

CITY OF FRANKLIN
COMMON COUNCIL MEETING
FRANKLIN CITY HALL – COMMON COUNCIL CHAMBERS
9229 WEST LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA*
TUESDAY JUNE 4, 2019 AT 6:30 P.M.

- A. Call to Order and Roll Call.
- B. Citizen Comment Period.
- C. Approval of Minutes:
 - 1. Regular Common Council Meeting of May 21, 2019.
 - 2. Special Common Council Meeting of May 23, 2019.
- D. Hearings – A proposed Ordinance to amend the City of Franklin 2025 Comprehensive Master Plan to change the Future Land Use Map use designation for properties generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095) from Business Park Use and Areas of Natural Resource Features Use to Residential Use and Areas of Natural Resource Features Use (Mills Hotel Wyoming, LLC, applicant). The properties which are the subject of this application currently bear Tax Key Nos. 891-9008-000 and 891-9010-000.
- E. Organizational:
The following are Mayoral appointments for Common Council confirmation:
 - 1. Alan Aleksandrowicz, 3927 W. Glenwood Dr., Ald. Dist. 4, Library Board for a 3-year unexpired term expiring 06/30/21.
 - 2. Dr. Reivian Berrios, 3909 W. Minnesota Ave., Ald. Dist. 3, Library Board for a 3-year term expiring 06/30/22.
- F. Letters and Petitions – Letter From Robert Montgomery Requesting Common Council Denial for City Water and Sewer at 8570 South 116th Street.
- G. Reports and Recommendations:
 - 1. Consent Agenda:
 - (a) A Resolution to Grant Overhead Distribution Easement to Wisconsin Electric Power Company for City-Owned Parcel at S. 51st Street and W. Drexel Avenue (Parcel 806-9992-002).
 - (b) New 1-Year Long-Distance Telephone Service Agreement with AT&T.
 - (c) Franklin Fire Department Donations to be Used to Help Fund Fire and Safety Educational Programs and on Occasion to Aid in Purchasing Specialized Medical Equipment from the following: Lori Nowak and Family in the Amount of \$50; Anita Sadar in Memory of Donald Norman in the Amount of \$50 and Anonymous Donation in the Amount of \$60.
 - 2. An Ordinance to Amend the City of Franklin 2025 Comprehensive Master Plan to Change the City of Franklin 2025 Future Land Use Map for Properties Generally

- Located South of the Intersection of West Loomis Road and West Ryan Road, Including Portions of What was Formerly 11205 West Ryan Road (the Eastern Portion of Outlot 1 and the Southern Portion of Lot 2 of Certified Survey Map No. 9095) from Business Park Use and Areas of Natural Resource Features Use to Residential Use and Areas of Natural Resource Features Use (Approximately 26.1 Acres) (Mills Hotel Wyoming, LLC, Applicant).
3. An Ordinance to Amend the Unified Development Ordinance (Zoning Map) to Rezone the Western Portion of Outlot 1 of Certified Survey Map No. 9095 From R-2 Estate/Single-Family Residence District to M-1 Limited Industrial District, to Rezone the Eastern Portion of Outlot 1 of Certified Survey Map No. 9095 from R-2 Estate/Single-Family Residence District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District and to Rezone the Southern Portion of Lot 2 of Certified Survey Map No. 9095 from M-1 Limited Industrial District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District (Properties Generally Located South of the Intersection of West Loomis Road and West Ryan Road, Including Portions of what was Formerly 11205 West Ryan Road (the Western and Eastern Portion of Outlot 1 and the Southern Portion of Lot 2 of Certified Survey Map No. 9095), (Approximately 50.69 Acres) (Mills Hotel Wyoming, LLC, Applicant).
 4. A Resolution Conditionally Approving a Preliminary Plat for Bear Franklin Subdivision (at Approximately West Ryan Road and South 112th Street) (Bear Development, LLC, Applicant, on Behalf of Mills Hotel Wyoming, LLC, Property Owner).
 5. Project Updates for Ballpark Commons.
 6. A Resolution to Amend Resolution No. 2017-7246 Imposing Conditions and Restrictions for the Approval of a Special Use for a One-Story, Six Building, 48 Unit Multi-Family Senior Independent Living Apartment Complex Development Use Located at 3709 West College Avenue to Allow for Construction of the Woodland's Edge at Franklin 48 Unit Senior Independent Living Apartment Complex (Herman & Kittle Properties, Inc., Applicant).
 7. An Ordinance to Amend §15-3.0433 of the Unified Development Ordinance, Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) to Allow for Additional Parking (Polish Heritage Alliance, Inc., Applicant/Property Owner) (6941 South 68th Street).
 8. A Resolution for Acceptance of a Water Main Easement from FHCC LLC, (Repacorp), Tax Key No. 748-9994-003, 11301 W. Forest Home Avenue.
 9. Approve a Public Health Specialist Job Description and Grant Authorization to Fill the Position.
 10. Revisions to the Job Descriptions for the Inspection Services Department; and for all Positions Requiring a Commercial Driver's License.
 11. Notification of Closure of Recycling Center Services at Department of Public Works Facility (7979 W. Ryan Road) on Saturdays.
 12. An Ordinance to Amend Ordinance 2018-2345, an Ordinance Adopting the 2019 Annual Budgets for the Grants Fund to Provide \$10,500 of Appropriations for Capital Purchases.
 13. April 2019 Monthly Financial Report.
 14. An Ordinance to Amend the Municipal Code to End the St. Martins Every Summer Monday Market Fair and Amend Fees for the St. Martins Fair.

Common Council Meeting Agenda

June 4, 2019

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H. Bills.

Request for Approval of Vouchers and Payroll.

I. Licenses and Permits.

Miscellaneous Licenses from License Committee Meetings of:

1. May 23, 2019.
2. May 30, 2019.
3. June 4, 2019.

J. Adjournment.

*Supporting documentation and details of these agenda items are available at City Hall during normal business hours.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

June 6	Plan Commission Meeting	7:00 p.m.
June 18	Common Council Meeting	6:30 p.m.
June 20	Plan Commission Meeting	7:00 p.m.
July 2	Common Council Meeting	6:30 p.m.
July 4	Independence Day	City Hall Closed
July 16	Common Council Meeting	6:30 p.m.
August 5	National Night Out	6:00 p.m. - 9:00 p.m.
August 6	Common Council Meeting	6:30 p.m.

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CITY OF FRANKLIN
COMMON COUNCIL MEETING
MAY 21, 2019
MINUTES

- | | |
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| ROLL CALL | <p>A. The regular meeting of the Common Council was held on May 21, 2019 and called to order at 6:30 p.m. by Common Council President Mark Dandrea in the Franklin City Hall Council Chambers, 9229 W. Loomis Road, Franklin, Wisconsin. On roll call, the following were in attendance: Alderman Mark Dandrea, Alderman Dan Mayer, Alderwoman Kristen Wilhelm, Alderman Steve F. Taylor, Alderman Mike Barber, and Alderman John R. Nelson. Mayor Olson arrived at 8:21 p.m. Also present were City Engineer Glen Morrow, Dir. of Administration Mark Luberd, City Attorney Jesse A. Wesolowski and City Clerk Sandra Wesolowski.</p> <p>Common Council President Dandrea stated he will be voting as Acting Mayor.</p> |
| CITIZEN COMMENT | <p>B.1. Citizen comment period was opened at 6:31 p.m. and closed at 6:47 p.m.</p> |
| APPROVAL OF MINUTES | <p>C. Alderwoman Wilhelm moved to approve the minutes of the regular Common Council Meeting of May 7, 2019 as presented at this meeting. Seconded by Alderman Barber. All voted Aye; motion carried.</p> |
| MAYORAL APPOINTMENTS | <p>E. Alderman Taylor moved to confirm the Mayoral Appointment of Gregory P. Meier, 8157 W. Woodfield Dr., Ald. Dist. 1, Technology Commission (3-year unexpired term expiring 4/30/22). Seconded by Alderman Barber. All voted Aye; motion carried.</p> |
| WASTE SYSTEM AND PRIVATE WELL (9533 W. RYAN RD.) | <p>G.12. Alderman Nelson moved to allow a Waiver for connection to the public sanitary sewer system and allow a Waiver for connection to the public water system for the new parcels in a proposed Certified Survey Map in the vicinity of 9533 W. Ryan Road, with two waivers provided conditioned upon the current property owners signing an agreement and consent that due to the exemption, that they recognize if it becomes available it is required within 6 months, and payment of special assessment in a timely manner and waive notice and hearing requirements applicable to the special assessment, and any additional technical corrections by the City Attorney. Seconded by Alderman Taylor. Upon voice vote, four Ayes, one Abstention (Alderman Mayer). Motion carried.</p> |
| RES. 2019-7493
CSM RESUBDIVISION OF
CSM NO. 7363 (9533 W.
RYAN RD.) | <p>G.11. Alderman Nelson moved to adopt Resolution No. 2019-7493, A RESOLUTION CONDITIONALLY APPROVING A 3 LOT CERTIFIED SURVEY MAP, BEING A RESUBDIVISION OF LOT 2, CERTIFIED SURVEY MAP NO. 7363, BEING A PART</p> |

OF THE WEST ONE-HALF OF THE EAST ONE-HALF OF THE NORTHEAST QUARTER OF SECTION 29, TOWN 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN (9533 WEST RYAN ROAD), as amended and presented at this meeting subject to any minor changes approved by the Planning Manager, City Engineer, and City Attorney. Seconded by Alderman Taylor. All voted Aye; motion carried.

RES. 2019-7494
PRELIMINARY PLAT FOR
PLEASANT VIEW
ESTATES SUBD. (S. 49TH
ST. AND W. MARQUETTE
AVE.) (RICK PRZYBYLA,
APPLICANT)

G.1. Alderwoman Wilhelm moved to adopt Resolution No. 2019-7494, A RESOLUTION CONDITIONALLY APPROVING A PRELIMINARY PLAT FOR PLEASANT VIEW ESTATES SUBDIVISION (AT APPROXIMATELY SOUTH 49TH STREET AND WEST MARQUETTE AVENUE) (RICK J. PRZYBYLA, PRESIDENT OF CREATIVE HOMES, INC., APPLICANT). Seconded by Alderman Taylor. Upon voice vote, four Ayes, one No (Alderman Mayer). Motion carried.

RES. 2019-7495
REDIVISION OF CSM
2153 AND CSM 6949 (7475
S. 49TH ST.) (FRED
ARBANELLA,
ARBANELLA/CARMODY
HOMES, APPLICANT)

G.2. Alderwoman Wilhelm moved to adopt Resolution No. 2019-7495, A RESOLUTION CONDITIONALLY APPROVING A 2 LOT CERTIFIED SURVEY MAP, BEING A REDIVISION OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2153 AND PARCEL 3 OF CERTIFIED SURVEY MAP NO. 6949, ALL IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 5 NORTH, RANGE 21 EAST, LOCATED IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN. (FRED ARBANELLA, ARBANELLA/CARMODY HOMES, APPLICANT) (AT 7475 SOUTH 49TH STREET), subject to meeting any minor changes approved by the Planning Manager, City Engineer and City Attorney. Seconded by Alderman Taylor. All voted Aye; motion carried.

RES. 2019-7496
PRELIMINARY PLAT FOR
OAK RIDGE OF
FRANKLIN SUBD. (AT
7475 S. 49TH ST.) (FRED
ARBANELLA,
ARBANELLA/CARMODY
HOMES, APPLICANT)

G.3. Alderwoman Wilhelm moved to adopt Resolution No. 2019-7496, A RESOLUTION CONDITIONALLY APPROVING A PRELIMINARY PLAT FOR OAK RIDGE OF FRANKLIN SUBDIVISION (AT 7475 SOUTH 49TH STREET) (FRED ARBANELLA, ARBANELLA/CARMODY HOMES, APPLICANT). Seconded by Alderman Barber. All voted Aye; motion carried.

Mayor Olson arrived at the meeting and chaired the meeting at 8:21 p.m.

CHANGE LAND USE OF
CSM 9095 FROM
BUSINESS PARK USE TO
RESIDENTIAL USE

G.4. An Ordinance was held until the Common Council meeting on June 4, 2019, to amend the City of Franklin 2025 Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map for properties generally located south of the intersection of

(APPROXIMATELY 26.1
ACRES) (MILLS HOTEL
WYOMING, LLC,
APPLICANT)

West Loomis Road, including portions of what was formerly 11205 West Ryan Road (the eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095) from Business Park Use and areas of Natural Resource Features Use to Residential Use and Areas of Natural Resource Features Use (approximately 26.1 acres) (Mills Hotel Wyoming, LLC).

AMEND UDO TO
REZONE PORTIONS OF
OUTLOT 1 AND PORTION
OF LOT 2 OF CSM 9095,
(APPROXIMATELY 50.69
ACRES) (MILLS HOTEL
WYOMING, LLC,
APPLICANT)

G.5. An Ordinance was held until the Common Council meeting on June 4, 2019, to amend the Unified Development Ordinance (Zoning Map) to rezone the western portion of Outlot 1 of Certified Survey Map No. 9095 from R-2 Estate/Single-Family Residence District to M-1 Limited Industrial District, to rezone the eastern portion of Outlot 1 of Certified Survey Map No. 9095 from R-2 Estate/Single-Family Residence District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District and the southern portion of Lot 2 of Certified Survey Map. No. 9095 from M-1 Limited Industrial District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District, such land being generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the western and eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095).

PLAT FOR BEAR
FRANKLIN SUBD.
(APPROX. W. RYAN RD.
AND S. 112TH ST.)

G.6. A Resolution was held until the Common Council meeting on June 4, 2019, conditionally approving a Preliminary Plat for Bear Franklin Subdivision (at approximately West Ryan Road and South 112th Street) (Bear Development, LLC, Property Owner).

TID 5 PDD 37 BPC MIXED
USE DEVELOPMENT
PROJECT TEMPORARY
OCCUPANCY PERMITS

G.7. No action was required on Tax Incremental District No. 5 Planned Development District No. 37 (The Rock Sports Complex/Ballpark Commons) Ballpark Commons sports anchored mixed-use development project temporary occupancy permits for building C1 (office/retail) and the stadium uses and additional/future buildings uses.

ORD. 2019-2369
APPROPRIATION FOR
ADMINISTRATIVE
COSTS FOR TID 5
PROJECT PLAN
AMENDMENT

G.8. Alderman Taylor moved to adopt Ordinance No. 2019-2369, AN ORDINANCE TO AMEND ORDINANCE NO. 2018-2345, AN ORDINANCE ADOPTING THE 2019 ANNUAL BUDGETS FOR TAX INCREMENTAL DISTRICT NO. 5 FUND FOR THE CITY OF FRANKLIN TO ESTABLISH AN APPROPRIATION FOR ADMINISTRATIVE COSTS FOR A TAX INCREMENTAL DISTRICT NO. 5 PROJECT PLAN AMENDMENT AND INFRASTRUCTURE COSTS CARRYING OVER TO 2019 FROM 2018. Seconded by Alderman Dandrea. On roll call, all voted Aye; motion carried.

- ORD. 2019-2370
UPDATE ELECTRICAL
CODE CH. 118 TO BE IN
COMPLIANCE WITH
STATE CODE SPS 316
- G.9. Alderman Mayer moved to adopt Ordinance No. 2019-2370, AN ORDINANCE TO AMEND CHAPTER 118 - ELECTRICAL STANDARDS – OF THE CITY OF FRANKLIN MUNICIPAL CODE TO SATISFY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES' REQUIREMENT FOR THE CITY TO BE IN COMPLIANCE WITH CURRENT LANGUAGE IN THE STATE ELECTRICAL CODE SPS 316, AS WELL AS OTHER MINOR AMENDMENTS. Seconded by Alderman Barber. All voted Aye; motion carried.
- RES. 2019-7497
AUTHORIZE A TAX
ASSESSMENT AGMT.
AND AMENDMENT TO
TAX ASSESSMENT
AGMT. (TID 6) WITH
STRAUSS INVESTMENTS
- G.10. Alderman Nelson moved to adopt Resolution No. 2019-7497, A RESOLUTION AUTHORIZING CERTAIN OFFICIALS TO EXECUTE A TAX ASSESSMENT AGREEMENT (TAX INCREMENTAL DISTRICT NO. 6) WITH STRAUSS INVESTMENTS, LLC AND A FIRST AMENDMENT TO TAX ASSESSMENT AGREEMENT WITH STRAUSS INVESTMENTS, LLC. Seconded by Alderman Taylor. All voted Aye; motion carried.
- RES. 2019-7498
APPROVE 2 LOT CSM
(MATT TALBOT
RECOVERY SERVICES,
INC., APPLICANT) (9132
S. 92ND ST.)
- G.13 Alderman Taylor moved to adopt Resolution No. 2019-7498, A RESOLUTION CONDITIONALLY APPROVING A 2 LOT CERTIFIED SURVEY MAP, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 5 NORTH, RANGE 21 EAST, CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN (MATT TALBOT RECOVERY SERVICES, INC., APPLICANT) (9132 SOUTH 92ND STREET). Seconded by Alderman Nelson. On roll call, all voted Aye; motion carried.
- MOU WITH GREENFIELD
FOR DISPENSARY OF TB
CLINICAL SERVICES
- G.14 Alderman Mayer moved to continue the Memorandum of Understanding by signing the Intergovernmental Agreement for the Dispensary of Tuberculosis Clinical Services between the City of Greenfield Health Department and the Franklin Health Department. Seconded by Alderman Barber. All voted Aye; motion carried.
- RES. 2019-7499
STORM DRAINAGE AND
SANITARY SEWER
EASEMENT (ASPEN
WOODS, LLC) (S. 51ST
ST. & W. PUETZ RD., TKN
853-0095-010)
- G.15 Alderman Taylor moved to adopt Resolution No. 2019-7499, A RESOLUTION FOR ACCEPTANCE OF A STORM DRAINAGE EASEMENT AND A SANITARY SEWER EASEMENT FOR ASPEN WOODS SUBDIVISION (VH ASPEN WOODS, LLC) SOUTH 51ST STREET AND WEST PUETZ ROAD, TAX KEY NUMBER 853-0095-010. Seconded by Alderwoman Wilhelm. All voted Aye; motion carried.
- ORD. 2019-2371
BUDGET
APPROPRIATIONS FOR
- G.16 Alderwoman Wilhelm moved to approve Ordinance No. 2019-2371, AN ORDINANCE TO AMEND ORDINANCE NO. 2018-2345, AN ORDINANCE ADOPTING THE 2019 ANNUAL BUDGETS

ROUNDBOUT AT S.
51ST ST. AND W.
DREXEL AVE.

FOR THE CAPITAL IMPROVEMENT FUND TO PROVIDE ADDITIONAL \$650,000 APPROPRIATIONS AND RESOURCES FOR THE ROUNDBOUT AT SOUTH 51ST STREET AND WEST DREXEL AVENUE. Seconded by Alderman Barber. On roll call, Alderman Barber, Alderwoman Wilhelm, Alderman Mayer and Alderman Dandrea voted Aye; Alderman Nelson and Alderman Taylor voted No. Motion carried.

RES. 2019-7500
PURCHASE LAND ON
THE NW CORNER OF S.
51ST ST. AND W.
DREXEL AVE.

G.17 Alderman Barber moved to adopt Resolution No. 2019-7500, A RESOLUTION AUTHORIZING THE EXECUTION OF AN AGREEMENT FOR PURCHASE AND SALE OF REAL ESTATE LOCATED AT THE NORTHWEST CORNER OF WEST DREXEL AVENUE AND SOUTH 51ST STREET FROM PAYNE & DOLAN FOR INTERSECTION IMPROVEMENTS IN AN AMOUNT OF \$13,800. Seconded by Alderman Mayer. On roll call, Alderman Dandrea, Alderman Mayer, Alderwoman Wilhelm and Alderman Barber voted Aye; Alderman Taylor and Alderman Nelson voted No. Motion carried.

RES. 2019-7501
CONTRACT WITH
ZIGNEGO CO. INC. FOR S.
51ST ST. AND W.
DREXEL AVE.

