

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, APRIL 23, 2020, 7:00 P.M.

The Facebook page for the Economic Development Commission
<https://www.facebook.com/forwardfranklin/> will be live streaming the Plan Commission meeting so that the public will be able to watch and listen to the meeting.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of April 9, 2020 and special meeting of April 6, 2020.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **CARISCH, INC. REMODELING OF AN EXISTING RESTAURANT BUILDING WITH A DRIVE THROUGH.** Special Use and Site Plan Amendment applications by Carisch, Inc., to operate an Arby's restaurant out of an existing 3,288 square foot restaurant building with patio, wraparound drive through, 28 parking spaces, including 2 Americans with Disabilities Act spaces and 2 drive through spaces, and associated landscaping, lighting, and signage [remodeling work will include changes to the facades and interiors of the building, replacement of the drive through ordering facility, repairs to the parking lot, relocation of landscaping and parking, and removal of a portion of the existing patio to accommodate the 2 drive through parking spots] with hours of operation from 10:00 a.m. to 10:00 p.m., Monday through Sunday, restaurant located at 7621 West Rawson Avenue (formerly Pantheon restaurant and Burger King restaurant prior thereto), in Planned Development District No. 16 (Franklin Centre, Formerly Called Franklin Plaza); Tax Key No. 755-0193-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE SPECIAL USE APPLICATION OF THIS MATTER.**
2. **THE ROCK SPORTS COMPLEX CHALLENGE TOWER INSTALLATION.** Special Use and Site Plan applications by Michael R. Schmitz, owner of Rock Snow Park, LLC (Roc Ventures, LLC, property owner) to allow for a challenge tower/aerial rope course use [challenge towers/aerial ropes courses are not specifically listed as Permitted/Special Use in Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) Ordinance No. 2019-2368, therefore, the applicant is requesting the Plan

Commission determine that the proposed use is similar to those listed as Special Uses in the Planned Development District Ordinance, such as Outdoor Climbing Walls or Indoor/Outdoor Sports (non-motorized) not elsewhere classified] in Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), and a Site Plan to allow for the installation of a proposed 50 foot high Challenge Tower (compact aerial courses or high rope courses, comprised of numerous swinging, climbing and balancing challenges) with 3 levels of obstacles and 50 elements, including a kids course, an observation deck at the top, with a 50 foot by 50 foot octagonal footprint, to be located east of the existing Ski Chalet in The Rock Sports Complex, upon property located at 7011 South Ballpark Drive, property zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) and FW Floodway District; Tax Key No. 744-1003-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE SPECIAL USE APPLICATION OF THIS MATTER.**

3. **FIRESTONE COMPLETE AUTO CARE FACILITY DEVELOPMENT.** Unified Development Ordinance Text Amendment, Special Use and Site Plan Applications by Pavilion Development Company (Menard, Inc., property owner) to amend the Unified Development Ordinance text at Table 15-3.0603 Standard Industrial Classification Title No. 7539 “Automotive Repair Shops, Not Elsewhere Classified” to allow for such Use as a Special Use within the M-1 Limited Industrial District, in conjunction with a Special Use application (which is contingent upon approval of the concurrent Unified Development Ordinance Text Amendment) to allow for minor automotive repair (primary use) (allowed under Standard Industrial Classification Code No. 7539), along with retail sales of tires and installation (accessory use) (allowed under Standard Industrial Classification Code No. 5531 Auto and home supply stores), and a Site Plan to construct a 6,262 square foot Firestone Complete Auto Care facility (tire sales/installation and minor automobile repair with mercantile showroom) with eight service bays and associated parking (approximately 32 spaces), lighting, landscaping, stormwater management, utility connections and other site amenities, including vehicular and pedestrian circulation, a trash enclosure and used inventory storage enclosure, upon a vacant 1.23 acre parcel, property located at 10800 West Speedway Drive (approximately 900 feet northeast of the intersection of South Lovers Lane Road and West Speedway Drive, on the north side of West Speedway Drive [near the Kwik Trip convenience store property]), zoned M-1 Limited Industrial District; Tax Key No. 704-1012-000. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE UNIFIED DEVELOPMENT ORDINANCE TEXT AMENDMENT AND SPECIAL USE APPLICATIONS.**

4. **THE LEARNING EXPERIENCE DAYCARE FACILITY CONSTRUCTION.** Unified Development Ordinance Text Amendment and Waiver and Release of Easement applications (for construction of a 10,000 square foot one-story daycare building (The Learning Experience), 4,463 square foot playground and parking lot (35 parking spaces), with associated landscaping, fencing and lighting), by Steven Pagnotta of Bradford Franklin LLC (Franklin-Wyndham, LLC, property owner), to Amend the Unified Development Ordinance text at §15-3.0307 CC City Civic Center District, Subsection A.9., to exempt the property in the northeastern corner of the district, such property bearing Tax Key No. 794-9999-009, from the requirements for cross-access for both pedestrian and vehicular circulation with adjacent parcel(s) to the east of the subject property located at 9651 West Drexel Avenue (approximately 1.13 acres of vacant land, previously addressed as 7760 Lovers Lane Road), the applicant's request for a Waiver and Release of the Floating Access Easement is for the subject property (within the Shoppes at Wyndham Village) only [the applicant received approval for a Special Use and Site Plan for the property on December 3, 2019, and as a condition of the approvals, they must obtain City approval of the Unified Development Ordinance text amendment], property zoned CC City Civic Center District; Tax Key No. 794-9999-009. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE UNIFIED DEVELOPMENT ORDINANCE TEXT AMENDMENT APPLICATION OF THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

1. **PLANNED DEVELOPMENT DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS) MIRACLE LEAGUE OF MILWAUKEE MIRACLE FIELD CONSTRUCTION WITHIN THE MILWAUKEE MILKMEN'S STADIUM IN THE ROCK SPORTS COMPLEX.** Site Plan Amendment application by ROC Foundation, Inc., applicant (BPC County Land, LLC, property owner), to allow for the construction of a Miracle League of Milwaukee Miracle Field facility (a custom designed field for children of all abilities) at the Milwaukee Milkmen's Stadium (S1) at Ballpark Commons, located in the Rock Sports Complex Area, the principal use being outdoor baseball, with the following ancillary uses: stadium restrooms, concession stands and public address system; site area is approximately 1.01 acres, zoned Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), located at approximately 7035 South Ballpark Drive (along the west concourse of the stadium at Ballpark Commons); Tax Key No. 744-1003-000 [per Ordinance 2019-2368, the hours of operation for the Stadium shall be limited to 7:00 a.m. to 11:00 p.m. (in the event of rain delays,

extra innings or technical difficulties, an extension up to 12:00 a.m. is allowed), and the scheduling of games will be staggered with Milwaukee Milkmen baseball games to allow for ample parking].

2. **JHB PROPERTIES, LLC LAND DIVISION.** Certified Survey Map application by JHB Properties, LLC, the second Certified Survey Map (Certified Survey Map B) of a two-step land division that the applicant is performing at this location within Planned Development District No. 39 (Mixed Use Business Park), to divide Lot 3 of Certified Survey Map No. ____ into two lots and two outlots for stormwater and conservation [the first step in the process (Certified Survey Map A) was approved by the Common Council on March 3, 2020, with conditions, creating three lots and one stormwater outlot], property located at 3617 West Elm Road (immediately north of the proposed lift station for Planned Development District No. 39 (Mixed Use Business Park)); Tax Key No. 979-9997-000.

E. Adjournment

*Supporting documentation and details of these agenda items are available in the Plan Commission Meeting Packet on the City of Franklin website www.franklinwi.gov.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: May 7, 2020

City of Franklin
Special Plan Commission Meeting
April 6, 2020
Minutes

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the April 6, 2020 Special Plan Commission meeting to order at 6:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patricia Hogan, Patrick Leon, Adam Burckhardt, Kevin Haley (arrived at 6:01 p.m.), Alderman Mark Dandrea and City Engineer Glen Morrow. Also present were City Attorney Jesse Wesolowski, Associate Planner Régulo Martínez-Montilva, Assistant Planner Marion Ecks, Director of Economic Development Calli Berg, City Finance Director Paul Rotzenberg (arrived at 6:05 p.m.), Alderpersons, Kristen Wilhelm, Michael Barber and John Nelson.

B. Approval of Minutes

1. None.

None.

C. Public Hearing Business Matters

1. UNIVERSITY OF WISCONSIN CREDIT UNION WITH AN ATTACHED DRIVE-THROUGH CANOPY BUILDING CONSTRUCTION WITHIN PLANNED DEVELOPMENT DISTRICT NO. 13 (WAL-MART/SAM'S WHOLESALE CLUB).

Planned Development District Amendment (Major) application by University of Wisconsin Credit Union, d/b/a UW Credit Union, to allow for drive-through as a Special Use [a Special Use being subject to submission of a specific Special Use application for a specific property and the obtaining of approval thereof] within the entire Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club), properties located at: 6705 South 27th Street, 6701 South 27th Street, 6611 South 27th Street, 6715 South 27th Street, 6803 South 27th Street, 6807 South 27th Street and property adjacent to 6803 South 27th Street (West Sycamore Street); Requested Waivers of

Assistant Planner Marion Ecks presented the request by University of Wisconsin Credit Union, d/b/a UW Credit Union, to allow for drive-through as a Special Use [a Special Use being subject to submission of a specific Special Use application for a specific property and the obtaining of approval thereof] within the entire Planned Development District No. 13 (Wal-Mart/Sam's Wholesale Club), properties located at: 6705 South 27th Street, 6701 South 27th Street, 6611 South 27th Street, 6715 South 27th Street, 6803 South 27th Street, 6807 South 27th Street and property adjacent to 6803 South 27th Street (West Sycamore Street); Requested Waivers of South 27th Street Design Overlay District Standards:

- a. 15-3.0352A. Allowance to not meet the requirement that fifty (50) percent of off-street parking spaces be located directly between the front façade of the building and the public street (only for the specific proposed UW Credit Union property at 6611 South 27th Street; Tax Key No. 714-0001-001).
- b. 15-3.0355B.8.d. Allowance to not provide a corner entrance to the building (only for the specific proposed UW Credit Union property at 6611 South 27th Street).

The Official Notice of Public hearing was read in to the record by Assistant Planner Marion Ecks and the

South 27th Street Design Overlay
District Standards:

- a. 15-3.0352A. Allowance to not meet the requirement that fifty (50) percent of off-street parking spaces be located directly between the front façade of the building and the public street (only for the specific proposed UW Credit Union property at 6611 South 27th Street; Tax Key No. 714-0001-001).
 - b. 15-3.0355B.8.d. Allowance to not provide a corner entrance to the building (only for the specific proposed UW Credit Union property at 6611 South 27th Street; Tax Key No. 714-0001-001).
- Tax Key Nos. 714-0004-001, 714-0003-002, 714-0001-001, 714-0002-001, 738-0261-000, 738-0262-000, 738-9974-008 and 714-0007-000.

Public Hearing was opened at 6:07 p.m. and closed at 6:09 p.m.

C.1. Commissioner Leon moved and Commissioner Hogan seconded a motion to recommend approval of an Ordinance to amend §15-3.0418 of the Unified Development Ordinance Planned Development District No. 13 (Wal-mart/Sam’s Wholesale Club), Section 2, to add drive-through as an allowed Special Use within the entire district [a Special Use being subject to submission of a specific Special Use application for a specific property and the obtaining of approval thereof]. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

a. Alderman Dandrea moved and Commissioner Leon seconded a motion to waive the required standards under 15-3.0352A. pertaining to parking requirements. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

b. Commissioner Leon moved and Alderman Dandrea seconded a motion to waive the required standards under 15-3.0355B.8.d. pertaining to pedestrian accessibility. On roll call vote, all voted 'aye'. Motion carried (6-0-0).

D. Business Matters

- 1. None.

E. Adjournment

Commissioner Hogan moved and Commissioner Leon seconded a motion to adjourn the Special Plan Commission meeting of April 6 2020 at 6:12 p.m. On voice vote, all voted ‘aye’; motion carried. (6-0-0).

**City of Franklin
Plan Commission Meeting
April 9, 2020
Minutes**

unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the April 9, 2020 regular Plan Commission meeting to order at 7:02 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Mayor Steve Olson, Commissioners Patricia Hogan, Patrick Leon, Adam Burckhardt, Kevin Haley (arrived at 7:03 p.m.), Alderman Mark Dandrea and City Engineer Glen Morrow. Also present were Associate Planner Régulo Martínez-Montilva, Assistant Planner Marion Ecks, Alderman John Nelson and City Attorney Jesse Wesolowski.

B. Approval of Minutes

1. Regular Meeting of March 19, 2020.

Commissioner Hogan moved and Alderman Dandrea seconded approval of the March 19, 2020 minutes of the regular meeting of the Plan Commission. On voice vote, all voted 'aye'. Motion carried (6-0-0).

C. Public Hearing Business Matters

1. MILLS HOTEL WYOMING, LLC MIXED-USE DEVELOPMENT. Rezoning application by Mills Hotel Wyoming, LLC, to rezone Lot No. 84 (24.05 acres) of the Ryan Meadows Subdivision development from M-1 Limited Industrial District to M-2 General Industrial District, property generally located on the east side of Monarch Drive, south of Chicory Street, area commonly known as Area G; part of Tax Key No. 891-9010-002 [*this Rezoning application is being submitted in conjunction with a Site Plan application for Copart, Inc., which is a global online vehicle auction company*]. and the installation of a concrete apron for the garage, property located at 9323 West Puetz Road, zoned R-8 Multiple-Family Residence District; Tax Key No. 847-9980-000.

Associate Planner Régulo Martínez-Montilva presented the request by Mills Hotel Wyoming, LLC, to rezone Lot No. 84 (24.05 acres) of the Ryan Meadows Subdivision development from M-1 Limited Industrial District to M-2 General Industrial District, property generally located on the east side of Monarch Drive, south of Chicory Street, area commonly known as Area G; part of Tax Key No. 891-9010-002 [this Rezoning application is being submitted in conjunction with a Site Plan application for Copart, Inc., which is a global online vehicle auction company]. and the installation of a concrete apron for the garage, property located at 9323 West Puetz Road, zoned R-8 Multiple-Family Residence District; Tax Key No. 847-9980-000.

The Official Notice of Public hearing was read in to the record by Associate Planner Régulo Martínez-Montilva and the Public Hearing was opened at 7:09 p.m. and closed at 7:34 p.m.

Commissioner Leon moved and Commissioner Hogan seconded a motion to table items C.1, C.2 and D.1 to the May 7, 2020, Plan Commission meeting. On voice vote, all voted 'aye'. Motion carried (6-0-0).

2. MILLS HOTEL WYOMING, LLC MIXED-USE DEVELOPMENT.*See item C.1.*

Natural Resource Features Special Exception application by Mills Hotel Wyoming, LLC, (Daniel L. Mathson and Virginia K. Mathson, property owners) for the purpose of grading and development of approximately 9,969 square feet of wetland, 19,268 square feet of wetland buffer and 34,002 square feet of wetland setback (which includes the buffer area as well), identified as W-2 in the Ryan Creek watershed, resulting from a Certified Survey Map land division to develop the property generally located at West Loomis Road and West Ryan Road (Lot 84 in Ryan Meadows Subdivision), such property being zoned R-2 Estate/Single-Family Residence District, C-1 Conservancy District and R-8 Multiple-Family Residence District; Tax Key No. 939-9994-000

3. ASKREN WRESTLING ACADEMY: CONVERSION OF AN EXISTING CUSTOM AUTO BODY AND PAINT SHOP TO A WRESTLING ACADEMY GYMNASIUM.

Special Use and Site Plan applications by Benjamin M. Askren, Askren Wrestling Academy, LLC (Askren Properties, LLC, property owner) to allow for a wrestling gymnasium and instruction use (in an existing custom auto body and paint shop building which will be converted into an Askren Wrestling Academy gymnasium), property located at 9760 South 60th Street, and a Site Plan to allow for interior building alterations to the space, including adding two Americans with Disabilities Act restrooms, a small office and finish improvements, and minor exterior site modifications, including parking lot restriping (to include 16 parking spaces, including one Americans with Disabilities Act accessible space) and addition of wheel stops, property zoned

Associate Planner Régulo Martínez-Montilva and Assistant Planner Marion Ecks presented the request by Benjamin M. Askren, Askren Wrestling Academy, LLC (Askren Properties, LLC, property owner) to allow for a wrestling gymnasium and instruction use (in an existing custom auto body and paint shop building which will be converted into an Askren Wrestling Academy gymnasium), property located at 9760 South 60th Street, and a Site Plan to allow for interior building alterations to the space, including adding two Americans with Disabilities Act restrooms, a small office and finish improvements, and minor exterior site modifications, including parking lot restriping (to include 16 parking spaces, including one Americans with Disabilities Act accessible space) and addition of wheel stops, property zoned M-1 Limited Industrial District; Tax Key No. 899-9993-004.

The Official Notice of Public hearing was read in to the record by Associate Planner Régulo Martínez-Montilva and the Public Hearing was opened at 8:05 p.m. and closed at 8:06 p.m.

Commissioner Leon moved and Alderman Dandrea seconded a motion to table item C.3 to the May 7, 2020, Plan Commission meeting. On voice vote, all voted 'aye'. Motion carried (6-0-0).

M-1 Limited Industrial District; Tax Key No. 899-9993-004.

4. PROPOSED PROJECT PLAN, BOUNDARIES AND CREATION OF TAX INCREMENTAL DISTRICT NO. 8, CITY OF FRANKLIN, WISCONSIN (THE “DISTRICT”). A. Public Hearing regarding the proposed project plan, boundaries and creation of Tax Incremental District No. 8 (See the Public Hearing Notice which was published on March 25, 2020 & April 1, 2020). B. Consideration and possible action on “A Resolution Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 8, City of Franklin, Wisconsin”.

Economic Development Director Calli Berg and Senior Municipal Advisor Dawn Gunderson Schiel presented the proposed project plan, boundaries and creation of Tax Incremental District No. 8, City of Franklin, Wisconsin (the “District”).

A. Public Hearing regarding the proposed project plan, boundaries and creation of Tax Incremental District No. 8 (See the Public Hearing Notice which was published on March 25, 2020 & April 1, 2020).

B. Consideration and possible action on “A Resolution Designating Proposed Boundaries and Approving a Project Plan for Tax Incremental District No. 8, City of Franklin, Wisconsin”.

The Official Notice of Public hearing was read in to the record by Economic Development Director Calli Berg and the Public Hearing was opened at 8:50 p.m. and closed at 8:51 p.m.

Commissioner Leon moved and Commissioner Hogan seconded a motion to adopt a Resolution designating proposed boundaries and approving a project plan for Tax Incremental District No. 8, City of Franklin, Wisconsin, with corrections by City Attorney. On voice vote, all voted 'aye'. Motion carried (6-0-0).

5. PROPOSED AMENDMENT OF BOUNDARIES AND PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 6, CITY OF FRANKLIN, WISCONSIN (THE “DISTRICT”). A. Public Hearing regarding the proposed amendment of boundaries and project plan for Tax Incremental District No. 6 (See the Public Hearing Notice which was published on March 25, 2020 & April 1, 2020). B. Consideration and possible action on “A Resolution Designating Proposed Amended Boundaries and Approving a Project Plan Amendment for Tax Incremental District No. 6, City of Franklin, Wisconsin”.

Economic Development Director Calli Berg and Senior Municipal Advisor Dawn Gunderson Schiel presented the proposed amendment of boundaries and project plan for Tax Incremental District No. 6, City of Franklin, Wisconsin (the “District”).

A. Public Hearing regarding the proposed amendment of boundaries and project plan for Tax Incremental District No. 6 (See the Public Hearing Notice which was published on March 25, 2020 & April 1, 2020).

B. Consideration and possible action on “A Resolution Designating Proposed Amended Boundaries and Approving a Project Plan Amendment for Tax Incremental District No. 6, City of Franklin, Wisconsin”.

The Official Notice of Public hearing was read in to the record by Economic Development Director Calli Berg and the Public Hearing was opened at 9:20 p.m. and closed at 9:31 p.m.

Alderman Dandrea moved and Commissioner Hogan seconded a motion to adopt a Resolution designating proposed amended boundaries and approving a project plan amendment for Tax Incremental District No. 6, City

of Franklin, Wisconsin. On voice vote, all voted 'aye'.
Motion amended (6-0-0).

D. Business Matters

**1. COPART, INC. GLOBAL
ONLINE VEHICLE AUCTION
COMPANY BUILDING AND
VEHICLE STORAGE YARD
CONSTRUCTION.** Site Plan

See item C.1.

application by Copart of Connecticut, Inc. to allow for construction of a 7,200 square foot building and vehicle storage yard for Copart, Inc. (on approximately 44-acres (approximately .5 acres are located within the City of Muskego)), a global online vehicle auction company specializing in asset liquidation services (including short-term storage and sales of assets, and ancillary receiving, shipping, lien sale and administrative activities-all assets liquidated intact) to institutional, commercial and private owners of used undamaged vehicles, trailers, watercraft, and powersports, industrial and construction equipment [Copart, Inc. is classified under Standard Industrial Classification No. 5012 Automobiles and Other Motor Vehicles, which is a Permitted Use in the M-2 General Industrial District (the applicant has concurrently submitted a Rezoning Application, requesting to rezone the property from M-1 Limited Industrial District to M-2 General Industrial District)], the development consisting of a building containing an office and shop space, as well as associated parking, landscaping, lighting, fencing, storm water management facilities, and a drop lot for receiving vehicles (a significant amount of space is dedicated for vehicle storage), with hours of operation Monday through Friday, from 8:00 a.m. to 5:00 p.m., upon property located at 10082 South 124th Street (approximately 72.636 acres of vacant land), zoned R-2 Estate/Single-Family Residence District, C-1 Conservancy District and R-8 Multiple-Family Residence District; Tax Key No. 939-

9995-000 and a portion of Tax Key Nos.
939-9994-000 and 891-9010-002.

E. Adjournment

Commissioner Hogan moved and Commissioner Leon seconded a motion to adjourn the Plan Commission meeting of April 9, 2020 at 9:35 p.m. On voice vote, all voted ‘aye’; motion carried. (6-0-0).

DRAFT



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of April 23, 2020

Site Plan and Special Use

RECOMMENDATION: City Development staff recommends approval of the Special Use and Site Plan Amendment, subject to the conditions in the draft resolution(s).

Project Name:	Arby's Special Use and Site Plan Amendment
Project Address/Tax Key:	7621 West Rawson Avenue/755 0193 000
Property Owner:	ROS NO 12 LLC
Applicant:	Carisch Inc.
Current Zoning:	Planned Development District No. 16
Use of Surrounding Properties:	Planned Development District No. 16 to the west and south; Planned Development District No. 34 to the north, and B-3 Community Business District to the east
2025 Comprehensive Plan:	Commercial
Action Requested:	Recommendation of approval of the Special Use and approval of the Site Plan Amendment Application

Project Description/Analysis

The applicant filed a Special Use and Site Plan Amendment Application to locate an Arby's restaurant within the existing building located at 7621 W. Rawson Avenue. The subject property is zoned Planned Development District No. 16, which allows B-3 Permitted and Special Uses. According to Table 15-3.0603 of the Unified Development Ordinance (UDO), the B-3 District permits Standard Industrial Classification Code. No. 5812 Eating Places (with drive through facilities) as a Special Use.

The subject property is approximately 1.0002 acres or 43,586 square feet. The existing building is 3,288 square feet. The building was originally a Burger King restaurant, approved in 1998 via Ordinance No. 98-1508. The Pantheon Family Restaurant most recently occupied the building.

The applicant is only proposing minor site changes, but will be remodeling the exterior and interior of the building. The site plan revision removes a long island that separates the drive through lane and patio and adds two parking spaces for customers to wait for their food at the end of the drive through.

Overall, the site includes the 2 drive through parking spaces, and 30 additional parking spaces to the west of the building, including two ADA accessible spaces (32 total). PDD No. 16 requires one parking space per three legal occupants. According to the applicant, the restaurant will have a capacity of 59 fixed seats and eight or nine employees. Per PPD No. 16, 59 seats would require 20 parking spaces and 32 parking spaces would allow up to 96 occupants.

The applicant is not proposing landscaping or parking lot lighting changes. The applicant has indicated that dead plantings will be replaced as needed and light poles will be painted if needed. The parking lot will also be repaired as may be necessary. There is not a significant change in the amount of greenspace provided onsite.

The building currently consists of brick, a mansard roof, and windows. The applicant is proposing to remove the mansard roof around the building and install a red canopy and accent band. The canopy will be metal above the storefront windows and Exterior Insulation and Finish System (EIFS) elsewhere. The existing brick on the building will either be painted or covered by Dryvit, which is a synthetic stucco/ EIFS material. The north elevation will include a new, slightly larger window system.

Sign plans have been provided for reference only. Signs are subject to separate review and approval and must comply with the City's Sign Ordinance. Further, PDD No. 16 requires wall signs to be individual channel letters, which is the type of signage being proposed. The applicant may re-face the existing monument sign; however, if a new monument sign is proposed, the additional sign requirements of PDD No. 16 must be met.

The applicant has provided site and building plans as well as a project narrative and responses to Section 15-3.0701 General Standards for Special Uses for Plan Commission review and consideration.

Recommendation

A motion to recommend approval of the Special Use and a motion to approve the Site Plan Amendment Application, contingent upon approval of the Special Use, and subject to the conditions in the attached draft resolution.

RESOLUTION NO. 2020-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE TO OPERATE AN ARBY'S
RESTAURANT WITH A DRIVE THROUGH OUT OF AN EXISTING
3,288 SQUARE FOOT RESTAURANT BUILDING LOCATED AT
7621 WEST RAWSON AVENUE
(CARISCH, INC., APPLICANT)

WHEREAS, Carisch, Inc., operator of multiple Arby's restaurants in the City of Milwaukee and surrounding suburbs, having petitioned the City of Franklin for the approval of a Special Use within Planned Development District No. 16 (Franklin Centre, Formerly Called Franklin Plaza) under Standard Industrial Classification Title No. 5812 "Eating Places (with drive through facilities)", to operate an Arby's restaurant out of an existing 3,288 square foot restaurant building with patio, wraparound drive through, 28 parking spaces, including 2 Americans with Disabilities Act spaces and 2 drive through spaces, and associated landscaping, lighting, and signage, with hours of operation from 10:00 a.m. to 10:00 p.m., Monday through Sunday, restaurant located at 7621 West Rawson Avenue (formerly Pantheon restaurant and Burger King restaurant prior thereto), bearing Tax Key No. 755-0193-000, more particularly described as follows:

LOT 2 IN FRANKLIN PLAZA SUBDIVISION, BEING A REDIVISION OF PART OF LOT 1 IN BLOCK 3 IN RAWSON HOMESITES, THAT PORTION OF RAWSON HOMESITES, AND THE ABUTTING STREETS, VACATED BY CIRCUIT CITY ACTION CASE NO. 397644, AMENDED DOCUMENT RECORDED FEBRUARY 21, 1973, IN REEL 705, IMAGE 1011, AS DOCUMENT NO. 4741471 AND BY CITY OF FRANKLIN, RESOLUTION NO. 92-3889 RECORDED JANUARY 27, 1993, IN REEL 2957, IMAGE 226 AS DOCUMENT NO. 6722050, PART OF WHITNALL PARK TERRACE CONDOMINIUM, LOT 2, LOT 3, OUTLOT 3 AND OUTLOT 4 IN WHITNALL PARK TERRACE REPLAT AND LANDS ALL BEING A PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CONCRETE MONUMENT WITH BRASS CAP MARKING THE NE CORNER OF THE SAID 1/4 SECTION; THENCE S 88°42'59" W ALONG THE NORTH LINE OF SAID 1/4 SECTION 285.01 FT. TO A POINT; THENCE S 00°15'25" E 75.02 FT. TO A 1" DIA. IRON PIPE SET ON THE S. LINE OF W. RAWSON AVE. THENCE S 88°42'59"

W 25.00 FT. TO THE POINT OF BEGINNING OF THIS DESCRIPTION;
THENCE S00°15'25" E 272.29 FT. TO A 1" DIA. IRON PIPE FOUND;
THENCE S 88°42'59" W 160.03 FT. TO A 1" DIA. IRON PIPE FOUND;
THENCE N 00°15'25" W 272.29 FT. TO A 1" DIA. IRON PIPE FOUND ON
THE S. LINE OF W. RAWSON AVE. THENCE N 88°42'59" E ALONG THE
AFORESAID SOUTH LINE 160.03 FT. TO THE POINT OF BEGINNING.
THIS PARCEL CONTAINS 43,566 SQUARE FEET OR 1.0002 ACRES; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 23rd day of April, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Carisch, Inc., for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Carisch, Inc., successors and assigns, as an Arby's restaurant with drive through use, which shall be developed in substantial compliance with, and operated and maintained by Carisch, Inc., pursuant to those plans City file-stamped April 13, 2020 and annexed hereto and incorporated herein as Exhibit A.
2. Carisch, Inc., successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for the Arby's restaurant with drive through use, within 30 days of invoice for same. Any violation of this

provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

3. The approval granted hereunder is conditional upon Carisch, Inc. and the Arby's restaurant with drive through use for the property located at 7621 West Rawson Avenue: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

BE IT FURTHER RESOLVED, that in the event Carisch, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this
_____ day of _____, 2020.

Passed and adopted at a regular meeting of the Common Council of the City of
Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2020-_____

A RESOLUTION AMENDING THE SITE PLAN FOR PROPERTY
LOCATED AT 7621 WEST RAWSON AVENUE TO REMODEL AN
EXISTING RESTAURANT BUILDING TO ALLOW FOR THE
OPERATION OF AN ARBY'S RESTAURANT
(TAX KEY NO. 755-0193-000)
(CARISCH, INC., APPLICANT, ROS NO 12 LLC, PROPERTY OWNER)

WHEREAS, Carisch, Inc. having applied for an amendment to the Site Plan for the property located at 7621 West Rawson Avenue, such Site Plan having been previously approved as part of the Planned Development District No. 16 (Franklin Centre, Formerly Called Franklin Plaza) Creation Ordinance No. 1992-1229 approval, dated September 15, 1992, and amended thereafter by Resolution No. 2009-6524, on March 3, 2009 and Resolution No. 2009-6590, on August 18, 2009; and

WHEREAS, such proposed amendment proposes to remodel an existing 3,288 square foot restaurant building with patio, wraparound drive through, 28 parking spaces, including 2 Americans with Disabilities Act spaces and 2 drive through spaces, and associated landscaping, lighting, and signage [remodeling work will include changes to the facades and interiors of the building, replacement of the drive through ordering facility, repairs to the parking lot, relocation of landscaping and parking, and removal of a portion of the existing patio to accommodate the 2 drive through parking spots] to allow for the operation of an Arby's restaurant, and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for Carisch, Inc., dated April 13, 2020, as submitted by Carisch, Inc., as described above, be and the same is hereby approved, subject to the following conditions:

1. Carisch, Inc., successors and assigns and any developer of the Carisch, Inc. restaurant building remodeling project shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Carisch, Inc. restaurant building remodeling project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

CARISCH, INC. - SITE PLAN AMENDMENT
RESOLUTION NO. 2020-_____

Page 2

2. The approval granted hereunder is conditional upon the Carisch, Inc. restaurant building remodeling project, for the property located at 7621 West Rawson Avenue:
(i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
3. The Carisch, Inc. restaurant building remodeling project shall be developed in substantial compliance with the plans City file-stamped April 13, 2020.

BE IT FURTHER RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Carisch, Inc. restaurant building remodel as depicted upon the plans City file-stamped April 13, 2020, attached hereto and incorporated herein, shall be developed and constructed within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin; and the Site Plan for the property located at 7621 West Rawson Avenue, as previously approved, is amended accordingly.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

APPROVED:

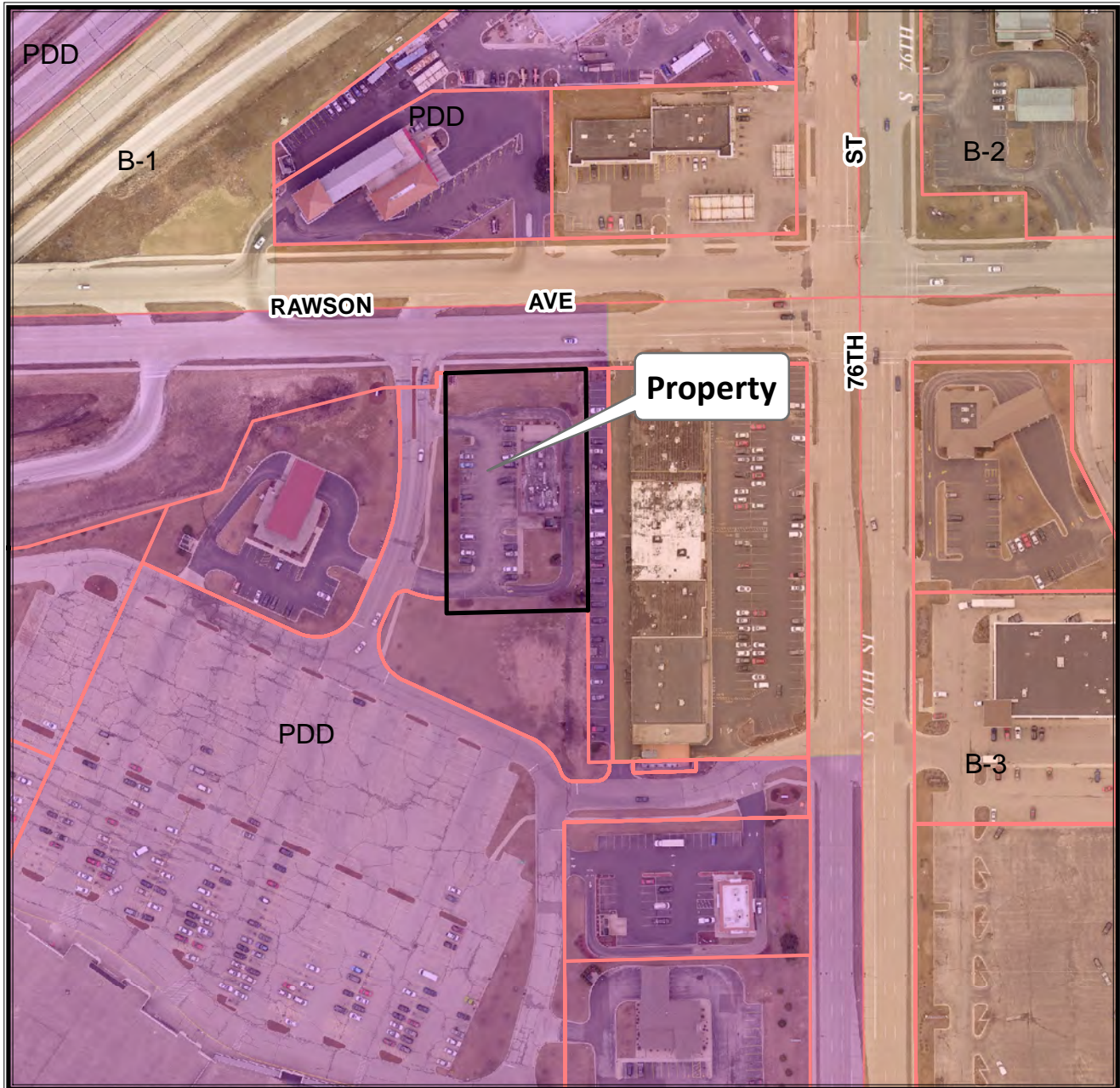
Stephen R. Olson, Chairman

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

7621 W. Rawson Ave.
TKN: 755 0193 000



Planning Department
(414) 425-4024

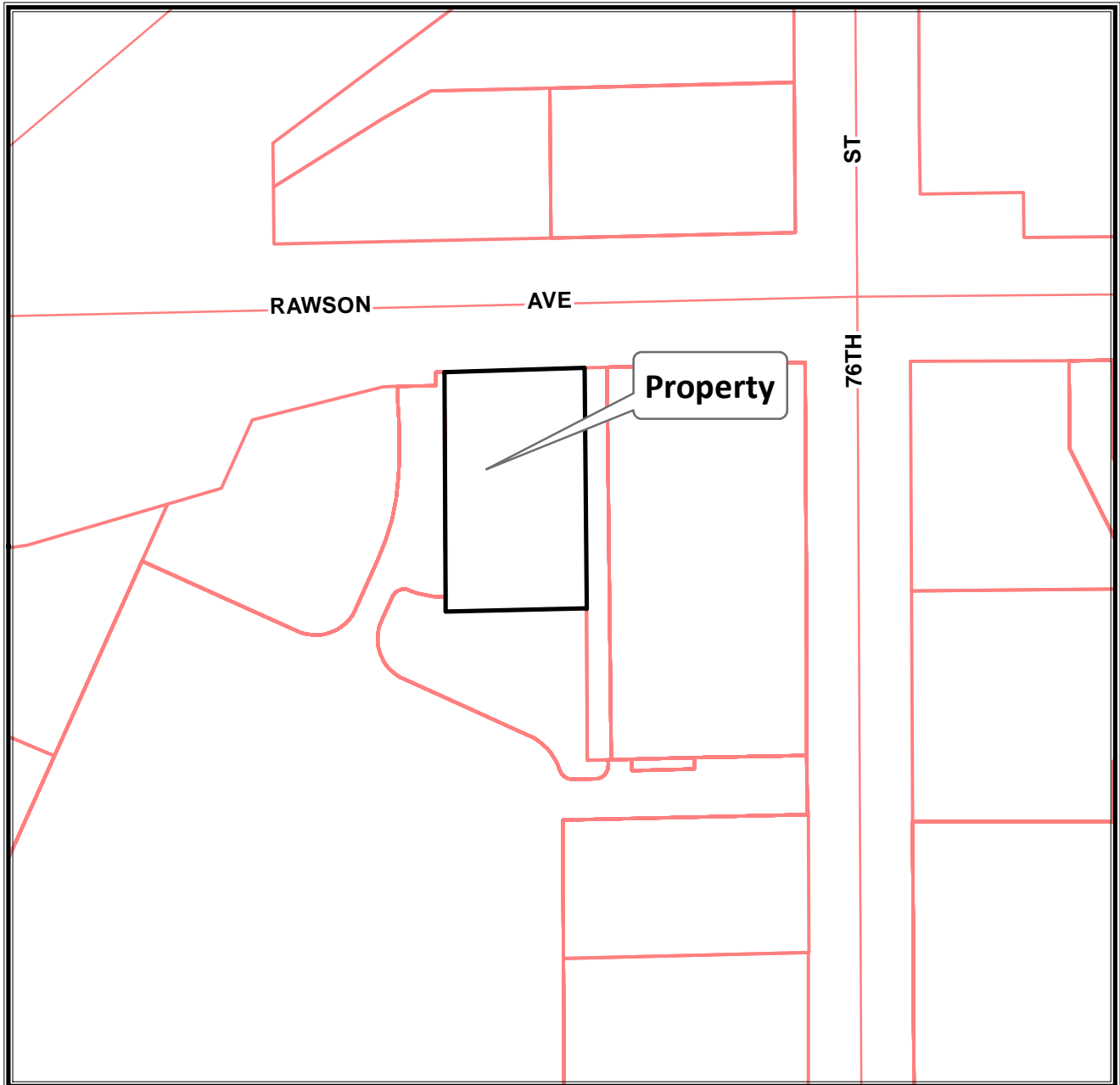
0 110 220 440 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.


