DRESSING/MULCHING OF SHREDDED HARDWOOD MULCH SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND (SEE PLANTING DETAILS). TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.

- SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX, IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.
- CONTRACTOR SHALL PROVIDE EXPANSION AND CONTROL JOINTS ON ALL LANDSCAPE SPECIFIC CONCRETE PROJECTS (SEE HARDSCAPE PLAN FOR DETAILS).

FRANKLIN STANDARD LANDSCAPING NOTES

- PHYSICAL CONTAINMENT OF LANDSCAPED AREAS. ALL LANDSCAPED AREAS LOCATED WITHIN OR ADJACENT TO A PARKING AREA, OR ADJACENT TO A PUBLIC STREET OR SIDEWALK, SHALL BE DESIGNED TO CONTAIN LANDSCAPE MATERIALS AND TO PREVENT VEHICULAR ENCRoACHMENT (I.E., THROUGH USE OF CONTINUOUS CONCRETE CURBING, RAILROAD TIES, HEADERS, OR DEPRESSED CONSTRUCTION).
- ARTIFICIAL LANDSCAPE MATERIALS. ARTIFICIAL TREES, SHRUBS, TURF, OR PLANTS SHALL NOT BE PERMITTED AS LANDSCAPING.
- GROUND COVER. THE USE OF LANDSCAPE FABRICS UNDER ALL AREAS LANDSCAPED WITH NON-LIVING MATERIALS, EXCEPT THOSE AREAS SET ASIDE FOR STORMWATER RETENTION/DETENTION, IS RECOMMENDED TO PREVENT WEED GROWTH.
- IRRIGATION. A PERMANENT, ON-SITE, OUTDOOR WATER SUPPLY (UNDERGROUND OR DRIP IRRIGATION, HOSE BIBS, ETC.) THAT PROVIDES COMPLETE COVERAGE TO ALL NEW LIVING LANDSCAPED AREAS IS REQUIRED. WATERING SYSTEMS SHALL BE DESIGNED TO WATER LANDSCAPED AREAS EFFICIENTLY AND AVOID IRRIGATION OF ADJACENT PARKING AREAS AND ACCESS DRIVES, SIDEWALKS, BUILDINGS, AND PUBLIC STREETS. IF HOSE BIBS ARE USED, THEY MUST BE LOCATED WITHIN 100 FEET OF ANY LANDSCAPED AREA.
- LOCATION. NEW VEGETATION SHALL BE SELECTED, PLANTED, AND MAINTAINED SO THAT AT MATURITY IT WILL NOT INTERFERE WITH UTILITY LINES, SNOW STORAGE AREAS, VEHICULAR PARKING, PEDESTRIAN CIRCULATION, TRAFFIC SIGHT VISIBILITY AT DRIVEWAYS AND STREET INTERSECTIONS, AND WILL NOT CAUSE DAMAGE OR UPHEAVAL OF SIDEWALKS AND PAVEMENT.

FRANKLIN LANDSCAPE MAINTENANCE NOTES

RESPONSIBILITY FOR MAINTENANCE:
MAINTENANCE OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER, LESSEE, HEIRS, ASSIGNS, AGENTS, HOMEOWNERS' ASSOCIATION, OR OTHER LIABLE ENTITY OF THE PROPERTY AND SHALL CONSIST OF REGULAR WATERING, PRUNING, MOWING, FERTILIZING, REMOVAL AND REPLACEMENT OF IRRIGATION SYSTEMS, AND ARCHITECTURAL FEATURES. THE OWNER OR LIABLE ENTITY IN CONTROL OF ANY PRIVATE PREMISES SHALL AT ALL TIMES MAINTAIN THE PREMISES FREE OF LITTER AND WEEDS.

LANDSCAPE PHASING:
FUTURE BUILDING PADS WITHIN A PHASED DEVELOPMENT SHALL BE MAINTAINED IN A DUST-FREE CONDITION VEGETATED WITH GROUND COVER.

PLANT REPLACEMENT:
ANY PLANT MATERIALS INCLUDED IN AN APPROVED LANDSCAPING PLAN THAT DO NOT SURVIVE A PLANT ESTABLISHMENT PERIOD OF TWO YEARS AFTER INSTALLATION SHALL BE REPLACED WITH PLANT MATERIAL(S) OF THE SAME OR LIKE SPECIES OF EQUAL SIZE WITHIN THE NEXT PLANTING SEASON, BUT IN ANY EVENT, WITHIN SIX MONTHS OF THE PLANT'S DEMISE. SAID REPLACEMENT SHALL BE MADE BY THE PROPERTY OWNER OR, IN THE CASE OF LANDSCAPE PLANT MATERIALS LOCATED WITHIN A LANDSCAPE EASEMENT UNDER THE CONTROL OF A HOMEOWNERS' ASSOCIATION, THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR SAID REPLACEMENT.

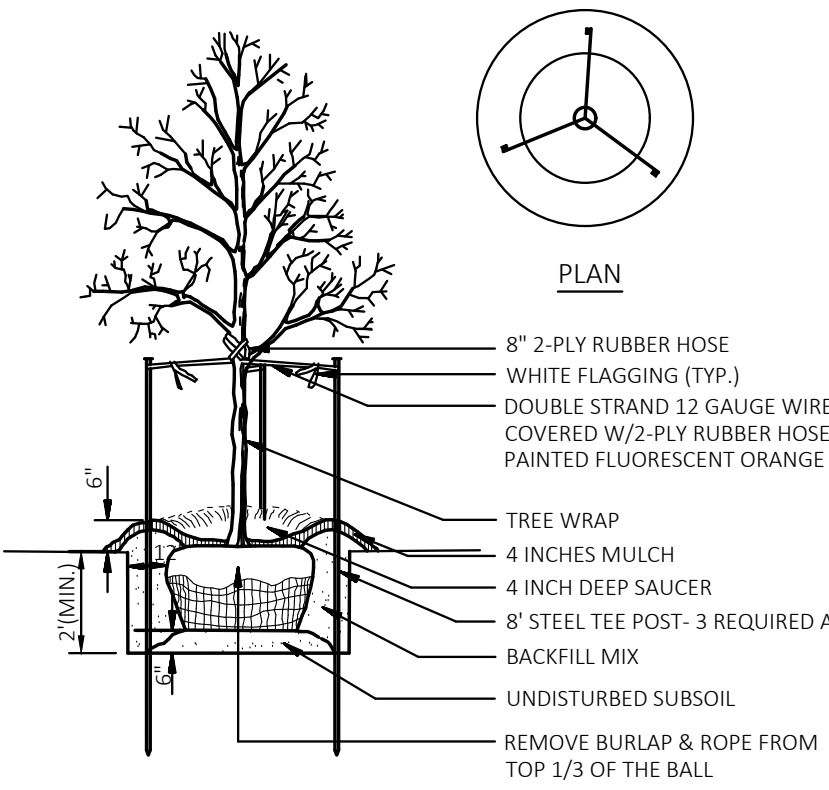
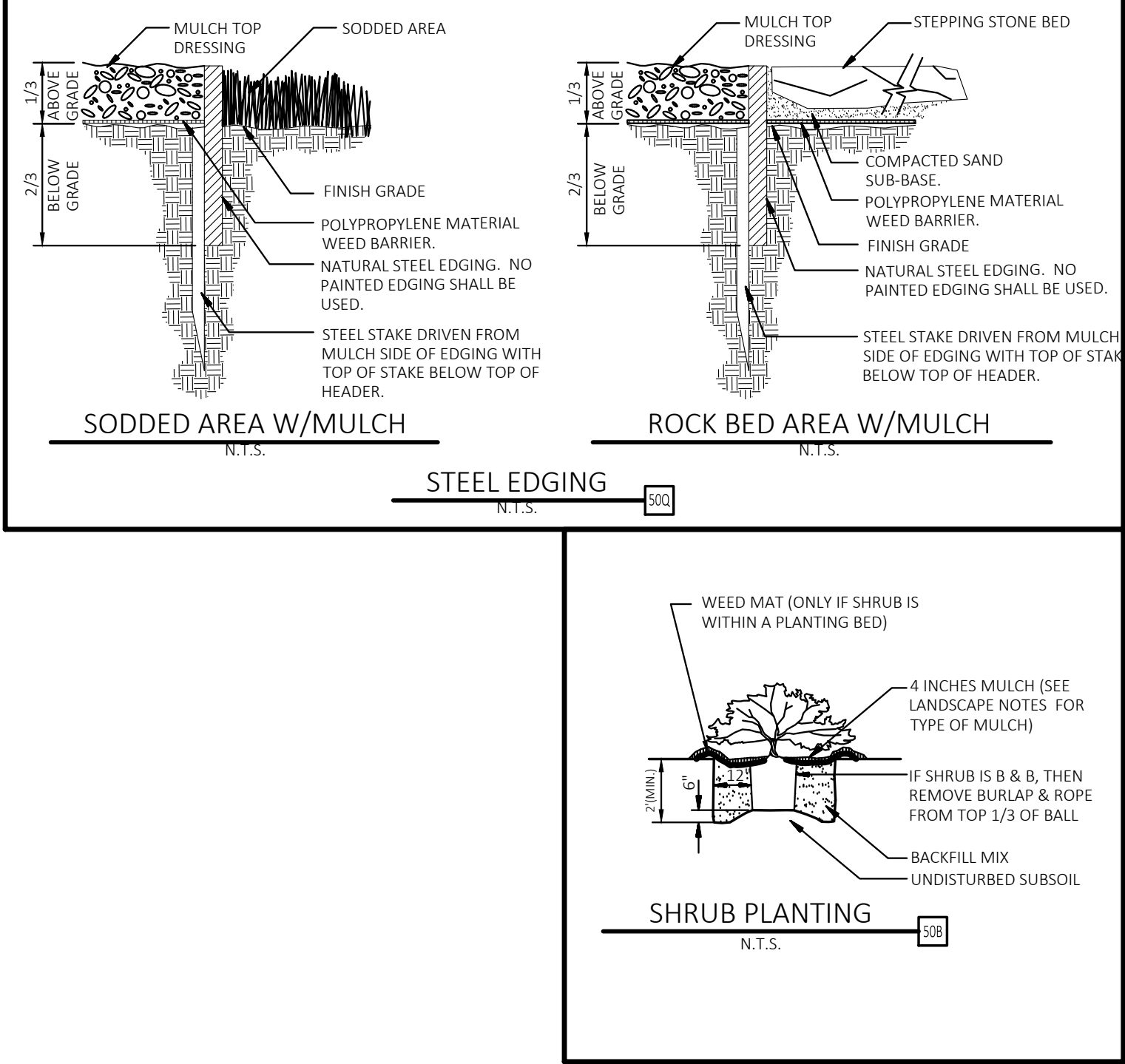
SOLID SOD NOTES

- ADJUST FINE GRADE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1 1/2" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION KNOWN AS BOTTOM LAND SOIL; FREE FROM LUMPS, CLAY TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES; CONTAINING NO SALT AND BE BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO SOD INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, CONSTRUCTION WASTE, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- FERTILIZE ALL SOD AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF SOD IS INSTALLED ON SLOPES OF 3:1 OR GREATER, SOD SHALL BE STAKED TO AVOID SLIPPING OR SLIDING APART. STAKING OR STAPLES SHALL BE INSTALLED FLUSH AS TO NOT CREATE A MAINTENANCE ISSUE WITH CARE EQUIPMENT.

- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN VIGOROUS, HEALTHY CONDITIONS.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

- GUARANTEE:
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
- REPLACEMENT:
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.
- MAINTENANCE:
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE. FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING

Table 15-3.0502 Worksheet for the Calculation of Base Site Area for Both Residential and Nonresidential Development				
STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.			1.23 acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	-		13,777 SF 0.3163 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	-		0 acres
STEP 4:	In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	-		0 acres
STEP 5:	Equals "Base Site Area"	=		0.91 acres

Table 15-3.0505 WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR NONRESIDENTIAL DEVELOPMENT				
STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): 0.910 AC Multiply by <i>Maximum Landscape Surface Ratio (LSR)</i> (use specific zoning district LSR standard): X .40 Equals <i>MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE</i> = 0.364 ACRES			0.364 ACRES
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): 0.910 AC Subtract <i>Total Resource Protection Land</i> (from Table 15-3.0503) or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: X 0.364 AC Equals <i>NET BUILDABLE SITE AREA</i> = 0.564 ACRES			0.564 ACRES
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take <i>Net Buildable Site Area</i> (from Step 2 above): 0.564 AC Multiply by <i>Maximum Net Floor Area Ratio (N FAR)</i> (use specific nonresidential zoning district N FAR standard): X .85 Equals <i>MAXIMUM NET FLOOR AREA YIELD OF SITE</i> = 0.479 ACRES			0.479 ACRES
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): 0.910 AC Multiply by <i>Maximum Gross Floor Area Ratio (GFAR)</i> (use specific nonresidential zoning district GFAR standard): X .42 Equals <i>MAXIMUM GROSS FLOOR AREA YIELD OF SITE</i> = 0.382 ACRES			0.382 ACRES
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the <i>lowest</i> of <i>Maximum Net Floor Area Yield of Site</i> (from Step 3 above) or <i>Maximum Gross Floor Area Yield of Site</i> (from Step 4 above): (Multiple results by 43,560 for maximum floor area in square feet): 0.382 ACRES (16,648 SF)			0.382 ACRES (16,648 SF)

Table 15-3.0503 Worksheet for the Calculation of Resource Protection Land					
Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X 0	
				= 0	
20-30%	0.65	0.75	0.70	X 0	
				= 0	
+ 30%	0.90	0.85	0.80	X 0	
				= 0	
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X 0	
				= 0	
Young	0.50	0.50	0.50	X 0	
				= 0	
Lakes & Ponds:	1	1	1	X 0	
				= 0	
Streams:	1	1	1	X 0	
				= 0	
Shore Buffer:	1	1	1	X 0	
				= 0	
Floodplains:	1	1	1	X 0	
				= 0	
Wetland Buffers:	1	1	1	X 0	
				= 0	
Wetlands & Shoreland Wetlands:	1	1	1	X 0	
				= 0	
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected):					0

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Firestone
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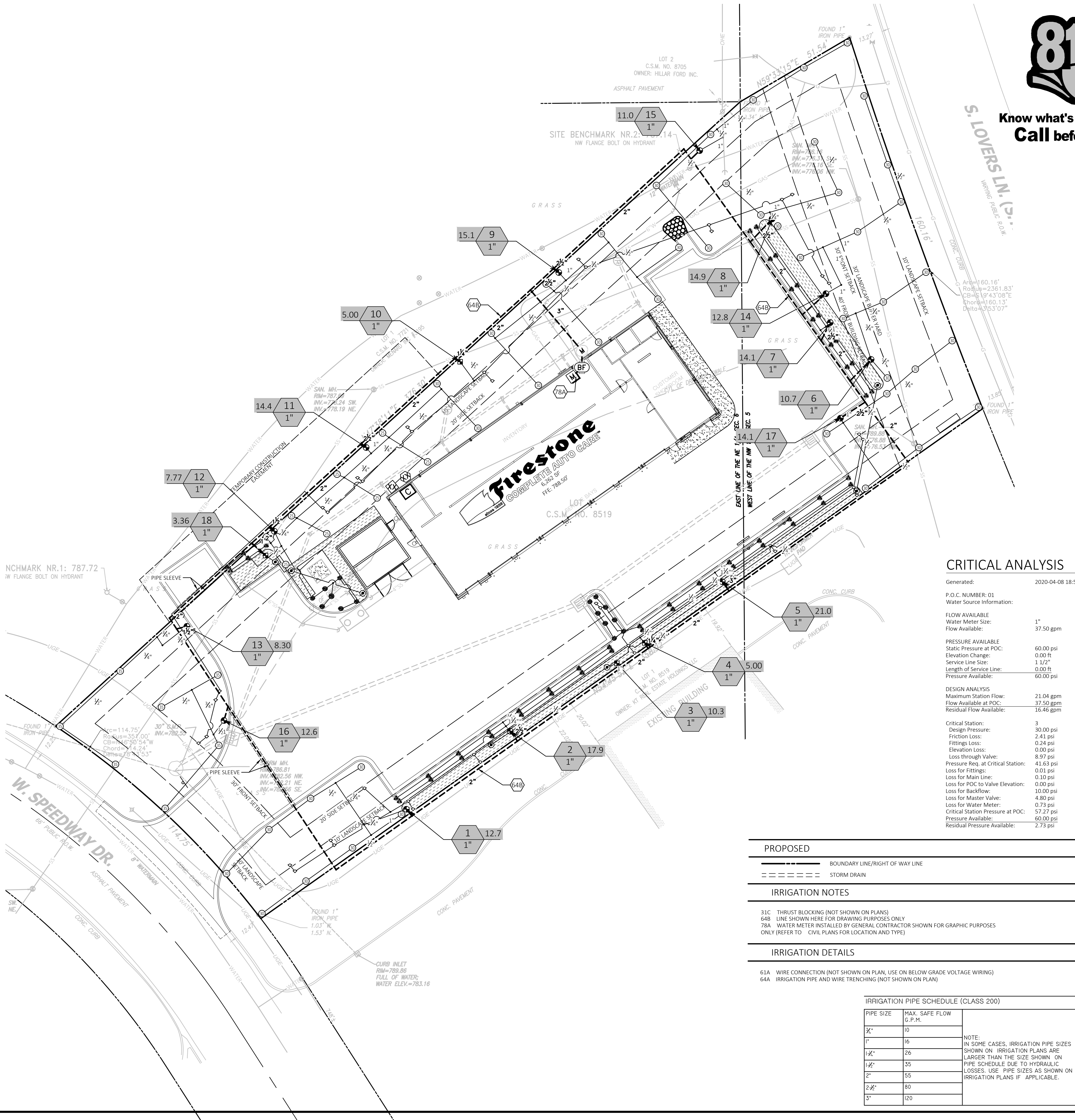
NEW FCAC STORE
8-BAY-FCAC-ER-RIGHT
W. SPEEDWAY DR
FRANKLIN, WI



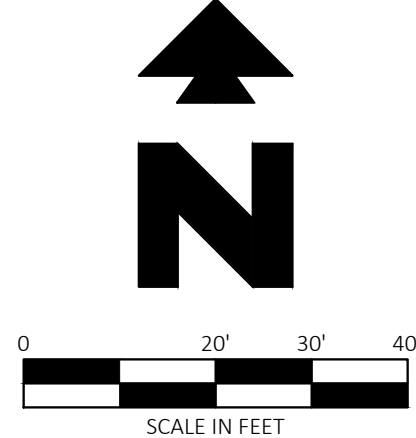
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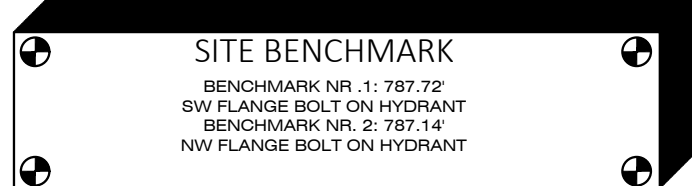
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Know what's below.
Call before you dig.



NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULES, SLOPED PAVING, TRUCK DOORS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



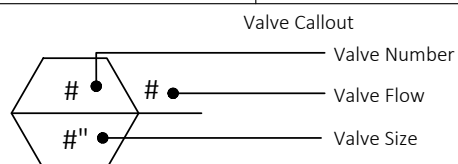
Vicinity Map
Not to Scale

EXISTING

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- INDICATES FOUND CHIELED CROSS
- SANITARY CLEANOUT OR VENT
- SEPTIC TANK ACCESS COVER
- M.I.S. MANHOLE
- UNKNOWN MANHOLE
- STORM MANHOLE
- INLET (ROUND)
- INLET (SQUARE)
- CURB INLET
- STORM SEWER END SECTION
- GAS VALVE
- GAS METER
- WATER VALVE
- HYDRANT
- WATER MANHOLE
- WATER SERVICE CURB STOP
- WELL HEAD
- STAND PIPE
- WALL INDICATOR VALVE
- POST INDICATOR VALVE
- LIGHT POLE
- SPOT/YARD LIGHT
- UTILITY POLE
- GUY POLE
- GUY WIRE
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- FIBER OPTIC SIGN
- TRAFFIC LIGHT
- COMMUNICATION MANHOLE
- BOLLARD
- SOIL BORING/MONITORING WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- FLAGPOLE
- PARKING METER
- SIGN
- MAILBOX
- RAILROAD CROSSING SIGNAL
- HANDICAP SPACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- BURIED ELECTRIC SERVICE
- ELECTRIC METER
- BOARD FENCE
- CHAIN LINK FENCE
- WIRE FENCE

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI			DETAIL
	RAIN BIRD RD-06-U 15 STRIP SERIES TURF SPRAY, 6.0" POP-UP, 1/2" NPT FEMALE THREADED INLET.	52	30			
	RAIN BIRD RD-06-U 8 SERIES TURF SPRAY, 6.0" POP-UP, 1/2" NPT FEMALE THREADED INLET.	15	30			
	RAIN BIRD RWS-M-B-C-P MINI ROOT WATERING SYSTEM WITH 4.0" DIAMETER X 18.0" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE AND PURPLE GRATE.	40	30			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS	DETAIL
	RAIN BIRD 5006-R-PC-FC-MPR TURF ROTOR, 6.0" POP-UP, PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE), ARC AND RADIUS AS PER SYMBOL. 25 FT-RED, 30 FT-GREEN, 35FT-BEIGE, PRESSURE REGULATING.	8	25		23'	
	RAIN BIRD 5006-R-PC-FC-MPR TURF ROTOR, 6.0" POP-UP, PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE), ARC AND RADIUS AS PER SYMBOL. 25 FT-RED, 30 FT-GREEN, 35FT-BEIGE, PRESSURE REGULATING.	44	25		29'	
	RAIN BIRD 5006-R-PC-FC-MPR TURF ROTOR, 6.0" POP-UP, PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE), ARC AND RADIUS AS PER SYMBOL. 25 FT-RED, 30 FT-GREEN, 35FT-BEIGE, PRESSURE REGULATING.	8	25		32'	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				DETAIL
	RAIN BIRD XCZ-100-RPF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3GPM - 15GPM.	4				
	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" (150MM) DRIP BOX.	7				
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-04-12 XFS SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.4 GPM EMITTERS AT 12" O.C. LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	2,044 L.F.				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				DETAIL
	RAIN BIRD PEB-PRS-D 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.	14				
	RAIN BIRD PEB 2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	1				
	WATTS LF909M1 2" LEAD FREE REDUCED PRESSURE BACKFLOW PREVENTER.	1				
	RAIN BIRD ESP12LXMEF 12 STATION COMMERCIAL CONTROLLER. PLASTIC WALL MOUNT. FLOW SENSING.	1				
	RAIN BIRD RSD-CEX RAIN SENSING DEVICE, CONDUIT MOUNT. WITH THREADED ADAPTER, EXTENSION WIRE.	1				
	RAIN BIRD SMRT-F SOIL MOISTURE SENSOR KIT. 24VAC @ 50/60 HZ. OPERATING TEMPERATURE: -4 DEGREES F TO 158 DEGREES F. SURVIVAL TEMPERATURE: -40 DEGREES F TO 185 DEGREES F. UL, CUL, C-TICK CERTIFICATIONS.	1				
	WATER METER 1"	1				
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	3,203 L.F.				
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	1,002 L.F.				
	PIPE SLEEVE: PVC C900 SDR 14 CLASS 305	73.2 L.F.				



CRITICAL ANALYSIS

Generated: 2020-04-08 18:57

P.O.C. NUMBER: 01
Water Source Information:
FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.50 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 60.00 psi
Elevation Change: 0.00 ft
Service Line Size: 1 1/2"
Length of Service Line: 0.00 ft
Pressure Available: 60.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 21.04 gpm
Flow Available at POC: 37.50 gpm
Residual Flow Available: 16.46 gpm

Critical Station:
Design Pressure: 30.00 psi
Friction Loss: 2.41 psi
Fittings Loss: 0.24 psi
Elevation Loss: 0.00 psi
Loss through Valve: 8.97 psi
Pressure Req. at Critical Station: 41.63 psi
Loss for Fittings: 0.01 psi
Loss for Main Line: 0.10 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 10.00 psi
Loss for Master Valve: 4.80 psi
Loss for Water Meter: 0.73 psi
Critical Station Pressure at POC: 57.21 psi
Pressure Available: 60.00 psi
Residual Pressure Available: 2.73 psi

PROPOSED

- BOUNDARY LINE/RIGHT OF WAY LINE
- STORM DRAIN

IRRIGATION NOTES

- 31C - THRUST BLOCKING (NOT SHOWN ON PLANS)
- 64B - LINE SHOWN HERE FOR DRAWING PURPOSES ONLY
- 78A - WATER METER INSTALLED BY GENERAL CONTRACTOR SHOWN FOR GRAPHIC PURPOSES ONLY (REFER TO CIVIL PLANS FOR LOCATION AND TYPE)

IRRIGATION DETAILS

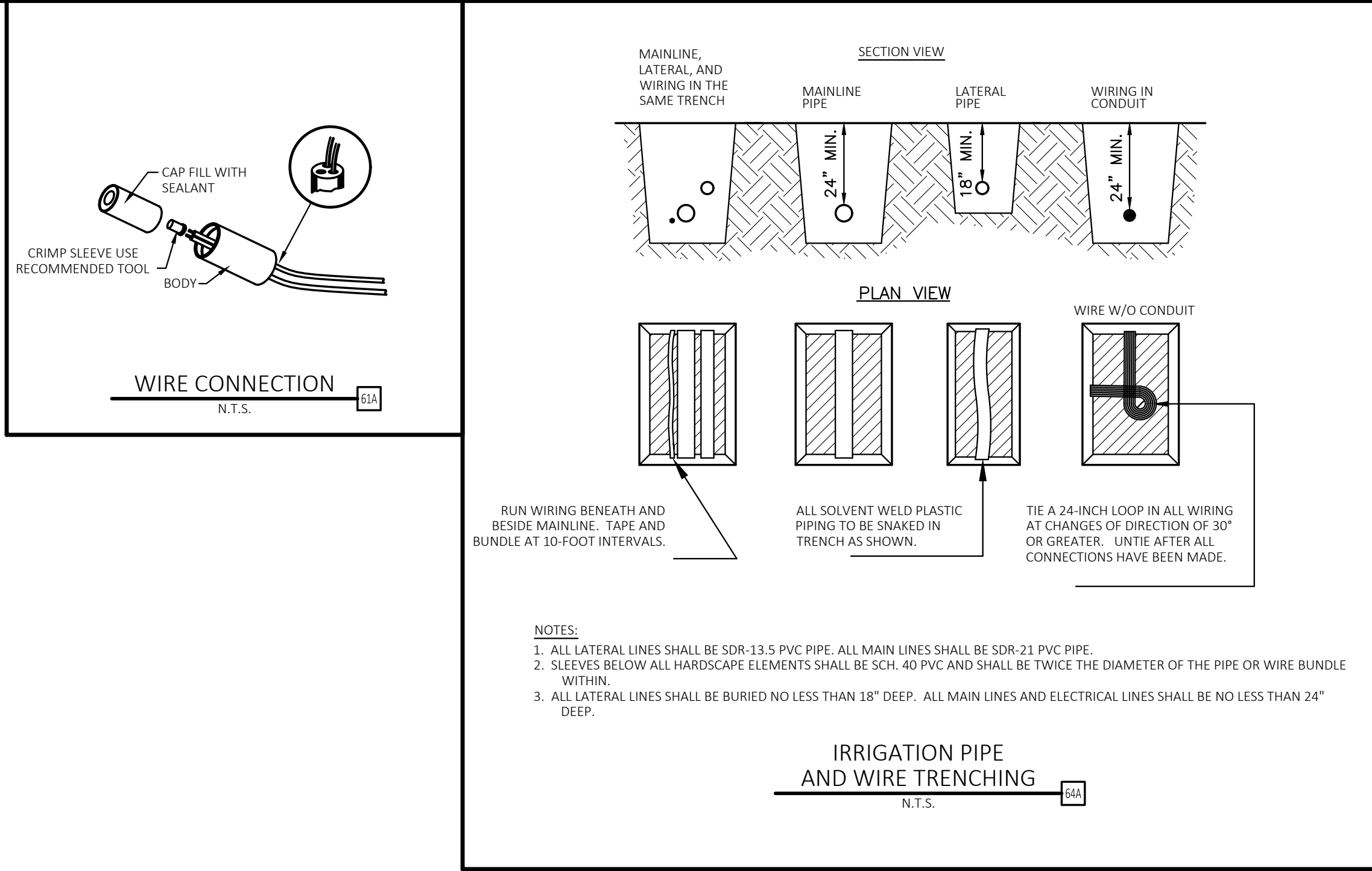
- 61A - WIRE CONNECTION (NOT SHOWN ON PLAN, USE ON BELOW GRADE VOLTAGE WIRING)
- 64A - IRRIGATION PIPE AND WIRE TRENCHING (NOT SHOWN ON PLAN)

IRRIGATION PIPE SCHEDULE (CLASS 200)

PIPE SIZE	MAX. SAFE FLOW G.P.M.	
1/2"	10	
1"	16	
1-1/4"	26	
1-1/2"	35	
2"	55	
2-1/2"	80	
3"	120	

NOTE:
IN SOME CASES, IRRIGATION PIPE SIZES SHOWN ON IRRIGATION PLANS ARE LARGER THAN THE SIZE SHOWN ON PIPE SCHEDULE DUE TO HYDRAULIC LOSSES. USE PIPE SIZES AS SHOWN ON IRRIGATION PLANS IF APPLICABLE.

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GENERAL IRRIGATION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
4. THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR.
5. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
6. CONTRACTOR IS TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN THE DESIGN WATER PRESSURE OF _____ PSI.
7. IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED PER LOCAL REQUIREMENTS.
8. ANY EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
9. SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
10. IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
11. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING MANUAL DRAIN VALVES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN SO AS TO PROVIDE POSITIVE DRAINAGE OF IRRIGATION MAIN DURING WINTER MONTHS, OR PROVIDE BLOWOUT ASSEMBLY.
12. ALL LATERAL LINES SHALL BE EQUIPPED WITH AUTOMATIC DRAIN VALVES AT LOW POINTS.
13. IRRIGATION CONTRACTOR SHALL COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE (2) 1" ELECTRICAL CONDUITS FOR IRRIGATION CONTRACTOR'S POWER/DATA CONNECTION TO CONTROLLER. SEE ARCHITECTURAL ELECTRICAL PLAN FOR ELECTRICAL CONNECTION TO THE IRRIGATION CONTROLLER. IRRIGATION CONTRACTOR SHALL COORDINATE CONSTRUCTION OF IRRIGATION SYSTEM WITH GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
14. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
15. ALL BELOW GRADE LOW VOLTAGE WIRING CONNECTIONS SHALL BE INSTALLED PER WIRE CONNECTION DETAIL.
16. DO NOT INSTALL IRRIGATION AT PYLON / MONUMENT SIGN LOCATION UNTIL SIGN HAS BEEN INSTALLED.
17. LOCATION FOR IRRIGATION SYSTEM AS SHOWN IS FOR DRAWING PURPOSES ONLY. UNSLEEVED PIPES MAY BE SHOWN IN PAVEMENT AREAS FOR CLARITY ONLY. INSTALL THESE PIPES IN ADJACENT LANDSCAPE AREAS WHERE NECESSARY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF PROPOSED IRRIGATION SYSTEM. ALL PROPOSED IRRIGATION LINES AND EQUIPMENT SHALL BE INSTALLED WITHIN THE BOUNDARIES OF THE PROJECT SITE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
18. MINIMUM COVER FROM TOP OF PIPING TO FINISHED GRADE SHALL BE AS PER DETAIL 6A.
19. IRRIGATION CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
20. VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, SUPPORTED BY BRICKS IF NEEDED, WITH 3" OF CLEAN PEA GRAVEL LOCATED BELOW THE VALVE.
21. ALL MAIN LINE PIPING, NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO ANY HARDSCAPE MATERIAL. IRRIGATION CONTRACTOR TO PROVIDE SLEEVES BETWEEN 12" AND 15" BELOW GRADE AT ALL DRIVE ENTRANCES AND SIDEWALKS. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES.
22. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF FENCES, RETAINING WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING AND TIMING, ETC. REFER TO CIVIL ENGINEERING PLANS FOR GRADING, METHODS OF DRAINAGE, IRRIGATION METERS, AND BACKFLOW PREVENTION DEVICE LOCATION.
23. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED, SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS, DETAILS AND SPECIFICATIONS. ACCEPTABLE MANUFACTURERS INCLUDE RAINBIRD, HUNTER, TORO, OR NETAFIM.
24. ANY DRIP SYSTEM PIPING IN PLANTING BEDS IS DIAGRAMMATIC. CONTRACTOR CAN ROUTE PIPING IN A FREEFORM MANNER (AVOIDING OBJECTS SUCH AS LIGHT POLES, TRANSFORMERS PADS, EQUIPMENT VAULTS, SUBSURFACE ROCK TOO LARGE TO REMOVE, ETC...) AS LONG AS ALL PLANT MATERIAL RECEIVES THE PROPER NUMBER OF EMITTERS PER SCHEDULE AND THE VINYL DISTRIBUTION TUBING DOES NOT EXCEED THE MAXIMUM DESIGN LENGTHS PER MANUFACTURER'S RECOMMENDATIONS.
25. UNLESS OTHERWISE REQUIRED, BACKFLOW PREVENTION DEVICES LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET ENCLOSURE AND PAINTED TO MATCH THE PRIMARY BUILDING COLORS. SEE CIVIL PLANS FOR LOCATION.
26. ALL JOINTS AND BENDS 2" OR LARGER SHALL HAVE CONCRETE THRUST BLOCKING. THRUST BLOCKING SHALL BE A MINIMUM OF 1 CUBIC FOOT OF CONCRETE. PIPE SHALL NOT BE ENCASED IN CONCRETE. SEE DETAIL 31C FOR THRUST BLOCKING.
27. CONTRACTOR WILL PROVIDE OWNER WITH A COMPLETE AND REPRODUCIBLE DRAWING OR IRRIGATION SYSTEM LAYOUT AS IT WAS INSTALLED. DRAWINGS SHOULD INCLUDE, BUT NOT BE LIMITED TO, LOCATIONS OF ZONES VALVES, MAIN, LATERAL AND DISTRIBUTION LINES, SLEEVES, WATER METER, BACKFLOW PREVENTION DEVICE, SENSORS AND CONTROLLER.
28. ALL LATERAL LINE SIZING SHALL REFER TO PIPE SCHEDULE ON THIS PLAN.

Engineering Associates, Inc.
CEI
Civil Engineering
1000 N. Main Street, Suite 100
Franklin, WI 53123
Phone: 414.770.1234
Fax: 414.770.1235

Firestone
COMPLETE AUTO CARE

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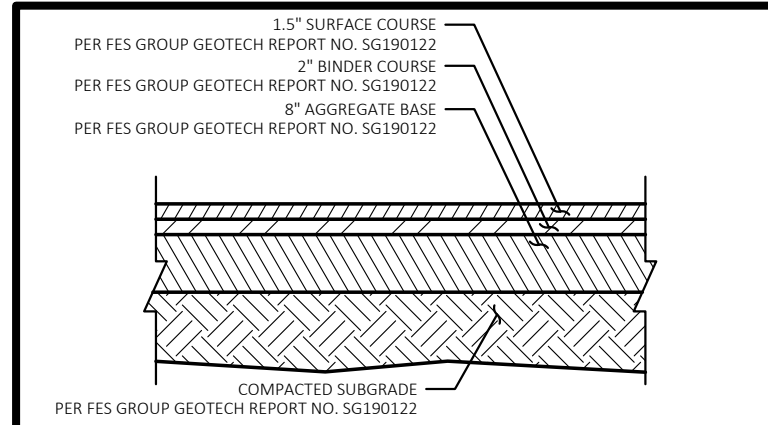
NEW FCAC STORE
8-BAY-FCAC-ER-RIGHT
W. SPEEDWAY DR
FRANKLIN, WI

WISCONSIN
CHARLES A. ASHLEY
LA-734
BENTONVILLE
AR
04/09/2020

FILE NAME: 31230 - LP_mcd.dwg
CEI PROJECT NUMBER: 31230
REVISION: REV 1 DATE: 04/09/2020

SHEET TITLE:
IRRIGATION NOTES

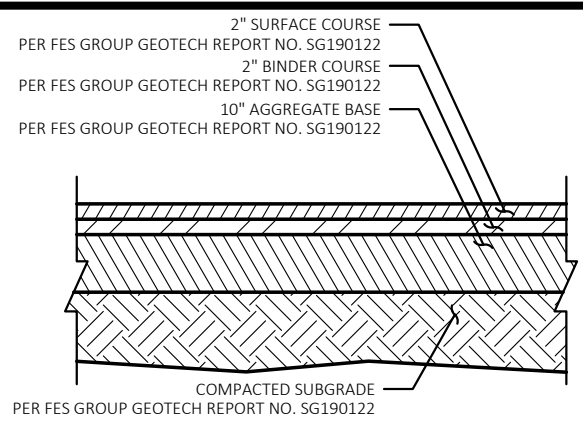
CEI JOB NUMBER: 31230
SHEET NUMBER: C8.1



NOTES:
1. CONTRACTOR SHALL VERIFY THE ABOVE DETAILS WITH THE SUBSURFACE EXPLORATION PREPARED BY FES GROUP REPORT DATED OCTOBER 1, 2019 PROJECT NUMBER SG190122, PRIOR TO CONSTRUCTION.

STANDARD DUTY ASPHALT PAVING

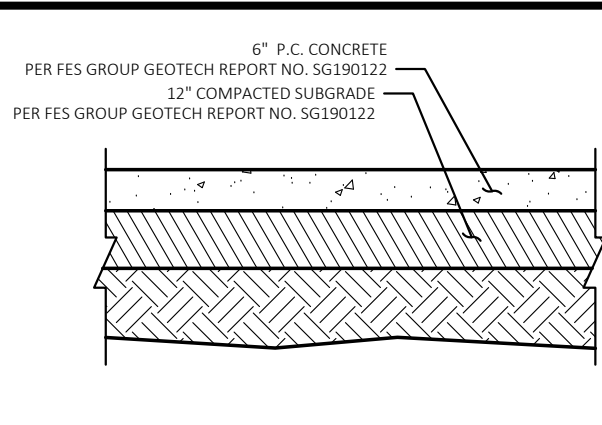
N.T.S. 104



NOTES:
1. CONTRACTOR SHALL VERIFY THE ABOVE DETAILS WITH THE SUBSURFACE EXPLORATION PREPARED BY FES GROUP REPORT DATED OCTOBER 1, 2019 PROJECT NUMBER SG190122, PRIOR TO CONSTRUCTION.

HEAVY DUTY ASPHALT PAVING

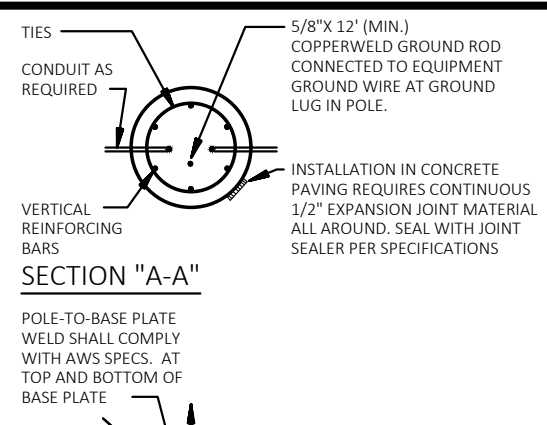
N.T.S. 105



NOTES:
1. CONTRACTOR SHALL VERIFY THE ABOVE DETAILS WITH THE SUBSURFACE EXPLORATION PREPARED BY FES GROUP REPORT DATED OCTOBER 1, 2019 PROJECT NUMBER SG190122, PRIOR TO CONSTRUCTION.

HEAVY DUTY CONCRETE PAVING

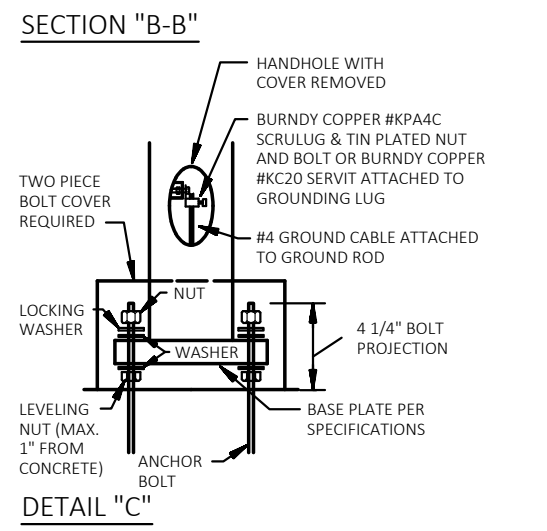
N.T.S. 106



NOTES:
1. CONTRACTOR SHALL VERIFY THE ABOVE DETAILS WITH THE SUBSURFACE EXPLORATION PREPARED BY FES GROUP REPORT DATED OCTOBER 1, 2019 PROJECT NUMBER SG190122, PRIOR TO CONSTRUCTION.