G.18 Alderman Barber moved to adopt Resolution No. 2019-7501, RESOLUTION TO AWARD CONSTRUCTION CONTRACT FOR ZIGNEGO CO. INC. TO CONSTRUCT SOUTH 51ST STREET AND WEST DREXEL AVENUE INTERSECTION IN THE AMOUNT OF \$1,466,019.55. Seconded by Alderwoman Wilhelm. On roll call, Alderman Barber, Alderwoman Wilhelm, Alderman Mayer and Alderman Dandrea voted Aye; Alderman Nelson and Alderman Taylor voted No. Motion carried.

RES. 2019-7502
AGREEMENT WITH
MMSD FOR
STORMGUARD®
INSTALL AT CITY HALL

G.19 Alderman Mayer moved to adopt Resolution No. 2019-7502, A RESOLUTION TO ENTER INTO A INTERLOCAL COOPERATION AGREEMENT WITH MILWAUKEE METROPOLITAN SEWERAGE DISTRICT (MMSD) FOR INSTALLATION OF A STORMGUARDEN® AT FRANKLIN CITY HALL 9229 W. LOOMIS ROAD, with the Resolution forwarded to the Environmental Commission and placement referred to staff. Seconded by Alderman Barber. All voted Aye; motion carried.

DESIGNATION OF
ALERTING SYSTEM
PROJECT IN THE CAP.
IMPR. FUND

G.20 Alderman Taylor moved to designate the "Station Specific Alerting System Project" as an "Approved Project" in the Capital Improvement Fund. Seconded by Alderman Mayer. All voted Aye; motion carried.

REPLACEMENT OF
FLOORING AT FIRE
STATION #2

G.21 Alderman Dandrea moved to authorize the Fire Chief to accept and act on a quote from Adair Floors 'N' Mor, Inc. in the amount of \$9,872 for the replacement of flooring at Fire Station #2, subject to

publication of a First-Class Notice. Seconded by Alderman Mayer. All voted Aye; motion carried.

ORD. 2019-2372
BUDGET
ENCUMBRANCES FOR
GENERAL FUND AND
TID 3

G.22 Alderman Dandrea moved to adopt Ordinance No. 2019-2372, AN ORDINANCE TO AMEND ORDINANCE NO. 2018-2345, AN ORDINANCE ADOPTING THE 2019 ANNUAL BUDGETS FOR THE GENERAL FUND AND TAX INCREMENTAL DISTRICT NO. 3 FUND TO PROVIDE APPROPRIATIONS FOR TAX REFUNDS STEMMING FROM ASSESSMENT REDUCTIONS FOR 2016, 2017 AND 2018. Seconded by Alderman Mayer. On roll call, all voted Aye; motion carried.

SETTLEMENT
AGREEMENT
SAM'S CLUB

G.23 Alderman Dandrea moved to authorize the Mayor to execute the Settlement Agreement, as prepared by Attorney Ryan Braithwaite of Crivello Carlson, S.C. on behalf of the City of Franklin, between Sam's Real Estate Business Trust and the City of Franklin, Wisconsin, relative to Milwaukee County Circuit Court Case No. 17-CV-12977 (Consolidated) for the 2017-2018 Tax Years where by the City shall issue a refund payable to Sam's in the amount of \$38,627.55, subject to approval of a budget modification to establish the necessary appropriation. Seconded by Alderman Barber. On roll call, Alderman Dandrea, Alderwoman Wilhelm, and Alderman Barber voted Aye; Alderman Mayer, Alderman Taylor, and Alderman Nelson voted No. Motion failed due to lack of a majority vote.

It was then moved by Alderman Barber to authorize the Mayor to execute the Settlement Agreement, as prepared by Attorney Ryan Braithwaite of Crivello Carlson, S.C. on behalf of the City of Franklin, between Sam's Real Estate Business Trust and the City of Franklin, Wisconsin, relative to Milwaukee County Circuit Court Case No. 17-CV-12977 (Consolidated) for the 2017-2018 Tax Years where by the City shall issue a refund payable to Sam's in the amount of \$38,627.55, subject to approval of a budget modification to establish the necessary appropriation. Seconded by Alderman Dandrea. On roll call, Alderman Nelson, Alderman Barber, Alderwoman Wilhelm, and Alderman Dandrea voted Aye; Alderman Taylor and Alderman Mayer voted No. Motion carried.

SETTLEMENT
AGREEMENT
WAL-MART

G.24 Alderman Barber moved to authorize the Mayor to execute the Settlement Agreement, as prepared by Attorney Ryan Braithwaite of Crivello Carlson, S.C. on behalf of the City of Franklin, between Wal-Mart Real Estate Business Trust and the City of Franklin, Wisconsin, relative to Milwaukee County Circuit Court Case No. 17-CV-12974 (Consolidated) for the 2017-2018 tax years whereby the City shall issue a refund payable to Wal-Mart in the amount of

\$52,638.71, subject to approval of a budget modification to establish the necessary appropriation. Seconded by Alderman Dandrea. On roll call, Alderman Dandrea, Alderwoman Wilhelm, Alderman Barber, Alderman Nelson voted Aye; Alderman Mayer and Alderman Taylor voted No. Motion carried.

SETTLEMENT
AGREEMENT
MENARD, INC.

- G.25 Alderman Dandrea moved to authorize the Mayor to execute the Settlement Agreement, as prepared by Attorney Ryan Braithwaite of Crivello Carlson, S.C. on behalf of the City of Franklin, between Menard, Inc. and the City of Franklin, Wisconsin, relative to Milwaukee County Circuit Court Case No. 16-CV-8734 (Consolidated) for the 2016-2018 tax years whereby the City shall issue a refund payable to Menard, Inc. in the amount of \$65,396.21, subject to approval of a budget modification to establish the necessary appropriation. Seconded by Alderman Barber. On roll call, Alderman Nelson, Alderman Barber, Alderman Taylor, and Alderman Dandrea voted Aye; Alderwoman Wilhelm and Alderman Mayer voted No. Motion carried.

ORD. 2019-2373
RECLASSIFY
APPROPRIATIONS FOR
CAP. IMPR. FUND FOR
TRAFFIC SIGNAL AND
ENG. SERVICES

- G.26 Alderman Taylor moved to approve Ordinance No. 2019-2373, AN ORDINANCE TO AMEND ORDINANCE NO. 2018-2345, AN ORDINANCE ADOPTING THE 2019 ANNUAL BUDGETS FOR THE CAPITAL IMPROVEMENT FUND FOR FISCAL YEAR 2019 TO RECLASSIFY APPROPRIATIONS FROM CONTINGENCY FOR TRAFFIC SIGNAL AND ENGINEERING SERVICES TO HIGHWAY PROJECTS. Seconded by Alderman Nelson. On roll call, all voted Aye; motion carried.

ORD. 2019-2374
RECLASSIFY
CONTINGENCY
APPROPRIATIONS FOR
QUARRY SURVEY, RE-
APPROPRIATE UNUSED
SENIOR TRAVEL

- G.27 Alderman Taylor moved to approve Ordinance No. 2019-2374, AN ORDINANCE TO AMEND ORDINANCE NO. 2018-2345, AN ORDINANCE ADOPTING THE 2019 ANNUAL BUDGET FOR THE GENERAL FUND TO RECLASSIFY CONTINGENCY APPROPRIATIONS FOR A QUARRY SURVEY AND TO RE-APPROPRIATE UNUSED 2018 APPROPRIATIONS FOR THE SENIOR TRAVEL PROGRAM. Seconded by Alderman Nelson. On roll call, all voted Aye; motion carried.

ORD. 2019-2375
BUDGET
APPROPRIATIONS FOR
GENERAL FUND, GRANT
FUND, SANITARY
SEWER FUND AND SELF
INSURANCE FUND

- G.28 Alderman Mayer moved to approve Ordinance No. 2019-2375, AN ORDINANCE TO AMEND ORDINANCE NO. 2018-2345, AN ORDINANCE ADOPTING THE 2019 ANNUAL BUDGETS FOR GENERAL FUND, GRANT FUND, SANITARY SEWER FUND AND THE SELF INSURANCE FUND FOR THE CITY OF FRANKLIN TO INCREASE AN APPROPRIATION FO EMPLOYER SUPPORT FOR EMPLOYEE HEALTH SAVINGS ACCOUNT. Seconded by Alderman Dandrea. On roll call, all voted Aye; motion carried.

LICENSES AND PERMITS H.1.

Alderman Taylor moved to approve the following:
Hold 2018-2019 Operator License for Grace Ann Lucille Cole, 10863 S. 60th St. until contact is made with City Clerk's Office;

Table until the May 30, 2019 License meeting, 2018-2019 Operator License for Frank J. Janiszewski, 12301 W. Ryan Rd.;

Grant 2018-2019 Operator Licenses to Sandy Y. Gallagher 1707 Ellis Ave., Racine; Zachary M. Grmick, 10202 W. Ridge Rd., Hales Corners; Megan Bramer, 711 Lakeview Ave., South Milwaukee; Nadine E. Dentice, 4514 S. Adams Ave. #2, Milwaukee; Bianca J. Gresl, 10653 S. 76th St.; Thomas R. Perry, 3702 W. Holmes Ave., Greenfield;

Grant 2018-2019 and 2019-2020 Operator Licenses to Luis A. Nunez-Valadez, 1241 S. 31st St, Milwaukee; Craig A. Pescheck, 7155 S. 49th St.; Kristen Rinke, S97 W12719 Champions Dr., Muskego; Savana C. Weitkuhn, 3709 Candle Ct #5, Racine; and

Grant 2019-2020 Day Care license, subject to compliance with City Ordinance and approval of inspections, to Discovery Days Childcare III, Inc., Manager Kristopher Kraussel, 9758 S. Airways Ct.

Seconded by Alderman Nelson. All voted Aye; motion carried.

VOUCHERS AND
PAYROLL

I.1.

Alderman Barber moved to approve the following:
City vouchers with an ending date of May 16, 2019 in the amount of \$1,294,869.82; and payroll dated May 10, 2019 in the amount of \$404,949.35 and payments of the various payroll deductions in the amount of \$222,595.30, plus City matching payments; and estimated payroll dated May 24, 2019 in the amount of \$390,000.00 and payments of the various payroll deductions in the amount of \$431,000.00, plus City matching payments; and Property Tax refunds and investments with an ending date of May 16, 2019 in the amount of \$1,433.64; and the release of payments to miscellaneous vendors in the amount of \$3,111,887.28. Seconded by Alderman Dandrea. On roll call, all voted Aye; motion carried.

Alderman Taylor vacated his seat and left the meeting at 9:20 p.m.

CLOSED SESSION OPIOID
CRISIS LITIGATION G.29.

Alderman Barber moved to enter closed session at 9:20 p.m. pursuant to Wis. Stats. §19.85(1)(e), to confer with legal counsel for the Common Council who is rendering advice concerning strategy to be adopted by the body with respect to governmental entities litigation involving manufacturing and distributors of opiates with

regard to the opioid crisis, in which it is likely to become involved. Seconded by Alderman Nelson. On roll call, all voted Aye; motion carried.

Upon reentering open session at 9:25 p.m., Alderman Mayer moved to authorize the Mayor, City Clerk and Director of Finance & Treasurer to enter into a retainer agreement with the law firm of Phipps, Deacon, Prunell for the purpose of representing the City in potential litigation pertaining to the opioid epidemic. Seconded by Barber. All voted Aye; motion carried.

ADJOURNMENT

- J. Alderman Mayer moved to adjourn the meeting at 9:26 p.m. Seconded by Alderwoman Wilhelm. All voted Aye; motion carried.

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CITY OF FRANKLIN
SPECIAL COMMON COUNCIL MEETING
MAY 23, 2019
MINUTES

ROLL CALL

- A. The special meeting of the Common Council was held on May 23, 2019 and called to order at 5:31 p.m. by Mayor Steve Olson in the Franklin City Hall Council Chambers, 9229 W. Loomis Road, Franklin, Wisconsin. On roll call, the following were in attendance: Alderman Mark Dandrea (arrived at 5:32 p.m.), Alderman Dan Mayer, Alderwoman Kristen Wilhelm (arrived at 5:33 p.m.), Alderman Steve F. Taylor, Alderman Mike Barber and Alderman John R. Nelson. Also present were Dir. of Economic Dev. Calli Berg, Dir. of Finance & Treasurer Paul Rotzenberg, City Engineer Glen Morrow, Dir. of Administration Mark Luberda, City Attorney Jesse A. Wesolowski and City Clerk Sandra Wesolowski.

CITIZEN COMMENT

- B.1. Citizen comment period was opened at 5:32 p.m. and closed at 5:41 p.m.

RES. 2019-7503
PROJECT PLAN &
BOUNDARIES FOR
TID 5

- C.1. Alderman Barber moved to adopt Resolution No. 2019-7503, A RESOLUTION APPROVING AN AMENDMENT TO THE PROJECT PLAN AND BOUNDARIES OF TAX INCREMENTAL DISTRICT NO. 5, CITY OF FRANKLIN, WISCONSIN, subject to technical corrections. Seconded by Alderman Taylor. On roll call, Alderman Dandrea, Alderwoman Wilhelm, Alderman Taylor, Alderman Barber, and Alderman Nelson voted Aye; Alderman Mayer voted No. Motion carried.

RES. 2019-7504
PROJECT PLAN &
BOUNDARIES FOR
TID 7

- C.2. Alderman Barber moved to adopt Resolution No. 2019-7504, A RESOLUTION APPROVING THE PROJECT PLAN AND ESTABLISHING THE BOUNDARIES FOR AND THE CREATION OF TAX INCREMENTAL DISTRICT NO. 7, CITY OF FRANKLIN, WISCONSIN, subject to technical corrections. Seconded by Alderman Taylor. On roll call, Alderman Nelson, Alderman Barber, Alderman Taylor, Alderwoman Wilhelm, and Alderman Dandrea voted Aye; Alderman Mayer voted No. Motion carried.

ADJOURNMENT

- D. Alderman Taylor moved to adjourn the meeting at 6:44 p.m. Seconded by Alderman Barber. All voted Aye; motion carried.

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CITY OF FRANKLIN
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN THAT THE COMMON COUNCIL OF THE CITY OF FRANKLIN will conduct a public hearing on Tuesday, May 21, 2019, at 6:30 p.m., or as soon thereafter as the matter may be heard, in the Common Council Chambers at the Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin 53132, to hear public comment regarding a proposed ordinance to amend the City of Franklin 2025 Comprehensive Master Plan to change the Future Land Use Map use designation for properties generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095) from Business Park Use and Areas of Natural Resource Features Use to Residential Use and Areas of Natural Resource Features Use (Mills Hotel Wyoming, LLC, applicant). The properties which are the subject of this application currently bear Tax Key Nos. 891-9008-000 and 891-9010-000, and are more particularly described as follows:

Area Currently Shown on Comprehensive Land Use Map as Business Park and Requested to be Changed to Residential

Part of Lot 2 of Certified Survey Map No. 9505, located in the Northwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows: Beginning at the southeast corner of said Lot 2; thence North 89°44'26" West along the south line of said Lot 2, 177.55 feet; thence North 46°55'39" West along said line, 177.07 feet; thence North 89°28'18" West along said line, 102.69 feet; thence South 00°51'07" East along said line, 180.39 feet; thence South 53°26'01" West along said line, 169.70 feet; thence North 00°34'43" West, 5.31 feet; thence North 44°24'10" West, 200.97 feet; thence North 45°57'27" East, 382.31 feet; thence North 89°25'17" East, 406.44 feet to a point on the east line of said Lot 2; thence South 00°34'43" East along the east line of said Lot 2, 260.00 feet to the Point of Beginning. Containing 144,762 sq. ft. (3.3233 acres) more or less.

Area Currently Shown on Comprehensive Land Use Map as Business Park and Requested to be Changed to Residential

Part of Outlot 1 of Certified Survey Map No. 9505, located in the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows: Beginning at the southeast corner of said Outlot 1; thence North 89°42'41" West along the south line of said Outlot 1, 844.14 feet; thence North 01°10'06" West, 1155.10 feet; thence North 89°25'17" East, 116.04 feet; thence North 00°34'43" West, 359.81 feet to the north line of said Outlot 1; thence North 53°26'01" East along said north line, 169.70 feet; thence North 00°51'07" West along said north line, 180.39 feet; thence South 89°28'18" East along said north line, 102.69 feet; thence South 46°55'39" East along said north line, 177.07 feet; thence South 89°44'26" East along said north line, 41.64 feet to the northeast corner of said Outlot 1; thence South 00°36'33" East along the east line of said Outlot 1, 1153.26 feet; thence North 89°23'27" East along said east line, 330.12 feet; thence South 00°36'33" East along said east line, 529.83 feet to the Point of Beginning. Containing 992,963 sq. ft. (22.7953 acres) more or less.

This public hearing is being held pursuant to the requirements of Wis. Stat. § 66.1001(4)(d). The public is invited to attend the public hearing and to provide input. The proposed

ordinance to amend the City of Franklin 2025 Comprehensive Master Plan is available and open for inspection by the public in the Office of the City Clerk at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin 53132, during normal business hours. The proposed draft ordinance is also available and open for inspection by the public at the Franklin Public Library, 9151 West Loomis Road, Franklin, Wisconsin 53132, during normal business hours. In addition, the draft ordinance is available for review at www.franklinwi.gov. Any questions or comments about the proposed amendment to the Comprehensive Master Plan may be directed to Joel Dietl, City of Franklin Planning Manager, at 414-425-4024.

Dated this 17th day of April, 2019.

Sandra L. Wesolowski
City Clerk

N.B. Class I

Please Publish: April 24, 2019

APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 06/04/19
ORGANIZATIONAL BUSINESS	Boards and Commissions Appointment	ITEM NUMBER <i>E.</i>

The Mayor has made the following appointments for Council confirmation:

1. Alan Aleksandrowicz, 3927 W. Glenwood Dr., Ald. Dist. 4, Library Board for a 3-year unexpired term expiring 06/30/21.
2. Dr. Reivian Berrios, 3909 W. Minnesota Ave., Ald. Dist. 3, Library Board for a 3-year term expiring 06/30/22.

COUNCIL ACTION REQUESTED

The following appointment is for Council confirmation:

1. Alan Aleksandrowicz, 3927 W. Glenwood Dr., Ald. Dist. 4, Library Board for a 3-year unexpired term expiring 06/30/21.
2. Dr. Reivian Berrios, 3909 W. Minnesota Ave., Ald. Dist. 3, Library Board for a 3-year term expiring 06/30/22.

Shirley Roberts

From: volunteerfactsheet@franklinwi.info
Sent: Tuesday, May 07, 2019 8:31 AM
To: Lisa Huening; Shirley Roberts; Sandi Wesolowski
Subject: Volunteer Fact Sheet

Name: Alan Aleksandrowicz
PhoneNumber: 4147619277
EmailAddress: alan.a.3927@gmail.com
YearsasResident: 42
Alderman:
ArchitecturalBoard: 0
CivicCelebrations: 0
CommunityDevelopmentAuthority: 0
EconomicDevelopmentCommission: 0
EnvironmentalCommission: 0
FinanceCommittee: 0
FairCommission: 0
BoardofHealth: 0
FirePoliceCommission: 0
ParksCommission: 0
LibraryBoard: 1
PlanCommission: 0
PersonnelCommittee: 0
BoardofReview: 0
BoardofPublicWorks: 0
QuarryMonitoringCommittee: 0
TechnologyCommission: 0
TourismCommission: 0
BoardofZoning: 0
WasteFacilitiesMonitoringCommittee: 0
BoardWaterCommissioners: 0
CompanyNameJob1: Franklin Public Schools
TelephoneJob1: 4145298220
StartDateandPositionJob1: April, 2013 / Member of the board
EndDateandPositionJob1: April, 2019 / Clerk of the board
CompanyNameJob2: Connected Technologies Solutions
TelephoneJob2: 2624378080
StartDateandPositionJob2: November, 2017 / Controller
EndDateandPositionJob2: August 2018 / Controller
CompanyNameJob3: Midland Plastics, Inc.