NORTH
2017 Aerial Photo



7621 W. Rawson Ave.
TKN: 755 0193 000



Planning Department
(414) 425-4024

0 110 220 440 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





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for All of Us®

April 9, 2020

RE: Carisch Inc
Arby's Alterations
7621 W. Rawson Avenue
Franklin, Wisconsin

Arby's Alterations
Response to City Staff
SEH No. 152887

Response to Franklin's City staff comments and questions for the Special Use and Site Plan Amendment applications to locate an Arby's restaurant at 7621 W. Rawson Avenue.

- I. Overall, with the minor site modifications, will impervious surface be increasing? What is the change in impervious surface added or removed from the site? Any changes to the amount of impervious surface must be approved by the Engineering Department to verify that they comply with local stormwater standards. The Engineering Department can be contacted at 414-425-7510.
 - On Sheet A-020, we indicate decreasing the impervious surface from 20,854 s.f. to 20,715 s.f. While we expanded the drive thru parking area we removed a portion of the patio.
- II. Please depict all existing landscaping in its current location. The current landscape plan is missing several trees.
 - On Sheet A-020, we updated the existing landscape schedule and updated the site plan to show existing plantings on site to date.
- III. Will the existing monument sign be utilized? Please be aware that any proposed signage will require a separate review and Sign Permit through the Inspection Department. They can be contacted at 414-425-0084. Note that PDD No. 16 also has specific sign requirements that must be met. See attached (Ordinance No. 92-1229). As signs require separate review, please label or note on the plans that signs are shown for reference only and require separate review and approval.
 - On Sheet A 020, we indicate a location of the existing monument sign. Per note 7 and the City of Franklin, Signage requires separate review and permit. In addition, the sign shall meet the requirements of the PDD No. 16.
- IV. It appears the canopy and accent band around the building is metal above the storefront windows and EIFS elsewhere. How well will this blend together and match? Could you please explain that transition further?

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 316 North Milwaukee Street, Suite 302, Landmark Building, Milwaukee, WI 53202-5888

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- The color of red for the canopy and the EFIS are the same color red. On sheet A1, the computer generated renderings do a better job of depicting matching reds. On sheets A026, A027, A201 & A202 show colored elevations showing what appears to be different colored reds. They are not different colored reds.
- V. Under "Site Information" on the Site Plan, please note that the zoning is PDD No. 16.
- On Sheet A-020, under "Site Information" we indicate the zoning as PDD No. 16.

For Plan Commission review on April 23, please submit twelve (12) collated copies of revised plan sets and responses to comments (folded to 8.5" x 11") and an electronic copy of all materials, to the Department of City Development no later than Monday, April 13, by 4:00 PM.



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December 20, 2019

RE: Arby's Restaurant w/ Existing Drive Thru
7621 W. Rawson
Franklin, Wisconsin

Exterior Façade Alterations, Minor Site
Modifications, Interior Remodel
SEH No. 152887

Carisch Inc. operates 23 Arby's in Milwaukee and surrounding suburbs. Carisch Inc. plans to provide exterior modifications to the facades and interior modifications to the seating and kitchen areas that reflect their latest Inspire brand. The current restaurant was once a Burger King.

Hours of Operation: 10 am to 10 pm
Employees per Shift: 3 to 9

Exterior:

North Elevation (Rawson Avenue)

- Remove existing mansard, glazing system and brick.
- Utilize existing structure
- Infill with new EFIS systems.
 - White brick pattern at centered Architectural Feature.
 - Brown 4" groove EFIS system above red canopy.
 - Brown 8" groove EFIS system at building base.
 - White smooth finish
- New glazing system w/ bronze anodized frames
- New Red Metal Canopy.
- Arby's Logo Sign
- Provide Accent Lighting to wash walls

West Elevation (Parking Lot)

- Remove existing mansard.
- Provide new white EFIS system w/ wood frame support at removed mansard.
- Utilize existing structure, brick and glazing system.
- Apply to existing finishes below existing mansard with new EFIS systems.
 - Brown 8" groove system at Entry and below glazing system applied to existing brick
 - White smooth finish above red canopy.
- Existing glazing system w/ bronze anodized frames
- Replace existing doors w/ bronze anodized frame system.
- Red Metal Canopy w/ Arby's lettering and 3 metal columns painted brown.
- Red Metal Canopy over Entry
- South half of west elevation

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 316 North Milwaukee Street, Suite 302, Landmark Building, Milwaukee, WI 53202-5888

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- Paint existing brick base functional gray color.
- Paint existing brick above base pure white color.
- EFIS red band
- Provide accent lighting to wash walls with light

South Elevation (Facing Planned Development)

- Remove existing mansard.
- Provide new white EFIS system w/ wood frame support at removed mansard.
- Utilize existing structure, brick.
- Paint existing brick base functional gray color.
- Paint existing brick above base pure white color.
- EFIS red band
- Paint existing dumpster matching proposed colors.

East Elevation (Drive Thru)

- Remove existing mansard.
- Provide new white EFIS system w/ wood frame support at removed mansard.
- Utilize existing structure, brick and glazing system.
- Apply to existing finishes below existing mansard with new EFIS systems.
 - Brown 8" groove system at Entry and below glazing system applied to existing brick
 - White smooth finish above red canopy.
- Existing glazing system w/ bronze anodized frames
- Replace existing doors w/ bronze anodized frame system.
- Red Metal Canopy
- Drive Thru – brown EFIS w/ 8" grooves and a Red Metal Canopy
- South half of east elevation
 - Paint existing brick base functional gray color.
 - Paint existing brick above base pure white color.
 - EFIS red band up to Drive Thru
- Paint existing dumpster matching proposed colors.
- Provide accent lights to wash walls with light.

Roof Top Screening:

- Existing Roof Tops are screened by existing parapet.

Roof Access:

- Roof Access exist and is available from the interior with a roof ladder.

Site work:

- Patch & Repair Existing Asphalt/Concrete Areas.
- Repair concrete curbs as needed.
- Reduce Existing Patio Size with new concrete curb to create 2 Drive Thru Parking Spots.

Parking:

- Prior to our site alterations 30 regular and 2 ADA parking stalls exist.
- After minor site alterations 28 regular, 2 ADA and 2 drive-thru parking stalls will be provided.
- 2 ADA stalls meet today's code.
- 59 Fixed Seats with 9 employees

Truck Traffic

- A small boxed truck will be making deliveries with food and supplies 4 to 5 times per week.

Exterior Lighting

- Existing light poles will be painted if needed.

Landscape Plan:

- Existing Landscaping will be maintained. Plantings will be trimmed, dead plantings will be replaced, and plantings removed during construction will be replaced.

Interior:

- Provide new floor, wall and ceiling finishes at the existing lobby, existing toilet rooms, seating area and service counter reflective of the Inspire brand.
- Provide new floor, wall and ceiling finishes as needed to accommodate new kitchen layout and equipment.
- Revisions to existing Electrical Design
- Revisions existing HVAC Design

Project Construction Information:

- Schedule
 - March 2020 – State & Local Approvals
 - March 2020 – Bidding Process
 - April thru May 2020 – Construction
 - June 2020 – Occupancy
- Project Cost (Contractor believes my estimate is high. We will know after bidding)
 - Project Estimated Cost: \$1,000,000.00
 - Site Work Estimated Cost: \$25.00.00

Sincerely,

Brian M Cooley, Senior Architect

SHORT ELLIOTT HENDRICKSON INC.

316 N. Milwaukee Street, Suite 302
Milwaukee, WI 53202
bcooley@sehinc.com
414-465-1215

DIVISION 15-3.0700

SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701

GENERAL STANDARDS FOR SPECIAL USES

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: The original project for this site was designed and used for a Burger King with a Drive-Thru. The current site is used for a restaurant with the existing drive-thru intact. We plan on utilizing much what exists and update the exterior and interior of the existing building.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: The proposed use will carry on the original use for the site. We will be improving and updating the exterior and interior appearance.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: The proposed used will be utilizing the design of existing site. We will be improving the existing drive thru by adding 2 drive thru parking stalls. We will be improving the exterior facades utilizing the existing foot plan. The appearance utilizes similar materials in the area.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: The proposed site was previously designed for a Burger King with a drive thru. All of the adequate public facilities exist.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The proposed seating plan shows 59 seats with a maximum 9 employees. Our proposed parking is basically as it exist except we a couple of drive thru parking stalls to improve the drive thru. The total number of stalls = 32 allowing an occupancy of 96 people according to Franklin's parking code.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: The proposed design is utilizing the existing site and building. There are no plans that will result in destruction, loss or damage any natural, scenic, or historic features of importance.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: The proposed Arby's with a drive-thru is similar to previous approved designs for the site. The proposed Arby's will meet current building codes.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: Reviewing 15-3.0703 which is Detail Standards for Special Uses in Nonresidential Districts, I do see any references to Drive Thru Restaurants. However, we are in a PDD. There is nothing that we are doing that has not been approved in the PDD.

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is

in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: *The previous two uses on this site are similar to the proposed Arby's with a drive thru. The public benefit will be improved building and site image with in the PDD.*

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: *The previous approved projects on this site is a similar use to the proposed uses of an Arby's with a drive-thru. Carisch Inc, after careful consideration and review of this area in Franklin believes this site is the appropriate location.*

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: *The current site design and building layout lend itself to a restaurant with a drive-thru. We propose to enhance what was previously approved.*

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: *The proposed use is similar to the existing uses for this site. This site is part of a PDD and a larger design. We fit in with the original concept in a well-defined area of Franklin.*



2 NORTH EAST CORNER
12" = 1'-0"



1 NORTH WEST CORNER
12" = 1'-0"



OWNER: CARISCH INC
681 E. LAKE STREET, SUITE 262
WAYZATA, MN 55391
CONTACT: STACY CARISCH
T: 952.475.4935

ARCHITECT: SEH-MILWAUKEE INC
316 N. MILWAUKEE STREET, SUITE 302
MILWAUKEE, WI 53202
CONTACT: BRIAN COOLEY
T: 414.465.1215

CONTRACTOR: BRIOHN BUILDING CORPORATION
3885 N BROOKFIELD RD, SUITE 200
BROOKFIELD, WI 53045
CONTACT: MIKE MIKSICH
T: 262.790.0500

SITE: FRANKLIN PLAZA
7621 WEST RAWSON AVENUE
FRANKLIN, WISCONSIN 53132
PARCEL NO.: 755-0193-000
ALDERMANIC DISTRICT: 2
ZONING: PPD NO. 16

INDEX:	A 1	TITLE SHEET
	A 020	SITE PLAN - PROPOSED
	A 023	DT-CANOPY
	A 024	SIGNAGE
	A 025	SIGNAGE
	A 026	SIGNAGE
	A 027	SIGNAGE
	A 028	SIGNAGE
	A 029	SIGNAGE
	A 030	SIGNAGE
	A 031	SIGNAGE
	A 032	SIGNAGE
	A 033	SIGNAGE
	A 034	SIGNAGE

A 100	FLOOR PLAN - PROPOSED
A 201	EXTERIOR ELEVATIONS
A 202	EXTERIOR ELEVATIONS



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Owner
CARISCH, Inc.
681 EAST LAKE STREET, SUITE 262
WAYZATA, MINNESOTA 55391
CONTACT: STACY CARISCH
952.475.4935

Architect
SHORT ELLIOTT HENDRICKSON, INC.
316 NORTH MILWAUKEE STREET, SUITE 302
MILWAUKEE, WISCONSIN 53202
CONTACT: BRIAN COOLEY, AIA
414.465.1215

Landscape Architect
SHORT ELLIOTT HENDRICKSON, INC.
6808 ODANA ROAD, SUITE 2000
MADISON, WISCONSIN 53719
CONTACT: MOLLY GATZLAFF WAGNER, PLA
608.535.6166

Civil Engineer

Structural Engineer

Interiors

General Contractor
BRIOHN BUILDING CORPORATION
3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045
CONTACT: MIKE MIKSICH
262.790.0500

CARISCH, INC.

ARBY'S #8797 REMODEL

FRANKLIN

FRANKLIN PLAZA
7621 WEST RAWSON AVENUE
FRANKLIN, WISCONSIN 53132

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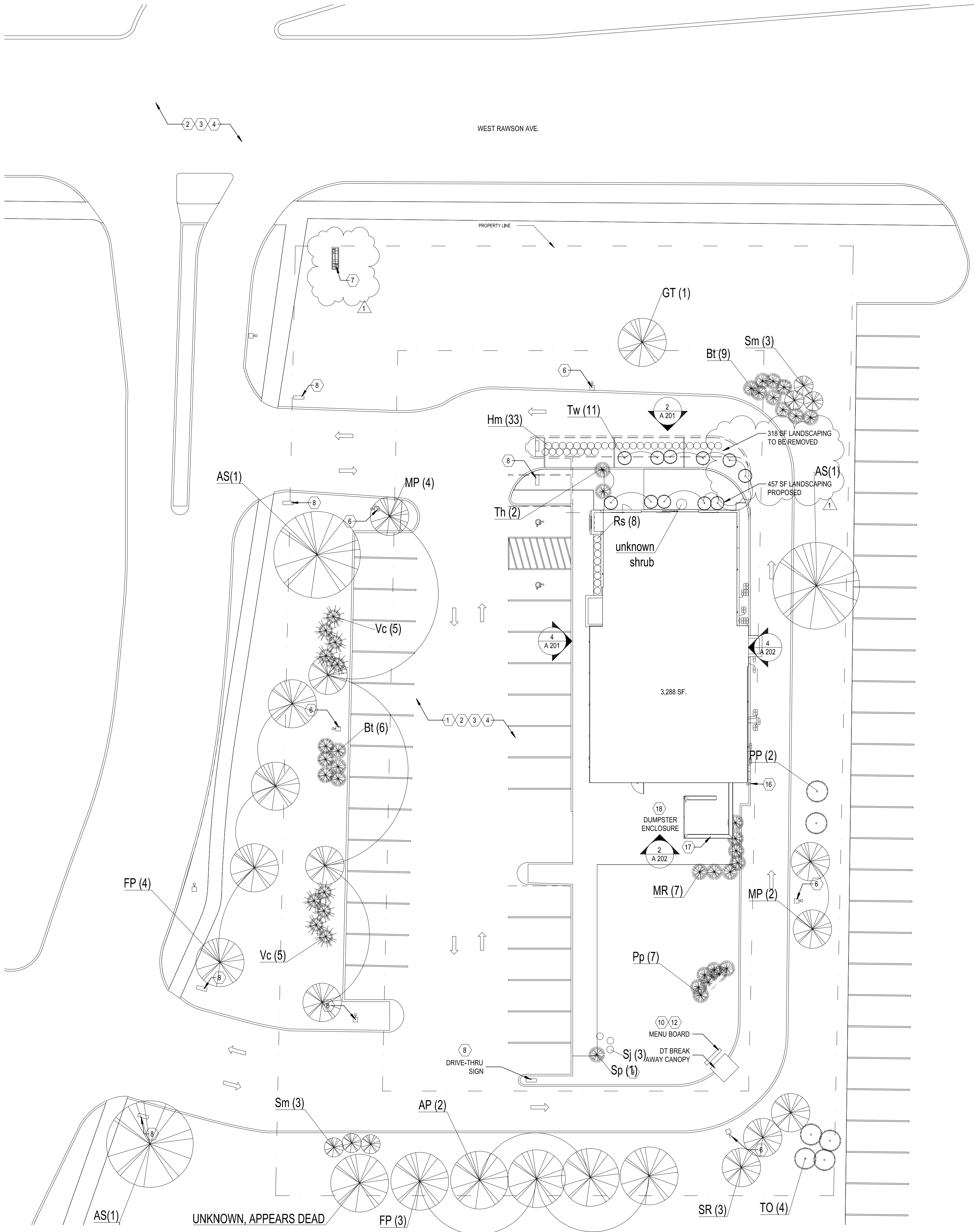
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SEH Project	152887
Checked By	BMC
Drawn By	NAZ/MRC
Project Status	Issue Date
FRANKLIN REVIEW	12/20/2019

Revision Issue		
Rev. #	Description	Date
1	FRANKLIN REVIEW COMMENTS	4/13/2020

TITLE

4/10/2020 10:28:18 AM



1 SITE PLAN - PROPOSED EXISTING VEGETATION INVENTORY
1/16" = 1'-0"

SITE DESIGN NOTES

- THE FOLLOWING ARE THE PROTOTYPICAL SCOPE OF WORK NOTES FOR THE REMODELING OF YOUR STORE INTO THE REQUIRED INSPIRE IMAGE.
 - FRANCHISES ARE TO REFER TO THE SECTION SCOPE OF WORK PREPARED BY THEIR OPERATIONS CONSULTANT FOR THE SCOPE OF WORK "SPECIFIC" TO THEIR STORE.
 - ALL SIGNAGE IS SHOWN FOR REFERENCE ONLY AND WILL BE SUBMITTED FOR APPROVAL AND PERMIT BY SIGNAGE CONTRACTOR.
- VERIFY WITH OWNER - APPROACHES AND ENTRY ARE TO BE IN GOOD REPAIR. REPLACE ANY DAMAGED ASPHALT / CONCRETE SURFACES AND CURBS
 - VERIFY WITH OWNER - REPLACE / REPAIR ANY DAMAGED CURBING AND/OR SIDEWALKS
 - VERIFY WITH OWNER - PARKING LOTS ARE TO BE IN GOOD CONDITION. REPAIR ANY DAMAGED / WORN / POT HOLES IN THE ASPHALT / CONCRETE SURFACES.
 - VERIFY WITH OWNER - CRACK FILL, SEAL AND RESTRIPE PARKING LOT.
 - NOT USED
 - VERIFY WITH OWNER - EXISTING PARKING LOT LIGHTING TO BE IN WORKING CONDITION. REPAIR AND REFINISH POLES AND FIXTURES AS NEEDED.
 - VERIFY WITH OWNER - REFACE MONUMENT SIGN BY AN ARG APPROVED SIGN VENDOR TO CURRENT INSPIRE ARBY'S LOGO. G.C. REVIEW SIGN LOCATION WITH OWNER.
 - DIRECTIONAL SIGNS ARE TO BE UPGRADED BY AN ARG APPROVED SIGN VENDOR OR REMOVED. G.C. VERIFY DIRECTIONAL SIGN LOCATIONS WITH OWNER.
 - VERIFY WITH OWNER - INSTALL PRE-SELL BOARD. G.C. VERIFY WITH OWNER.
 - VERIFY WITH OWNER - INSTALL NEW INSPIRE DRIVE THRU CANOPY AT DRIVE THRU ORDER AREA. REMOVE OR REPLACE ANY OTHER DRIVE THRU SYSTEM AND CLEARANCE
 - NOT USED
 - VERIFY WITH OWNER - INSTALL CONFIRMATION SCREEN.
 - VERIFY WITH OWNER - REPLACE ADA PARKING HC SIGNAGE AND SIGN POST. TO BE IN LIKE NEW CONDITION. RECONDITION / REPLACE AS NEEDED.
 - VERIFY WITH OWNER - REPLACE EXISTING ADA CURB RAMP AND REPAIR MATCHING EXISTING CURB AND SIDEWALK. RAMP AND CURB TO MEET ANSI 117.1 AND LOCAL CODES
 - NOT USED
 - REPAINT EXISTING BOLLARDS WITH NEW INSPIRE COLORS.
 - PAINT EXISTING DUMPSTER ENCLOSURE GATE. REPAIR / REPLACE SAGGING GATES.
 - VERIFY WITH OWNER - CONCRETE PADS AT DUMPSTER MUST BE IN GOOD CONDITION. REPAIR / REPLACE ANY DAMAGED / CRACKED CONCRETE PADS AND APPROACHES.
 - VERIFY WITH OWNER - UPGRADE / REFRESH EXISTING LANDSCAPING PER MUNICIPAL APPROVED PLAN. REPLACE ANY DEAD OR OVER GROWN PLANT MATERIAL.

Existing Species Inventory

Alpha Code	Quantity	Latin	Common	Planted Size	Mature Ht.
Shade Trees					
AP	2	ACER PLATANOIDES 'ROYAL RED'	ROYAL RED MAPLE	Unknown	30'+
AS	3	ACER SACCHARUM "GREEN MOUNTAIN"	GREEN MOUNTAIN SUGAR MAPLE	3"	30'+
FP	7	FRAXINUS PENNSYLVANICA "POTMORE"	PATMORE GREEN ASH	3"	30'+
GT	1	GLEDTISIA TRIACANTHOS F. INERMIS	SKYLINE SKYLINE HONEYLOCUST	3.5"	30'+
Ornamental Trees					
MP	2	MALLUS "PROFUSION" 6" DECORATIVE	PROFUSION CRAB	6'	15-30'
MR	7	MALLUS "RED BARON"	RED BARON CRAB	8'	15' tall x 5' wide
SR	3	SYRINGA RETICULATA	JAPANESE TREE LILAC	6'	20-30'
Evergreen Trees					
PP	2	PICEA PUNGENS "FAT ALBERT"	FAT ALBERT BLUE SPRUCE	6'	10-15'
TO	4	THUJA OCCIDENTALIS	ARBOR VITAE	Unknown	Unknown
Shrubs					
Bt	6	BERBERIS THUNBERGII "ATROPURPUREA"	NANA" PYGMY RED BARBERRY	18"	2-3'
Hm	33	HEMEROCALLIS SP.	DAY LILY	Unknown	24"
Pp	7	PICEA PUNGENS "GLOBOSA"	GLOBE BLUE SPRUCE	24"	3-5'
Rs	8	Rosa sp.	Rose	Unknown	36"
Sj	3	Spirea japonica 'Walburna'	Magic Carpet Spirea	Unknown	18-24"
Sp	1	SYRINGA A PRESTONIAE "MILL CANADA"	MISS CANADA LILAC	30"	6-12'
Sm	6	SYRINGA MEYERI "PALIBIN"	DWARF KOREAN LILAC	30"	4-5'
Vc	10	VIBURNUM CARLESII "CAYUGA"	CAYUGA VIBURNUM	24"	5-8'
Tw	11	THUJA OCCIDENTALIS "WOODWARD GLOBE"	WOODWARD GLOBE ARBOR VITAE	Unknown	3-5'
Th	2	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBOR VITAE	Unknown	6-8'

SITE INFORMATION

SITE INFORMATION

LOT SIZE: 43,586 SF / 1.0002 AC.
ZONING: PD NO. 16
DISTRICT: PLANNED DEVELOPMENT DISTRICT
DESCRIPTION: PLANNED DEVELOPMENT DISTRICT
ORDINANCE NO.: 2009-1968

BUILDING IMPERVIOUS AREA: 3,288 SF
EXISTING SITE IMPERVIOUS AREA: 20,854 SF
PROPOSED SITE IMPERVIOUS AREA: 20,715 SF
EXISTING SITE LANDSCAPE AREA: 19,442 SF / 44.6%
PROPOSED SITE LANDSCAPE AREA: 19,581 SF / 44.9%

BUILDING INFORMATION

HEIGHT: 17'-6"
STORIES: 1

SETBACK: NORTH - 76'-5" (55' REQUIRED) FROM PROPERTY LINE
SOUTH - 118'-6" (105' REQUIRED) FROM PROPERTY LINE
EAST - 27'-2 5/8" (30' REQUIRED) FROM PROPERTY LINE
WEST - 87'-7 3/4" (75' REQUIRED) FROM PROPERTY LINE

PARKING
EXISTING: 28 STALLS (8X18 FT.) / 2 STALLS ADA
PROPOSED: 28 STALLS (8X18 FT.) / 2 STALLS ADA
REQUIRED: X STALLS / X STALLS ADA

SETBACK: NORTH - 55'-0" (36' REQUIRED) FROM PROPERTY LINE
SOUTH - 18'-6 5/8" (15' REQUIRED) FROM PROPERTY LINE
EAST - 14'-6 3/4" (15' REQUIRED) FROM PROPERTY LINE
WEST - 18'-2 5/8" (10' REQUIRED) FROM PROPERTY LINE



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Owner
CARISCH, Inc.
681 EAST LAKE STREET, SUITE 262
WAYZATA, MINNESOTA 55391
CONTACT: STACY CARISCH
952.475.4953

Architect
SHORT ELLIOTT HENDRICKSON, INC.
316 NORTH MILWAUKEE STREET, SUITE 302
MILWAUKEE, WISCONSIN 53202
CONTACT: BRIAN COOLEY, AIA
414.465.1215

Landscape Architect
SHORT ELLIOTT HENDRICKSON, INC.
8808 ODANA ROAD, SUITE 2000
MADISON, WISCONSIN 53719
CONTACT: MOLLY GATZLAFF WAGNER, PLA
608.535.6166

Civil Engineer

Structural Engineer

Interiors:

General Contractor:
BRIHON BUILDING CORPORATION
3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045
CONTACT: MIKE MIKSICH
262.790.0500

ARBY'S #8797 REMODEL
FRANKLIN
FRANKLIN PLAZA
7621 WEST RAWSON AVENUE
FRANKLIN, WISCONSIN 53132

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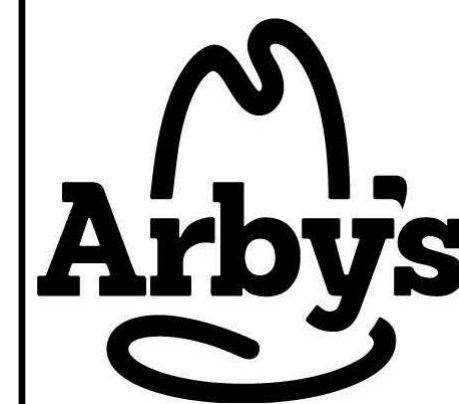
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SITE PLAN - PROPOSED

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020



Owner
CARISCH, Inc.
681 EAST LAKE STREET, SUITE 262
WAYZATA, MINNESOTA 55391
CONTACT: STACY CARISCH
952.475.4953

Architect
SHORT ELLIOTT HENDRICKSON, INC.
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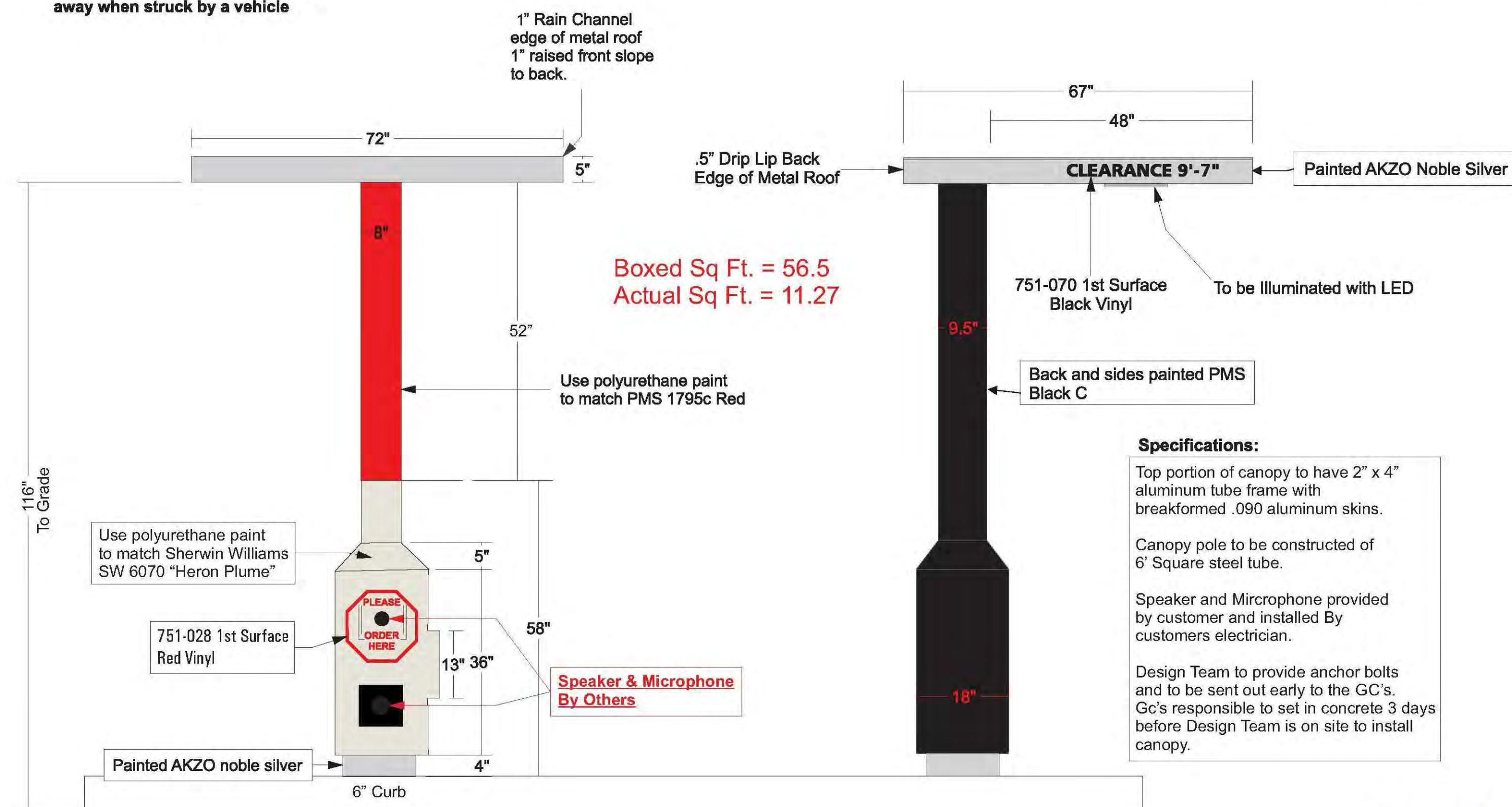
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DT-CANOPY

A
023

ARB-CAN-977-116

Note: Top unit is designed to swing away when struck by a vehicle



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TABLE 1. *Contaminant concentrations in the water column and sediment of the Saginaw River, Michigan, 1997-1998*

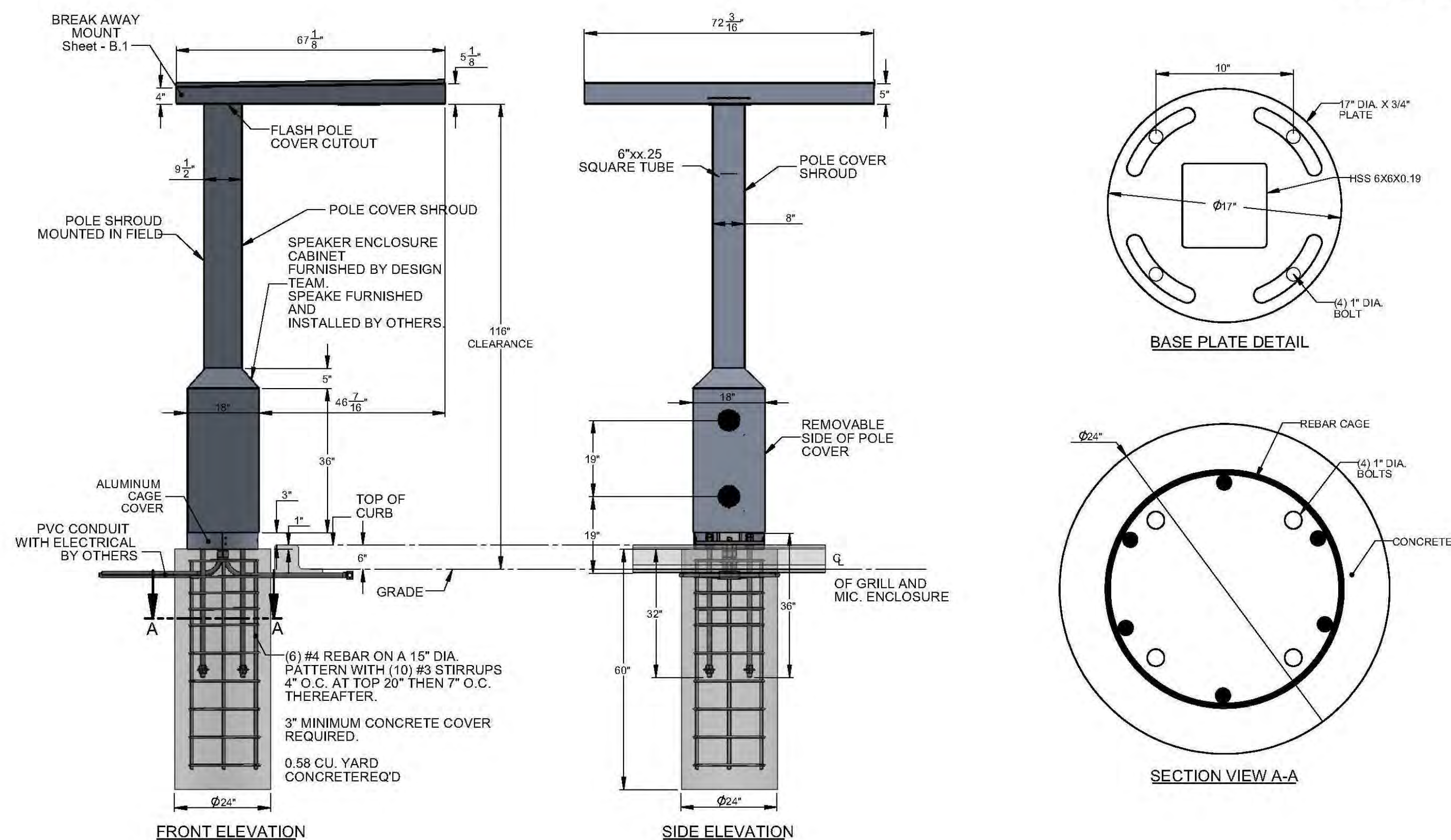
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File: File\external\Draw\Arby's\CP			



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Project:

Arbys Store #TBD
7621 Rawson Ave
Franklin, WI 53132

Manufacture & Installation Items:

- A- (1) B7 Monument @ 7.5' OAH
- B- (1) 48" x 53" LED Illuminated Hat Logo Sign- (1) Wall Mount
- C- (2) 16.25" White LED Illuminated Channel Letterset- (1) Eyebrow Mount (1) Canopy Mount
- E1- (88.1 LF) 24" Tall x 10.375" Deep Red Non-Illuminated Eyebrow Canopy
- E2- (9 LF) 24" Tall x 24" Deep Red Non-Illuminated Eyebrow Canopy
- F- 24" x 72" x 48" Drive-Thru Canopy w/LED Lamp, Turnbuckles, and Scuppers
- F2- 24" x 72" x 48" 3 Post Canopy w/LED Lamp, Turnbuckles, Poles, and Scuppers
- G- (1) Break Away Canopy- Anchor Bolts/Footing By GC
- H- (1) 60" Carousel "A" - Interior Wall Mount

Questions: Call Heather at (865) 274-9904 or email Heather at hpicou@designteam.net



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BROOKFIELD, WISCONSIN 53045
CONTACT: MIKE MIKSICH
262.790.0500

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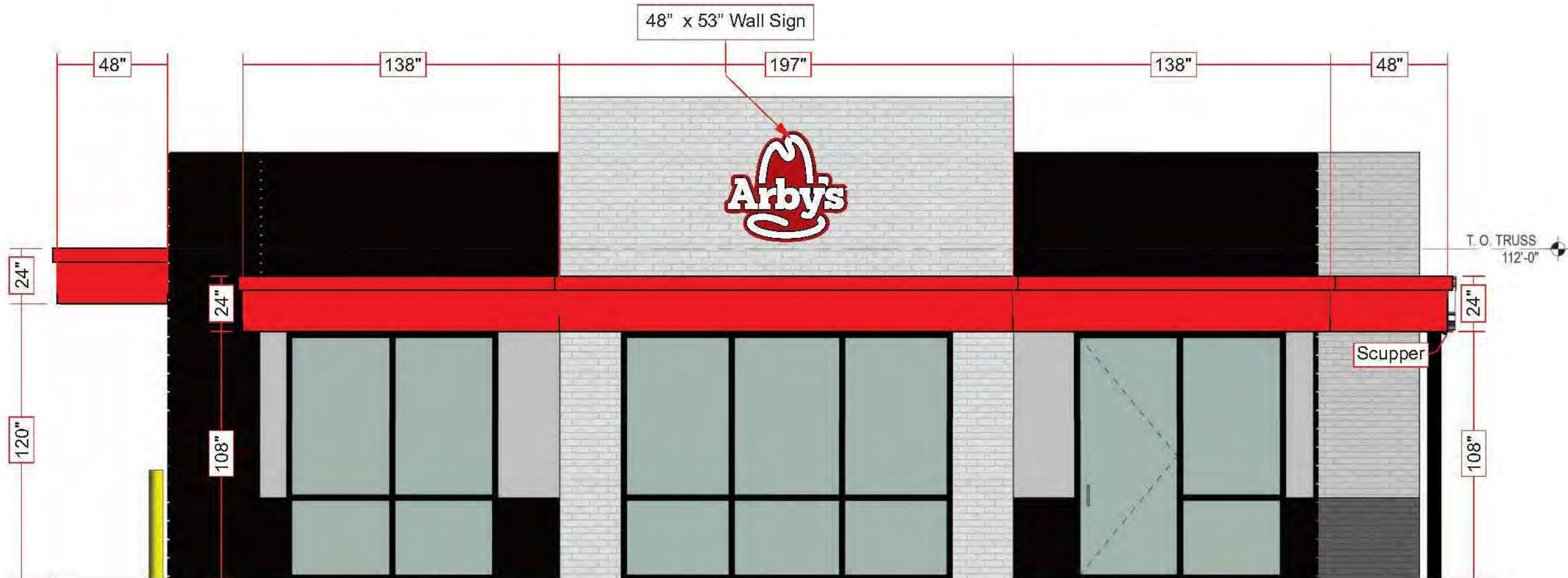
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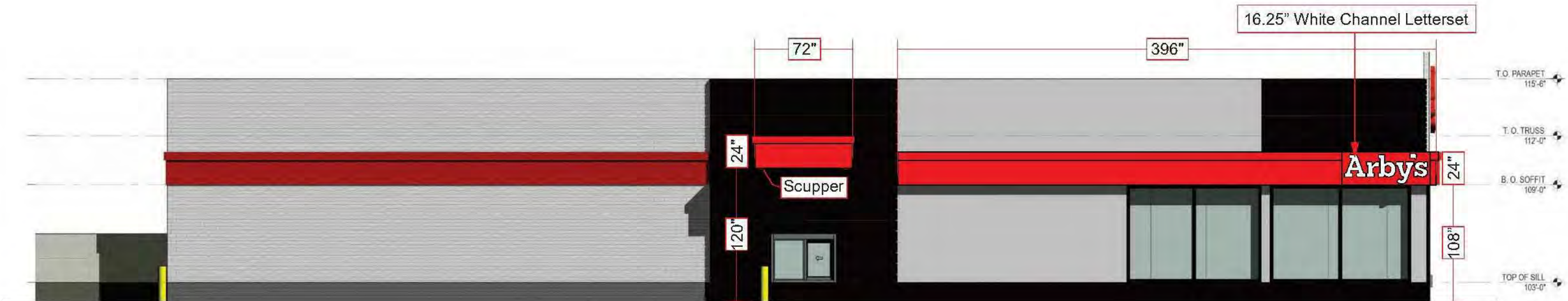