HEAVY DUTY CONCRETE PAVING

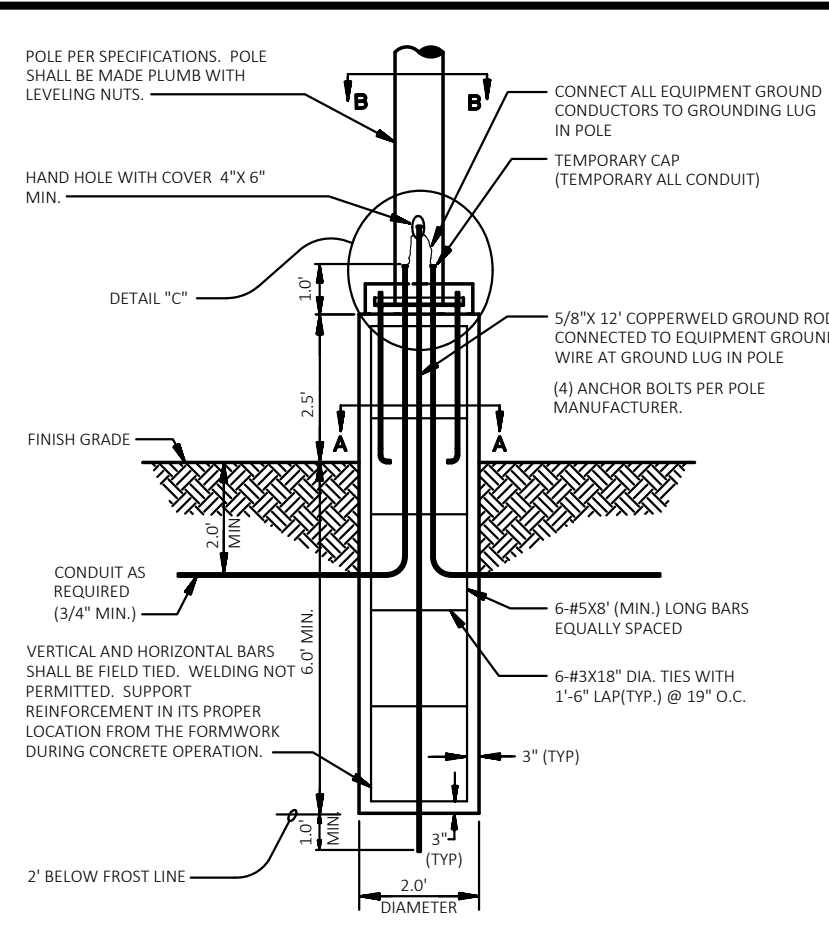
N.T.S. 106



NOTES:
1. CONTRACTOR SHALL VERIFY THE ABOVE DETAILS WITH THE SUBSURFACE EXPLORATION PREPARED BY FES GROUP REPORT DATED OCTOBER 1, 2019 PROJECT NUMBER SG190122, PRIOR TO CONSTRUCTION.

HEAVY DUTY CONCRETE PAVING

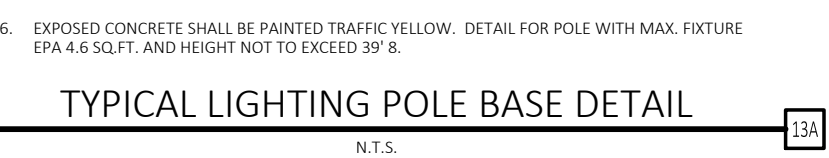
N.T.S. 106



NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE. FOUNDATION EXCAVATION SHALL BE BY 24\"/>

TYPICAL LIGHTING POLE BASE DETAIL

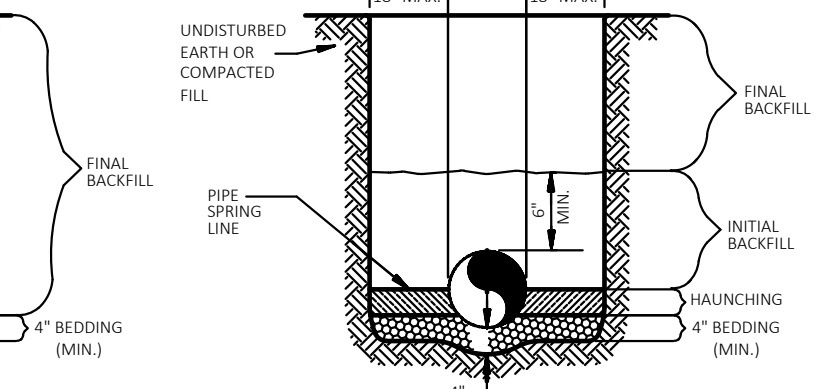
N.T.S. 107



NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
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TYPICAL LIGHTING POLE BASE DETAIL

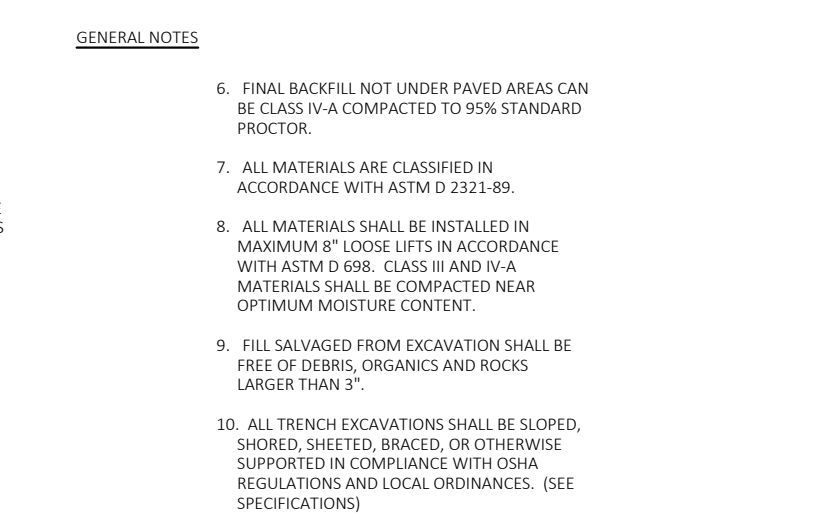
N.T.S. 107



NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE. FOUNDATION EXCAVATION SHALL BE BY 24\"/>

TYPICAL LIGHTING POLE BASE DETAIL

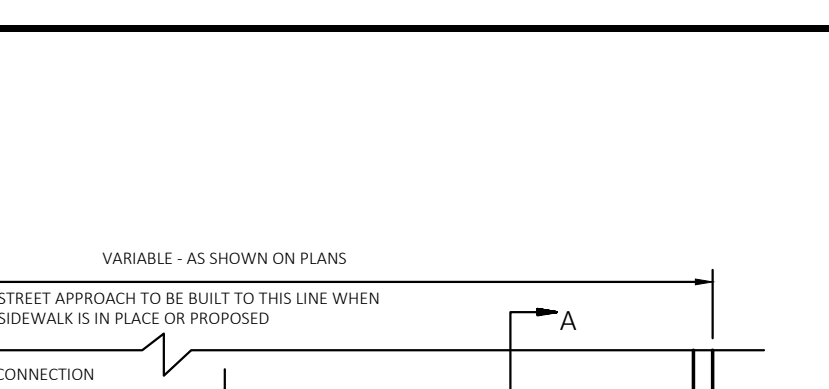
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NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
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TYPICAL LIGHTING POLE BASE DETAIL

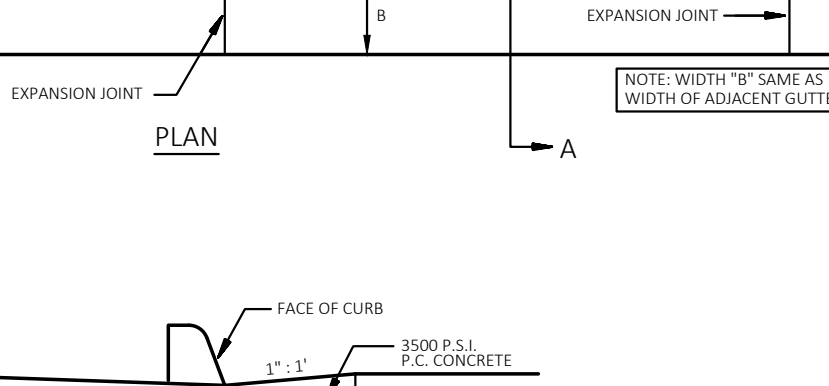
N.T.S. 107



NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
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TYPICAL LIGHTING POLE BASE DETAIL

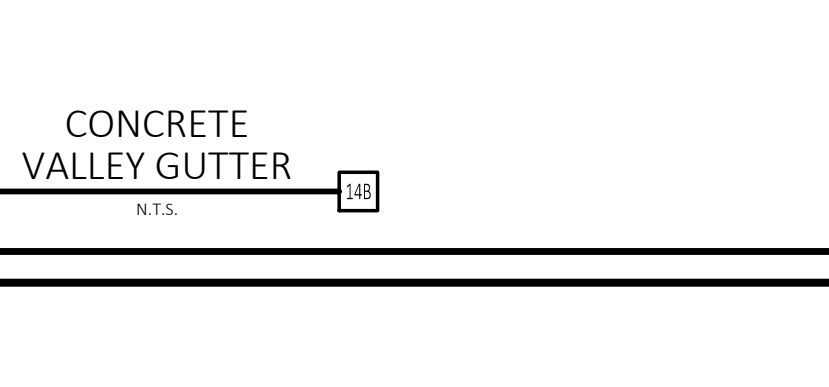
N.T.S. 107



NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE. FOUNDATION EXCAVATION SHALL BE BY 24\"/>

TYPICAL LIGHTING POLE BASE DETAIL

N.T.S. 107

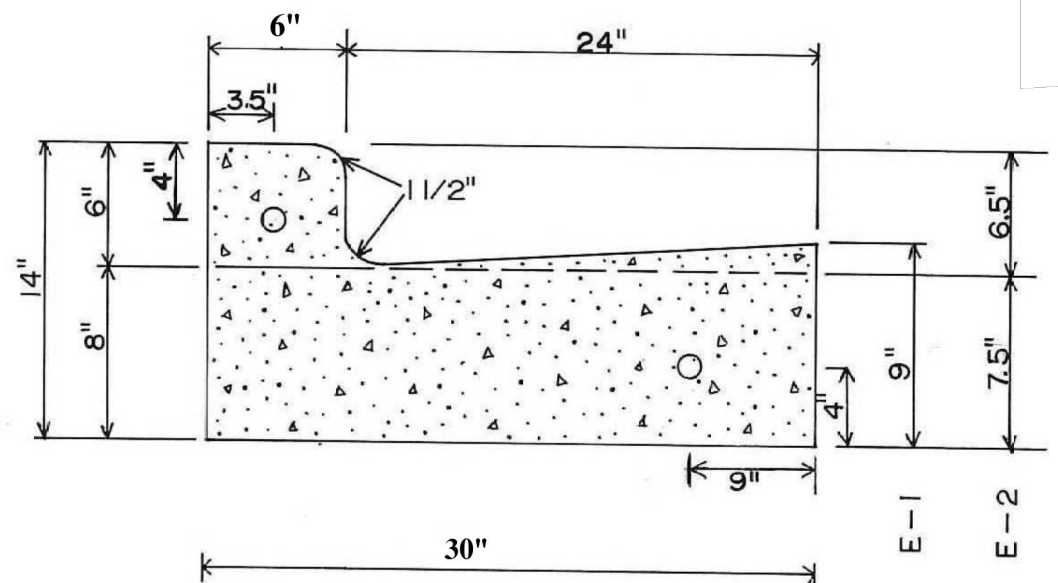


NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE. FOUNDATION EXCAVATION SHALL BE BY 24\"/>

TYPICAL LIGHTING POLE BASE DETAIL

N.T.S. 107

NOTE: FOR CURB REPLACEMENTS OR EXTENSIONS TO EXISTING CURB, 12\"/>

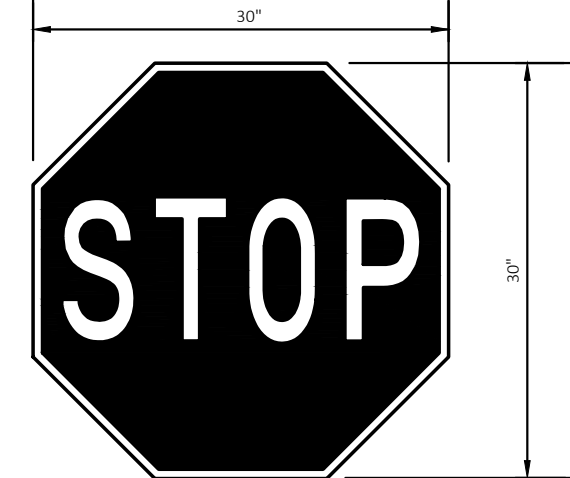


Curb & Gutter Type Schedule		
Type E-1	Separate Curb & Gutter	Low Side
Type E-2	Separate Curb & Gutter	High Side

TYPICAL SECTION 6\"/>

FRANKLIN ENGINEERING DEPT.

FIGURE 8



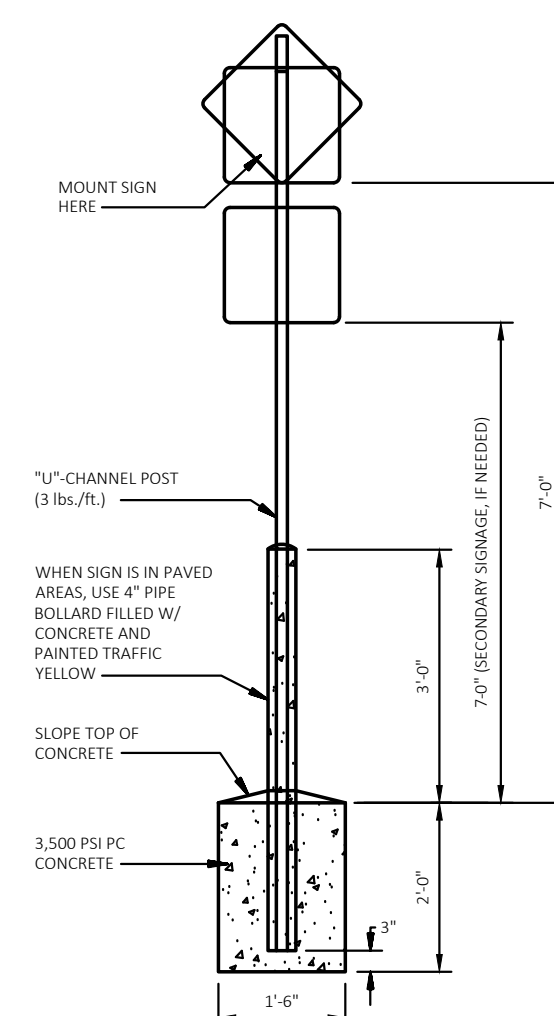
WHITE LEGEND RED BACKGROUND

R1-1

"STOP" SIGN

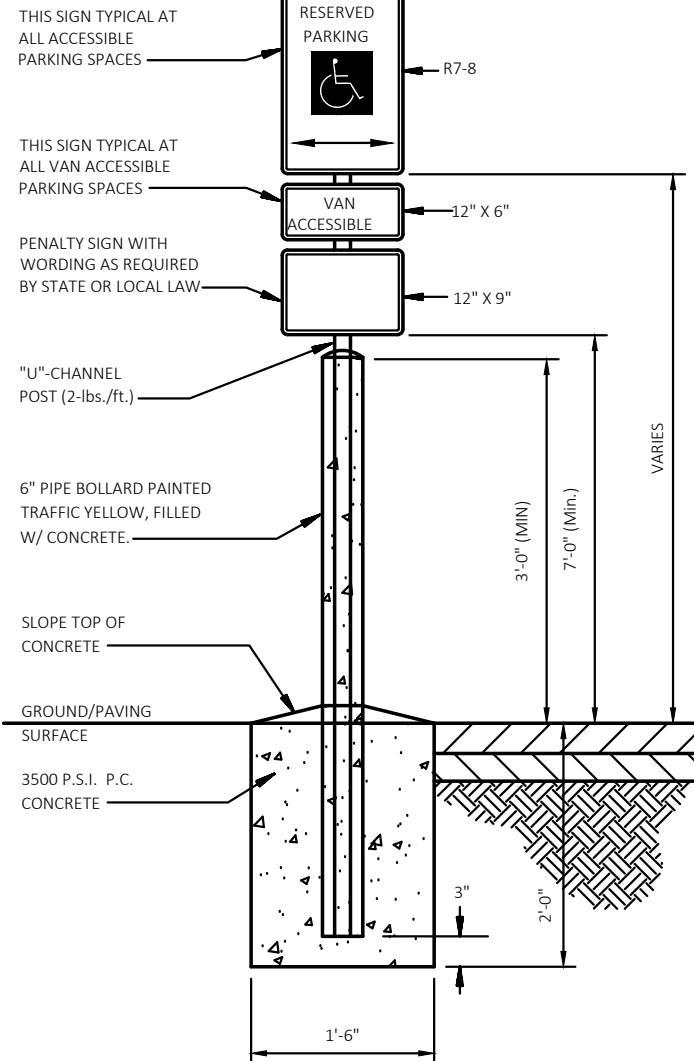
N.T.S. 108

ALL SIGNS SHOULD COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



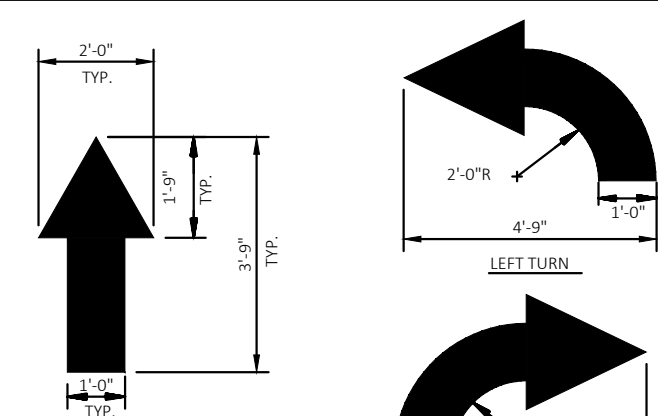
SIGN BASE

N.T.S. 109



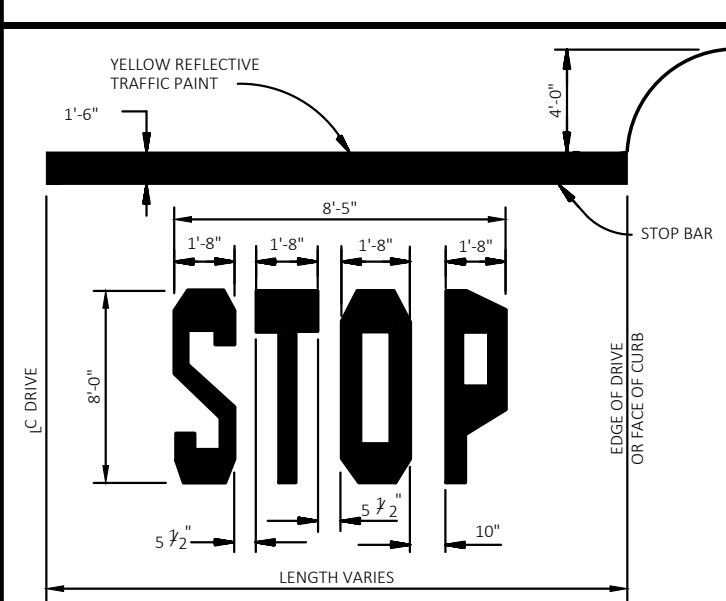
ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN

N.T.S. 110



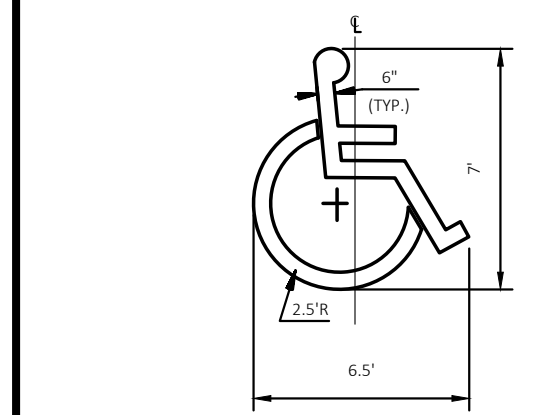
TRAFFIC FLOW ARROW

N.T.S. 111



STOP BAR

N.T.S. 112

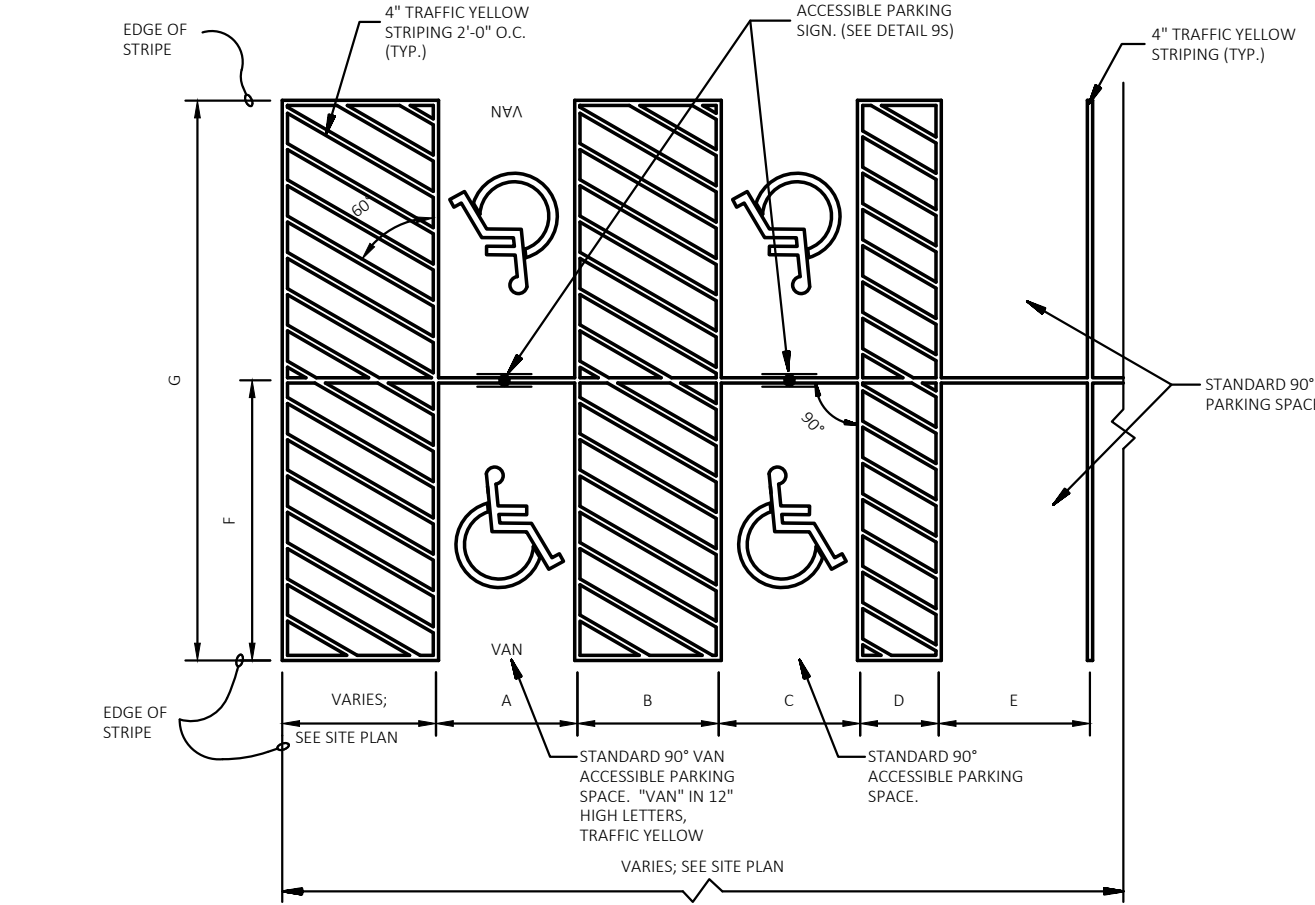


ACCESSIBLE PARKING SYMBOL

N.T.S. 113

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

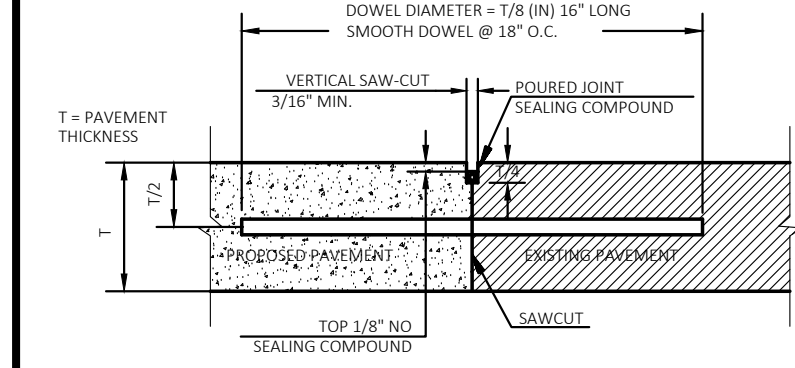
- THIS DETAIL IS FOR DIMENSION PURPOSES ONLY. SEE SITE PLAN FOR EXACT LAYOUT.
- ALL DIMENSIONS ARE TO A OF STRIPE UNLESS OTHERWISE INDICATED.
- A MINIMUM 8' ACCESS AISLE SHALL BE PLACED ON PASSENGER SIDE OF VAN SPACES.
- SEE SITE PLAN FOR TYPICAL DIMENSIONS OF STANDARD 90° PARKING STALLS.



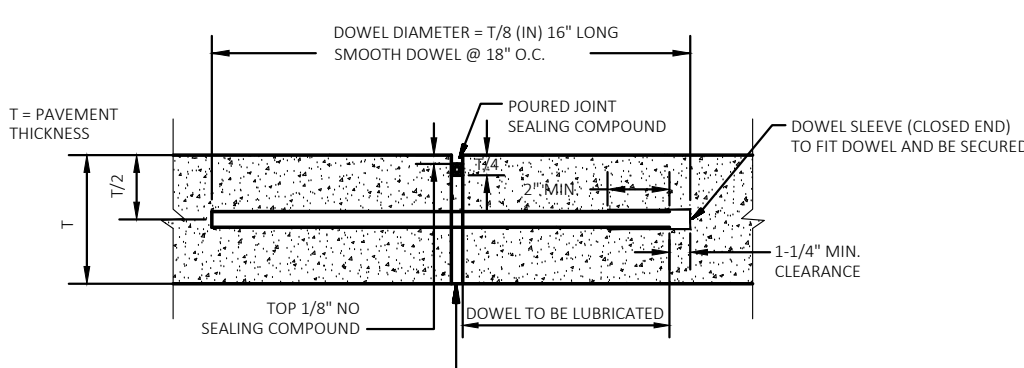
DIMENSION CHART											
STD. 90° VAN ACCESSIBLE				STD. 90° ACCESSIBLE				STD. 90°			
A	8'	8'	8'	VARIES	VARIES	VARIES	VARIES				
B	8'	8'	8'	VARIES	VARIES	VARIES	VARIES				
C				5'	5'	5'	5'				
D				VARIES	VARIES	VARIES	VARIES				
E				VARIES	VARIES	VARIES	VARIES				
F	18'	19'	20'	18'	19'	20'	18'	19'	19'	19'	20'
G	36'	38'	40'	36'	38'	40'	36'	36'	38'	38'	40'

90° PARKING, ACCESSIBLE PARKING AND "VAN" ACCESSIBLE PARKING SPACE STRIPING

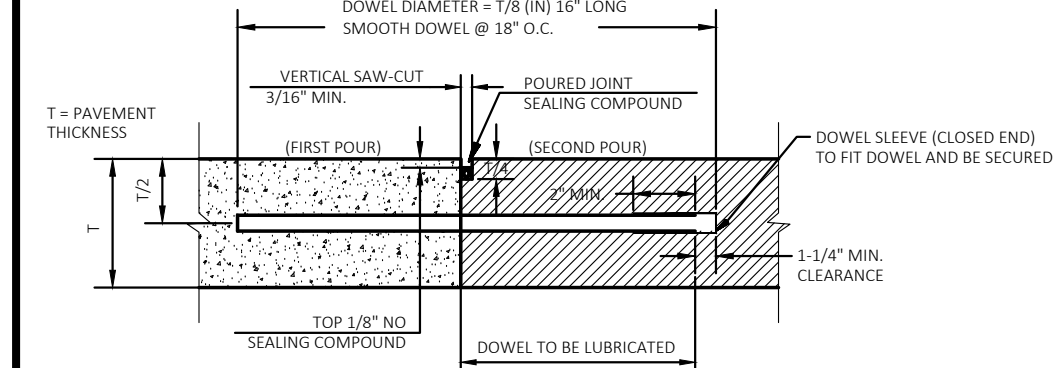
114



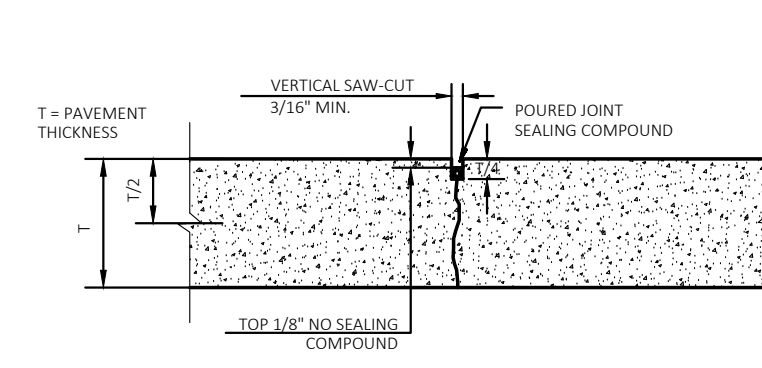
BUTT JOINT



TRANSVERSE EXPANSION JOINT



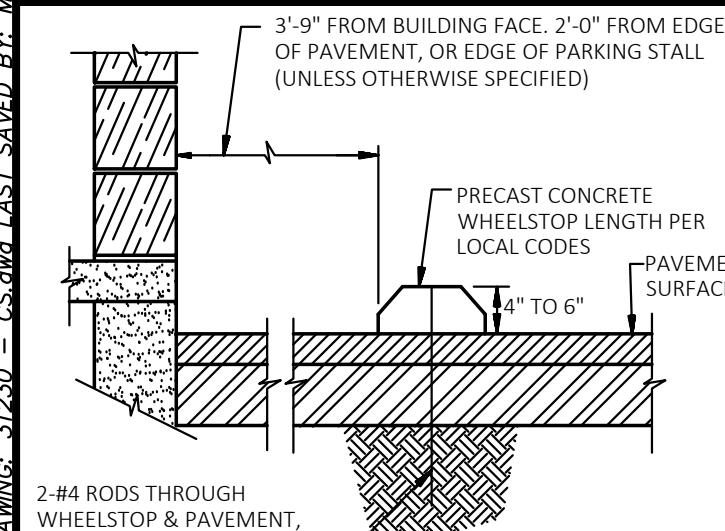
CONSTRUCTION JOINT



CONTRACTION JOINT

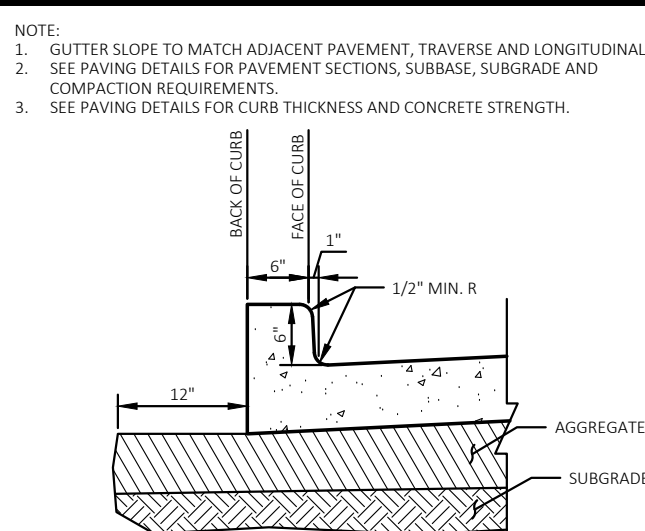
CONCRETE JOINT DETAILS

N.T.S. 115



PRECAST CONCRETE WHEEL STOP

N.T.S. 116



TYPE "B" CONCRETE INTEGRAL CURB AND GUTTER

N.T.S. 118

JOB # 31230 DRAWING: 31230 - CS.dwg LAST SAVED BY: MOLINAS

Engineering Associates, Inc.
CEI
1400 N. WILSON AVENUE
BENTONVILLE, AR 72712
(479) 270-0844
FAX (479) 270-0844

Firestone
COMPLETE AUTO CARE
1800-888-8888

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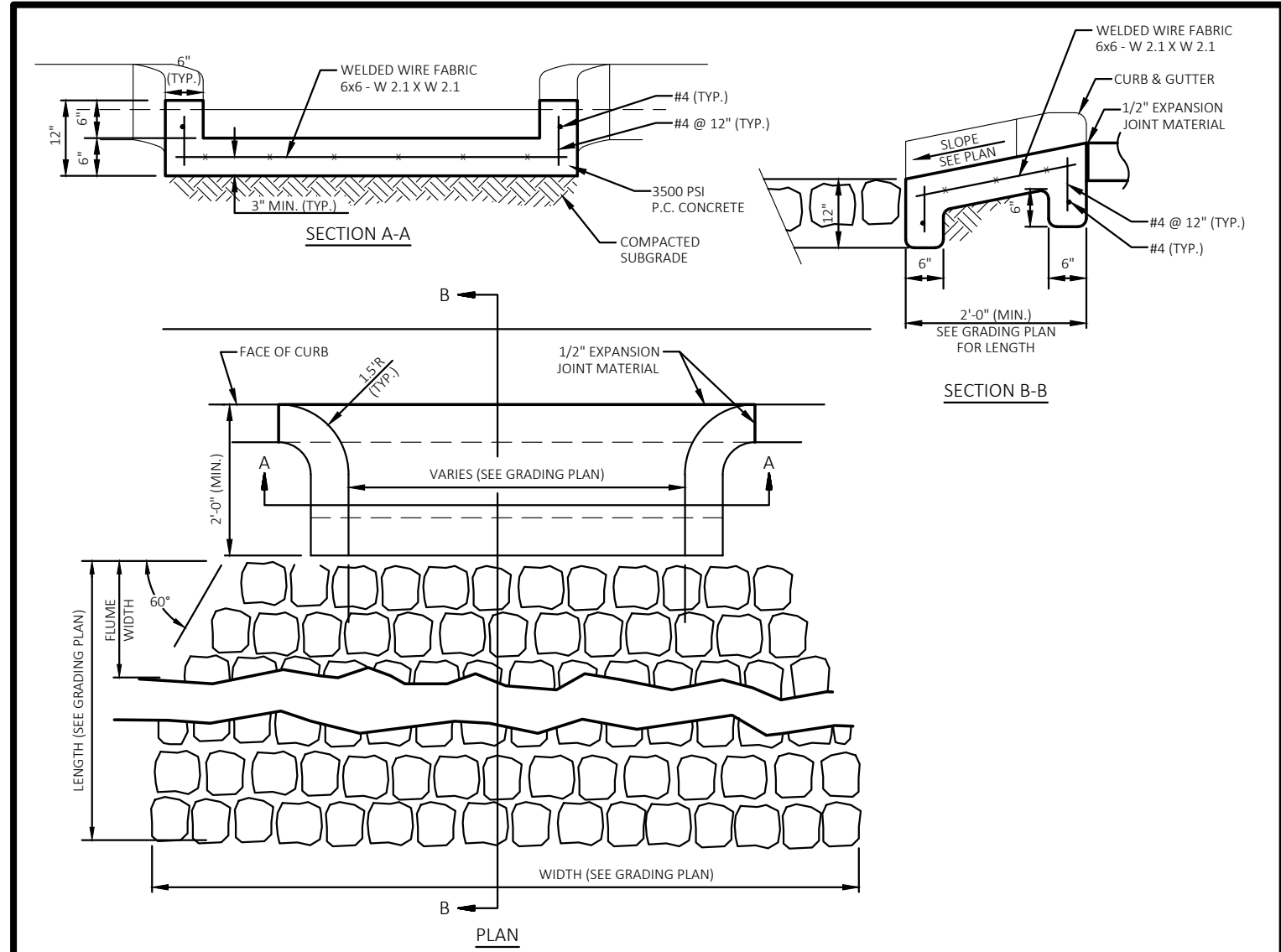
NEW FCAC STORE
8-BAY-FCAC-ER-RIGHT
W. SPEEDWAY DR
FRANKLIN, WI

WISCONSIN PROFESSIONAL ENGINEER
ANDREW D. SLYTER
E-43148-B
BENTONVILLE, ARKANSAS
04/10/2020

FILE NAME: 31230 - CS.dwg
CEI PROJECT NUMBER: 31230
REVISION: REV 1 DATE: 04/09/2020

SHEET TITLE:
DETAIL SHEET I

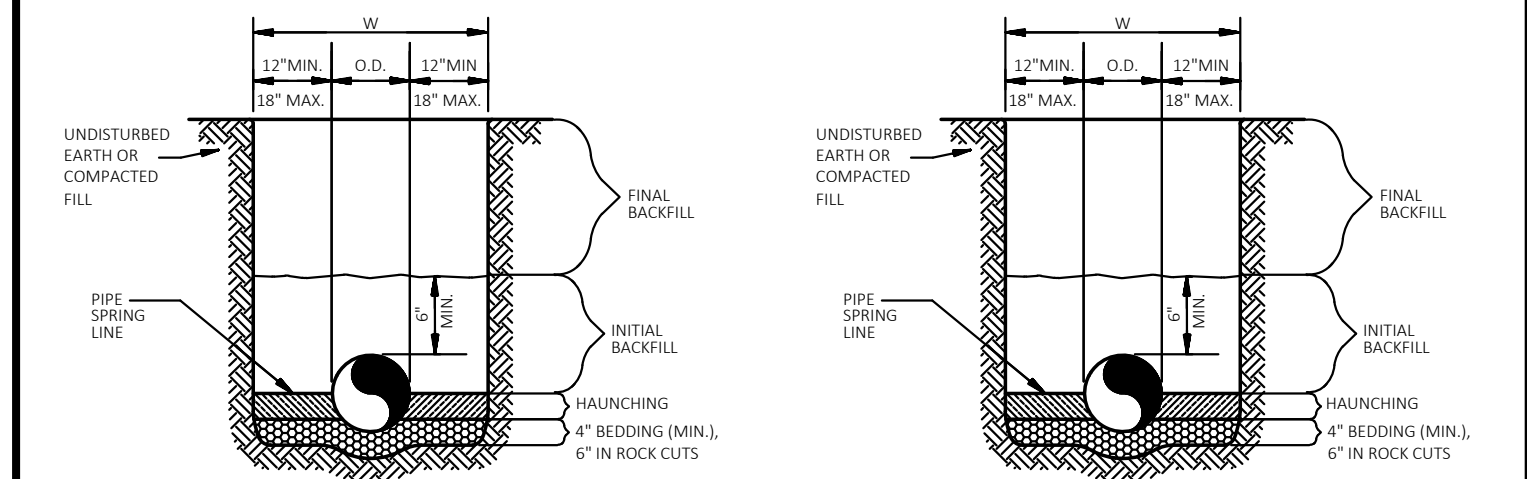
SHEET NUMBER:
C9



PLACE RIP-RAP IN ALL AREAS INDICATED ON THE DRAWING. THE STONE SHALL CONSIST OF FIELD STONE OR ROUGH, UNWORN QUARRY STONE AS NEARLY UNIFORM IN SECTION AS IS PRACTICAL. THE STONES SHALL BE DENSE, RESISTANT TO THE ACTION OF AIR AND WATER, AND SUITABLE IN ALL ASPECTS FOR THE PURPOSE INTENDED. UNLESS OTHERWISE SPECIFIED, ALL STONES USED AS RIP-RAP SHALL WEIGH BETWEEN 60-100 POUNDS EACH, AND AT LEAST 60 PERCENT OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH.

CONCRETE FLUME W/ RIP-RAP TO TOE OF SLOPE

N.T.S.