TelephoneJob3: 2629387000
StartDateandPositionJob3: September, 2006 / Controller
EndDateandPositionJob3: March, 2018 / Controller
Signature: Alan Aleksandrowicz
Date: 5/7/2019
Signature2: Alan Aleksandrowicz
Date2: 5/7/2019
Address: 3927 W GLENWOOD DR
PriorityListing:
WhyInterested: I have talent that I would like to continue to give back to the community.
CompanyAddressJob1: 8255 West Forest Hill Avenue Franklin, WI 53132
DescriptionofDutiesJob1: Voted as a member of the board on those issues that came before the board. Supported and promoted the School Board.
AddressJob2: W146 N9560 Held Drive Menomonee Falls, WI 53051
DescriptionofDutiesJob2: Accounting, Purchasing, and Scheduling reported to the Controller. Produced financial statements and other reports as required. Evaluate processes and procedures to improve efficiencies and purchased all insurance.
AddressJob3: 5405 S Westridge Ct New Berlin, WI 53151
DescriptionofDutiesJob3: Accounting, Information Technology and the Receptionist Reported to the Controller. Produced financial statements and other reports as required. Evaluate processes and procedures to improve efficiencies and purchased all insurance.
AdditionalExperience: I bring a positive attitude and have a knack for relieving tense situations.
ClientIP: 75.11.31.58
SessionID: kirxjen52g3oijrew5kc1o55
See Current Results

Shirley Roberts

From: volunteerfactsheet@franklinwi.info
Sent: Monday, May 06, 2019 3:11 AM
To: Lisa Huening; Shirley Roberts; Sandi Wesolowski
Subject: Volunteer Fact Sheet

Name: Dr. Reivian Berrios
PhoneNumber: 4144236845
EmailAddress: rbbpt@sbcglobal.net
YearsasResident: 17
Alderman:
ArchitecturalBoard: 1
CivicCelebrations: 0
CommunityDevelopmentAuthority: 0
EconomicDevelopmentCommission: 0
EnvironmentalCommission: 0
FinanceCommittee: 0
FairCommission: 0
BoardofHealth: 0
FirePoliceCommission: 0
ParksCommission: 0
LibraryBoard: 1
PlanCommission: 0
PersonnelCommittee: 0
BoardofReview: 0
BoardofPublicWorks: 0
QuarryMonitoringCommittee: 0
TechnologyCommission: 1
TourismCommission: 0
BoardofZoning: 0
WasteFacilitiesMonitoringCommittee: 0
BoardWaterCommissioners: 0
CompanyNameJob1: Concordia University- Wisconsin
TelephoneJob1: 2622432158
StartDateandPositionJob1: 2/1/2016/Assistant Professor
EndDateandPositionJob1: currently
CompanyNameJob2: Marquette University
TelephoneJob2:
StartDateandPositionJob2: 2002/Instructor & Graduate Assistant
EndDateandPositionJob2: 2015
CompanyNameJob3: Aurora Health Care

TelephoneJob3:
StartDateandPositionJob3: 7/1/2001/physical therapist
EndDateandPositionJob3: currently
Signature: Reivian Berrios
Date: 05/06/2019
Signature2: Reivian Berrios
Date2: 05/06/2019
Address: 3909 W Minnesota Av
PriorityListing: 1)Library Board, 2)Technology Commission, 3)Architectoral Review Board
WhyInterested: My family and I have lived in Franklin for many years and enjoy this city. I would like to become more involved in Franklin's happenings by giving input on different developments/boards. 1)We use the library services regularly and visit the library 1-2 times weeks for a variety of children's activities. As a professor, researcher and parent; I could provide insight on materials for children and adults. 2)As a professor, I teach a few courses online and have used coding for various research projects. I could provide information on technology that may be useful for the city. 3)We built a home in Franklin in 2002 and understand some of the issues that arise with constructing a home and updating a home.
CompanyAddressJob1:
DescriptionofDutiesJob1: Educator and researcher in graduate allied health programs
AddressJob2:
DescriptionofDutiesJob2: Educator and researcher in allied health programs
AddressJob3:
DescriptionofDutiesJob3: Provide physical therapy services
AdditionalExperience: cycling (road & mountain biking), avid reader (member of community book club)
ClientIP: 108.84.69.84
SessionID: mqpyso55klcn3b45sv2k0trw
See Current Results

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May 29, 2019

RE: REQUEST FOR COMMON COUNCIL TO DENY
REQUEST FOR CITY WATER AND SEWER ON South 116th
Street

Dear Common Council:

I met with the City Engineering Department about rebuilding my home at 8570 S. 116th Street, Franklin, WI 53132 (Parcel Number 842-9995-004). My home was completely destroyed by a fire on January 31, 2019. The Engineering Department states in order to rebuild on my lot (which is zoned R-3) they require me to have the Common Council decline my request for City Water and Sewer. There has never been city water or sewer on S. 116th Street. I can find no such requirement to ask the Common Council to deny a request for City Water and Sewer. The Engineering Department is unable to provide one yet they demand that I come before the Common Council.

My lot is zoned R-3 (as are all lots on South 116th St) and all require City Water and Sewer unless none is available. All the homes have a well and septic system. Since no city water or sewer is available, now, according to the City Engineering Department, the Common Council needs to formally deny a request for City Water and Sewer on S.116th Street to allow the use of a well and Private Onsite Wastewater Treatment Systems (POWTS) aka "mound system". Therefore I am requesting you deny the request for City Water and Sewer in order to "satisfy" the Engineering Department so that I may rebuild my home at 8570 S. 116th Street, Franklin, WI 53132. I am not requesting and I do not want a Surveying Of Opinion from property owners upon a petition of sanitary sewer or water main in accordance with Resolution No. 93-3955.Dated 5th of April 1993. I just want the Common Council

to deny my request in order to “satisfy” the Engineering Department. I can only use a well and septic system (as I did before my home burned to the ground). The Engineering Department demands that I ask the Common Council to waive the requirement for Public Water and Sanitary Service for R-3 at 8570 S. 116th Street, Franklin, WI 53132 Parcel Number 842-9995-004 before Engineering will allow me to build. The Engineering Department refuses to explain to me why they feel they have the authority on these issues.

I wish I did not have to bother the Common Council with what I consider an absurd request by the Engineering Department and a waste of the Common Council’s valuable time. Yet sadly, I must as the Engineering Department demands I do so.

The Department of Engineering also wants the Board of Water Commissioners (BOWC) to render an opinion on the matter. The BOWC has no authority over a private well IAW Chapter 207, SEWERS and WATER, IAW Chapter 207 Sewers and Water states their duties are confined exclusively to the Water Utility of the City defined in 207-5, paragraph F and G. quoted below

- F. Duties. The Board of Water Commissioners shall take entire charge and management of the Water Utility and Water Department of the City, employ a manager and fix his or her intention. The Board of Water Commissioners may employ the services of other City officials in accordance with Subsection L of this section, and may employ and shall be responsible for the compensation of all of its subordinate employees.
- G. Powers. The Board of Water Commissioners shall have complete charge of construction, extension, improvement, operation and maintenance of the Water Utility, subject to the powers and jurisdiction fixed by law and the ordinances of the City and the rules of the Public Service Commission. It may purchase sites and make, prepare and adopt plans, designs and specifications for buildings, machinery, apparatus and the laying of mains and appliances required for the proper functioning of the Utility. The Board shall have such other powers and duties as may be granted to it by law or by ordinance of the City.

Private Wells are not part of the Water Utility of the City. Private Wells are the exclusive domain of the Wisconsin Department of Natural Resources.

Reference Franklin Municipal Code Ch 190 Article VII, section 190-18 states

§ 190-18. Water pumps and wells.

All water pumps and wells shall be installed and constructed in accordance with the current Wisconsin Well Construction and Pump Installation Code, and said Code is made, by reference, a part of this chapter.

Privately Owned Water Treatment Systems (POWTS) likewise are managed exclusively by the State Of Wisconsin. The only time an individual may not have a POWTS is when a public sanitary sewerage system is available or is planned in the next six months

Reference Franklin Municipal Code Ch 190 Article VII, section 190-27 states

- A. Where public sanitary sewerage system is not available and will not be available within six months, a private sewage system may be installed in accordance with §§ 190-28 and 190-29.

As you know, no public sanitary sewerage system is available on S. 116th Street and there are no plans to make one available in the next six months.

In summary, Franklin Engineering Department will not allow me to rebuild my home. I am ready to start building now (after the required permits and reviews are obtained). No permits can be issued, no Architectural Review Board review, etc while the Engineering Department stands in the way of me rebuilding my home until the Common Council denies my request. No one knows why the Engineering Department feels compelled to stop me from rebuilding.

Thank you for your time

Robert G. Montgomery

Robert Montgomery

P.S. It should be noted the City of Franklin Engineering Department has not interfered with the construction of a new home on S. 116th Street ¼ of a mile south of me (Parcel ID: 8459996000). This new construction has obtained permits for a private well and a POWTS, with no interference by the City of Franklin Engineering Department. Why the City Engineering Department has taken an interest in stopping me from rebuilding my home is a mystery. Mr. Marshall (who owns Parcel ID: 8459996000) and I are in identical situations as both of us have no access to city water and/or sewer on S. 116th Street. The City Engineering Department did not require Mr. Marshall to ask the Common Council to deny a request for City Sewer and Water. And Engineering did not request a review of Mr. Marshall's home by the BOWC. Why I am being singled out for special treatment I do not know. No one in Engineering has explained why Mr. Marshall is allowed to build and I cannot.

APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE JUNE 4, 2019
REPORTS AND RECOMMENDATIONS	RESOLUTION TO GRANT OVERHEAD DISTRIBUTION EASEMENT TO WISCONSIN ELECTRIC POWER COMPANY FOR CITY-OWNED PARCEL AT S. 51ST STREET AND W. DREXEL AVENUE (PARCEL 806-9992-002)	ITEM NUMBER <i>G.1.(a)</i>

BACKGROUND

The City is reconstructing the intersection at S. 51st Street and W. Drexel Avenue. As part of that work, Wisconsin Electric Power Company needs to relocate some power poles and a guy wire needs to extend off of the right of way into a City-owned parcel on the southwest corner.

FISCAL NOTE

There is no fiscal impact for this easement.

ANALYSIS

This is appropriate and needed for the reconstruction of the intersection.

OPTIONS

- A. Authorize the Mayor to execute the enclosed easement.
- B. Refer back to Staff with further direction.

COUNCIL ACTION REQUESTED

(Options A) Adopt resolution 2019-_____, A resolution authorizing the Mayor to grant overhead distribution easement to Wisconsin Electric Power Company for City-owned parcel at S. 51st Street and W. Drexel Avenue (Parcel 806-9992-002)

Engineering: GEM

STATE OF WISCONSIN : CITY OF FRANKLIN : MILWAUKEE COUNTY

RESOLUTION NO. 2019- _____

RESOLUTION TO GRANT OVERHEAD DISTRIBUTION EASEMENT TO
WISCONSIN ELECTRIC POWER COMPANY FOR CITY-OWNED PARCEL AT
S. 51ST STREET AND W. DREXEL AVENUE (PARCEL 806-9992-002)

WHEREAS, the City of Franklin is reconstructing the intersection of S. 51st Street and W. Drexel Avenue from a controlled all-way stop to a roundabout; and

WHEREAS, Wisconsin Electric Power company needs to accommodate the construction by relocating a power pole and said pole needs a guy wire to extend onto a City-owned parcel.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Mayor may execute a document to grant an overhead distribution easement to Wisconsin Electric Power Company for City-owned parcel at S. 51st Street and W. Drexel Avenue (Parcel 806-9992-002)

Introduced at a regular meeting of the Common Council of the City of Franklin the
_____ day of _____, 2019, by Alderman _____.

PASSED AND ADOPTED by the Common Council of the City of Franklin on the
_____ day of _____, 2019.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

**DISTRIBUTION EASEMENT
OVERHEAD**

Document Number

WR NO. **4358033** IO NO. **75850**

For good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, **CITY of FRANKLIN, a Wisconsin Municipal Corporation**, hereinafter referred to as "Grantor", owner of land, hereby grants and warrants to **WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin corporation doing business as We Energies**, hereinafter referred to as "Grantee", a permanent easement upon, within, beneath, over and across a part of Grantor's land hereinafter referred to as "easement area".

The easement area is described as a strip of land six (6) feet in width being a part of the Grantor's premises more particularly described in that certain **Warranty Deed**, as recorded in the office of the Register of Deeds for Milwaukee County on August 8th, 2007, as **Document No. 09476366**; also being a part of the **Northwest ¼ of Section 14, Township 5 North, Range 21 East**, City of Franklin, Milwaukee County, Wisconsin.

The location of the easement area with respect to Grantor's land is as shown on the attached drawing, marked Exhibit "A", and made a part of this document.

RETURN TO:
We Energies
PROPERTY RIGHTS & INFORMATION GROUP
231 W. MICHIGAN STREET, ROOM A252
PO BOX 2046
MILWAUKEE, WI 53201-2046

806-9992-002
(Parcel Identification Number)

1. **Purpose:** The purpose of this easement is to construct, erect, operate, maintain and replace overhead utility facilities, including a line of poles, together with the necessary conductors, anchors, guy wires, underground cable, pedestals, riser equipment and all other appurtenant equipment above ground which Grantee deems necessary to transmit electric energy, signals, television and telecommunications services, including the customary growth and replacement thereof. Trees, bushes, branches and roots may be trimmed or removed by Grantee whenever it decides it is necessary so as not to interfere with Grantee's use of the easement area.
2. **Access:** Grantee or its agents shall have the right to enter and use Grantor's land with full right of ingress and egress over and across the easement area and adjacent lands of Grantor for the purpose of exercising its rights in the easement area.
3. **Buildings or Other Structures:** Grantor agrees that no structures will be erected in the easement area or in such close proximity to Grantee's facilities as to create a violation of all applicable State of Wisconsin electric codes or any amendments thereto.
4. **Elevation:** Grantor agrees that the elevation of the ground surface existing as of the date of the initial installation of Grantee's facilities within the easement area will not be altered by more than 4 inches without the written consent of Grantee.
5. **Restoration:** Grantee agrees to restore or cause to have restored Grantor's land, as nearly as is reasonably possible, to the condition existing prior to such entry by Grantee or its agents. This restoration, however, does not apply to any trees, bushes, branches or roots which may interfere with Grantee's use of the easement area.
6. **Exercise of Rights:** It is agreed that the complete exercise of the rights herein conveyed may be gradual and not fully exercised until some time in the future, and that none of the rights herein granted shall be lost by non-use.
7. **Binding on Future Parties:** This grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.
8. **Easement Review:** Grantor acknowledges receipt of materials which describe Grantor's rights and options in the easement negotiation process and furthermore acknowledges that Grantor has had at least 5 days to review this easement document or voluntarily waives the five day review period.

Grantor:

CITY of FRANKLIN, a Wisconsin Municipal Corporation

By _____

(Print name and title): _____

By _____

(Print name and title): _____

Personally came before me in Milwaukee County, Wisconsin on _____, 2019,
the above named _____, the _____
and _____, the _____
of the CITY of FRANKLIN, a Wisconsin Municipal Corporation, for the municipal corporation, by its authority, and pursuant to
Resolution File

No. _____ adopted by its _____ on _____, 2019.

Notary Public Signature, State of Wisconsin

Notary Public Name (Typed or Printed)

(NOTARY STAMP/SEAL)

My commission expires _____

KEY

CENTERLINE OF A 6 FOOT
WIDE EASEMENT AREA

R.O.W.

LINE	LENGTH	BEARING
L1	4.00'	N89°28'16"W

W. DREXEL AVE.
SECTION LINE

N1/4 COR.
SEC. 14
T5N R21E

160.95' S00°07'13"E
QUARTER SECTION LINE

R.O.W.

R.O.W.

PROPERTY LINE

P.O.E.

P.O.B.

69.87'

S89°52'47"W

L1

PROPERTY LINE

PROPERTY LINE

R.O.W.

PROPERTY LINE

S. 51ST ST.

R.O.W.

SCALE, FEET

0 25 50



BEARINGS REFERENCED TO
WISCONSIN STATE PLANE COORDINATE SYSTEM,
SOUTH ZONE (NAD 27)

KA KAPUR & ASSOCIATES, INC.
CONSULTING ENGINEERS
MILWAUKEE, WISCONSIN
414.351.6668

EXHIBIT "A"

we energies



PART OF THE NE ¼ OF THE NW ¼ OF
SEC. 14, T5N, R21E, CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN

WR NUMBER: 4358033

DATE: 04/12/2019

DRAWN BY: GRS

SCALE: 1" = 50'

PAGE 1 of 1

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APPROVAL <i>Slw mwb jh</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 6/4/2019
REPORTS & RECOMMENDATIONS	New 1-Year Long-Distance Telephone Service Agreement with AT&T	ITEM NUMBER <i>G.1.(b)</i>

The City's current agreement for long-distance telephone services will expire sometime in June of this year. AT&T is our current provider, and they also currently provide City Hall's PRI, ISDN, and Centrex services and lines, both digital and analog. The City's other AT&T service contracts do not expire until August of this year. There is administrative convenience to staying with one provider, and there are administrative costs and productivity associated with switching carriers.

The City's average monthly bill for long distance services is only about \$105-\$125. The attached AT&T new 1-year service agreement for long distance is exactly the same as our current agreement and at the exact same pricing for another year. Without being under a contract, long distance rates are much higher and the City could then also be exposed to any increased rates should any be applied throughout the year.

Since the City's phone system was upgraded last July, and the City's other AT&T service contracts will be expiring later this year, the City's IT Director is currently looking into working with a company to assist at reviewing the City's telecommunication costs and options for both voice and data and its various PRI, ISDN, and Centrex service lines. Until then, the Director of Administration recommends renewing the City's long distance contractual relationship with AT&T for another year at the rate of \$.044 per minute. Again, it is not cost-effective to continue the City's long distance service at a non-contracted rate as it would probably more than double the cost per minute.

COUNCIL ACTION REQUESTED

Motion to authorize the Director of Administration to execute a new 1-year long distance service agreement with AT&T for another year at the same pricing.



AT&T HIGH VOLUME CALLING IVSM
\$600 thru \$12,000 MAC
Service Agreement – Pursuant to Standard Tariff or Guidebook

Customer	AT&T
City of Franklin Street Address: 9229 W Loomis City: Franklin State/Province: WI Zip Code: 53132 Country: USA	AT&T Corp.
Customer Contact (for Notices)	AT&T Contact (for Notices)
Name: Mark Luberdia Title: Director of Administration Street Address: 9229 W Loomis City: Franklin State/Province: WI Zip Code: 53132 Country: USA Telephone: 414-858-1100 Email: Customer Account Number or Master Account Number: 859995825	Name: Megan Mihal Street Address: 3656 Massillon Rd City: Uniontown State/Province: OH Zip Code: 44685 Country: USA Telephone: 877-577-6248 Email: MM751A@att.com Sales/Branch Manager: Cindy Klumb SCVP Name: Keith Snyder Sales Strata: LED Sales Region: Midwest With a copy (for Notices) to: AT&T Corp. One AT&T Way Bedminster, NJ 07921-0752 ATTN: Master Agreement Support Team Email: mast@att.com
AT&T Solution Provider or Representative Information (if applicable) <input type="checkbox"/>	
Name: Company Name: Agent Street Address: City: State: Zip Code: Telephone: Fax: Email: Agent Code	

Customer agrees to purchase the Service identified below in accordance with this Service Agreement and the following documents, which are incorporated by reference: (i) applicable Tariffs, Guidebooks found at att.com/servicepublications; and (ii) the AT&T Business Services Agreement ("BSA") located <http://www.corp.att.com/agreement/>. AT&T may revise Tariffs, Guidebooks and the BSA (collectively "Service Publications") at any time and may direct Customer to websites other than listed above. The order of priority of the documents that form this Agreement is: this Service Agreement, and the applicable Service Publications; provided that Tariffs will be first in priority in any jurisdiction where applicable law or regulation does not permit contract terms to take precedence over inconsistent Tariff terms. This Agreement continues so long as Services are provided under this Agreement.

The Effective Date of this Service Agreement is the date signed by the last party.

AT&T reserves the right to reject this Service Agreement if not signed by Customer and submitted to AT&T on or before June 30, 2019.