Client: ARBY'S #7BD
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DRIVE-THRU ELEVATION



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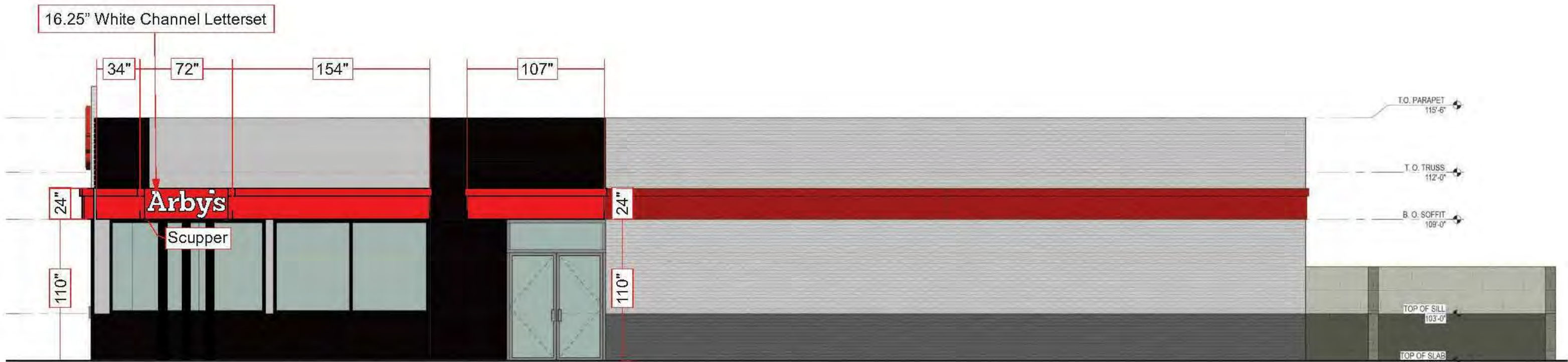
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SIDE ELEVATION



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Owner
CARISCH, Inc.
681 EAST LAKE STREET, SUITE 262
WAYZATA, MINNESOTA 55391
CONTACT: STACY CARISCH
952.475.4953

Architect
SHORT ELLIOTT HENDRICKSON, INC.
316 NORTH MILWAUKEE STREET, SUITE 302
MILWAUKEE, WISCONSIN 53202
CONTACT: BRIAN COOLEY, AIA
414.465.1215

Landscape Architect
SHORT ELLIOTT HENDRICKSON, INC.
6808 ODANA ROAD, SUITE 2000
MADISON, WISCONSIN 53719
CONTACT: MOLLY GATZLAFF WAGNER, PLA
608.535.6166

Civil Engineer

Structural Engineer

Interiors

General Contractor
BRIORN BUILDING CORPORATION
3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045
CONTACT: MIKE MIKSICH
262.790.0500

CURSING INC.
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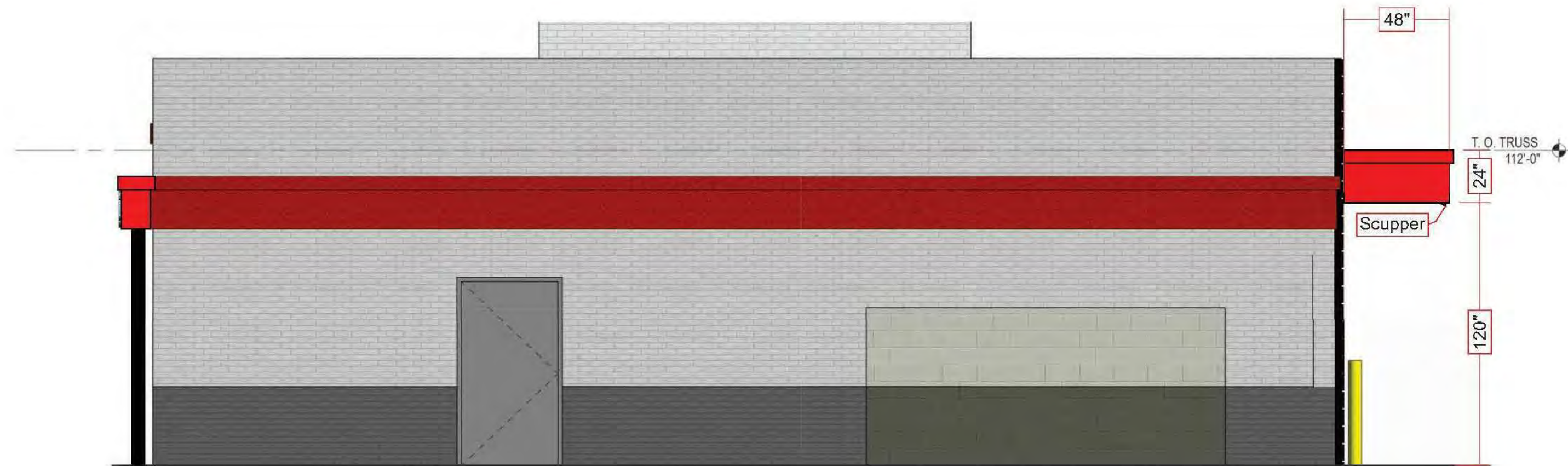
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REAR ELEVATION



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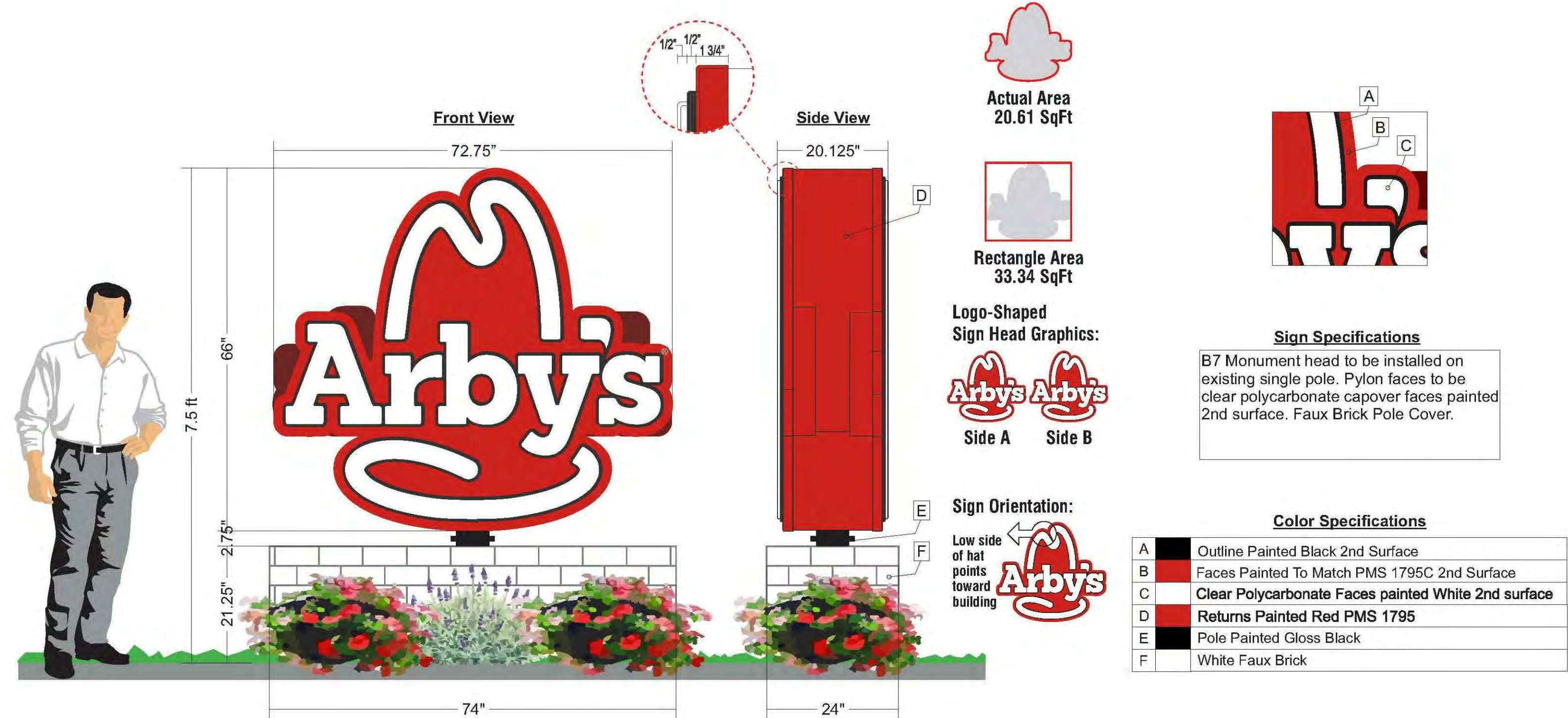
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A B7 MONUMENT



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681 EAST LAKE STREET, SUITE 262
WAYZATA, MINNESOTA 55391
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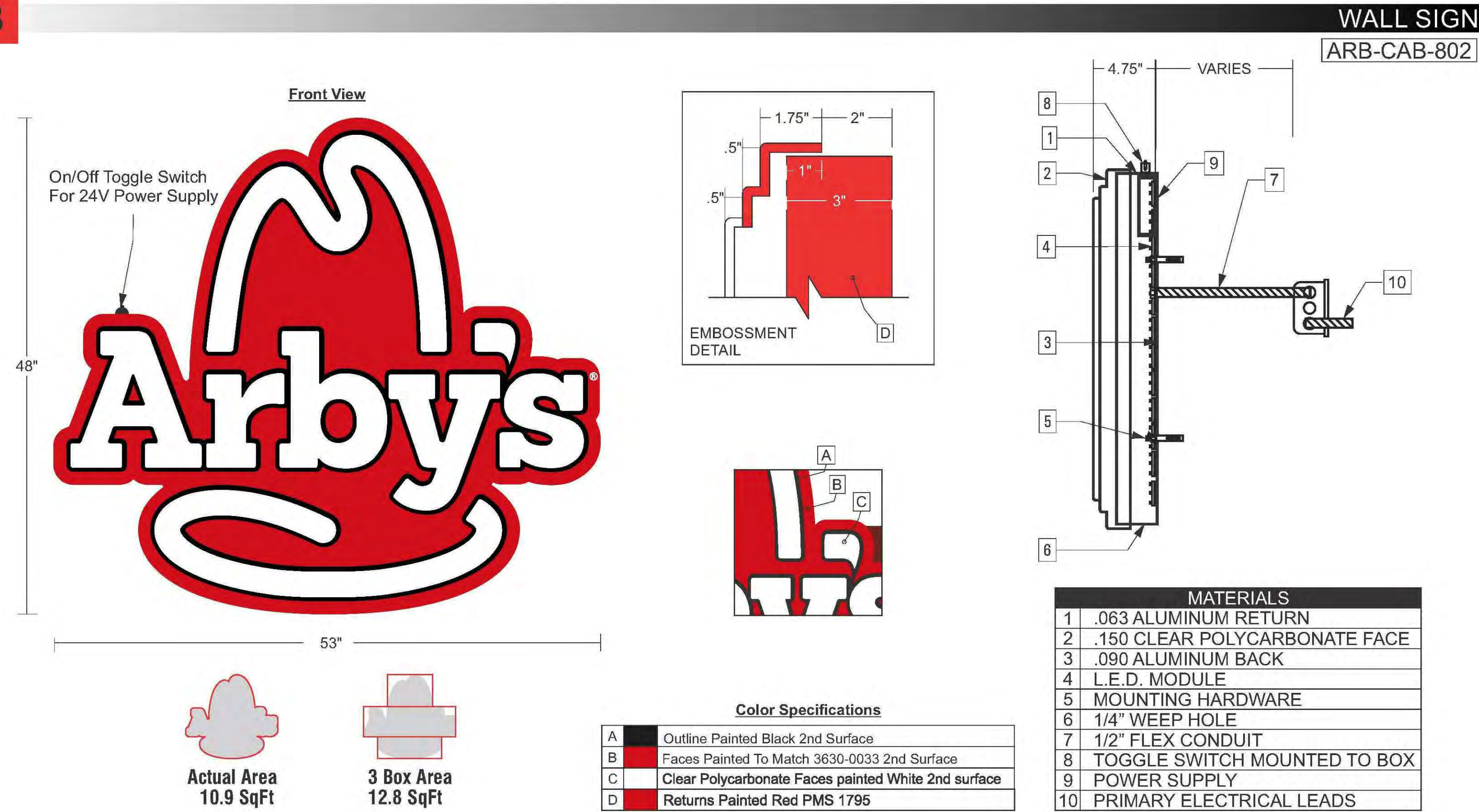
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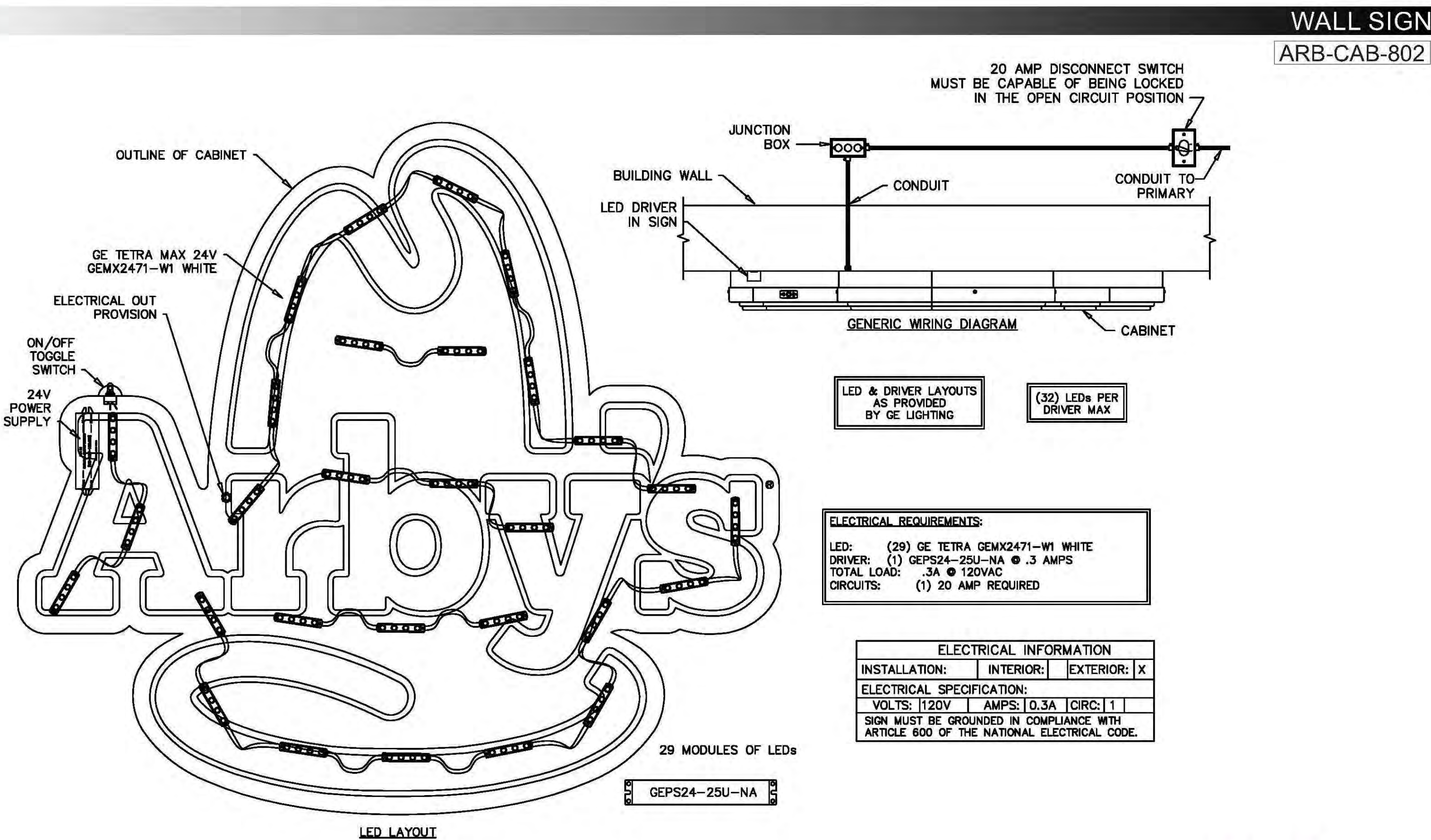
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Client: ARBY'S
Location: JRB
Date: 8/3/17
Drawn By: JRB
Approved By: JRB
Sheet: Scale:
File: Filesystem/Rest/Arbys/CP



B



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CARISCH, Inc.
681 EAST LAKE STREET, SUITE 262
WAYZATA, MINNESOTA 55391
CONTACT: STACY CARISCH
952.475.4953

Architect
SHORT ELLIOTT HENDRICKSON, INC.
316 NORTH MILWAUKEE STREET, SUITE 302
MILWAUKEE, WISCONSIN 53202
CONTACT: BRIAN COOLEY, AIA
414.465.1215

Landscape Architect
SHORT ELLIOTT HENDRICKSON, INC.
6808 ODANA ROAD, SUITE 2000
MADISON, WISCONSIN 53719
CONTACT: MOLLY GATZLAFF WAGNER, PLA
608.535.6166

Civil Engineer

Structural Engineer

Interiors:

General Contractor
BRIORN BUILDING CORPORATION
3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53004
CONTACT: MIKE MIKSICH
262.790.0500

CURSCHING
ARBY'S #8797 REMODEL
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FRANKLIN PLAZA
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FRANKLIN, WISCONSIN 53132

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Drawn By NAZ/MRC

Project Status Issue Date
FRANKLIN REVIEW 12/20/2019

Revision Issue
Rev. # Description Date
1 FRANKLIN REVIEW COMMENTS 4/13/2020

SIGNAGE

A
028

B

WALL SIGN

ARB-CAB-802

Direct Mount To Framed Wall

Direct Mount To Masonry Wall

Direct Mount To Light Band Or Canopy

EXTERIOR FINISH

4 3/4"

WALL SHEATHING

WALL STUD @ 16" O.C.

CONDUIT TO PRIMARY

TYPICAL SECTION @ FRAMED WALL

1 1/2"x1 1/2"x3/16" STEEL ANGLE MUST SPAN A MIN. OF (2) STUDS & ATTACH TO EACH STUD W/ 1/4" FASTENERS

3/8" DIA. THREADED ROD W/ NUT, FLAT, & LOCK WASHERS

1/2" DIA. PIPE SPACER

MOUNTING @ FRAMED WALL

4 3/4"

MASONRY WALL

CONDUIT TO PRIMARY

(2) 1/4" DIA. WEEP HOLES W/ BAFFLE @ LOWEST POINT

TYPICAL SECTION @ MASONRY WALL

3/8" DIA. HLT. HLC SLEEVE ANCHOR W/ A MINIMUM OF 1 1/4" EMBEDMENT

MOUNTING @ MASONRY WALL

4 3/4"

.250 X .750 TEK SCREW

.090 ALUM. SKIN

1" (6" WALL) SQ. ALUM. TUBING

CONDUIT TO PRIMARY

(2) 1/4" DIA. WEEP HOLES W/ BAFFLE @ LOWEST POINT

TYPICAL SECTION @ LIGHT BAND AND CANOPY

Z- CLIPS ATTACHED WITH HW 14x1/4" TEK SCREWS APPROX. EVERY 16"

HW 14x3/8" TEK SCREWS

MOUNTING @ EYEBROW

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Design Team

SIGN COMPANY LLC.

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C

CHANNEL LETTERS

ARB-CHL-1013

Front View

61"

16.25"

22.25"

A

Sq Ft = 9.43

VARIES

3"

1, C

2, B

4

3

5

6, D

7

8

9

10

11

Arby's

Actual 3.7 SF.

Arby's

Rectangle 9.4 SF.

Color Specifications

A

7328 White Acrylic Faces

B

1" Silver Trim Cap

C

Wisco Silver Metallic Returns

D

Internally Illuminated w/ White LED

Materials

1

.040 Prefinished Aluminum Return

2

1" Trimcap

3

3/16 Acrylic Face

4

.090 Aluminum Back

5

L.e.d. Module

6

Mounting Hardware

7

1/4" Weep Hole w/ Baffle

8

1/2" Flex Conduit

9

Toggle Switch Mounted To Box

10

Power Supply

11

Primary Electrical Leads

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3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045
CONTACT: MIKE MIKSICH
262.790.0500

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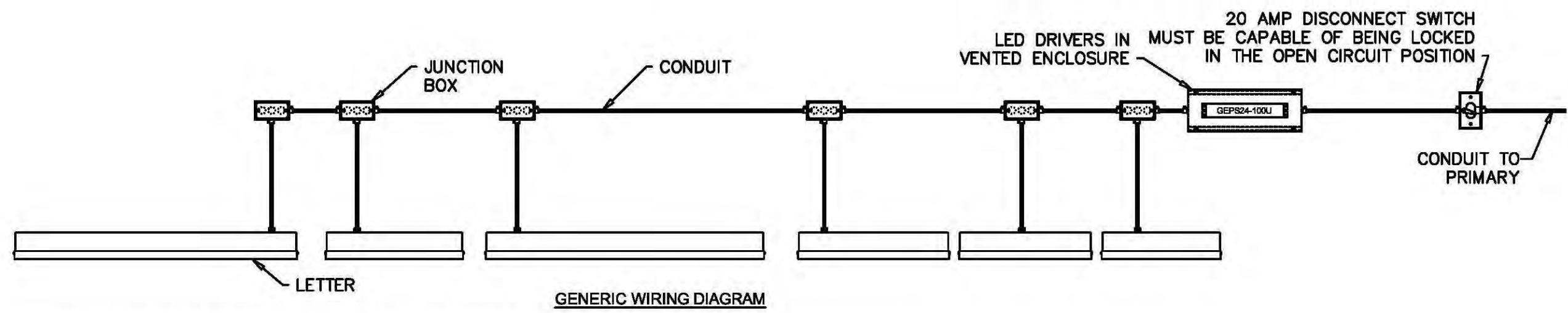
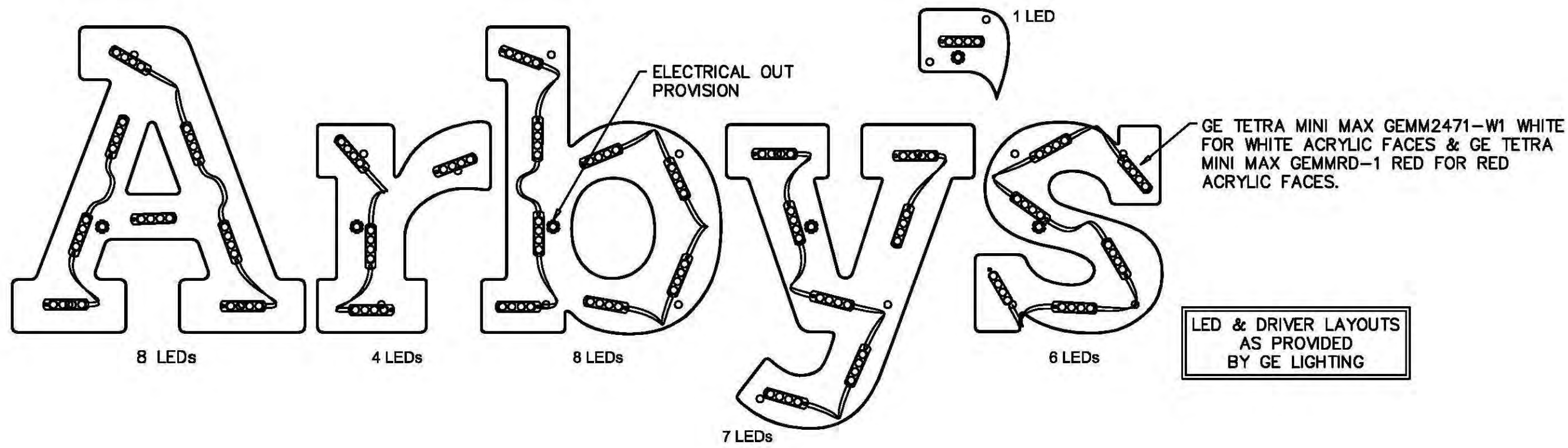
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029

4/9/2020 5:47:43 PM

C

CHANNEL LETTERS



ELECTRICAL REQUIREMENTS:	OR	ELECTRICAL REQUIREMENTS:
LED: (34) GE TETRA minMAX GEMM2471-W1 WHITE		LED: (81) GE TETRA minMAX GEMMRD-1 RED
DRIVER: (1) GEPS24-100U @ 1.1 AMPS		DRIVER: (1) GEPS12-60U-NA @ 0.85 AMPS
TOTAL LOAD: 1.1A @ 120VAC		TOTAL LOAD: 0.85A @ 120VAC
CIRCUITS: (1) 20 AMP REQUIRED		CIRCUITS: (1) 20 AMP REQUIRED

BENDER FILE NO. 16INDMAB5

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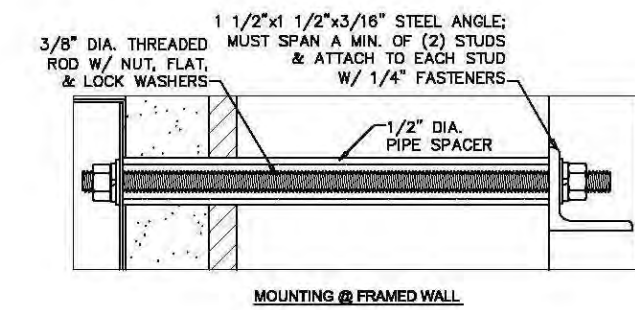
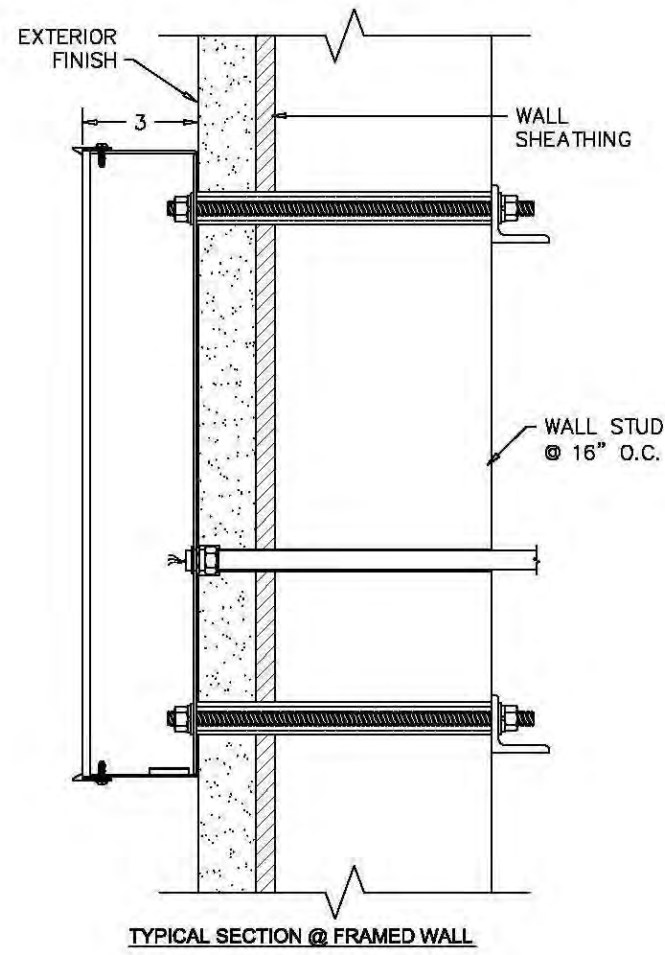
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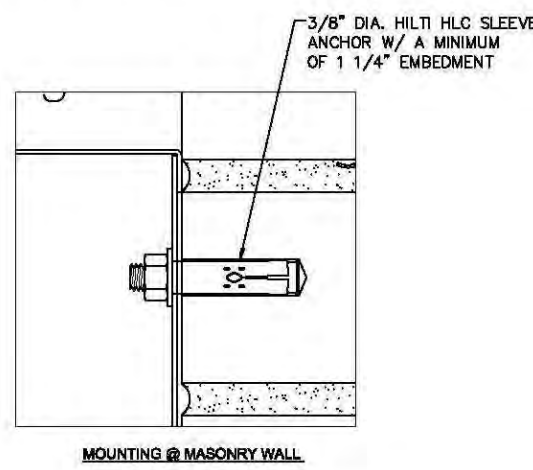
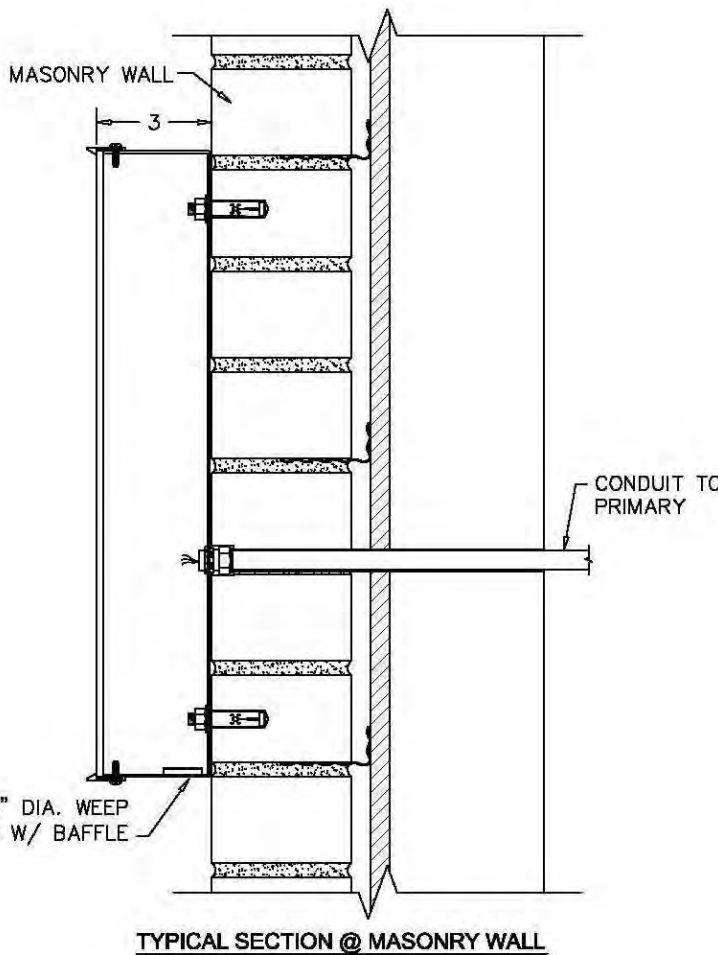
C

CHANNEL LETTERS

Direct Mount To Framed Wall

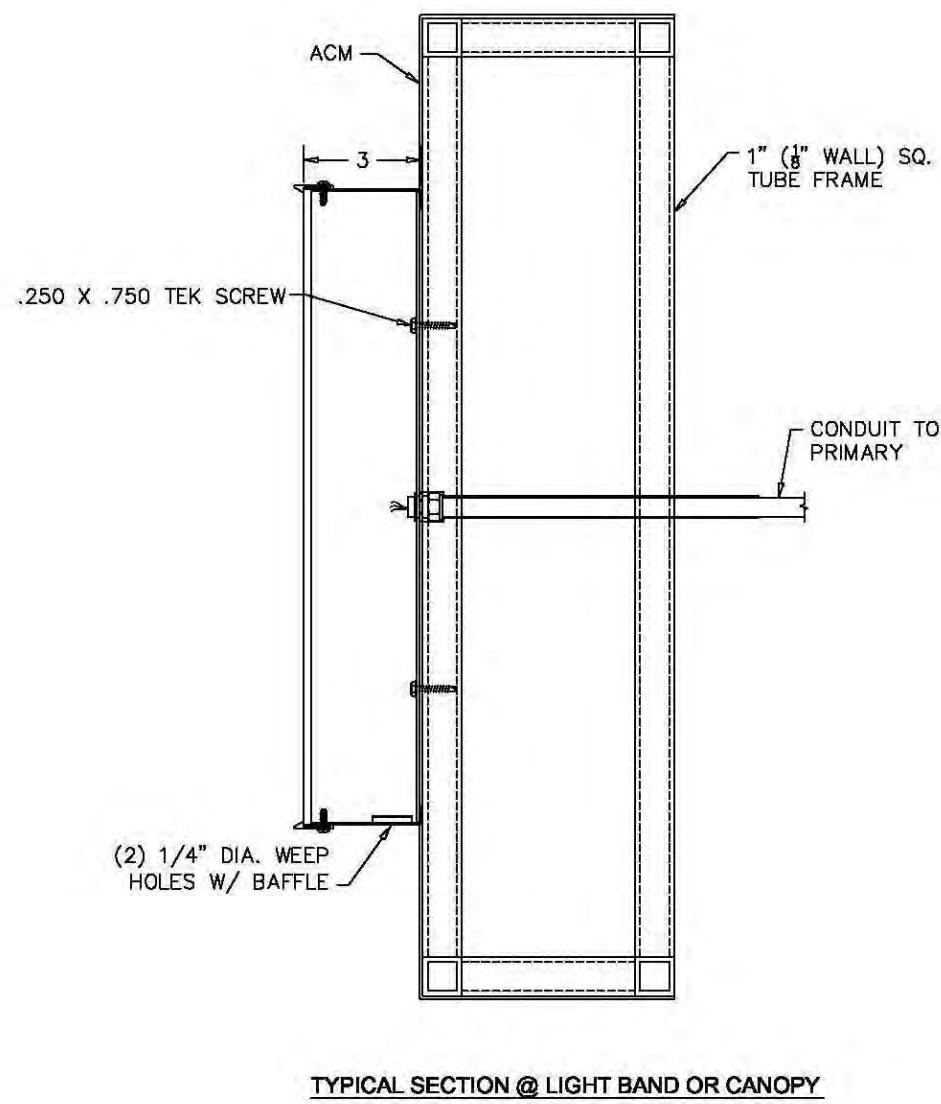


Direct Mount To Masonry Wall



HILTI ANCHOR SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

Direct Mount To Light Band Or Canopy



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CONTACT: STACY CARISCH
952.475.4953

Architect
SHORT ELLIOTT HENDRICKSON, INC.
316 NORTH MILWAUKEE STREET, SUITE 302
MILWAUKEE, WISCONSIN 53202
CONTACT: BRIAN COOLEY, AIA
414.465.1215

Landscape Architect
SHORT ELLIOTT HENDRICKSON, INC.
6808 ODANA ROAD, SUITE 2000
MADISON, WISCONSIN 53719
CONTACT: MOLLY GATZLAFF WAGNER, PLA
608.535.6166