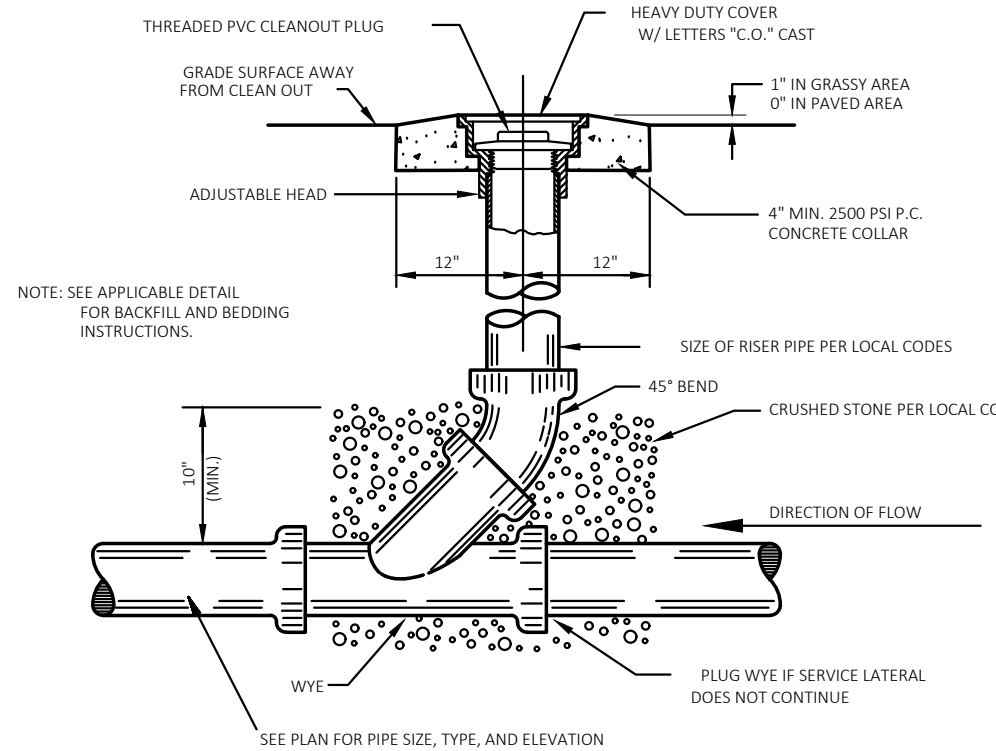


GENERAL NOTES:

- BEDDING SHALL BE CLASS I WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS II COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS II-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS II-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II-B COMPACTED TO 85% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 1, 2, AND 3.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS I-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2323, LATEST EDITION.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS II-B AND I-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHUTTED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

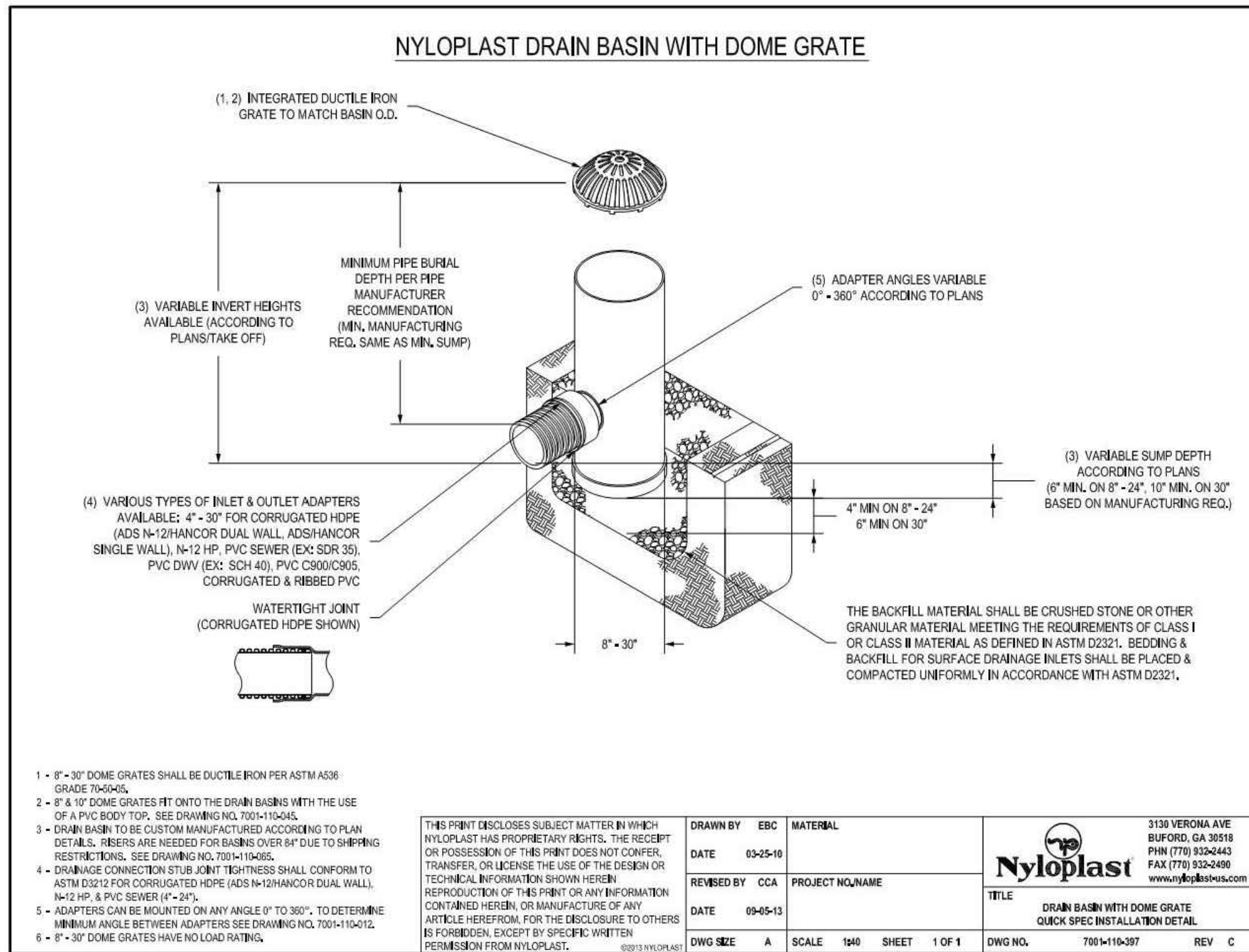
SANITARY SEWER AND WATER LINE TRENCHING AND BEDDING

N.T.S.



SANITARY SEWER CLEAN-OUT

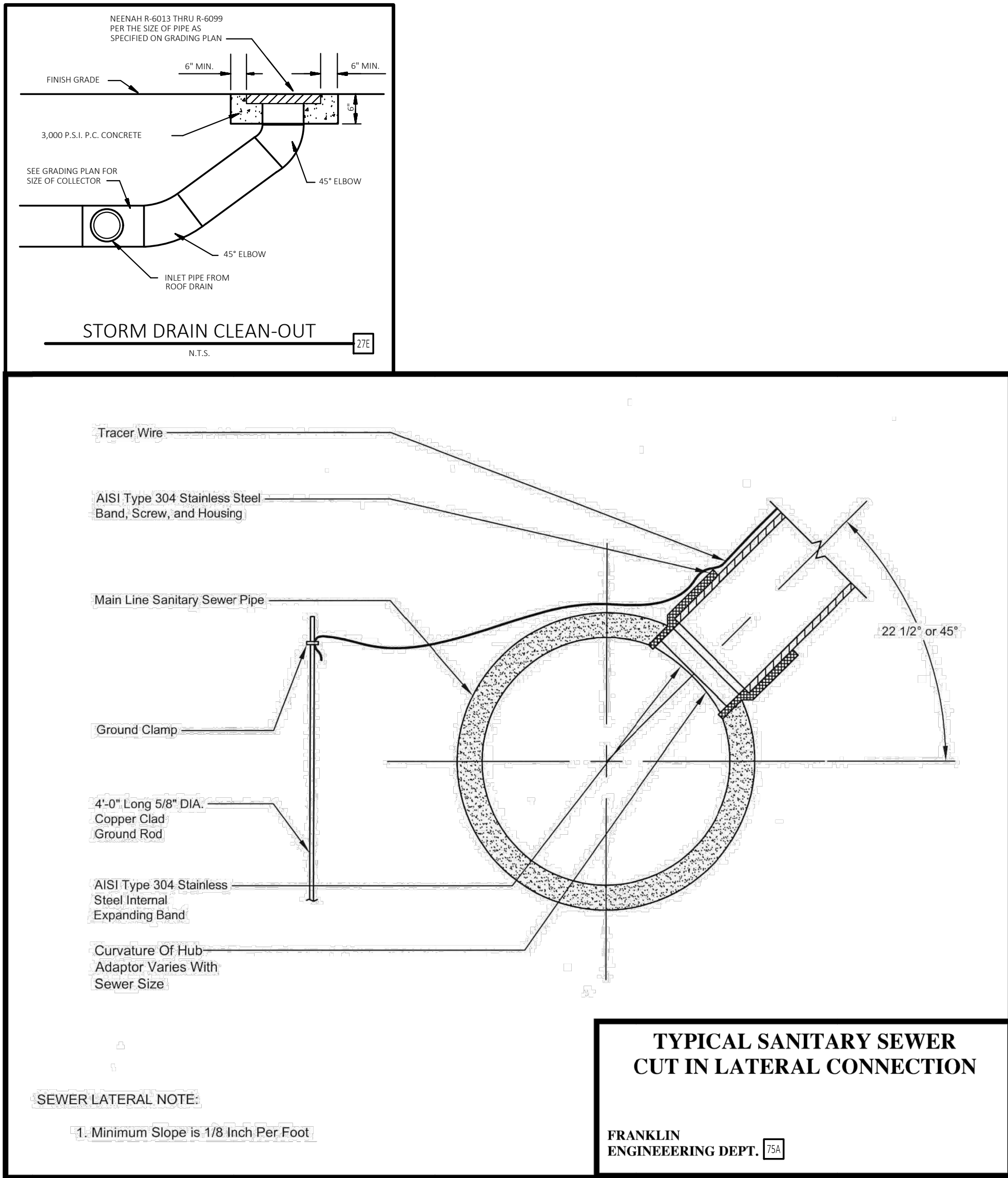
N.T.S.



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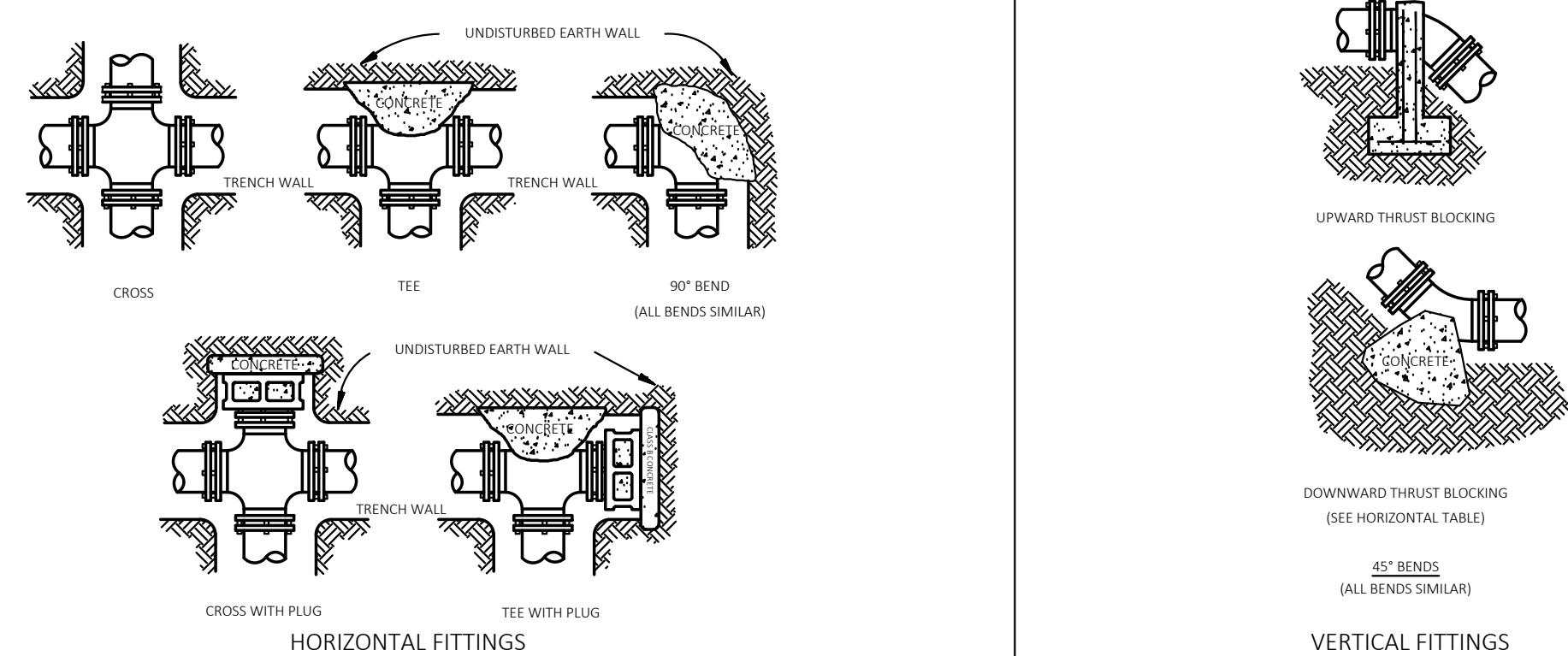
24" DOME GRATE DRAIN BASIN

N.T.S.



TYPICAL SANITARY SEWER CUT IN LATERAL CONNECTION

FRANKLIN
ENGINEERING DEPT.

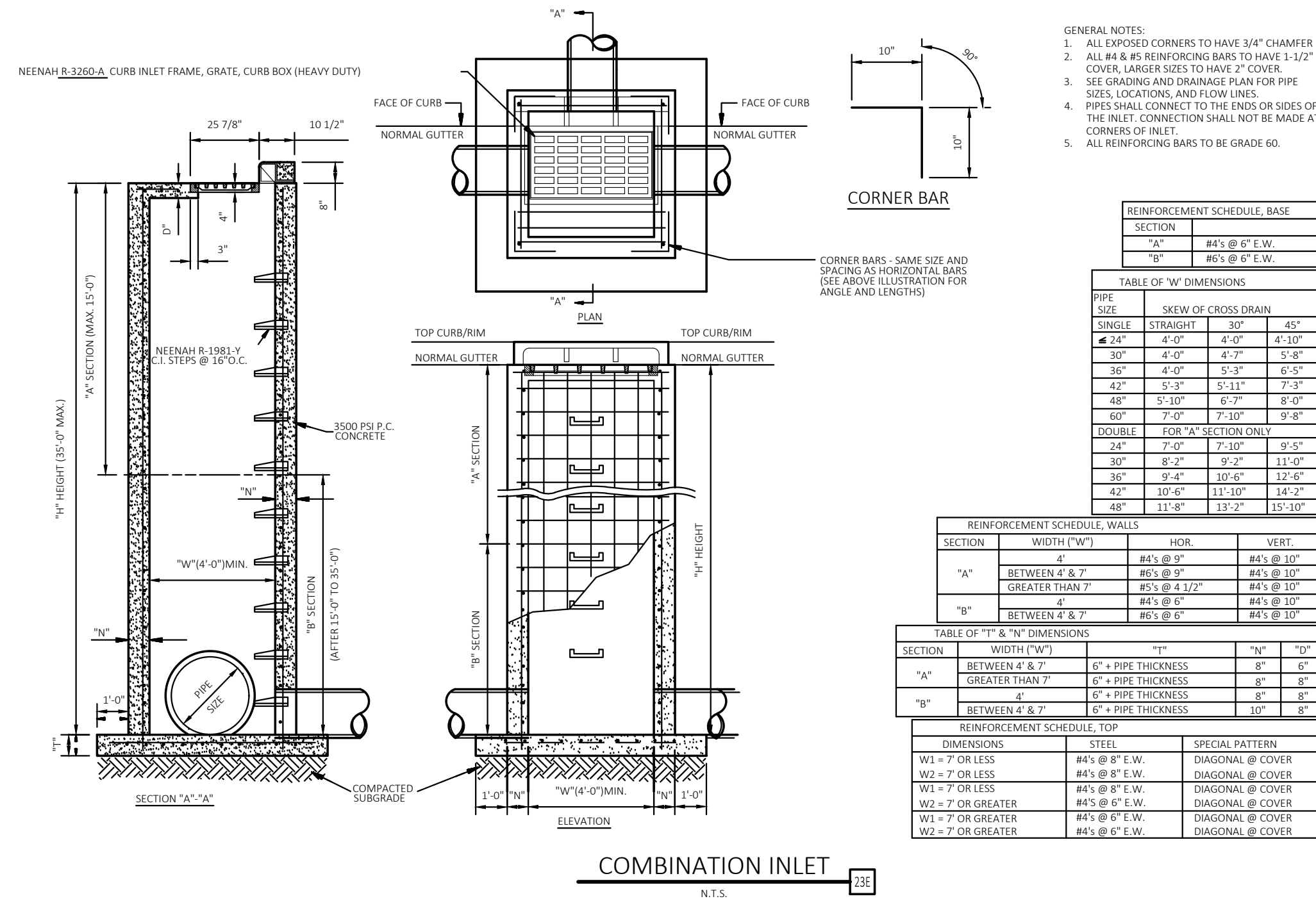


PIPE SIZE INCHES	REQUIRED SQ. FT. OF UNDISTURBED EARTH/ WALL FOR REACTION BACKING				CONCRETE VOLUME CU. YD.	CONCRETE STRAPS NO.	CONCRETE VOLUME CU. YD.	CONCRETE STRAPS NO.	CONCRETE VOLUME CU. YD.	CONCRETE STRAPS NO.	CONCRETE VOLUME CU. YD.
	TEE	CROSS	45°	90°							
2"	1	1	1	1	1	1	1	1	1	1	1
3"	1	1	1	1	1	1	1	1	1	1	1
4"	1	1	1	1	1	1	1	1	1	1	1
6"	1.5	2	1	1	1	1	1	1	1	1	1
8"	2.5	3.5	1.8	1	1	1	1	1	1	1	1
10"	4	5.5	2.8	1.5	1	1	1	1	1	1	1
12"	6	8	4	2	1.5	1	1	1	1	1	1
14"	8	11	5.5	3	2	1	1	1	1	1	1
16"	10	14.2	7	4	3	1	1	1	1	1	1
18"	21	21	12	6	4	1	1	1	1	1	1
20"	26	26	14	7	5	1	1	1	1	1	1
24"	38	38	20	10	7	1	1	1	1	1	1
30"	59	59	32	16	11	1	1	1	1	1	1
36"	85	85	46	23	12	1	1	1	1	1	1

- NOTE: 18" AND LARGER REQUIRES SPECIFIC DESIGN.
- DO NOT COVER BELLS OR FLANGES WITH CONCRETE
 - WAP ALL FITTINGS WITH VIGORUE.
 - BACK ALL TEES ACCORDING TO SIZE OF BRANCH.
 - BACKING FUTURE LINE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.
 - ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL OR VERTICAL SHALL BE BACKED.
 - REACTION BACKING TABLE IS BASED ON 100 P.S.I. AND SOIL BEARING PRESSURE OF 2,500 LB./SQ. FT. ADDITIONAL BACKING MAY BE REQUIRED IN SOME AREAS AS DIRECTED BY ENGINEERS.
 - ALL CONCRETE SHALL BE 2500 P.S.I.

THRUST BLOCKING

N.T.S.



- GENERAL NOTES:
- ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER
 - ALL #4 & #5 REINFORCING BARS TO HAVE 1-1/2" COVER, LARGER SIZES TO HAVE 2" COVER.
 - SEE GRADING AND DRAINAGE PLAN FOR PIPE SIZES, LOCATIONS, AND FLOW LINES.
 - PIPES SHALL CONNECT TO THE ENDS OR SIDES OF THE INLET. CONNECTION SHALL NOT BE MADE AT CORNERS OF INLET.
 - ALL REINFORCING BARS TO BE GRADE 60.

PIPE SIZE	REQUIRED SQ. FT. OF UNDISTURBED EARTH/ WALL FOR REACTION BACKING				CONCRETE VOLUME CU. YD.	CONCRETE STRAPS NO.	CONCRETE VOLUME CU. YD.	CONCRETE STRAPS NO.	CONCRETE VOLUME CU. YD.	CONCRETE STRAPS NO.	CONCRETE VOLUME CU. YD.
	TEE	CROSS	45°	90°							
2"	1	1	1	1	1	1	1	1	1	1	1
3"	1	1	1	1	1	1	1	1	1	1	1
4"	1	1	1	1	1	1	1	1	1	1	1
6"	1.5	2	1	1	1	1	1	1	1	1	1
8"	2.5	3.5	1.8	1	1	1	1	1	1	1	1
10"	4	5.5	2.8	1.5	1	1	1	1	1	1	1
12"	6	8	4	2	1.5	1	1	1	1	1	1
14"	8	11	5.5	3	2	1	1	1	1	1	1
16"	10	14.2	7	4	3	1	1	1	1	1	1
18"	21	21	12	6	4	1	1	1	1	1	1
20"	26	26	14	7	5	1	1	1	1	1	1
24"	38	38	20	10	7	1	1	1	1	1	1
30"	59	59	32	16	11	1	1	1	1	1	1
36"	85	85	46	23	12	1	1	1	1	1	1

PIPE SIZE	REQUIRED SQ. FT. OF UNDISTURBED EARTH/ WALL FOR REACTION BACKING				CONCRETE VOLUME CU. YD.	CONCRETE STRAPS NO.	CONCRETE VOLUME CU. YD.	CONCRETE STRAPS NO.	CONCRETE VOLUME CU. YD.	CONCRETE STRAPS NO.	CONCRETE VOLUME CU. YD.
	TEE	CROSS	45°	90°							
2"	1	1	1	1	1	1	1	1	1	1	1
3"	1	1	1	1	1	1	1	1	1	1	1
4"	1	1	1	1	1	1	1	1	1	1	1
6"	1.5	2	1	1	1	1	1	1	1	1	1
8"	2.5	3.5	1.8	1	1	1	1	1	1	1	1
10"	4	5.5	2.8	1.5	1	1	1	1	1	1	1
12"	6	8	4	2	1.5	1	1	1	1	1	1
14"	8	11	5.5	3	2	1	1	1	1	1	1
16"	10	14.2	7	4	3	1	1	1	1	1	1
18"	21	21	12	6	4	1	1	1	1	1	1
20"	26	26	14	7	5	1	1	1	1	1	1
24"	38	38	20	10	7	1	1	1	1	1	1
30"	59	59	32	16	11	1	1	1	1	1	1
36"	85	85	46	23	12	1	1	1	1	1	1

GRATE INLET

N.T.S.

Firestone Engineering Associates, Inc.
COMPLETE AUTO CARE

THE DRAWING IS THE PROPERTY OF FIRESTONE RETAIL OPERATIONS, LLC AND IS LOANED ON THE EXPRESS CONDITION THAT IT IS NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF FIRESTONE RETAIL OPERATIONS, LLC. ACCEPTANCE OF THIS DRAWING WILL BE CONSIDERED AS AN ACCEPTANCE OF THE DRAWING BY FIRESTONE RETAIL OPERATIONS, LLC.

NEW FCAC STORE
8-BAY-FCAC-ER-RIGHT
W. SPEEDWAY DR
FRANKLIN, WI

WISCONSIN
ANDREW D. SLYTER
E-43148-6
BENTONVILLE, ARKANSAS
PROFESSIONAL ENGINEER
04/10/2020

FILE NAME: 31230_CS.dwg
CEI PROJECT NUMBER: 31230
REVISION: REV 1 DATE: 04/09/2020

SHEET TITLE:
DETAIL SHEET II

SHEET NUMBER:
31230
C10

ALTA/NSPS LAND TITLE SURVEY

CLIENT

Pavilion Development Co.

SITE ADDRESS

Vacant land on W. Speedway Drive., City of Franklin, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION

Lot 2 of Certified Survey Map No. 8519, recorded February 21, 2013 as Document Number 10219102, being a division of Lots 2 and 3 Certified Survey Map No. 7721, being a part of the Southeast 1/4 of the Northeast 1/4 of Section 6 and part of the Southwest 1/4 of the Northwest 1/4 of Section 5, all in Town 5 North, Range, 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

BASIS OF BEARINGS

-Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the East line of the NE 1/4 of Section 6 bears N00°26'45"W, per C.S.M. No. 8519.

-Vertical Datum is based on NGVD-29

-Starting BM: Ref. Mark and RBM for the Northeast corner of Section 31-6-21, chisled cross in top of hydrant nozzle; Elev=780.674'

TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. NCS-953453-MKE, effective date of March 22, 2019 which lists the following easements and/or restrictions from schedule B-II:

1, 2, 3, 5, 31, 32 & 33 visible evidence shown, if any.

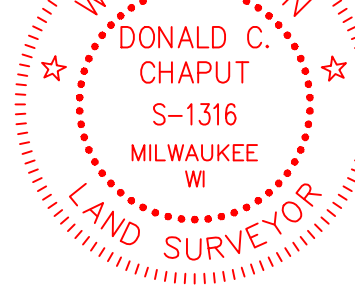
4, 6, 7, 8, 30 & 34 not survey related.

- Reservations as contained in Warranty Deed, executed by and between Wisconsin Electric Power Company and Jacob T. Falk and Lena Falk, his wife, and recorded in the Register of Deeds office for Milwaukee County, on January 8, 1946, in Volume 2189, on Page 367, as Document No. 2604883. **Affects property by location, general in nature.**
- Easement granted to Wisconsin Electric Power Company, as recorded in the Register of Deeds office for Milwaukee County, on July 25, 1950, in Volume 2772 of Deeds, on Page 436, as Document No. 2957621. **Affects property by location, general in nature.**
- Easement granted to Wisconsin Electric Power Company, as recorded in the Register of Deeds office for Milwaukee County, on July 25, 1950, in Volume 2772 of Deeds, on Page 437, as Document No. 2957622. **Affects property by location, general in nature.**
- The description of the easement area in the foregoing document is general in nature and is not sufficient for determination of what portion of the subject premises, if any, it affects.
- Easement granted to Wisconsin Electric Power Company and Wisconsin Telephone Company, as recorded in the Register of Deeds office for Milwaukee County, on May 22 1970, on Reel 531, Image 1611, as Document No. 4526280. **Affects property by location, general in nature.**
- The terms, covenants, and provisions contained in the document entitled "Development Agreement for Menard Speedway Development" recorded November 24, 2003 as Document No. 8687734. By and between Menard Inc., a Wisconsin corporation and the City of Franklin, a municipal corporation. **Affects property by location, general in nature.**
- Access restriction, 20' wide water main easement and other matters as shown on Certified Survey Map No. 7435 recorded July 08, 2004 as Document No. 8817304. **Affects property by location, shown.**
- Distribution Easement Underground Joint granted to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies and Wisconsin Bell, Inc. d/b/a SBC Wisconsin, a Wisconsin corporation recorded October 07, 2004 as Document No. 08879353, also as set forth on Certified Survey Map No. 8519. **Affects property by location, shown.**
- The terms, conditions and provisions contained in the document entitled "Storm Water Facilities Maintenance Agreement" recorded January 10, 2005 as Document No. 08930484. By and between Menard, Inc., and the City of Franklin. **Does not affect property by location.**
- Water Main Easement by and between City of Franklin, a municipal corporation of the State of Wisconsin and Menard, Inc., a Wisconsin corporation recorded January 31, 2005 as Document No. 08948225. **Affects property by location, shown.**
- Sanitary Sewer Easement by and between the City of Franklin, a municipal corporation of the State of Wisconsin and Menard, Inc., a Wisconsin corporation recorded February 01, 2005 as Document No. 08949793. **Affects property by location, shown.**
- Deed restrictions as evidenced by Quit Claim Deed recorded June 3, 2005 as Document No. 9022109. (NOTE: The Exhibit for the deed restrictions was not attached to the recorded Quit Claim Deed) **Affects property by location, general in nature.**
- Notice of Nonaccess to or Across a Controlled-Access Highway executed by Wisconsin Department of Transportation recorded July 27, 2005 as Document No. 09057015. **Affects property by location, shown.**
- Notice of Nonaccess to or Across a Controlled-Access Highway executed by Wisconsin Department of Transportation recorded July 27, 2005 as Document No. 09057017. **Affects property by location, shown.**
- Access restriction, utility easement, watermain and sanitary sewer easement and other matters as shown on Certified Survey Map No. 7721 recorded March 09, 2006 as Document No. 09197021. **Affects property by location, shown.**
- Sanitary Sewer Easement by and between City of Franklin, a municipal corporation of the State of Wisconsin and Menard, Inc., a Wisconsin corporation recorded March 17, 2006 as Document No. 09202813. **Affects property by location, shown.**
- Covenants, conditions, restrictions, easements and provisions for assessments, if any, set forth in that certain Declaration of Reciprocal Easements and Restrictive Covenants for Menards Speedway Development Franklin, Wisconsin from Menard, Inc., a Wisconsin corporation, dated March 15, 2006 and recorded March 17, 2006 as Document No. 09202978 among the Land Records. **Affects property by location, shown.**
- Resolution No. 2006-6020, A Resolution Imposing Conditions and Restrictions for the Approval of a Special Use for Property Located at Approximately 10925 West Speedway Drive (Main Street Real Estate Holdings LLC) recorded May 05, 2006 as Document No. 09230145. **Affects property by location, general in nature.**
- Milwaukee Metropolitan Sewerage District Certified Resolution No. 11-141-10 executed by Milwaukee Metropolitan Sewerage Commission recorded December 21, 2011 as Document No. 10065228. **Affects property by location, general in nature.**
- Access restriction and other matters as shown on Certified Survey Map No. 8519 recorded February 21, 2013 as Document No. 10219102. **Affects property by location, shown.**
- Transportation Project Plat No: 2040-14-20 - 4.12 recorded March 04, 2013 as Document No. 10222174. **Does not affect property by location.**
- Transportation Project Plat No: 2040-14-20 - 4.13 recorded March 04, 2013 as Document No. 10222175. **Affects property by location, shown.**

TO: Pavilion Development
Woodforest National Bank, its successors and/or assigns
Zane Street, LLC
Bridgestone Retail Operations, LLC
Robinson, Brashaw & Hinson, P.A.
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes the following items: 1, 2, 3, 4, 6(a)(b), 8, 9, 11, 0., 14, 16, 17, 18, 19, 20 and 22 of Table A thereof. The field work was completed on August 22, 2019.

Date of Map: August 26, 2019

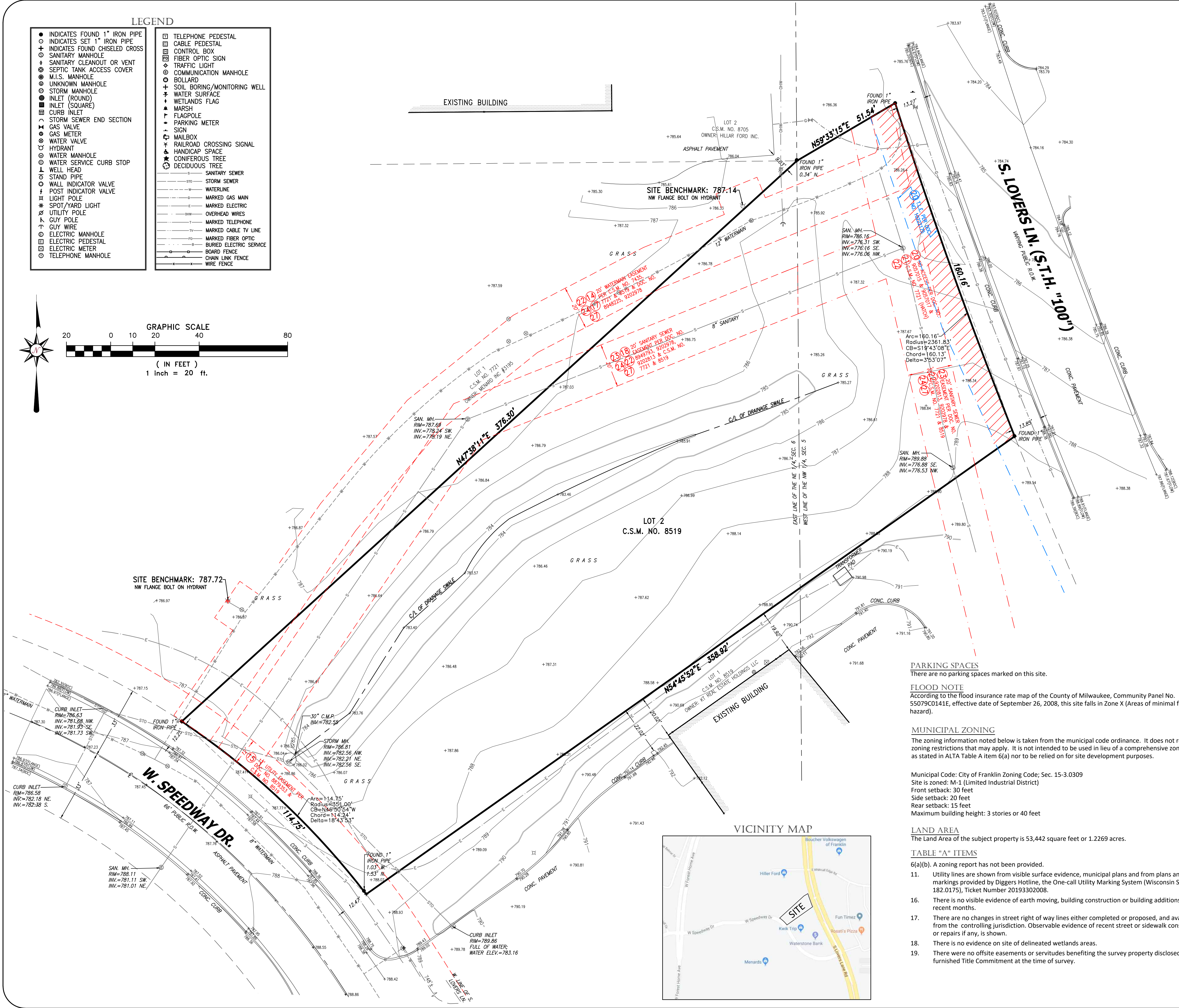
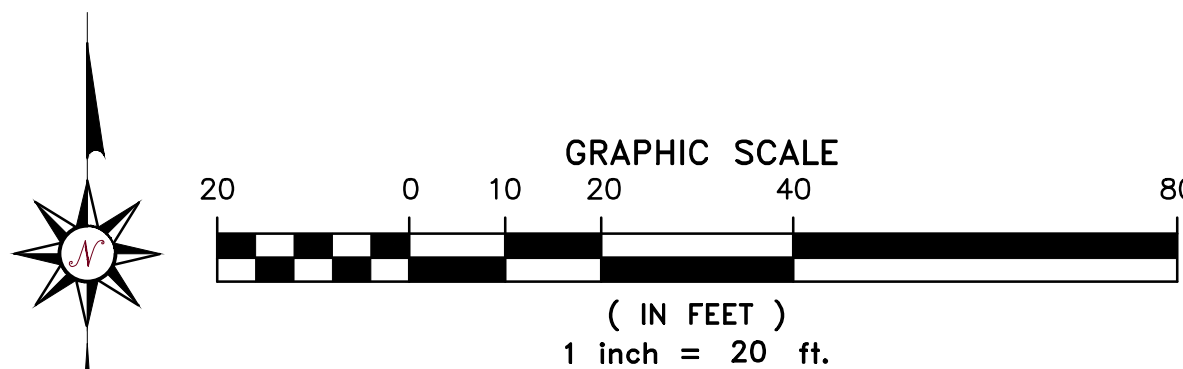


Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

CHAPUT
LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

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Drawing No. 3311-dmb

LEGEND	
● INDICATES FOUND 1" IRON PIPE	☐ TELEPHONE PEDESTAL
○ INDICATES SET 1" IRON PIPE	☐ CABLE PEDESTAL
✚ INDICATES FOUND CHISELED CROSS	☐ CONTROL BOX
○ SANITARY MANHOLE	✚ FIBER OPTIC SIGN
✚ SANITARY CLEANOUT OR VENT	✚ TRAFFIC LIGHT
✚ SEPTIC TANK ACCESS COVER	○ COMMUNICATION MANHOLE
○ M.I.S. MANHOLE	○ BOLLARD
○ UNKNOWN MANHOLE	✚ SOIL BORING/MONITORING WELL
○ STORM MANHOLE	✚ WATER SURFACE
○ INLET (ROUND)	✚ WETLANDS FLAG
■ INLET (SQUARE)	✚ MARSH
☐ CURB INLET	✚ FLAGPOLE
☐ STORM SEWER END SECTION	✚ PARKING METER
✚ GAS VALVE	✚ SIGN
○ GAS METER	☐ MAILBOX
○ WATER VALVE	✚ RAILROAD CROSSING SIGNAL
○ HYDRANT	✚ HANDICAP SPACE
○ WATER MANHOLE	✚ CONIFEROUS TREE
○ WATER SERVICE CURB STOP	✚ DECIDUOUS TREE
☐ WELL HEAD	☐ SANITARY SEWER
☐ STAND PIPE	☐ STORM SEWER
☐ WALL INDICATOR VALVE	☐ WATERLINE
✚ POST INDICATOR VALVE	☐ MARKED GAS MAIN
☐ LIGHT POLE	☐ MARKED ELECTRIC
✚ SPOT/YARD LIGHT	☐ OVERHEAD WIRES
✚ UTILITY POLE	☐ MARKED TELEPHONE
☐ GUY POLE	☐ MARKED CABLE TV LINE
☐ GUY WIRE	☐ MARKED FIBER OPTIC
☐ ELECTRIC MANHOLE	☐ BURIED ELECTRIC SERVICE
☐ ELECTRIC PEDESTAL	☐ BOARD FENCE
☐ ELECTRIC METER	☐ CHAIN LINK FENCE
☐ TELEPHONE MANHOLE	☐ WIRE FENCE



PARKING SPACES

There are no parking spaces marked on this site.

FLOOD NOTE

According to the flood insurance rate map of the County of Milwaukee, Community Panel No. 55079C0141E, effective date of September 26, 2008, this site falls in Zone X (Areas of minimal flood hazard).

MUNICIPAL ZONING

The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.

Municipal Code: City of Franklin Zoning Code; Sec. 15-3.0309
Site is zoned: M-1 (Limited Industrial District)
Front setback: 30 feet
Side setback: 20 feet
Rear setback: 15 feet
Maximum building height: 3 stories or 40 feet




LAND AREA

The Land Area of the subject property is 53,442 square feet or 1.2269 acres.

TABLE "A" ITEMS

6(a)(b). A zoning report has not been provided.

- Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20193302008.
- There is no visible evidence of earth moving, building construction or building additions within recent months.
- There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
- There is no evidence on site of delineated wetlands areas.
- There were no offsite easements or servitudes benefiting the survey property disclosed in furnished Title Commitment at the time of survey.