Customer (by its authorized representative)	AT&T (by its authorized representative)
By:	By:
Name: Mark Luberdia	Name:
Title: Director of Administration	Title:
Date:	Date:



AT&T HIGH VOLUME CALLING IVSM
\$600 thru \$12,000 MAC
Service Agreement – Pursuant to Standard Tariff or Guidebook

1. SERVICE, SERVICE PROVIDER and SERVICE PUBLICATION

Service	AT&T High Volume Calling IV SM – an optional calling plan for outbound and inbound long distance services
Service Provider	SBC Long Distance, LLC d/b/a AT&T Long Distance ("AT&T")
Service Publication	AT&T Long Distance Voice Product Reference and Pricing Guidebook ("Guidebook") and applicable state tariff or guidebook: http://cpr.att.com/pdf/sbclld/sbclldmain.html

2. SERVICE AGREEMENT TERM and EFFECTIVE DATES

Service Agreement Term	As specified below
Start Date of Service Agreement Term	Upon implementation in the AT&T billing system
Effective Date of Rates and Discounts	Start Date of Service Agreement Term
Rates Following end of Service Agreement Term	Out of term rates per Service Publication as revised from time to time

3. TERM and MAC

Term and MAC: Options for 1 or 2 Year Terms with MAC of \$600, \$2,400, \$6,000, \$9,000 or \$12,000	1 Year Term \$600 MAC
---	------------------------------

4. RATES and CHARGES

- A. High Volume Calling IV – Interstate Switched - Per minute usage rates for outbound calls and inbound TFS based on the selected MAC and Term in Section 3.

MAC	1 Year Term	2 Year Term
\$600	\$0.0450	\$0.0440
\$2,400	\$0.0440	\$0.0430
\$6,000	\$0.0430	\$0.0420
\$9,000	\$0.0425	\$0.0415
\$12,000	\$0.0420	\$0.0410

- B. High Volume Calling IV – Intrastate InterLATA and IntraLATA Switched - Per minute usage rates for outbound calls and inbound TFS per State based on the selected MAC and Term in Section 3.

MAC	InterLATA		IntraLATA			MAC	InterLATA		IntraLATA	
California	1 Year Term	2 Year Term	1 Year Term	2 Year Term		Nevada	1 Year Term	2 Year Term	1 Year Term	2 Year Term
\$600	\$0.0450	\$0.0440	\$0.0450	\$0.0440		\$600	\$0.0547	\$0.0547	\$0.0547	\$0.0547
\$2,400	\$0.0440	\$0.0430	\$0.0440	\$0.0430		\$2,400	\$0.0547	\$0.0547	\$0.0547	\$0.0547
\$6,000	\$0.0430	\$0.0420	\$0.0430	\$0.0420		\$6,000	\$0.0547	\$0.0547	\$0.0547	\$0.0547
\$9,000	\$0.0425	\$0.0415	\$0.0425	\$0.0415		\$9,000	\$0.0547	\$0.0547	\$0.0547	\$0.0547
\$12,000	\$0.0420	\$0.0410	\$0.0420	\$0.0410		\$12,000	\$0.0547	\$0.0547	\$0.0547	\$0.0547

MAC	InterLATA		IntraLATA			MAC	InterLATA		IntraLATA	
Texas	1 Year Term	2 Year Term	1 Year Term	2 Year Term		Oklahoma	1 Year Term	2 Year Term	1 Year Term	2 Year Term
\$600	\$0.0680	\$0.0680	\$0.0680	\$0.0680		\$600	\$0.0680	\$0.0680	\$0.0680	\$0.0680
\$2,400	\$0.0680	\$0.0680	\$0.0680	\$0.0680		\$2,400	\$0.0680	\$0.0680	\$0.0680	\$0.0680
\$6,000	\$0.0680	\$0.0680	\$0.0680	\$0.0680		\$6,000	\$0.0680	\$0.0680	\$0.0680	\$0.0680
\$9,000	\$0.0680	\$0.0680	\$0.0680	\$0.0680		\$9,000	\$0.0680	\$0.0680	\$0.0680	\$0.0680
\$12,000	\$0.0680	\$0.0680	\$0.0680	\$0.0680		\$12,000	\$0.0680	\$0.0680	\$0.0680	\$0.0680



AT&T HIGH VOLUME CALLING IVSM
\$600 thru \$12,000 MAC
Service Agreement – Pursuant to Standard Tariff or Guidebook

MAC		InterLATA		IntraLATA		MAC		InterLATA		IntraLATA	
Kansas		1 Year Term	2 Year Term	1 Year Term	2 Year Term	Michigan		1 Year Term	2 Year Term	1 Year Term	2 Year Term
\$600		\$0.0680	\$0.0680	\$0.0680	\$0.0680	\$600		\$0.0450	\$0.0440	\$0.0450	\$0.0440
\$2,400		\$0.0680	\$0.0680	\$0.0680	\$0.0680	\$2,400		\$0.0440	\$0.0430	\$0.0440	\$0.0430
\$6,000		\$0.0680	\$0.0680	\$0.0680	\$0.0680	\$6,000		\$0.0430	\$0.0420	\$0.0430	\$0.0420
\$9,000		\$0.0680	\$0.0680	\$0.0680	\$0.0680	\$9,000		\$0.0425	\$0.0415	\$0.0425	\$0.0415
\$12,000		\$0.0680	\$0.0680	\$0.0680	\$0.0680	\$12,000		\$0.0420	\$0.0410	\$0.0420	\$0.0410

MAC		InterLATA		IntraLATA		MAC		InterLATA		IntraLATA	
Illinois		1 Year Term	2 Year Term	1 Year Term	2 Year Term	Indiana		1 Year Term	2 Year Term	1 Year Term	2 Year Term
\$600		\$0.0450	\$0.0440	\$0.0450	\$0.0440	\$600		\$0.0450	\$0.0440	\$0.0450	\$0.0440
\$2,400		\$0.0440	\$0.0430	\$0.0440	\$0.0430	\$2,400		\$0.0440	\$0.0430	\$0.0440	\$0.0430
\$6,000		\$0.0430	\$0.0420	\$0.0430	\$0.0420	\$6,000		\$0.0430	\$0.0420	\$0.0430	\$0.0420
\$9,000		\$0.0425	\$0.0415	\$0.0425	\$0.0415	\$9,000		\$0.0425	\$0.0415	\$0.0425	\$0.0415
\$12,000		\$0.0420	\$0.0410	\$0.0420	\$0.0410	\$12,000		\$0.0420	\$0.0410	\$0.0420	\$0.0410

MAC		InterLATA		IntraLATA		MAC		InterLATA		IntraLATA	
Ohio		1 Year Term	2 Year Term	1 Year Term	2 Year Term	Arkansas		1 Year Term	2 Year Term	1 Year Term	2 Year Term
\$600		\$0.0450	\$0.0440	\$0.0450	\$0.0440	\$600		\$0.0787	\$0.0787	\$0.0787	\$0.0787
\$2,400		\$0.0440	\$0.0430	\$0.0440	\$0.0430	\$2,400		\$0.0787	\$0.0787	\$0.0787	\$0.0787
\$6,000		\$0.0430	\$0.0420	\$0.0430	\$0.0420	\$6,000		\$0.0787	\$0.0787	\$0.0787	\$0.0787
\$9,000		\$0.0425	\$0.0415	\$0.0425	\$0.0415	\$9,000		\$0.0787	\$0.0787	\$0.0787	\$0.0787
\$12,000		\$0.0420	\$0.0410	\$0.0420	\$0.0410	\$12,000		\$0.0787	\$0.0787	\$0.0787	\$0.0787

MAC		InterLATA		IntraLATA		MAC		InterLATA		IntraLATA	
Wisconsin		1 Year Term	2 Year Term	1 Year Term	2 Year Term	Missouri		1 Year Term	2 Year Term	1 Year Term	2 Year Term
\$600		\$0.0437	\$0.0437	\$0.0437	\$0.0437	\$600		\$0.0925	\$0.0925	\$0.0925	\$0.0925
\$2,400		\$0.0437	\$0.0437	\$0.0437	\$0.0437	\$2,400		\$0.0925	\$0.0925	\$0.0925	\$0.0925
\$6,000		\$0.0437	\$0.0437	\$0.0437	\$0.0437	\$6,000		\$0.0925	\$0.0925	\$0.0925	\$0.0925
\$9,000		\$0.0437	\$0.0437	\$0.0437	\$0.0437	\$9,000		\$0.0925	\$0.0925	\$0.0925	\$0.0925
\$12,000		\$0.0437	\$0.0437	\$0.0437	\$0.0437	\$12,000		\$0.0925	\$0.0925	\$0.0925	\$0.0925

C. International Rates and Charges (Select One)

- ☐ International – High Volume Calling IV Option C Rates; additional Non-recurring charge: \$9.95
☒ Standard International Rates; No additional Non-recurring charge

4. GENERAL TERMS

- A. Additional Services, Rates and Charges: The rates and charges for the following are not stabilized for the Service Agreement Term: International, International Mobile Termination Charges, Operator Toll Assistance Services, Directory Assistance Services, and any applicable payphone origination and other third-party pass through charges, regulatory fees, surcharges, and TFS charges. All such rates and charges are as set forth in the then-current Guidebook or Tariffs, and are subject to change at any time.
- B. Automatic Dialer Devices. CUSTOMER SHALL NOT USE AUTODIALERS, PREDICTIVE DIALERS OR OTHER DEVICES THAT GENERATE AUTOMATED OUTBOUND CALLS IN CONJUNCTION WITH SERVICE OR SERVICE COMPONENTS PROVIDED



AT&T HIGH VOLUME CALLING IVSM
\$600 thru \$12,000 MAC
Service Agreement – Pursuant to Standard Tariff or Guidebook

UNDER THIS SERVICE AGREEMENT IS STRICTLY PROHIBITED. AT&T MAY TERMINATE THIS SERVICE AGREEMENT IMMEDIATELY IF CUSTOMER USES SUCH DEVICES.

- C. **Cancellation.** If Customer is non-responsive or not ready to have AT&T provision/fulfill the Service, AT&T may cancel this Service Agreement: (1) ninety (90) Days after Customer executes this Service Agreement; or (2) if Customer appropriately applies for E-Rate funding, (a) the later of (i) ninety (90) days after July 1st of the applicable E-Rate funding year or (ii) ninety (90) days after the date of the E-Rate Funding Commitment Decision Letter (FCDL)* for the Service in such E-Rate funding year, but, in any event, (b) upon expiration of the last day of such E-Rate funding year.

<i>New or upgrade to an existing AT&T Long Distance Agreement</i>	
<input checked="" type="checkbox"/>	This is a new AT&T Long Distance Service Agreement
<input type="checkbox"/>	This is an upgrade to an existing AT&T Long Distance Agreement and the guidelines from Section 3.9.7 Revenue and Term Plan Commitments of the Guidebook will apply to such existing agreement.

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APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE <i>6/04/2019</i>
REPORTS AND RECOMMENDATIONS	Fire Department Donations.	ITEM NUMBER <i>G. I. (c)</i>

The Franklin Fire Department has received a donation of \$50.00 from Franklin Residents Lori Nowak and Family in gratitude for EMS services rendered by fire department personnel.

The Department also received an additional donation in memoriam of the late Franklin Resident Donald Norman as was generously requested in his obituary. This donation was from Anita Sadar of Ocala, Florida, in the amount of \$50.00.

The Fire Department further received an anonymous cash donation in the amount of \$60.00.

The Fire Department relies on donations to help fund fire and safety educational programs in the community, and on occasion to aid in purchasing specialized medical equipment such as the LUCAS mechanical CPR device.

COUNCIL ACTION REQUESTED

Request approval to accept \$160.00 in donations.

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<p>APPROVAL</p> <p><i>Slw</i></p>	<p>REQUEST FOR COUNCIL ACTION</p>	<p>MEETING DATE</p> <p>06/04/19</p>
<p>REPORTS & RECOMMENDATIONS</p>	<p>AN ORDINANCE TO AMEND THE CITY OF FRANKLIN 2025 COMPREHENSIVE MASTER PLAN TO CHANGE THE CITY OF FRANKLIN 2025 FUTURE LAND USE MAP FOR PROPERTIES GENERALLY LOCATED SOUTH OF THE INTERSECTION OF WEST LOOMIS ROAD AND WEST RYAN ROAD, INCLUDING PORTIONS OF WHAT WAS FORMERLY 11205 WEST RYAN ROAD (THE EASTERN PORTION OF OUTLOT 1 AND THE SOUTHERN PORTION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 9095) FROM BUSINESS PARK USE AND AREAS OF NATURAL RESOURCE FEATURES USE TO RESIDENTIAL USE AND AREAS OF NATURAL RESOURCE FEATURES USE (APPROXIMATELY 26.1 ACRES) (MILLS HOTEL WYOMING, LLC, APPLICANT)</p>	<p>ITEM NUMBER</p> <p>G, 2,</p>

At their May 9, 2019 meeting, the Plan Commission recommended approval of an ordinance providing for an amendment to the Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for properties generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095) from Business Park Use and Areas of Natural Resource Features Use to Residential Use and Areas of Natural Resource Features Use, such property bearing Tax Key Nos. 891-9008-000 and 891-9010-000 (Mills Hotel Wyoming, LLC, Applicant).

This item was tabled from the May 21, 2019 meeting to the June 4, 2019 meeting by the Council due to a need to properly notice the Comprehensive Master Plan Amendment.

COUNCIL ACTION REQUESTED

A motion to adopt Ordinance 2019-_____, an ordinance providing for an amendment to the Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for properties generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095) from Business Park Use and Areas of Natural Resource Features Use to Residential Use and Areas of Natural Resource Features Use, such property bearing Tax Key Nos. 891-9008-000 and 891-9010-000 (Mills Hotel Wyoming, LLC, Applicant).

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

ORDINANCE NO. 2019-_____

AN ORDINANCE TO AMEND THE CITY OF FRANKLIN 2025
COMPREHENSIVE MASTER PLAN TO CHANGE THE CITY OF FRANKLIN
2025 FUTURE LAND USE MAP FOR PROPERTIES GENERALLY LOCATED SOUTH
OF THE INTERSECTION OF WEST LOOMIS ROAD AND WEST RYAN ROAD,
INCLUDING PORTIONS OF WHAT WAS FORMERLY 11205 WEST RYAN ROAD
(THE EASTERN PORTION OF OUTLOT 1 AND THE SOUTHERN PORTION OF LOT 2
OF CERTIFIED SURVEY MAP NO. 9095) FROM BUSINESS PARK USE AND AREAS
OF NATURAL RESOURCE FEATURES USE TO RESIDENTIAL USE AND
AREAS OF NATURAL RESOURCE FEATURES USE
(APPROXIMATELY 26.1 ACRES)
(MILLS HOTEL WYOMING, LLC, APPLICANT)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Franklin is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, Mills Hotel Wyoming, LLC has applied for an amendment to the Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map designation for properties generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095) from Business Park Use and Areas of Natural Resource Features Use to Residential Use and Areas of Natural Resource Features Use; and

WHEREAS, the Plan Commission of the City of Franklin by a majority vote of the entire Commission on May 9, 2019, recorded in its official minutes, has adopted a resolution recommending to the Common Council the adoption of the Ordinance to Amend the City of Franklin 2025 Comprehensive Master Plan to change the City of Franklin 2025 Future Land Use Map for properties generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095) from Business Park Use and Areas of Natural Resource Features Use to Residential Use and Areas of Natural Resource Features Use; and

WHEREAS, the City of Franklin held a public hearing upon this proposed Ordinance, in compliance with the requirements of Wis. Stat. § 66.1001(4)(d); the Common Council having received input from the public at a duly noticed public hearing on May 21, 2019; and

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: The City of Franklin 2025 Comprehensive Master Plan is hereby amended to change the City of Franklin 2025 Future Land Use Map designation for properties generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095) from Business Park Use and Areas of Natural Resource Features Use to Residential Use and Areas of Natural Resource Features Use. Such properties are more particularly described within Resolution No. 2019 _____ of even-date herewith.

SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019, by Alderman _____.

Passed and adopted by a majority vote of the members-elect of the Common Council at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



REPORT TO THE PLAN COMMISSION

Meeting of May 9, 2019

**Comprehensive Master Plan Amendment, Rezoning and Preliminary
Plat Approval**

RECOMMENDATION: City Development Staff recommends approval of the proposed Comprehensive Master Plan Amendment, Rezoning and Preliminary Plat Approval subject to the conditions in the draft resolutions.

Project Name:	Mills Hotel Wyoming/Bear Development Comprehensive Master Plan Amendment, Rezoning and Preliminary Plat (aka Ryan Meadows)
Project Address:	Generally located southwest of W. Loomis Road, south of W. Ryan Road and west of S. 112 th Street, including 11205 W. Ryan Road
Applicant:	Bear Development, LLC
Owners (property):	Mills Hotel Wyoming, LLC
Current Zoning:	R-2 Estate Single Family Residence District, M-1 Light Industrial & C-1 Conservancy District
2025 Future Land Use:	Business Park, Areas of Natural Resource Features, and Residential
Use of Surrounding Properties:	Single-family residential to the north, east as well as the Irish Cottage to the north and agricultural land to the south and west
Applicant Action Requested:	Recommendation of approval of the Comprehensive Master Plan amendments, Rezoning and Preliminary Plat.

Project Description and Analysis:

On March 13, 2019, the applicant filed a Comprehensive Master Plan Amendment Application and Rezoning Application with the Department of City Development requesting approval to subdivide three existing parcels bearing Tax Key Nos. 891-9009-000, 891-9010-000, and 891-9008-000 and a fourth parcel currently under contract to purchase at 892-993-001 into lots for single family residential usage, industrial usage and resulting outlots to accommodate stormwater and natural areas. The applicant is also proposing to amend the City Comprehensive Master Plan for approximately 26.11 acres and to rezone for approximately 50.67 acres of land generally located southwest of W. Loomis Road, south of W. Ryan Road and west of S. 112th Street to match up with the proposed outer lots of the accompanying preliminary plat. The request would amend the Comprehensive Master Plan of the proposed areas as follows:

- Area Two: From Business Park to Residential (22.79 acres).
- Area 3: From Business Park to Residential (3.32 acres).

The application for rezoning proposes to amend the properties as follows:

- Area One: From R-2 Estate Single-Family Residence District to M-1 Limited Industrial District (24.56 acres).
- Area Two: From R-2 Estate Single-Family Residence District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District (22.79 acres).
- Area 3: From M-1 Limited Industrial District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District (3.32 acres).

The Preliminary Plat shows the resulting subdivision for residential and light industrial areas stemming from a previous request in 2018 and this proposal. The resulting amount of single family residential lots shown in the R-6 area is 78 residential lots. The resulting amount of light industrial area in the resulting M-1 district is four (4) lots.

It should be noted that the proposed “Outlot 2” consists of property recently contracted to purchase and at the time of the writing of this staff summary, it is understood by staff the property has not yet been closed on. Therefore, the proposed comprehensive land use amendment and rezoning for this particular property, with Tax Key Number 892-9993-001, would need to come back for an amendment to match adjacent properties and their respective Comprehensive Master Plan and Zoning Designations prior to final plat consideration by the City.