Civil Engineer

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General Contractor:
BRIHON BUILDING CORPORATION
3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045
CONTACT: MIKE MIKSICH
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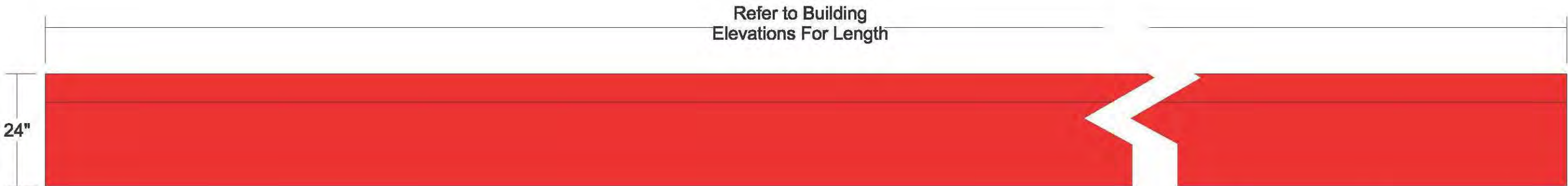
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Rev. #	Description	Date
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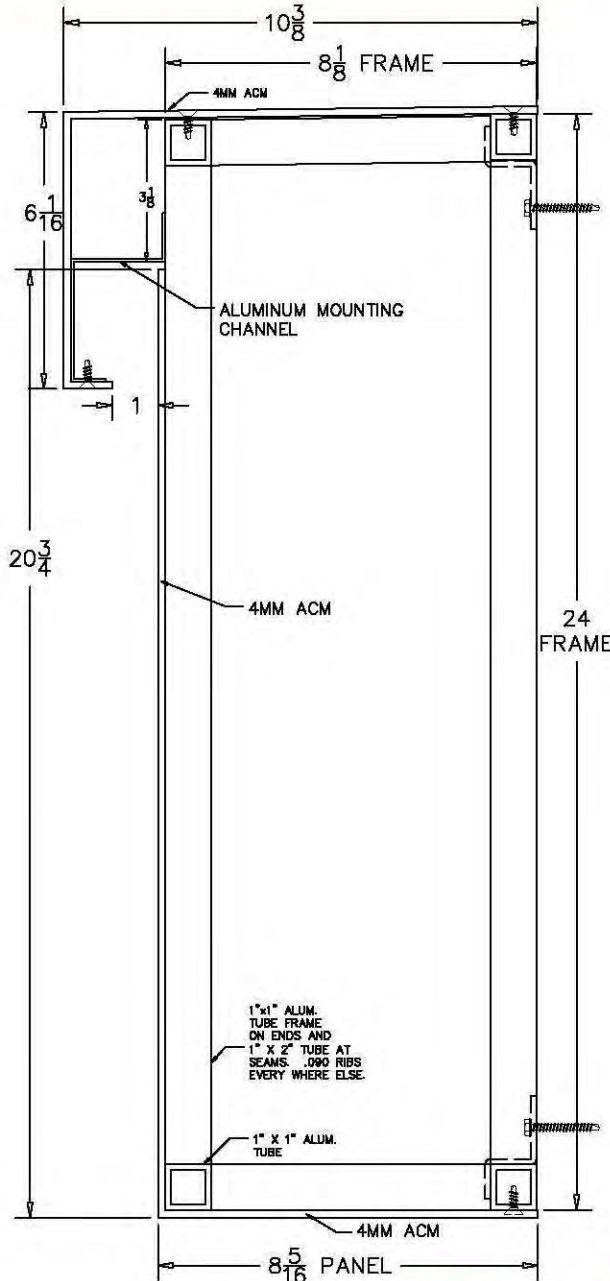
E

NON-ILLUMINATED EYEBROW CANOPY



Arbys Red ACM

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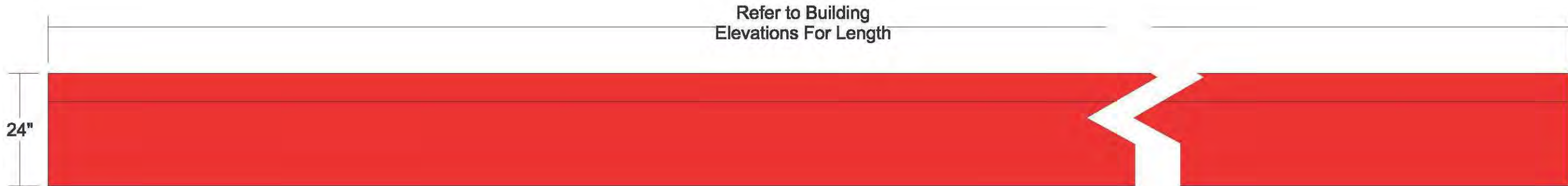


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Location: _____
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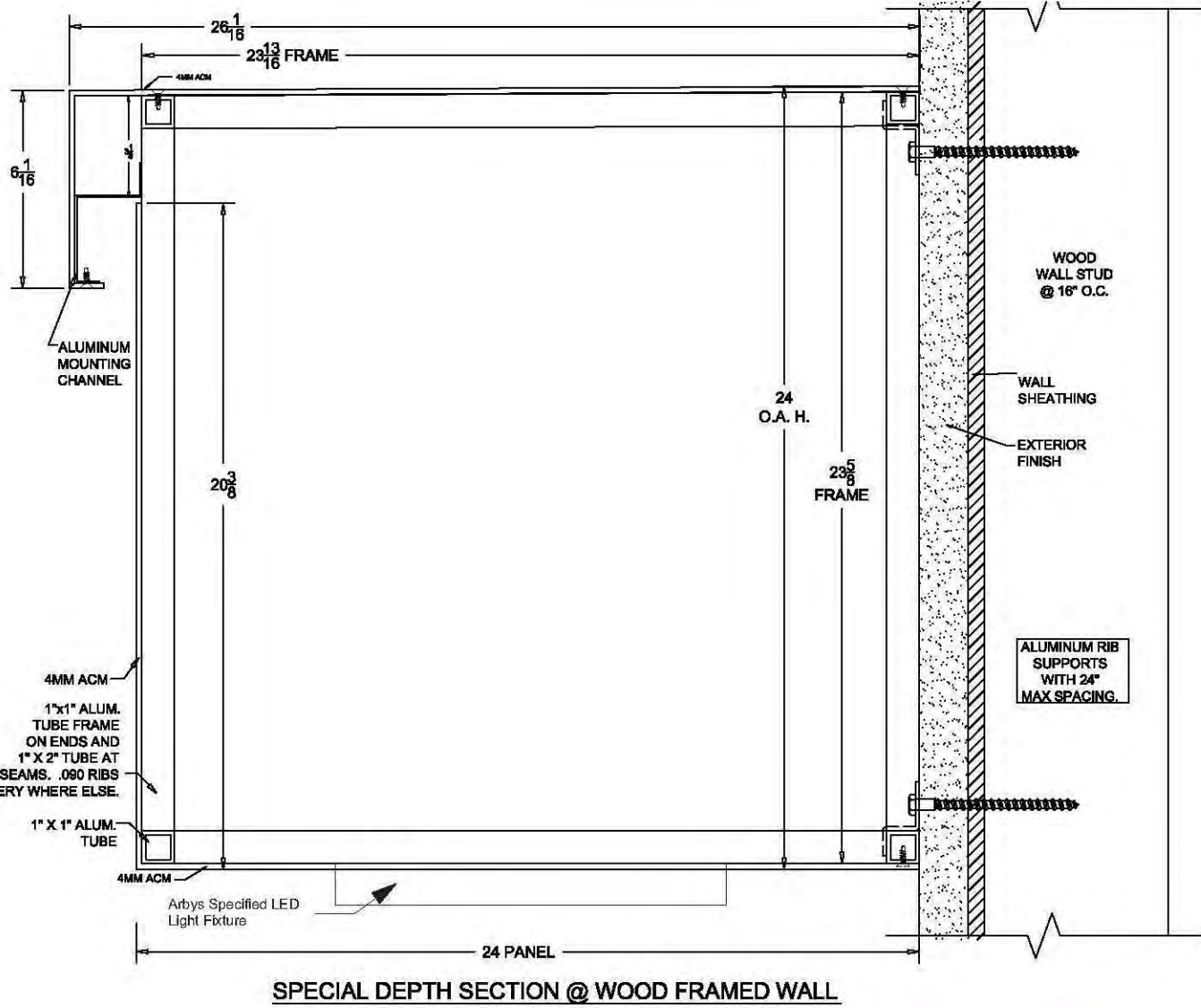
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NON-ILLUMINATED EYEBROW CANOPY



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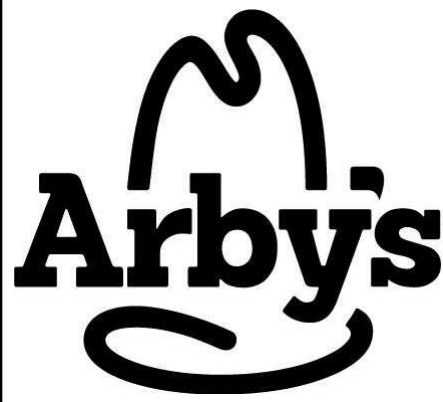
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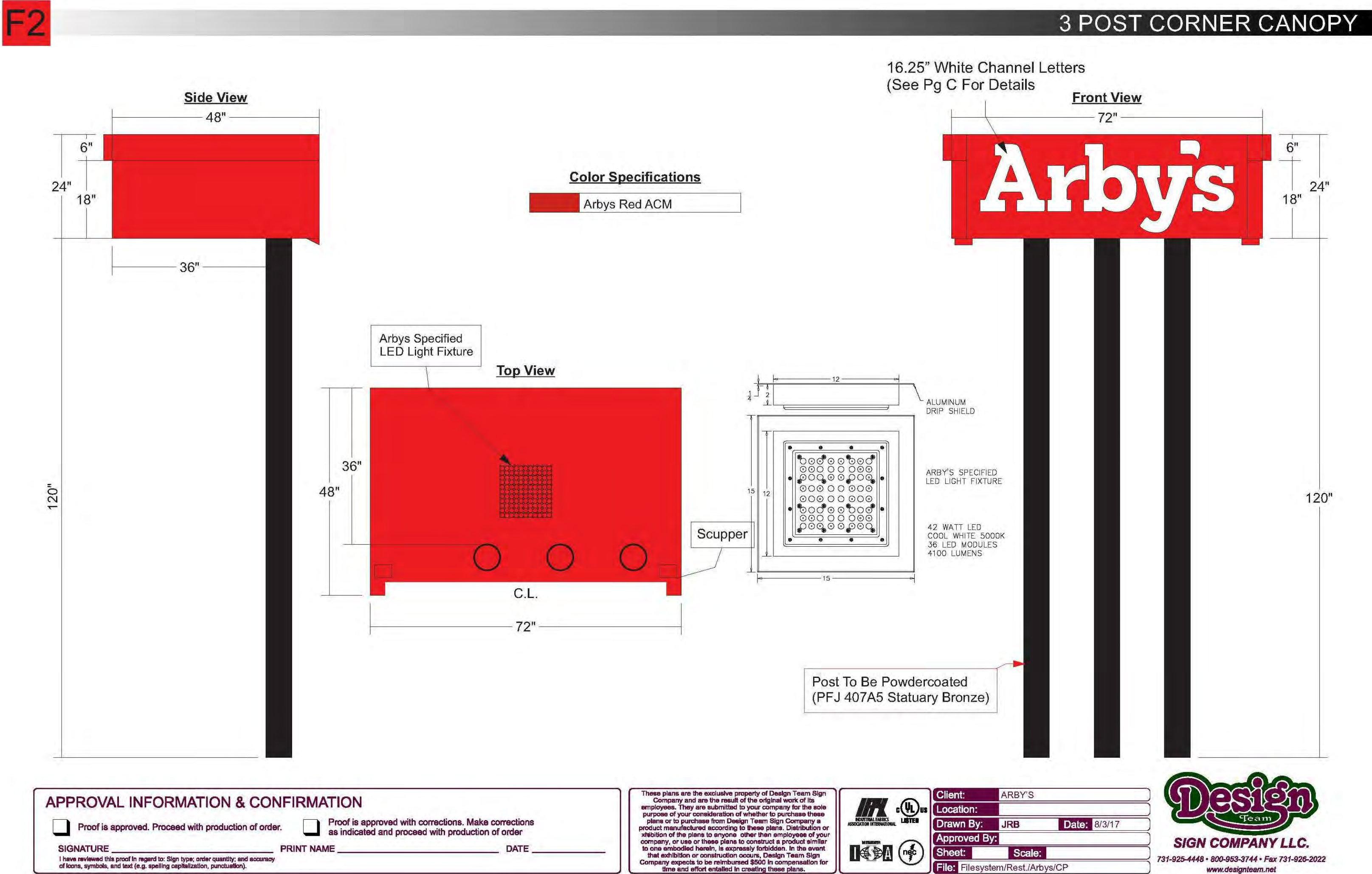
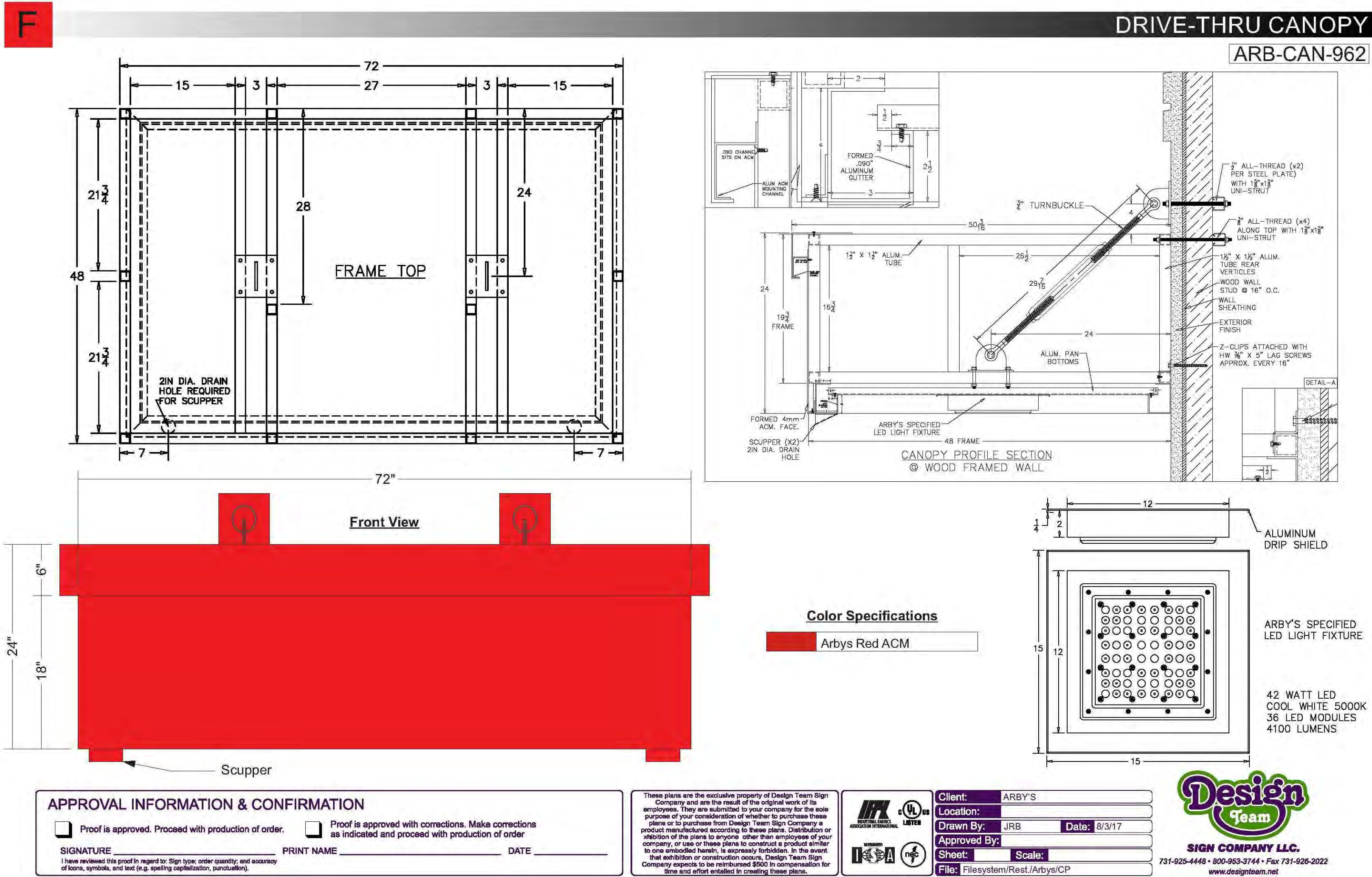
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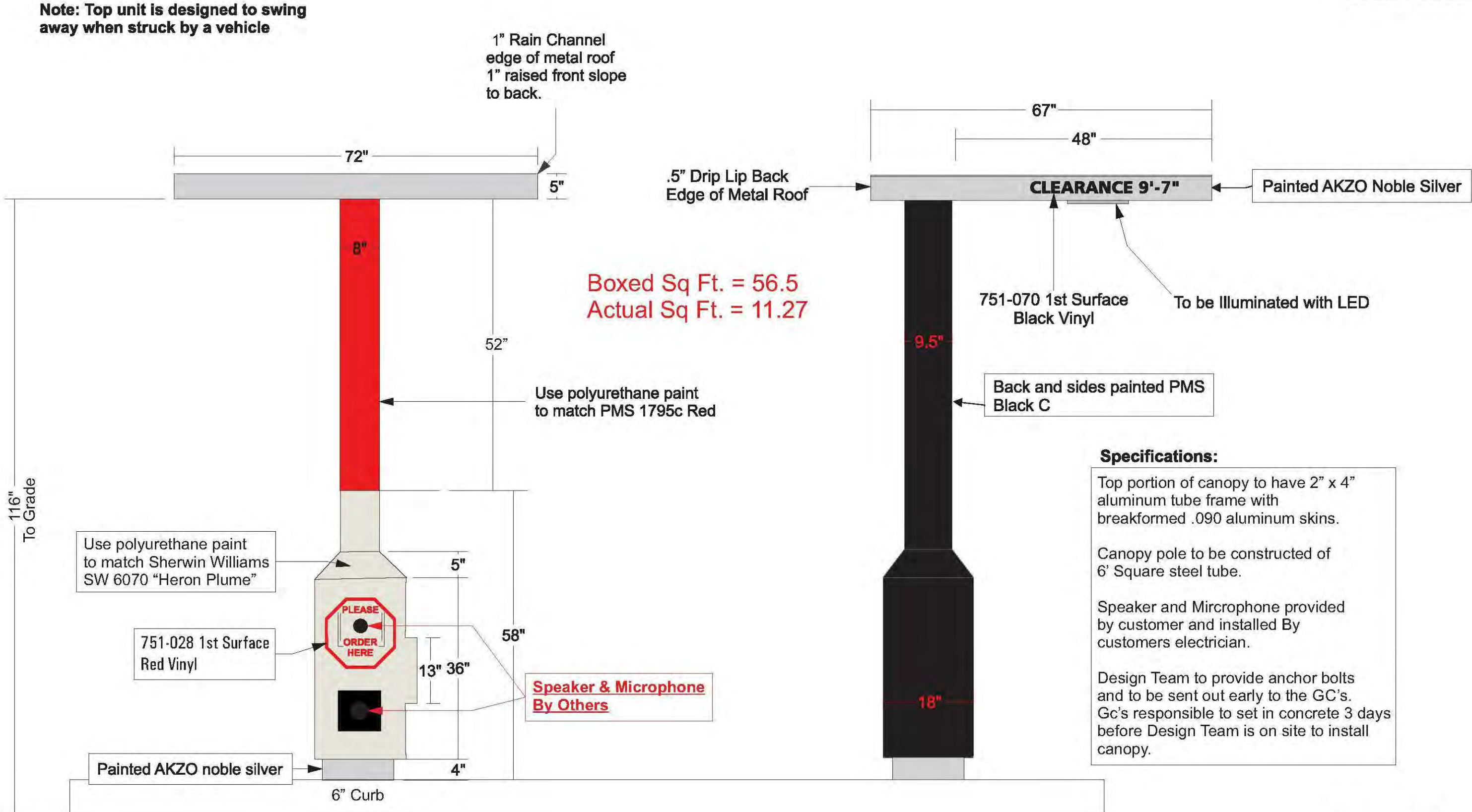


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G

BREAK AWAY CANOPY

ARB-CAN-977-116



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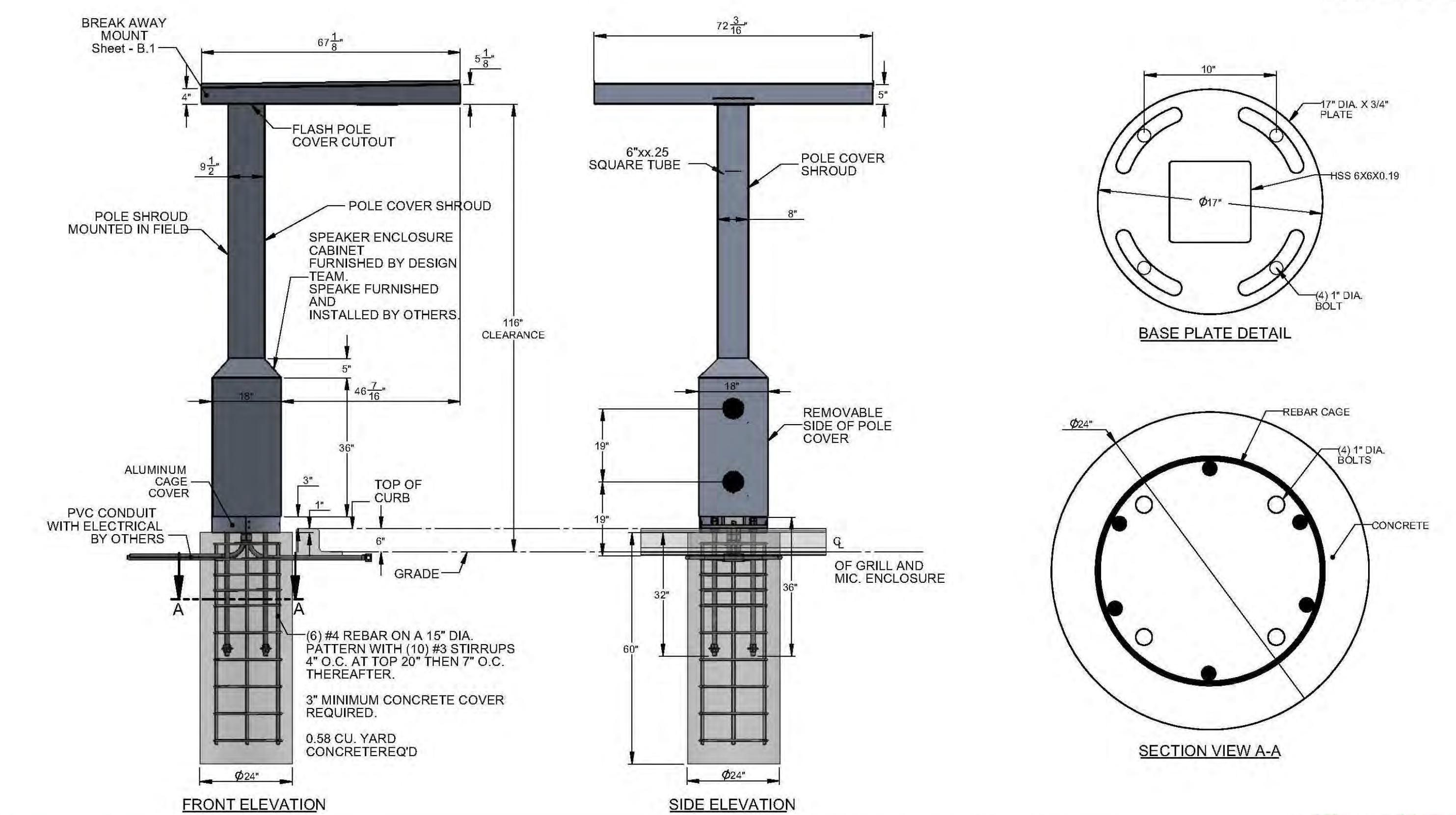
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G

BREAK AWAY CANOPY

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262.790.0500

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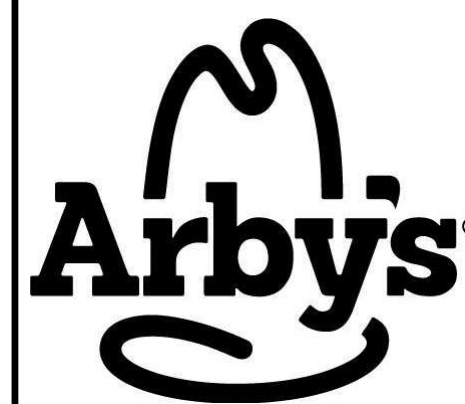
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SIGNAGE

A
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Owner
CARISCH, Inc.
681 EAST LAKE STREET, SUITE 26
WAYZATA, MINNESOTA 55391
CONTACT: STACY CARISCH
952.475.4953

Architect
SHORT ELLIOTT HENDRICKSON, INC.
316 NORTH MILWAUKEE STREET, SUITE 302
MILWAUKEE, WISCONSIN 53202
CONTACT: BRIAN COOLEY, AIA
414.465.1215

Landscape Architect
SHORT ELLIOTT HENDRICKSON, INC.
6808 ODANA ROAD, SUITE 2000
MADISON, WISCONSIN 53719
CONTACT: MOLLY GATZLAFF WAGNER, PLA
608.535.6166

Civil Engineer

Structural Engineer

Interiors:

General Contractor:
BRIORN BUILDING CORPORATION
3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045
CONTACT: MIKE MIKSICH
262.790.0500

CARISCH INC.
ARBY'S #8797 REMODEL
FRANKLIN
 FRANKLIN PLAZA
 7621 WEST RAWSON AVENUE
 FRANKLIN, WISCONSIN 53132

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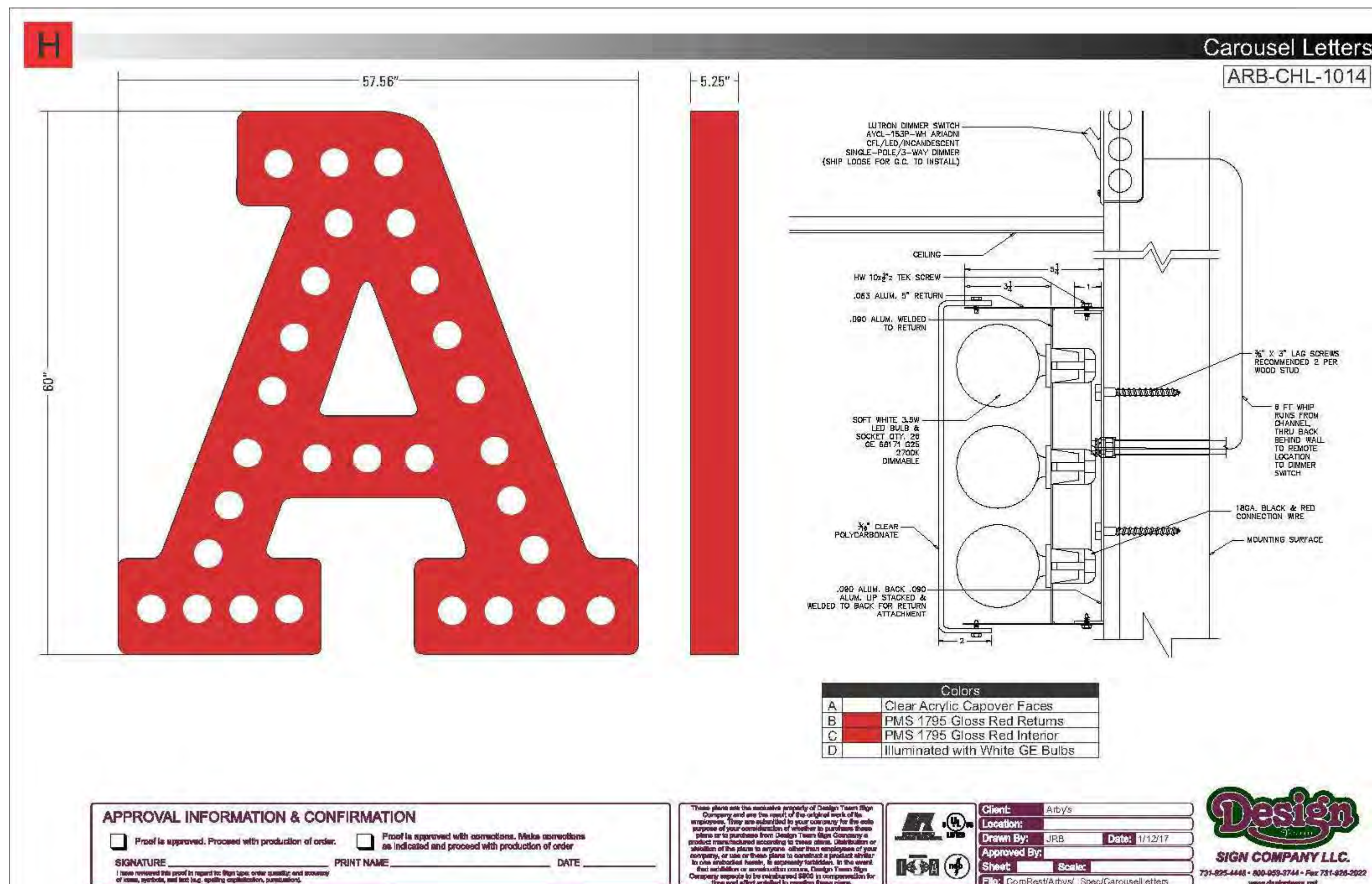
SEH Project	152887
Checked By	BMC
Drawn By	NAZ/MRC

Project Status	Issue Date
FRANKLIN REVIEW	12/20/2019

Revision Issue		
Rev. #	Description	Date
1	FRANKLIN REVIEW COMMENTS	4/13/2020

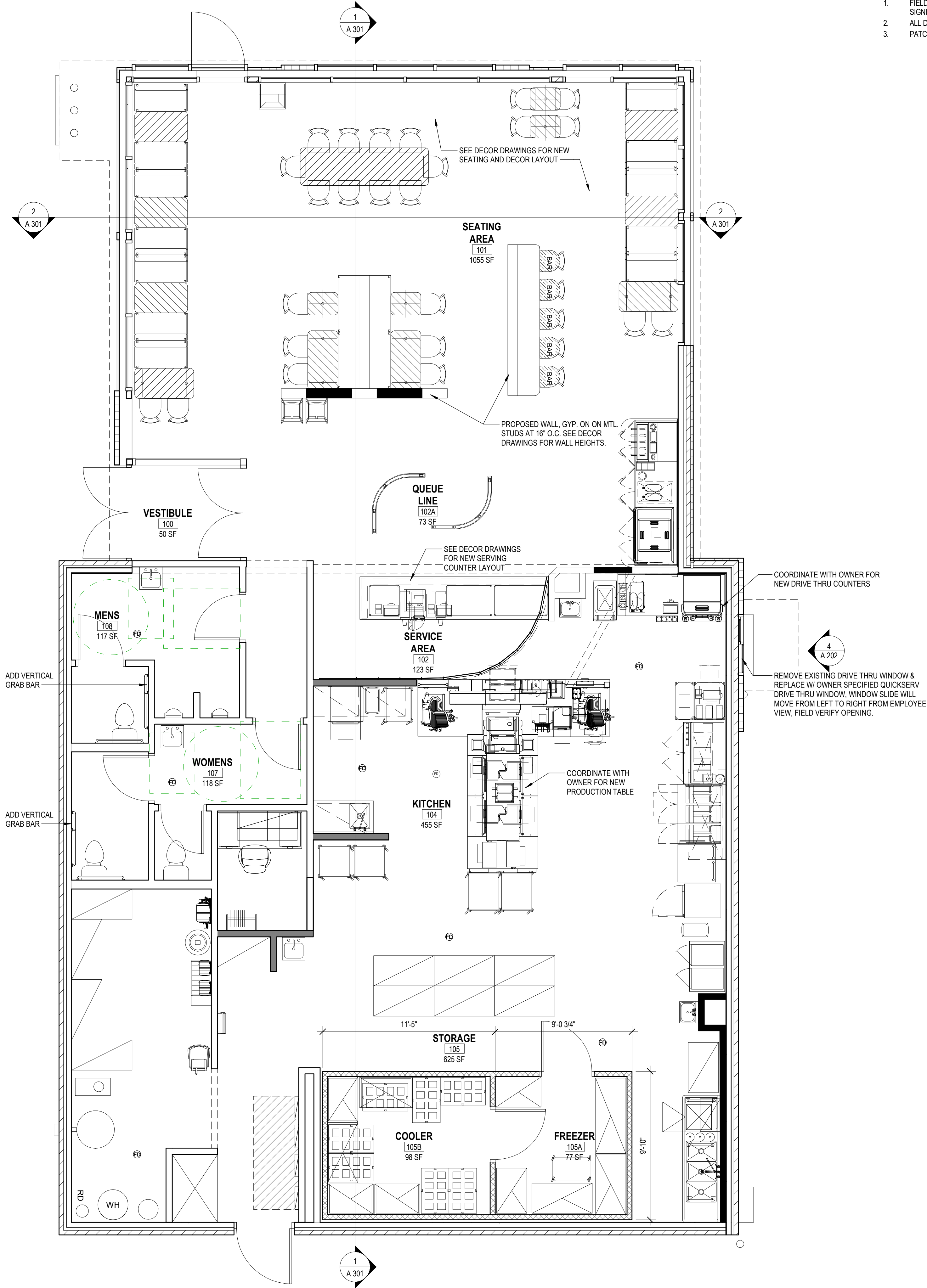
SIGNAGE

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ALL SIGNAGE IS SHOWN FOR REFERENCE ONLY AND WILL BE
SUBMITTED FOR APPROVAL AND PERMIT BY SIGNAGE CONTRACTOR.

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1 FLOOR PLAN - PROPOSED
1/4" = 1'-0"



- GENERAL NOTES
1. FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IF DIMENSIONS VARY SIGNIFICANTLY.
 2. ALL DIMENSIONS TO FACE OF FINISH UNLESS NOTED OTHERWISE.
 3. PATCH WALLS AS REQUIRED WHERE ITEMS WERE PREVIOUSLY MOUNTED TO WALL.



Owner
CARISCH, Inc.
681 EAST LAKE STREET, SUITE 262
WAYZATA, MINNESOTA 55391
CONTACT: STACY CARISCH
952.475.4953

Architect
SHORT ELLIOTT HENDRICKSON, INC.
316 NORTH MILWAUKEE STREET, SUITE 302
MILWAUKEE, WISCONSIN 53202
CONTACT: BRIAN COOLEY, AIA
414.465.1215

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CONTACT: MOLLY GATZLAFF WAGNER, PLA
608.535.6166

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BRIHON BUILDING CORPORATION
3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045
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262.790.0500

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FRANKLIN
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SEH Project 152887
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Project Status Issue Date
FRANKLIN REVIEW 12/20/2019

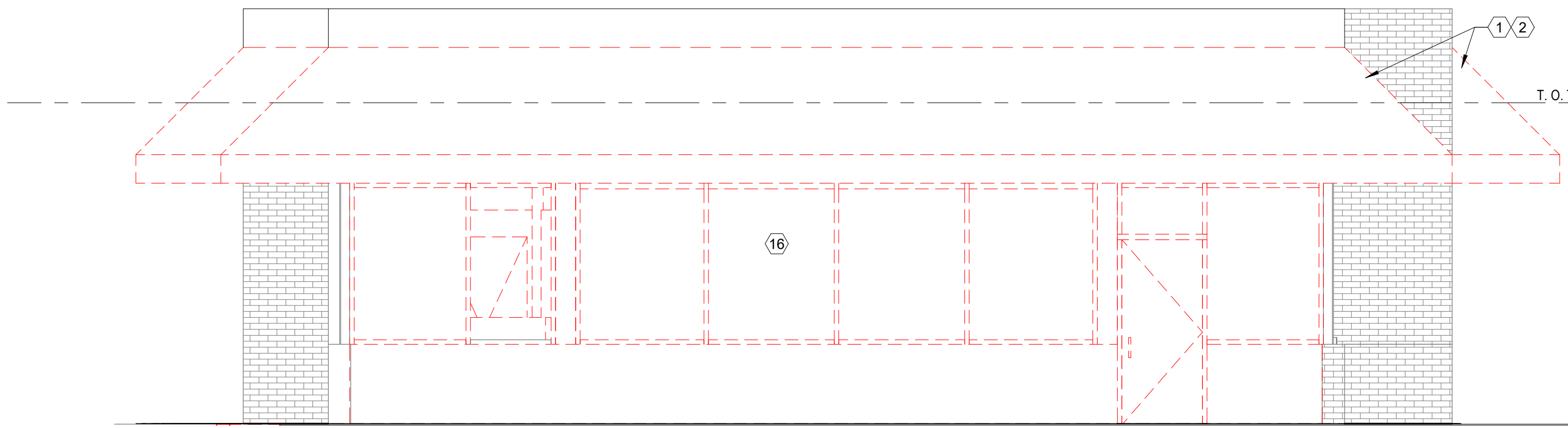
Revision Issue

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FLOOR PLAN - PROPOSED

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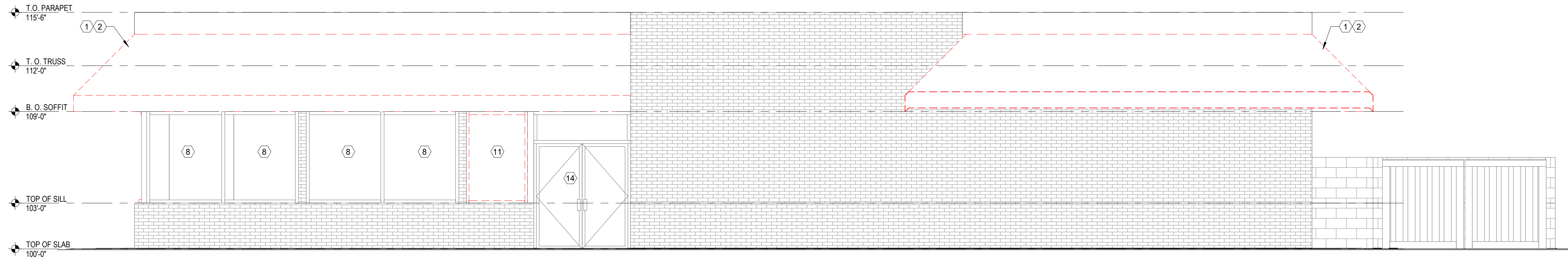
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1 NORTH ELEVATION - EXISTING
1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



3 WEST ELEVATION - EXISTING
1/4" = 1'-0"



4 WEST ELEVATION - PROPOSED
1/4" = 1'-0"

DEMOLITION KEYED NOTES

- REMOVE EXISTING EXTERIOR LIGHTING.
- REMOVE EXISTING AWNINGS.
- REMOVE INTERIOR FINISHES, FIXTURES AND EQUIPMENT IN DINING ROOM.
- REMOVE PLUMBING FIXTURES AND ACCESSORIES IN RESTROOMS.
- REMOVE COUNTERTOP. MODIFY KNEEWALL AS REQUIRED.
- TRENCH FLOOR AS REQUIRED TO RELOCATED SODA DISPENSER IN DINING ROOM AND DRIVE THRU.
- DISCONNECT PLUMBING AND ELECTRICAL CONNECTIONS PRIOR TO REMOVAL. TRENCH FLOOR AS REQUIRED TO EXTEND ELECTRICAL FEED TO SUB-PANEL IN NEW PRODUCTION COUNTER.
- REUSE EXISTING WINDOW FRAMES. PREPARE FOR NEW FINISH AND GLAZING. VERIFY WITH OWNER.
- VERIFY SCOPE OF WORK IN KITCHEN AND BACK OF HOUSE WITH OWNER. RELOCATE UTILITIES AS REQUIRED FOR NEW LAYOUT. CAP ALL ABANDONED UTILITIES.
- DRIVE THRU WINDOW TO BE REPLACE WINDOW. VERIFY SIZE AND INSTALL REQUIREMENTS OF NEW WINDOW UNIT.
- REMOVE EXISTING WINDOW AND EXTERIOR COVERING. INFILL EXTERIOR WALL FLUSH AT INTERIOR AND EXTERIOR WITH LIKE MATERIALS.
- REMOVE BEVERAGE AND CONDIMENT COUNTER. CAP ALL ABANDONED UTILITIES.
- REMOVE EXISTING DOOR, FRAME AND CASING. REPLACE WITH STYLE AND TYPE SPECIFIED IN DECOR DRAWINGS AND COMPLIANT WITH APPLICABLE CODES.
- REUSE EXISTING VESTIBULE DOORS. PREPARE FOR NEW FINISH.
- REUSE REAR DOOR. PREPARE FOR NEW FINISH.
- REMOVE EXISTING STOREFRONT. PREPARE WALL STRUCTURE TO RECEIVE NEW STOREFRONT AND FINISHES.
- REMOVE LOW WALL.
- REMOVE FLOOR FINISHES. PREPARE TO RECEIVE NEW FINISHES AS SCHEDULED.
- REMOVE WALL FINISHES. PREPARE WALL FOR NEW FINISHES AS SCHEDULED.