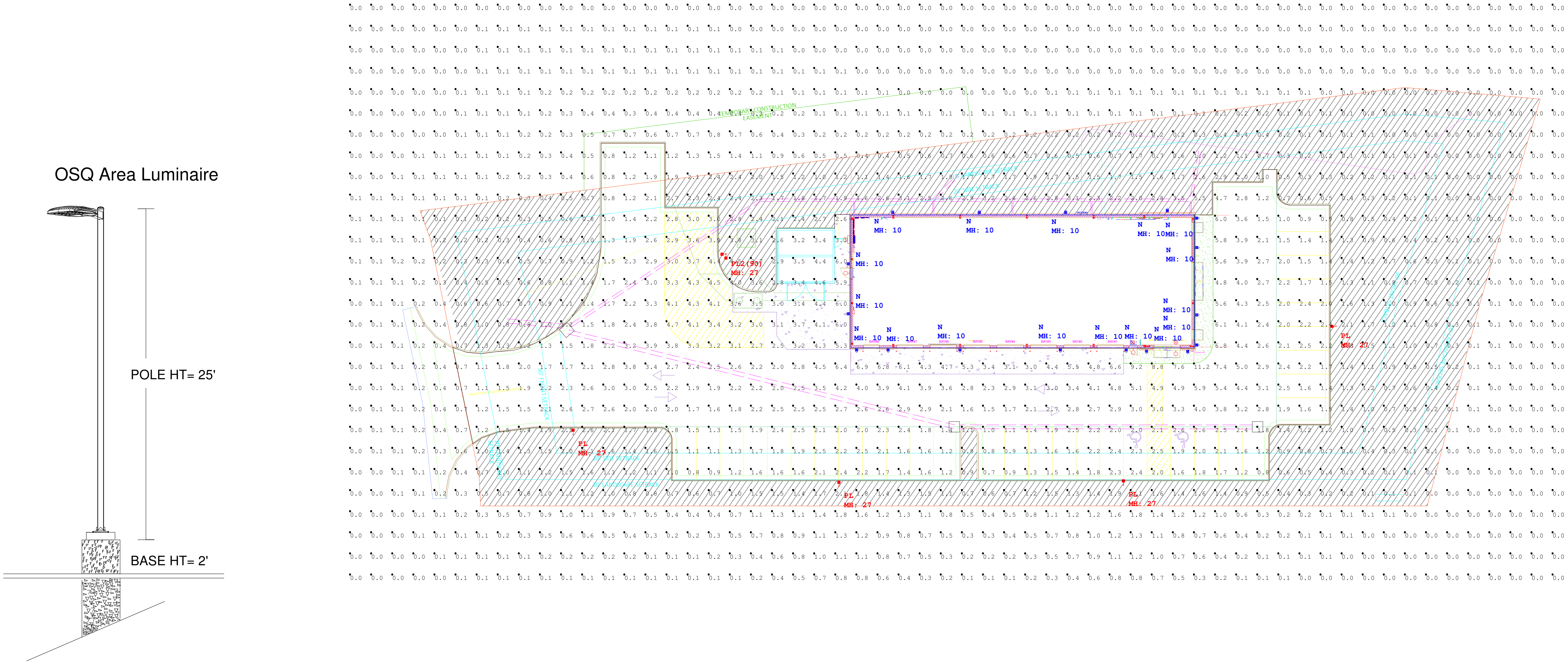
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	17	N	WALL MOUNT	1.000	2490	19	XSPW-B-WM-3ME-2L-57K-UL-xx (Wall Light)
	4	PL	SINGLE	1.000	11648	86	OSQ-A-NM-4ME-B-57K-UL-BK (Area)
	1	PL2(90)	2 @ 90°	1.000	11648	86	OSQ-A-NM-4ME-B-57K-UL-BK (Area)

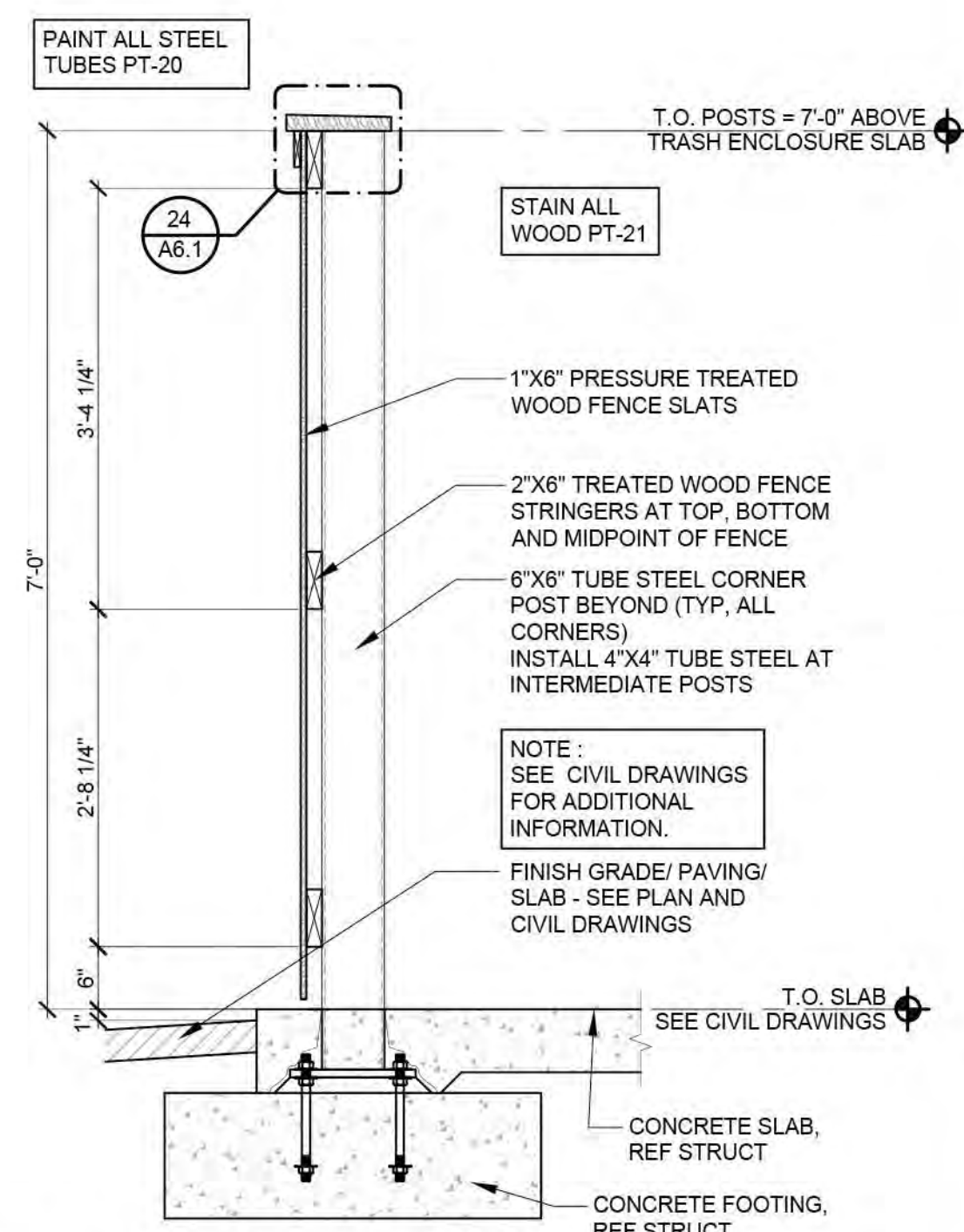
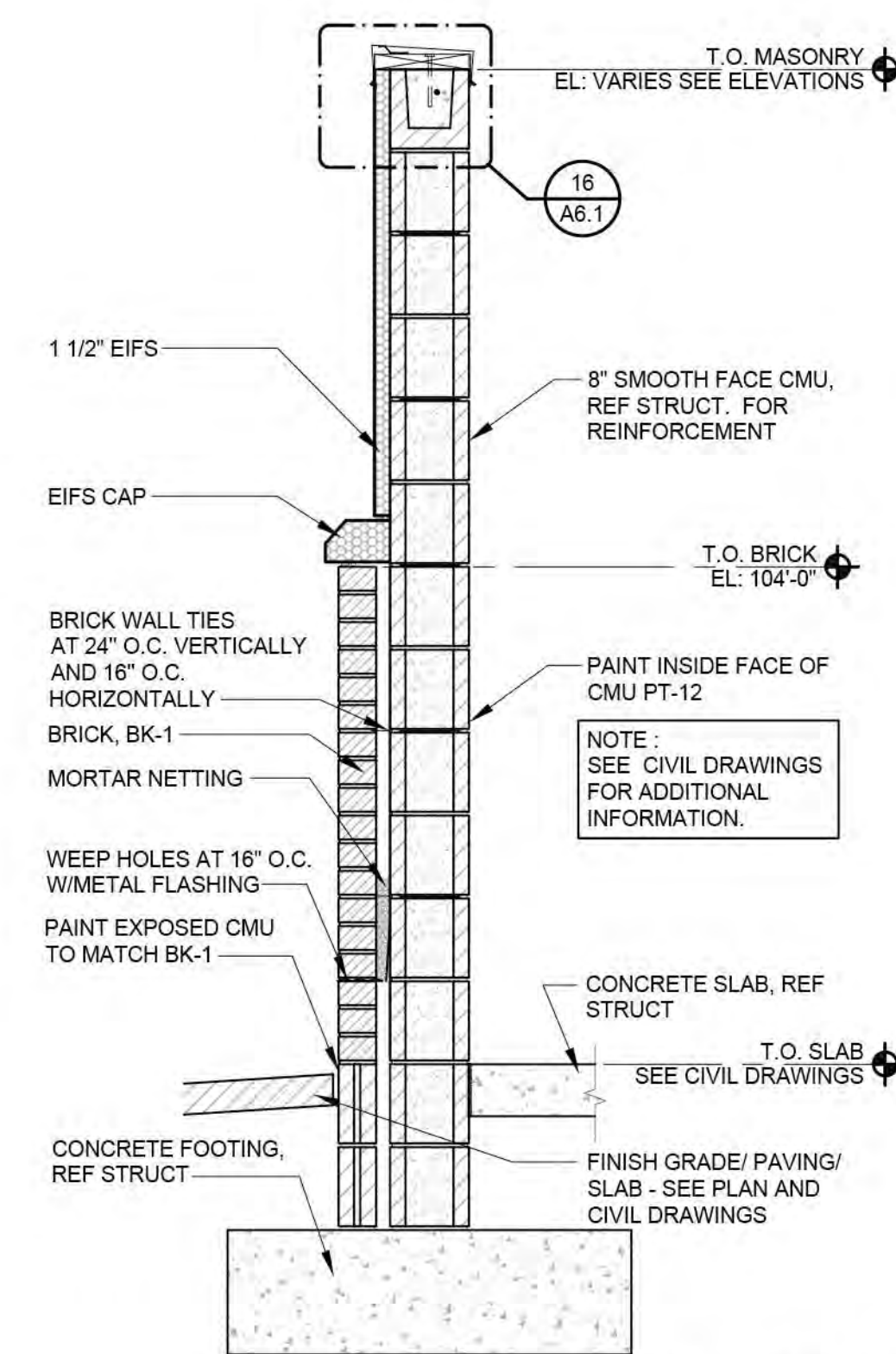
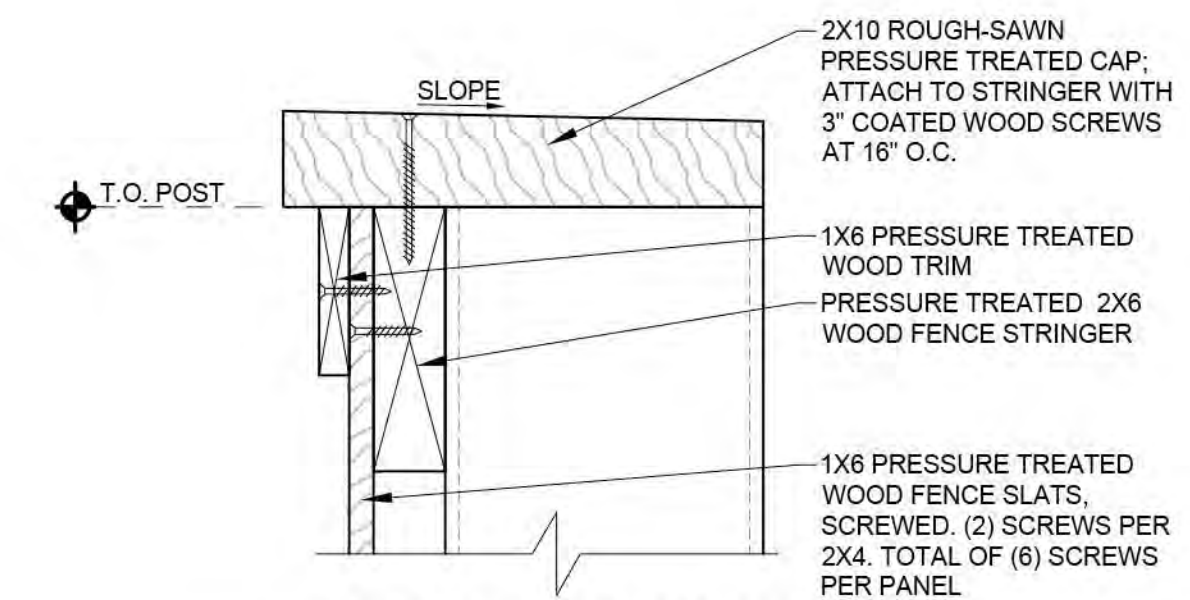
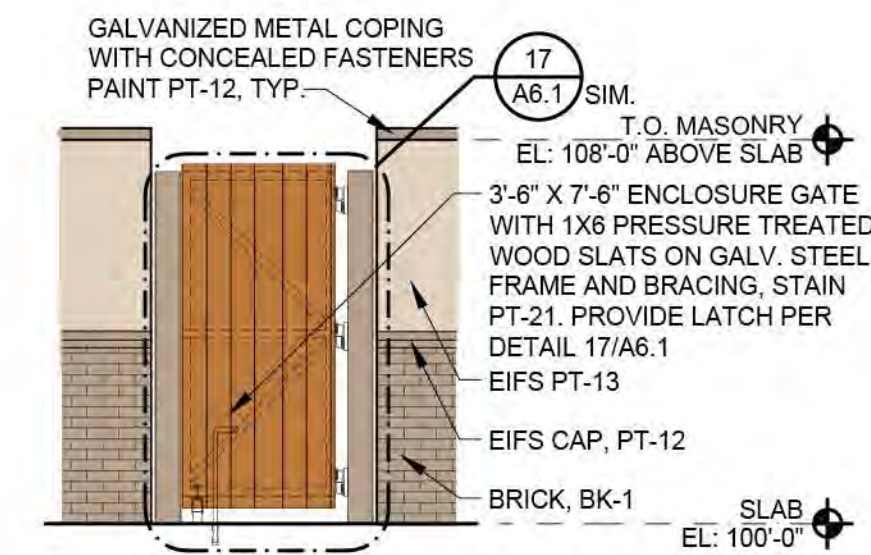
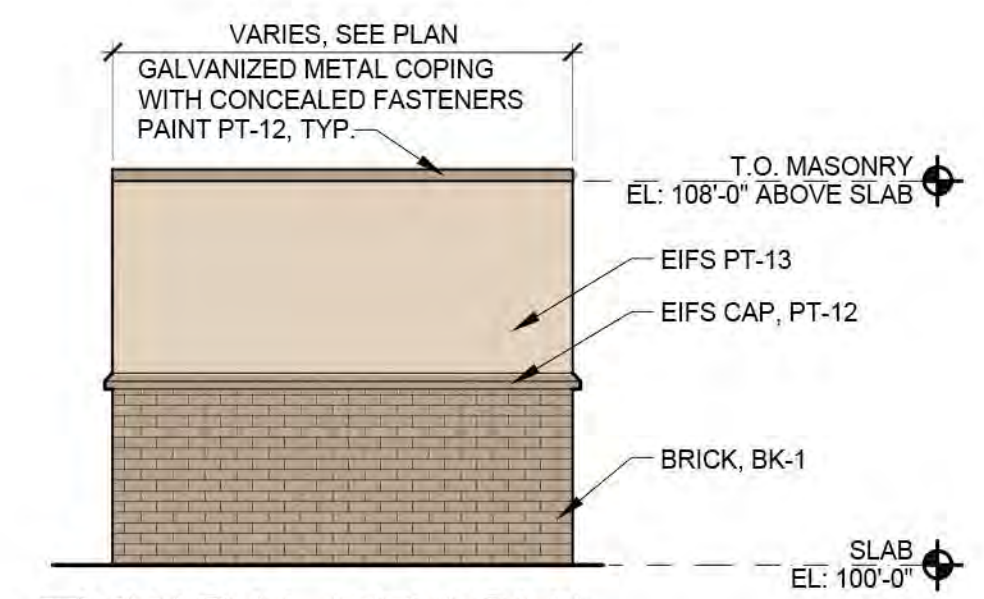
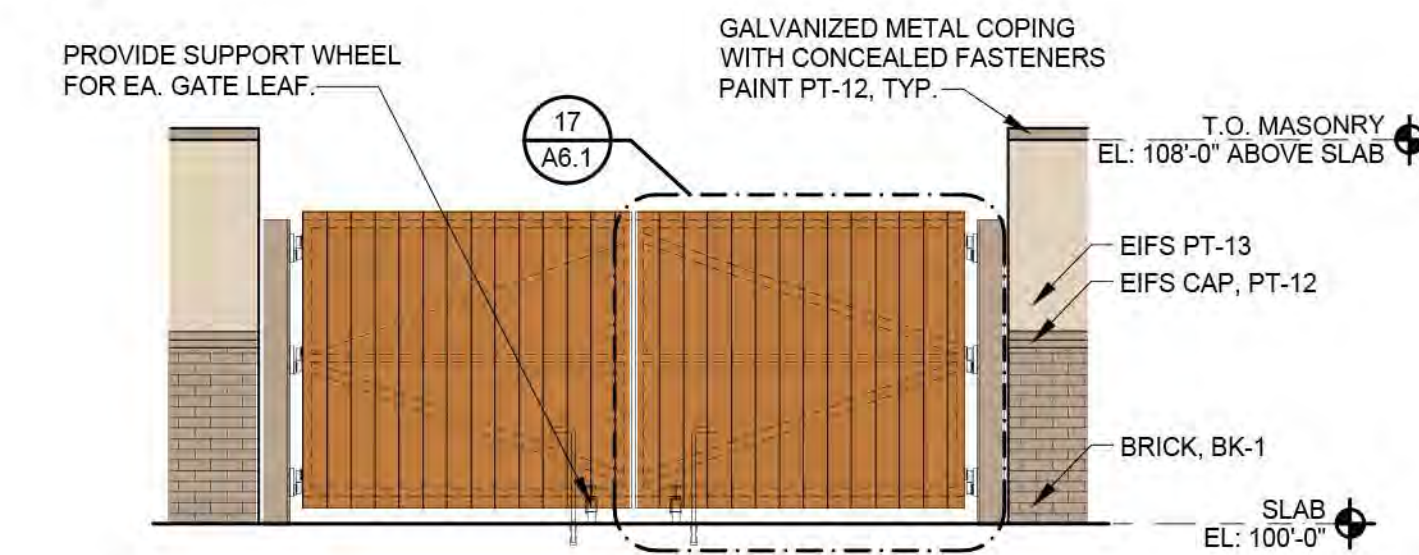
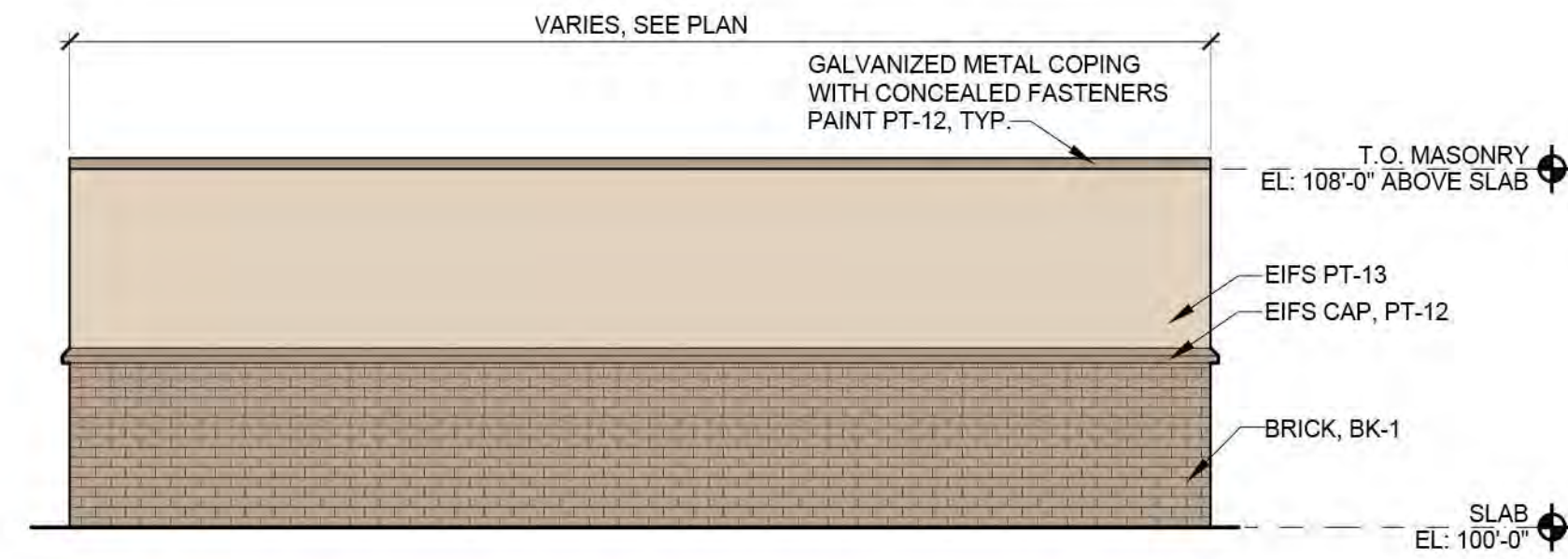
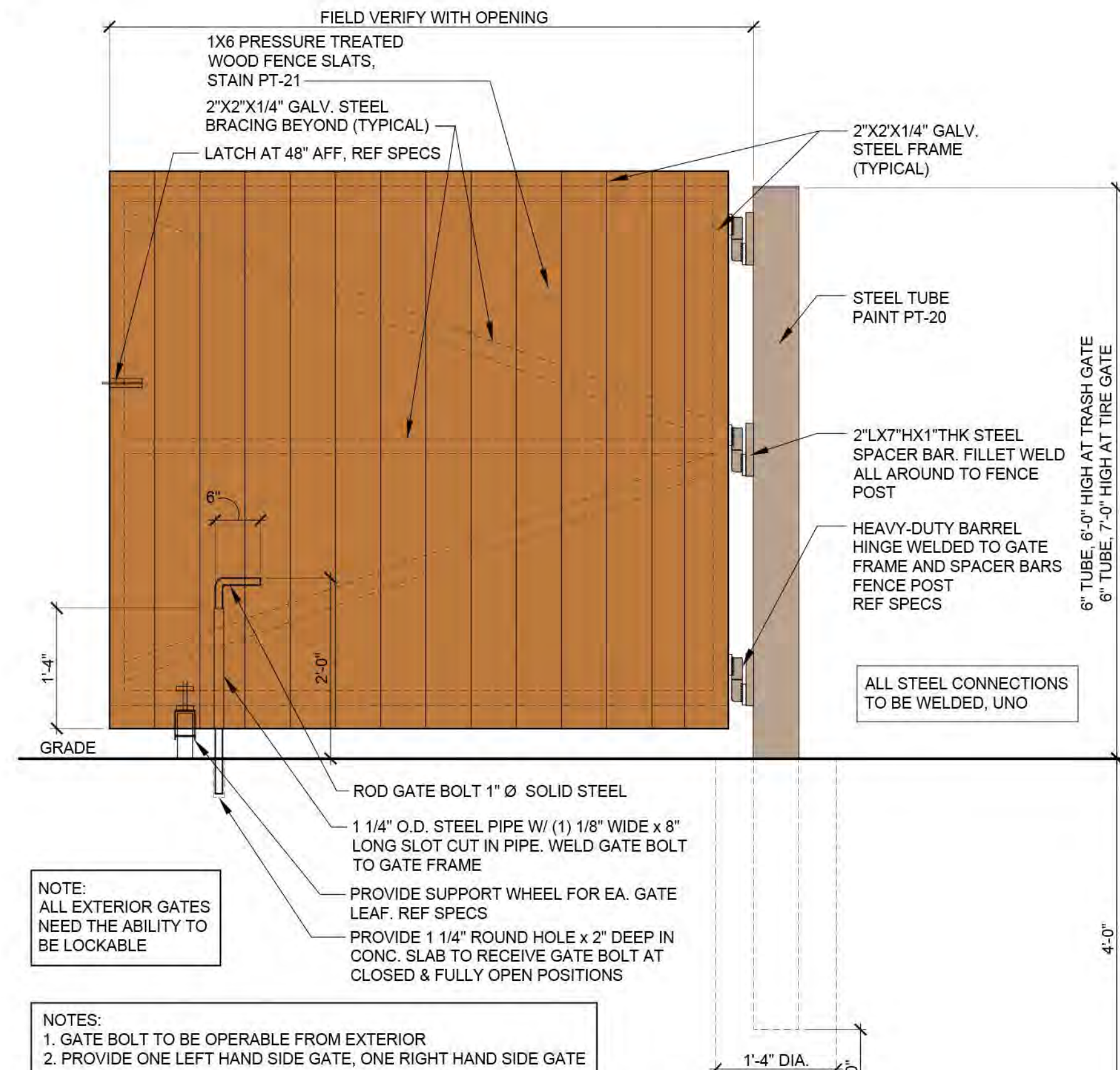
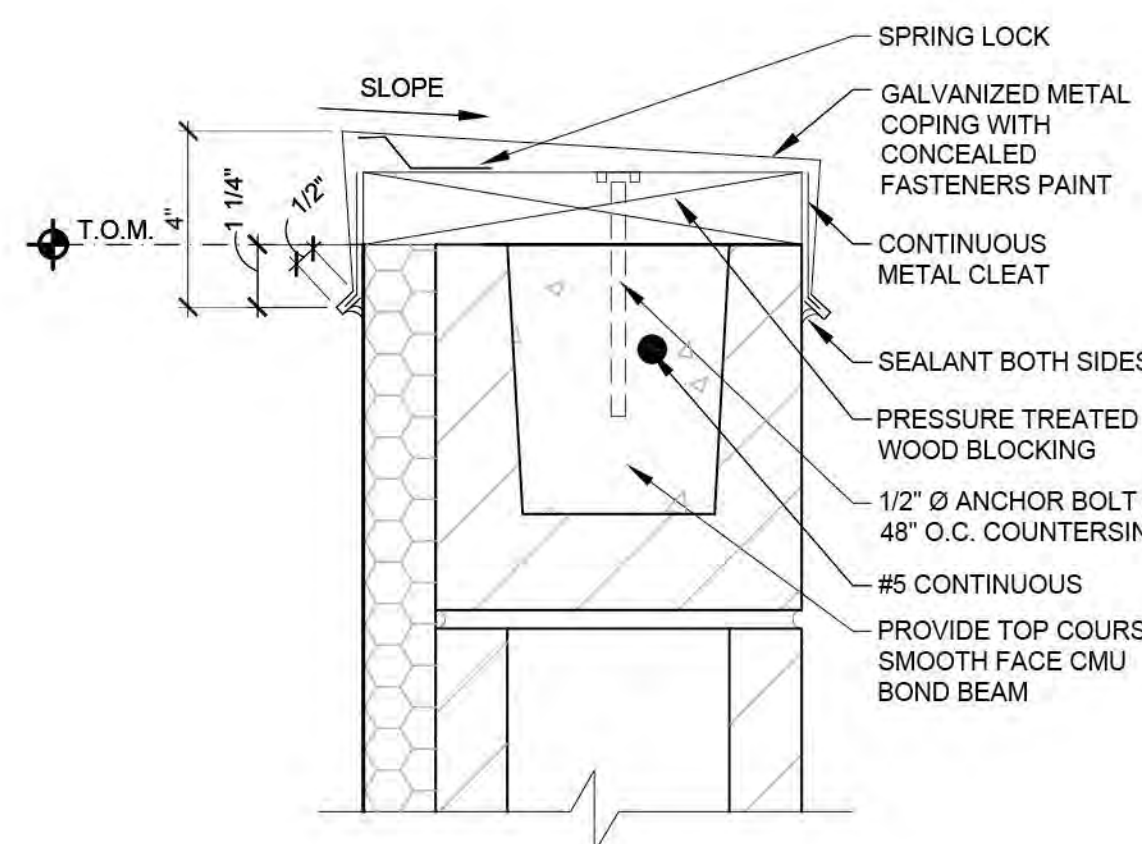
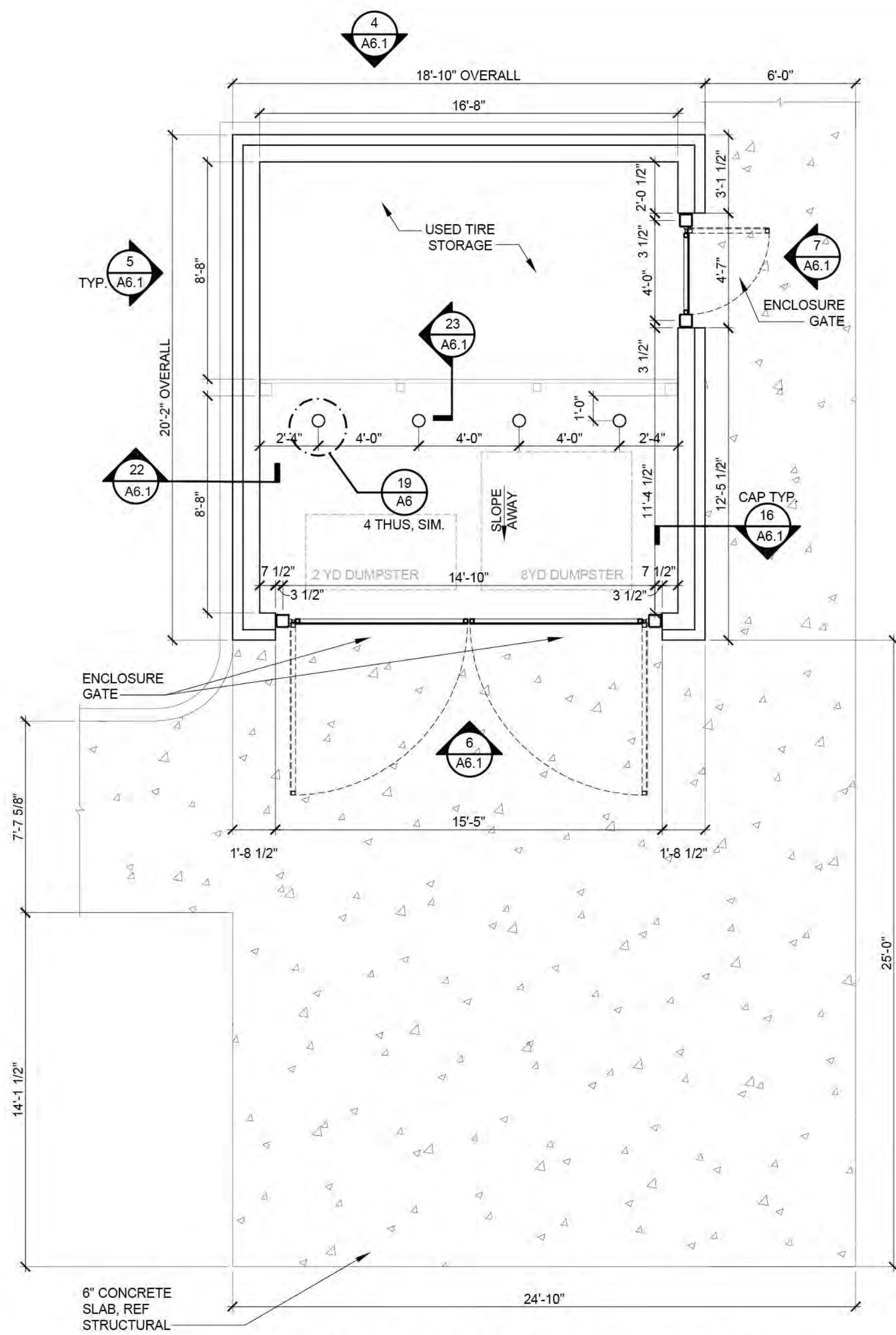
Calculation Summary: 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.96	11.2	0.0	N.A.	N.A.
Paved Parking	Fc	2.73	11.2	0.7	3.90	16.00

POLE SCHEDULE
(4) CL-SSP-4011-25-D1-BK/AB (25' x 4"sq STEEL POLE, SINGLE MOUNT)
(1) CL-SSP-4011-25-D3-BK/AB (25' x 4"sq STEEL POLE, 2@90°)
(6) OSQ-DABK (Direct Arm Mount)

PROPOSED POLES MEET 120MPH SUSTAINED WINDS

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***







CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of April 23, 2020

Unified Development Ordinance Text Amendment

RECOMMENDATION: City Development staff recommends denial of the application to amend the text of the CC Civic Center District section of the Unified Development Ordinance for The Learning Experience daycare facility located at 9651 W. Drexel Ave.

Project Name:	Unified Development Ordinance Text Amendment
Project Address:	9651 W. Drexel Ave
Applicant:	Gary Wendt, Bradford Franklin LLC
Property Owner:	Franklin-Wyndham, LLC
Current Zoning:	CC City Civic Center District
2025 Comprehensive Plan	Mixed Use
Use of Surrounding Properties:	Single-family residential to the north, stormwater detention pond to the south, Risen Savior Lutheran Church to the east and Summit Credit Union to the west
Applicant Action Requested:	Recommendation of approval for the proposed Unified Development Ordinance Text Amendment lifting the cross access requirement, to allow for the development of The Learning Center daycare facility.

Please note:

- Although staff is recommending denial of the proposed text amendment, should the City wish to approve the project, suggested conditions of approval are set forth in each of the associated draft ordinance and resolution.

INTRODUCTION

On November 21, 2019 the Plan Commission approved, with several conditions, a Site Plan Application for the development of The Learning Experience daycare facility, located at 9651 W. Drexel Ave., previously addressed as 7760 S. Lovers Lane Rd. Common Council approved the related Special Use on December 3, 2019. Both approvals include the condition that:

“Applicant shall obtain City approval of a UDO Text Amendment removing or revising requirements for cross access, or obtain a waiver of such requirement by Common Council if such waiver is available as determined by the City Attorney, prior to issuance of Building Permits.”

§15-3.0307.A.9 of the UDO stipulates that properties in the CC Civic Center District shall provide cross access for both pedestrians and vehicles at the time of development, or easements or a letter of credit when this is not practical.

A complete application for the UDO Text Amendment, requesting to amend this portion of the text, was received on January 13, 2020

PROJECT DESCRIPTION AND ANALYSIS

The subject property is a vacant lot of approximately 1.13 acres, located on the southeast corner of Drexel Avenue and the Shoppes at Wyndham Village access road. It does not have access to Lovers Lane Road or direct access to Drexel Avenue.

Site Plan:

The proposed The Learning Experience daycare facility is a 10,000 square foot, single-story building. A 4,463 square-foot playground, surrounded by a fence is located immediately adjacent to the south side of the building. The site plan includes one driveway off of the Shoppes at Wyndham Village access road.

Staff originally recommend denial of the overall project because, among several other reasons, the applicant does not provide cross access as required by: the CC City Civic Center District; the approved Floating Cross Access Easement; and past City practice and policy which typically requires construction of the cross access at the time of development of the subject parcel. If the amendment is approved, should the parcel to the east be divided and sold but a driveway is not provided, the burden of access would likely fall on the property owners, Risen Savior Lutheran Church.

Comprehensive Master Plan Consistency:

The City of Franklin 2025 Comprehensive Master Plan (CMP) identifies the subject property as “Mixed Use.” Staff believes that this proposed amendment to the UDO is not consistent with the following objectives set forth within the Comprehensive Master Plan:

- Encourage land uses, densities, and regulations that promote efficient development patterns and relatively low municipal and utility costs.
- Build community identity by revitalizing main streets, special districts, and other important areas of the City, enforcing appropriate design standards, and by creating and preserving varied and unique development and land uses.

By way of Resolution No. 2007-11, the Plan Commission approved a Site Plan for the entire Shoppes of Wyndham Village development, including the subject parcel. By way of Resolution No. 2007-6339, the Common Council approved a Floating Access Easement in perpetuity “to construct a path on, over and across the Wyndham property to grant pedestrian or motor vehicle access to the adjoining easterly Property”. Specifically, the floating access easement is located across the entire subject parcel, with the exact location “to be mutually determined in the future by Grantor and Grantee so as to not unreasonably interfere with the normal and customary operations carried out on the Wyndham Property.”

Franklyn-Wyndham, LLC has granted release of cross access to the parcel to the east, as detailed in the attached letter.

STAFF RECOMMENDATION

City Development staff recommends denial of the application to amend the text of the CC Civic Center District section of the Unified Development Ordinance.

However, if the City wishes to approve the proposed project, staff recommends it be approved subject to the conditions of approval contained in the attached draft resolutions. In addition, staff would have the following suggestion:

1. That the text of the proposed amendment stipulate that, should the site plan for the property be amended, the cross access requirement be reinstated.
2. Economic Development Staff concur with removing cross-access requirement and requiring cross-access should the site plan be amended or the property be sold.

RESOLUTION NO. 2020-____

A RESOLUTION AUTHORIZING THE WAIVER AND RELEASE IN PART OF THE FLOATING ACCESS EASEMENT UPON LAND WITHIN THE SHOPPES AT WYNDHAM VILLAGE, PREVIOUSLY APPROVED BY RESOLUTION NO. 2007-6339, SOLELY FOR THE PROPERTY LOCATED AT 9651 WEST DREXEL AVENUE (PREVIOUSLY ADDRESSED AS 7760 SOUTH LOVERS LANE ROAD) (STEVE PAGNOTTA, MANAGING MEMBER OF BRADFORD FRANKLIN LLC, APPLICANT, FRANKLIN-WYNDHAM, LLC, PROPERTY OWNER)

WHEREAS, Steve Pagnotta, Managing Member of Bradford Franklin LLC having applied for a waiver and release of the Floating Access Easement upon property located at 9651 West Drexel Avenue (approximately 1.13 acres of vacant land, previously addressed as 7760 Lovers Lane Road) to construct a 10,000 square foot one-story daycare building (The Learning Experience), 4,463 square foot playground and parking lot (35 parking spaces), with associated landscaping, fencing and lighting [the applicant received approval for a Special Use and Site Plan for the property on December 3, 2019, and as a condition of the approvals, applicant must obtain a waiver of the cross-access requirement for the subject property only, not the entirety of the Shoppes at Wyndham Village development, and not for the entirety of the CC City Civic Center District, wherein the property is located]; and

WHEREAS, the subject Floating Access Easement approved by the Common Council pursuant to Resolution No. 2007-6339 on September 25, 2007, was recorded in the Office of the Register of Deeds for Milwaukee County on November 21, 2007, as Document No. 09526084, applicable to the lands described as follows:

Lot 1, Certified Survey Map No. 8000, being a Redivision of Parcel 1 of Certified Survey Map No. 5762, Certified Survey Map No. 377, and lands in the Southwest $\frac{1}{4}$ and Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 8, Township 5 North, Range 21 East, in the city of Franklin, Milwaukee County, Wisconsin; and

WHEREAS, the property to be released and waived in part therefrom pursuant to this Resolution is located at 9651 West Drexel Avenue, bearing Tax Key No. 794-9999-009 and is more particularly described as follows:

Lot 4 of Certified Survey Map No. 8567, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on November 21, 2013. As Document No. 10315111; being a Resubdivision of Lot 1 of Certified Survey Map No. 8000, being a Resubdivision of Parcel 1 of Certified Survey Map No. 5762, Certified Survey Map No. 377, and lands in the Southwest Quarter and the Northwest Quarter of the Southeast

Quarter of Section 8, Township 5 North, Range 21 East; said lands being in the City of Franklin, County of Milwaukee, State of Wisconsin; and

WHEREAS, the Floating Access Easement and its accompanying requirement for cross-access applies to the properties across the entirety of the Shoppes at Wyndham Village development and the CC City Civic Center District, and the applicant having submitted, that for the property bearing Tax Key No. 794-9999-009, for which a Special Use approval and a Site Plan approval have been granted, that the cross-access for pedestrian and vehicular circulation between adjacent parcels, is not appropriate with regard to the proposed daycare facility and outdoor play area for children development on the property, with regard to the adjacent parcel(s) to the east of the subject property ; and

WHEREAS, Wis. Stats. § 236.293 provides in part that any restriction placed on platted land by covenant, grant of easement or in any other manner, which was required by a public body vests in the public body the right to enforce the restriction at law or in equity and that the restriction may be released or waived in writing by the public body having the right of enforcement; and

WHEREAS, the Common Council having considered the request for the waiver and release of the cross-access requirements of the Floating Access Easement for the subject property 10,000 square foot one-story daycare building (The Learning Experience), 4,463 square foot playground and parking lot (35 parking spaces), with associated landscaping, fencing and lighting, and that the proposed waiver/release is only for the subject property.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the cross-access requirements of the Floating Access Easement approved pursuant to Resolution No. 2007-6339, as they apply to the property located at 9651 West Drexel Avenue, bearing Tax Key No. 794-9999-009, only, for both pedestrian and vehicular circulation with adjacent parcel(s) to the east of the subject property, be and the same are hereby waived and released, provided that such cross-access requirements may be reinstated by way of the agreement thereto by the owner(s) of the subject property from time to time in the future and a resulting rescinding of this Resolution by the Common Council, and further provided that this Resolution may be rescinded in the sole discretion of the Common Council should the Special Use and Site Plan approvals development of the subject property not occur within the time requirements set forth in such approvals, or if such development is substantially altered.

BE IT FURTHER RESOLVED, that the City Clerk be and the same is hereby directed to obtain the recording of this Resolution with the Office of the Register of Deeds for Milwaukee County.

RESOLUTION NO. 2020-_____

Page 3

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

ORDINANCE NO. 2020-_____

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE TEXT AT §15-3.0307 CC CITY CIVIC CENTER DISTRICT, SUBSECTION A.9., TO EXEMPT THE PROPERTY IN THE NORTHEASTERN CORNER OF THE DISTRICT, SUCH PROPERTY BEARING TAX KEY NO. 794-9999-009, FROM THE REQUIREMENTS FOR CROSS-ACCESS FOR BOTH PEDESTRIAN AND VEHICULAR CIRCULATION WITH ADJACENT PARCEL(S) TO THE EAST OF THE SUBJECT PROPERTY (STEVEN PAGNOTTA OF BRADFORD FRANKLIN LLC, APPLICANT)

WHEREAS, §15-3.0307 CC City Civic Center District, specifically subsection A.9. of the Unified Development Ordinance, requires that cross-access for both pedestrian and vehicular circulation be provided between adjacent parcels at the time of any new development or redevelopment; and

WHEREAS, Steven Pagnotta of Bradford Franklin LLC, Applicant, having applied for a text amendment to §15-3.0307A.9. of the Unified Development Ordinance for the purposes that upon existing District developments and the proposed development of the property in the northeastern corner of the District as of May 1, 2020, the property bearing Tax Key No. 794-9999-009, for which a Special Use approval and a Site Plan approval have been granted, that the cross-access for pedestrian and vehicular circulation between adjacent parcels, is not appropriate with regard to the proposed daycare facility and outdoor play area for children development on the property, with regard to the adjacent parcel(s) to the east of the subject property; and

WHEREAS, the Plan Commission having reviewed the proposed amendment, and having held a public hearing on the proposal on the 23rd day of April, 2020 and thereafter having recommended approval of such amendment; and

WHEREAS, the Common Council having accepted the recommendation of the Plan Commission and having determined that the proposed amendment is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and will serve to further orderly growth and development and promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0307 CC CITY CIVIC CENTER DISTRICT, specifically §15-3.0307A.9. of the Unified Development Ordinance of the Municipal Code of the City of Franklin, Wisconsin, is hereby amended to add the following at the end of the existing text:

Upon existing District developments and the proposed development of the property in the northeastern corner of the District as of May 1, 2020, the property bearing Tax Key No. 794-9999-009, for which a Special Use approval and a Site Plan approval have been granted for a daycare facility and outdoor play area for children development, is exempt from the foregoing Intent requirements of this subsection, until such time as the owners of such property agree to release such exemption and have the subject property be subject to the requirements for cross-access for both pedestrian and vehicular circulation with adjacent parcel(s) to the east of the subject property; the aforesaid exemption may be voided in the sole discretion of the Common Council should the Special Use and Site Plan approvals development of the property not occur within the time requirements set forth in such approvals, or if such development is substantially altered.