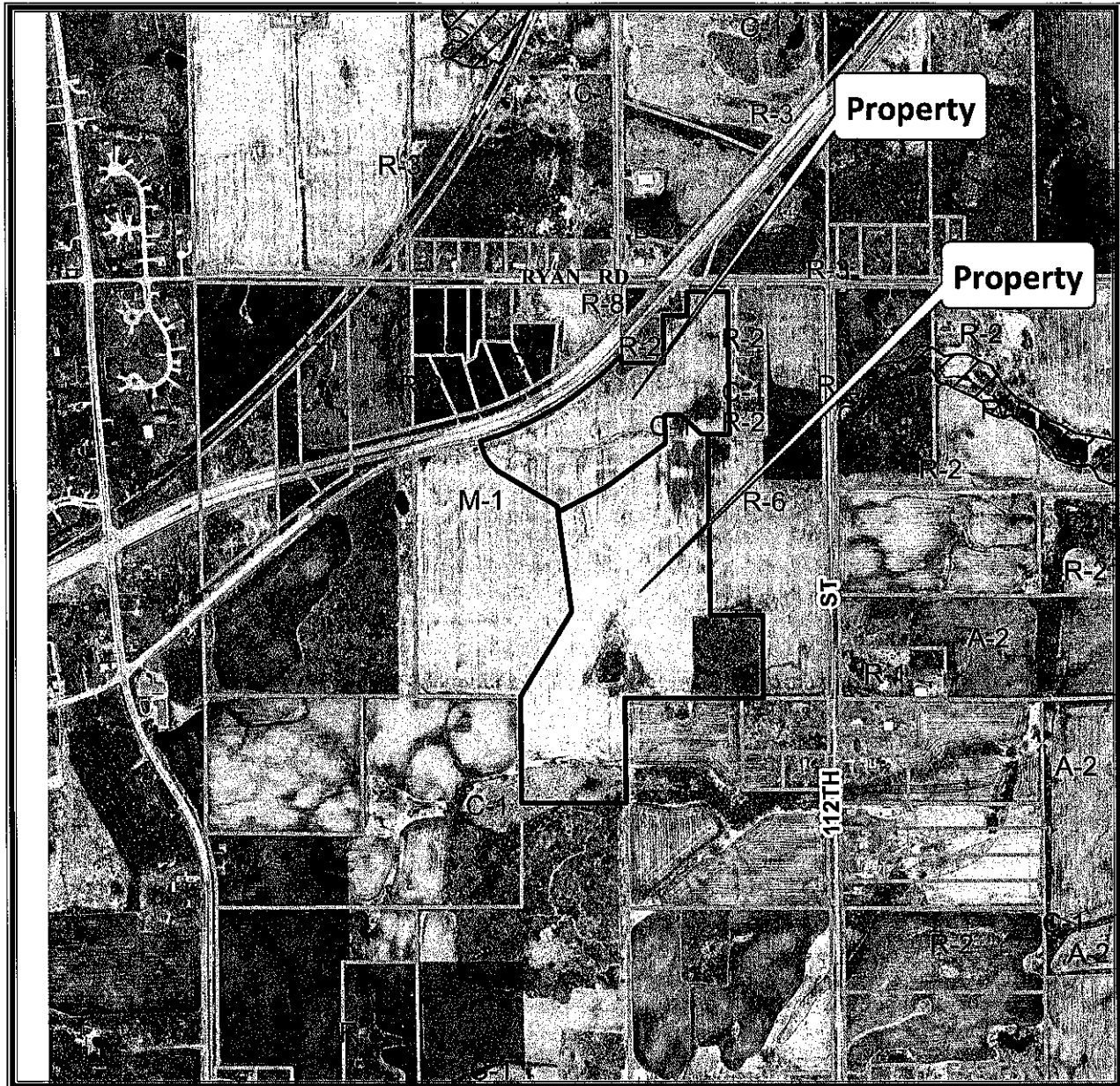
Please Note: As of the writing of this staff summary, the applicant has notified staff setback widths mentioned in staff comments nos. 2 and 24 for the residential lots will be shown on a revised set of plans, to be placed on the seats of the Commission members the night of the meeting.

Staff Recommendation:

City Development Staff recommends approval of the proposed Comprehensive Land Use Map Amendments, Rezoning and Preliminary Plat, subject to the conditions in the draft resolutions.



TKNs: 891 9008 000 and 891 9010 000



Planning Department
(414) 425-4024

0 600 1,200 2,400 Feet

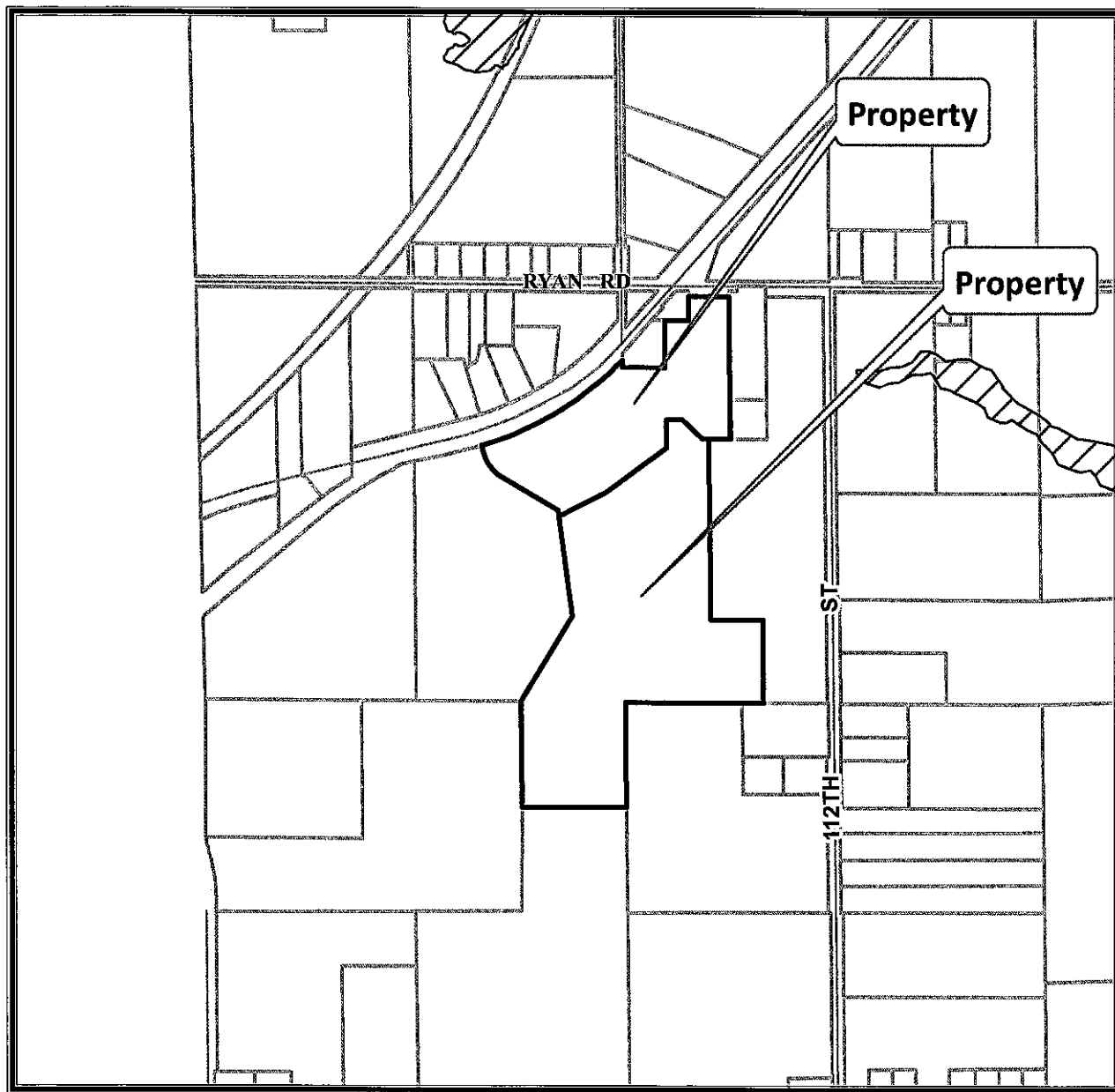
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2017 Aerial Photo



TKNs: 891 9008 000 and 891 9010 000



Planning Department
(414) 425-4024

0 600 1,200 2,400 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2017 Aerial Photo



April 25, 2019

Mr. Ben Kohout
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Re: Mills Hotel Wyoming Comprehensive Plan Amendment

Dear Mr. Kohout:

Please accept this letter and the enclosed submittal materials as formal application for an amendment request to the City of Franklin Comprehensive Plan. Bear Development is acting on behalf of the owner of record, Mills Wyoming Hotel, LLC.

Project Summary

Mills Wyoming Hotel, LLC is the owner of record of approximately 130 acres of land in the City of Franklin. The land is located on the east side of STH 36 and lies south of Ryan Road. The property is included in the area commonly known as Planning Area G.

Last year, Mills Hotel Wyoming, LLC submitted a petition to amend the Comprehensive Plan, based on a Conceptual Site Plan. The amendment was granted, however, as the project has advanced into the design engineering and platting stages, we have found it necessary to request further amendments so that the Preliminary Plat and Comprehensive Plan are consistent.

Current Plan Designation-South Side of Loomis Road

The subject property (approximately 130 acres) is located on the east side of STH 36 and is designated as Business Park and Residential

Proposed Comprehensive Plan Amendment- South Side of Loomis Road

Mills Hotel Wyoming, LLC is respectfully requesting a Comprehensive Plan Amendment for portions of the subject property to be changed from the designation "Business Park" to the "Residential" designation.

A legal description and graphic exhibit is enclosed for your reference and review.

We feel the mix of land use shown on the Preliminary Plat offers an opportunity to create a development opportunity for Planning Area G that meets the goals of the Comprehensive Plan while providing a diverse land uses that will ensure a successful project.

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Sincerely,

Daniel Szczap
Bear Development, LLC



Date of Application: _____

COMPREHENSIVE MASTER PLAN AMENDMENT (CMP) APPLICATION

Complete, accurate and specific information must be entered. **Please Print.**

Applicant (Full Legal Name[s]):

Name: S.R. Mills
Company: Bear Development, LLC
Mailing Address: 4011 80th Street
City / State: Kenosha, WI Zip: 53142
Phone: (262) 842-0558
Email Address: dan@beardevelopment.com

Applicant Is Represented by: (contact person) (Full Legal Name[s])

Name: _____
Company: _____
Mailing Address: _____
City / State: _____ Zip: _____
Phone: _____
Email Address: _____

Project Property Information:

Property Address: 11327 W. Ryan Road (rear parcel)
Property Owner(s): Eugene & Marlene Magarich
Mailing Address: 11327 W. Ryan Road
City / State: Franklin, WI Zip: 53132
Email Address: _____

Tax Key Nos: Part of 892-9993-001
Existing Zoning: R2 and C1
Existing Use: Vacant
Proposed Use: Outlot/Open Space/Storm Water Management
CMP Land Use Identification: Business Park

**Property specific information may be inapplicable and not required if the requested amendment does not apply to specific property.*

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

Comprehensive Master Plan Amendment submittals for review must include and be accompanied by the following:

- ☒ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☒ Application Filing Fee, payable to City of Franklin: ☐ \$125.00
- ☒ Legal Description for the subject property (WORD.doc or compatible format) *if applicable*.
- ☒ Seven (7) complete collated sets of Application materials to include:
 - ☒ Seven (7) copies of a written Project Narrative, *including a specific, detailed description of the proposed amendment, its intent, impacts, and consistency with the Comprehensive Master Plan.*
 - ☒ Seven (7) folded copies of a Site Development Plan/Map, drawn to a reasonable scale (at least 11"x17" or as determined by the City Planner or City Engineer) *identifying the subject property and immediate environs, including parcels, structures, land use, zoning, streets and utilities, and natural resource features, as applicable.*
- ☒ Email (or CD ROM) with all plans/submittal materials. *Plans must be submitted in Adobe PDF (and AutoCAD compatible format (where applicable)).*
- ☐ Additional Information as may be required.

• Upon receipt of a complete submittal, staff review will be conducted within ten business days.

• Requires a Class I Public Hearing notice at least 30 days before the Common Council meeting.

• All Comprehensive Master Plan Amendment requests require Plan Commission review and recommendation and Common Council approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Signature - Property Owner: S.R. Mills
Name & Title (PRINT): _____
Date: Apr 16th 2019

Signature - Applicant: _____
Name & Title (PRINT): _____
Date: _____

Signature - Property Owner: _____
Name & Title (PRINT): _____
Date: _____

Signature - Applicant's Representative: _____
Name & Title (PRINT): _____
Date: _____

LEGAL DESCRIPTION:

Part of Outlot 1 of Certified Survey Map No. 9505, located in the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows:

Beginning at the southeast corner of said Outlot 1; thence North 89°42'41" West along the south line of said Outlot 1, 844.14 feet; thence North 01°10'06" West, 1155.10 feet; thence North 89°25'17" East, 116.04 feet; thence North 00°34'43" West, 359.81 feet to the north line of said Outlot 1; thence North 53°26'01" East along said north line, 169.70 feet; thence North 00°51'07" West along said north line, 180.39 feet; thence South 89°28'18" East along said north line, 102.69 feet; thence South 46°55'39" East along said north line, 177.07 feet; thence South 89°44'26" East along said north line, 41.64 feet to the northeast corner of said Outlot 1; thence South 00°36'33" East along the east line of said Outlot 1, 1153.26 feet; thence North 89°23'27" East along said east line, 330.12 feet; thence South 00°36'33" East along said east line, 529.83 feet to the Point of Beginning.

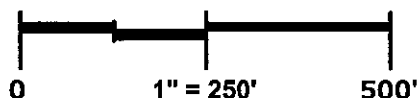
Containing 992,963 sq. ft. (22.7953 acres) more or less

LINE TABLE

LINE NO.	BEARING	DISTANCE
L1	N89°25'17"E	116.04'
L2	N53°26'01"E	169.70'
L3	N00°51'07"W	180.39'
L4	S89°28'18"E	102.69'
L5	S46°55'39"E	177.07'
L6	S89°44'26"E	41.64'



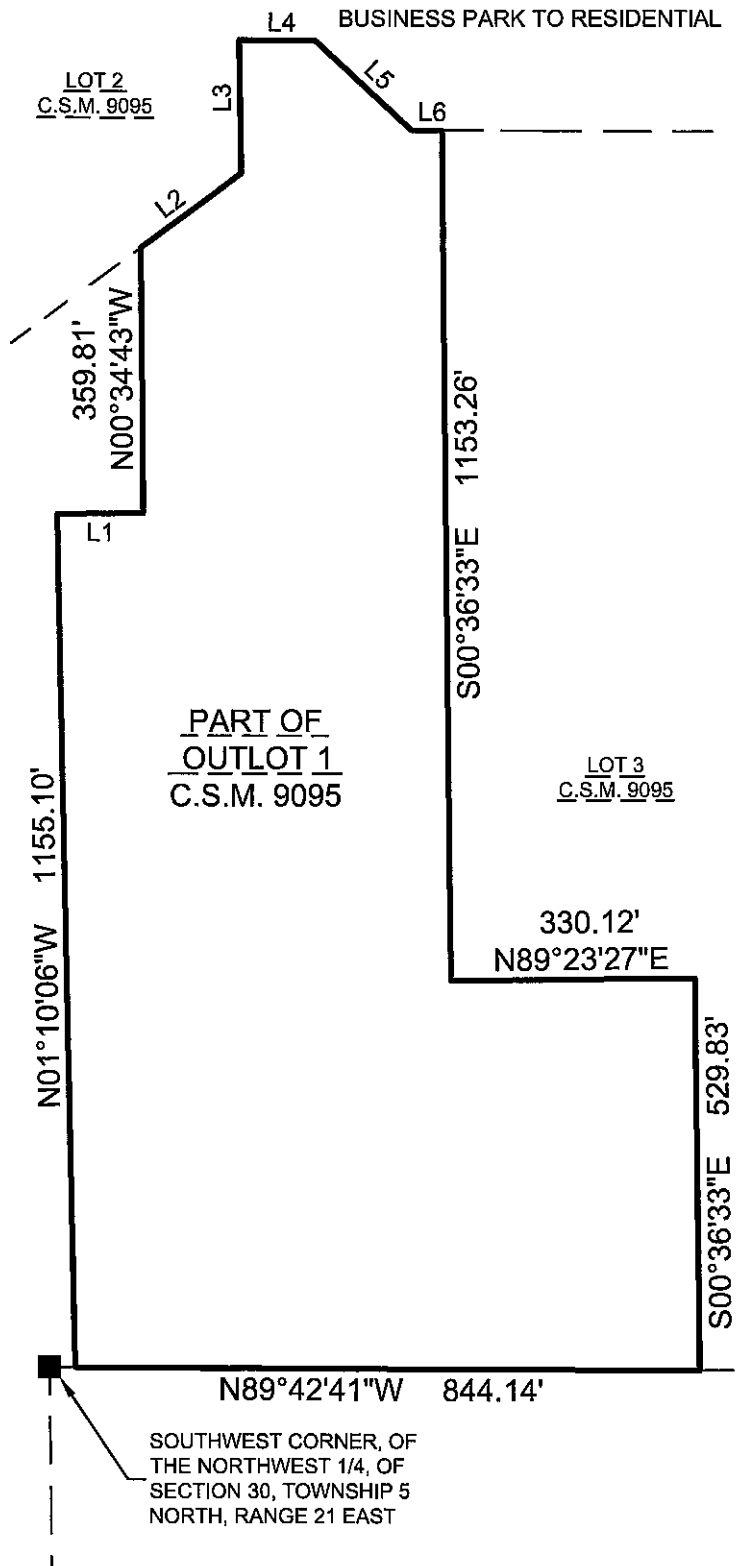
GRAPHICAL SCALE (FEET)



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East has a bearing of N00°34'43"W.

"ZONING AREA TWO"
PROPERTY IS CURRENTLY ZONED
AS R-2 AND C-1 TO BE ZONED AS R-6

REQUESTED CMP AMENDMENT:
BUSINESS PARK TO RESIDENTIAL



CMP EXHIBIT

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005

WWW.PINNACLE-ENGR.COM

04/25/19

PLAN | DESIGN | DELIVER

PEG JOB#809.20

LEGAL DESCRIPTION:

Part of Lot 2 of Certified Survey Map No. 9505, located in the Northwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows:

Beginning at the southeast corner of said Lot 2; thence North 89°44'26" West along the south line of said Lot 2, 177.55 feet; thence North 46°55'39" West along said line, 177.07 feet; thence North 89°28'18" West along said line, 102.69 feet; thence South 00°51'07" East along said line, 180.39 feet; thence South 53°26'01" West along said line, 169.70 feet; thence North 00°34'43" West, 5.31 feet; thence North 44°24'10" West, 200.97 feet; thence North 45°57'27" East, 382.31 feet; thence North 89°25'17" East, 406.44 feet to a point on the east line of said Lot 2; thence South 00°34'43" East along the east line of said Lot 2, 260.00 feet to the Point of Beginning.

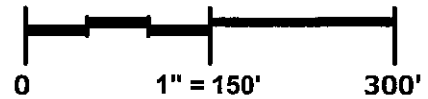
Containing 144,762 sq. ft. (3.3233 acres) more or less

**"ZONING AREA THREE"
PROPERTY IS CURRENTLY ZONED
AS M-1 AND C-1 TO BE ZONED AS R-6**

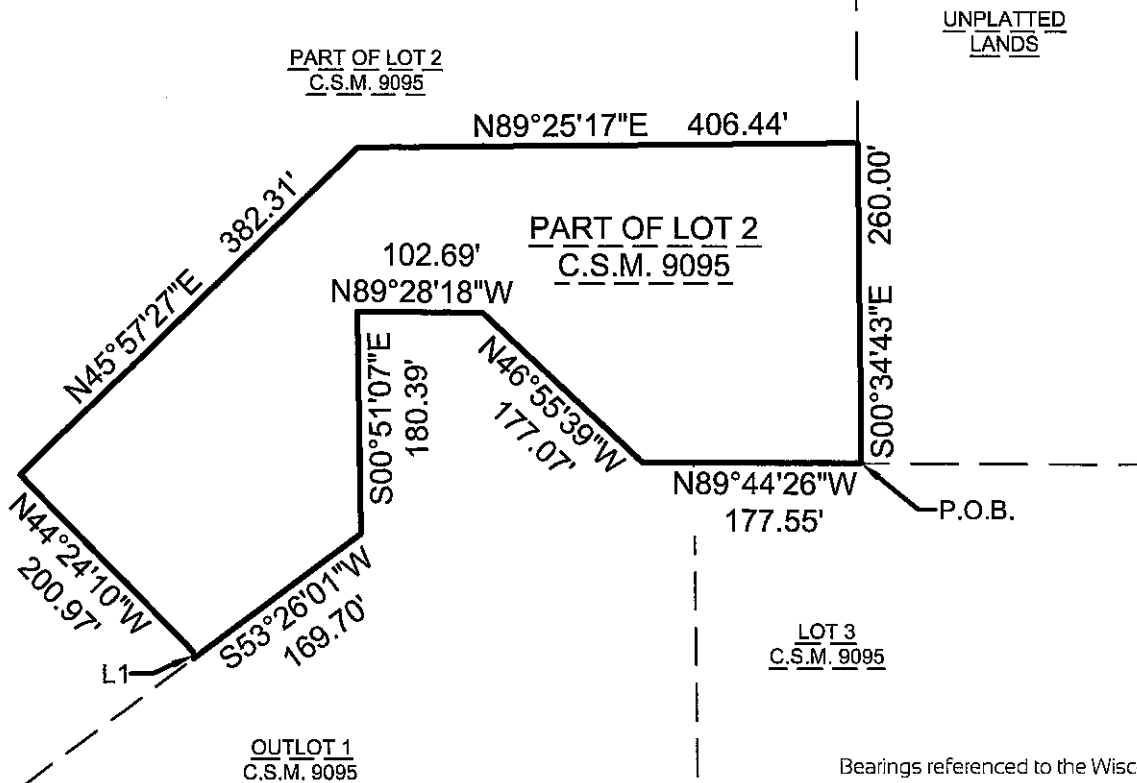
REQUESTED CMP AMENDMENT:
BUSINESS PARK TO RESIDENTIAL



GRAPHICAL SCALE (FEET)



LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N00°34'43"W	5.31'



Bearings referenced to the Wisconsin State Plane
Coordinate System, South Zone (N.A.D. 1927). The west
line of the Northeast 1/4 of Section 30, Township 5 North,
Range 21 East has a bearing of N00°34'43\"W.