KEYED DESIGN NOTES

THE FOLLOWING ARE THE PROTOTYPICAL SCOPE OF WORK NOTES FOR THE REMODELING OF YOUR STORE INTO THE REQUIRED INSPIRE IMAGE.

FRANCHISEES ARE THE REFER TO THE STETON SCOPE OF WORK PREPARED BY THEIR OPERATIONS CONSULTANT FOR THE SCOPE OF WORK "SPECIFIC" TO THEIR STORE.

CORPORATE PROJECTS TO REFERENCE WRITTEN SCOPE OF WORK PROVIDED BY THE DIRECTOR OF CONSTRUCTION OR CONSTRUCTION MANAGER.

- INSTALL CANOPY/ACCENT BAND ABOVE STOREFRONT.
CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
- 24" TALL RED EIFS ACCENT BAND ALIGN WITH METAL ACCENT BAND.
- INSTALL ARBY'S HAT SIGN, CENTERED ON WHITE FASCIA.
- INSTALL ARBY'S LETTERSET ON END OF CANOPY.
- INSTALL BRICK PATTERNED EIFS:
 - ON FRONT OF BUILDING, AT DINING ROOM BUMP-OUT, EXTEND TO BOTTOM OF WALL.
 - WRAP CORNER OF BUILDING AND EXTEND TO THE INSIDE CORNER.
 - USE WHITE METAL COPING AT TOP OF WALL.
- INSTALL BROWN EIFS WITH 4" O.C. V-GROOVES:
 - ON FRONT OF BUILDING FROM EDGE OF BRICK PATTERNED EIFS TO THE CORNER OF THE BUILDING.
 - ON SIDE OF BUILDING FROM THE CORNER TO THE DRIVE THRU BUMP-OUT, ABOVE THE STOREFRONT AND UNDER THE ACCENT BAND.
 - USE BROWN METAL COPING AT TOP OF WALL.
- INSTALL BROWN EIFS WITH 8" O.C. V-GROOVES:
 - FROM FRONT OF BUILDING BACK TO DRIVE THRU BUMP-OUT.
 - ALIGN GROOVES WITH ADJACENT WALLS OF DRIVE THRU OR MAIN ENTRANCE.
- INSTALL BROWN EIFS 8" O.C. V-GROOVES AT THE DRIVE THRU BUMP-OUT. USE BROWN METAL COPING AT TOP OF WALL.
- INSTALL BROWN EIFS WITH 8" O.C. V-GROOVES AT THE MAIN ENTRANCE BUMP-OUT:
 - EXTEND PAST EXISTING WINDOW EQUAL DISTANCE OF SPACE BETWEEN BUILDING CORNER AND WINDOW JAMB.
 - USE BROWN METAL COPING AT TOP OF WALL.
- PAINT 3'-0" TALL GRAY ACCENT BAND AT BOTTOM OF WALL AROUND BACK HALF OF BUILDING, PAINT ELECTRIC/GAS METERS AND DOOR.
- PAINT WHITE ABOVE 3'-0" GRAY ACCENT BAND AT BOTTOM OF WALL AROUND BACK HALF OF BUILDING.
- INSTALL WALL MOUNTED LIGHT FIXTURE:
 - ON FRONT OF BUILDING, ABOVE THE ACCENT BAND AT 11'-6" AFF, CENTERED ON BROWN EIFS, INSTALL LIGHT FIXTURE RAB, SLIM12 (BRONZE) AS DOWN-LIGHT AT.
 - ON FRONT OF BUILDING, CENTERED ON THE BRICK LEG AT 5'-6" AFF, LITHONIA, OLLWU (WHITE).
 - ON MAIN ENTRY SIDE OF BUILDING, ABOVE ACCENT BAND AT 11'-6" AFF, CENTERED ON WHITE EIFS AREA, INSTALL LIGHT FIXTURE RAB, SLIM12 (WHITE) AS UP-LIGHT.
 - ON DRIVE-THRU SIDE OF BUILDING ABOVE ACCENT BAND AT 13'-6" AFF CENTERED ON WHITE EIFS AREA, INSTALL LIGHT FIXTURE RAB, SLIM12 (WHITE) AS UP-LIGHT AT.
 - ON BACK HALF OF EACH SIDE OF BUILDING, INSTALL LIGHT FIXTURE RAB, SLIM12 (WHITE) AS DOWN-LIGHT AT 7'-6" AFF.
 - ON MAIN ENTRY BUMP-OUT, CENTERED ON BROWN EIFS NEXT TO DOOR, AT 5'-6" INSTALL LIGHT FIXTURE LITHONIA, OLLWU (BRONZE).
- ROOF ACCESS LADDER IS REQUIRED ON CORPORATE REMODELS. IT IS OPTIONAL FOR FRANCHISEE LOCATIONS.

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
A1	DRYVIT	EIFS WALL SYSTEM (WHITE)	COLOR: ARBY081030 TEXTURE: SANDBLAST
A2	DRYVIT	CUSTOM BRICK SPECIALTY FINISH WITH 23PT. 1/2" GROUT, BROOKLYN STYLE TEMPLATE	BRICK LAYER: ARBY121020, QUARZPUTZ GROUT LAYER: ARBY111009, NCB
B	NOT USED	--	--
C	DRYVIT	EIFS WALL SYSTEM (BROWN) WITH V-GROOVE REVEALS, 8" O.C. OR 4" O.C.	COLOR: ARBY131030 (BROWN) TEXTURE: SANDBLAST
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	--	--
F	SHERWIN WILLIAMS	SW #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SW #2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	--	--
J	NOT USED	--	--
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

METALS			
A	EXCEPTIONAL METALS/DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE / DURO-LAST #SR70TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE / DURO-LAST #SR20TE84	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	

NOTES:

- FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IF DIMENSIONS VARY SIGNIFICANTLY.
- PATCH WALLS AS REQUIRED WHERE ITEMS WERE PREVIOUSLY MOUNTED TO WALL.
- PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE OR COLORS SPECIFIED IN INSPIRE GUIDE. VERIFY WITH OWNER.
- MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- ALUMINUM STOREFRONT TO BE DARK BRONZE. REFER TO SUCCESSOR LICENSING SCOPE OF WORK.
- ALL EXTERIOR GLAZING TO BE 1" INSULATED GLAZING.
- BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACT. SPECIFICATIONS AND DETAILS.
- SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.

EXTERIOR LIGHT FIXTURES:



LITHONIA, OLLWU (WHITE)



LITHONIA, OLLWU (BRONZE)



RAB, SLIM12 (WHITE). INSTALL AS UP OR DOWN LIGHT. SEE ELEVATIONS



RAB, SLIM12 (WHITE). INSTALL AS UP OR DOWN LIGHT. SEE ELEVATIONS



Building a Better World
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Owner
CARISCH, Inc.
681 EAST LAKE STREET, SUITE 262
WAYZATA, MINNESOTA 55391
CONTACT: STACY CARISCH
952.475.4953

Architect
SHORT ELLIOTT HENDRICKSON, INC.
316 NORTH MILWAUKEE STREET, SUITE 302
MILWAUKEE, WISCONSIN 53202
CONTACT: BRIAN COOLEY, AIA
414.465.1215

Landscape Architect
SHORT ELLIOTT HENDRICKSON, INC.
6808 ODANA ROAD, SUITE 2000
MADISON, WISCONSIN 53719
CONTACT: MOLLY GATZLAFF WAGNER, PLA
608.535.6166

Civil Engineer

Structural Engineer

Interiors:

General Contractor:
BRIORN BUILDING CORPORATION
3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045
CONTACT: MIKE MIKSICH
262.790.0500

CARISCH INC.
ARBY'S #8797 REMODEL
FRANKLIN
FRANKLIN PLAZA
7821 WEST PAVISON AVENUE
FRANKLIN, WISCONSIN 53132

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SEH Project
Checked By
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Project Status
FRANKLIN REVIEW

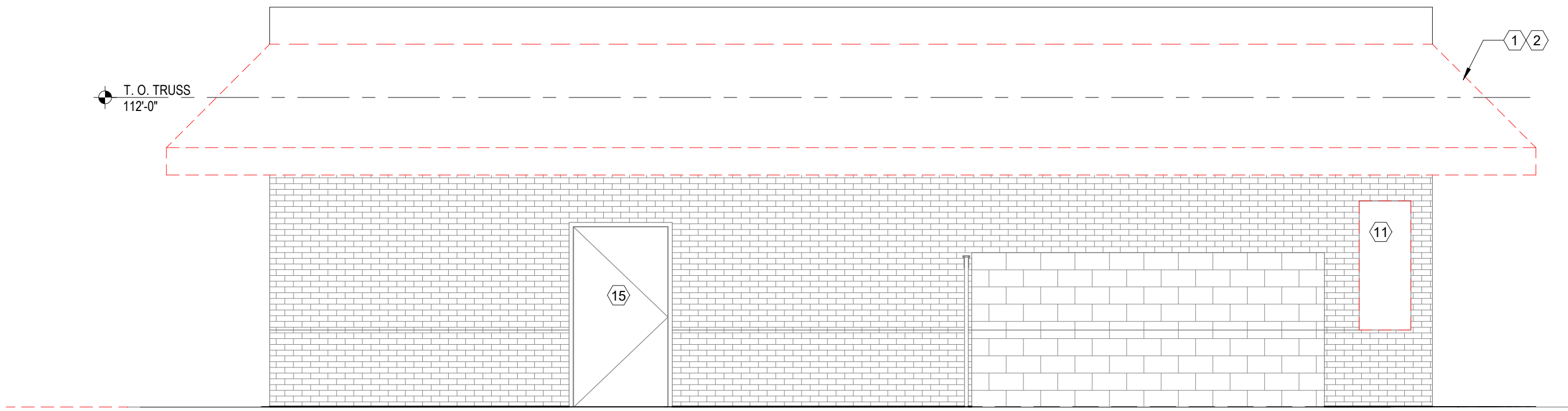
Issue Date
12/20/2019

Rev. #	Description	Date
1	FRANKLIN REVIEW COMMENTS	4/13/2020

EXTERIOR ELEVATIONS

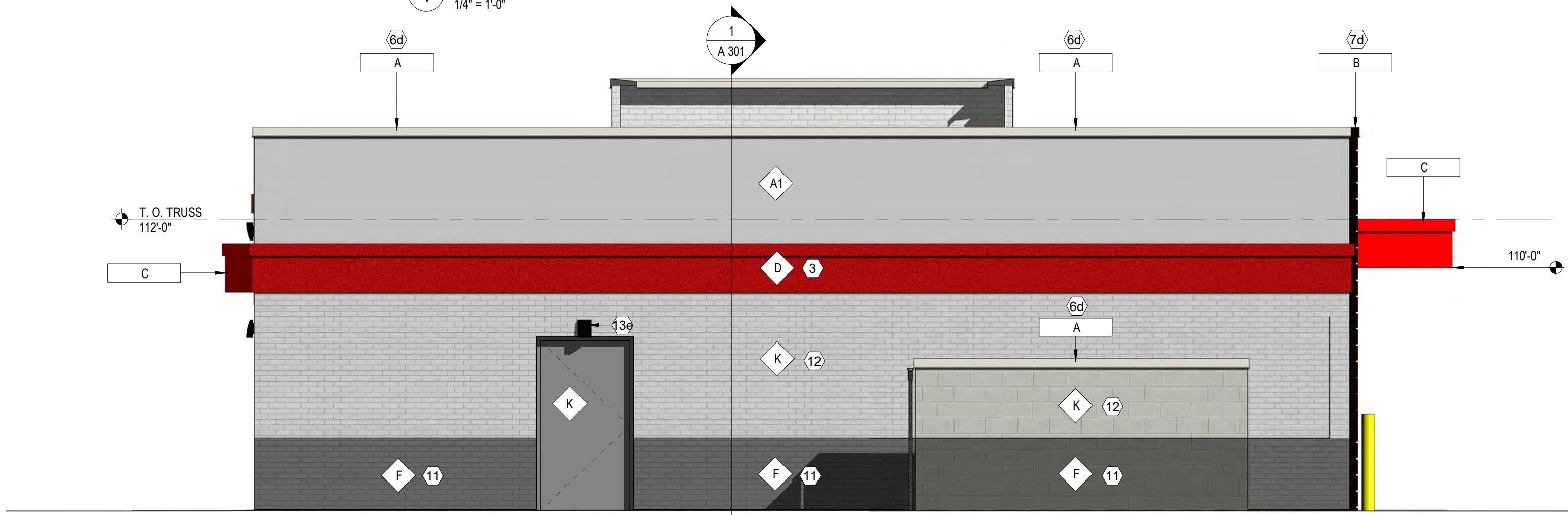
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1 SOUTH ELEVATION - EXISTING

1/4" = 1'-0"



2 SOUTH ELEVATION - PROPOSED

1/4" = 1'-0"

DEMOLITION KEYED NOTES

1. REMOVE EXISTING EXTERIOR LIGHTING.
2. REMOVE EXISTING AWNINGS.
3. REMOVE INTERIOR FINISHES, FIXTURES AND EQUIPMENT IN DINING ROOM.
4. REMOVE PLUMBING FIXTURES AND ACCESSORIES IN RESTROOMS.
5. REMOVE COUNTERTOP. MODIFY KNEEWALL AS REQUIRED.
6. TRENCH FLOOR AS REQUIRED TO RELOCATED SODA DISPENSER IN DINING ROOM AND DRIVE THRU.
7. DISCONNECT PLUMBING AND ELECTRICAL CONNECTIONS PRIOR TO REMOVAL. TRENCH FLOOR AS REQUIRED TO EXTEND ELECTRICAL FEED TO SUB-PANEL IN NEW PRODUCTION COUNTER.
8. REUSE EXISTING WINDOW FRAMES. PREPARE FOR NEW FINISH AND GLAZING. VERIFY WITH OWNER.
9. VERIFY SCOPE OF WORK IN KITCHEN AND BACK OF HOUSE WITH OWNER. RELOCATE UTILITIES AS REQUIRED FOR NEW LAYOUT. CAP ALL ABANDONED UTILITIES.
10. DRIVE THRU WINDOW TO BE REPLACE WINDOW. VERIFY SIZE AND INSTALL REQUIREMENTS OF NEW WINDOW UNIT.
11. REMOVE EXISTING WINDOW AND EXTERIOR COVERING. INFILL EXTERIOR WALL FLUSH AT INTERIOR AND EXTERIOR WITH LIKE MATERIALS.
12. REMOVE BEVERAGE AND CONDIMENT COUNTER. CAP ALL ABANDONED UTILITIES.
13. REMOVE EXISTING DOOR, FRAME AND CASING. REPLACE WITH STYLE AND TYPE SPECIFIED IN DECOR DRAWINGS AND COMPLIANT WITH APPLICABLE CODES.
14. REUSE EXISTING VESTIBULE DOORS. PREPARE FOR NEW FINISH.
15. REUSE REAR DOOR. PREPARE FOR NEW FINISH.
16. REMOVE EXISTING STOREFRONT. PREPARE WALL STRUCTURE TO RECEIVE NEW STOREFRONT AND FINISHES.
17. REMOVE LOW WALL.
18. REMOVE FLOOR FINISHES. PREPARE TO RECEIVE NEW FINISHES AS SCHEDULED.
19. REMOVE WALL FINISHES. PREPARE WALL FOR NEW FINISHES AS SCHEDULED.

KEYED DESIGN NOTES

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CORPORATE PROJECTS TO REFERENCE WRITTEN SCOPE OF WORK PROVIDED BY THE DIRECTOR OF CONSTRUCTION OR CONSTRUCTION MANAGER.

1. INSTALL CANOPY/ACCENT BAND ABOVE STOREFRONT.
2. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
3. 24" TALL. RED EIFS ACCENT BAND ALIGN WITH METAL ACCENT BAND.
4. INSTALL ARBY'S HAT SIGN. CENTERED ON WHITE FASCIA.
5. INSTALL ARBY'S LETTERSET ON END OF CANOPY.
6. INSTALL BRICK PATTERNED EIFS.
 - a. ON FRONT OF BUILDING, AT DINING ROOM BUMP-OUT.
 - b. EXTEND TO BOTTOM OF WALL.
 - c. WRAP CORNER OF BUILDING AND EXTEND TO THE INSIDE CORNER.
 - d. USE WHITE METAL COPING AT TOP OF WALL.
7. INSTALL BROWN EIFS WITH 4" O.C. V-GROOVES.
 - a. ON FRONT OF BUILDING FROM EDGE OF BRICK PATTERNED EIFS TO THE CORNER OF THE BUILDING.
 - b. ON SIDE OF BUILDING FROM THE CORNER TO THE DRIVE THRU BUMP-OUT.
 - c. ABOVE THE STOREFRONT AND UNDER THE ACCENT BAND.
 - d. USE BROWN METAL COPING AT TOP OF WALL.
8. INSTALL BROWN EIFS WITH 8" O.C. V-GROOVES.
 - a. FROM FRONT OF BUILDING BACK TO DRIVE THRU BUMP-OUT.
 - b. ALIGN GROOVES WITH ADJACENT WALLS OF DRIVE THRU OR MAIN ENTRANCE.
9. INSTALL BROWN EIFS 8" O.C. V-GROOVES AT THE DRIVE THRU BUMP-OUT. USE BROWN METAL COPING AT TOP OF WALL.
10. INSTALL BROWN EIFS WITH 8" O.C. V-GROOVES AT THE MAIN ENTRANCE BUMP-OUT.
 - a. EXTEND PAST EXISTING WINDOW EQUAL DISTANCE OF SPACE BETWEEN BUILDING CORNER AND WINDOW JAMB.
 - b. USE BROWN METAL COPING AT TOP OF WALL.
11. PAINT 3'-0" TALL GRAY ACCENT BAND AT BOTTOM OF WALL AROUND BACK HALF OF BUILDING. PAINT ELECTRIC/GAS METERS AND DOOR.
12. PAINT WHITE ABOVE 3'-0" GRAY ACCENT BAND AT BOTTOM OF WALL AROUND BACK HALF OF BUILDING.
13. INSTALL WALL MOUNTED LIGHT FIXTURE.
 - a. ON FRONT OF BUILDING, ABOVE THE ACCENT BAND AT 11'-6" AFF, CENTERED ON BROWN EIFS, INSTALL LIGHT FIXTURE RAB, SLIM12 (BRONZE) AS DOWN-LIGHT AT.
 - b. ON FRONT OF BUILDING, CENTERED ON THE BRICK LEG AT 5'-6" AFF, LITHONIA, OLLWU (WHITE).
 - c. ON MAIN ENTRY SIDE OF BUILDING, ABOVE ACCENT BAND AT 11'-6" AFF, CENTERED ON WHITE EIFS AREA, INSTALL LIGHT FIXTURE RAB, SLIM12 (WHITE) AS UP-LIGHT.
 - d. ON DRIVE-THRU SIDE OF BUILDING ABOVE ACCENT BAND AT 13'-6" AFF CENTERED ON WHITE EIFS AREA, INSTALL LIGHT FIXTURE RAB, SLIM12 (WHITE) AS UP-LIGHT AT.
 - e. ON BACK HALF OF EACH SIDE OF BUILDING, INSTALL LIGHT FIXTURE RAB, SLIM12 (WHITE) AS DOWN-LIGHT AT 7'-6" AFF.
 - f. ON MAIN ENTRY BUMP-OUT, CENTERED ON BROWN EIFS NEXT TO DOOR, AT 5'-6" INSTALL LIGHT FIXTURE LITHONIA, OLLWU (BRONZE).
14. ROOF ACCESS LADDER IS REQUIRED ON CORPORATE REMODELS. IT IS OPTIONAL FOR FRANCHISEE LOCATIONS.

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
A1	DRYVIT	EIFS WALL SYSTEM (WHITE)	COLOR: ARBY081030 TEXTURE: SANDBLAST
A2	DRYVIT	CUSTOM BRICK SPECIALTY FINISH WITH 23PT. 1/2" GROUT, BROOKLYN STYLE TEMPLATE	BRICK LAYER: ARBY121020, QUARZPUTZ GROUT LAYER: ARBY111009, NCB
B	NOT USED	--	--
C	DRYVIT	EIFS WALL SYSTEM (BROWN) WITH V-GROOVE REVEALS, 8" O.C. OR 4" O.C.	COLOR: ARBY131030 (BROWN) TEXTURE: SANDBLAST
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	--	--
F	SHERWIN WILLIAMS	SW #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SW #2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	--	--
J	NOT USED	--	--
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

METALS			
A	EXCEPTIONAL METALS/DURO-LAST	TWO-PIECE SNAP-ON METAL COPINGREGAL WHITE / DURO-LAST #SR70TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE / DURO-LAST #SR26TE84	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-9096TR PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	

- NOTES:
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 3. PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE OR COLORS SPECIFIED IN INSPIRE GUIDE. VERIFY WITH OWNER.
 4. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
 5. ALUMINUM STOREFRONT TO BE DARK BRONZE. REFER TO SUCCESSOR LICENSING SCOPE OF WORK.
 6. ALL EXTERIOR GLAZING TO BE 1" INSULATED GLAZING
 7. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACT. SPECIFICATIONS AND DETAILS
 8. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.

EXTERIOR LIGHT FIXTURES:



LITHONIA, OLLWU (WHITE)



LITHONIA, OLLWU (BRONZE)



RAB, SLIM12 (WHITE). INSTALL AS UP OR DOWN LIGHT. SEE ELEVATIONS

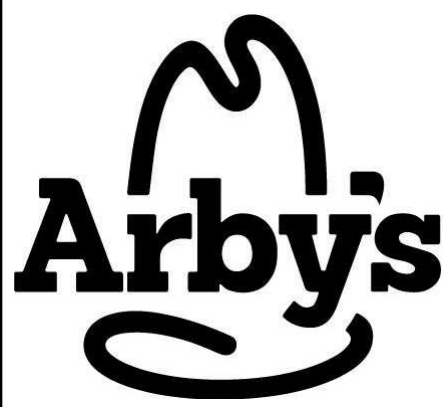


RAB, SLIM12 (WHITE). INSTALL AS UP OR DOWN LIGHT. SEE ELEVATIONS

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CONTACT: BRIAN COOLEY, AIA
414.465.1215

Landscape Architect
SHORT ELLIOTT HENDRICKSON, INC.
6808 ODANA ROAD, SUITE 2000
MADISON, WISCONSIN 53719
CONTACT: MOLLY GATZLAFF WAGNER, PLA
608.535.6166

Civil Engineer

Structural Engineer

Interiors:

General Contractor:
BRIHON BUILDING CORPORATION
3885 NORTH BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53045
CONTACT: MIKE MIKSICH
262.790.0500

CARISCH INC.
ARBY'S #8797 REMODEL
FRANKLIN
FRANKLIN PLAZA
7821 WEST RAMSON AVENUE
FRANKLIN, WISCONSIN 53132

This drawing is an instrument of service and shall remain the property of Short Elliott Hendrickson, Inc. (SEH). This drawing and the concepts and ideas contained herein shall not be used, reproduced, revised, or retained without the express written approval of SEH.
Submission or distribution of this drawing to meet official or regulatory requirements or for other purposes in connection with the project is not to be construed as publication in derogation of any of the rights of SEH.

SEH Project Checked By Drawn By
152887 BMC NA2/MRC

Project Status Issue Date
FRANKLIN REVIEW 12/20/2019

Revision Issue		
Rev. #	Description	Date
1	FRANKLIN REVIEW COMMENTS	4/13/2020

EXTERIOR ELEVATIONS

A
202



CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of April 23, 2020

Special Use and Site Plan

RECOMMENDATION: City Development staff recommends approval of the Special Use and Site Plan for the Ballpark Commons (BPC) Challenge Tower.

Project Name:	Ballpark Commons Challenge Tower Special Use and Site Plan
Project Address:	7011 South Ballpark Drive
Applicant:	Rock Snow Park, LLC Michael Schmitz, representative
Property Owner:	Roc Ventures, LLC
Current Zoning:	Planned Development District (PDD) No. 37
2025 Comprehensive Plan:	Mixed Use
Use of Surrounding Properties:	Ski hill to the north, Ski Chalet to the west, parking areas to the south, parking areas and Umbrella Bar to the east.
Applicant's Action Requested:	Plan Commission recommendation of approval of the Special Use and approval of the Site Plan.

INTRODUCTION:

On February 27, 2020, Rock Snow Park, LLC has submitted applications for Special Use and Site Plan, for a Challenge Tower to be located east of the existing Ski Chalet. Challenge towers (similar to and sometimes referred to as compact aerial courses or high rope courses) are typically tall structures designed to provide rope courses comprised of numerous swinging, climbing, and balancing challenges. The Common Council heard a Concept Review for this project at its November 5, 2019, meeting.

In accordance with the Unified Development Ordinance (UDO) §15-7.0104, the review time frame for Site Plan applications is 60 days. Therefore, these applications are scheduled for this April 23, 2020, Plan Commission meeting.

Challenge towers/aerial ropes courses are not specifically listed as permitted/special use in the PDD No. 37 Ordinance No. 2019-2368. However, per Unified Development Ordinance (UDO) Section §15-2.0210, when a use is not specifically listed a "Permitted Use," "Special Use," or "Accessory Use," it shall be assumed that such a use is expressly prohibited unless by a written decision of the Plan Commission it is determined that said use is similar to, and not a more measurably intense use, than the use listed.

The applicant is requesting the Plan Commission to determine that the proposed use is similar to those listed as special uses in the PDD Ordinance, such as Outdoor Climbing Walls or Indoor/Outdoor Sports (non-motorized) not elsewhere classified.

PROJECT ANALYSIS:

The Challenge Tower would be located east of the existing Ski Chalet. On November 5, 2019, the Common Council heard a Concept review for this project, the previous location was north of the Umbrella Bar. The applicant changed the location of the proposed Challenge Tower based on input received during the Common Council hearing.

If the Plan Commission determines that Challenge Towers are similar to Outdoor Climbing Walls or Indoor/Outdoor Sports (non-motorized) not elsewhere classified. The proposed use would be compatible to other recreational uses of the Rock Sports Complex Area, such as snowshoeing, indoor and outdoor soccer, volleyball, golf, baseball, indoor climbing wall, general retail, slides/children's play areas, physical therapy as permitted uses, and entertainment outdoor and indoor music, electric vehicle racing and drinking places as special uses.

The intent of the Rock Sports Complex Area *is to provide a multi-use sports and entertainment complex where the recreational needs of area residents can be met without undue disturbance of natural resources and adjacent uses*, as stated in the PDD Ordinance Section 15-3.0442A.

On the other hand, if the Plan Commission determines that Challenge Towers are not similar enough to the uses listed above. The Challenge Tower would be assumed as not permitted in this PDD.

The site is designated as "Mixed Use" in the Future Land Use Map of the Comprehensive Master Plan (CMP). Therefore, the Challenge Tower is consistent with the CMP and the Planned Development District (PDD) Ordinance No. 2019-2398.

Special Use standards

Adverse Impact. The proposed challenge tower structure would be located on top of a private sewer line. Engineering Dept. suggested to find another location. The applicant stated that *the tower will have no impact on the utilities and we will be responsible for any future maintenance or service to the utilities.*

Site Plan

The site is approximately 5,945 sf in area and the structure would comply with setback requirements set forth in the PDD Ordinance. The resulting overall Landscape Surface Ratio (LSR) of 65.28 % complies with the PDD minimum of 50%. The tower would be 50-foot tall, with 3 levels of obstacles and an observation deck on the top, the structure complies with the maximum height of 60 feet for this district.

The exact hours of operation are not defined yet, but the maximum would be from 9 am to sunset. The applicant has not submitted an outdoor lighting plan as this facility would only be operated during daylight hours.

With regards to safety, the applicant stated that *the challenge tower industry has oversight from the Association for Challenge Course Technology [ACCT]. ACCT is an American National Standards Institute (ANSI) accredited standards developer for the global challenge course,*

aerial adventure park, canopy tour, and zip line industry. All operations of the tower will be in compliance with best practices and standards proposed by the ACCT and will follow all operating procedures, maintenance, and recommendations contained in the manufacture's manuals.

Parking

Per applicant's calculations, the capacity of the Challenge Tower is 30 people plus 10 people in line, utilizing the closest matched use of the UDO parking table (Resort) with a 3 patrons per parking space ratio, 13 parking spaces for patrons and 4 spaces for staff, resulting in a total of 17 parking spaces.

It is noted that per PDD Ordinance 2019-2368, §15-3.0442A(D)(2)(b): *Utilization of parking on any adjacent site is prohibited and shall not be counted towards parking requirements unless prior approval of the Plan Commission is obtained and subject to recorded shared parking agreements/easements/etc.* Therefore, staff is recommending a condition of approval requiring shared parking easements.

Fencing

Fencing will be 6-foot high black vinyl coated chain link without privacy slats consistent with the rest of the property. This fence complies with the PDD Ord. Section 15-3.0442A(D)(1)(b).

CONCLUSION:

City Development staff recommends approval of the Special Use and Site Plan for the Challenge Tower at Ballpark Commons, subject to the conditions set forth in the attached Resolution.

RESOLUTION NO. 2020-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR THE INSTALLATION OF A
CHALLENGE TOWER/AERIAL ROPE COURSE UPON PROPERTY LOCATED
AT 7011 SOUTH BALLPARK DRIVE, WITHIN PLANNED DEVELOPMENT
DISTRICT NO. 37 (THE ROCK SPORTS COMPLEX/BALLPARK COMMONS)
(MICHAEL R. SCHMITZ, OWNER OF ROCK SNOW PARK, LLC, APPLICANT)

WHEREAS, Michael R. Schmitz, owner of Rock Snow Park, LLC having petitioned for the approval of a Special Use in Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons), to allow for the installation of a challenge tower/aerial rope course (east of the existing Ski Chalet within Ballpark Commons) [challenge towers/aerial ropes courses are not specifically listed as Permitted/Special Use in Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) Ordinance No. 2019-2368, therefore, the applicant is requesting the Plan Commission determine that the proposed use is similar to those listed as Special Uses in the Planned Development District Ordinance, such as Outdoor Climbing Walls or Indoor/Outdoor Sports (non-motorized) not elsewhere classified], upon property located at 7011 South Ballpark Drive, bearing Tax Key No. 744-1003-000, more particularly described as follows:

CERTIFIED SURVEY MAP NO. 9041: A REDIVISION OF PARCELS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 3931, OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 3107, OUTLOT 1 OF WHITNALL VIEW ADDITION NO. 1, THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE AS RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4, THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 ALL IN SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 23rd day of April, 2020, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive

MICHAEL R. SCHMITZ, OWNER OF ROCK SNOW PARK, LLC – SPECIAL USE
RESOLUTION NO. 2020-_____

Page 2

Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Michael R. Schmitz, owner of Rock Snow Park, LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by Michael R. Schmitz, owner of Rock Snow Park, LLC, successors and assigns, as a challenge tower/aerial rope course use, which shall be developed in substantial compliance with, and operated and maintained by Michael R. Schmitz, owner of Rock Snow Park, LLC, pursuant to those plans City file-stamped April 13, 2020 and annexed hereto and incorporated herein as Exhibit A.
2. Michael R. Schmitz, owner of Rock Snow Park, LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Michael R. Schmitz, owner of Rock Snow Park, LLC Ballpark Commons challenge tower/aerial rope course installation, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Michael R. Schmitz, owner of Rock Snow Park, LLC challenge tower/aerial rope course use for the property located at 7011 South Ballpark Drive: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

MICHAEL R. SCHMITZ, OWNER OF ROCK SNOW PARK, LLC – SPECIAL USE
RESOLUTION NO. 2020-_____

Page 3

4. The applicant shall revise the Site Plan and/or Landscape Plan to show shared parking easements between adjoining property owners, for Department of City Development and Engineering Department review and approval prior to issuance of an Occupancy Permit.
5. Signs shall be subject to staff review in conformance with Chapter 210 of the Municipal Code and issuance of a Sign Permit.
6. The applicant shall obtain final approval of grading, erosion control, storm water management, and utilities by the Engineering Department prior to any land disturbance activities.

BE IT FURTHER RESOLVED, that in the event Michael R. Schmitz, owner of Rock Snow Park, LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of completion of the Ballpark Commons challenge tower/aerial rope course installation and the issuance of an occupancy/use permit for such use.

MICHAEL R. SCHMITZ, OWNER OF ROCK SNOW PARK, LLC – SPECIAL USE
RESOLUTION NO. 2020-_____

Page 4

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

RESOLUTION NO. 2020-_____

A RESOLUTION APPROVING A SITE PLAN TO ALLOW FOR THE
INSTALLATION OF A PROPOSED 50 FOOT HIGH CHALLENGE TOWER
(7011 SOUTH BALLPARK DRIVE)
(MICHAEL R. SCHMITZ, OWNER OF ROCK SNOW PARK, LLC,
APPLICANT, ROC VENTURES, LLC, PROPERTY OWNER)

WHEREAS, Michael R. Schmitz, owner of Rock Snow Park, LLC having applied for approval of a proposed site plan to allow for the installation of a proposed 50 foot high Challenge Tower (compact aerial courses or high rope courses, comprised of numerous swinging, climbing and balancing challenges) with 3 levels of obstacles and 50 elements, including a kids course, an observation deck at the top, with a 50 foot by 50 foot octagonal footprint, to be located east of the existing Ski Chalet in The Rock Sports Complex, property located at 7011 South Ballpark Drive, within Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons); and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan to allow for the installation of a proposed 50 foot high Challenge Tower with 3 levels of obstacles and 50 elements, including a kids course, an observation deck at the top, with a 50 foot by 50 foot octagonal footprint, as depicted upon the plans date-stamped April 13, 2020, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Michael R. Schmitz, owner of Rock Snow Park, LLC Challenge Tower installation date-stamped April 13, 2020.
2. Michael R. Schmitz, owner of Rock Snow Park, LLC, successors and assigns, and any developer of the Michael R. Schmitz, owner of Rock Snow Park, LLC Challenge Tower installation project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Michael R. Schmitz, owner of Rock Snow Park, LLC Challenge Tower installation project, within 30 days of

MICHAEL R. SCHMITZ, OWNER OF ROCK SNOW PARK, LLC – SITE PLAN
RESOLUTION NO. 2020-_____

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invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

3. The approval granted hereunder is conditional upon the Michael R. Schmitz, owner of Rock Snow Park, LLC Challenge Tower installation project, located at 7011 South Ballpark Drive, within Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Michael R. Schmitz, owner of Rock Snow Park, LLC Challenge Tower installation project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. The approval granted hereunder is subject to the conditions and restrictions set forth in the concurrent Special Use Resolution.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this _____ day of _____, 2020.