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

ATTEST:

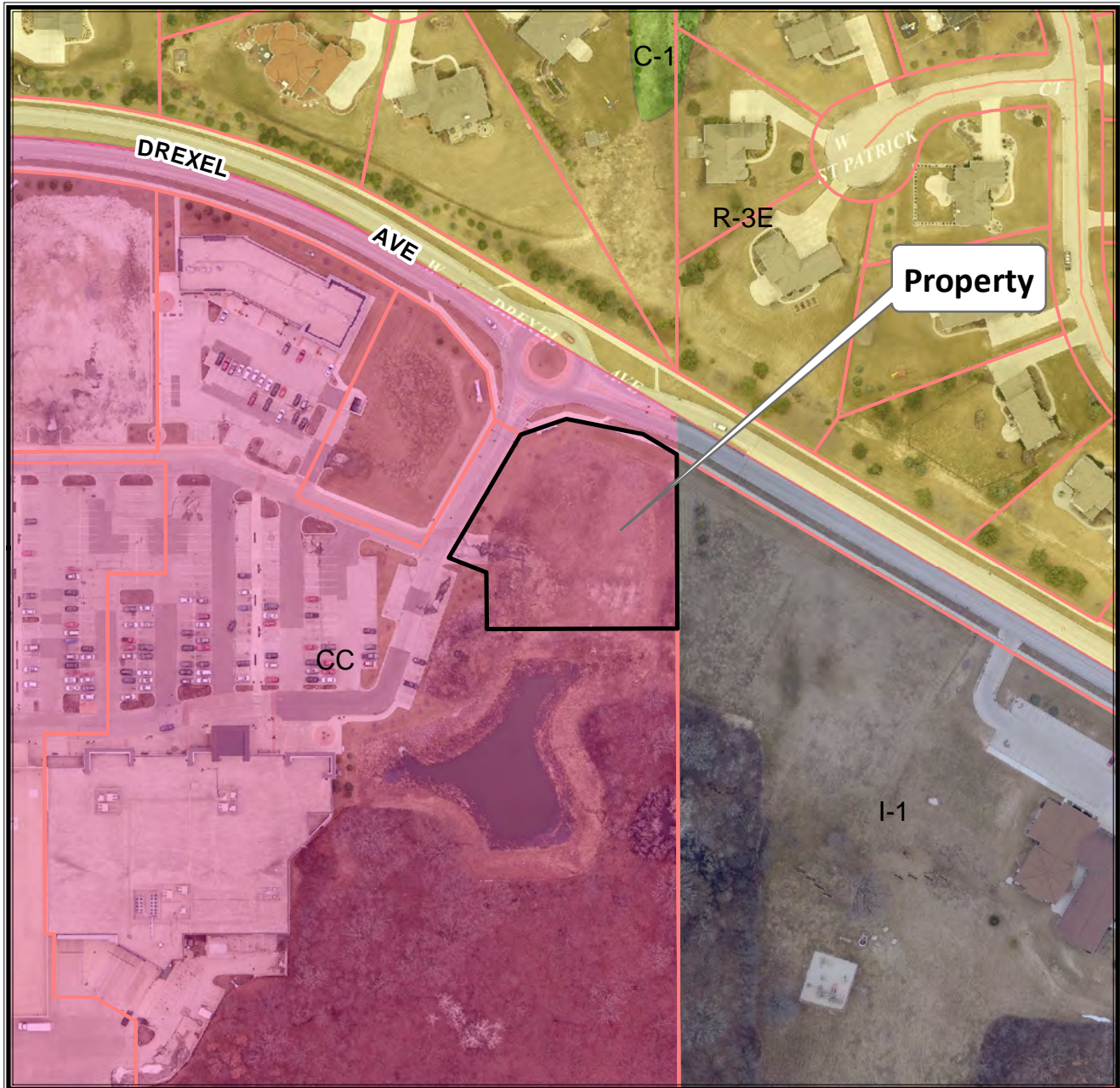
Stephen R. Olson, Mayor

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



9651 W. Drexel Ave.
TKN: 794 9999 009



Planning Department
(414) 425-4024

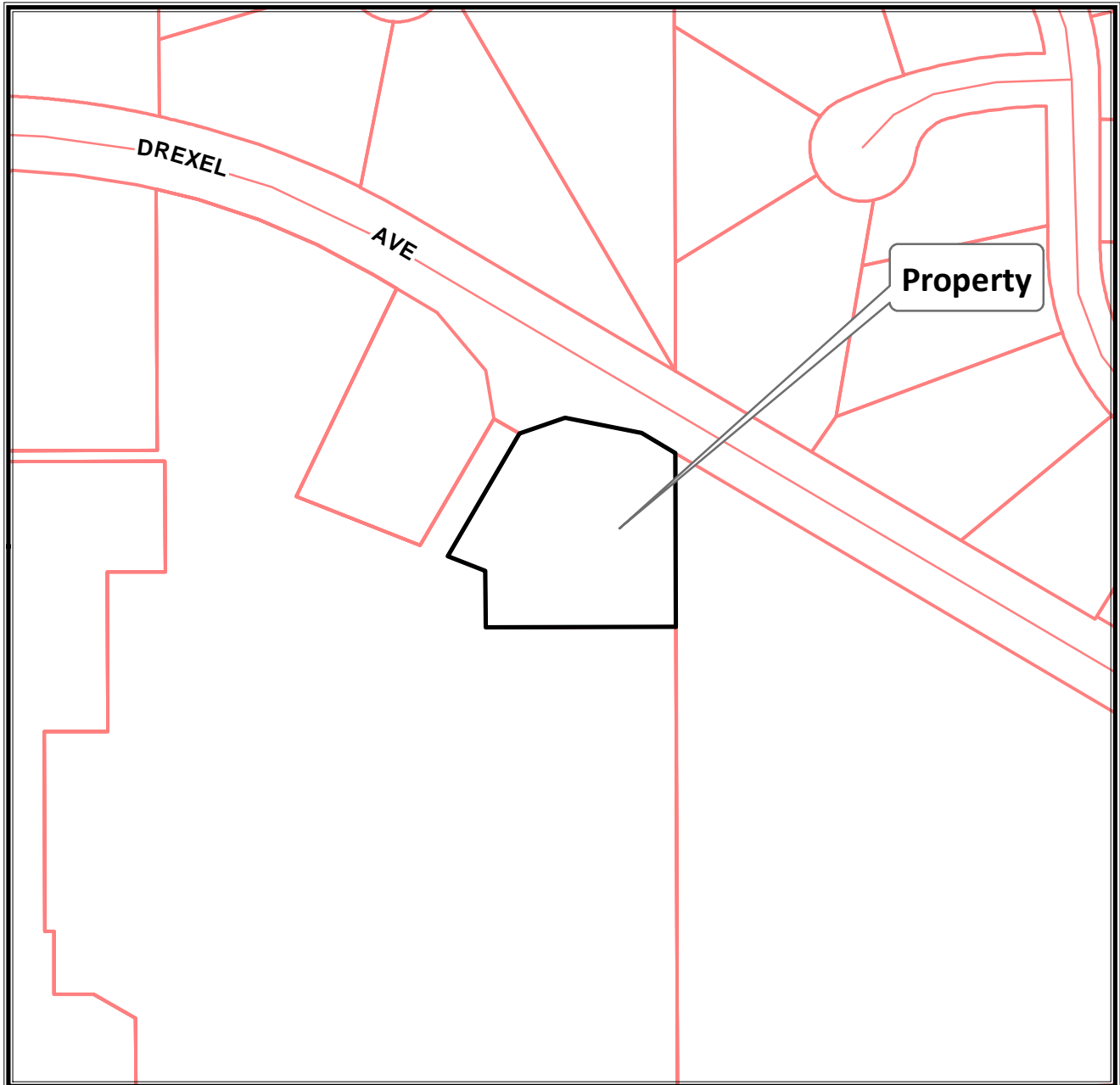
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This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





9651 W. Drexel Ave.
TKN: 794 9999 009



Planning Department
(414) 425-4024

0 110 220 440 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



Description of Proposed UDO Text Amendment

January 7, 2020

Project: The Learning Experience – Franklin, WI
Client: The Bradford Real Estate Companies
Location: 9651 Drexel Ave. Franklin WI (Tax Key ID 794-9999-009)
CE LTD #: CE180034

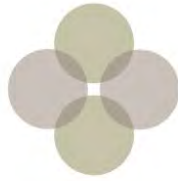
The applicant is requesting a waiver of the requirement that development of the subject property allow for pedestrian and vehicular cross-access with the Church property to the east (Tax Key ID 794-9995-003).

The applicant requests that the cross-access requirement be waived for the subject property only, not for the entirety of the Wyndham development, and not for the entirety of the CC City Civic Center District.

The applicant requests that the cross-access agreement be waived for the proposed development until such time as the owners/applicants choose to release said waiver. It is anticipated that future redevelopment of the Shoppes at Wyndham or other adjacent parcels may allow other provisions for access to the Church property to the east.

It is understood that a waiver of the cross-access requirements would require:

- An amendment to Section 15-3.0307.A.9 of the Franklin WI Unified Development Ordinance, which requires cross-access between adjacent parcels within the CC City Civic Center district, and
- An amendment to Resolution 2007-6339, which establishes a Floating Cross-Access Easement across the entire Wyndham Property, including the subject property, in order to provide access to the Church property to the east.



CLOVERLEAF

April 9, 2020

City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

**Re: UDO Amendment Relating to the Learning Experience Development
at 9651 Drexel Avenue, Franklin , WI**

To Whom it May Concern:

In connection with the above referenced proposed development, we, Franklin-Wyndham, LLC, as the property owner/grantor, have reviewed the amendment description, dated January 7, 2020, and support and will grant the release of the existing cross easement to the adjacent church property.

Please do not hesitate to contact me at jeb@cleafgroup.com with any questions. Thank you for your prompt attention to this matter.

Very truly yours,

Franklyn-Wyndham, LLC
By: The Cloverleaf Real Estate Group, Inc.
Its Manager

Jonathan E. Basofin, President
jeb@cleafgroup.com
JEB:lav

PICK N' SAVE
CC CITY CIVIC CENTER

120/27

LOT OWNER CONTACT INFORMATION		
NAME	ADDRESS	PHONE
CONTRACT OWNER		
BRADFORD FRANKLIN LLC REPRESENTED BY GARY WENDT	200 S WACKER DRIVE CHICAGO, IL 60606	(312) 755-8000
SELLER		
CLOVERLEAF	666 DUNDEE ROAD, SUITE 901 NORTHBROOK, IL 60062	(847) 272-3300
SITE INFORMATION		
	<u>SQ. FT.</u>	<u>ACRES</u>
TOTAL AREA	49,127	1.13
	<u>ADDRESS</u>	<u>S-T-R</u>
SITE LOCATION	9651 W. DREXEL AVE.	08-05N-21E
ZONING: CC CITY CIVIC CENTER DISTRICT		
PROPOSED LAND USE: COMMERCIAL (GROUP DAYCARE CENTER)		
SOIL TYPES: SILTY CLAY FILL SOILS AND SILTY CLAY NATURALLY OCCURRING SOILS TO DEPTHS OF 10-20 FT. BELOW GROUND SURFACE.		

LEGEND

- FULL DEPTH ASPHALT PAVEMENT
- OVERLAY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- ADA CROSSWALK
- REVERSE PITCH CURB

CE LTD
 Caldwell Engineering, Ltd.
 118 North Meade Street, Woodstock, Illinois
 (815) 934-5296 www.caldwellengineering.com

Designed By SAH
Drawn By SAH
Checked By MJC
Date 3/18/2019
Job Number CE180034
Sheet Number SITE

FOR PERMITTING/BIDDING

**CITY OF FRANKLIN****REPORT TO THE PLAN COMMISSION****Meeting of April 23, 2020****Site Plan**

RECOMMENDATION: City Development staff recommends approval of Site Plan for the Ballpark Commons (BPC) Miracle Field.

Project Name:	Ballpark Commons Miracle Field - Site Plan
Project Address:	Approximately 7035 S Ballpark Drive
Applicant:	Roc Foundation. Steve Taylor
Agent:	Justin L. Johnson, P.E.
Property Owner:	BPC County Land, LLC
Current Zoning:	Planned Development District (PDD) No. 37
2025 Comprehensive Plan:	Mixed Use
Use of Surrounding Properties:	Stadium to the east, golf driving range to the west, open space to the south and north.
Applicant's Action Requested:	Plan Commission approval of the Site Plan Amendment.

INTRODUCTION:

On March 10, 2020, the applicant submitted a Site Plan amendment to allow for the construction of a Miracle Field facility at the Milwaukee Milkmen's Stadium (S1) at Ballpark Commons. The proposed facility is located in the Rocks Sports Complex Area, the principal use is outdoor baseball with the following ancillary uses: stadium restrooms, concession stands and public address system. No enclosed structures are proposed as part of this project. The site area is approximately 1.01 acres.

In accordance with the Unified Development Ordinance (UDO) §15-7.0104., the review time frame for Site Plan applications is 60 days. Therefore, this application is scheduled for this April 23, 2020, Plan Commission meeting.

The hours of operation of the Miracle Field will be within the hours of operation for the Stadium. Per Ordinance 2019-2368, the hours of operation for the Stadium shall be limited to 7:00 a.m. to 11:00 p.m. In the event of rain delays, extra innings or technical difficulties, an extension up to 12:00 a.m. is allowed.

PROJECT ANALYSIS:

The site is located in the Rock Sports Complex Area of Planned Development District (PDD) No. 37 Ballpark Commons Development, this district is regulated by Ordinance No. 2019-2368, §15-3.0442A "The Rock Sports Complex Area". Indoor and outdoor baseball is a permitted use in this district.

The intent of the Rock Sports Complex Area *is to provide a multi-use sports and entertainment complex where the recreational needs of area residents can be met without undue disturbance of natural resources and adjacent uses*, as stated in the PDD Ordinance Section 15-3.0442A. This proposal furthers the district intent. The proposed use would be compatible to other recreational uses of the Rock Sports Complex Area, such as the existing Stadium and the approved but not yet constructed golf facilities

The Miracle Field would be located on top of private sanitary and sewer lines, methane collection line as well as utility easements (WE energies and AT&T). The applicant stated that *we will be coordinating with WE Energies and AT&T as the project progresses to assure there are no impacts to their facilities. Staff is recommending a condition of approval addressing these utility lines in the Site Plan Resolution.*

With regards to parking demand, the applicant stated that *the Miracle Field is entirely within the BPC Stadium land parcel and will utilize parking stalls designated for the BPC Stadium. Milkmen and Miracle Field game times will be offset so as to stagger parking demands.*

The applicant is not proposing any outdoor lighting, outside storage nor mechanical equipment. The proposed black vinyl coated chain link fence is 8-foot tall, so it is consistent with the standards of this district: *Fencing shall be constructed only of permanent, high quality materials such as black vinyl coated chain link fencing with or without privacy slats.*

CONCLUSION:

City Development staff recommends approval of the Site Plan for the Miracle Field at Ballpark Commons, subject to the conditions set forth in the attached Resolution.

Additionally, the applicant is requesting the following waivers:

- Per PDD Ordinance 2019-2368, §15-3.0442E(B)(2)(e), bicycle and pedestrian amenities such as bike racks, benches, bollards are required.
 - **Applicant's request:** *We hereby request a waiver to the pedestrian amenity requirement for this component of the development. The Miracle Field is entirely contained within the secure fencing of the BPC Stadium. The concourse that will be shared by the Stadium and Miracle Field is not designed to handle a mix of pedestrian and bicycle traffic, so we don't want to encourage bicycles in that location. Depending upon the size of a particular Miracle Field event, alternate seating will be available in the Hop Yard or on the concourse itself.*
 - **Staff comment:** Considering universal design standards applicable to the Miracle Field in particular, staff has no issues with this waiver. Per Ordinance 2019-2368 Section 15-3.0442E.A.3, the Plan Commission is authorized to *waive any of the Design Standards by 4 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project.*
- Pursuant to UDO §15-5.0303(D), permanent, on-site, outdoor irrigation is required to all new living landscaped areas.

- **Applicant's request:** *The existing BPC Stadium landscaping is not irrigated, so we are not proposing any irrigation for the proposed landscape modifications associated with the Miracle Field.*
- **Staff comment:** If the Plan Commission wishes to grant this waiver, staff recommends to add the following condition: The applicant shall install all landscaping prior to issuance of a Certificate of Occupancy , or alternatively, the applicant shall prepare a financial surety to ensure installation of all required landscaping for Department of City Development review and approval prior to issuance of a Certificate of Occupancy.

RESOLUTION NO. 2020-_____

A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTY
LOCATED AT APPROXIMATELY 7035 SOUTH BALLPARK DRIVE TO
ALLOW FOR THE CONSTRUCTION OF A MIRACLE LEAGUE OF
MILWAUKEE MIRACLE FIELD FACILITY AT THE MILWAUKEE
MILKMEN'S STADIUM, THE PRINCIPAL USE BEING OUTDOOR
BASEBALL, WITH THE FOLLOWING ANCILLARY USES: STADIUM
RESTROOMS, CONCESSION STANDS AND PUBLIC ADDRESS SYSTEM
(TAX KEY NO. 744-1003-000)
(ROC FOUNDATION, INC., APPLICANT,
BPC COUNTY LAND, LLC, PROPERTY OWNER)

WHEREAS, ROC Foundation, Inc., applicant, BPC County Land, LLC, property owner, having applied for an amendment to the site plan for the property located at approximately 7035 South Ballpark Drive (along the west concourse of the stadium at Ballpark Commons), such Site Plan having been previously approved on June 7, 2018, by Resolution No. 2018-014, and amended thereafter by Resolution No. 2018-016, on November 8, 2018 and by Resolution No. 2019-005 on April 18, 2019; and

WHEREAS, such proposed amendment proposes construction of a Miracle League of Milwaukee Miracle Field facility (a custom designed field for children of all abilities) at the Milwaukee Milkmen's Stadium (S1) at Ballpark Commons, located in the Rock Sports Complex Area, the principal use being outdoor baseball, with the following ancillary uses: stadium restrooms, concession stands and public address system. The site area is approximately 1.01 acres and is located at approximately 7035 South Ballpark Drive (along the west concourse of the stadium at Ballpark Commons) [per Ordinance 2019-2368, the hours of operation for the Stadium shall be limited to 7:00 a.m. to 11:00 p.m. (in the event of rain delays, extra innings or technical difficulties, an extension up to 12:00 a.m. is allowed), and the scheduling of games will be staggered with Milwaukee Milkmen baseball games to allow for ample parking], and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for ROC Foundation, Inc. to construct a Miracle League of Milwaukee Miracle Field facility at the Milwaukee Milkmen's Stadium (S1) at Ballpark Commons, located in the Rock Sports Complex Area, as submitted by ROC Foundation, Inc., as described above, be and the same is hereby approved, subject to the following conditions:

ROC FOUNDATION, INC. – SITE PLAN AMENDMENT
RESOLUTION NO. 2020-_____

Page 2

1. ROC Foundation, Inc., applicant, BPC County Land, LLC, property owner, successors and assigns and any developer of the ROC Foundation, Inc. Miracle Field facility construction project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the ROC Foundation, Inc. Miracle Field facility construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
2. The approval granted hereunder is conditional upon ROC Foundation, Inc., applicant, BPC County Land, LLC, property owner, and the ROC Foundation, Inc. Miracle Field facility construction project for the property located at approximately 7035 South Ballpark Drive: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The ROC Foundation, Inc. Miracle Field facility construction project shall be developed in substantial compliance with the plans date-stamped April 13, 2020.
4. The Miracle Field facility shall be in compliance with any restrictions associated with existing utility easements.
5. The Milwaukee Milkmen and Miracle Field game times will be offset to stagger parking demand.
6. Signs shall be subject to staff review in conformance with Chapter 210 of the Municipal Code and issuance of a Sign Permit.
7. The applicant shall obtain final approval of grading, erosion control, storm water management, and utilities by the Engineering Department prior to any land disturbance activities.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the ROC Foundation, Inc. Miracle Field facility construction project as depicted upon the plans date-stamped April 13, 2020, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan for the

ROC FOUNDATION, INC. – SITE PLAN AMENDMENT

RESOLUTION NO. 2020-_____

Page 3

property located at approximately 7035 South Ballpark Drive, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Chairman

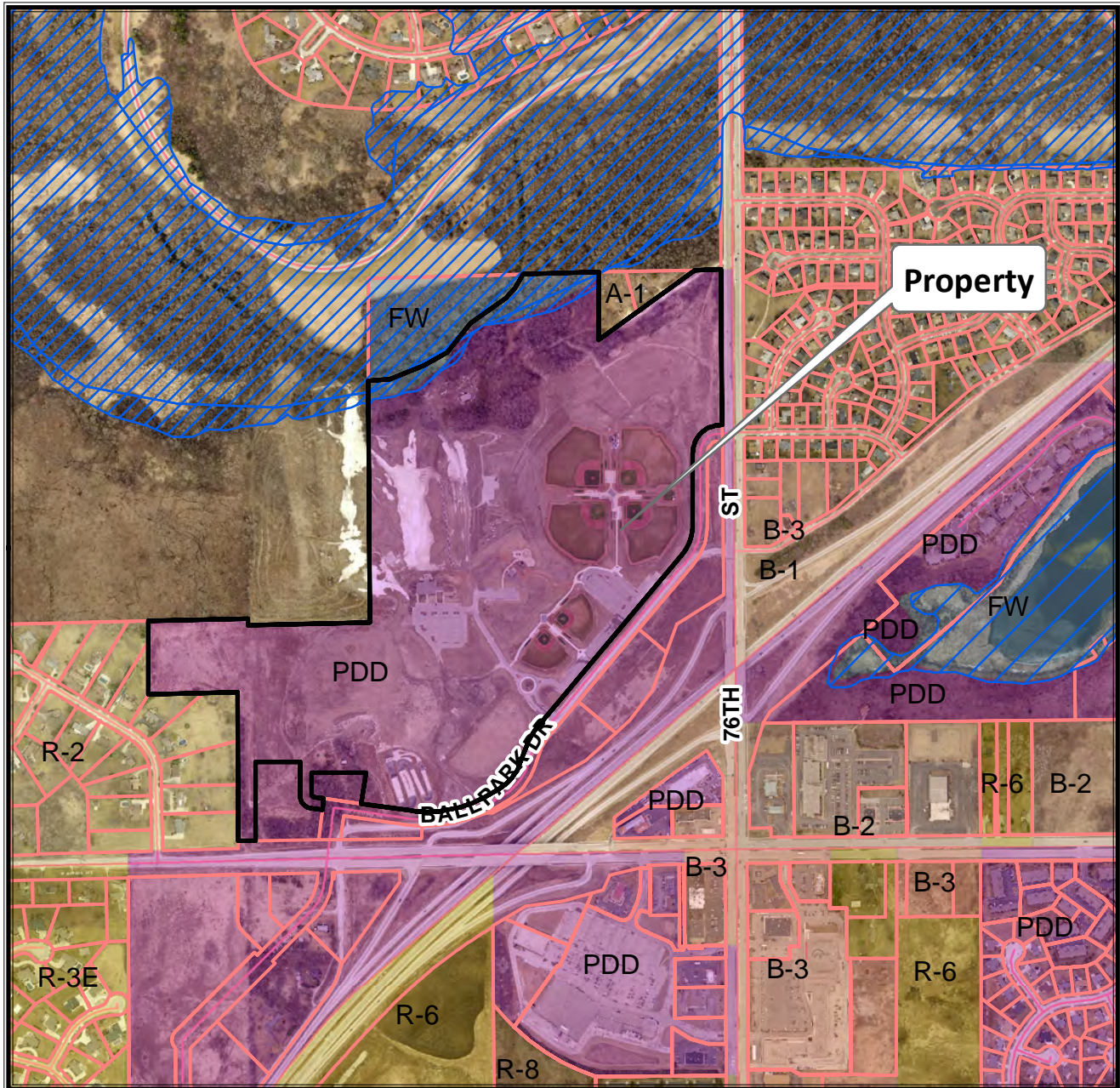
ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



7035 S. Ballpark Drive
TKN: 744 1003 000



Planning Department
(414) 425-4024

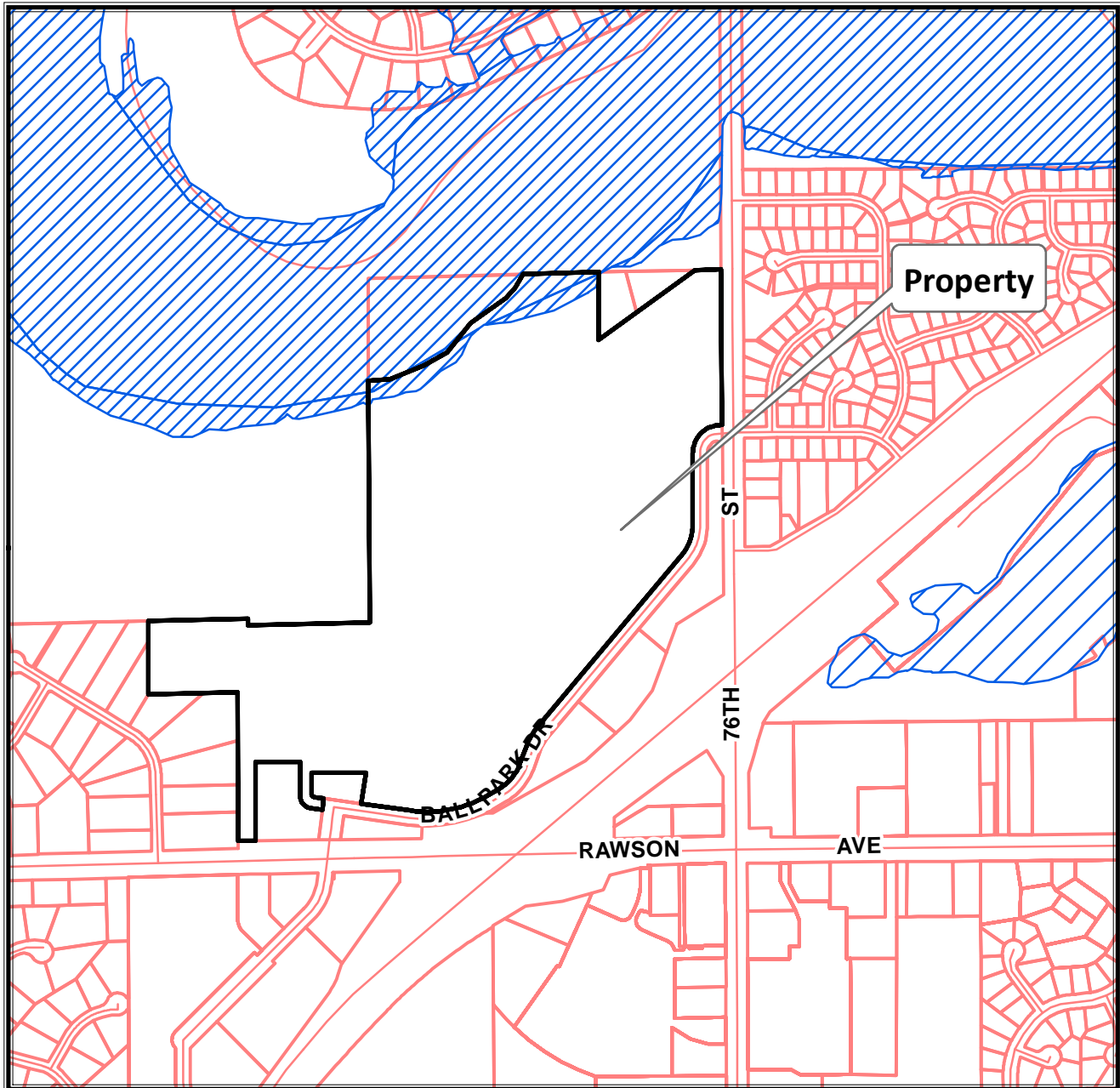
0 500 1,000 2,000 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





7035 S. Ballpark Drive
TKN: 744 1003 000



Planning Department
(414) 425-4024

0 500 1,000 2,000 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2017 Aerial Photo

Memorandum

www.jsdinc.com

To: Ms. Gail Olsen
From: Justin L. Johnson, PE
Re: Miracle Field at Ballpark Commons
JSD Project #: 19-9373
Date: February 28, 2020
cc:

MIRACLE FIELD AT BALLPARK COMMONS PROJECT NARRATIVE:

Please accept the attached Site Plan Amendment application for the construction of a Miracle Field facility at the Milwaukee Milkmen's stadium at Ballpark Commons. This submittal is being made by JSD Professional Services, Inc. on behalf of ROC Foundation.

The following is a narrative summary describing the project.

Project Description & Purpose

The Miracle League believes everyone deserves the chance to play baseball. The league allows people of all ABILITIES play organized baseball. Players with diverse-ABILITIES dress in uniforms, make plays in the field and round the bases, just like their peers in standard baseball leagues. Player "buddies" from the community assist with on-field play so that parents and families can watch from the stands, again, just like in standard leagues. Miracle League baseball is played on a custom-designed field featuring a cushioned, rubberized, completely flat surface to prevent injuries and allow access for the visually impaired and those in wheelchairs. All areas of the field, including the dugouts, playground and restrooms, are universally accessible, because every child deserves a chance to play baseball.

The Miracle League Organization began in 1998, in Georgia, when Rockdale Youth Baseball Association's coach, Eddie Bagwell, invited the first child with a disability to play baseball on his team. The following year, the Miracle League began with 35 players. The first season was played on a dirt field. In December of 1999, the league broke ground on the first custom-designed Miracle League field. Today there are over 275 Miracle League Organizations across the country, and internationally, reaching over 200,000 children and young adults. There are now more than 200 local Miracle Leagues across the country, with 100 completed rubberized fields and 100 more currently under construction. Miracle League of Milwaukee was established in 2009 as a program through the YMCA of Metropolitan Milwaukee. Its

mission is to provide an opportunity for children of all abilities to play Miracle League baseball, to promote community support and to encourage the construction of special equipment that meet the needs of the Miracle League players and their families. Further information about the Miracle League program can be found at www.miracleleaguemilwaukee.org/.

This proposed Miracle Field is a relocation from their current Swan Road facility on the far Northwest side of Milwaukee to the open space along the west concourse of the Stadium at Ballpark Commons. The field has specific dimensions and materials specified by the Miracle Field organization. Games will be scheduled so that they are staggered with Milwaukee Milkmen games, assuring ample parking is available for Miracle League players, families and fans.

There is currently discussion ongoing about a possible Phase 2 of this project, consisting of a fully accessible playground in the same general area on the property. Those concepts are still being developed, however, and therefore any plans for that facility would be submitted at a later date.

Miracle Field Uses

The proposed Miracle Field will be used primarily for Miracle League games and practices. Children may also be allowed to play wiffle ball on the field during Milkmen baseball games. The facility is located within the Stadium's fenced enclosure, and therefore access-controlled, so use of the facility will be limited to those sanctioned events. During Miracle League games and/or tournaments, the following ancillary uses are proposed:

- Stadium restrooms will be open.
- Stadium concession stands may be open.
- Public address system will be utilized to announce player names (within limitations already in place for the Stadium).

Building Setbacks

There are no enclosed structures proposed as part of this project that would be subject to building setback regulations, furthermore, the project area is a significant distance from nearest property lines.

Stormwater Management

The proposed Miracle Field improvements are in full compliance with the approved Stormwater Management Report for Ballpark Commons development areas north of W. Rawson Avenue. Included in this submittal packet is an updated Stormwater Compliance Memorandum for the Stadium component of the development with an exhibit and calculations showing that impervious surface areas following Miracle Field construction are within the limits allowed by the approved stormwater design. In terms of the history of that calculation, as the Stadium plan evolved leading up to construction, paved areas were significantly reduced from what was contemplated in the approved stormwater design. That pavement reduction now gives us the flexibility to add impervious surfacing back into the development without needing to modify the main stormwater pond or associated piping. In addition to the interim check provided by the Stormwater Compliance Memo, once the

project is fully built out, the Developer will provide a post-construction update to the Stormwater Management Report, including the items included in this proposal.

Parking

The facility will share parking with the Stadium at Ballpark Commons. Games will be scheduled so that they are staggered with Milwaukee Milkmen games, assuring ample parking is available for Miracle League players, families and fans.

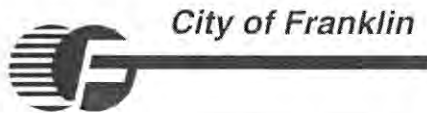
Natural Resources

The Miracle Field project is fully within the 2018-2019 Ballpark Commons Stadium and Golf construction limits, and as such, no protected natural resources are present.

Project Value

The Miracle Field is anticipated to cost between \$500,000 and \$600,000 to construct.

Planning Department
9229 West Loomis Road
Franklin, Wisconsin 53132
Email: generalplanning@franklinwi.gov



Phone: (414) 425-4024
Fax: (414) 427-7691
Web Site: www.franklinwi.gov

Date of Application: 2/21/2020

SITE PLAN / SITE PLAN AMENDMENT APPLICATION

Complete, accurate and specific information must be entered. Please Print.

Applicant (Full Legal Name[s]):

Name: Steve Taylor
Company: ROC Foundation
Mailing Address: 7044 S. Ballpark Drive, Suite 300
City / State: Franklin, WI Zip: 53132
Phone: 414-759-4086
Email Address: stevet@rocventures.org

Applicant is Represented by: (contact person)(Full Legal Name[s])

Name: Justin L. Johnson, P.E.
Company: JSD Professional Services, Inc.
Mailing Address: W238N1610 Busse Rd., Ste. 100
City / State: Waukesha, WI Zip: 53188
Phone: 262-513-0666
Email Address: justin.johnson@jsdinc.com

Project Property Information:

Property Address: W. Rawson Ave / W. Loomis Road
Property Owner(s): BPC County Land LLC

Tax Key Nos: PDD No. 37

Mailing Address: 9120 W. Loomis Road, Suite 400
City / State: Franklin, WI Zip: 53132
Email Address: stevet@rocventures.org

Existing Zoning: PDD 37
Existing Use: mixed use (PDD)
Proposed Use: mixed use (PDD)
Future Land Use Identification: mixed use

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

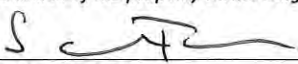
Site Plan/Site Plan Amendment submittals for review must include and be accompanied by the following:

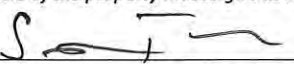
- ☒ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☒ Application Filing Fee, payable to City of Franklin: ☐ Tier 1: \$2000 ☒ Tier 2: \$1000 (Lot size \leq 1 acre)
☐ Tier 3: \$500 (\leq 10% increase or decrease in total floor area of all structures with no change to parking; or change to parking only).
- ☐ Legal Description for the subject property (WORD.doc or compatible format).
- ☒ Seven (7) complete collated sets of Application materials to include:
 - ☒ One (1) original and six (6) copies of a written Project Summary, including description of any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)
 - ☒ Seven (7) folded full size, drawn to scale copies (at least 24" x 36") of the Site Plan/Site Plan Amendment package. (The submittal should include only those plans/items as set forth in Section 15-7.0103, 15-7.0301 and 15-5.0402 of the Unified Development Ordinance that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc.)
 - ☒ Reduced size (11"x17") copies of the Site Plan/Site Plan Amendment package will be at Planning staff recommendation, if applicable.
- ☐ One colored copy (11"x17") of the building elevations, if applicable. (N/A)
- ☐ One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3.0500 of the UDO). (N/A)
- ☐ Three copies of the Natural Resource Protection report, if applicable (see Section 15-7.0103Q of the UDO). (N/A)
- ☒ Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

- *Upon receipt of a complete submittal, staff review will be conducted within ten business days. Additional materials may be required.
- *Site Plan/Site Plan amendment requests require Plan Commission or Community Development Authority review and approval.


The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).


Signature - Property Owner
Name & Title (PRINT) Steve F. Taylor
Date: 2-26-20


Signature - Applicant
Name & Title (PRINT) Steve F. Taylor
Date: 2-26-20

Signature - Property Owner
Name & Title (PRINT)
Date:


Signature - Applicant's Representative
Name & Title (PRINT) JUSTIN L. JOHNSON, P.E. - ASSOCIATE
JSD PROFESSIONAL SERVICES, INC.
Date: 2-28-20

LEGAL DESCRIPTION
MIRACLE FIELD

"Lot 1 of Certified Survey Map No. 9041"

MEMORANDUM

Date: April 2, 2020 (response 4/13/20)
To: Justin L. Johnson, P.E.
From: Department of City Development
RE: Miracle Field, application for Site Plan – 7035 S Ballpark Drive

Staff comments are as follow for the Site Plan application submitted on March 10, 2020, to allow for the Miracle Field at Ballpark Commons.

City Development Department comments

1. Staff acknowledges that there is a cushion between the Landscape Surface Ratio (LSR) calculations used for the B-5 Velo Village apartment building (65.36%) and the minimum required LSR (50%). However, please be aware that updated LSR calculations shall be required prior to issuance of any Occupancy Permit in accordance with Planned Development District (PDD) Ordinance 2019-2368, Section 3, condition # 12.
 - **Understood.**
2. Please provide information about the proposed hours of operation.
 - **Hours of operation will be fully within the approved hours of operation for the Stadium.**
3. The proposed Miracle Field would be located on top of sanitary and water lines. Please provide additional information about any potential impact of the proposed field to said utility lines, including maintenance operations. Additionally, the proposed field would encroach into utility easements, has the applicant contacted the owners of these easements?
 - **The sanitary, storm and water lines that run beneath the proposed field are all private utilities and are not in easements. The three cross-hatched easements that are depicted on the civil plans are WE Energies (red – private service feeding the chalet and stadium), AT&T (blue – private service feeding the chalet and stadium), and methane collection (purple – not technically an easement to any party's benefit, but rather just a corridor that we established early on in the project to make sure the methane collection system was obvious on the plans and conflicts were avoided). We will be coordinating with WE Energies and AT&T as the project progresses to assure there are no impacts to their facilities.**
4. Per PDD Ordinance 2019-2368, §15-3.0442E(B)(2)(e), bicycle and pedestrian amenities are required. Please add location, quantity and details of proposed site amenities, such as bike racks, benches, bollards, etc. Considering universal design standards applicable to the Miracle Field, you may propose alternative amenities or request a waiver of this requirement, subject to Plan Commission approval.
 - **We hereby request a waiver to the pedestrian amenity requirement for this component of the development. The Miracle Field is entirely contained within the secure fencing of the BPC Stadium. The concourse that will be shared by the Stadium and Miracle Field is not designed to handle a mix of pedestrian and bicycle traffic, so we don't want to encourage**

bicycles in that location. Depending upon the size of a particular Miracle Field event, alternate seating will be available in the Hop Yard or on the concourse itself.

5. According to the project narrative, the proposed facility will share parking with the Stadium at Ballpark Commons. It is noted that per Planned Development District (PDD) Ordinance 2019-2368, §15-3.0442A(D)(2)(b): *Utilization of parking on any adjacent site is prohibited and shall not be counted towards parking requirements unless prior approval of the Plan Commission is obtained and subject to recorded shared parking agreements/easements/etc.* Please provide draft shared parking easement/agreement.
 - **The Miracle Field is entirely within the BPC Stadium land parcel and will utilize parking stalls designated for the BPC Stadium. Milkmen and Miracle Field game times will be offset so as to stagger parking demands.**
6. Any proposed signs? If so, please provide details.
 - **At this point no separate Miracle Field signage is proposed. If there is a desire for signage in the future, a separate application will be made.**
7. Any external storage or mechanical equipment?
 - **No separate storage or mechanical equipment is proposed at this time.**

Landscaping

8. Pursuant to PDD Ordinance §15-3.0442A(D)(4). Landscaping: *plantings shall be provided with a minimum (2) two-year plating guaranty.* Per landscape plan and details (sheet L1.1), a 1-year guaranty is proposed, please extend this guaranty to 2 years.
 - **We have made the requested change to the guaranty period.**
9. Pursuant to UDO §15-5.0303(D), permanent, on-site, outdoor irrigation is required to all new living landscaped areas. As stated in the landscape plan (sheet L1.0, note #8): *Do not commence planting operations until all adjacent site improvements, irrigation installation, and finish grade are complete.* Please confirm that irrigation will be provided.
 - **The existing BPC Stadium landscaping is not irrigated, so we are not proposing any irrigation for the proposed landscape modifications associated with the Miracle Field.**

Engineering Department comments will be provided separately.

1. (From email correspondence dated 4/08/20): They cannot get the building Permit until they get the Compliance Memo approved.
 - **Understood.**
2. (From email correspondence dated 4/08/20): At this time I have no way to find out if the utilities (storm, water and sanitary) are under the City's easement (I'm working at home). No structures can be built within the easement. Also, we need to access our utilities for maintenance purposes, constructing a fence around the utilities will prohibit us to enter at all times (for emergency). Please see below. If those mentioned utilities are private, I have no comments on the Site Plan Amendment
 - **Please refer to the response to Planning comment No. 3.**

Memorandum

www.jsdinc.com

To: Ms. Sara Arnold (City of Franklin)
 From: Justin L. Johnson, P.E.
 Re: Ballpark Commons – Stadium with Miracle Field
 JSD Project #: 14-6548
 Date: February 28, 2020 (Rev 03/18/2020)
 cc: Greg Marso

As requested by the City of Franklin Engineering Department, we hereby certify that the final site layout for the subject Ballpark Commons parcel is in compliance with the approved North Stormwater Management Plan. Planned and Final hydrology values are as follows:

Hydrology Values (Stadium) (Area = 19.2386 acres)			
	Greenspace	Pavement	TOTAL
Planned	5.5379 ac	13.7007 ac	19.2386 ac
Final	6.5450 ac	12.6936 ac	19.2386 ac

Cumulative Hydrology Values (NORTH)		
	Impervious Area	Undetained
Approved SWMP	41.122 ac	10.328 ac
To Date (Public Road, C1, S3C2, Stadium w/ Miracle Field, Pond)	28.3915 ac	10.3240 ac
Remaining	12.7305 ac	.0040 ac

Stormwater Flow (Stadium)				
Manhole		Planned (cfs)	Final (cfs)	Capacity (cfs)
Stadium Connection	Downstream	Approved (07-19-2018)		
7-2	7-1	88.62	87.43	91.84
6-8	6-4	2.13	2.13	4.81
1-21D	1-21C	11.56	11.19	11.61

An exhibit is attached illustrating the greenspace / landscape areas included in the Stadium calculations above.