CMP EXHIBIT

04/25/19

PINNACLE ENGINEERING GROUP

PLAN | DESIGN | DELIVER

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005

WWW.PINNACLE-ENGR.COM

PEG JOB#809.20

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APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 06/04/19
REPORTS & RECOMMENDATIONS	AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE (ZONING MAP) TO REZONE THE WESTERN PORTION OF OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 9095 FROM R-2 ESTATE/SINGLE-FAMILY RESIDENCE DISTRICT TO M-1 LIMITED INDUSTRIAL DISTRICT, TO REZONE THE EASTERN PORTION OF OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 9095 FROM R-2 ESTATE/SINGLE-FAMILY RESIDENCE DISTRICT AND C-1 CONSERVANCY DISTRICT TO R-6 SUBURBAN SINGLE- FAMILY RESIDENCE DISTRICT AND TO REZONE THE SOUTHERN PORTION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 9095 FROM M-1 LIMITED INDUSTRIAL DISTRICT AND C-1 CONSERVANCY DISTRICT TO R-6 SUBURBAN SINGLE-FAMILY RESIDENCE DISTRICT (PROPERTIES GENERALLY LOCATED SOUTH OF THE INTERSECTION OF WEST LOOMIS ROAD AND WEST RYAN ROAD, INCLUDING PORTIONS OF WHAT WAS FORMERLY 11205 WEST RYAN ROAD (THE WESTERN AND EASTERN PORTION OF OUTLOT 1 AND THE SOUTHERN PORTION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 9095)(APPROXIMATELY 50.69 ACRES)(MILLS HOTEL WYOMING, LLC, APPLICANT)	ITEM NUMBER <i>G. 3.</i>
<p>At their April 4, 2019 meeting, following a properly noticed public hearing, the Plan Commission recommended approval of an ordinance providing for the rezoning of the western portion of Outlot 1 of Certified Survey Map No. 9095 from R-2 Estate/Single-Family Residence District to M-1 Limited Industrial District, the eastern portion of Outlot 1 of Certified Survey Map No. 9095 from R-2 Estate/Single-Family Residence District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District and the southern portion of Lot 2 of Certified Survey Map No. 9095 from M-1 Limited Industrial District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District, such land being generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the western and eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095).</p>		

This item was tabled from the May 21, 2019 meeting to the June 4, 2019 meeting by the Council due to a need to properly notice the Comprehensive Master Plan Amendment.

COUNCIL ACTION REQUESTED

A motion to adopt Ordinance 2019-_____, an ordinance to amend the Unified Development Ordinance (Zoning Map) to rezone the western portion of Outlot 1 of Certified Survey Map No. 9095 from R-2 Estate/Single-Family Residence District to M-1 Limited Industrial District, the eastern portion of Outlot 1 of Certified Survey Map No. 9095 from R-2 Estate/Single-Family Residence District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District and the southern portion of Lot 2 of Certified Survey Map No. 9095 from M-1 Limited Industrial District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District, such land being generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the western and eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095).

ORDINANCE NO. 2019-____

AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE (ZONING MAP) TO REZONE THE WESTERN PORTION OF OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 9095 FROM R-2 ESTATE/SINGLE-FAMILY RESIDENCE DISTRICT TO M-1 LIMITED INDUSTRIAL DISTRICT, TO REZONE THE EASTERN PORTION OF OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 9095 FROM R-2 ESTATE/SINGLE-FAMILY RESIDENCE DISTRICT AND C-1 CONSERVANCY DISTRICT TO R-6 SUBURBAN SINGLE-FAMILY RESIDENCE DISTRICT AND TO REZONE THE SOUTHERN PORTION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 9095 FROM M-1 LIMITED INDUSTRIAL DISTRICT AND C-1 CONSERVANCY DISTRICT TO R-6 SUBURBAN SINGLE-FAMILY RESIDENCE DISTRICT (PROPERTIES GENERALLY LOCATED SOUTH OF THE INTERSECTION OF WEST LOOMIS ROAD AND WEST RYAN ROAD, INCLUDING PORTIONS OF WHAT WAS FORMERLY 11205 WEST RYAN ROAD (THE WESTERN AND EASTERN PORTION OF OUTLOT 1 AND THE SOUTHERN PORTION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 9095) (APPROXIMATELY 50.69 ACRES) (MILLS HOTEL WYOMING, LLC, APPLICANT)

WHEREAS, Mills Hotel Wyoming, LLC having petitioned for the rezoning of the western portion of Outlot 1 of Certified Survey Map No. 9095 from R-2 Estate/Single-Family Residence District to M-1 Limited Industrial District, the eastern portion of Outlot 1 of Certified Survey Map No. 9095 from R-2 Estate/Single-Family Residence District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District and the southern portion of Lot 2 of Certified Survey Map No. 9095 from M-1 Limited Industrial District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District, such land being generally located south of the intersection of West Loomis Road and West Ryan Road, including portions of what was formerly 11205 West Ryan Road (the western and eastern portion of Outlot 1 and the southern portion of Lot 2 of Certified Survey Map No. 9095); and

WHEREAS, a public hearing was held before the City of Franklin Plan Commission on the 9th day of May, 2019, upon the aforesaid petition and the Plan Commission thereafter having determined that the proposed rezoning would promote the health, safety and welfare of the City and having recommended approval thereof to the Common Council; and

WHEREAS, the Common Council having considered the petition and having concurred with the recommendation of the Plan Commission and having determined that the proposed rezoning is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and would promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0102 (Zoning Map) of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended to provide that the zoning district designation for the properties described below be changed from R-2 Estate/Single-Family Residence District to M-1 Limited Industrial District, R-2 Estate/Single-Family Residence District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District and from M-1 Limited Industrial District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District:

Area Currently Zoned R-2 to be Rezoned M-1

Part of Outlot 1 of Certified Survey Map No. 9095, located in the Northeast 1/4 of the Southwest 1/4 and the Southeast 1/4 and Northeast 1/4 of the Northwest 1/4, and the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City Of Franklin, Milwaukee County, Wisconsin, described as follows: Beginning at the southwest corner of said Outlot 1; Thence North 00°34'08" West along the west line of said Outlot 1, 668.97 feet; thence North 31°05'13" East along said west line, 632.11 feet; thence North 07°48'36" West along said west line, 642.42 feet to the northwest corner of said Outlot; thence North 63°19'38" East along the north line of said Outlot, 338.33 feet; thence North 53°26'01" East along said north line, 305.57 feet; thence South 00°34'43" East, 359.81 feet; thence South 89°25'17" West, 116.04 feet; thence South 01°10'06" East, 1155.10 feet to the south line of said Outlot 1; thence North 89°42'41" West along said south line, 35.01 feet to the Southwest corner of aforesaid Northeast 1/4; thence South 00°34'05" East along the east line of said Outlot 1, 667.46 feet to the south line of said Outlot 1; thence North 89°47'21" West along the south line of said Outlot 1, 662.96 feet to the Point of Beginning. Containing 1,070,164 sq. ft. (24.5676 acres) more or less.

Area Currently Zoned R-2 and C-1 to be Rezoned R-6

Part of Outlot 1 of Certified Survey Map No. 9505, located in the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows: Beginning at the southeast corner of said Outlot 1; thence North 89°42'41" West along the south line of said Outlot 1, 844.14 feet; thence North 01°10'06" West,

1155.10 feet; thence North 89°25'17" East, 116.04 feet; thence North 00°34'43" West, 359.81 feet to the north line of said Outlot 1; thence North 53°26'01" East along said north line, 169.70 feet; thence North 00°51'07" West along said north line, 180.39 feet; thence South 89°28'18" East along said north line, 102.69 feet; thence South 46°55'39" East along said north line, 177.07 feet; thence South 89°44'26" East along said north line, 41.64 feet to the northeast corner of said Outlot 1; thence South 00°36'33" East along the east line of said Outlot 1, 1153.26 feet; thence North 89°23'27" East along said east line, 330.12 feet; thence South 00°36'33" East along said east line, 529.83 feet to the Point of Beginning. Containing 992,963 sq. ft. (22.7953 acres) more or less.

Area Currently Zoned M-1 and C-1 to be Rezoned R-6

Part of Lot 2 of Certified Survey Map No. 9505, located in the Northwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows: Beginning at the southeast corner of said Lot 2; thence North 89°44'26" West along the south line of said Lot 2, 177.55 feet; thence North 46°55'39" West along said line, 177.07 feet; thence North 89°28'18" West along said line, 102.69 feet; thence South 00°51'07" East along said line, 180.39 feet; thence South 53°26'01" West along said line, 169.70 feet; thence North 00°34'43" West, 5.31 feet; thence North 44°24'10" West, 200.97 feet; thence North 45°57'27" East, 382.31 feet; thence North 89°25'17" East, 406.44 feet to a point on the east line of said Lot 2; thence South 00°34'43" East along the east line of said Lot 2, 260.00 feet to the Point of Beginning. Containing 144,762 sq. ft. (3.3233 acres) more or less. Tax Key Nos. 891-9008-000 and 891-9010-000.

- SECTION 2: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.
- SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.
- SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this

ORDINANCE NO. 2019-____

Page 4

____ day of _____, 2019, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this ____ day of _____, 2019.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



REPORT TO THE PLAN COMMISSION

Meeting of May 9, 2019

**Comprehensive Master Plan Amendment, Rezoning and Preliminary
Plat Approval**

RECOMMENDATION: City Development Staff recommends approval of the proposed Comprehensive Master Plan Amendment, Rezoning and Preliminary Plat Approval subject to the conditions in the draft resolutions.

Project Name:	Mills Hotel Wyoming/Bear Development Comprehensive Master Plan Amendment, Rezoning and Preliminary Plat (aka Ryan Meadows)
Project Address:	Generally located southwest of W. Loomis Road, south of W. Ryan Road and west of S. 112 th Street, including 11205 W. Ryan Road
Applicant:	Bear Development, LLC
Owners (property):	Mills Hotel Wyoming, LLC
Current Zoning:	R-2 Estate Single Family Residence District, M-1 Light Industrial & C-1 Conservancy District
2025 Future Land Use:	Business Park, Areas of Natural Resource Features, and Residential
Use of Surrounding Properties:	Single-family residential to the north, east as well as the Irish Cottage to the north and agricultural land to the south and west
Applicant Action Requested:	Recommendation of approval of the Comprehensive Master Plan amendments, Rezoning and Preliminary Plat.

Project Description and Analysis:

On March 13, 2019, the applicant filed a Comprehensive Master Plan Amendment Application and Rezoning Application with the Department of City Development requesting approval to subdivide three existing parcels bearing Tax Key Nos. 891-9009-000, 891-9010-000, and 891-9008-000 and a fourth parcel currently under contract to purchase at 892-993-001 into lots for single family residential usage, industrial usage and resulting outlots to accommodate stormwater and natural areas. The applicant is also proposing to amend the City Comprehensive Master Plan for approximately 26.11 acres and to rezone for approximately 50.67 acres of land generally located southwest of W. Loomis Road, south of W. Ryan Road and west of S. 112th Street to match up with the proposed outer lots of the accompanying preliminary plat. The request would amend the Comprehensive Master Plan of the proposed areas as follows:

- Area Two: From Business Park to Residential (22.79 acres).
- Area 3: From Business Park to Residential (3.32 acres).

The application for rezoning proposes to amend the properties as follows:

- Area One: From R-2 Estate Single-Family Residence District to M-1 Limited Industrial District (24.56 acres).
- Area Two: From R-2 Estate Single-Family Residence District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District (22.79 acres).
- Area 3: From M-1 Limited Industrial District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District (3.32 acres).

The Preliminary Plat shows the resulting subdivision for residential and light industrial areas stemming from a previous request in 2018 and this proposal. The resulting amount of single family residential lots shown in the R-6 area is 78 residential lots. The resulting amount of light industrial area in the resulting M-1 district is four (4) lots.

It should be noted that the proposed "Outlot 2" consists of property recently contracted to purchase and at the time of the writing of this staff summary, it is understood by staff the property has not yet been closed on. Therefore, the proposed comprehensive land use amendment and rezoning for this particular property, with Tax Key Number 892-9993-001, would need to come back for an amendment to match adjacent properties and their respective Comprehensive Master Plan and Zoning Designations prior to final plat consideration by the City.

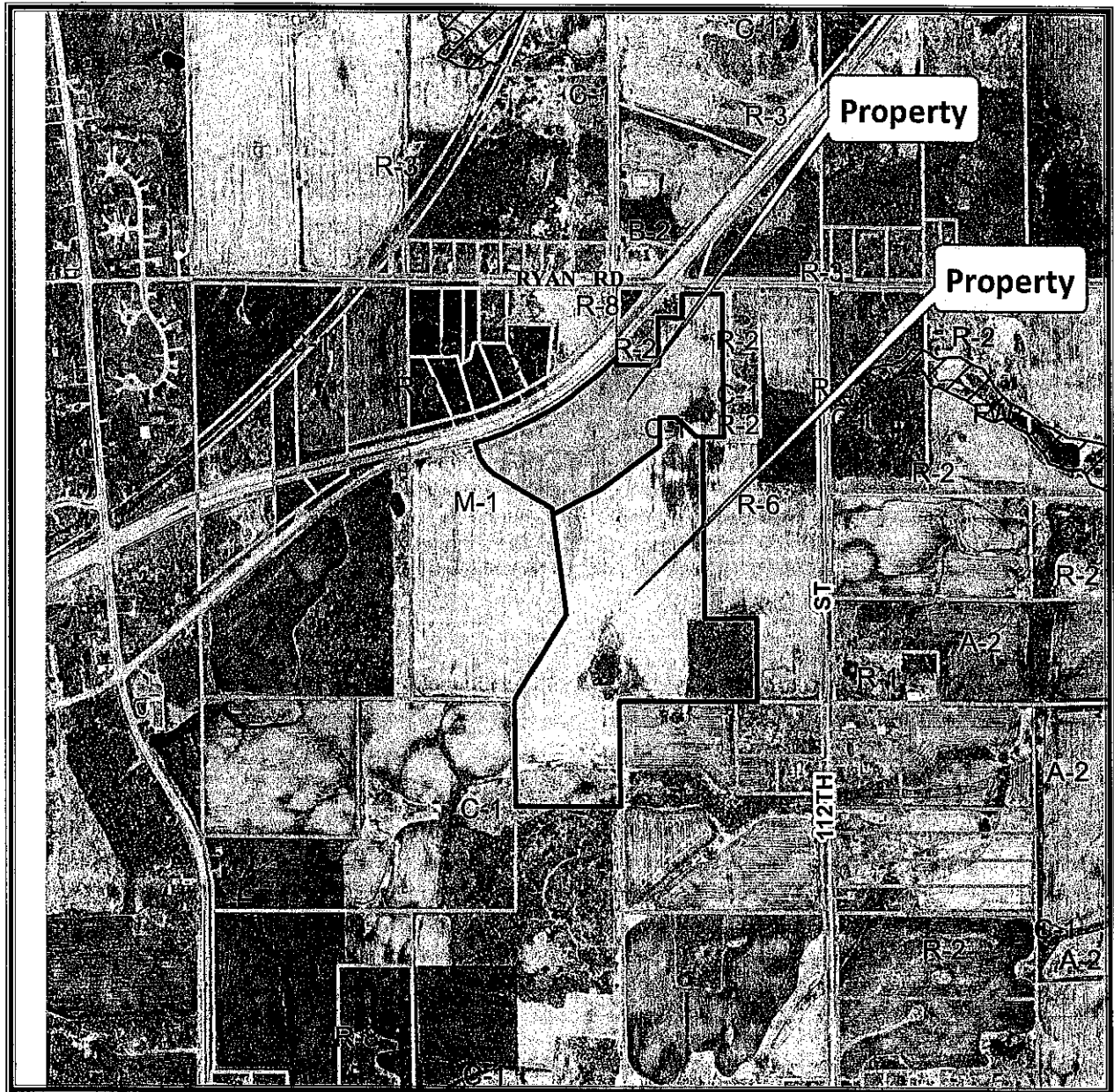
Please Note: As of the writing of this staff summary, the applicant has notified staff setback widths mentioned in staff comments nos. 2 and 24 for the residential lots will be shown on a revised set of plans, to be placed on the seats of the Commission members the night of the meeting.

Staff Recommendation:

City Development Staff recommends approval of the proposed Comprehensive Land Use Map Amendments, Rezoning and Preliminary Plat, subject to the conditions in the draft resolutions.



TKNs: 891 9008 000 and 891 9010 000



Planning Department
(414) 425-4024

0 600 1,200 2,400 Feet

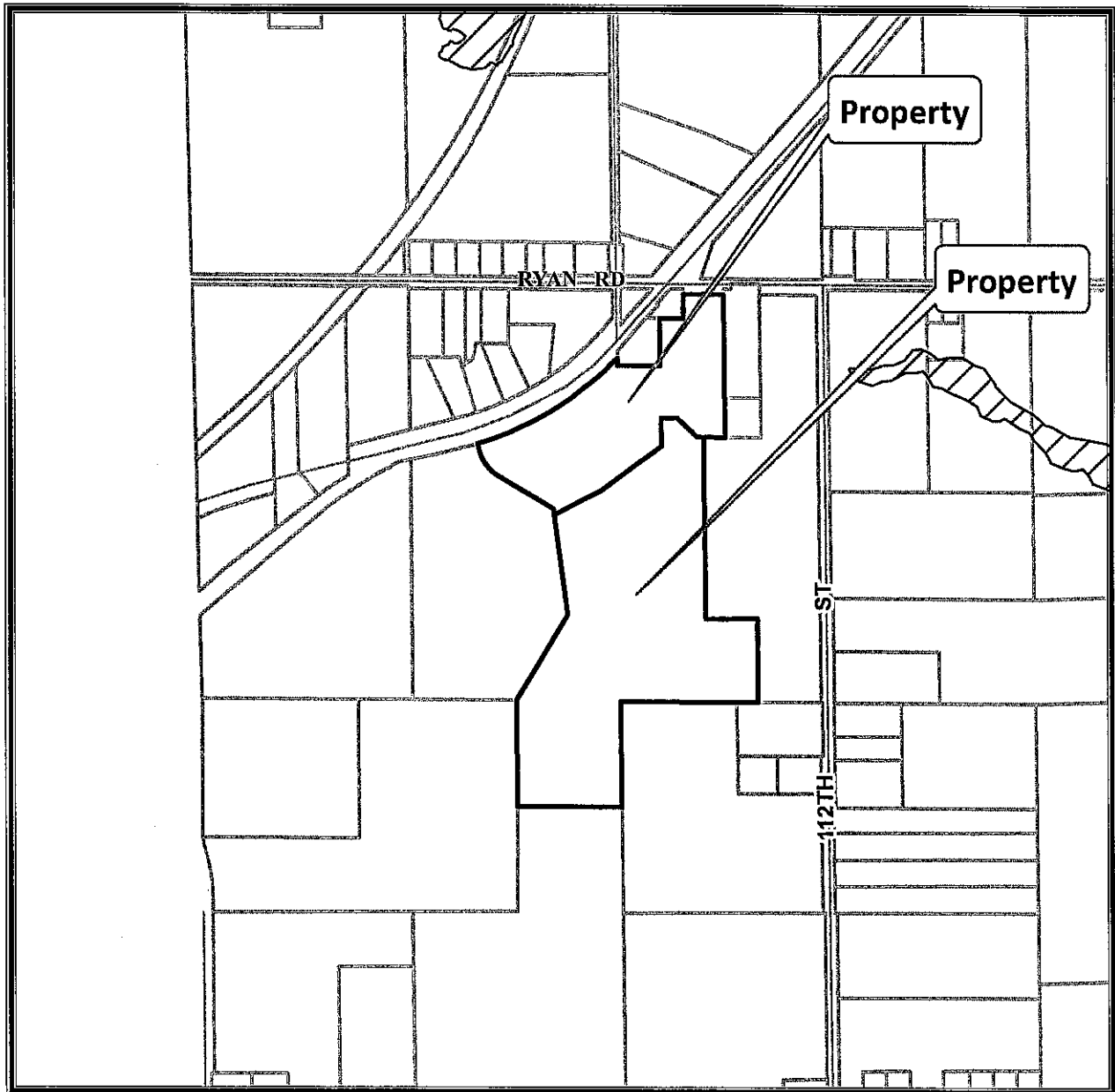


2017 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



TKNs: 891 9008 000 and 891 9010 000



Planning Department
(414) 425-4024

0 600 1,200 2,400 Feet



2017 Aerial Photo

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



April 25, 2019

Mr. Ben Kohout
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Re: Mills Hotel Wyoming Rezoning- Planning Area G

Dear Mr. Kohout:

Please accept this letter and the enclosed submittal materials as formal application for zoning reclassification for portions of the Bear Development project at Loomis and Ryan Roads in the City of Franklin. Bear Development is acting on behalf of the owner of record, Mills Wyoming Hotel, LLC.