APPROVED:

Stephen R. Olson, Chairman

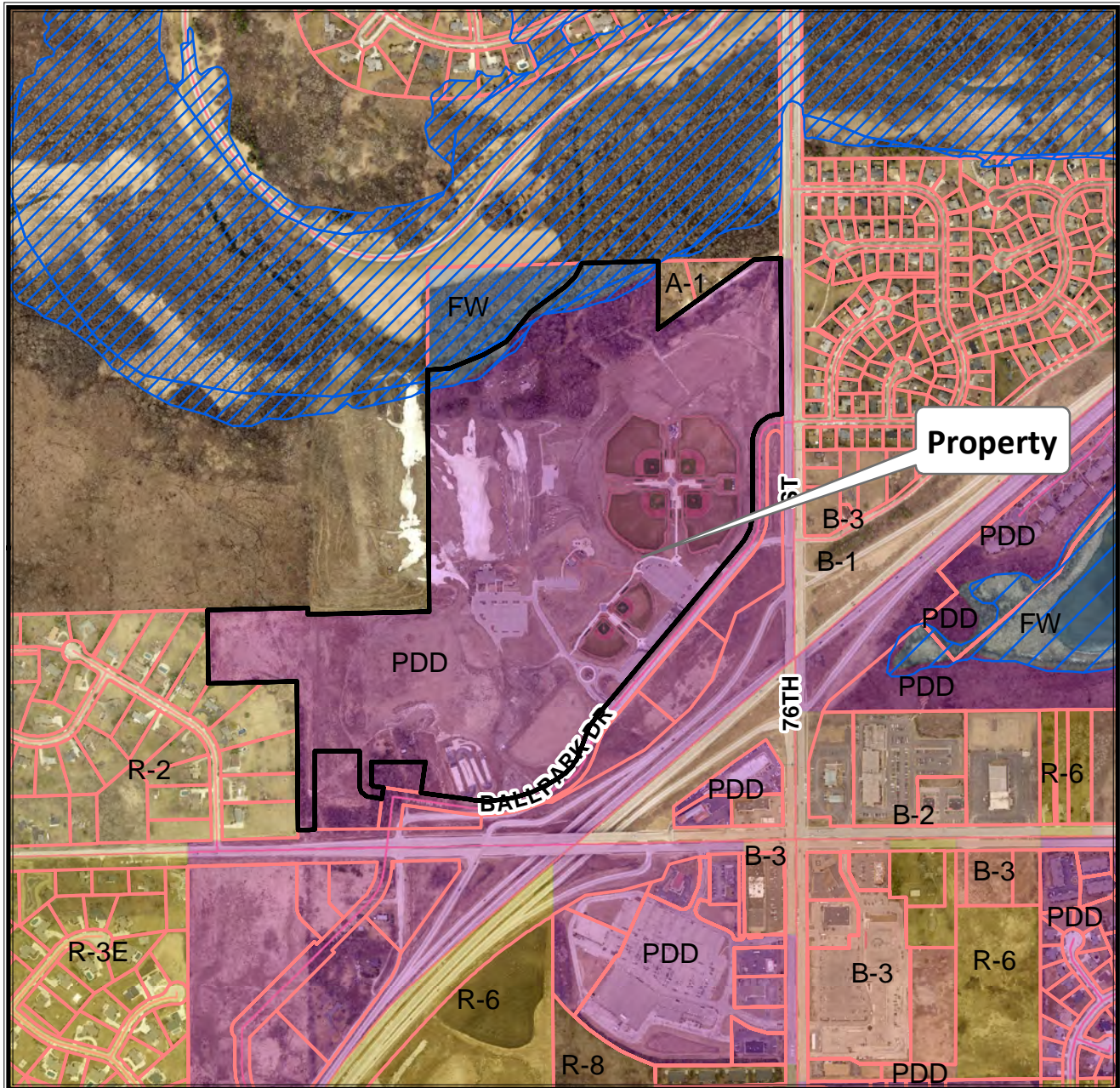
ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



7011 S. Ballpark Drive
TKN: 744 1003 000



Planning Department
(414) 425-4024

0 500 1,000 2,000 Feet

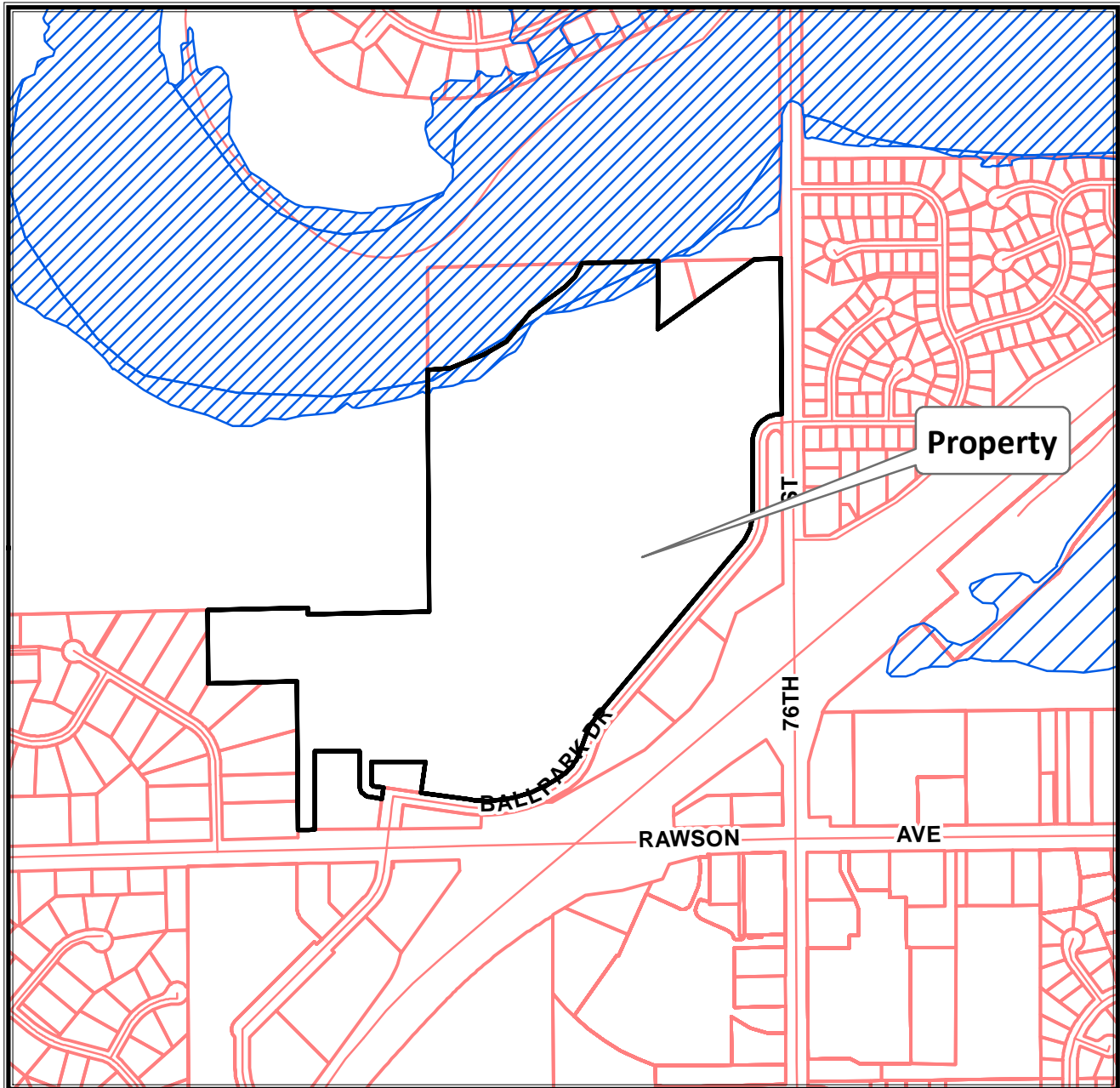
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2017 Aerial Photo



7011 S. Ballpark Drive
TKN: 744 1003 000



Planning Department
(414) 425-4024

0 500 1,000 2,000 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





Date of Application: _____

SITE PLAN / SITE PLAN AMENDMENT APPLICATION

Complete, accurate and specific information must be entered. Please Print.

Applicant (Full Legal Name[s]):

Name: Rock Snow Park, LLC
Company: Rock Snow Park, LLC
Mailing Address: 7011 S Ballpark Dr
City / State: Franklin, WI Zip: 53132
Phone: 414-235-8818
Email Address: info@rocksnowpark.com

Project Property Information:

Property Address: 7011 S Ballpark Dr
Property Owner(s): Roc Ventures
Mailing Address: 7044 S Ballpark Dr.
City / State: Franklin, WI Zip: 53132
Email Address: _____

Applicant is Represented by: (contact person)(Full Legal Name[s])

Name: Michael Schmitz
Company: Rock Snowpark
Mailing Address: 011 S Ballpark Dr
City / State: Franklin, WI Zip: 53132
Phone: 414-235-8818
Email Address: mike@rocksnowpark.com

Tax Key Nos: _____
Existing Zoning: _____
Existing Use: _____
Proposed Use: _____
Future Land Use Identification: _____

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/Resources/Documents/Maps.htm>

Site Plan/Site Plan Amendment submittals for review must include and be accompanied by the following:

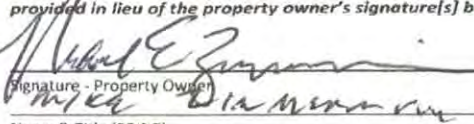
- ☐ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☐ Application Filing Fee, payable to City of Franklin: ☐ Tier 1: \$2000 ☐ Tier 2: \$1000 (Lot size ≤ 1 acre)
☐ Tier 3: \$500 (≤ 10% increase or decrease in total floor area of all structures with no change to parking; or change to parking only).
- ☐ Legal Description for the subject property (WORD.doc or compatible format).
- ☐ Seven (7) complete collated sets of Application materials to include:
 - ☐ One (1) original and six (6) copies of a written Project Summary, including description of any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)
 - ☐ Seven (7) folded full size, drawn to scale copies (at least 24" x 36") of the Site Plan/Site Plan Amendment package. (The submittal should include only those plans/items as set forth in Section 15-7.0103, 15-7.0301 and 15-5.0402 of the Unified Development Ordinance that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc.)
 - ☐ Reduced size (11"x17") copies of the Site Plan/Site Plan Amendment package will be at Planning staff recommendation, if applicable.
- ☐ One colored copy (11"x17") of the building elevations, if applicable.
- ☐ One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3.0500 of the UDO).
- ☐ Three copies of the Natural Resource Protection report, if applicable (see Section 15-7.0103Q of the UDO).
- ☐ Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

•Upon receipt of a complete submittal, staff review will be conducted within ten business days. Additional materials may be required.

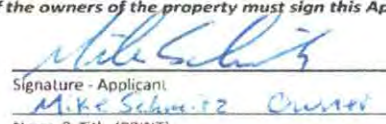
•Site Plan/Site Plan amendment requests require Plan Commission or Community Development Authority review and approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).


Signature - Property Owner
Name & Title (PRINT) _____
Date: 2-17-20

Signature - Property Owner
Name & Title (PRINT) _____
Date: _____


Signature - Applicant
Name & Title (PRINT) Mike Schmitz Owner
Date: 2/17/20

Signature - Applicant's Representative
Name & Title (PRINT) _____
Date: _____

Date of Application: _____

SPECIAL USE / SPECIAL USE AMENDMENT APPLICATION

Complete, accurate and specific information must be entered. Please Print.

Applicant (Full Legal Name[s]):

Name: Rock Snow Park, LLC
Company: Rock Snow Park, LLC
Mailing Address: 7011 S Ballpark Dr
City / State: Franklin, WI Zip: 53132
Phone: 414-235-8818
Email Address: info@rocksnowpark.com

Applicant is Represented by: (contact person)(Full Legal Name[s])

Name: Michael Schmitz
Company: Rock Snowpark
Mailing Address: 7011 S Ballpark Dr.
City / State: Franklin, WI Zip: 53132
Phone: 414-807-0909
Email Address: mike@rocksnowpark.com

Project Property Information:

Property Address: 7011 S Ballpark Dr
Property Owner(s): Roc Ventures
Mailing Address: 7044 S Ballpark Dr.
City / State: Franklin, WI Zip: 53132
Email Address: _____

Tax Key Nos: _____
Existing Zoning: _____
Existing Use: _____
Proposed Use: _____
Future Land Use Identification: _____

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/Resources/Documents/Maps.htm>

Special Use/Special Use Amendment submittals for review must include and be accompanied by the following:

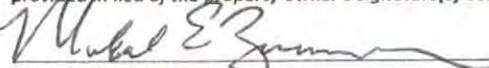
- ☐ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☐ Application Filing Fee, payable to City of Franklin:
 - ☐ \$1500, New Special Use over 4,000 square feet
 - ☐ \$1000 Special Use Amendment
 - ☐ \$750, New Special Use under 4,000 square feet
- ☐ Legal Description for the subject property (WORD.doc or compatible format).
- ☐ One copy of a response to the General Standards, Special Standards (if applicable), and Considerations found in Section 15-3.0701(A), (B), and (C) of the Unified Development Ordinance available at www.franklinwi.gov.
- ☐ Seven (7) complete collated sets of Application materials to include:
 - ☐ One (1) original and six (6) copies of a written Project Summary, including description of any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)
 - ☐ Three (3) folded full size, drawn to scale copies (at least 24" x 36") of the Site Plan/Site Plan Amendment package. (The submittal should include only those plans/items as set forth in Section 17-7.0101, 15-7.0301 and 15-5.0402 of the Unified Development Ordinance that are impacted by the development. (e.g., Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc.)
 - ☐ Four (4) folded reduced size (11"x17") copies of the Site Plan/Site Plan Amendment package.
- ☐ One colored copy (11"x17") of the building elevations, if applicable.
- ☐ Three copies of the Natural Resource Protection Plan and report, if applicable (see Section 15-4.0102 & 15-7.0201 of the UDO).
- ☐ Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

•Upon receipt of a complete submittal, staff review will be conducted within ten business days.

•Special Use/Special Use Amendment requests require Plan Commission review, a Public Hearing and Common Council approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).

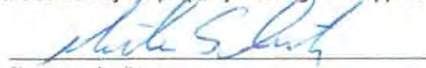

Signature - Property Owner
Mike Zeman
Name & Title (PRINT)

Date: 2-17-20

Signature - Property Owner

Name & Title (PRINT)

Date: _____


Signature - Applicant
Mike Schmitz Owner
Name & Title (PRINT)

Date: 2/17/20

Signature - Applicant's Representative

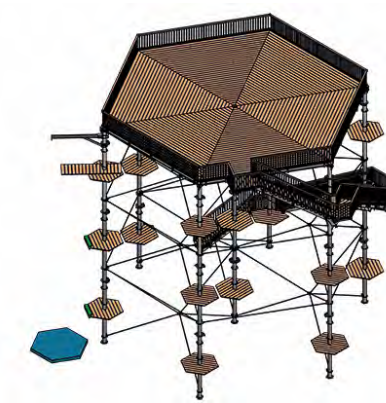
Name & Title (PRINT)

Date: _____

Rock Snow Park, LLC

Challenge Tower Project Summary & Preliminary Site/Development Plan

2/17/2020



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Consultant	2
The Tower	2
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Overview

Rock Snow Park, LLC is looking to build a challenge tower at the Rock Sports Complex. Some features of the tower include:

- 50 elements, including a kids course
- 50' x 50' octagonal footprint
- 50' tall, with 3 levels of obstacles and an observation deck on the top

Consultant

In preparing to do this study, we hired a challenge course expert to perform a feasibility study on the location. In his executive summary, he concluded:

The Rock Snow Park Aerial Park has the potential to be a profitable attraction. The site provides easy access and infrastructure, and the attraction would provide a great adventure experience for many of the area's visitors and residents. Not only would the venture benefit from the proposed location, but the unique aerial attraction may incentivize new customers to visit the area, creating a mutually beneficial relationship with other local businesses.

If positioned correctly and marketed well to residents throughout the area, the park should draw a large number of new visitors and see additional growth over time. The Strategic Adventures team has concluded that this project should take next steps, assuming that the projected returns fit within the owner's requirements.

-Paul Cummings, Strategic Adventures

The Tower

The challenge tower is currently constructed and standing in central Indiana. It was installed in 2016 and closed for numerous reasons, primarily location. The tower is a KristallTurm KT-7. KristallTurm is a reputable German company that has installed numerous challenge towers in the around the world and in the United States. Two of the more popular KT towers are:

<https://soaradventure.com/>

<https://castlerockziplinetours.com/sky-trek.html>

The challenge tower industry has oversight from the Association for Challenge Course Technology [ACCT]. ACCT is an American National Standards Institute (ANSI) accredited standards developer for the global challenge course, aerial adventure park, canopy tour, and zip line industry.

<https://www.acctinfo.org/>

If approved, the tower will be deconstructed, transported, and re-constructed by Adventure Development Team, and American based ACCT member. Once installed, the work of Adventure Development Team will be inspected and approved by another ACCT member.

Foundation

If approved, the foundation will be engineered by Glynn Engineering, a structural and soils engineering firm that has done foundation engineering for adventure towers in the past. We will work closely with the WDNR to determine limitations and restrictions given the nature of the landfill. After initial discussions with the WDNR, it is believed that the tower location is on clean fill and not on waste. This will avoid the geotechnical challenges of building on wastes and will not require department approval.

Costs

We project the total project cost to be \$741,030.

Start-up Costs			
Land and Improvements		\$	35,000
Attractions		\$	350,000
Equipment		\$	40,000
FF&E		\$	8,250
Personnel		\$	27,750
Marketing		\$	75,000
Professional Services		\$	92,600
Total Start-Up Costs		\$	628,600
Other Costs			
Contingency Capital	5% of Startup Cost	\$	31,430
Beginning Working Capital	3 Months Fixed Cost	\$	81,000
Total Project Cost		\$	741,030

Safety

Safety is of the utmost concern both for guests and employees of the adventure park. All more current challenge towers, including the one at our proposed site, use a smart-belay system. Once a participant enters the course, it is virtually impossible for them to unclip from the system until they are back safely

on the ground. If anyone falls from an obstacle, they never fall more than a few feet. If they are unable to rescue themselves, there are numerous course workers that can assist them. The course is designed so that course workers can safely lower customers to ground from anywhere on the course.

The ACCT as well as Adventure Development Team, offer numerous trainings and certifications to our staff to make sure that they and the guests are safe. All harnesses and equipment used are routinely inspected and certified annually to ensure proper function.

Access

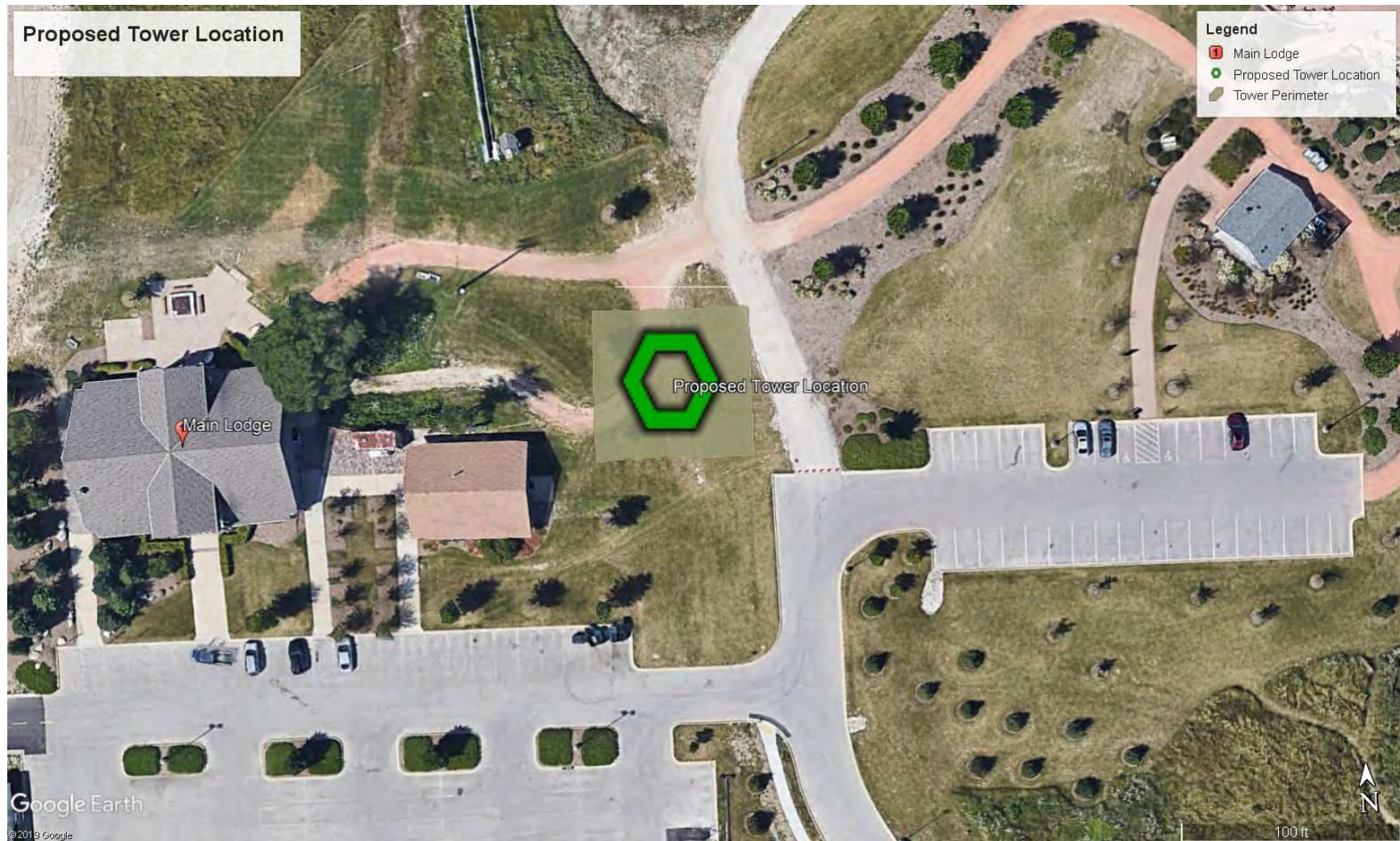
Access to the course outside of operating hours is a concern that we take very seriously. The entire course will be fenced off and lit for security at night. All points of access will have high-definition security cameras. The staircase (only point to enter the tower) is also gated and locked. Warning and No Trespassing signs will be made clearly visible from all points of access.

Summary

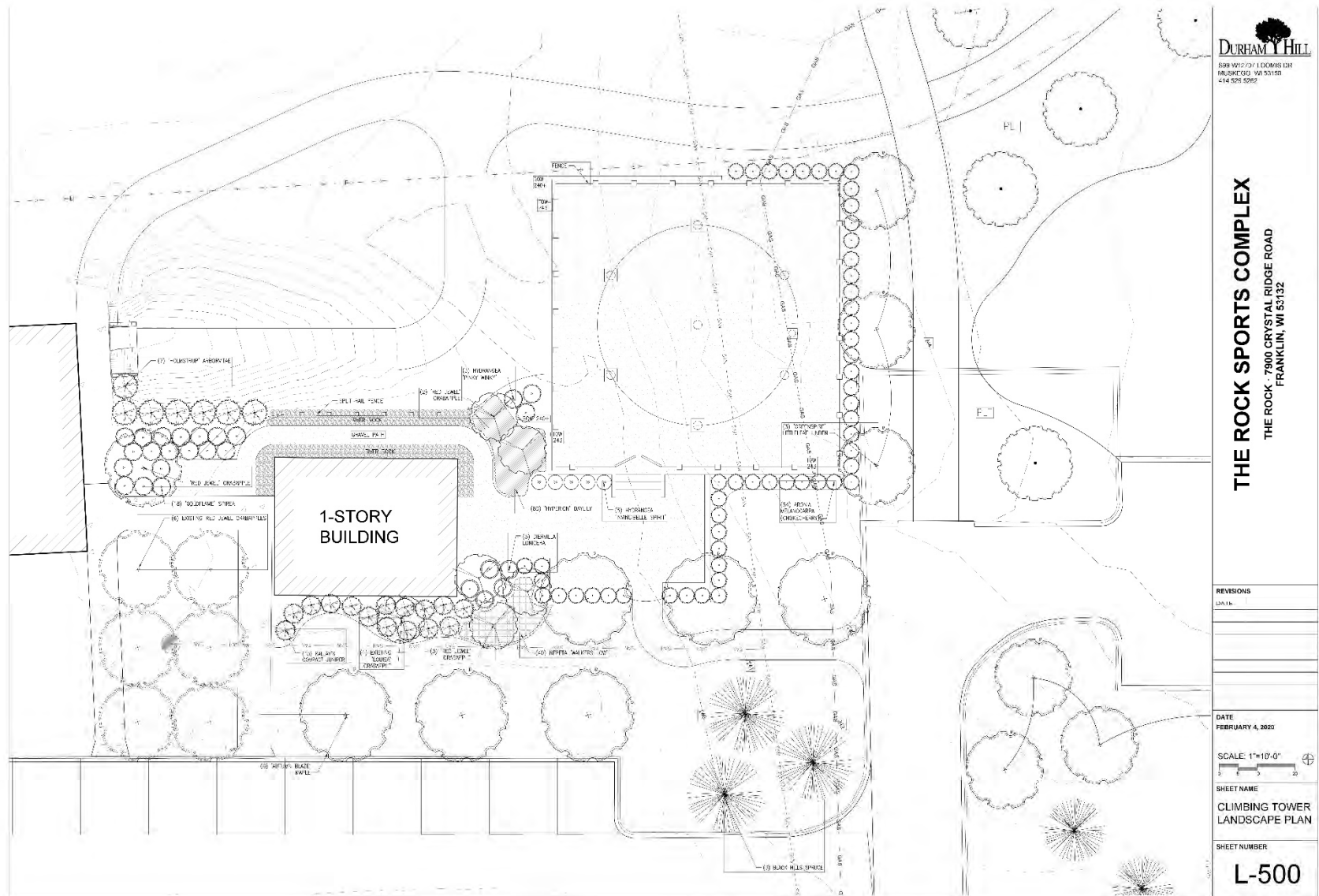
We believe that the proposed challenge tower matches the mission of Rock Snow Park to provide healthy, safe, outdoor recreation for families. The tower will not only provide a healthy and fun outlet for numerous current visitors to Ballpark Commons, but it will draw thousands of visitors to city on its own.

Exhibits

Aerial Map of Location



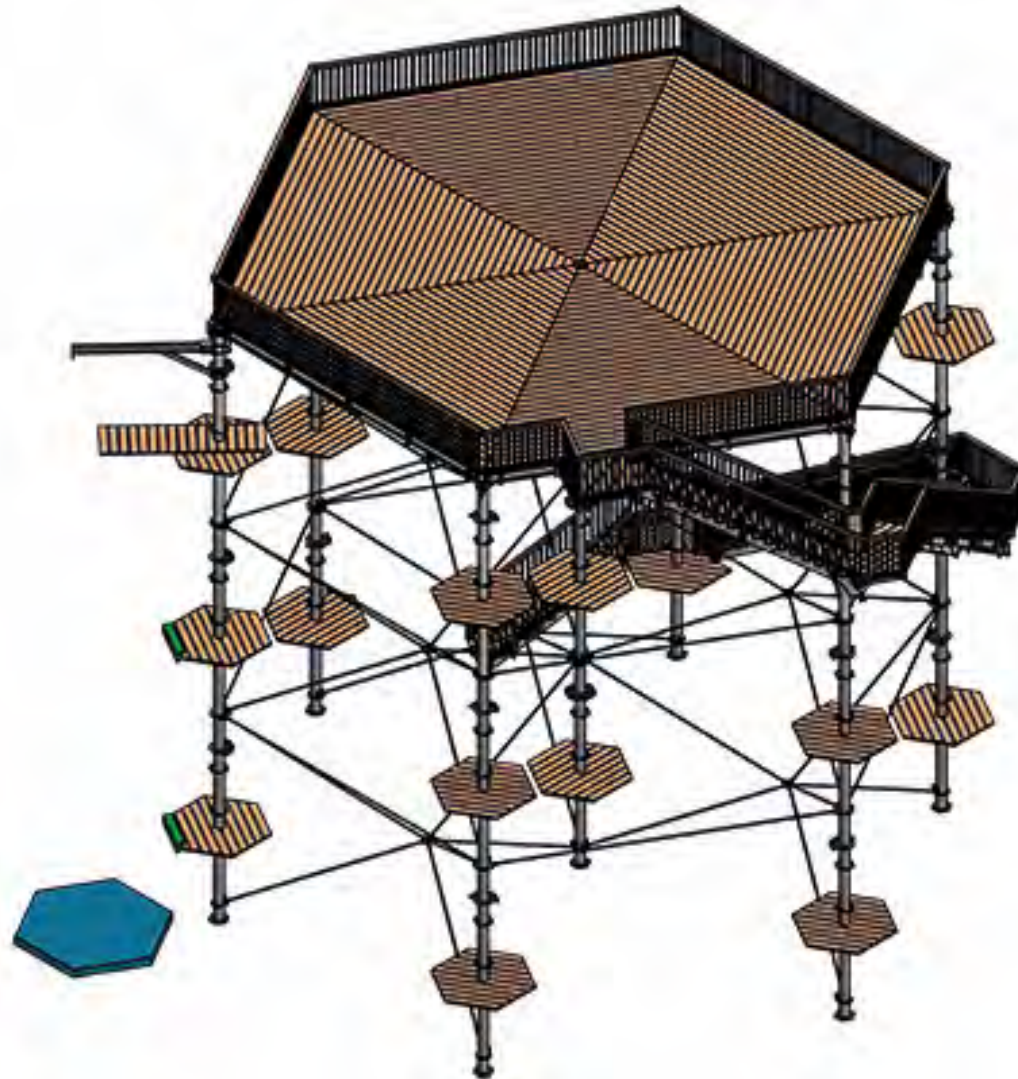
Landscape Plan



Photos of Complete KT-7 Towers



3-D Rendering of Complete Tower



3D View of Tower from different locations

View from Parking Lot



View from Entry Road



View from Umbrella Bar Parking Lot



View from mid Tower



View from top of Tower



Additional Drawings



KT_03900.pdf



KT_04_Stern.pdf



KT_7_Pole_Mini_To
p.pdf



overview.pdf



Ziplinefoundations
plan.pdf



game to tower.pdf



end station and
tower.pdf



E2015.115 - S100
FOUNDATION PLAN



Fundament-Mini-Pl
attform.dwg



KT_03900.dwg

MEMORANDUM

Date: March 26, 2020
To: Mike R. Schmitz
From: Department of City Development
RE: Challenge Tower, applications for Special Use and Site Plan – 7011 S Ballpark Drive

Staff comments are as follows for Special Use and Site Plan applications submitted on February 27, 2020, to allow for a Challenge Tower at Ballpark Commons.

City Development Department comments

Special Use

1. Please be aware that challenge towers are not specifically listed as permitted/special use in the PDD Ordinance No. 2019-2368. However, per Unified Development Ordinance (UDO) Section §15-2.0210. when a use is not specifically listed a "Permitted Use," "Special Use," or "Accessory Use," it shall be assumed that such a use is expressly prohibited unless by a written decision of the Plan Commission it is determined that said use is similar to, and not a more measurably intense use, than the use listed.
2. With regards to the general standards for special uses set forth in the Unified Development Ordinance (UDO) §15-3.0701., please note the following:

2. No Undue Adverse Impact. The proposed challenge tower structure would be located on top of sanitary and gas lines. Please provide additional information about any potential impact of the proposed structure to said utility lines, including maintenance operations.

The sewer line under the tower is private. The tower will have no impact on the utilities and we will be responsible for any future maintenance or service to the utilities.

5. No Traffic Congestion. Please provide parking calculations or parking study for the proposed use, staff acknowledges that this use is not listed in the parking schedule (Table 15-5.0203) of the UDO. It is noted that per Planned Development District (PDD) Ordinance 2019-2368, §15-3.0442A(D)(2)(b): *Utilization of parking on any adjacent site is prohibited and shall not be counted towards parking requirements unless prior approval of the Plan Commission is obtained and subject to recorded shared parking agreements/easements/etc.*

Per the parking table, the closest matched use is that of a resort with a 3 patrons per parking space ratio. Given the capacity of the tower at 30 people and a possible 10 people in cue, 40 patrons is 13 spots. An additional 4 spots for staff vehicles brings the maximum parking calculation to 17 spots. To be noted, we anticipate a large percentage of the patrons to come from existing BPC customers already on site.

Site Plan

3. Pursuant to UDO §15-7.0103., please provide the following information:

C. Architect and/or Engineer's Name and Address.

Tom Earl

Durham Hill
S99W12707 Loomis Dr
Muskego, WI 53150

- E. Size of the site (in square feet or acres).
5,945 Square Feet
- H. Off-street parking spaces and loading areas. For details, see previous comment 2.5.
See Response to 2.5
- M. All setbacks. See setback requirements below (PDD Ordinance 2019-2368, §15-3.0442A(C)(2)):
- Minimum Front Yard (feet): 50
 - Minimum Side Yard (feet)(a): 20
 - Minimum Side Yard on Corner Lot (feet): 50
 - Minimum Rear Yard (feet)(a): 50

The Tower is in compliance with all minimum setback requirements.

- X. All existing and proposed easements.
A We Energies gas easement runs through the site. Because the structure is open air and consists of individual pier foundations, there will be no impact on the gas line or the ability to service it.
- DD. Additional information. Hours of operation.
Exact hours are TBD. 9am to sunset would be the maximum.

4. Per PDD Ordinance 2019-2368, §15-3.0442A(C)(1)., please provide updated calculations of Landscape Surface Ratio (LSR) and Floor Area Ratio (FAR). The base area for the LSR calculations is the entire Rock Sports Complex, not just the Challenge Tower site. For your convenience, the most recent LSR calculation is attached, please update such calculation by adding the proposed Challenge Tower site.
Previous LSR: 4,616,373 sq ft / 7,062,994 sq ft = 65.36%
LSR with Tower: 4,610,428 sq ft / 7,062,994 sq ft = 65.28%

For FAR calculations, you may use the horizontal areas of each floor/level.

FAR Total Site: 7,854 sq ft / 7,062,994 (total site) = 0.11%
FAR Lot Development Potential: 7,854 sq ft / 4,610,428 sq ft (buildable area) = 0.17%
FAR of new Site Area: 7,854 sq ft / 5,945 sq ft (site area) = 132.11%

5. Fencing. Please provide details for the proposed fences, including but not limited to: fence type, height, materials, colors and openings. Per PDD Ordinance 2019-2368, §15-3.0442A(D)(1)(b)., *Fencing shall be constructed only of permanent, high quality materials such as black vinyl coated chain link fencing with or without privacy slats, pressure-treated wood, masonry, or metal, and shall be approved by the Plan Commission in every instance.*

Fencing will be 6' high black vinyl coated chain link without privacy slats consistent with the rest of the property.

6. Any proposed signs other than “Warning” and “No Trespassing” signs? If so, please provide details.

Yes. See Attachment A.

7. Please provide details of proposed pedestrian walkways. Per PDD Ordinance 2019-2368, §15-3.0442E(B)(2)(c), colored paver blocks or textured concrete as well as lighting is recommended.

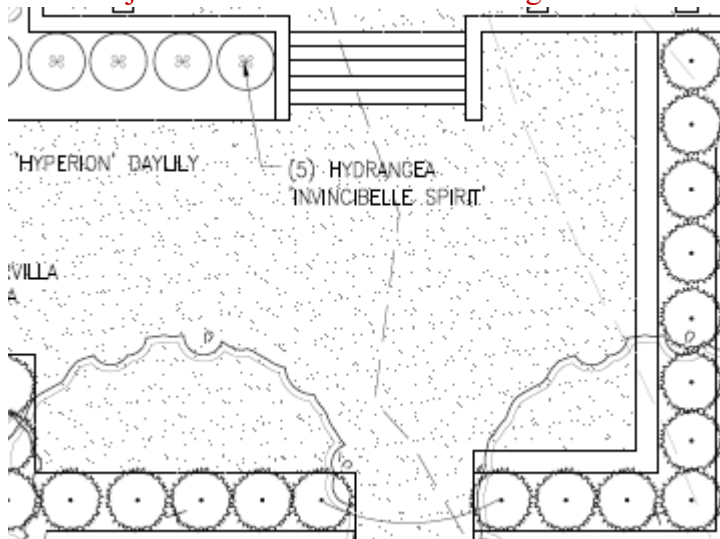
Walkways will be textured concrete.

8. Per PDD Ordinance 2019-2368, §15-3.0442E(B)(2)(e), bicycle and pedestrian amenities are required. Please add location, quantity and details of proposed site amenities, such as bike racks, benches, trash receptacles, bollards, etc.

Area is not adjacent to any bike trails. Bicycle parking already exists on property closer to the Oak Leaf Trail. Area around tower will have ample outdoor trash cans and benches for pedestrian traffic.

9. Submitted renderings show a seating area south of the proposed Challenge Tower, but this is not depicted in the landscape plan (sheet L-500). Please clarify.

The area just south of the tower is seating area.



10. Any external storage, mechanical equipment or trash collection area?

No Additional. All storage will be in existing buildings and trash collection be using existing dumpster enclosures.

Landscaping

11. Pursuant to PDD Ordinance §15-3.0442A(D)(4). Landscaping, *plantings shall be provided with a minimum (2) two-year plating guaranty*. Please add a note to the landscape plan indicating the provision of a planting guaranty.

We will obtain a planting guaranty from the landscape contractor.

12. Pursuant to UDO §15-5.0303(D). Permanent, on-site, outdoor irrigation is required to all new living landscaped areas. Please add irrigation information to the landscape plan.

Hose bibs on adjacent building will be used for irrigation and are located within 100’.

Inspection Services Department comments

13. A “challenge tower” is not a regulated amusement ride in Wisconsin. Regardless, we would still require a Building Permit for the structure. The Building Permit must include signed/sealed engineering drawings and an owner’s manual detailing operation and maintenance of the structure. My preliminary thought is that the main support structure, roof, stairways, guards, handrails and platforms will be regulated by the Building Code. The “challenge” components of the structure would be regulated indirectly by the details in the operation and maintenance manuals.

Engineering Department comments

14. The City will not allow any structures to be built on top of the public utilities for maintenance purposes, though this is a private sanitary line, I’m suggesting to relocate the proposed structure away from the private sanitary line.
15. As with all of the lots within BPC, they [applicant(s)] have to show this construction is in line with the approved SWMP for the entire development.

Fire Department comments

I agree with Scott [Inspection Services Department]. I don’t really have any concerns from a fire code perspective.... Just overall concern for general safety precautions and who would enforce/regulate them.

The challenge tower industry has oversight from the Association for Challenge Course Technology [ACCT]. ACCT is an American National Standards Institute (ANSI) accredited standards developer for the global challenge course, aerial adventure park, canopy tour, and zip line industry.

<https://www.acctinfo.org/>

If approved, the tower will be deconstructed, transported, and re-constructed by Adventure Development Team, and American based ACCT member. Once installed, the work of Adventure Development Team will be inspected and approved by another ACCT member.

All operations of the tower will be in compliance with best practices and standards proposed by the ACCT and will follow all operating procedures, maintenance, and recommendations contained in the manufacture’s manuals.

Requirements and Rules

The facility is like a sports equipment. Therefore only persons who are physically and mentally able to follow the guides' instructions are allowed to use the facility. A physically and mentally state of the visitor that poses no risk for the visitor himself or other persons is a precondition for participation.

Not allowed to participate:



Persons under the influence of drugs or alcohol



Persons with health problems



Pregnant women

Safety information:



Smoking is prohibited while wearing PPE



Risk of falling objects underneath the climbing levels



Risk of falls! Only enter marked areas with suitable safety equipment



Wear solid shoes.
No high heels, flip-flops or barefoot.



Remove scarfs to avoid strangulation.



Do not tie headscarves below the chin to avoid strangulation.



Remove hair pins.
Tie back long hair (shoulder length or longer).



Remove jewelry, especially rings, chains, piercings, etc.



Loose objects e.g. mobile phones and keys may not be carried.