Memorandum

www.jsdinc.com

All private exterior storm sewers on the stadium parcel have been designed to convey the 100-year rainfall event to the stormwater management facility. In an emergency failure condition from the stadium, overflow will drain to Ballpark Drive and be captured by its storm sewer/inlet system.

If you have any questions or require any further information, please feel free to give me a call at (262) 513-0666.

Thanks.



A north arrow pointing upwards, labeled "north" in bold lowercase letters. Below the arrow is a graphic scale bar labeled "SCALE IN FEET". The scale bar has a central zero point, with markings for 150' on both sides. The left side of the scale bar is divided into alternating black and white segments, while the right side is solid black.



CURRENT SUBMITTAL

PREVIOUS SUBMITTAL



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 16-0909



BALLPARK
COMMONS
APARTMENTS

STATE REVIEW/BID SET

DATE OF ISSUANCE MARCH 13, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

MASTERPLAN -
OVERALL

SHEET NUMBER

ASP-100

SITE PLAN CHECKLIST

Date of Submittal	February 28, 2020
Taxkey ID #	
Project Name	Miracle Field at Ballpark Commons

		Required Information	Ordinance #
Staff Use	Indicate Complete or NA		
	X	Scale and Name of Project	15-7.0103-A
	X	Owner's and/or Developer's Name and Address	15-7.0103-B
	X	Architect, Surveyor and/or Engineer's Name and Address (seal and/or stamp)	15-7.0103-C
	X	Date of Site Plan Submittal with all Dates of Revisions w/ Revisor's Initials	15-7.0103-D
	X	Site Size in Square Feet and Acres	15-7.0103-E
	X	Existing and Proposed Topography (2' intervals) (Grading Plan)	15-7.0103-F
	X	Soils Data (See Stadium Plan)	15-7.0103-G
	N/A	Off Street Parking Spaces, Loading, Ingress and Egress, Driveway Locations of Adjoining Prop.	15-7.0103-H
	X	Type, Size, and Location of All Existing and Proposed Structures and Signs	15-7.0103-I
	N/A	Building Height	15-7.0103-J
	N/A	Existing and Proposed Street Names	15-7.0103-K
	N/A	Existing and Proposed Public Street Rights-of-way or Reservations	15-7.0103-L
	N/A	Building and Yard Setbacks	15-7.0103-M
	X	Proposed Sanitary Sewers, Storm Sewers and Water Mains	15-7.0103-O
	N/A	Proposed Stormwater Management Facilities	15-7.0103-P
	N/A	Natural Resource Protection Plan* (Site Plan Amendment to Stadium Plans)	15-7.0103-Q
	X	Landscape Plan**	15-7.0103-R
	N/A	Site Intensity and Capacity Calculations (Site Plan Amendment to Stadium Plans)	15-7.0103-S
	X	Pedestrian Sidewalks and Walkways	15-7.0103-T
	N/A	Development Staging/Phasing	15-7.0103-U
	N/A	Arch. Plans, Elevations, and Perspective Drawings and Sketches, Materials, Color Samples	15-7.0103-V
	N/A	Lighting Plan* with Photometrics	15-7.0103-W
	X	Easements (existing and proposed) with Dimensions	15-7.0103-X
	N/A	Highway Access	15-7.0103-Y
	N/A	Existing and Proposed Zoning Boundaries	15-7.0103-Z
	N/A	Market Analysis (required for commercial properties greater than 30,000 sq. ft. land area)	15-7.0103-AA
	X	Project Summary (Fiscal Impact, Operat. Info., Bldg-phasing Schedule, Est. Project Costs Value and Site Improvements Costs (From Owner)	15-7.0103-CC
	X	Additional Data as required by Planning, Engineering, or Plan Commission	15-7.0103-DD
	N/A	Vision Corner Easements	

* If required

** If natural resources, as defined in the City of Franklin Unified Development Ordinance, are present

Staff Notes:

MIRACLE FIELD

CITY OF FRANKLIN, WISCONSIN

SW 1/4-SE 1/4, SECTION 4, TOWNSHIP 5 (NORTH), RANGE 21 (EAST)

DRAWING INDEX

C1.0	TITLE SHEET
C1.1	SITE PLAN / DEMOLITION PLAN
C2.0	EROSION CONTROL PLAN
C3.0	GRADING PLAN
C4.0	DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN & DETAILS



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

OWNER ROC FOUNDATION CONTACT: STEVE TAYLOR 7044 S. BALLPARK DRIVE, SUITE 300 FRANKLIN, WI 53132 P: 414-759-4086 Email: stevet@rocventures.com	CIVIL CONSULTANT JSD PROFESSIONAL SERVICES, INC. JUSTIN JOHNSON, P.E. ASSOCIATE W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WI 53188 P: 262-513-0666 Email: justin.johnson@jsdinc.com
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CITY OF FRANKLIN CONTACTS

CITY ENGINEER GLEN MORROW, P.E. 9229 WEST LOOMIS ROAD FRANKLIN, WI 53132 P: 414-425-7510 Email: gmorrow@franklinwi.gov	FIRE CHIEF ADAM REMINGTON 8901 WEST DREXEL AVENUE FRANKLIN, WI 53132 P: 414-425-1420 Email: aremington@franklinwi.gov
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PLANNING DEPT.
9229 WEST LOOMIS ROAD
FRANKLIN, WI 53132
P: 414-425-4024

UTILITY CONTACTS

METHANE COLLECTION SYSTEM SIGMA MAFIZUL ISLAM, P.E. 1300 WEST CANAL STREET MILWAUKEE, WI 53233 P: 414-643-4125 mislam@thesigmagroup.com	COMMUNICATIONS AT&T ERIK PRIES 2005 PEWAUKEE ROAD WAUKESHA, WI 53188 P: 262-896-7406 ep9435@att.com
NATURAL GAS/ELECTRIC WE ENERGIES GERI GAGLIONE 4800 WEST RAWSON AVENUE FRANKLIN, WI 53132 P: 414-423-5008 geri.gaglione@we-energies.com	FIBER OPTIC SPECTRUM RON MUELLER 1320 N. DR. MARTIN LUTHER KING JR. DR. MILWAUKEE, WI 53202 P: 414-277-4136 ronald.mueller@charter.com



CREATE THE VISION  TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:



CLIENT ADDRESS:
7044 S. BALLPARK DRIVE
SUITE 300
FRANKLIN, WI 53132

PROJECT:
**MIRACLE FIELD AT
BALLPARK COMMONS**

PROJECT LOCATION:
FRANKLIN, WI
MILWAUKEE COUNTY

PLAN MODIFICATIONS:		
#	Date:	Description:
1	01-10-2020	PRELIMINARY PRICING SET
2	02-28-2020	PLAN COMMISSION SUBMITTAL
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Design/Drawn: CAP
Approved: JLL
Date: 01/10/2020

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:

C1.0

JSD PROJECT NO: 19-9373



SCALE IN FEET



LEGEND

- PROPERTY LINE
-959- PROPOSED 1 FOOT CONTOUR
-960- PROPOSED 5 FOOT CONTOUR
-959- EXISTING 1 FOOT CONTOUR
-960- EXISTING 5 FOOT CONTOUR
-X- PROPOSED FIELD FENCE
-X- PROPOSED 8 FT TALL BLACK VINYL COATED CHAIN LINK FENCE
XXXXXX EXISTING FENCE TO BE REMOVED
XXXXXX EASEMENT FOR WE ENERGIES
XXXXXX EASEMENT FOR AT&T FIBER
XXXXXX EASEMENT FOR METHANE COLLECTION

DEMOLITION NOTES

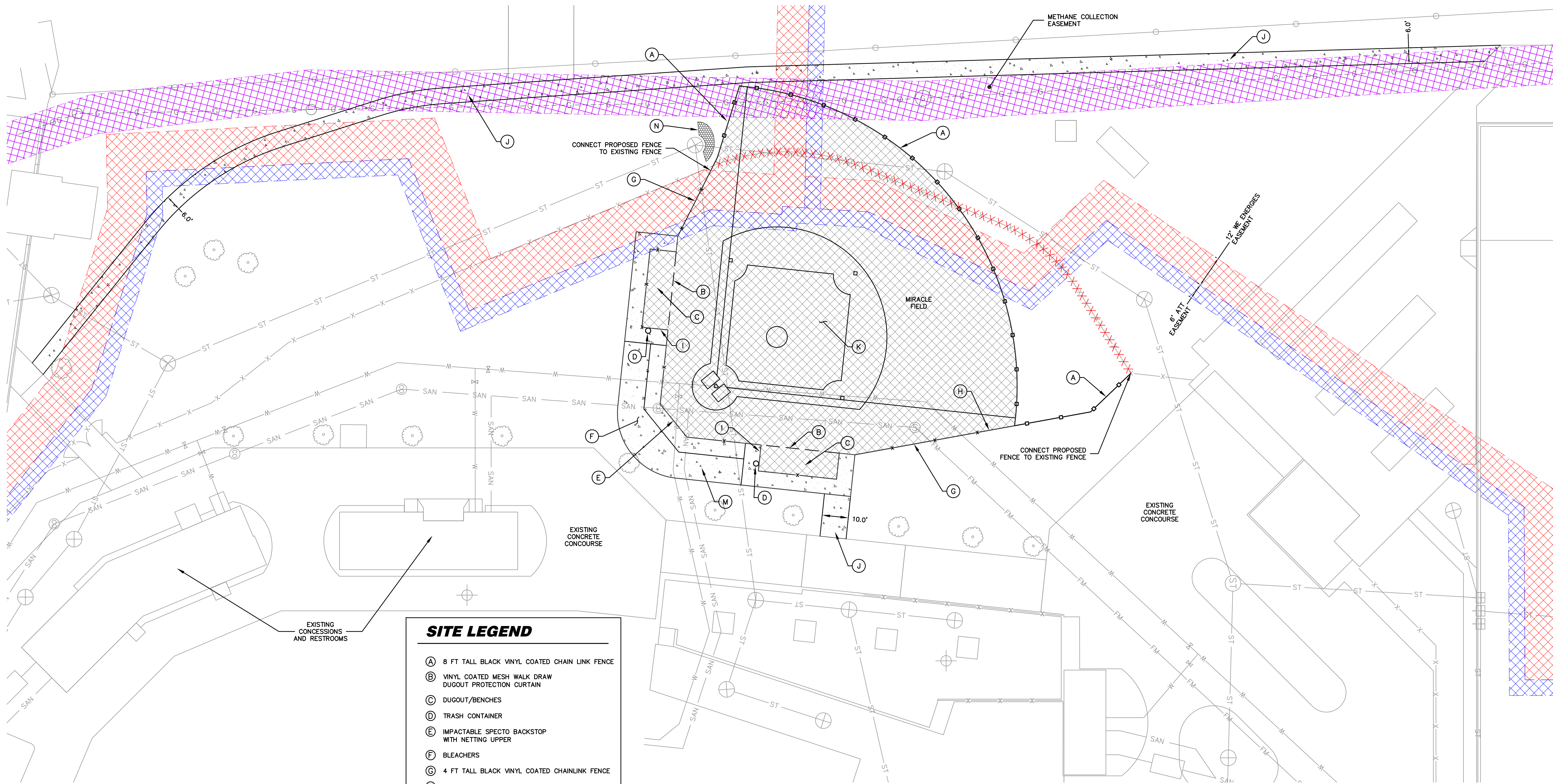
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES, SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK WHICH IS DAMAGED BY THE CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:

- EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
- VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
- NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
- NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.

PAVING NOTES

- GENERAL
1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION AND APPLICABLE CITY OF FRANKLIN ORDINANCES.
1.2. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
2. CONCRETE PAVING SPECIFICATIONS
2.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
2.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
2.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
2.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
2.5. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
2.6. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.

- DEVELOPMENT NAME: MIRACLE FIELD
- LOCATION: W. RAWSON AVE / W. LOOMIS RD. CITY OF FRANKLIN, WISCONSIN
- OWNER/DEVELOPER: ROC FOUNDATION 7044 S. BALLPARK DRIVE, SUITE 300 CITY OF FRANKLIN, WI 53132 CONTACT: STEVE TAYLOR
- ENGINEER: JSD PROFESSIONAL SERVICES, INC. W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WI 53188
- SITE SIZE: 44,259 S.F. (1.016 NET AC) (DISTURBED AREA)
- ZONING: PDD



SITE LEGEND

- A) 8 FT TALL BLACK VINYL COATED CHAIN LINK FENCE
- B) VINYL COATED MESH WALK DRAW DUGOUT PROTECTION CURTAIN
- C) DUGOUT/BENCHES
- D) TRASH CONTAINER
- E) IMPACTABLE SPECTO BACKSTOP WITH NETTING UPPER
- F) BLEACHERS
- G) 4 FT TALL BLACK VINYL COATED CHAINLINK FENCE
- H) UTILITY DOUBLE GATE
- I) 4'X6' GATE
- J) CONCRETE SIDEWALK
- K) POURED IN PLACE RUBBER SURFACE (SEE DETAIL)
- L) TREE TO BE RELOCATED/REMOVED
- M) CONCRETE CONCOURSE
- N) FIELDSTONE SLOPE TREATMENT



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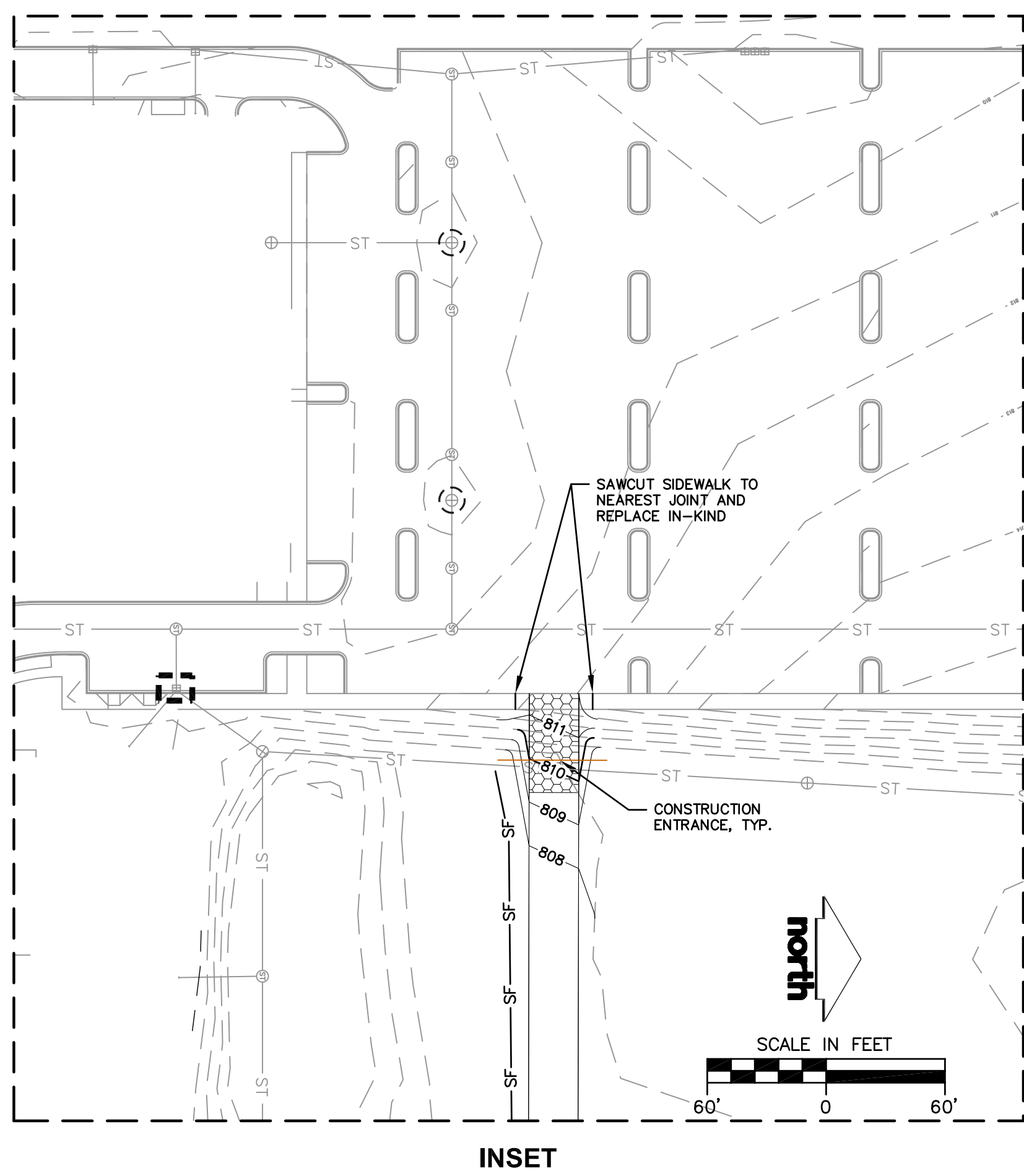
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SITE PLAN /
DEMOLITION PLAN

SHEET NUMBER:

C1.1

JSD PROJECT NO: 19-9373

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INSET

EROSION CONTROL NOTES

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS AND CITY OF FRANKLIN ORDINANCES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THESE STANDARDS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY JSD PROFESSIONAL SERVICES, INC. (JSD) OR AUTHORITY HAVING JURISDICTION SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3. MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS. CONTRACTOR IS RESPONSIBLE TO NOTIFY JSD AND AUTHORITY HAVING JURISDICTION OF ANY CHANGES TO THE EROSION CONTROL PLANS. ALL MODIFICATIONS MUST BE APPROVED BY JSD/AUTHORITY HAVING JURISDICTION PRIOR TO DEVIATION FROM THE APPROVED PLAN.
4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCE(S), SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
5. CONSTRUCTION ENTRANCE(S) SHALL BE INSTALLED AT THE LOCATION OF VEHICLE INGRESS/EGRESS POINT(S) AS SHOWN ON THE PLAN. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITY HAVING JURISDICTION, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE AUTHORITY HAVING JURISDICTION.
7. THE ADJACENT INLETS THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
8. NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
9. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
10. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
11. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
12. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.
13. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
14. ALL DISTURBED SLOPES EXCEEDING 4:1 YET LESS THAN 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S758N EROSION MATTING (OR APPROVED EQUAL) AND DISTURBED SLOPES EXCEEDING 3:1 YET LESS THAN 2:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
15. **STABILIZATION PRACTICES:**
 - 15.1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - SILT FENCE — REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
 - CONSTRUCTION ENTRANCE — AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
 - EROSION CONTROL MATTING — REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.
 - DIVERSION BERM/SWALE — REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
 - INLET PROTECTION — CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.
 - 15.2. THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 15.3. CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - 15.4. STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING
16. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT THEIR EXPENSE. REFER TO WDNR TECHNICAL STANDARD 1068.
17. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
18. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES. DISTURBANCE ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
19. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH PART IV D.4. (A-F), OF THE NPDES GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
20. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN, UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THOSE LISTED BELOW:
 - CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE, MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPULIN TO PREVENT BLOWING DEBRIS.
 - DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
 - COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL
 - ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
 - FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
 - PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
 - STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.
21. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.

CONSTRUCTION SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2. CONDUCT DEMOLITION AS SHOWN ON DEMOLITION PLAN.
3. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
4. CONDUCT ROUGH GRADING EFFORTS.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF PAVEMENTS, WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
7. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS. ANY CHANGES TO OR VARIANCE OF SITE PLAN AND/OR CONSTRUCTION SEQUENCE DUE TO CONSTRUCTION MEANS AND METHODS WILL NEED TO BE APPROVED BY THE ENGINEER AND CITY OF FRANKLIN PRIOR TO IMPLEMENTATION.



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EROSION CONTROL PLAN

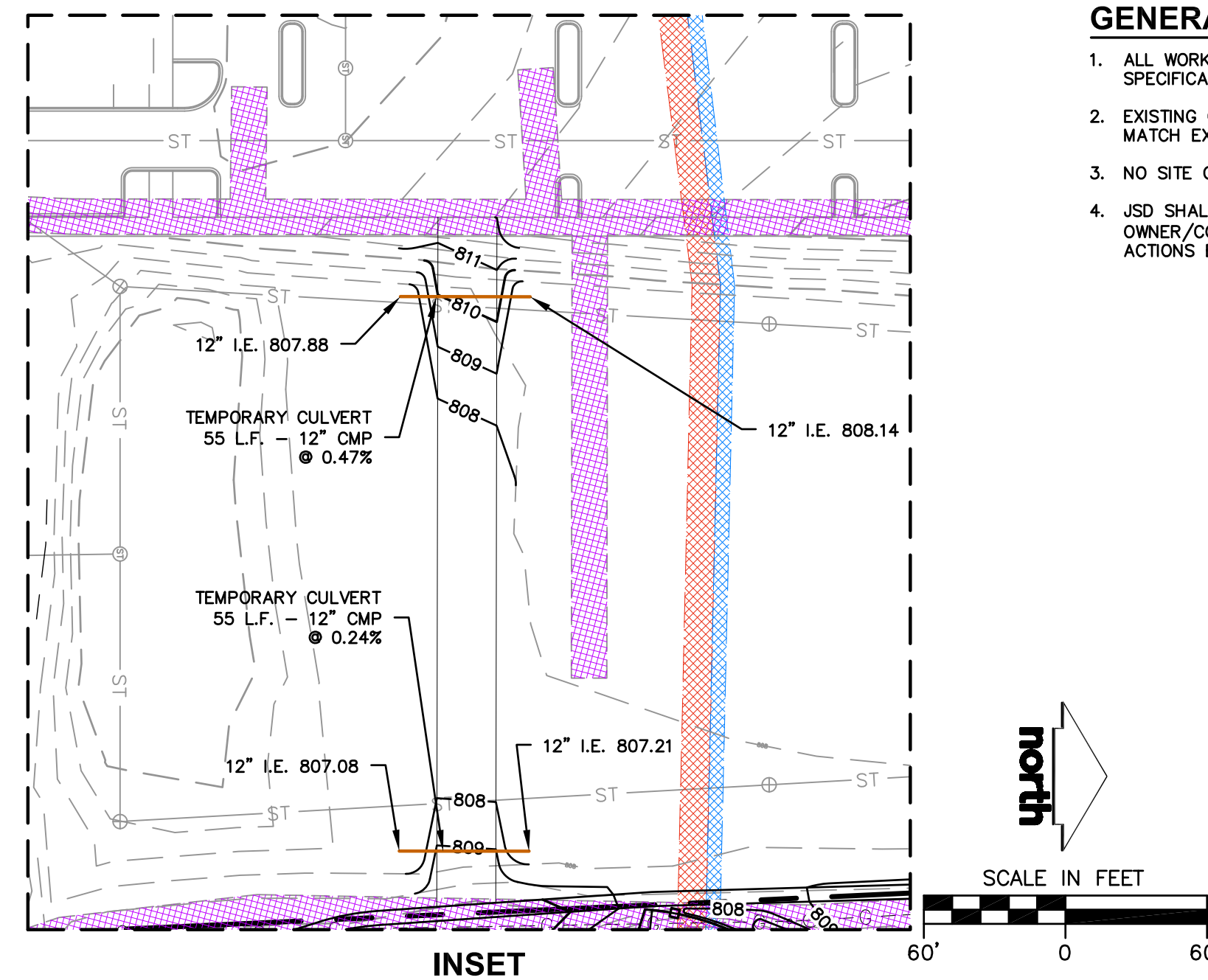
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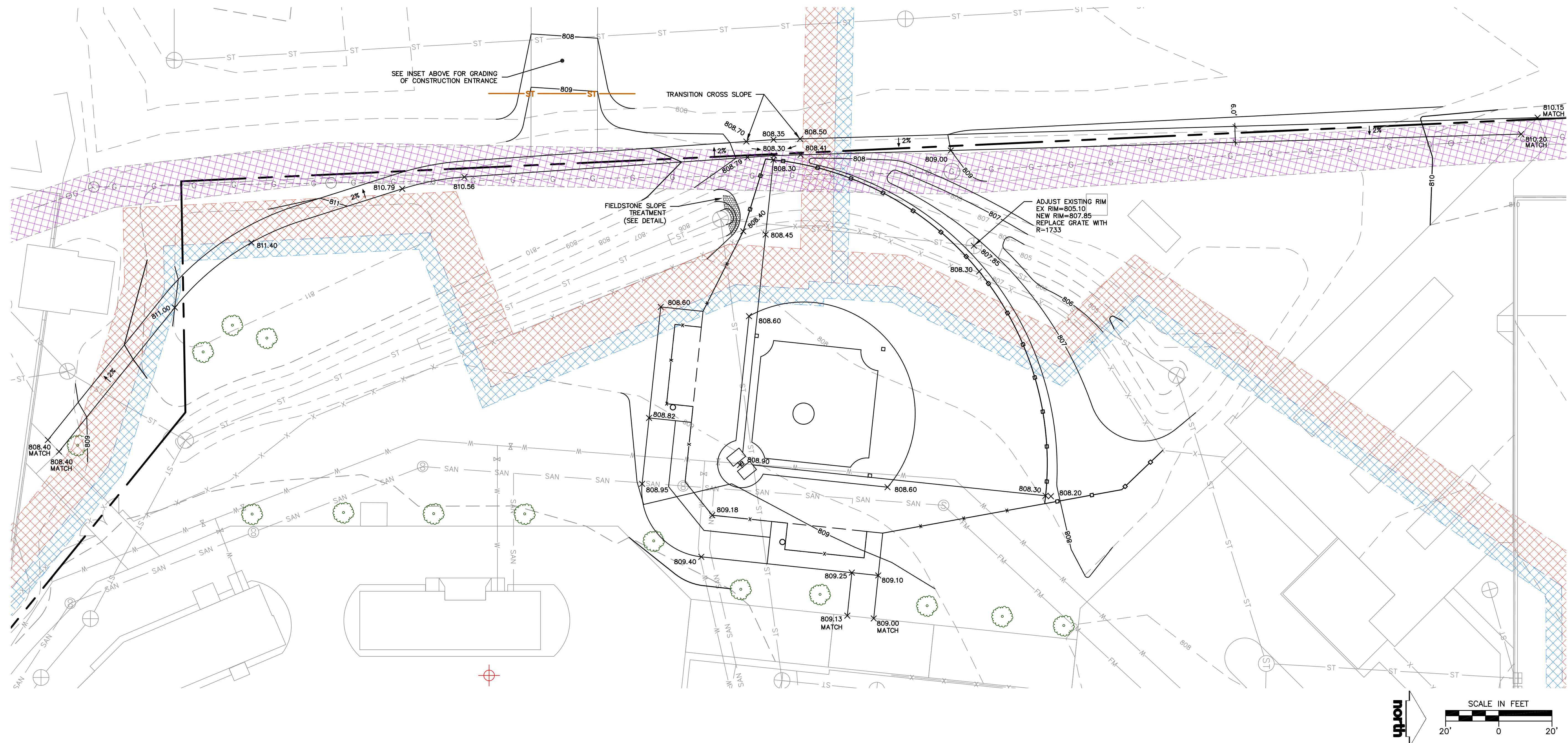
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GENERAL NOTES