Project Summary

Mills Wyoming Hotel, LLC is the owner of record of approximately 130 acres of land in the City of Franklin. The land is located on the east side of STH 36 and lies south of Ryan Road. The property is included in the area commonly known as Planning Area G. Mills Hotel Wyoming is respectfully requesting several zoning amendments to facilitate a mixed-use development.

In 2018 Mills Hotel Wyoming requested zoning reclassification for much of the project. The rezoning was based on the boundaries shown in the original Concept Plan and Certified Survey Map. As the project advanced into the engineering stage, we discovered that our previous zoning petition did not include portions of the project which require proper zoning. *This request is intended to create zoning consistency between the boundaries and uses shown on the Preliminary Plat.*

Current Zoning- East Side of Loomis Road

The subject property is currently zoned R6 and R2 Residential, M-1 Limited Industrial District and C-1 Conservancy.

Proposed Zoning

Mills Hotel Wyoming, LLC is proposing several zoning amendments in preparation for a mixed-use development for Planning Area G. The areas of proposed zoning follow the proposed property lines of the submitted Preliminary Plat and the uses shown in the approved Concept Plan.

Zoning Area 1

Acreage: 24.56 Acres
Current Zoning: R-2 Residential
Proposed Zoning: M-1 Limited Industrial

Zoning Area 2

Acreage: 22.79 Acres
Current Zoning: R-2 Residential and C-1 Conservancy
Proposed Zoning: R-6 Residential

Zoning Area 3

Acreage: 3.32 Acres
Current Zoning: M-1 Limited Industrial and C-1 Conservancy
Proposed Zoning: R-6 Residential

Proposed Land Use

Zoning Area 1: A Light industrial development component with future lots of various sizes. The proposed use is consistent with the Comprehensive Land Use Plan designation of Business Park.

Zoning Area 2: Single-Family Residential and large open space Outlot.

Zoning Area 3: Single Family Residential. This property was previously zoned M-1 but is now shown as Single Family Residential on the Preliminary Plat.

We feel the mix of land use shown on the Preliminary Plat offers an opportunity to create a development opportunity for Planning Area G that meets the goals of the Comprehensive Plan while providing a diverse land uses that will ensure a successful project.

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Sincerely,

Daniel Szczap
Bear Development, LLC

Planning Department
9229 West Loomis Road
Franklin, Wisconsin 53132
Email: generalplanning@franklinwi.gov



Phone: (414) 425-4024
Fax: (414) 427-7691
Web Site: www.franklinwi.gov

Date of Application: 4/12/2019

REZONING APPLICATION

Complete, accurate and specific information must be entered. Please Print.

Applicant (Full Legal Name[s]):

Name: S.R. Mills
Company: Bear Development, LLC
Mailing Address: 4011 80th Street
City / State: Kenosha, WI Zip: 53142
Phone: (262) 842-0556
Email Address: dan@beardevelopment.com

Applicant is Represented by: (contact person)(Full Legal Name[s])

Name: _____
Company: _____
Mailing Address: _____
City / State: _____ Zip: _____
Phone: _____
Email Address: _____

Project Property Information:

Property Address: 11327 W. Ryan Road (rear parcel)
Property Owner(s): Eugene & Marlene Magarich
Mailing Address: 11327 W. Ryan Road (rear parcel)
City / State: Franklin, WI Zip: 53132
Email Address: d

Tax Key Nos: Part of 892-8993-001
Existing Zoning: R2 and C1
Existing Use: Vacant
Proposed Use: Outlot/Open Space/Storm Water Management
CMP Land Use Identification: Business Park

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/Resources/Documents/Maps.htm>

Rezoning submittals for review must include and be accompanied by the following:

- ☒ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☒ Application Filing Fee, payable to City of Franklin: ☐ \$1,250 ☐ \$350 (One Parcel Residential)
- ☒ Legal Description for the subject property (WORD.doc or compatible format).
- ☐ Seven (7) complete colated sets of Application materials to include:
 - ☒ One (1) original and six (6) copies of a written Project Summary, including a general description of the proposed development of the property, proposal's intent, impacts, and consistency with the Comprehensive Master Plan.
 - ☐ Seven (7) folded copies of a Plot Plan, or Site Plan, drawn to a reasonable scale (at least 11"x17" or as determined by the City Planner or City Engineer) and fully dimensioned showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within 200 feet of the area proposed to be rezoned.
- ☒ Email (or CD ROM) with all plans/submittal materials.
- ☐ Additional information as may be required.

- *Additional notice to and approval required for amendments or rezoning in the FW, FC, FFO, and SW Districts.
- *Upon receipt of a complete submittal, staff review will be conducted within ten business days.
- *Requires a Class II Public Hearing notice at Plan Commission.
- *Rezoning requests require Plan Commission review and recommendation and Common Council approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed-applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).

Signature - Property Owner
S.R. Mills, President
Name & Title (PRINT)

Date: April 16, 2019

Signature - Applicant

Name & Title (PRINT)

Date: _____

Signature - Property Owner

Name & Title (PRINT)

Date: _____

Signature - Applicant's Representative

Name & Title (PRINT)

Date: _____

LEGAL DESCRIPTION:

Part of Outlot 1 of Certified Survey Map No. 9095, located in the Northeast 1/4 of the Southwest 1/4 and the Southeast 1/4 and Northeast 1/4 of the Northwest 1/4, and the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows:

Beginning at the southwest corner of said Outlot 1; Thence North 00°34'08" West along the west line of said Outlot 1, 668.97 feet; thence North 31°05'13" East along said west line, 632.11 feet; thence North 07°48'36" West along said west line, 642.42 feet to the northwest corner of said Outlot; thence North 63°19'38" East along the north line of said Outlot, 338.33 feet; thence North 53°26'01" East along said north line, 305.57 feet; thence South 00°34'43" East, 359.81 feet; thence South 89°25'17" West, 116.04 feet; thence South 01°10'06" East, 1155.10 feet to the south line of said Outlot 1; thence North 89°42'41" West along said south line, 35.01 feet to the Southwest corner of aforesaid Northeast 1/4; thence South 00°34'05" East along the east line of said Outlot 1, 667.46 feet to the south line of said Outlot 1; thence North 89°47'21" West along the south line of said Outlot 1, 662.96 feet to the Point of Beginning.

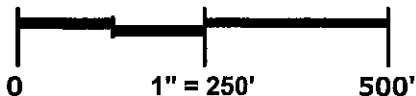
Containing 1,070,164 sq. ft. (24.5676 acres) more or less

"ZONING AREA ONE"
PROPERTY IS CURRENTLY ZONED
AS R-2 TO BE ZONED AS M-1

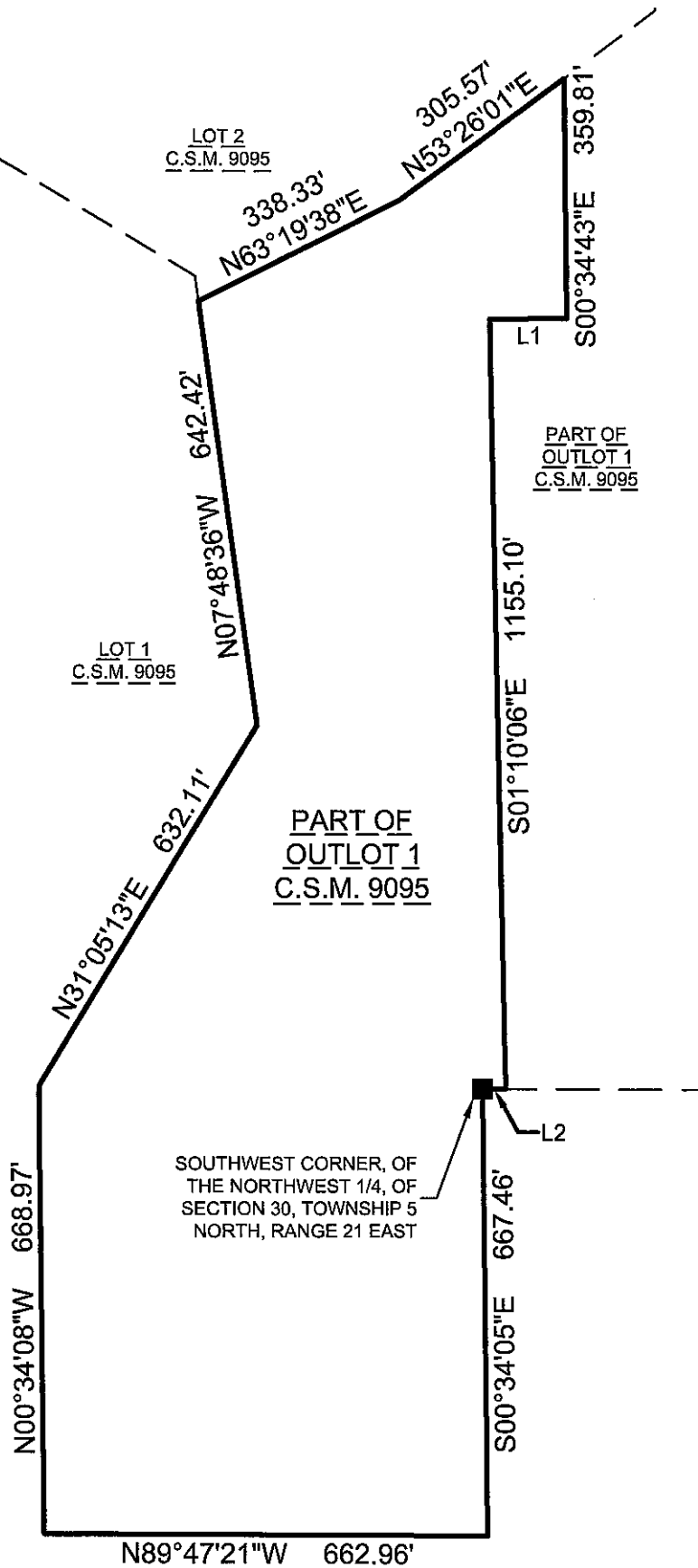
LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S89°25'17"W	116.04'
L2	N89°42'41"W	35.01'



GRAPHICAL SCALE (FEET)



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East has a bearing of N00°34'43"W.



REZONING EXHIBIT

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005

WWW.PINNACLE-ENGR.COM

04/25/19

PLAN | DESIGN | DELIVER

PEG JOB#809.20

LEGAL DESCRIPTION:

Part of Outlot 1 of Certified Survey Map No. 9505, located in the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows:

Beginning at the southeast corner of said Outlot 1; thence North 89°42'41" West along the south line of said Outlot 1, 844.14 feet; thence North 01°10'06" West, 1155.10 feet; thence North 89°25'17" East, 116.04 feet; thence North 00°34'43" West, 359.81 feet to the north line of said Outlot 1; thence North 53°26'01" East along said north line, 169.70 feet; thence North 00°51'07" West along said north line, 180.39 feet; thence South 89°28'18" East along said north line, 102.69 feet; thence South 46°55'39" East along said north line, 177.07 feet; thence South 89°44'26" East along said north line, 41.64 feet to the northeast corner of said Outlot 1; thence South 00°36'33" East along the east line of said Outlot 1, 1153.26 feet; thence North 89°23'27" East along said east line, 330.12 feet; thence South 00°36'33" East along said east line, 529.83 feet to the Point of Beginning.

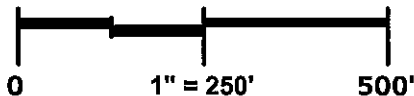
Containing 992,963 sq. ft. (22.7953 acres) more or less

LINE TABLE

LINE NO.	BEARING	DISTANCE
L1	N89°25'17"E	116.04'
L2	N53°26'01"E	169.70'
L3	N00°51'07"W	180.39'
L4	S89°28'18"E	102.69'
L5	S46°55'39"E	177.07'
L6	S89°44'26"E	41.64'

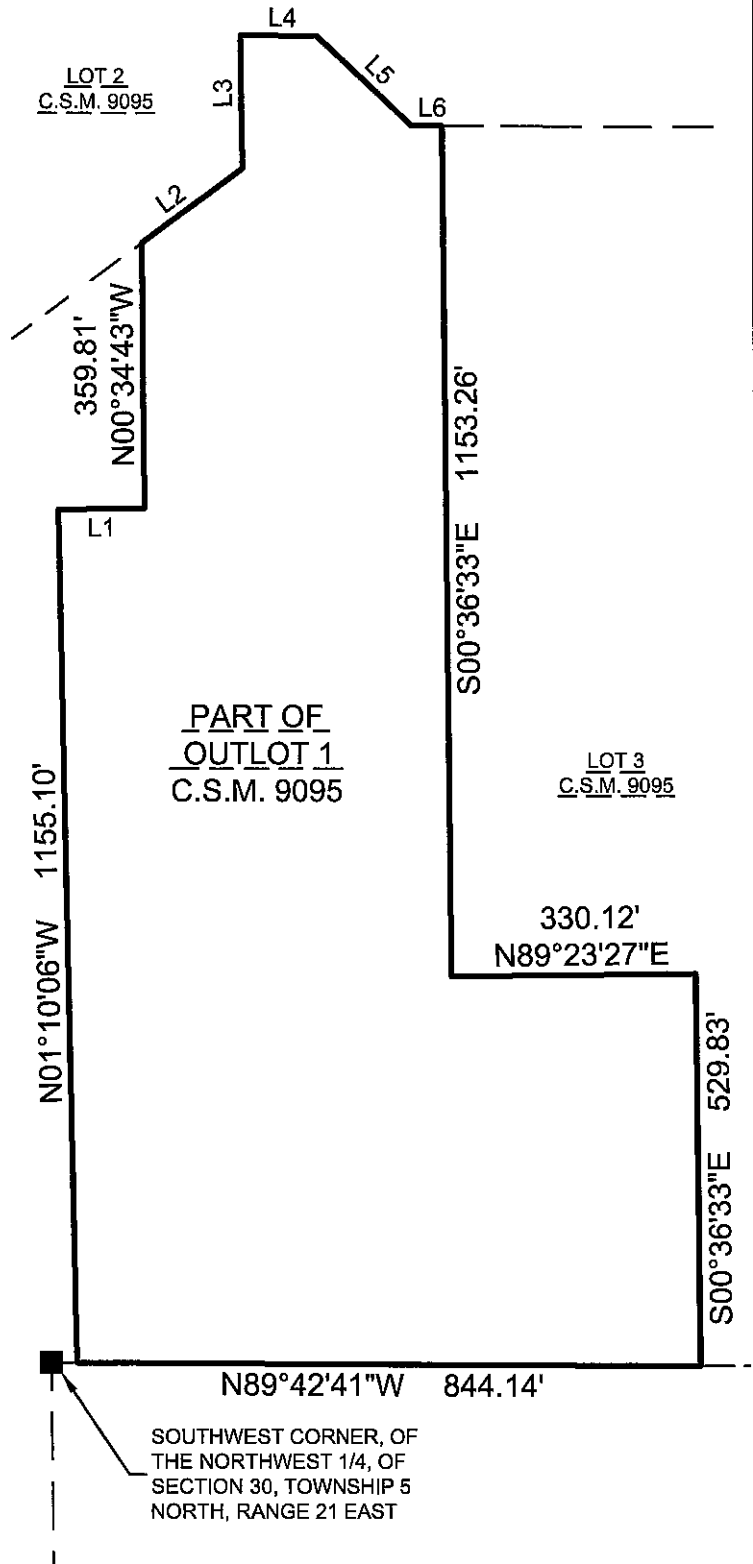


GRAPHICAL SCALE (FEET)



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East has a bearing of N00°34'43"W.

"ZONING AREA TWO"
PROPERTY IS CURRENTLY ZONED
AS R-2 AND C-1 TO BE ZONED AS R-6



REZONING EXHIBIT

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005

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PLAN | DESIGN | DELIVER

PEG JOB #809.20

04/25/19

LEGAL DESCRIPTION:

Part of Lot 2 of Certified Survey Map No. 9505, located in the Northwest 1/4 of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows:

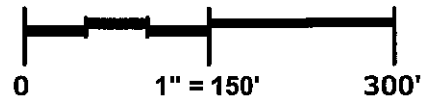
Beginning at the southeast corner of said Lot 2; thence North 89°44'26" West along the south line of said Lot 2, 177.55 feet; thence North 46°55'39" West along said line, 177.07 feet; thence North 89°28'18" West along said line, 102.69 feet; thence South 00°51'07" East along said line, 180.39 feet; thence South 53°26'01" West along said line, 169.70 feet; thence North 00°34'43" West, 5.31 feet; thence North 44°24'10" West, 200.97 feet; thence North 45°57'27" East, 382.31 feet; thence North 89°25'17" East, 406.44 feet to a point on the east line of said Lot 2; thence South 00°34'43" East along the east line of said Lot 2, 260.00 feet to the Point of Beginning.