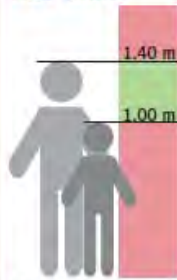


Bulky and pointed objects like selfie sticks, umbrellas, sticks, etc. may not be carried.



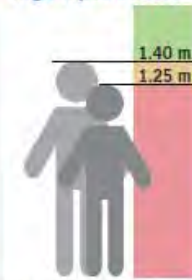
Glasses should be secured with a sports band.

Kids' Course



- 3 - 8 years or
- 100 - 140 cm

High ropes course



- from 6 years or 125 cm
- under 10 years or 140 cm: Accompanied by an adult + Full-body harness
- max. 120 kg

Zip Line



- from 8 years or 140 cm

Giant Swing

- from 6 years or 125 cm
- max. 80 kg per person

Abseiling devices

- 20 kg - 120 kg

Handling of Personal protective equipment (PPE):



Don't clash carabiners against each other.



Don't drop carabiners and don't drag them on the ground.



Don't smoke while wearing PPE: Burn holes



Remove harness, when going to the toilet.
Splashes of urine are unhygienic and damage the material.



Every time the PPE is put on again (e.g. after toilet), a guide has to check the PPE again.



Hold harnesses and slings away from sharp items.

DIVISION 15-3.0700

SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701

GENERAL STANDARDS FOR SPECIAL USES

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response: We feel the Challenge Tower will be in harmony with the district intent “to provide a multi-use sports and entertainment complex where the recreational needs of area residents can be met without undue disturbance of natural resources and adjacent uses”.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response: The tower fits well with the uses of the surrounding property and offers an additional recreation option enhancing the overall development.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response: The tower will be a compliment to the surrounding development. While the tower is 50’ tall, it will be far from the tallest feature in the area. Stadium lights, Golf nets (170’ tall), lighting on the ballfields and ski hill, and the ski hill itself are all taller than the proposed.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response: Located within ballpark commons, all essential facilities and services are in place.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic

congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The tower has a limited number of participants at any given time (about 20) and will not significantly impact traffic congestion.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response: The proposed will have minimal impact on any natural or historic features.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response: Although "Challenge Tower" is not specifically listed as a permitted use, it is similar to the listed special uses in the PDD Ordinance.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response: NA

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response: The site provides easy access and infrastructure, and the attraction would provide a healthy, safe family friendly adventure experience for many of the area's visitors and residents. Not only would the venture benefit from the proposed location, but the unique aerial attraction may incentivize new customers to visit the area, creating a mutually beneficial relationship with other local businesses.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response: A multi-use sports and entertainment complex is the perfect location for this type of attraction. We feel this is the most appropriate site in Milwaukee County.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response: The tower will be fenced and screened with landscaping to blend with the surrounding development.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response: The Ballpark Commons development is a blend of multiple recreational uses. The proposed challenge tower is consistent with the intent of the PDD does not set a new precedent for the area.

Proposed
Tower
Location
x



MADISON : MILWAUKEE
jla-op.com

JLA PROJECT NUMBER 16-0909



BALLPARK
COMMONS
APARTMENTS

CONSTRUCTION
DOCUMENTS-REVIEW SET

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE FEBRUARY 27, 2018

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

MASTERPLAN -
NORTH

SHEET NUMBER

ASP-111





S99 W12707 LOOMIS DR
MUSKEGO, WI 53150
414.529.5262

THE ROCK SPORTS COMPLEX

THE ROCK · 7900 CRYSTAL RIDGE ROAD
FRANKLIN, WI 53132

REVISIONS

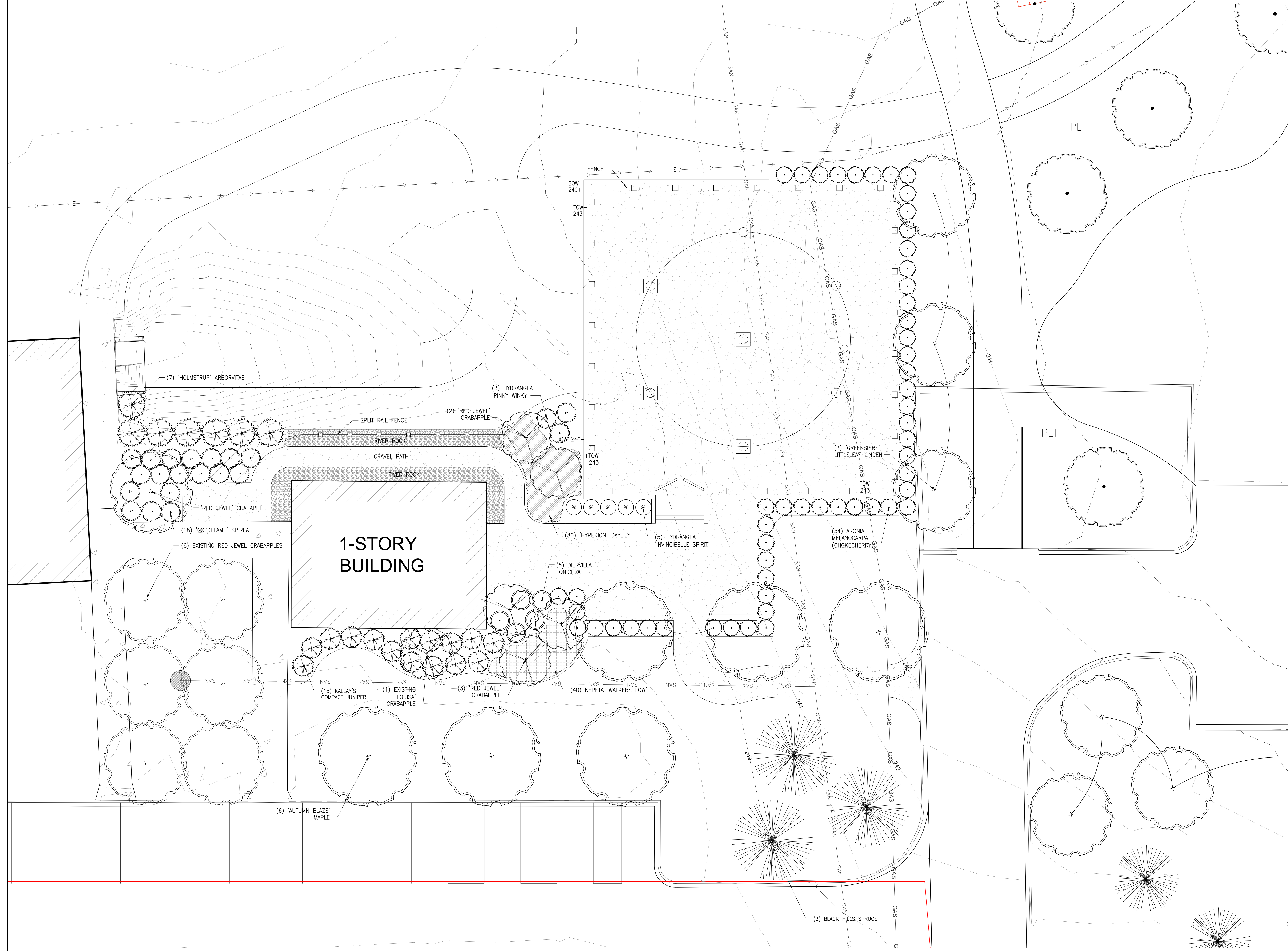
DATE	

DATE
FEBRUARY 4, 2020

SCALE: 1"=10'-0"

SHEET NAME
CLIMBING TOWER
LANDSCAPE PLAN

SHEET NUMBER
L-500

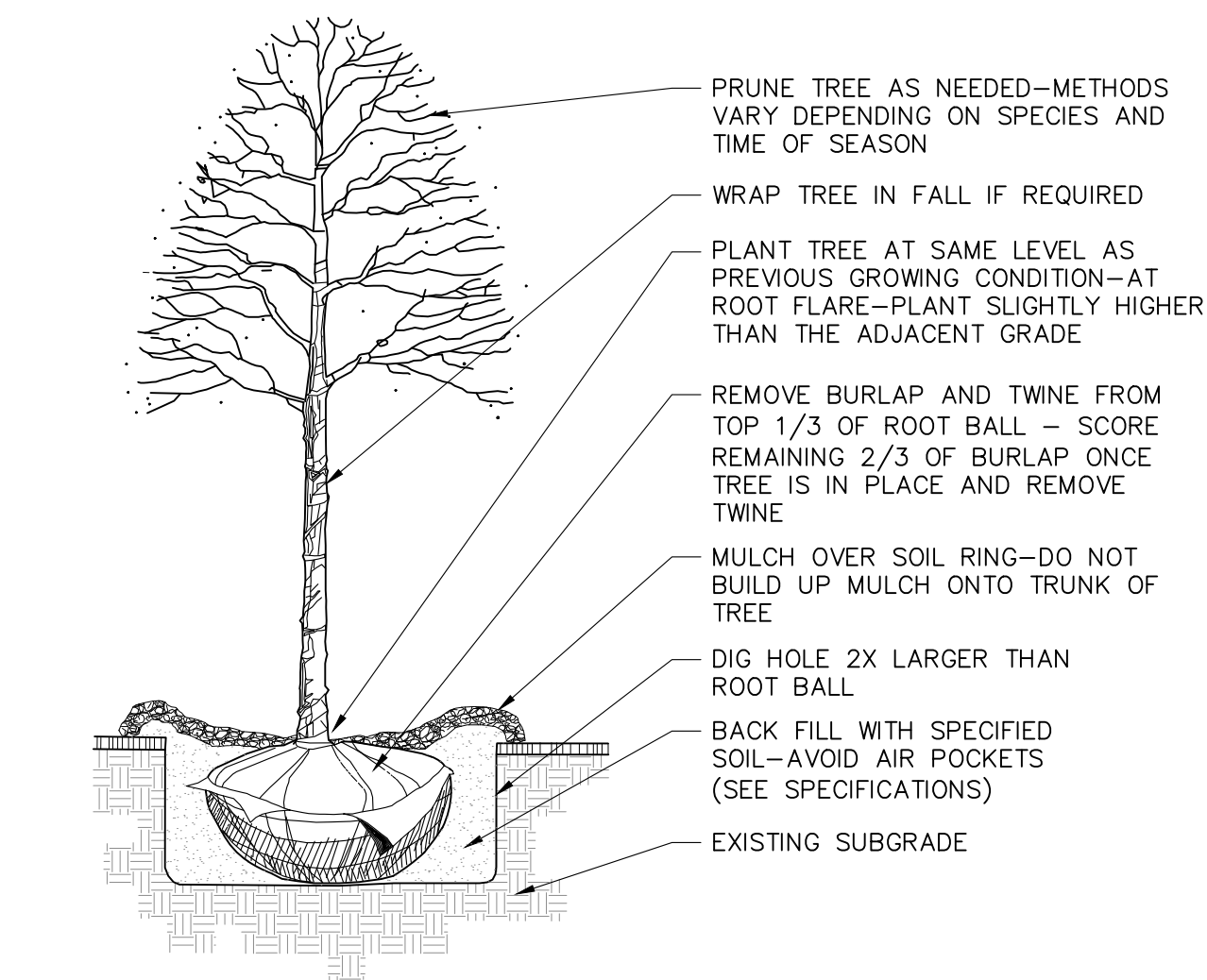


Landscape notes:

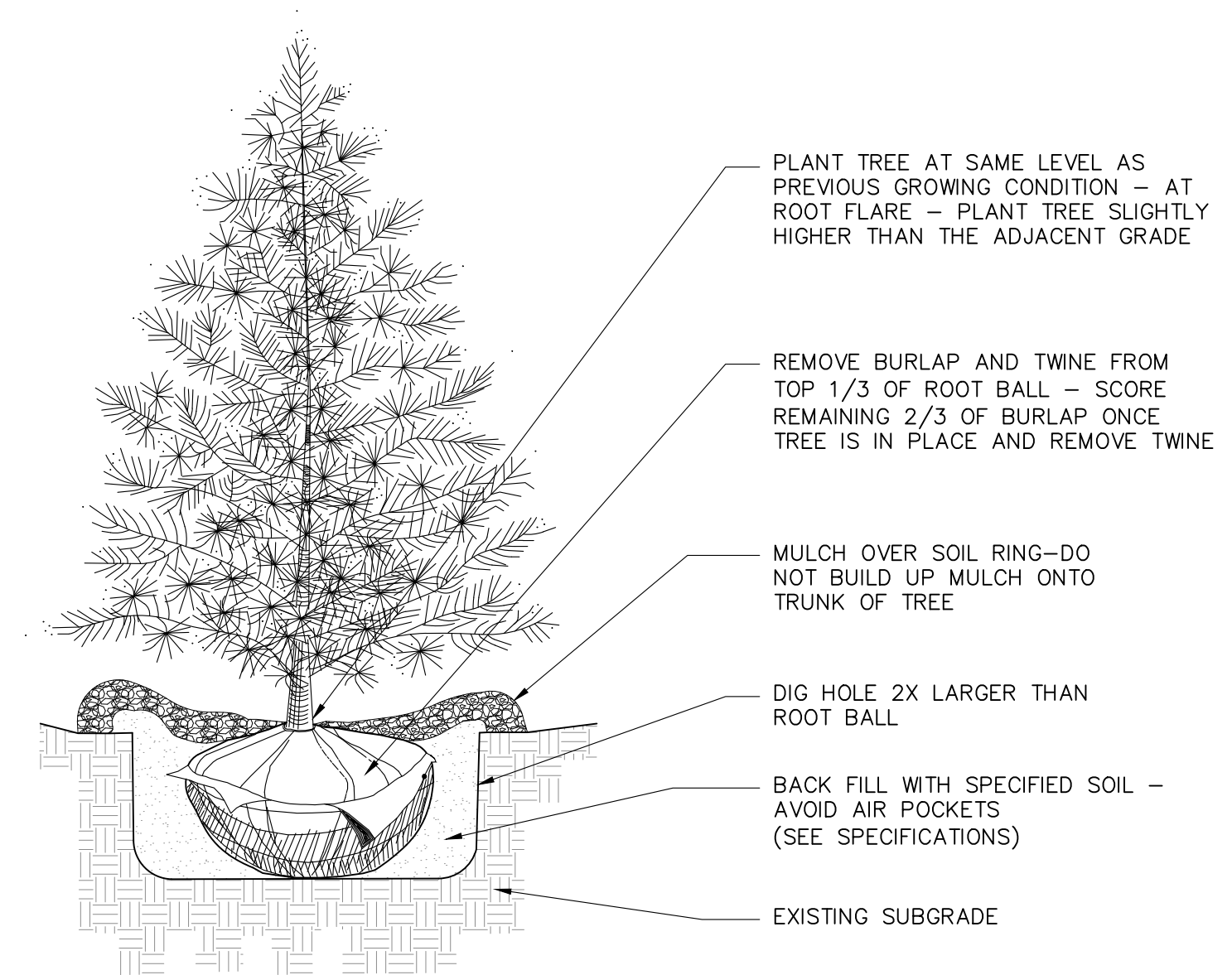
- 1) Contractor to call Digger's Hotline ((800) 242-8511) and have property marked before starting work.
- 2) Plant Bed preparation: furnish and install a 5” depth of screened blended topsoil and a 1” depth of plant starter compost. Rototill with existing soil.
- 3) Use 1/3 plant starter mixed with 2/3 existing soil for trees planted in lawn.
- 4) Furnish a spaded bed edge between lawn and plant beds.
- 5) Furnish and install a 3” depth of shredded bark mulch in planting beds and in 4-5' diameter circle around trees in the lawn.
- 6) Furnish and install a 1” depth of topsoil, Conserv FS Sunny Deluxe mix (98/85 Kentucky Bluegrass Fine perennial Ryegrass VNS Creeping Red Fescue VNS) or equivalent, starter fertilizer, and straw mulch in mowed turf grass areas as per plan.

CLIMBING TOWER PLANT LIST

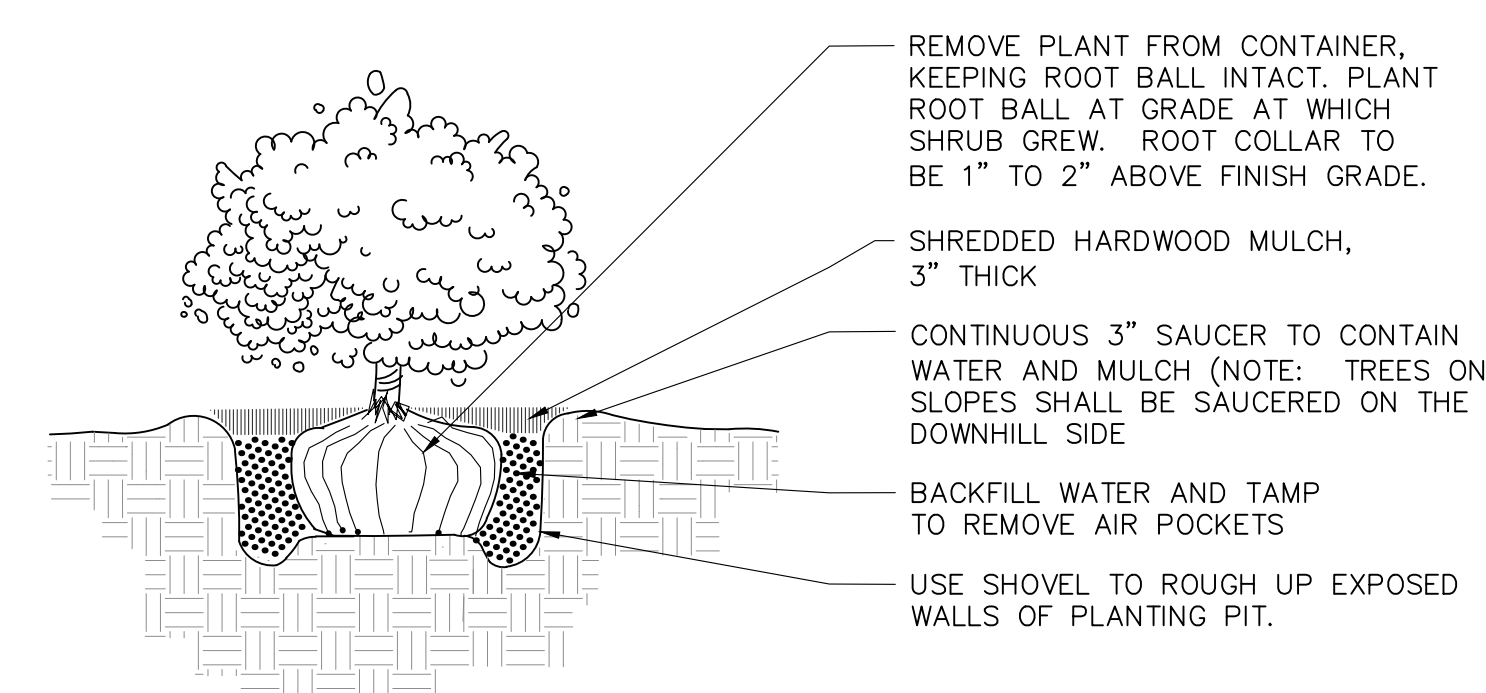
TREES			
SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
Acer x freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	6	2" B&B
Malus 'Red Jewel'	Red Jewel Crabapple	6	2" B&B
Picea glauca var. densata	Black Hills Spruce	3	6'
Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	7	6'
Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	3	2" B&B
SHRUBS			
SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
Aronia melanocarpa 'Brilliantissima'	Chokecherry	54	5 gal
Diervilla lonicera	Dwarf Bush Honeysuckle	5	5 gal
Hydrangea 'Invincibelle Spirit'	Invincibelle Spirit Hydrangea	5	5 gal
Hydrangea 'Pinky Winky'	Invincibelle Spirit Hydrangea	3	5 gal
Juniperus 'Kallay's Compact'	Kallay's Compact Juniper	15	5 gal
Spiraea japonica 'Goldflame'	Goldflame Spirea	18	5 gal
PERENNIALS			
SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
Hemerocallis 'Hyperion'	Hyperion Daylily	80	1 gal
Nepeta 'Walker's Low'	Walker's Low Nepeta	40	1 gal



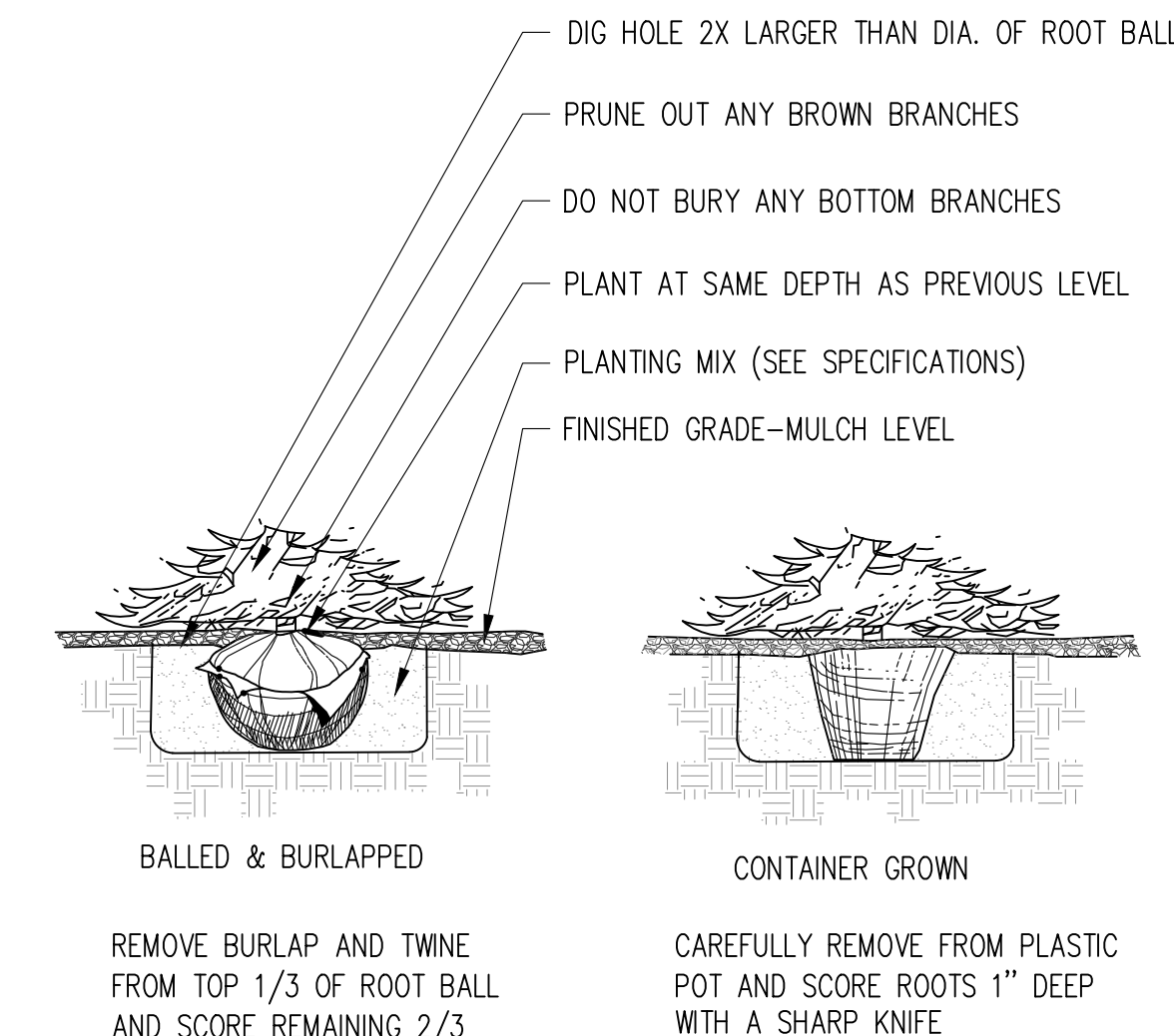
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



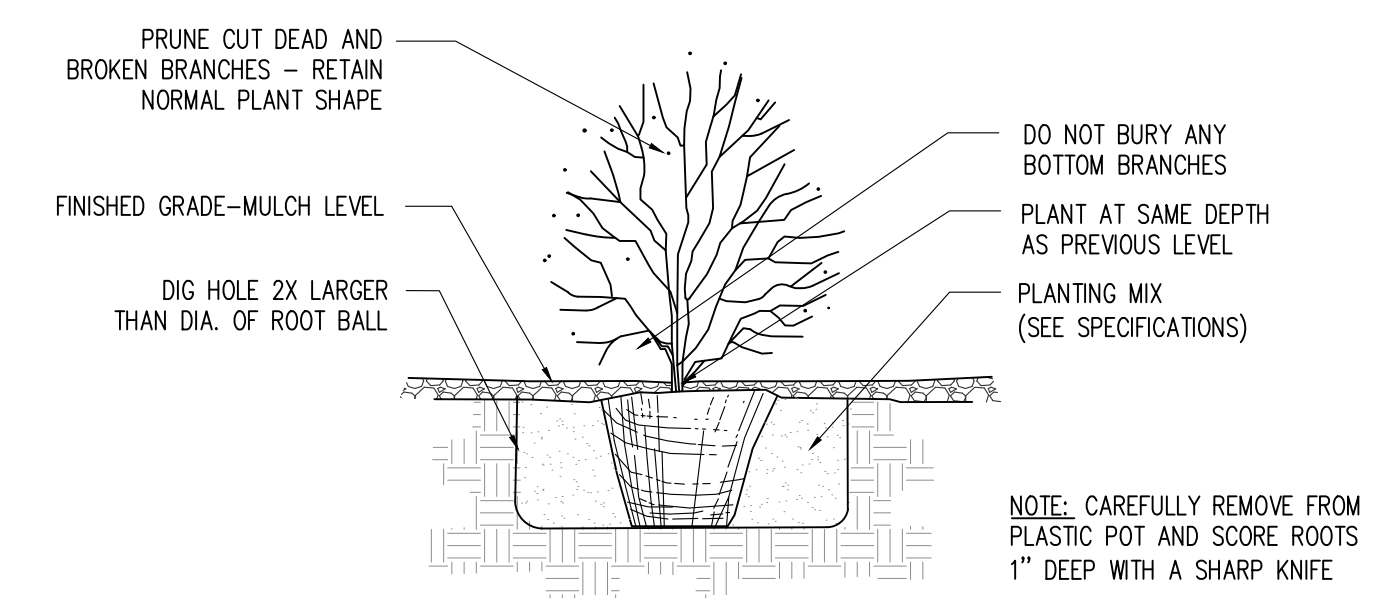
2 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



3 SHRUB PLANTING DETAIL
NOT TO SCALE



4 EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE



5 POTTED PERENNIAL PLANTING DETAIL
NOT TO SCALE

REVISIONS	
DATE	
DATE FEBRUARY 4, 2020	
SHEET NAME PLANTING DETAILS	
SHEET NUMBER L-600	

Challenge Tower Legal Description

LOT 1 OF CERTIFIED SURVEY MAP NO. 9041

A REDIVISION OF PARCELS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 3931, OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 3107, OUTLOT 1 OF WHITNALL VIEW ADDITION NO. 1, THAT VACATED PORTION OF CRYSTAL RIDGE DRIVE AAS RECORDED IN THE MILWAUKEE COUNTY REGISTER OF DEEDS AS DOCUMENT NO. 10773453 AND LANDS IN THE SOUTHWEST $\frac{1}{4}$ AND SOUTHEAST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$, THE NORTHEAST $\frac{1}{4}$, SOUTHEAST $\frac{1}{4}$, SOUTHWEST $\frac{1}{4}$ AND NORTHWEST $\frac{1}{4}$ OF THE SOUTHEAST $\frac{1}{4}$ AND THE SOUTHEAST $\frac{1}{4}$ OF THE SOUTHWEST $\frac{1}{4}$ ALL IN SECTION 4, TOWN 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

Item 7 Foundation loads

The foundation loads were determined from a spatial bearing structure on the basis of the following load cases and load case groups. (From item 6.1.1)

Individual load case The load cases don't include the partial safety factors at this point

Load case LF1 dead weight
Without the stations

Load case LF2 minimum dead weight of the stations
 $G = 100 \text{ kg}$ is assumed for each section.

Load case LF3 maximum dead weight of the stations
 $G = 200 \text{ kg}$ is assumed for each section.

Load case LF4 live load (same value as for potential snow load)
The entire stage is subjected to a load of $p = 3.50 \text{ KN/m}^2$.
The stairs are also taken into consideration with a snow width of 80cm $p = s = 0.8 \times 3.50 = 2.8 \text{ KN/}$.

Load case LF5 Storm load in X direction
With the areas of the stations subject to wind loading
Area from $z = 0$ to 10m $q_{eq(10)} = \mathbf{0.80 \text{ KN/m}}$
Area from $z = 10$ to 20m $q_{eq(10)} = \mathbf{1.00 \text{ KN/m}}$

Load case LF6 Storm load in Y direction
analogous to LF5

Load groups

These loads already include the partial safety factors.

All load groups (with the stability analysis using 2nd order theory)

The operating wind is 30% of the storm load. (Factor 0.30 or $1.35 \times 0.30 = 0.405$)

Load group LG1

System fully loaded in operation with heavy stations and X operating wind $1.35 \times \text{LF1} + 1.35 \times \text{LF3} + 1.35 \times \text{LF4} + 0.3 \times 1.35 \times \text{LF5}$

Load group LG2

System almost empty in operation with light stations and X operating wind $1.35 \times \text{LF1} + 1.35 \times \text{LF2} + 0.3 \times 1.35 \times \text{LF5}$

Load group LG3

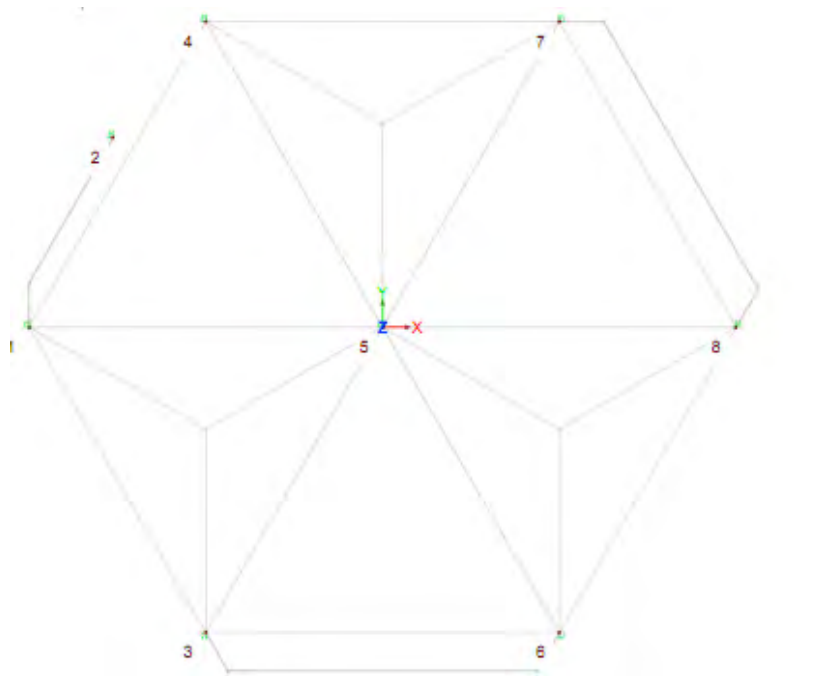
System not in operation with light stations and X storm
 $1.35 \times \text{LF1} + 1.35 \times \text{LF2} + 1.35 \times \text{LF5}$

Load group LG4

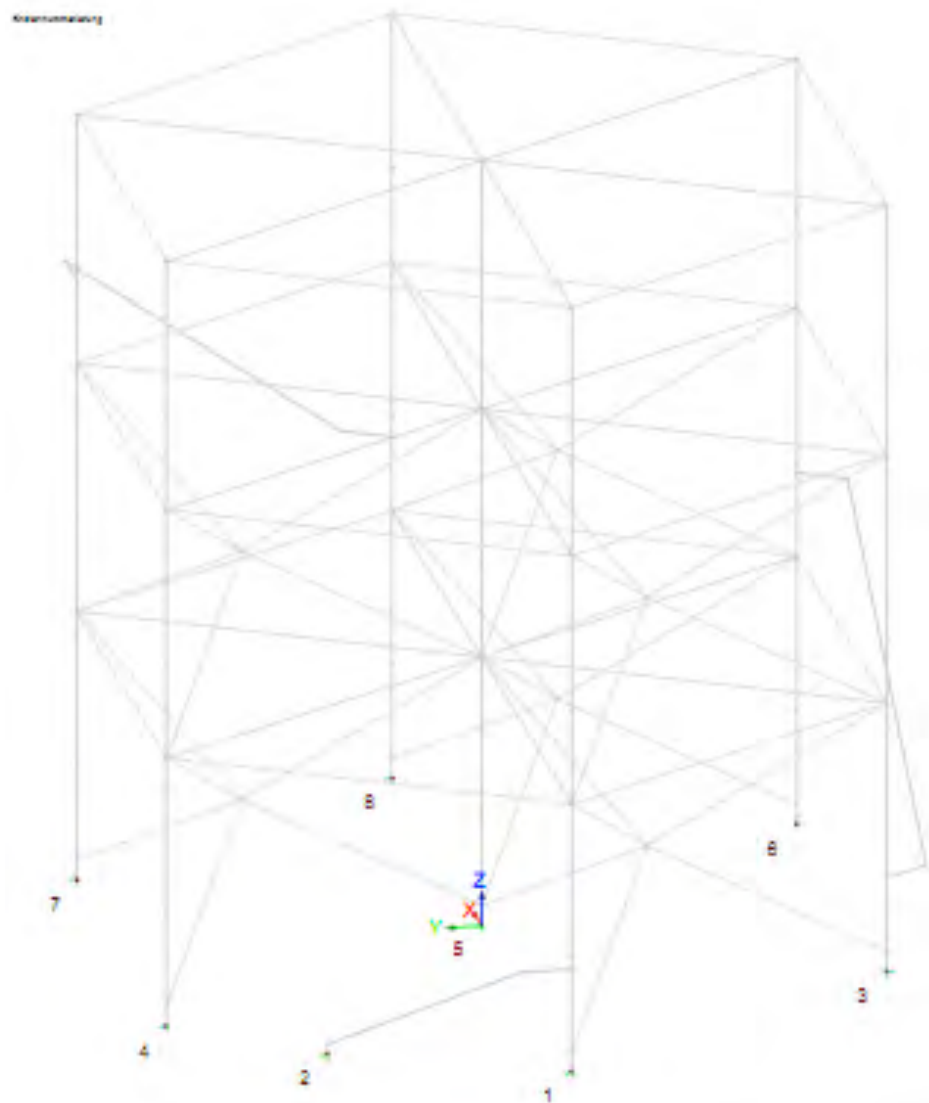
System out of operation with light stations and Y storm
 $1.35 \times \text{LF1} + 1.35 \times \text{LF2} + 1.35 \times \text{LF6}$

Bearing points

Point numbering



Point numbering



From bearing structure 36
Foundation loads from load group LG1

	Bearing reaction forces [kN]			res Q	
Point no.	Px	Py	Pz	Pxy	
1	8.78	-8.48	-56.12	12.21	
2	1.06	2.29	-11.06	2.52	Stairs
3	0.94	7.44	-72.51	7.50	
4	8.39	-4.81	-46.66	9.67	
5	6.38	0.77	-84.96	6.43	Center
6	1.14	3.47	-79.61	3.65	
7	0.71	-0.13	-84.75	0.72	
8	0.18	-0.56	-88.75	0.59	
Σ Bearing	27.58	-0.01	-524.42		
Max	8.78	7.44	-11.06	12.21	
Min	0.18	-8.48	-88.75		

Foundation loads from load group LG2

	Bearing reaction forces [kN]			res Q	
Point no.	Px	Py	Pz	Pxy	
1	7.45	-6.05	-18.86	9.60	
2	1.08	2.35	-3.91	2.59	Stairs
3	1.99	4.53	-30.63	4.95	
4	8.40	-4.66	-16.95	9.61	
5	6.92	0.56	-46.68	6.94	Center
6	0.80	3.50	-35.76	3.59	
7	0.55	-0.02	-42.67	0.55	
8	0.38	-0.20	-42.96	0.43	
Σ Bearing	27.58	0.00	-238.42		
Max	8.40	4.53	-3.91	9.61	
Min	0.38	-6.05	-46.68		

Foundation loads from load group LG3

	Bearing reaction forces [kN]			res Q	
Point no.	Px	Py	Pz	Pxy	
1	24.59	-17.26	5.77	30.04	
2	2.53	5.50	-5.80	6.05	Stairs
3	7.02	13.44	-25.78	15.16	
4	29.14	-16.01	8.30	33.25	
5	24.02	2.45	-48.03	24.14	Center
6	1.86	12.37	-40.83	12.51	
7	1.51	-0.09	-67.13	1.51	
Σ Bearing	1.28	-0.40	-64.92		
Max	29.14	13.44	8.30	33.25	
Min	-1.51	-17.26	-67.13		

Foundation loads from load group LG4

	Bearing reaction forces [kN]			res Q	
Point no.	Px	Py	Pz	Pxy	
1	2.48	-9.67	-48.84	9.98	
2	6.68	14.86	-11.33	16.29	Stairs
3	-0.56	33.25	7.05	33.25	
4	2.82	-0.89	-42.26	2.96	
5	3.17	24.05	-37.93	24.26	Center
6	0.30	38.24	7.44	38.24	
7	-10.29	-4.52	-58.23	11.24	
8	-4.60	-1.74	-54.32	4.92	
Σ Bearing	0.00	93.57	-238.42		
Max	6.68	38.24	7.44	38.24	
Min	-10.29	-9.67	-58.23		

Notes on the foundation loads

This calculation is based on $6 + 1 + 1 = 8$ individual foundations. The horizontal loads are therefore also highly dependent on the structural rigidity. For connected foundations, only one overall ΣH has to be derived. The foundation sizes are dependent on the respective building ground and can only be determined on site. These loads already include the partial safety factors. The dead weight of the foundations below the supports is assumed to be at least 10 kN. Lift-off loads above 10 kN are then absorbed by the steel structure. The leg supports were calculated as pin joints but should have a small amount of torsional stiffness for the installation load safety factors. Point 2 only shows the support of the bottom step and is subsequently considered separately.