LEGEND

GRADING AND SEEDING NOTES



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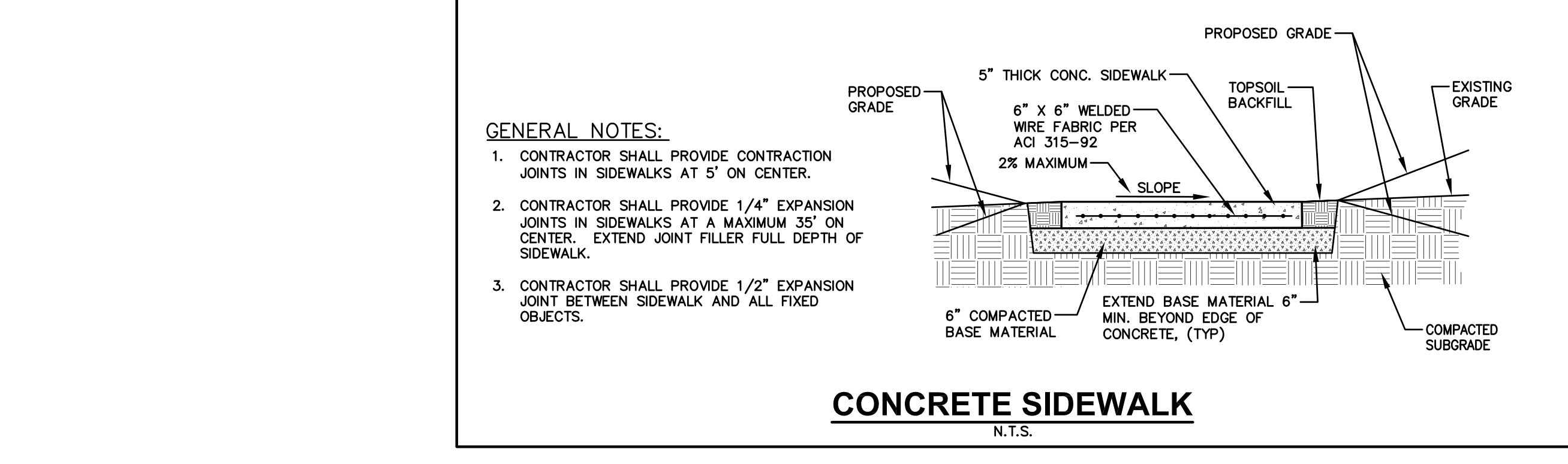
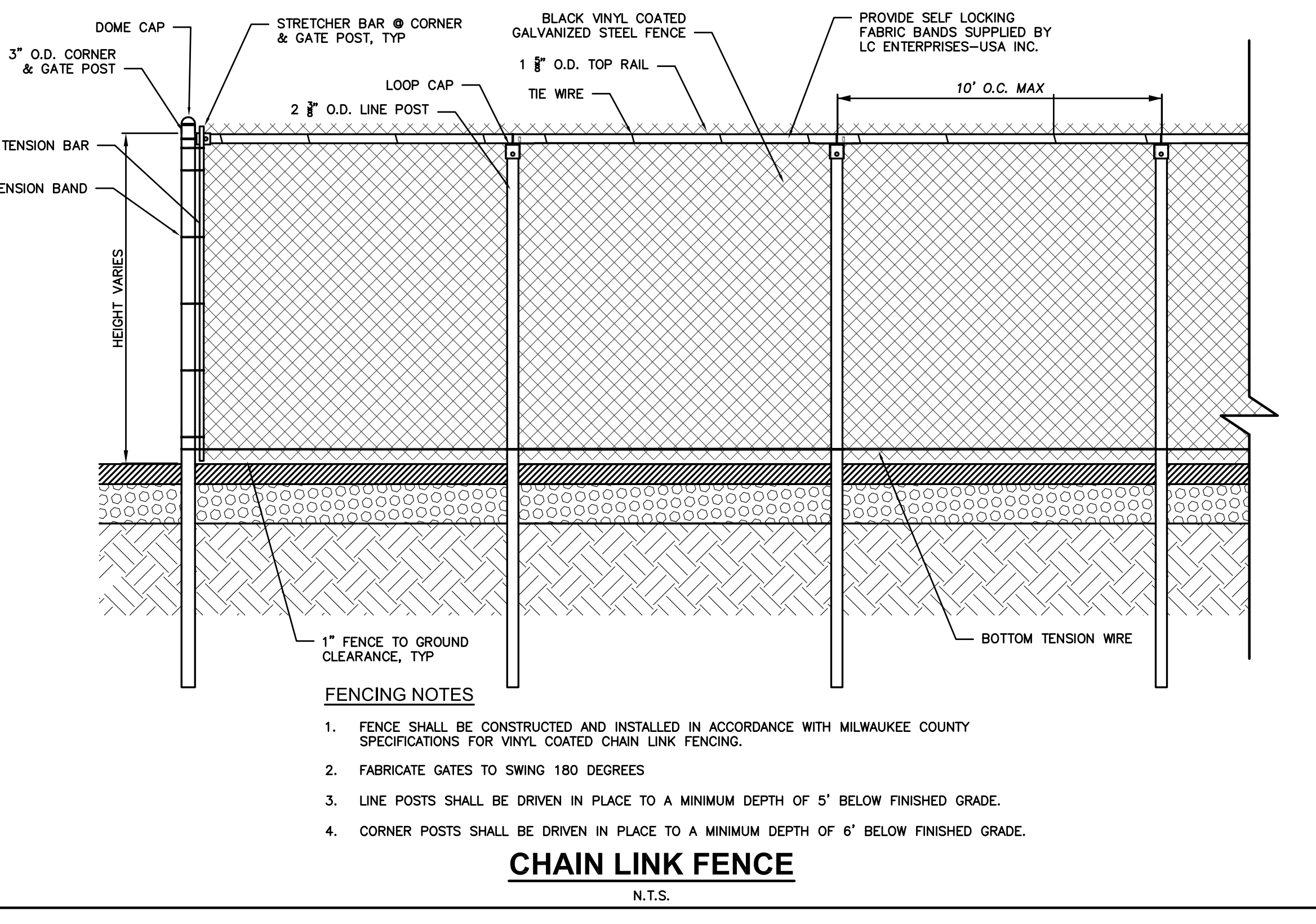
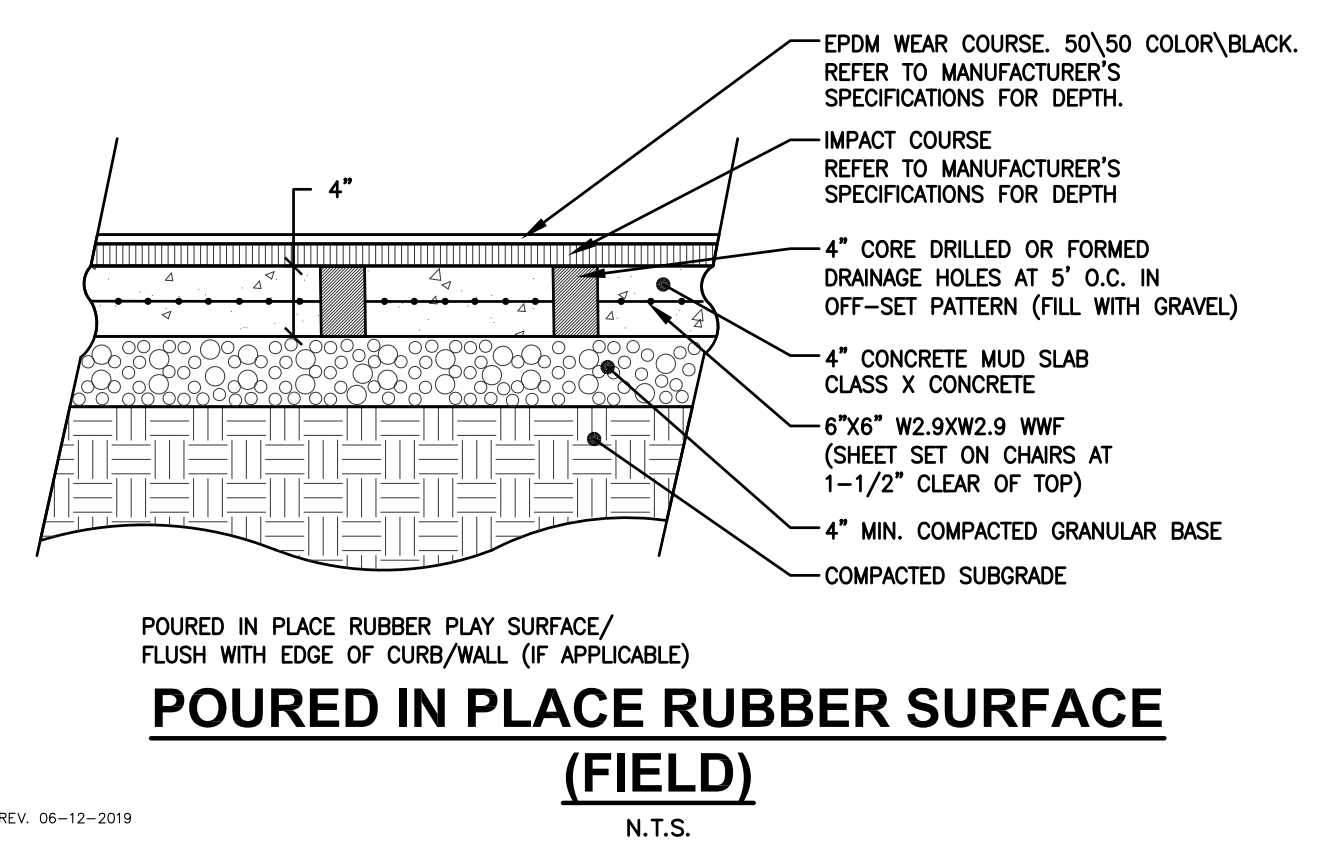
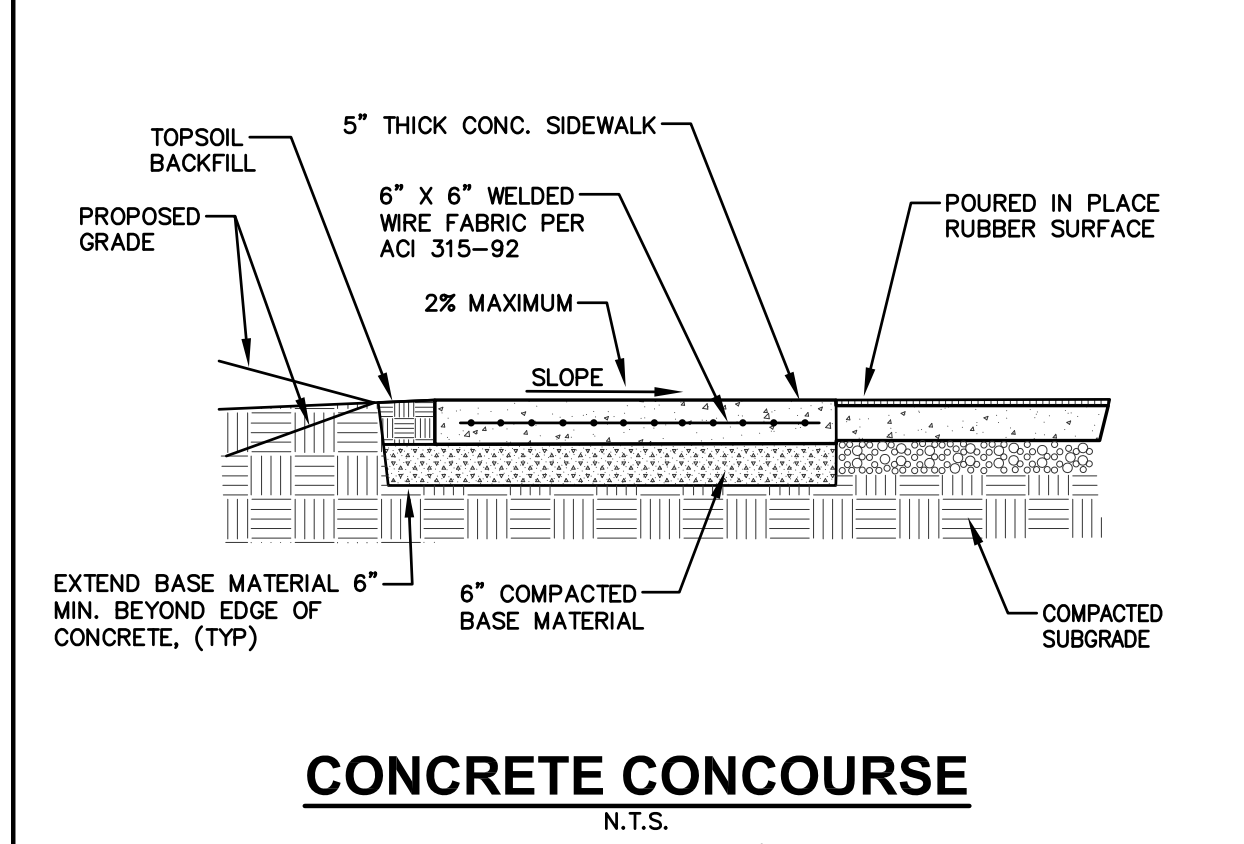
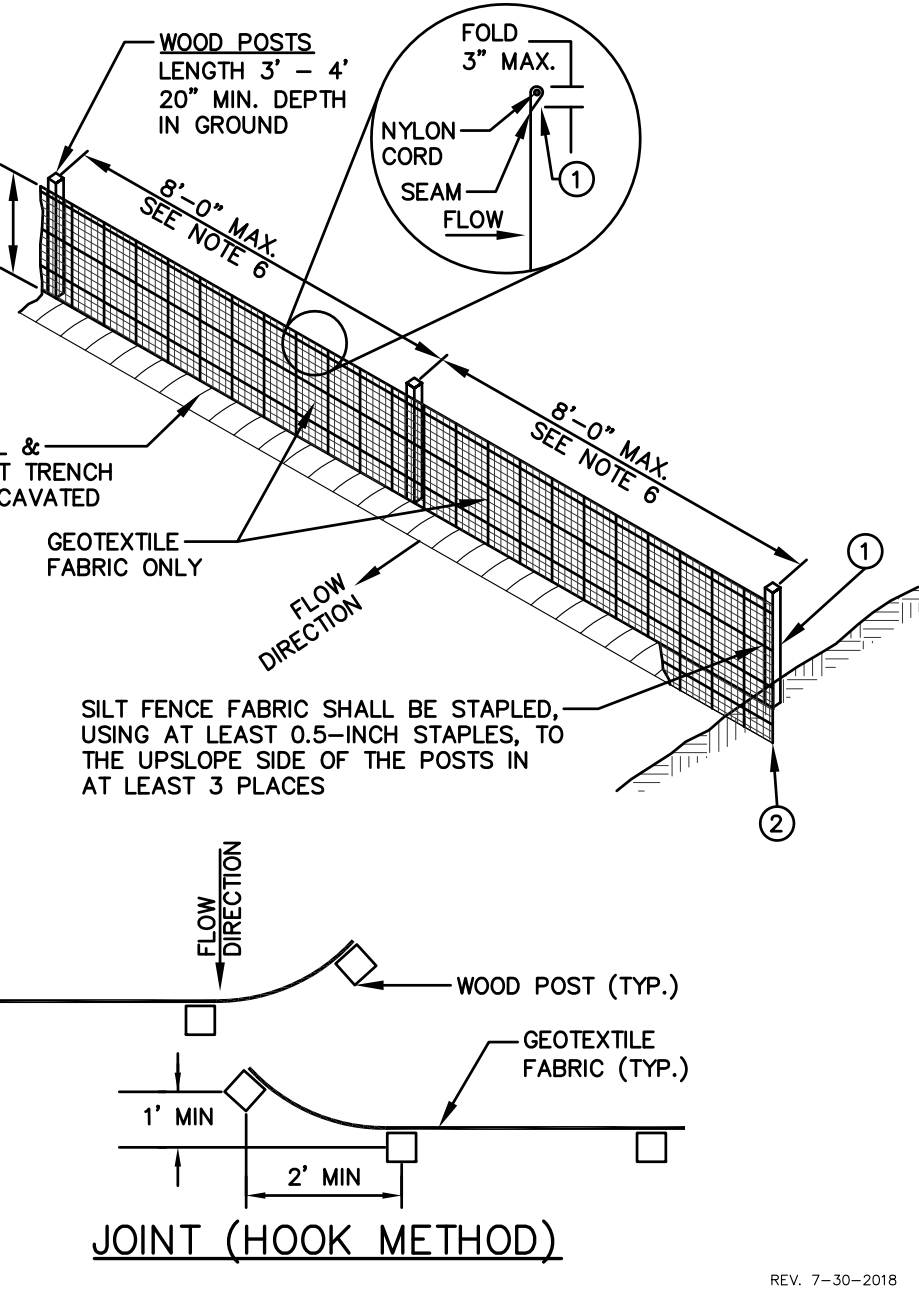
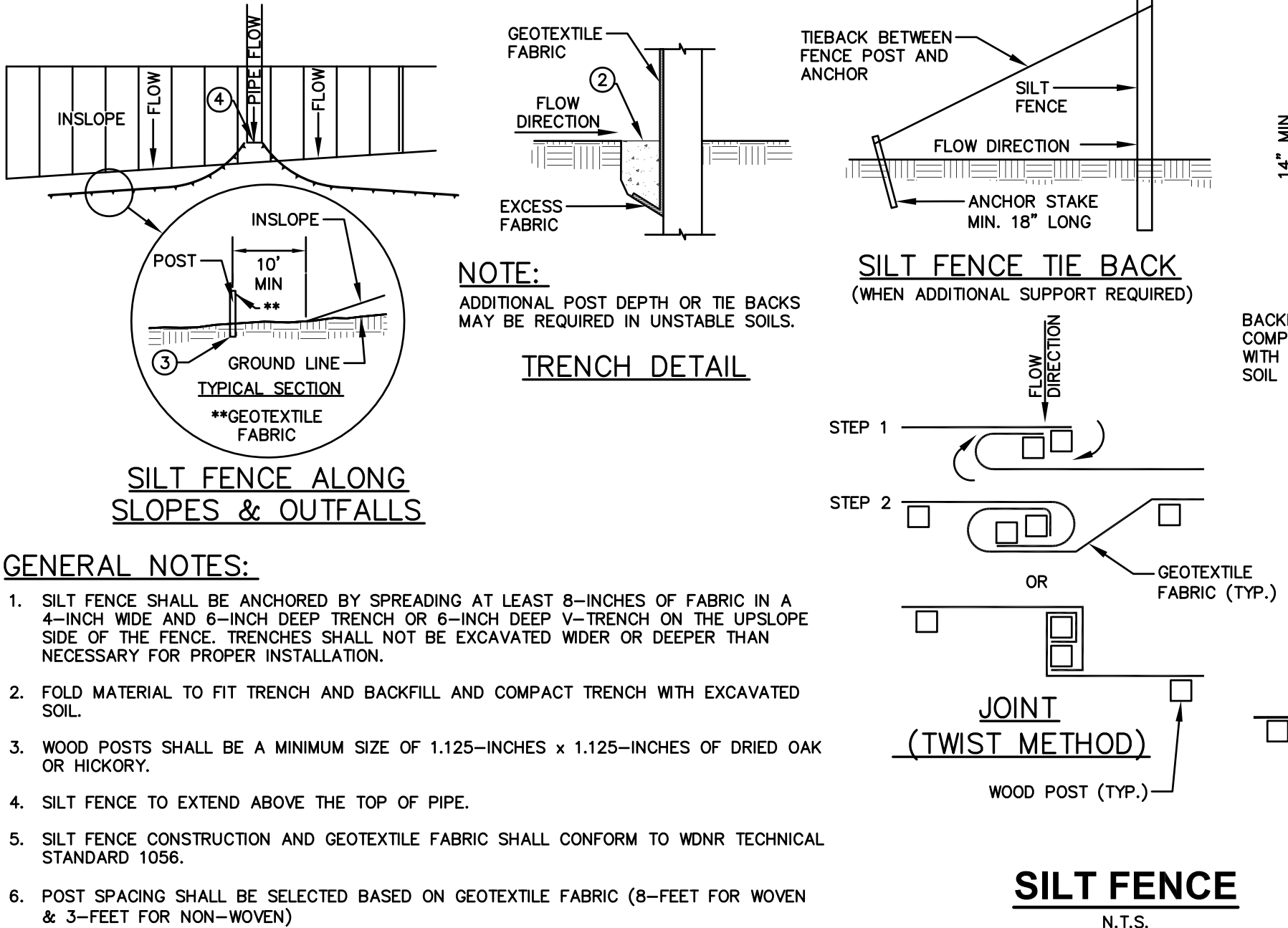
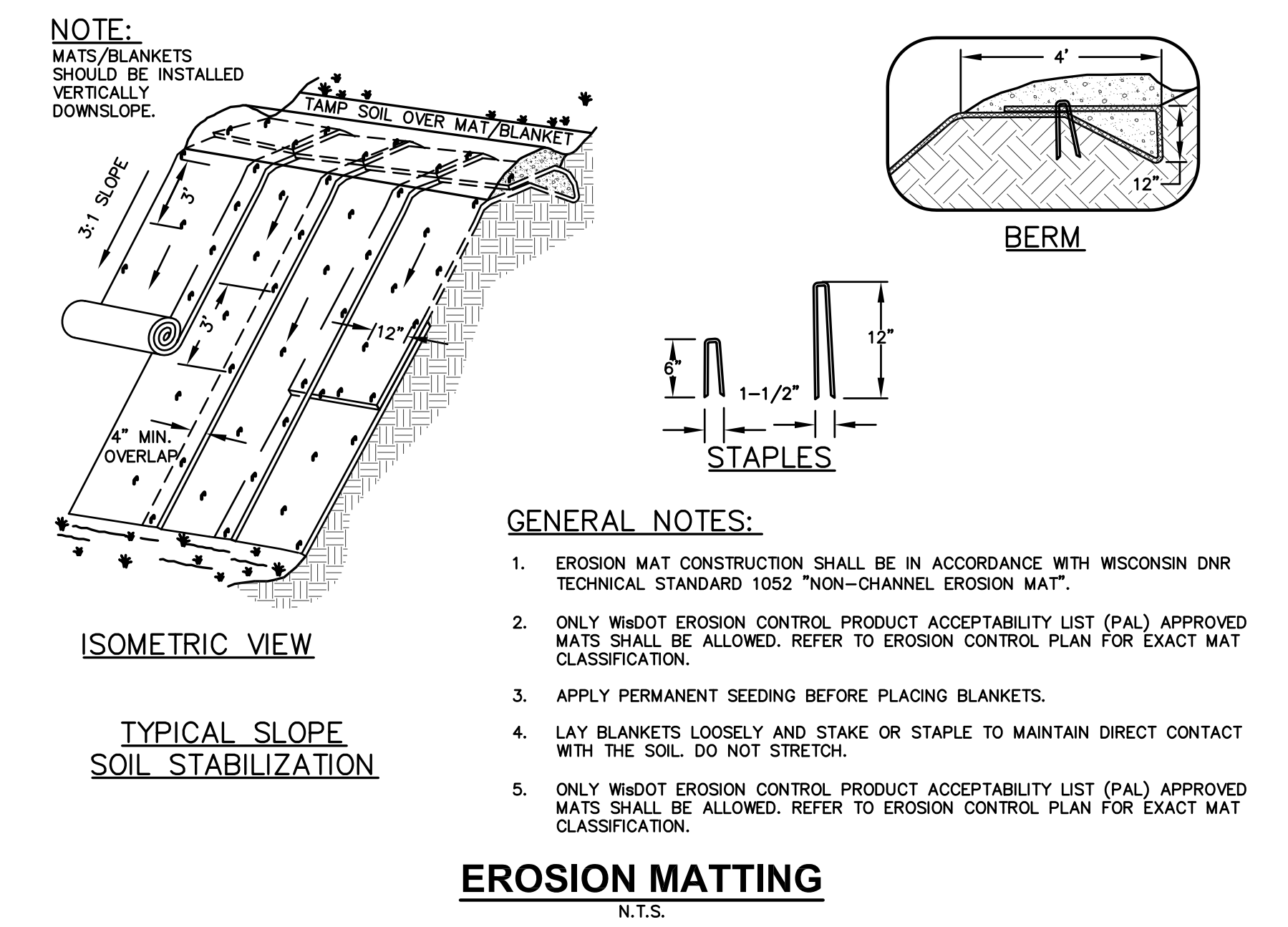
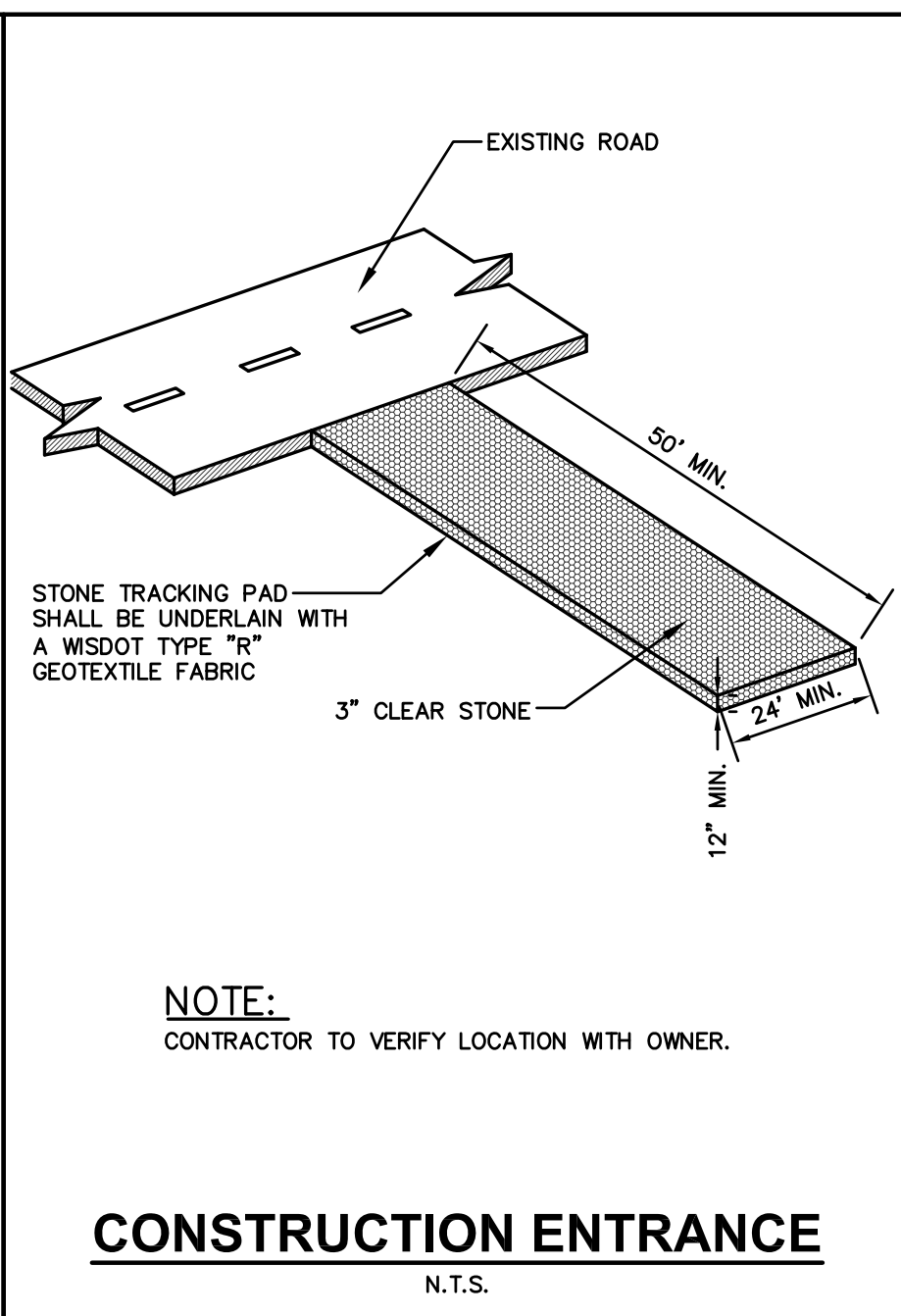
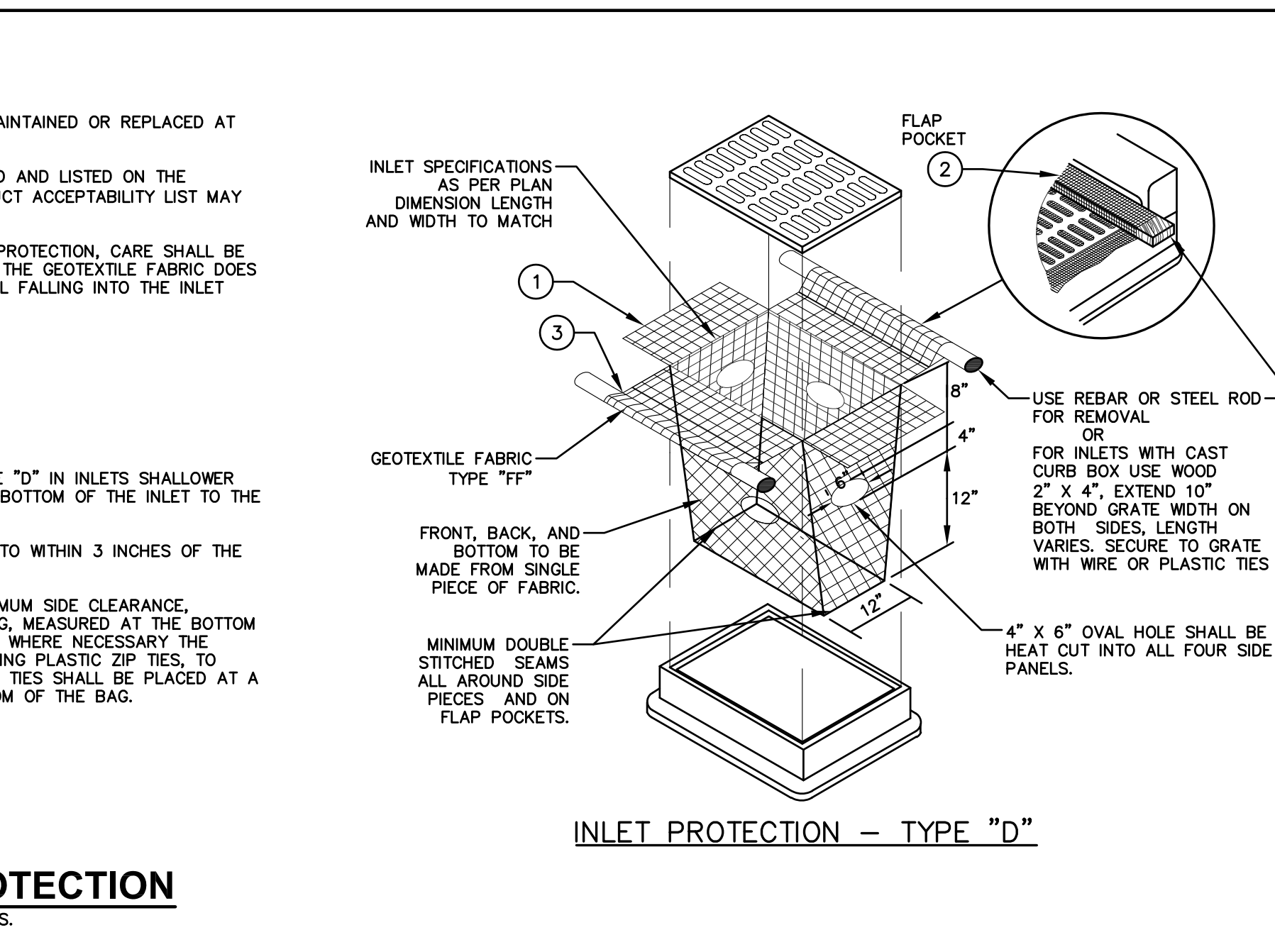
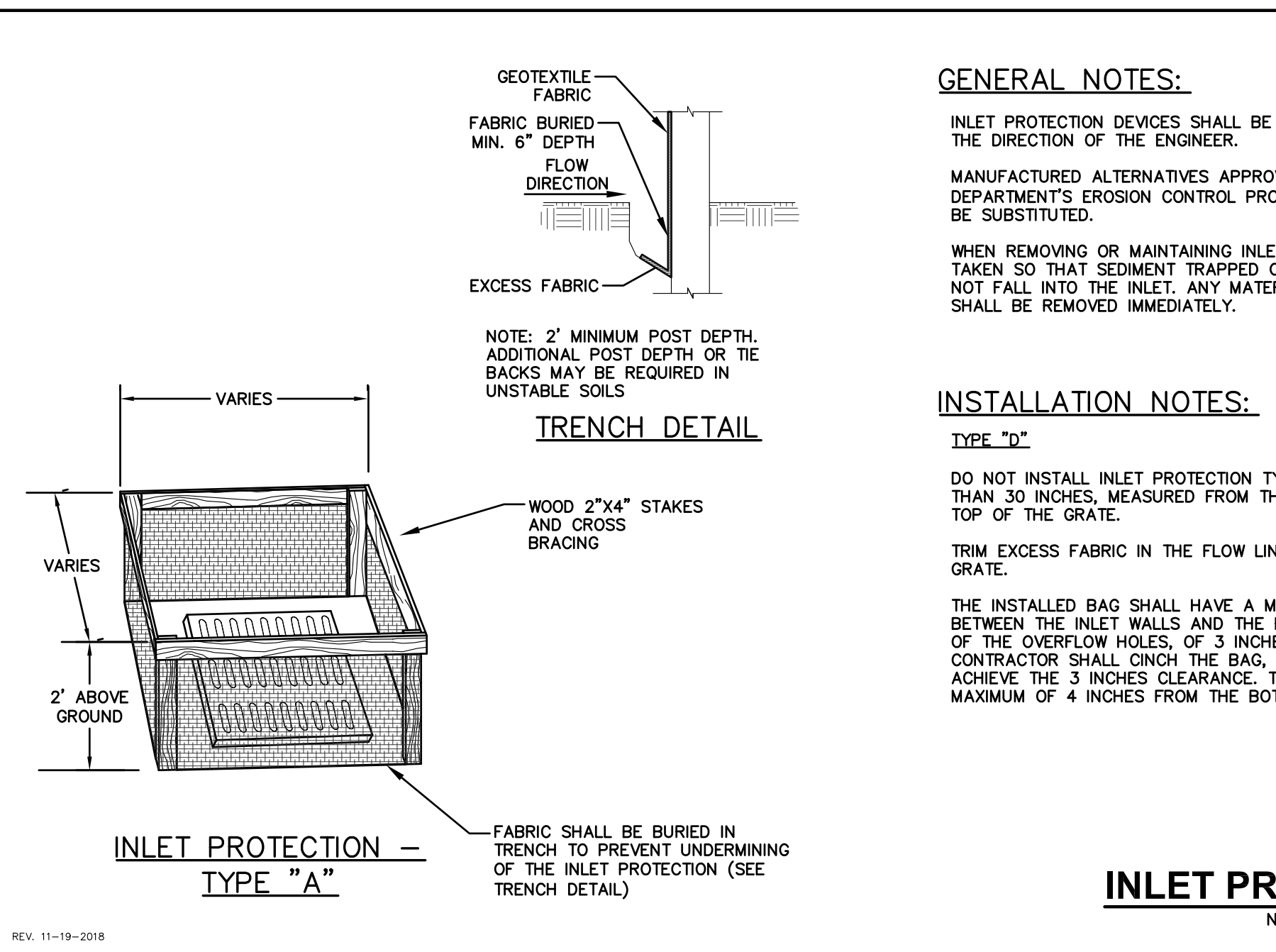
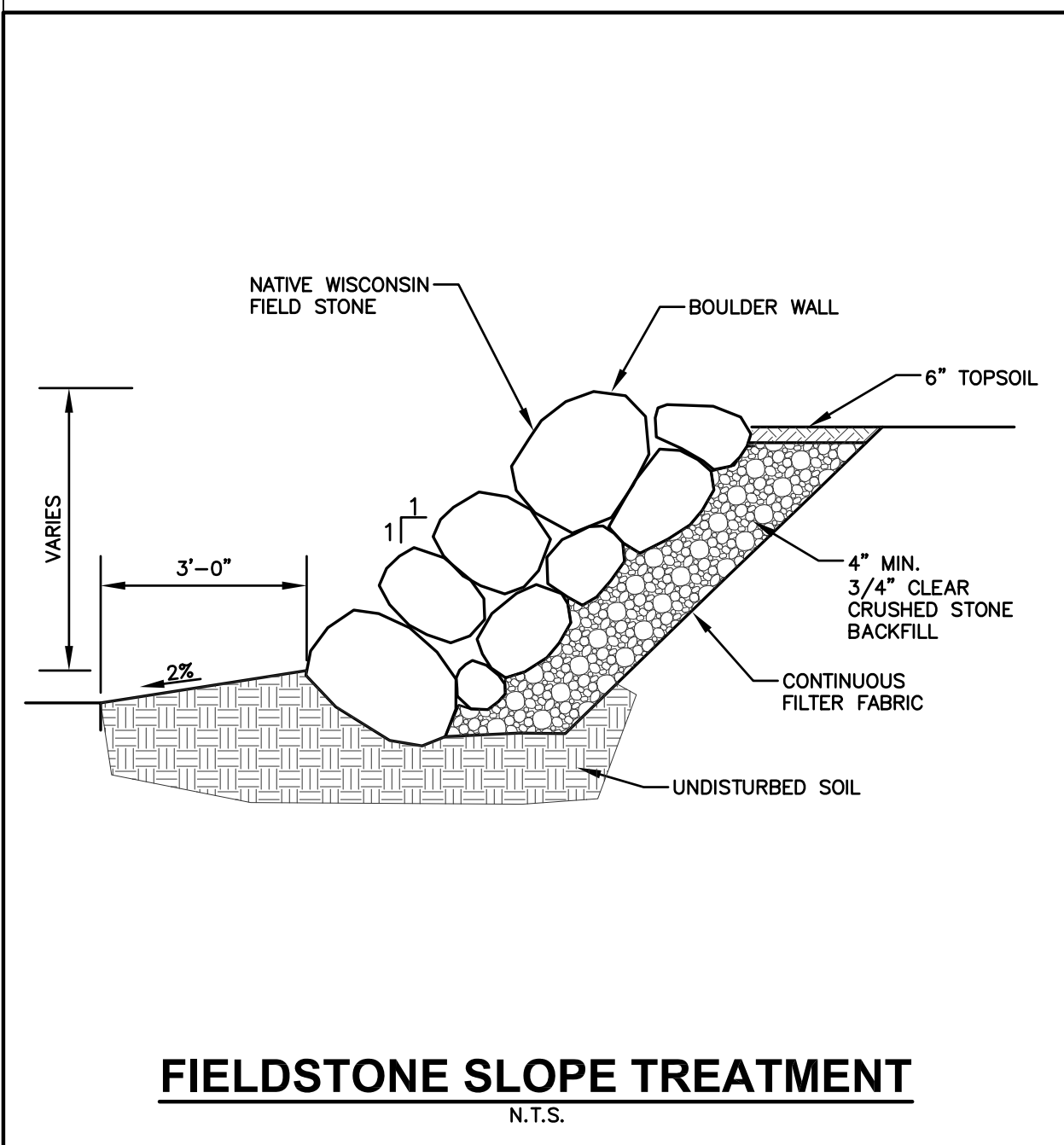
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JSD PROJECT NO: 19-9373

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WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:

roc
FOUNDATION

CLIENT ADDRESS:
7044 S. BALLPARK DRIVE
SUITE 300
FRANKLIN, WI 53132

PROJECT:
MIRACLE FIELD AT
BALLPARK COMMONS

PROJECT LOCATION:
FRANKLIN, WI
MILWAUKEE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	01-10-2020	PRELIMINARY PRICING SET
2	02-28-2020	PLAN COMMISSION SUBMITTAL
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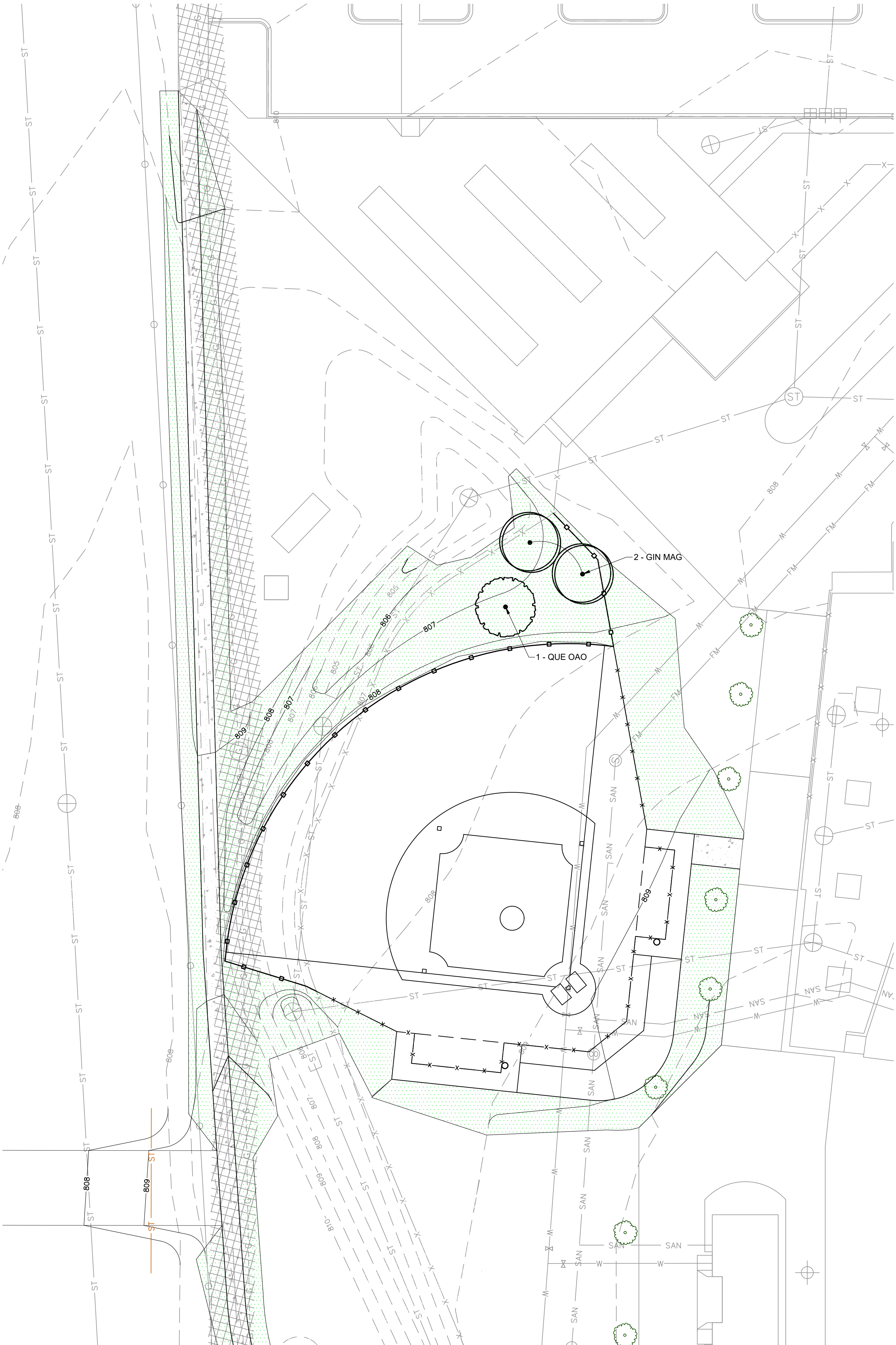
Design/Drawn: CAP
Approved: JKJ
Date: 01/10/2020

SHEET TITLE:
DETAILS

SHEET NUMBER:
C4.0

JSD PROJECT NO: 19-9373

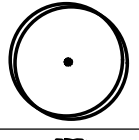
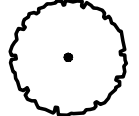
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GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING
	GIN MAG	2	Ginkgo biloba 'Magyar' / Magyar Ginkgo	B & B	3"Cal
	QUE OAO	1	Quercus robur 'Heritage' / Heritage English Oak	B & B	3"Cal

LEGEND

 BLUEGRASS BLEND SEED MIX



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Design/Drawn: SCD
Approved: LMV
Date: 01/10/2020
SHEET TITLE:
LANDSCAPE PLAN

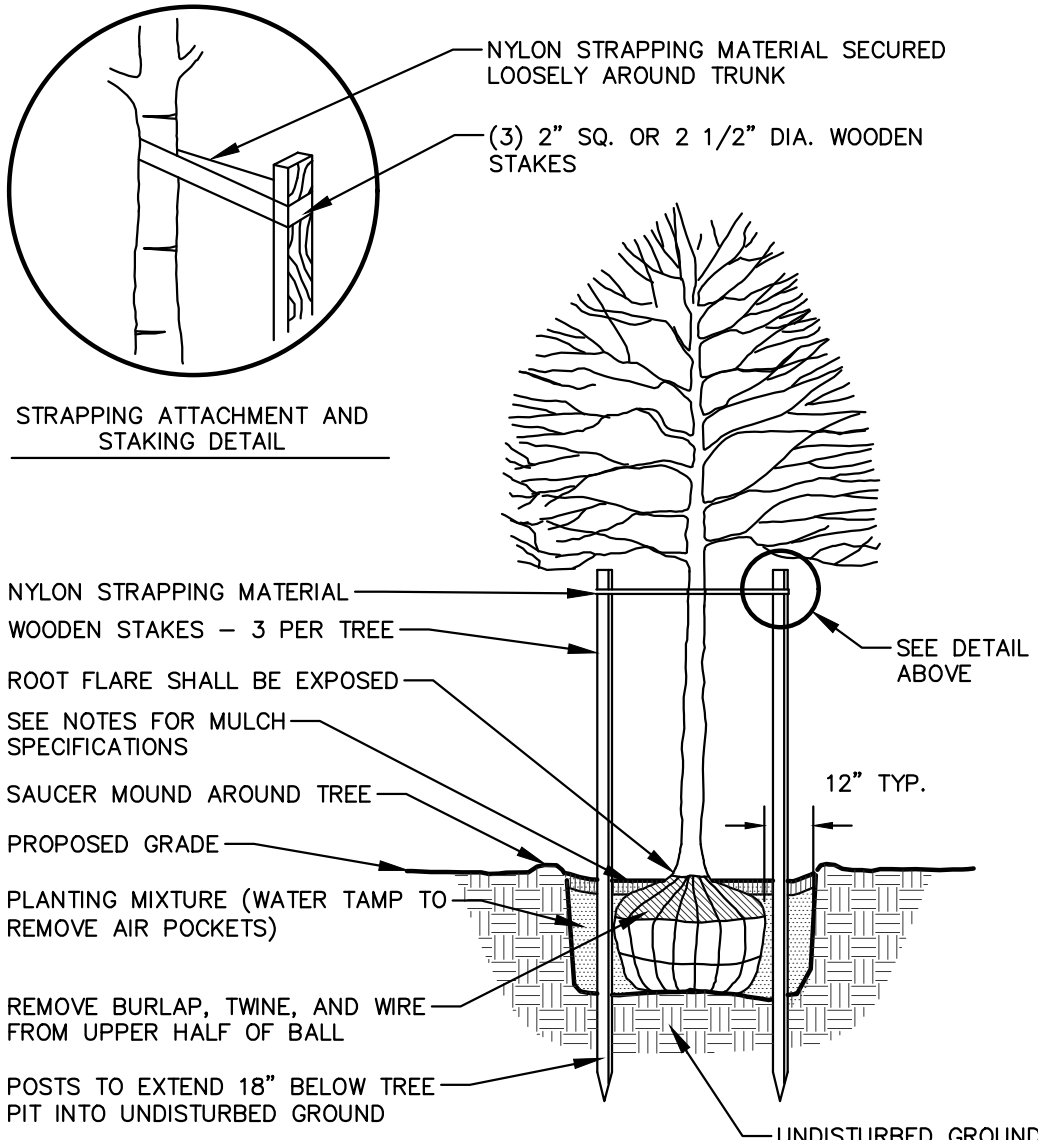
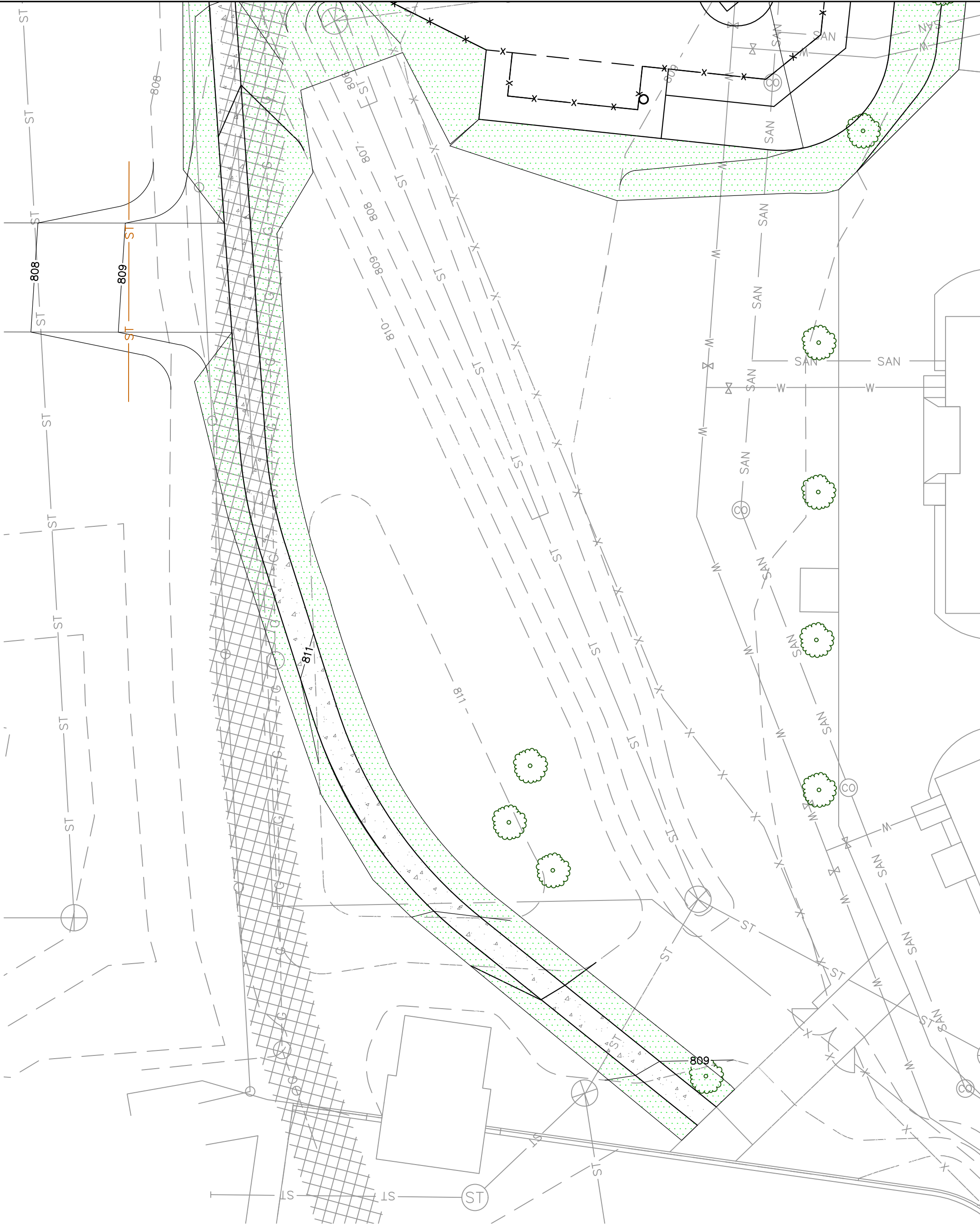
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JSD PROJECT NO: 19-9373



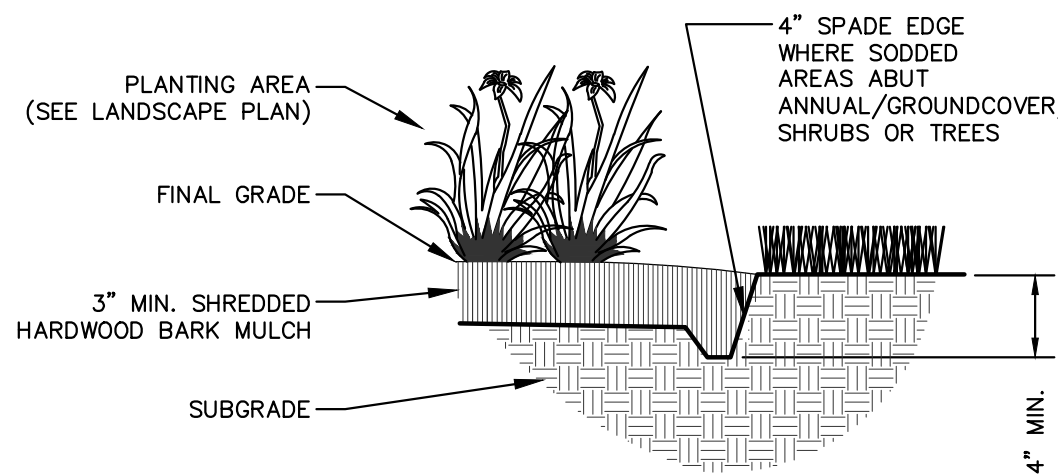
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- NOTE:
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.
 2. REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

DECIDUOUS TREE PLANTING DETAIL

N.T.S.



NATURAL SPADE EDGE

N.T.S.

GENERAL NOTES

1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
3. MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
4. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT. IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
5. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

SEEDING & SODDING NOTES

1. MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE
2. MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

1. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH TWO (2) YEARS AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
2. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
3. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
4. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE TWO (2) YEAR CONTRACTOR GUARANTEE PERIOD.



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CLIENT:



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SUITE 300
FRANKLIN, WI 53132

PROJECT:

MIRACLE FIELD AT
BALLPARK COMMONS

PROJECT LOCATION:

FRANKLIN, WI
MILWAUKEE COUNTY

PLAN MODIFICATIONS:

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3	04-13-2020	REVISED PER CITY COMMENTS
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Design/Drawn:

SCD

Approved:

LMV

Date:

01/10/2020

SHEET TITLE:

LANDSCAPE PLAN
& DETAILS

SHEET NUMBER:

L1.1

JSD PROJECT NO:

19-9373

DIGGERS & HOTLINE
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**CITY OF FRANKLIN****REPORT TO THE PLAN COMMISSION****Meeting of April 23, 2020****Certified Survey Map**

RECOMMENDATION: City Development Staff recommends approval of the Certified Survey Map (CSM), subject to the conditions in the draft Resolution.

Project Name:	JHB Properties
Project Address:	3617 W. Elm Road
Property Owner:	JHB Properties, LLC
Applicant:	Scott Biller, JHB Properties, LLC
Agent:	Matt Carey, Pinnacle Engineering Group
Zoning:	PDD 39
Use of Surrounding Properties:	PDD 39 to the South, East, and the eastern quarter of the northern property line; P-1 (Park) to the West and the western portion of the northern property line.
Applicant Action Requested:	Approval of Certified Survey Map (CSM)

- Staff recommendations are underlined in italics and included in the draft ordinance.
- Staff suggestions are only underlined and are not included in the draft ordinance.