On all 7 supports (without point 2)

Absolute maximum values, on the base plates of the 7 supports

max. bearing pressure: $V = -88.8 \text{ KN}$

max. bearing tension: max $V = +8.30 \text{ KN}$ (lift-off without the foundation dead weight)

max $Q = 38.24 \text{ KN}$

Anchors

Weight: 6 anchors Würth Fixanker DBL-(W-FAZ/A4)-A4-50M16 X 170 Hole $\varnothing 16.5$

Hole depth $\geq 110\text{mm}$

Characteristic values

Lift-off load per support $V = 8.3 \text{ KN}$

At tension of 64 KN (steel failure)

Pulling out with broken concrete C20/25 $N_{Rk,p} = 25 \text{ KN} < 8.3 / 6 = 1.4 \text{ KN}$ with 6 anchors
at a shear force $V_{Rk,s} = 55 \text{ KN}$ per anchor $>$ before $Q = 38.24 / 6 = 6.4 \text{ KN}$

At point 2 (support for the bottommost step)

max. bearing pressure: $V = -11.33 \text{ KN}$

max. bearing tension: (no lift-off load present)

max $Q = 16.3 \text{ KN}$ from LG4

2 anchors are sufficient here.

Further proof is unnecessary.

Final comments

The masses, loads and accelerations for this climbing system assumed under item 6.1.1 were, starting from the users down to the ground, traced according to the best knowledge and conscience from static and dynamic perspectives. The proof could be provided with sufficient certainty for the analysed components. All not explicitly proven components must be design engineered. Screws and connections must be secured to prevent unintended loosening. Maintenance intervals specified by the manufacturer must be observed. An expert visual inspection, in particular of the moving parts, performed at regular intervals can increase the service life of the overall system. Wooden parts which are no longer in good condition must be replaced in a timely manner. Pre-tensioning of the cables according to items 1 and 2 and of the tension rods according to item 5 must be checked. This also applies in case of changes to the installed components. The reactions from the cable loads must be traced and adjusted to the permissible values.

Ottobrunn, August 20, 2012

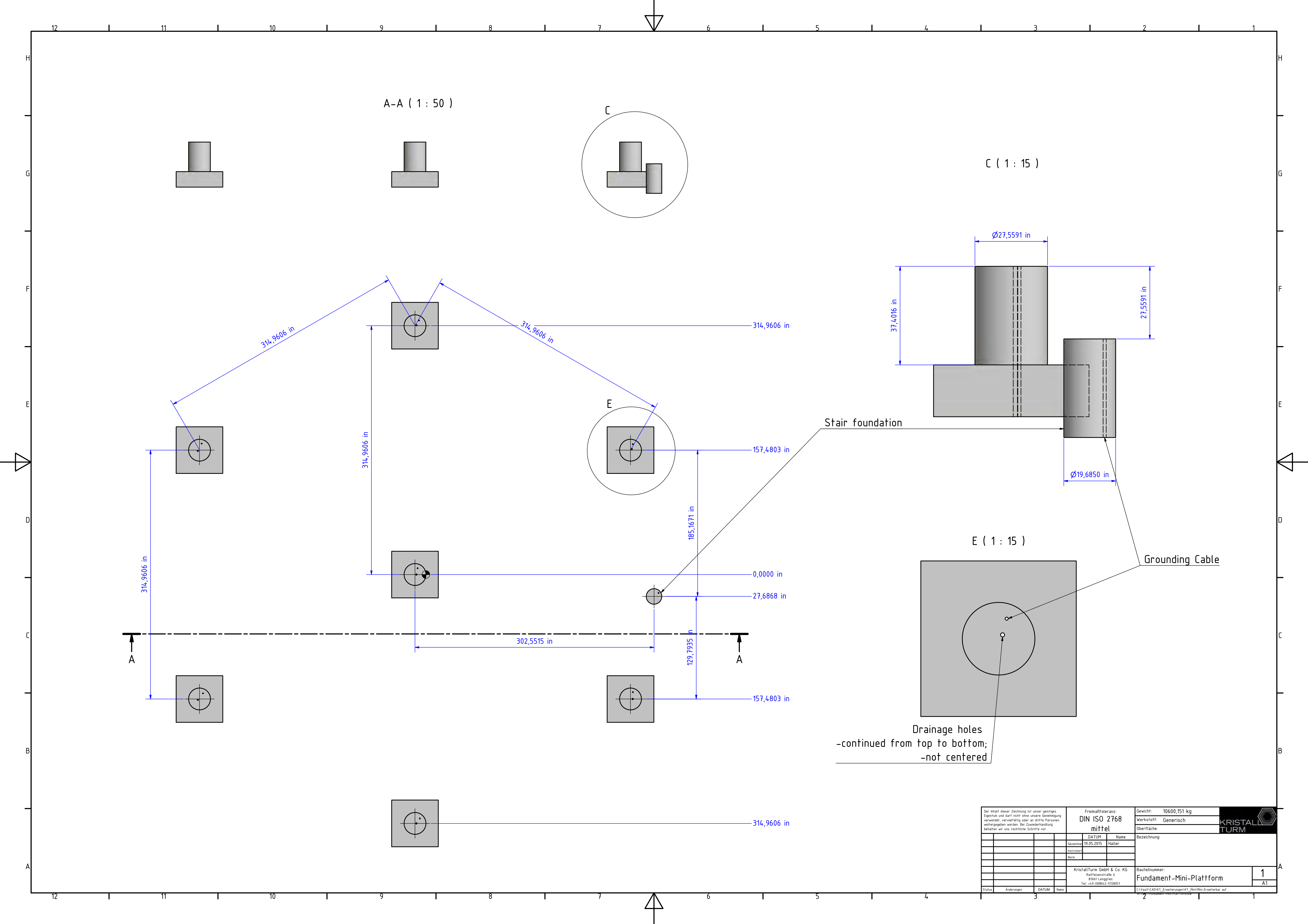
Dipl. Ing.(FH) Werner Steininger

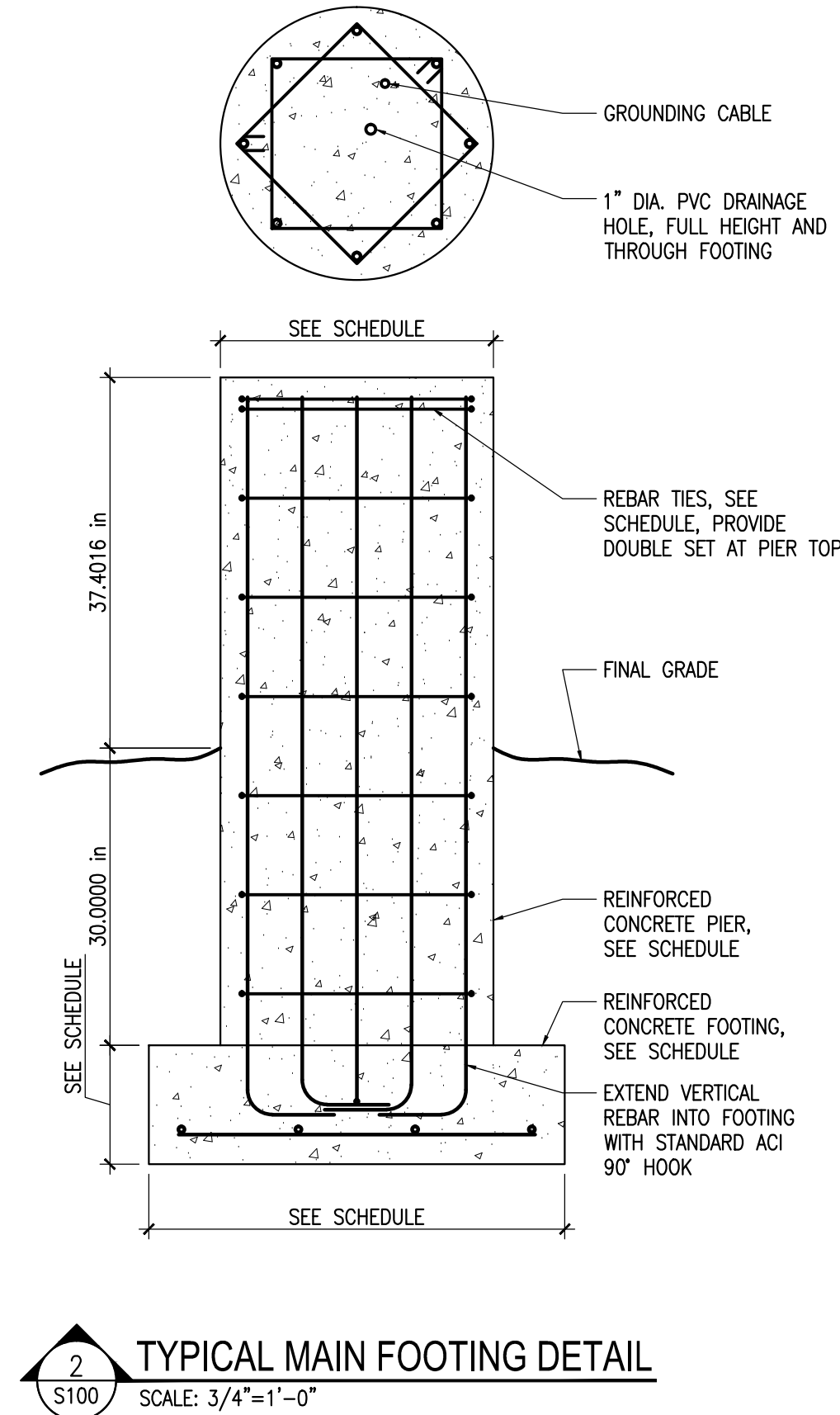
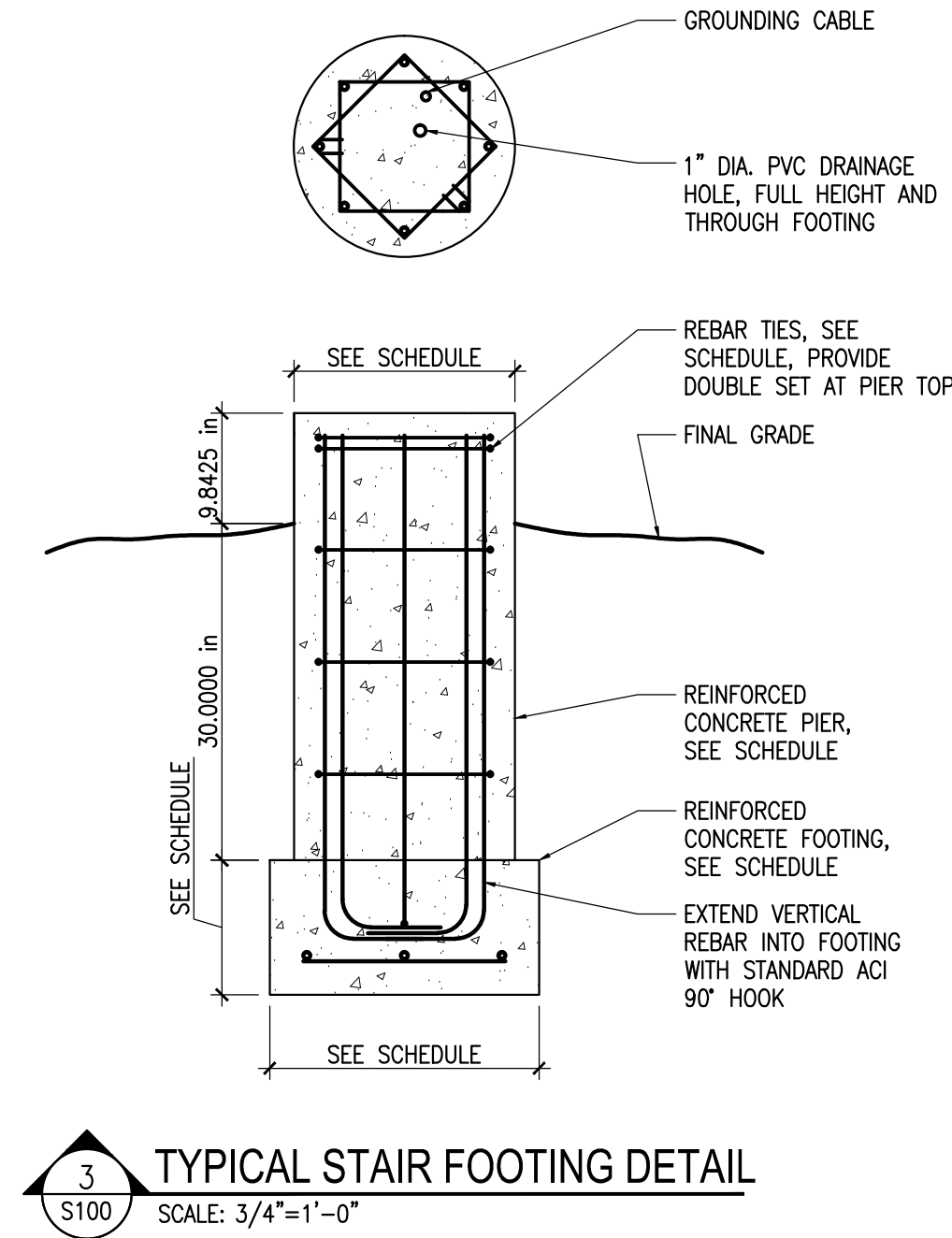
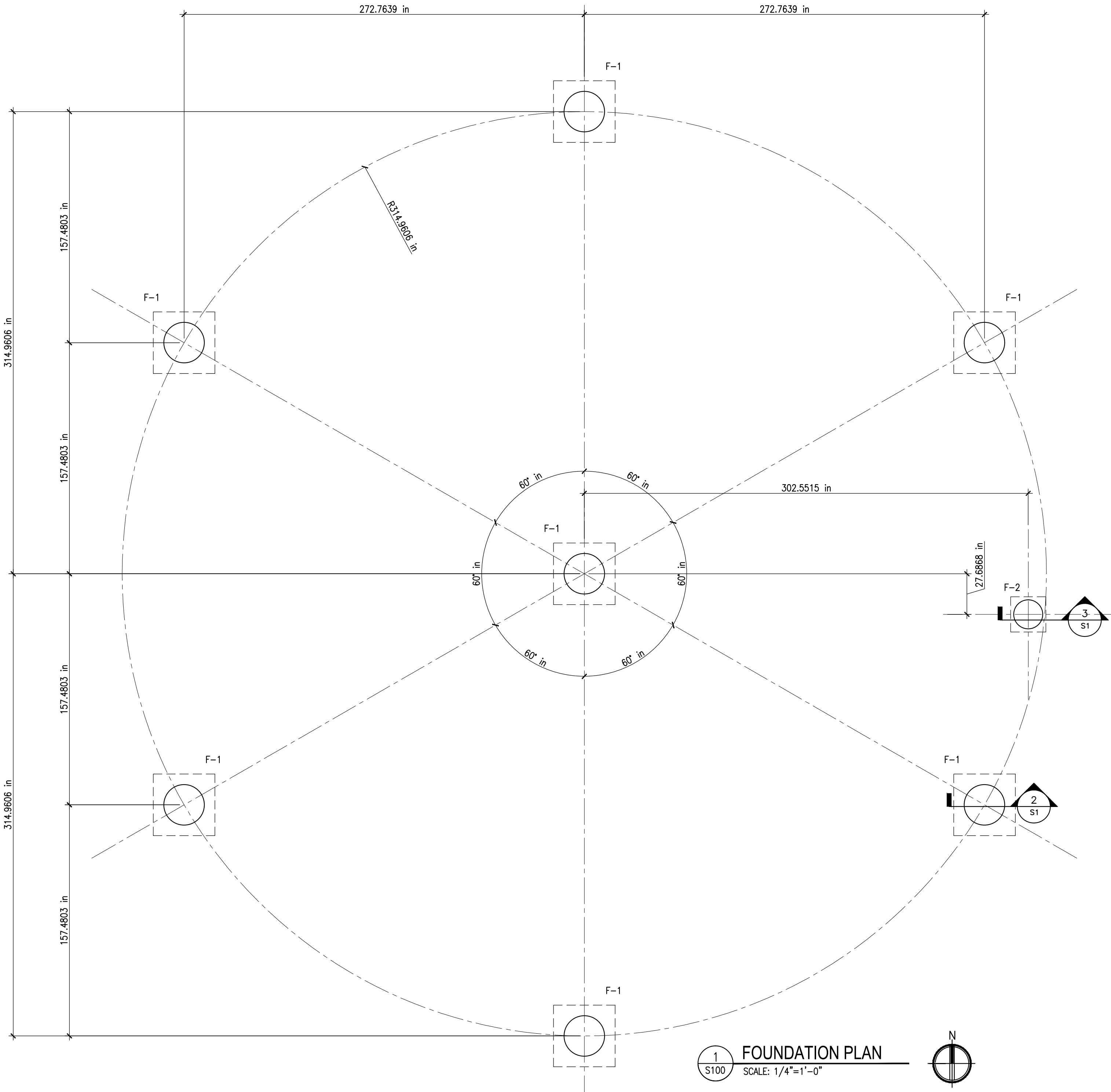
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W. Steininger GmbH
Statik & Dynamik
Ingenieurbüro für Fliegende Bauten
Friedenstraße 4
85521 Ottobrunn

Phone: +49 - 089 - 63286957
Fax: +49 - 089 - 6097251
email: wst_dyn@t-online.de

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FOOTING AND PIER SCHEDULE

MARK	FOOTING	PIER
F-1	3'-6" x 3'-6" x 1'-0" REINF. W/ (4) #5 REBAR EACH WAY (BOTTOM)	2'-4" DIA. PIER REINF. W/ (8) #6 VERTICAL REBAR AND #3 TIES AT 10" O.C.
F-2	2'-0" x 2'-0" x 1'-0" REINF. W/ (3) #5 REBAR EACH WAY (BOTTOM)	1'-8" DIA. PIER REINF. W/ (8) #5 VERTICAL REBAR AND #3 TIES AT 10" O.C.

DESIGN PARAMETERS

- BUILDING CODE: 2014 INDIANA BUILDING CODE (BASED ON 2012 IBC)
- RISK CATEGORY: 11
- EQUIPMENT LOADS (BY MANUFACTURER): 20-KIPS (MAX DOWNFORCE)
2-KIPS (MAX UPLIFT)

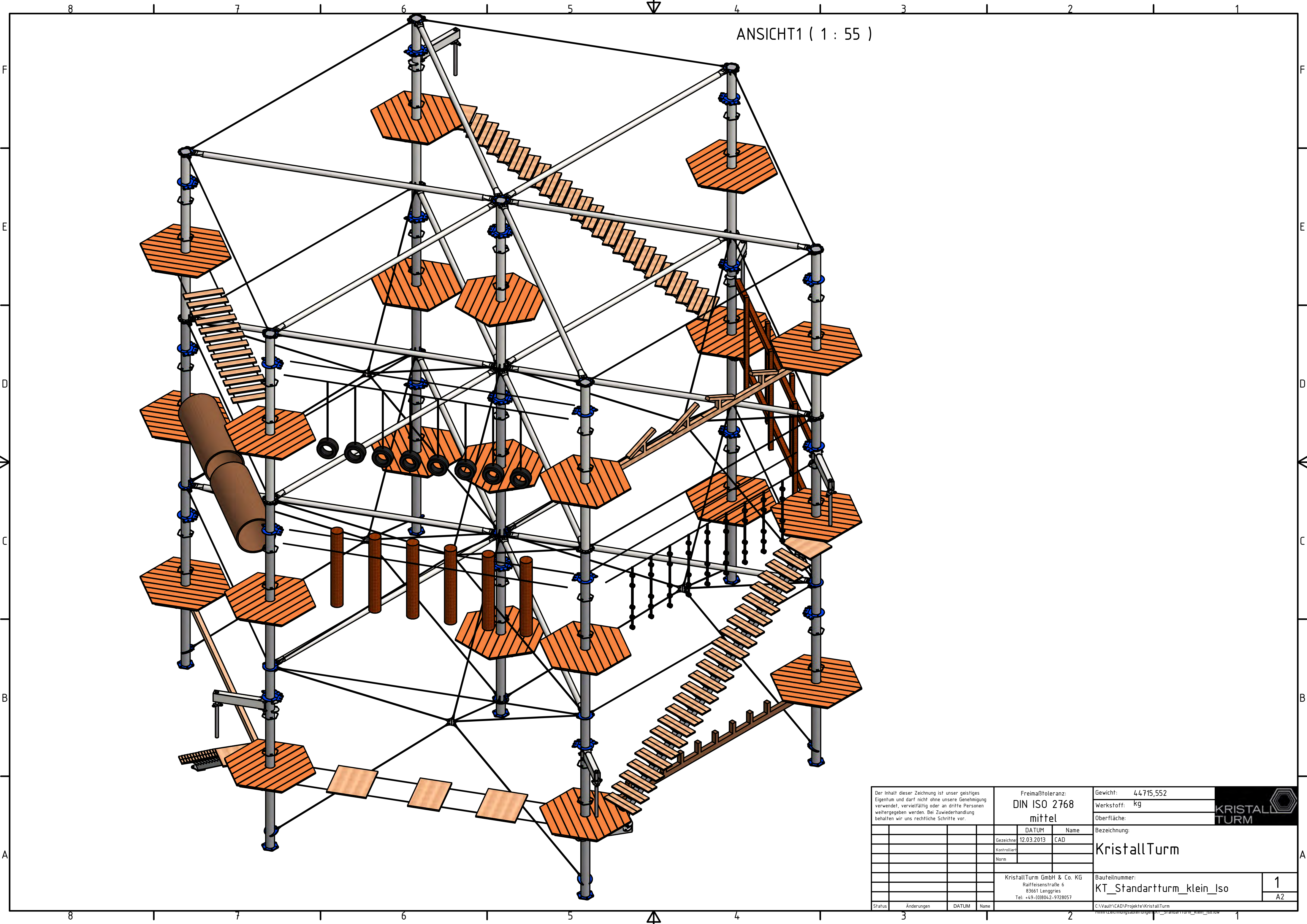
GENERAL STRUCTURAL NOTES


- GENERAL
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL APPLICABLE SAFETY PRECAUTIONS OR REGULATIONS DURING CONSTRUCTION. THE STRUCTURAL ENGINEER WILL NOT ADVISE NOR ISSUE DIRECTION ON SAFETY PRECAUTIONS.
- THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR PROCEDURES REQUIRED TO PERFORM WORK ON THIS PROJECT. SUPERVISION OF ALL WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- STRUCTURAL ELEMENTS ARE NON-SELF SUPPORTING AND REQUIRE INTERACTION WITH OTHER ELEMENTS FOR STABILITY AND RESISTANCE TO LATERAL FORCES. THE WORK SHALL BE TEMPORARILY BRACED BY THE CONTRACTOR UNTIL PERMANENT CONNECTIONS HAVE BEEN MADE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE SUPPORT AND STABILITY OF STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS, SHALL VERIFY EXISTING TOPOGRAPHY, AND GRADE ELEVATIONS, AND SHALL NOTIFY KJG ENGINEERING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE PROJECT.
- THESE PLANS ADDRESS STRUCTURAL ENGINEERING PORTIONS OF THIS PROJECT ONLY.
- IF FIELD CONDITIONS EXIST THAT REQUIRE ALTERATIONS TO THESE PLANS, KJG ENGINEERING MUST BE NOTIFIED AT ONCE AND BEFORE ANY FURTHER CONSTRUCTION TAKES PLACE.
- DO NOT SCALE DRAWINGS, USE ONLY WRITTEN DIMENSIONS.
- ALL CONSTRUCTION MATERIALS AND INSTALLATION MUST COMPLY WITH CODE REQUIREMENTS OF THE INDIANA ADMINISTRATIVE BUILDING COUNCIL, THE STATE FIRE MARSHALL, AND THE LOCAL GOVERNING AUTHORITY.

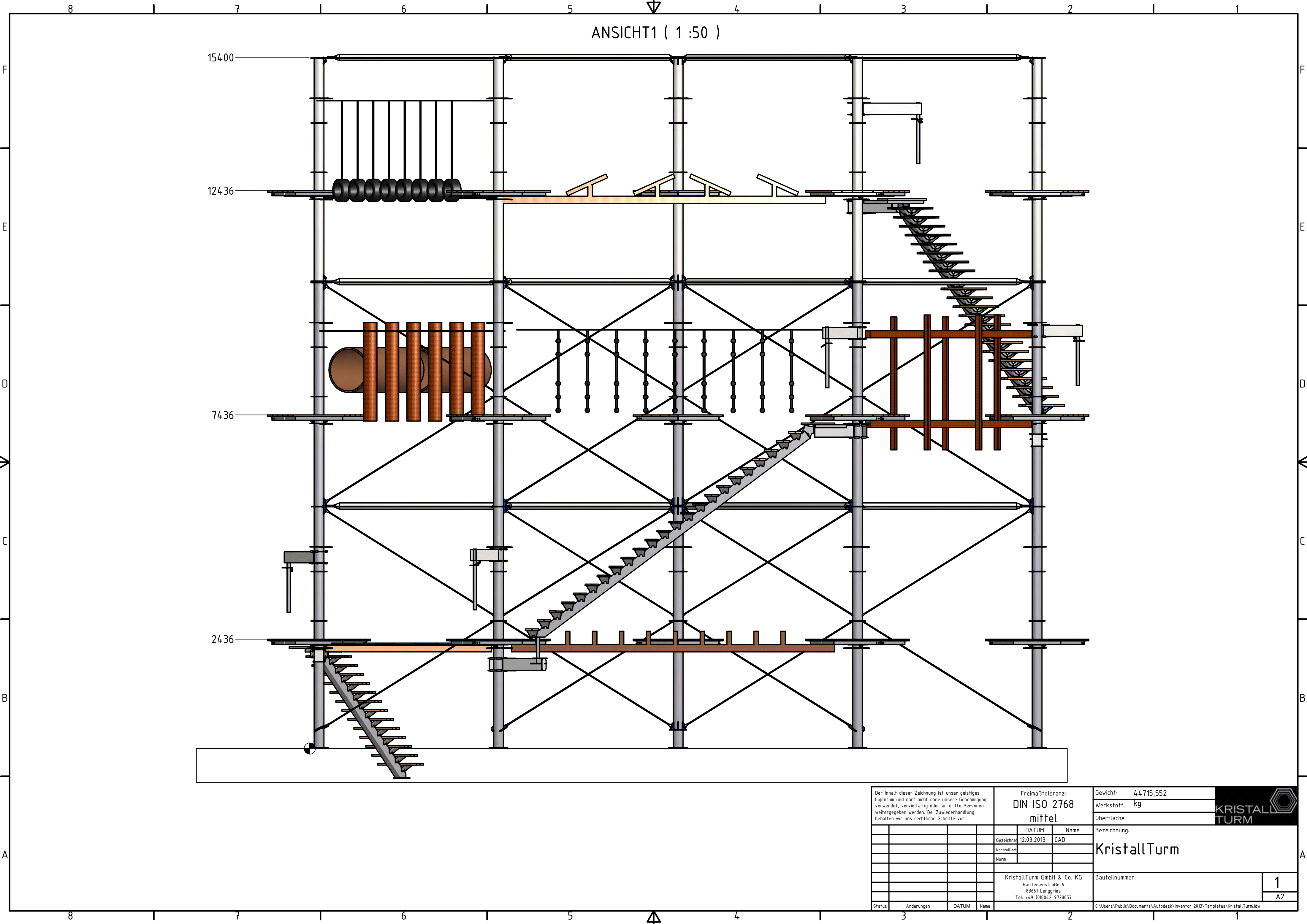
- FOUNDATIONS
- ALL EXTERIOR FOOTINGS OR PIERS SHALL BEAR ON UNDISTURBED SOIL AT OR BELOW LOCAL FROST LINE MINIMUM. LOCAL FROST LINE IS 36" BELOW GRADE.
- COLUMN FOOTINGS ARE TO BEAR ON FIRM NATURAL SOILS OR WELL COMPACTED ENGINEERED FILL WITH AN ASSUMED NET ALLOWABLE BEARING PRESSURE OF 2000 PSF FOR SPREAD FOOTINGS PER GEOTECHNICAL REPORT 155B0015 PREPARED BY ALT & WITZIG ENGINEERING, INC.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT QUANTITIES OF CUT AND FILL FOR ESTIMATING AND CONSTRUCTION.
- REFER TO THE GEOTECHNICAL REPORT 155B0015 PREPARED BY ALT & WITZIG ENGINEERING, INC. FOR ALL SOIL PREPARATION AND COMPACTION REQUIREMENTS.
- PLACE FOOTINGS THE SAME DAY THAT THE EXCAVATION IS PERFORMED. IF THIS IS NOT POSSIBLE, THE EXCAVATIONS SHALL BE ADEQUATELY PROTECTED AGAINST ANY DETRIMENTAL CHANGE IN CONDITION SUCH AS FROM DISTURBANCES, RAIN, OR FREEZING.


- CONCRETE
- ALL FOOTINGS AND FOUNDATION WALLS SHALL BE GRAVEL AGGREGATE, 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- PROVIDE DEFORMED REINFORCING BARS PER ASTM A-615, GRADE 60, AND WELDED WIRE FABRIC PER ASTM A-185, UNLESS OTHERWISE NOTED. SUPPORT REINFORCING BARS WITH CONCRETE BRICKS OR METAL CHAIRS AS REQUIRED TO ACHIEVE CLEARANCES SHOWN ON DRAWINGS.
- MINIMUM CONCRETE COVER OVER REINFORCEMENT STEEL SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
CONCRETE CAST AGAINST EARTH 3"
FORMED CONCRETE EXPOSED TO EARTH OR WEATHER 2"
- ALL CONCRETE WORK AND MATERIALS SHALL COMPLY WITH APPLICABLE PROVISIONS OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", AND "CONCRETE REINFORCING STEEL INSTITUTE (CRSI), MANUAL OF STANDARD PRACTICE."
- ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED.
- FINISH ANY SURFACES EXPOSED TO PUBLIC VIEW WITH A SMOOTH FORM FINISH. ALL OTHER FORM FINISH MAY BE ROUGH.

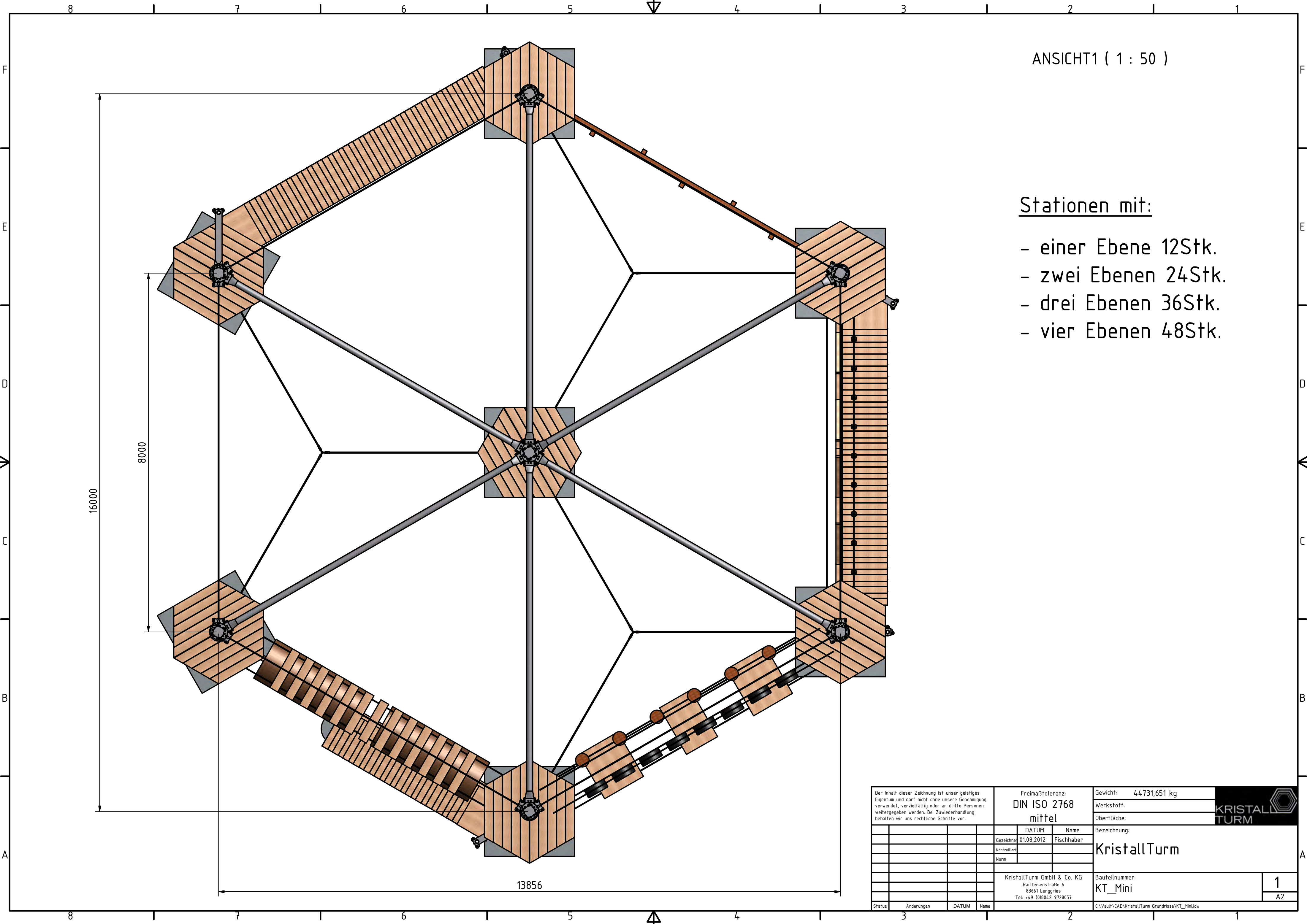
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						Oberfläche:				
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				Kontrolliert						
				Norm						
				KristallTurm GmbH & Co. KG Raiffeisenstraße 6 83661 Lenggring Tel: +49-(0)8042-9728057			Bauteilnummer: KT_Standartturm_klein_Iso		1 A2	
Status	Änderungen	DATUM	Name				C:\Vault\CAD\Projekte\KristallTurm			




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				Raiffeisenstraße 6						
				83661 Lenggries						
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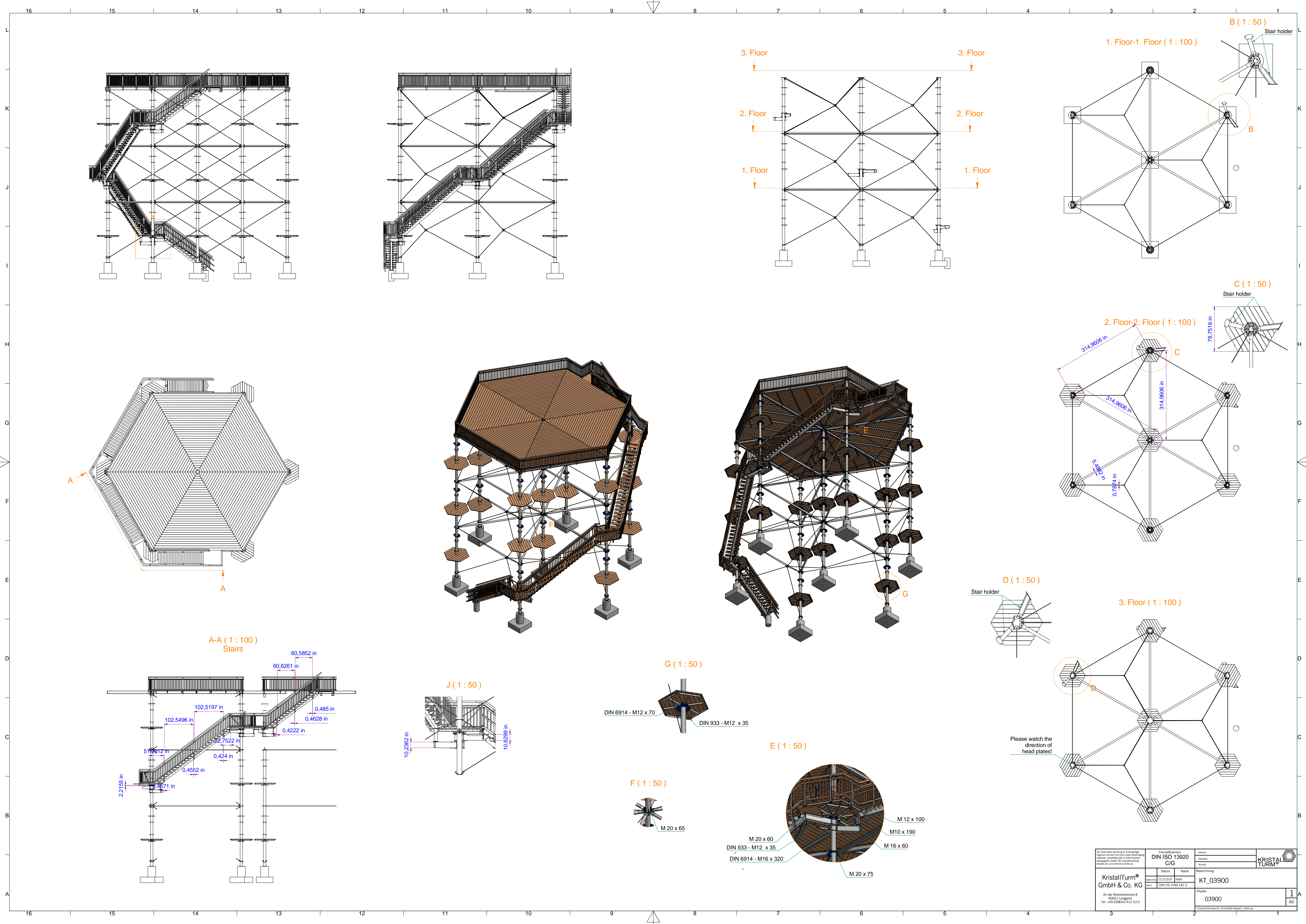


ANSICHT1 (1 : 50)

Stationen mit:

- einer Ebene 12Stk.
- zwei Ebenen 24Stk.
- drei Ebenen 36Stk.
- vier Ebenen 48Stk.

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				Norm					
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