INTRODUCTION:

On December 20, 2019, the applicant submitted an application for a CSM to create four buildable lots and four outlots from this 80-acre parcel. §15-9.0309 stipulates that a CSM may consist of not more than four (4) total lots; this first version of the CSM with eight (8) total lots was therefore not approvable by either the City or other evaluating agencies. The applicant proposed instead to submit two separate CSMs to be recorded in succession. The first CSM, referred to in both applications as “CSM A,” was approved with conditions on March 3, 2020, and divided the original parcel into three lots and one outlot.

This application is the second of the two CSMs, referred to in both applications as “CSM B,” which further divides Lot 3 of CSM A into four lots, including two buildable lots and two outlots (2 and 3). Outlot 2 will contain two storm water detention ponds, wetland, and woodland with buffers, and Outlot 3 will contain woodland and wetland. Detailed site plans for the full development of buildable parcels were not provide with either CSM application.

Upon the approval of CSM B, the original 80-acre parcel will now be four buildable lots and three outlots.

According to §15-9.0309.C. of the Unified Development Ordinance (UDO), the Common Council shall approve, approve conditionally and thereby require resubmission of corrected Certified Survey Map, or reject such Certified Survey Map within 90 days from the date of filing of the map unless time is extended by agreement with the Subdivider. The applicant submitted this CSM application on February 12, 2020, so May 12, 2020, is the 90-day deadline for this application.

PROJECT DESCRIPTION AND ANALYSIS:

Certified Survey Map

The proposed CSM (CSM B) divides one existing lot (Lot 3 of CSM A) into four proposed lots. The subject property is owned by JHB Properties, LLC and is approximately 55 acres in area. The proposed Lot 4 would have approximately 5 acres, the proposed Lot 5 would have approximately 11 acres, the proposed Outlot 2 would have approximately 10 acres, and the proposed Outlot 3 would have approximately 29 acres. Lots 4 and 5 meet the minimum lot area and lot width requirements for PDD 39.

During the application and approval process of CSM A, Staff suggested that the applicant set aside the conservation areas in Lot 3 as outlots in future divisions. The applicant appears to have met this request with Outlots 2 and 3 in CSM B. Outlot 2 contains wetland, wetland setback, and wetland buffer areas. Outlot 3 is largely a SEWRPC Primary Environmental Corridor, with woodland and wetland areas.

Both the City of Franklin Engineering Department, and the Milwaukee County Register of Deeds' office, suggest that the numbering for the CSM begin with one (1) for both the lots themselves, and the outlots. Planning staff concurs with this suggestion, as this new set of divisions is a new CSM. Staff suggests that the numbering of each group of lots or outlots for CSM B begin with one (1).

CSM A required a few minor technical corrections be made to CSM A that were detailed in Staff Comments. Staff recommends that approval of CSM B be conditioned on the recording of CSM A.

Natural Resource Protection Plan

The applicant has previously supplied a Natural Resource Protection Plan with CSM A that covered the area and met the requirement for both CSM A and CSM B, which was approved with conditions along with CSM A. No further review is needed for CSM B. Required conservation easements have been submitted and are under review.

STAFF RECOMMENDATION:

The Department of City Development staff recommends approval of the Certified Survey Map subject to the conditions in the draft resolution.

RESOLUTION NO. 2020-_____

A RESOLUTION CONDITIONALLY APPROVING A 2 LOT AND
2 OUTLOT CERTIFIED SURVEY MAP, BEING LOT 3 OF CERTIFIED
SURVEY MAP NO. _____, AS RECORDED IN THE REGISTER OF DEEDS
OFFICE FOR MILWAUKEE COUNTY AS DOCUMENT NO. _____,
BEING A PART OF THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE
SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 21 EAST,
IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN
(JHB PROPERTIES, LLC, APPLICANT/PROPERTY OWNER)
(3617 WEST ELM ROAD)

WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a certified survey map, such map being Lot 3 of Certified Survey Map No. _____, as recorded in the Register of Deeds office for Milwaukee County as Document No. _____, being a part of the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, more specifically, of the property located at 3617 West Elm Road (immediately north of the proposed lift station for Planned Development District No. 39 (Mixed Use Business Park)), bearing Tax Key No. 979-9997-000, JHB Properties, LLC, applicant; said certified survey map having been reviewed by the City of Franklin Plan Commission and the Plan Commission having recommended approval thereof pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and City of Franklin Plan Commission recommendation, and the Common Council having determined that such proposed certified survey map is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Certified Survey Map submitted by JHB Properties, LLC, as described above, be and the same is hereby approved, subject to the following conditions:

1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and made by the applicant, prior to recording.
2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9. of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such

JHB PROPERTIES, LLC – CERTIFIED SURVEY MAP
RESOLUTION NO. 2020-_____

Page 2

Code and Ordinance provisions may be amended from time to time.

3. Each and any easement shown on the Certified Survey Map shall be the subject of separate written grant of easement instrument, in such form as provided within the *City of Franklin Design Standards and Construction Specifications* and such form and content as may otherwise be reasonably required by the City Engineer or designee to further and secure the purpose of the easement, and all being subject to the approval of the Common Council, prior to the recording of the Certified Survey Map.
4. JHB Properties, LLC, successors and assigns, and any developer of the JHB Properties, LLC 2 lot and 2 outlot certified survey map project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
5. The approval granted hereunder is conditional upon JHB Properties, LLC and the 2 lot and 2 outlot certified survey map project for the property located at 3617 West Elm Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
6. The Certified Survey Map approved pursuant to Resolution 2020-7600 shall be recorded prior to recording of this Certified Survey Map.

BE IT FURTHER RESOLVED, that the Certified Survey Map, certified by owner, JHB Properties, LLC, be and the same is hereby rejected without final approval and without any further action of the Common Council, if any one, or more than one of the above conditions is or are not met and satisfied within 180 days from the date of adoption of this Resolution.

BE IT FINALLY RESOLVED, that upon the satisfaction of the above conditions within 180 days of the date of adoption of this Resolution, same constituting final approval, and pursuant to all applicable statutes and ordinances and lawful requirements and procedures for the recording of a certified survey map, the City Clerk is hereby directed to obtain the recording of the Certified Survey Map, certified by owner, JHB Properties, LLC, with the Office of the Register of Deeds for Milwaukee County.

JHB PROPERTIES, LLC – CERTIFIED SURVEY MAP
RESOLUTION NO. 2020-_____

Page 3

Introduced at a regular meeting of the Common Council of the City of Franklin this
_____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of
Franklin this _____ day of _____, 2020.

APPROVED:

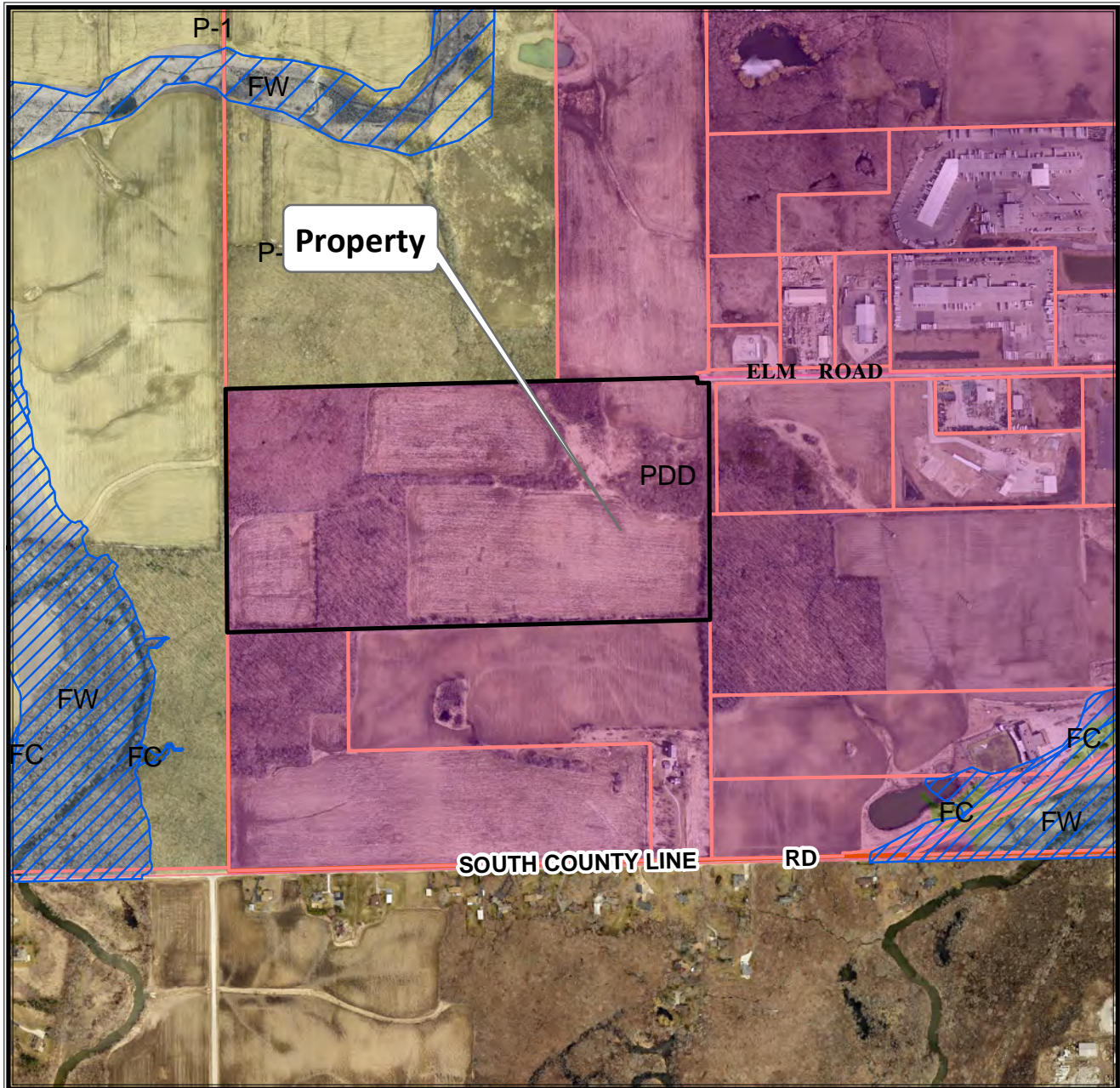
Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

3617 W. Elm Rd.
TKN: 979 9997 000



Planning Department
(414) 425-4024

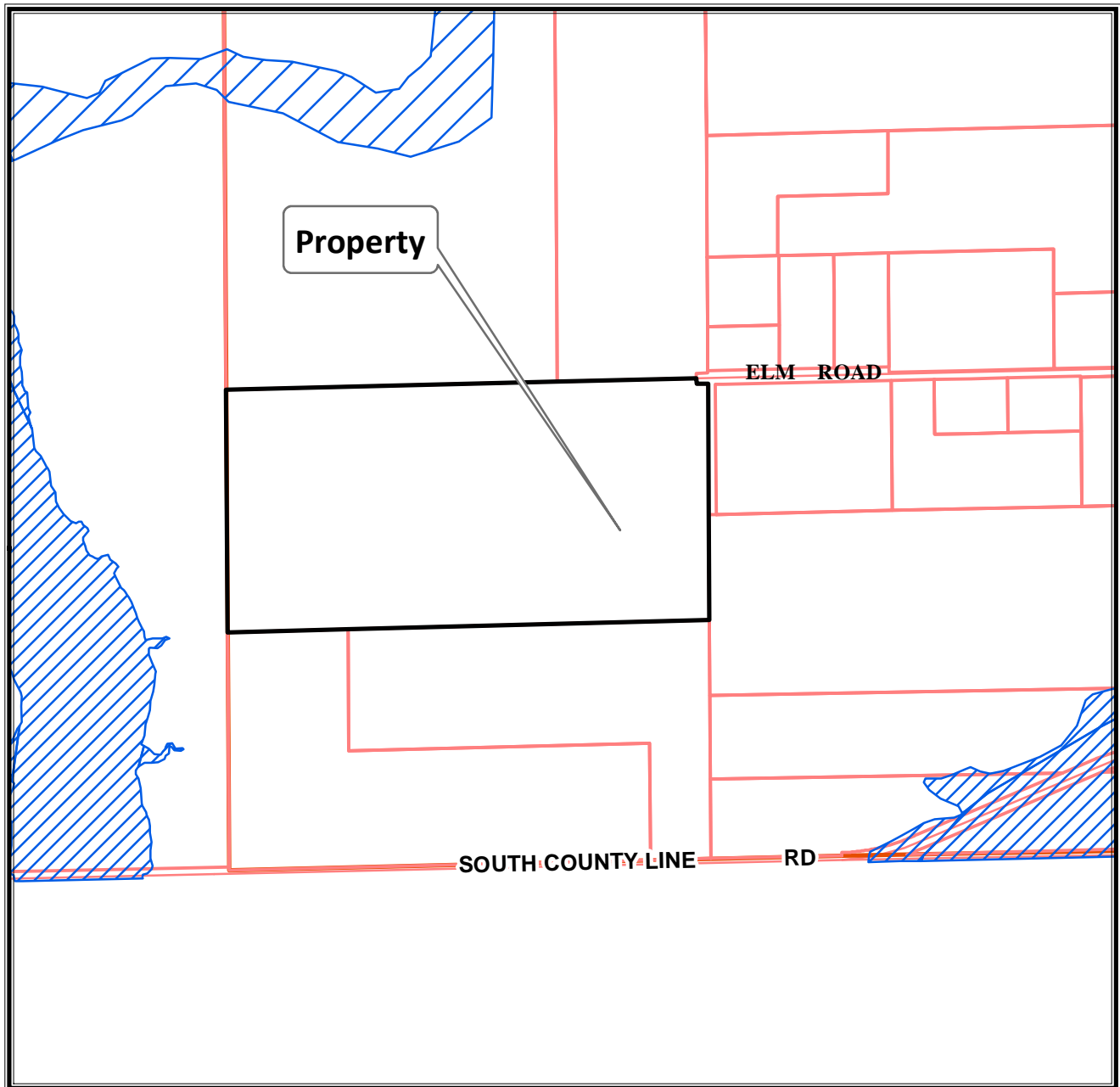
0 500 1,000 2,000 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.


NORTH
2017 Aerial Photo



3617 W. Elm Rd.
TKN: 979 9997 000



Planning Department
(414) 425-4024

0 500 1,000 2,000 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



City of Franklin

Department of City Development

Date: April 4, 2020

To: JHB Properties, LLC

From: Department of City Development Staff

RE: 3617 W Elm Road – Certified Survey Map “B” – Staff Comments

Please be advised that City Staff has reviewed the above application for the second part of a two-part CSM process, referred to throughout this document as “CSM B,” which is a land division of Lot 3 of CSM A (approved with conditions on March 3, 2020).

Department comments are as follows for the Certified Survey Map application submitted by JHB Properties, LLC to the City of Franklin on February 12, 2020. Please note that all technical corrections issued for CSM A in the staff memo issued on January 22, 2020, as well as all the conditions for approval of CSM A, remain in effect and should also be applied to CSM B as appropriate.

Department of City Development

§15-5.0106.D requires that lots created meet the dimensional standards of the City of Franklin UDO for the zoning district they are in. Lots 4 and 5 within CSM B both meet the minimum lot area and lot width requirements for the business park area of PDD 39. Outlots 2 and 3 within CSM B are not required to meet dimensional requirements.

Unified Development Ordinance (UDO) Requirements

Certified Survey Map (CSM)

Division 15-7.0700: Certified Survey Map describes the required elements of a CSM:

1. Please be aware that §15-7.0701: General Standards for CSMs, requires that the standards of Part 8: Improvements and Construction be met for all development resulting from this CSM.
PEG-Understood
2. Please depict any proposed deed restriction, and landscape or conservation easements, required by §15-7.0702.P. Deed restrictions and/or conservation easements as required by this Ordinance shall be filed with the CSM. Please submit all easement(s) for recording.
PEG- Easements shown for reference. All separate easement documents have been submitted as part of CSM “A”.
3. Please update all CSM documents to reference the correct CSM number once CSM A has been recorded.
PEG- Will update accordingly once CSM A has been recorded.

Design Standards for Land Divisions

UDO Division 15-5.0100: Design Standards for Land Divisions governs the arrangement of and access to roads, right-of-way and other infrastructure, and the dimensions of lots and easements and is applicable to the proposed CSM.

4. There are no roads or rights-of-way shown within CSM B.

PEG- Correct, however ROW is shown for reference on CSM B. All ROW is being dedicated on CSM A.

5. Note that the standards of §15-5.0107 apply to all roads and future roads on the proposed lots, as will the standards of §15-5.0108 apply to setbacks.

PEG-Understood

Natural Resource Protection Plan

Division 15-4.0100 governs the preservation of natural resources. All development in the City of Franklin shall comply with the natural resource protection standards set forth in Table 15-4.0100, and be described by a Natural Resource Protection Plan as defined by Division 15-7.0200.

The NRPP that was completed and approved for CSM A on 3/3/2020 covers the area of CSM B and does not need to be resubmitted. As stated in Resolution 2020-7600, the applicant shall make any necessary technical corrections to the CSM, subject to approval of Planning Staff, including the NRPP.

Landscaping and Mitigation

6. Division 15-5.0300 stipulates landscaping requirements stemming from bufferyards, parking and areas where vegetative mitigation is required under §15-4.0103. Note that the standards of §15-4.0103 will apply to future parking facilities.

PEG-Understood

Department of City Development Recommendations

Landscaping & Mitigation

1. Note that the standards of §15-4.0103 will apply to future parking facilities.

PEG-Understood

Site Plan

2. It is recommended that the applicant provide site plans for proposed development as soon as possible.

PEG- Understood. Site plans will be provided as future tenants come online and pursue development within the park.

3. PDD 39 (ORD2016-2238) further requires cross-access for both pedestrian and vehicular circulation. Staff recommends that the applicant depict cross access on the CSM and submit easements for review and approval as soon as possible.

PEG- Access easements will be dedicated in the future once known developments (and their proposed site plan) come online.

Engineering Department Staff Comments

Comments before recommending its approval and recording to Register of Deeds

- The review comments from the County must be addressed.
PEG-Understood
- This proposed CSM is contingent upon the recording of the previous CSM.
PEG-Understood
- Correct the numbering sequence, Lot 1,2,3 and Outlot 1 & 2.
PEG- Lot numbers remain the same based on correspondence from the State that was forward to Marion Ecks on 4/7/20.
- On page 7 of 7, under the City of Franklin Common Council, remove the word dedication. No dedication to this proposal.
PEG- Revision Made.
- Submit the storm sewer easement for review and approval.
PEG- Storm Sewer Easement Document was previously provided as part of the original CSM submittal. It has been included in this resubmittal again for reference.
- Confirm with Planning regarding the vision corners. If the streets are considered as collector streets then the vision corners should be at a minimum 60 x 60 vision triangle.

PEG- Vision Corner has been added to the NWC of Hickory and Aspen.

Fire Department Staff Comments

The fire department has no comments regarding the proposed CSM at this location.

Police Department Staff Comments

The Franklin Police Department has reviewed the Certified Survey Map Application for 3617 W Elm Road.

The Police Department has no issues with this request.

Milwaukee County Comments

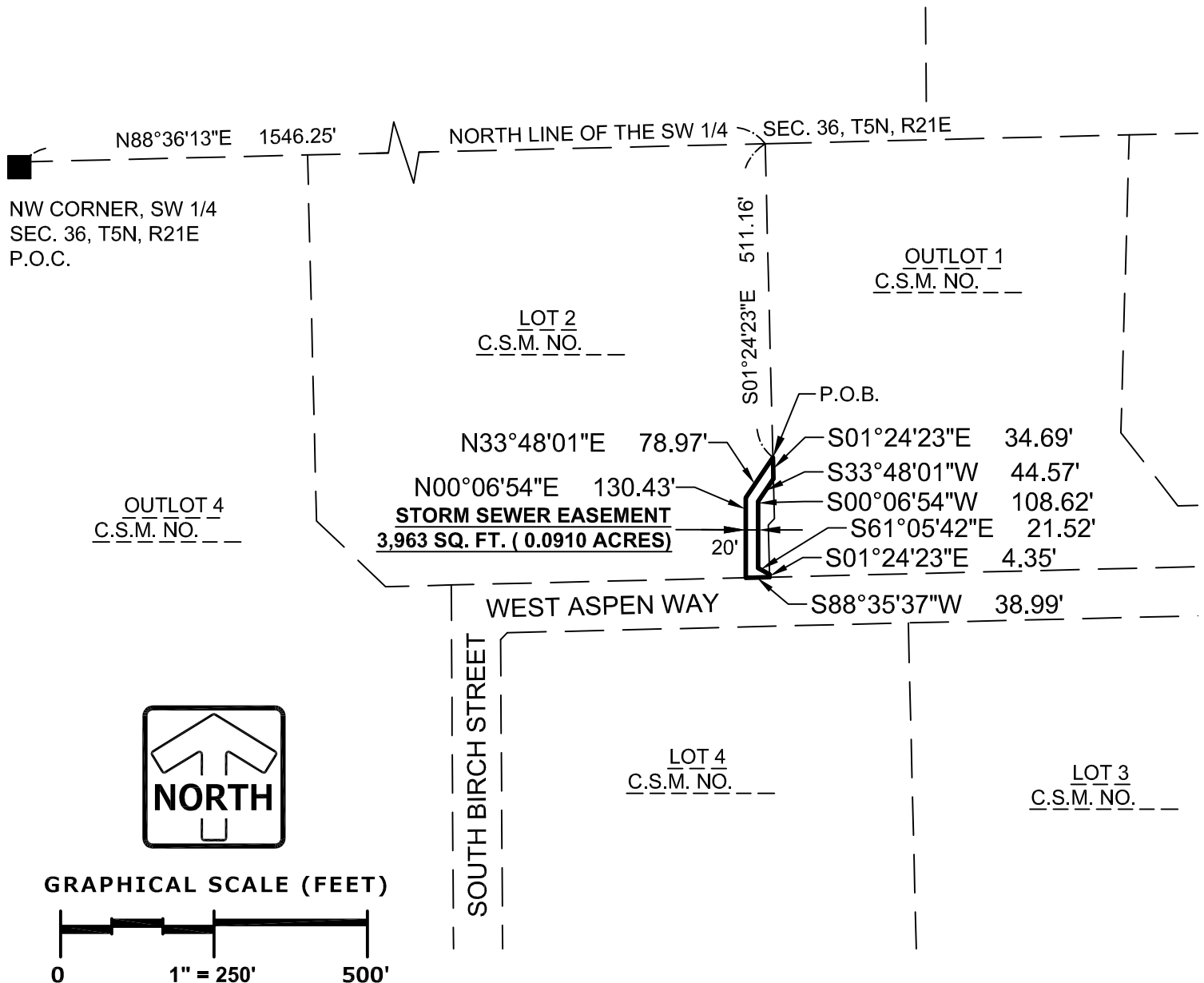
Comments from the Milwaukee County Register of Deeds are attached.

LEGAL DESCRIPTION:

Being a part of Lot 2 of Certified Survey Map No. _____, being a part of the Northeast 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows:

Commencing at the northwest corner of the Southwest 1/4 of said Section 36;
Thence North $88^{\circ}36'13''$ East along the north line of said Certified Survey Map No. _____, said line also being the north line of said Southwest 1/4, 1546.25 feet to the northeast corner of said Lot 2; thence South $01^{\circ}24'23''$ East along the east line of said Lot 2, 511.16 feet to the Point of Beginning;

Thence continuing South $01^{\circ}24'23''$ East along said east line, 34.69 feet; thence South $33^{\circ}48'01''$ West, 44.57 feet; thence South $00^{\circ}06'54''$ West, 108.62 feet; thence South $61^{\circ}05'42''$ East, 21.52 feet to the aforesaid east line of Lot 2; thence South $01^{\circ}24'23''$ East, 4.35 feet to the south line of said Lot 2; thence South $88^{\circ}35'37''$ West along said south line, 38.99 feet; thence North $00^{\circ}06'54''$ East, 130.43 feet; thence North $33^{\circ}48'01''$ East, 78.97 feet to the Point of Beginning.



EXHIBIT

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

WWW.PINNACLE-ENGR.COM

02/03/2020

PLAN | DESIGN | DELIVER

PEG JOB#1827.00

Being Lot 3 Certified Survey Map No. _____ in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

UNPLATTED LANDS
TAX KEY #9809998000
OWNER: MILWAUKEE COUNTY

N00°21'57"W 2644.20'
WEST LINE OF THE SW 1/4 SEC. 36, T5N, R21E

NORTH

P.O.B

NW CORNER, SW 1/4
SEC. 36, T5N, R21E
(FOUND CONC. MON
W/ BRASS CAP)

UNPLATTED LANDS
TAX KEY #9509998001
OWNER: MILWAUKEE COUNTY

N88°36'13"E 2631.28'

N88°36'13"E 2511.26

NE CORNER, SW 1/4 SEC. 36, T5N, R21E
(FOUND CONC. MON. W/ BRASS CAP)
N=316, 790.31; E=2,515.074, 988
(NORTH AMERICAN DATUM OF 1983/2011)

UNPLATTED LANDS
TAX KEY #95093997001
OWNER: WENDT FAMILY TRUST

120.

UNPLATTED LANDS
TAX KEY #9509997001
OWNER: WENDT FAMILY TRUST

WEST ELM
ROAD

PARCEL 1
C.S.M. NO. 6366

**SOUTH
HICKORY
STREET**

(VARIABLE PUBLIC
R.O.W.)

S44°07'02"W
21.68'

OUTLOT 3
1,244,442 SQ. FT.
28.5684 ACRES

LOT 5
485,122 SQ. FT.
11.1369 ACRES

OUTLOT 2
451,910 SQ. FT.
10.3744 ACRES

LOT 4
225,598
SQ. FT.
5.1790
ACRES

615.67'
S00°21'34"E

40' SOUTH
BIRCH STREET
(80' PUBLIC R.O.W.) 40'

LOT 2
C.S.M. NO. ____
OWNER: JHB
PROPERTIES LLC

WEST ASPEN WAY
 (80' PUBLIC R.O.W.)

LOT 1
C.S.M. NO. _____
OWNER: JHB
PROPERTIES LLC

UNPLATTED LANDS
TAX KEY #9799998000
OWNER: GERASOPOULOS

UNPLATTED LANDS
TAX KEY #9799999000
OWNER: MLG
INVESTMENTS 2002 LLC

GRAPHICAL SCALE (FEET)

0 1" = 300' 600

REVISED: APRIL 13, 2020
FEBRUARY 10, 2020

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

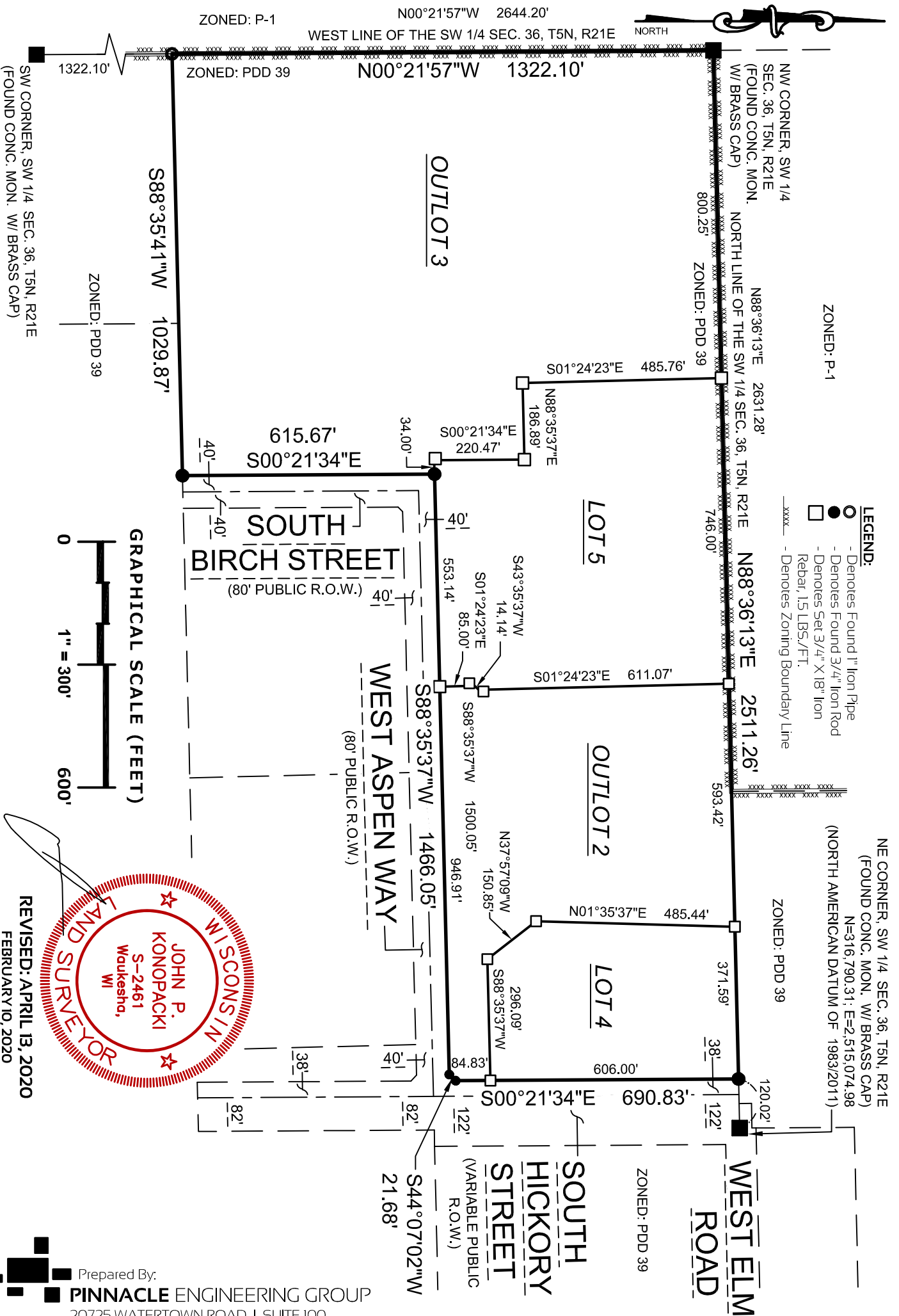
This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#1827.00

SHEET 1 OF 7

CERTIFIED SURVEY MAP NO. _____

Being Lot 3 Certified Survey Map No. _____ in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.



CERTIFIED SURVEY MAP NO. _____

Being Lot 3 Certified Survey Map No. _____ in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

N00°21'57"W 2644.20'

WEST LINE OF THE SW 1/4 SEC. 36, T5N, R21E

NORTH

CONSERVATION
EASEMENT

LEGEND:

- Denotes Found 1" Iron Pipe
- Denotes Found 3/4" Iron Rod.
- Denotes Soil Boring

NE CORNER, SW 1/4 SEC. 36, T5N, R21E
(FOUND CONC. MON. W/ BRASS CAP)
N=316,790.31; E=2,515,074.98
(NORTH AMERICAN DATUM OF 1983/2011)

NW CORNER, SW 1/4
SEC. 36, T5N, R21E
(FOUND CONC. MON.
W/ BRASS CAP)

N88°36'13"E 2631.28'

NORTH LINE OF THE SW 1/4 SEC. 36, T5N, R21E

120.02'

WEST ELM
ROAD

LOT 5

LOT 4

OUTLOT 2

OUTLOT 3

SOUTH
HICKORY
STREET

WEST ASPEN WAY

SOUTH
BIRCH STREET

CONSERVATION EASEMENT
BUILDING SETBACK = 6 FEET
To allow construction of the building
without disturbance or impact to the
protected resource feature.

CONSERVATION
EASEMENT TO
BE RECORDED
VIA SEPARATE
DOCUMENT

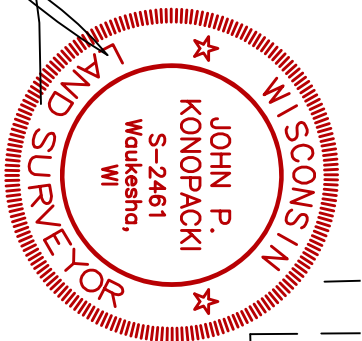
CONSERVATION
EASEMENT TO
BE RECORDED
VIA SEPARATE
DOCUMENT

1322.10'

SW CORNER, SW 1/4 SEC. 36, T5N, R21E
(FOUND CONC. MON. W/ BRASS CAP)

GRAPHICAL SCALE (FEET)

0 1" = 300' 600'



REVISED: APRIL 13, 2020
FEBRUARY 10, 2020

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#1827.00

SHEET 3 OF 7

CERTIFIED SURVEY MAP NO. _____

Being Lot 3 Certified Survey Map No. _____ in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

N00°21'57"W 2644.20'

WEST LINE OF THE SW 1/4 SEC. 36, T5N, R21E

NORTH

WETLAND DETAIL

LEGEND:
○ - Denotes Found 1" Iron Pipe
● - Denotes Found 3/4" Iron Rod

NE CORNER, SW 1/4 SEC. 36, T5N, R21E
(FOUND CONC. MON. W/ BRASS CAP)
N=316,790.31; E=2,515,074.98
(NORTH AMERICAN DATUM OF 1983/2011)

NW CORNER, SW 1/4 SEC. 36, T5N, R21E
(FOUND CONC. MON. W/ BRASS CAP)

N88°36'13"E 2631.28'
NORTH LINE OF THE SW 1/4 SEC. 36, T5N, R21E

120.02'

P.O.B. WETLAND DELINEATED BY SEWRPC MAY 2015 & 30' WETLAND BUFFER & 50' WETLAND SETBACK

WETLAND DELINEATED BY SEWRPC JUNE 2018 & 30' WETLAND BUFFER & 50' WETLAND SETBACK

OUTLOT 3

WETLANDS DELINEATED BY SEWRPC JUNE 2018 & 30' WETLAND BUFFER & 50' WETLAND SETBACK

LOT 5

WETLAND DELINEATED BY SEWRPC MAY 2015 &

OUTLOT 2

LOT 4

WETLAND

DRAINAGE DITCH

50' WETLAND SETBACK

30' WETLAND BUFFER

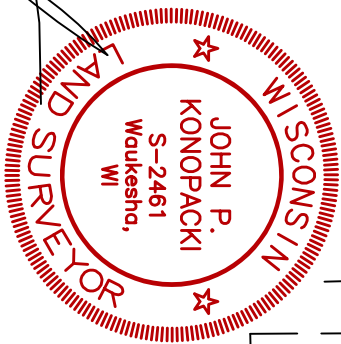
WEST ASPEN WAY

SOUTH BIRCH STREET

SOUTH HICKORY STREET

GRAPHICAL SCALE (FEET)

0 1" = 300' 600'



REVISED: APRIL 13, 2020
FEBRUARY 10, 2020

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#1827.00
SHEET 4 OF 7

CERTIFIED SURVEY MAP NO. _____

Being Lot 3 Certified Survey Map No. _____ in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided Lot 3 of Certified Survey Map No. _____, as recorded in the Register of Deeds office for Milwaukee County as Document No. _____, being a part of the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin, described as follows:

Beginning at the northwest corner of the Southwest 1/4 of said Section 36;
Thence North 88°36'13" East along the north line of said Southwest 1/4, 2511.26 feet to the west right of way line of South Hickory Street;
Thence South 00°21'34" East along said west right of way line, 690.83 feet;
Thence South 44°07'02" West, 21.68 feet to the north right of way line of West Aspen Way;
Thence South 88°35'37" West along said north right of way line, 1466.05 feet to the west right of way line of South Birch Street;
Thence South 00°21'34" East along said west right of way line, 615.67 feet to the south line of said Lot 3;
Thence South 88°35'41" West along said south line, 1029.87 feet to the west line of said Southwest 1/4;
Thence North 00°21'57" West along said west line, 1322.10 feet to the Point of Beginning.

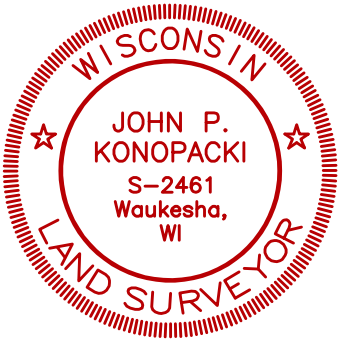
Containing 2,407,072 square feet (55.2587 acres) of land more or less.

That I have made such survey, land division and map by the direction of JHB PROPERTIES LLC, owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of s.236.34 of the Wisconsin State Statutes and the City of Franklin Unified Development Ordinance Division - 15 in surveying, mapping and dividing the land with in this certified survey map.

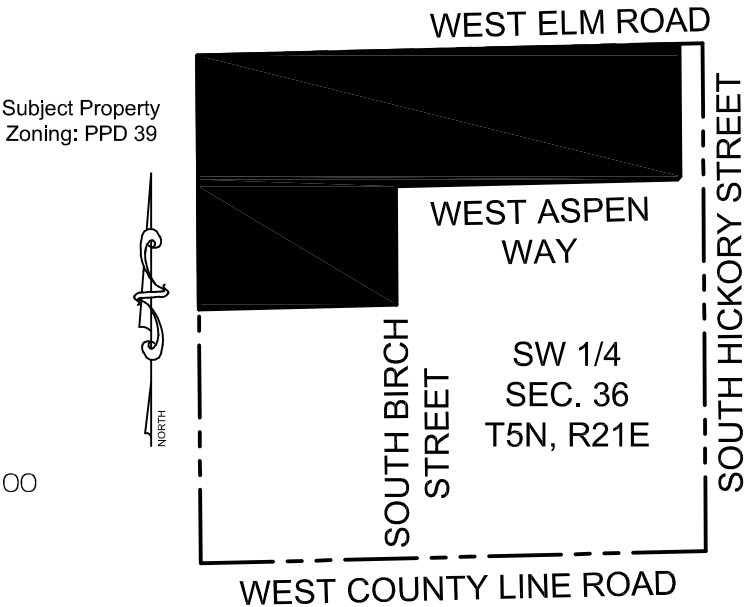
Date: APRIL 13, 2020
FEBRUARY 10, 2020



John P. Konopacki
Professional Land Surveyor S-2461

Owner/Subdivider :
JHB PROPERTIES LLC
Attn: Scott Biller
5158 S. Marquette Ct.
New Berlin, WI 53151

Land Surveyor:
John P. Konopacki
Pinnacle Engineering Group
20725 Watertown Road Suite 100
Brookfield, WI 53186



VICINITY SKETCH
SCALE 1"=1000'

CERTIFIED SURVEY MAP NO. _____

Being Lot 3 Certified Survey Map No. _____ in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

OWNER'S CERTIFICATE

JHB PROPERTIES LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this certified survey map.

JHB PROPERTIES LLC, as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

- 1. City of Franklin

IN WITNESS WHEREOF, the said JHB PROPERTIES LLC has caused these presents to be signed by (name - print) _____, (title) _____, at (city) _____, _____ County, Wisconsin, on this _____ day of _____, 20____.

In the presence of: JHB PROPERTIES LLC

Name (signature) - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 20____, (name) _____, (title) _____, of the above named limited liability company, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ (title) of said limited liability company, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability, by its authority.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping of the land described in the forgoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said _____, has caused these presents to be signed by _____, its President, and its corporate seal to be hereunto affixed this _____ day of _____, 20____.

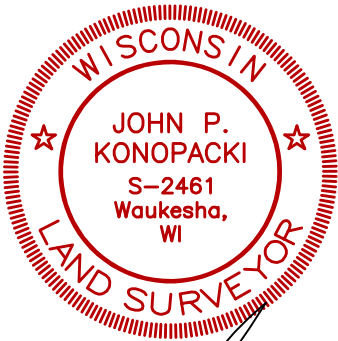
Date

President

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 20____, _____, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____



REVISED: APRIL 13, 2020
FEBRUARY 10, 2020

CERTIFIED SURVEY MAP NO. _____

Being Lot 3 Certified Survey Map No. _____ in the Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

CITY OF FRANKLIN COMMON COUNCIL APPROVAL

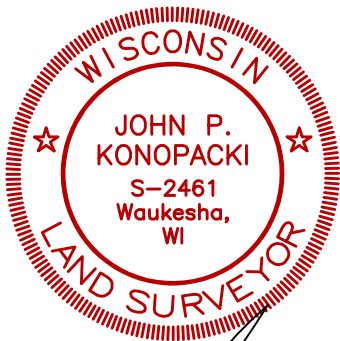
Approved and accepted by the Common Council of the City of Franklin by Resolution No. _____. Signed this _____ day of _____, 20____.

Steve Olson, Mayor

Sandra L. Wesolowski, City Clerk

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Southwest 1/4 of Section 36, Township 5 North, Range 21 East bears N88°36'13"E.
- VISION CORNER TRIANGLE: No Obstructions Permitted. No visual obstructions, such as structures, parking, or vegetation, shall be permitted between the heights of 2.5 feet and 10 feet above the plane through the mean curb grades within the triangular space.
- PUBLIC WATER MAIN: Future Public Water Main easements to be recorded via separate document.
- STORM SEWER EASEMENT: Storm Sewer Easement to be recorded via separate document.
- CONSERVATION EASEMENT: Conservation Easement to be recorded via separate document.
- CROSS ACCESS EASEMENT: Future Cross Access Easements to be recorded via separate document.



REVISED: APRIL 13, 2020
FEBRUARY 10, 2020