Containing 144,762 sq. ft. (3.3233 acres) more or less

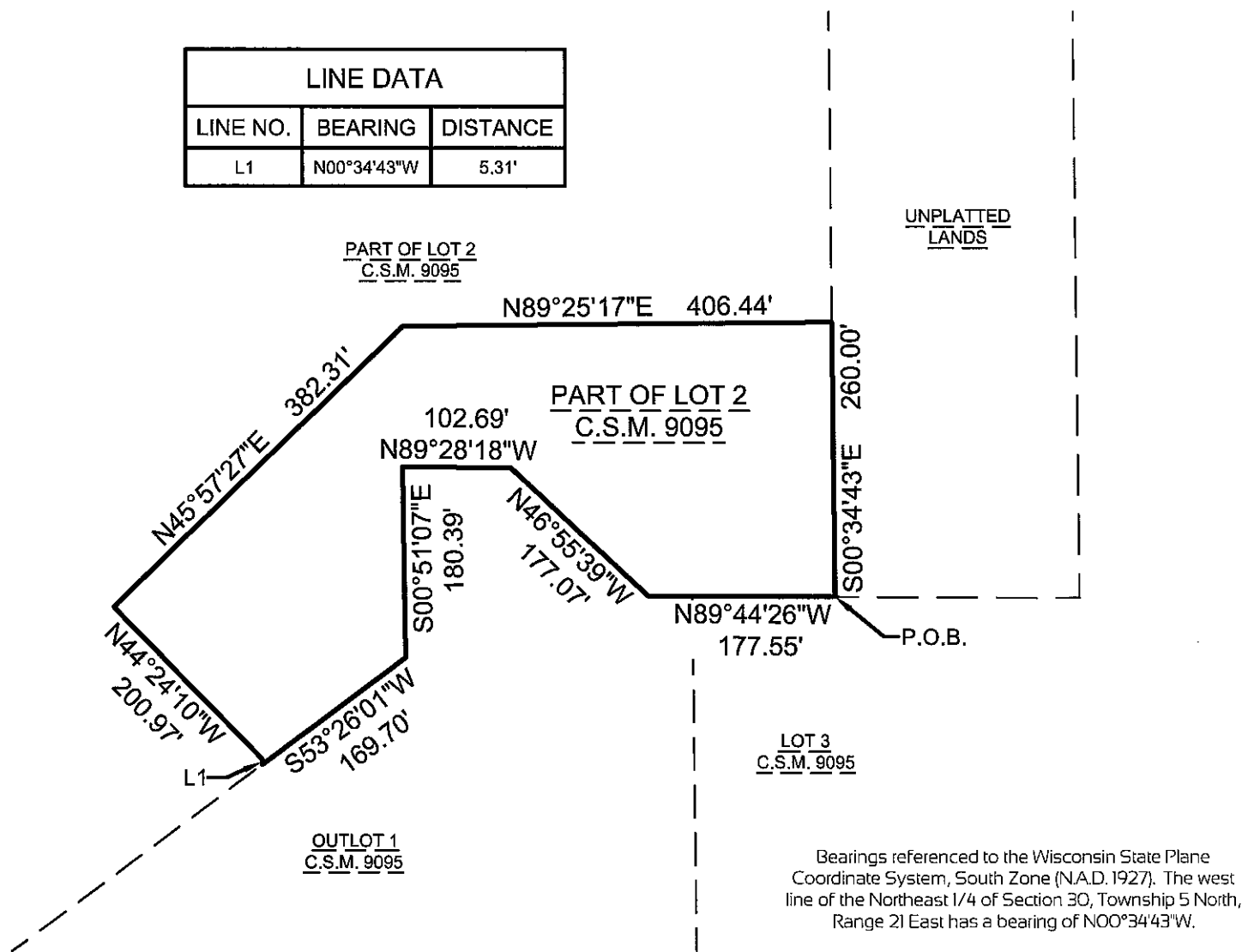
**"ZONING AREA THREE"
PROPERTY IS CURRENTLY ZONED
AS M-1 AND C-1 TO BE ZONED AS R-6**



GRAPHICAL SCALE (FEET)



LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N00°34'43"W	5.31'



Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The west line of the Northeast 1/4 of Section 30, Township 5 North, Range 21 East has a bearing of N00°34'43"W.

REZONING EXHIBIT

04/25/19

PINNACLE ENGINEERING GROUP

PLAN | DESIGN | DELIVER

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005

WWW.PINNACLE-ENGR.COM

PEG JOB#809.20

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<p>APPROVAL</p> <p><i>Slw</i></p>	<p>REQUEST FOR COUNCIL ACTION</p>	<p>MEETING DATE</p> <p>06/04/19</p>
<p>REPORTS & RECOMMENDATIONS</p>	<p>A RESOLUTION CONDITIONALLY APPROVING A PRELIMINARY PLAT FOR BEAR FRANKLIN SUBDIVISION (AT APPROXIMATELY WEST RYAN ROAD AND SOUTH 112TH STREET) (BEAR DEVELOPMENT, LLC, APPLICANT, ON BEHALF OF MILLS HOTEL WYOMING, LLC, PROPERTY OWNER)</p>	<p>ITEM NUMBER</p> <p><i>G. 4.</i></p>
<p>At the May 9, 2019 meeting of the Plan Commission the following action was approved: move to recommend approval of a resolution conditionally approving a Preliminary Plat for Bear Franklin Subdivision (at approximately West Ryan Road and South 112th Street), with condition No. 26 pertaining to a new recreational trail be deleted from the resolution.</p> <p>This item was tabled from the May 21, 2019 meeting to the June 4, 2019 meeting by the Council due to a need to properly notice the Comprehensive Master Plan Amendment affecting the properties involved.</p> <p style="text-align: center;">COUNCIL ACTION REQUESTED</p> <p>A motion to approve Resolution 2019-_____, conditionally approving a Preliminary Plat for Bear Franklin Subdivision (at approximately West Ryan Road and South 112th Street) (Bear Development, LLC, Applicant, on behalf of Mills Hotel Wyoming, LLC, Property Owner).</p>		

STATE OF WISCONSIN

CITY OF FRANKLIN

MILWAUKEE COUNTY

RESOLUTION NO. 2019-_____

A RESOLUTION CONDITIONALLY APPROVING A
PRELIMINARY PLAT FOR BEAR FRANKLIN SUBDIVISION
(AT APPROXIMATELY WEST RYAN ROAD AND SOUTH 112TH STREET)
(BEAR DEVELOPMENT, LLC, APPLICANT, ON BEHALF OF MILLS HOTEL
WYOMING, LLC, PROPERTY OWNER)

WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a preliminary plat for Bear Franklin Subdivision, such plat being Lot 1, Lot 2, Lot 3 and Outlot 1 of Certified Survey Map No. 9095, as recorded in the Register of Deeds office for Milwaukee County as Document No. 10830741, in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 AND the Northeast 1/4 of the Southwest 1/4 AND the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 all in Section 30, Township 5 North, Range 21 East, City of Franklin, Milwaukee County Wisconsin, more specifically, of the property located at approximately West Ryan Road and South 112th Street [the Preliminary Plat includes an 87 lot subdivision with 83 lots and 4 Outlots; Lots 1-79 are single-family residential lots meeting the R-6 Suburban Single-Family Residence District standards; Lots 81-84 are light industrial lots meeting the M-1 Limited Industrial District standards; Outlots 1-3 are for proposed stormwater retention and maintenance and Outlot 4 is for proposed community open space and stormwater retention and maintenance (all lots are proposed to be served by public water and sanitary sewer service)], bearing Tax Key Nos. 891-9009-000, 891-9010-000, 891-9008-000, 892-9993-001 and 891-9007-000, Bear Development, LLC, applicant, on behalf of Mills Hotel Wyoming, LLC, property owner; said preliminary plat having been reviewed by the City Plan Commission and the Plan Commission having recommended approval thereof at its meeting on May 9, 2019, pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed preliminary plat is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Preliminary Plat of Bear Franklin Subdivision, as submitted by Bear Development, LLC, applicant, on behalf of Mills Hotel Wyoming, LLC, property owner, as described above, be and the same is hereby approved, subject to the following conditions:

1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and made by the applicant.

2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9. of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such Code and Ordinance provisions may be amended from time to time.
3. Bear Development, LLC, on behalf of Mills Hotel Wyoming, LLC, property owner, successors and assigns and any developer of the Bear Franklin 83 lot and 4 outlot mixed-use subdivision development shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Bear Franklin 83 lot and 4 outlot mixed-use subdivision development, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
4. The approval granted hereunder is conditional upon Bear Development, LLC, on behalf of Mills Hotel Wyoming, LLC, property owner, and the Bear Franklin 83 lot and 4 outlot mixed-use subdivision development project for the property located at approximately West Ryan Road and South 112th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
5. The Bear Franklin 83 lot and 4 outlot mixed-use subdivision development project shall be developed in substantial compliance with the terms and provisions of this Resolution.
6. Applicant shall graphically indicate and clearly delineate and dimension the location of proposed deed restrictions, landscape easements, and/or conservation easements on the face of the Preliminary Plat per Section 15-7.0502-V of the UDO.
7. Applicant shall provide a Landscape Plan for the landscape bufferyard for Lots 6 & 7 along West Ryan Road, as required by Sections 15-7.0502-W and 15-9.0303 of the UDO.
8. Applicant shall provide a Market Analysis, prepared by an independent market analyst acceptable to the Plan Commission indicating anticipated absorption rate of

the lots as well as other information as may be required by the City Planner or Plan Commission per Section 15-7.0502-X of the UDO.

9. Applicant shall provide a Financial Plan for project implementation acceptable to the Plan Commission per Section 15-7.0502-Y of the UDO.
10. Applicant shall provide a written project summary including fiscal impact upon the City of Franklin, operational information, building schedule, and estimate of project value and including all site improvement costs per Section 15-7.0502-Z of the UDO.
11. Applicant shall submit a draft of declaration of deed restrictions and protective covenants whereby the Subdivider intends to regulate land use in the proposed Subdivision and otherwise protect the proposed development, as required by Section 15-7.0507-A of the UDO.
12. Applicant shall submit a written conservation easement document (template attached) whereby the Subdivider intends to regulate the protection of natural resource features in the proposed Subdivision in conjunction with the “Natural Resource Protection Plan”, as required by Section 15-7.0507-B of the UDO.
13. Applicant shall submit draft legal instruments and rules for any proposed Wisconsin non-profit membership corporation (homeowners’ association), for the purpose of demonstrating its existence, when the Subdivider proposes the property within the Subdivision would be either owned or maintained by such an organization of property owners, as required by Section 15-7.0507-C of the UDO.
14. The City Attorney shall review all draft declaration of deed restrictions and protective covenants, conservation easements, and homeowners’ associations and shall approve said instruments as to form, as required by Section 15-7.0507-D of the UDO.
15. Applicant shall have the following restriction lettered on the face of the Plat, as required by Section 15-5.0102-A of the UDO:
 - a. “Landscape Bufferyard Easement: This strip is reserved for the planting of trees and shrubs; the building of structures hereon is prohibited.”
16. Applicant shall graphically and numerically depict and update those natural resource features that will be disturbed and those that will be preserved, inclusive of wetland impacts along Loomis Road due to the addition of a right turn lane and resubmit per Section 15-7.0201-J of the UDO.

17. Applicant shall provide a graphic illustration and notes relating those natural resource features, which are to be preserved, will actually be preserved in perpetuity using conservation easements, deed restrictions, protective covenants, etc. per Section 15-7.0201-K of the UDO due to the addition of a right turn lane along Loomis Road and resubmit to the Department of City Development for review and approval prior to recording of the Final Plat with the office of the Register of Deeds office.
18. Applicant shall provide the addresses, and telephone numbers of the owners, subdividers, lessee and/or developer per Section 15-7.0301-C of the UDO on the plat.
19. Applicant shall indicate all landscape bufferyard easements graphically on the plat per Section 15-7.0301-F of the UDO.
20. Applicant shall provide the location, extent, type and size of all existing trees and natural resource features. If any existing vegetation or other natural resource features are to be demolished or mitigated, applicant shall clearly delineate on the landscape plan. Both, common names and scientific names should be identified in the case of plant materials as required by Section 15-7.0301-G of the UDO.
21. Applicant shall provide the location, extent, type and size of all landscape materials and plantings per Section 15-7.0301-H of the UDO on the landscape plan. Both, common names and scientific names should be identified in the case of plant materials.
22. Applicant shall provide information regarding maintenance of the proposed landscape as required by Section 15-7.0301-J of the UDO.
23. Applicant shall address and correct all Milwaukee County review comments prior to consideration by the Common Council.
24. Applicant shall have acquired property shown to be a part of “Outlot 2” on the plat, with Tax Key Number 892-9993-001, a 1.33 acre property, and shall submit to the Department of City Development for review and approval a copy of the recorded deed of conveyance, together with a signed consent and acknowledgement to and of this application by the current property owner, prior to recording of the Final Plat with the office of the Register of Deeds office .

25. Applicant shall provide on the preliminary plat sidewalks, showing connectivity throughout the development, and meeting City of Franklin minimum standards and approved by City Staff, prior to recording of the Final Plat with the office of the Register of Deeds office.
26. Applicant shall show a landscape bufferyard of 30 feet along the rear of lots 6 and 7 in the form of a 30 foot wide bufferyard easement prior to recording of the Final Plat with the office of the Register of Deeds office.
27. Applicant shall provide a minimum of 60 feet of frontage along the roadway for lots 5, 58, 59 & 60 prior to recording of the Final Plat with the office of the Register of Deeds office.
28. Applicant shall provide an erosion control plan to the City Engineering office meeting UDO Section 15-8.0306 for review and approval prior to recording of the Final Plat with the office of the Register of Deeds office.
29. Applicant shall provide stormwater calculations for proposed stormwater management facilities to the City Engineering department for review and comment prior to recording of the Final Plat with the office of the Register of Deeds office.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



REPORT TO THE PLAN COMMISSION

Meeting of May 9, 2019

**Comprehensive Master Plan Amendment, Rezoning and Preliminary
Plat Approval**

RECOMMENDATION: City Development Staff recommends approval of the proposed Comprehensive Master Plan Amendment, Rezoning and Preliminary Plat Approval subject to the conditions in the draft resolutions.

Project Name:	Mills Hotel Wyoming/Bear Development Comprehensive Master Plan Amendment, Rezoning and Preliminary Plat (aka Ryan Meadows)
Project Address:	Generally located southwest of W. Loomis Road, south of W. Ryan Road and west of S. 112 th Street, including 11205 W. Ryan Road
Applicant:	Bear Development, LLC
Owners (property):	Mills Hotel Wyoming, LLC
Current Zoning:	R-2 Estate Single Family Residence District, M-1 Light Industrial & C-1 Conservancy District
2025 Future Land Use:	Business Park, Areas of Natural Resource Features, and Residential
Use of Surrounding Properties:	Single-family residential to the north, east as well as the Irish Cottage to the north and agricultural land to the south and west
Applicant Action Requested:	Recommendation of approval of the Comprehensive Master Plan amendments, Rezoning and Preliminary Plat.

Project Description and Analysis:

On March 13, 2019, the applicant filed a Comprehensive Master Plan Amendment Application and Rezoning Application with the Department of City Development requesting approval to subdivide three existing parcels bearing Tax Key Nos. 891-9009-000, 891-9010-000, and 891-9008-000 and a fourth parcel currently under contract to purchase at 892-993-001 into lots for single family residential usage, industrial usage and resulting outlots to accommodate stormwater and natural areas. The applicant is also proposing to amend the City Comprehensive Master Plan for approximately 26.11 acres and to rezone for approximately 50.67 acres of land generally located southwest of W. Loomis Road, south of W. Ryan Road and west of S. 112th Street to match up with the proposed outer lots of the accompanying preliminary plat. The request would amend the Comprehensive Master Plan of the proposed areas as follows:

- Area Two: From Business Park to Residential (22.79 acres).
- Area 3: From Business Park to Residential (3.32 acres).

The application for rezoning proposes to amend the properties as follows:

- Area One: From R-2 Estate Single-Family Residence District to M-1 Limited Industrial District (24.56 acres).
- Area Two: From R-2 Estate Single-Family Residence District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District (22.79 acres).
- Area 3: From M-1 Limited Industrial District and C-1 Conservancy District to R-6 Suburban Single-Family Residence District (3.32 acres).

The Preliminary Plat shows the resulting subdivision for residential and light industrial areas stemming from a previous request in 2018 and this proposal. The resulting amount of single family residential lots shown in the R-6 area is 78 residential lots. The resulting amount of light industrial area in the resulting M-1 district is four (4) lots.

It should be noted that the proposed “Outlot 2” consists of property recently contracted to purchase and at the time of the writing of this staff summary, it is understood by staff the property has not yet been closed on. Therefore, the proposed comprehensive land use amendment and rezoning for this particular property, with Tax Key Number 892-9993-001, would need to come back for an amendment to match adjacent properties and their respective Comprehensive Master Plan and Zoning Designations prior to final plat consideration by the City.

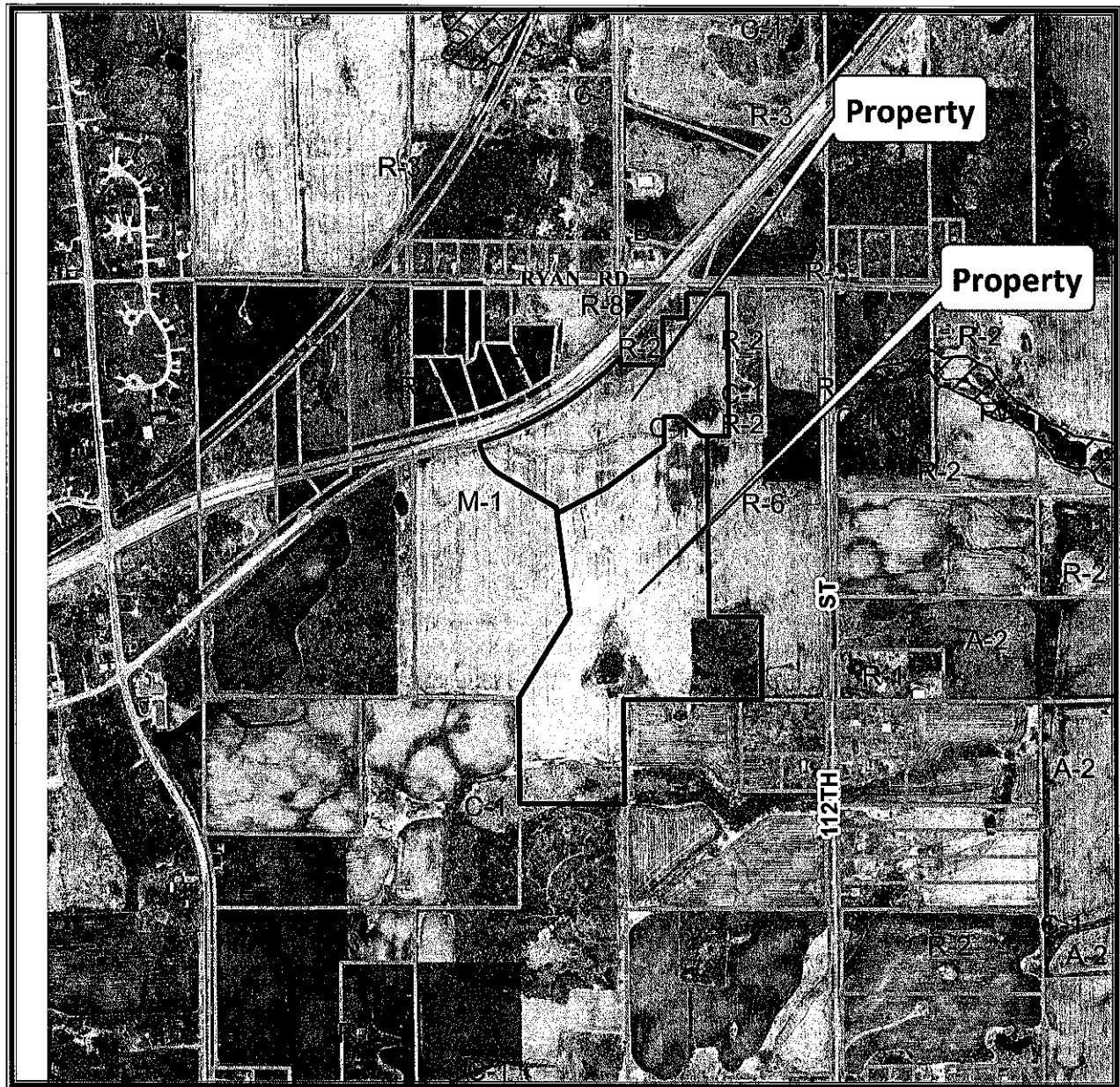
Please Note: As of the writing of this staff summary, the applicant has notified staff setback widths mentioned in staff comments nos. 2 and 24 for the residential lots will be shown on a revised set of plans, to be placed on the seats of the Commission members the night of the meeting.

Staff Recommendation:

City Development Staff recommends approval of the proposed Comprehensive Land Use Map Amendments, Rezoning and Preliminary Plat, subject to the conditions in the draft resolutions.



TKNs: 891 9008 000 and 891 9010 000



Planning Department
(414) 425-4024

0 600 1,200 2,400 Feet

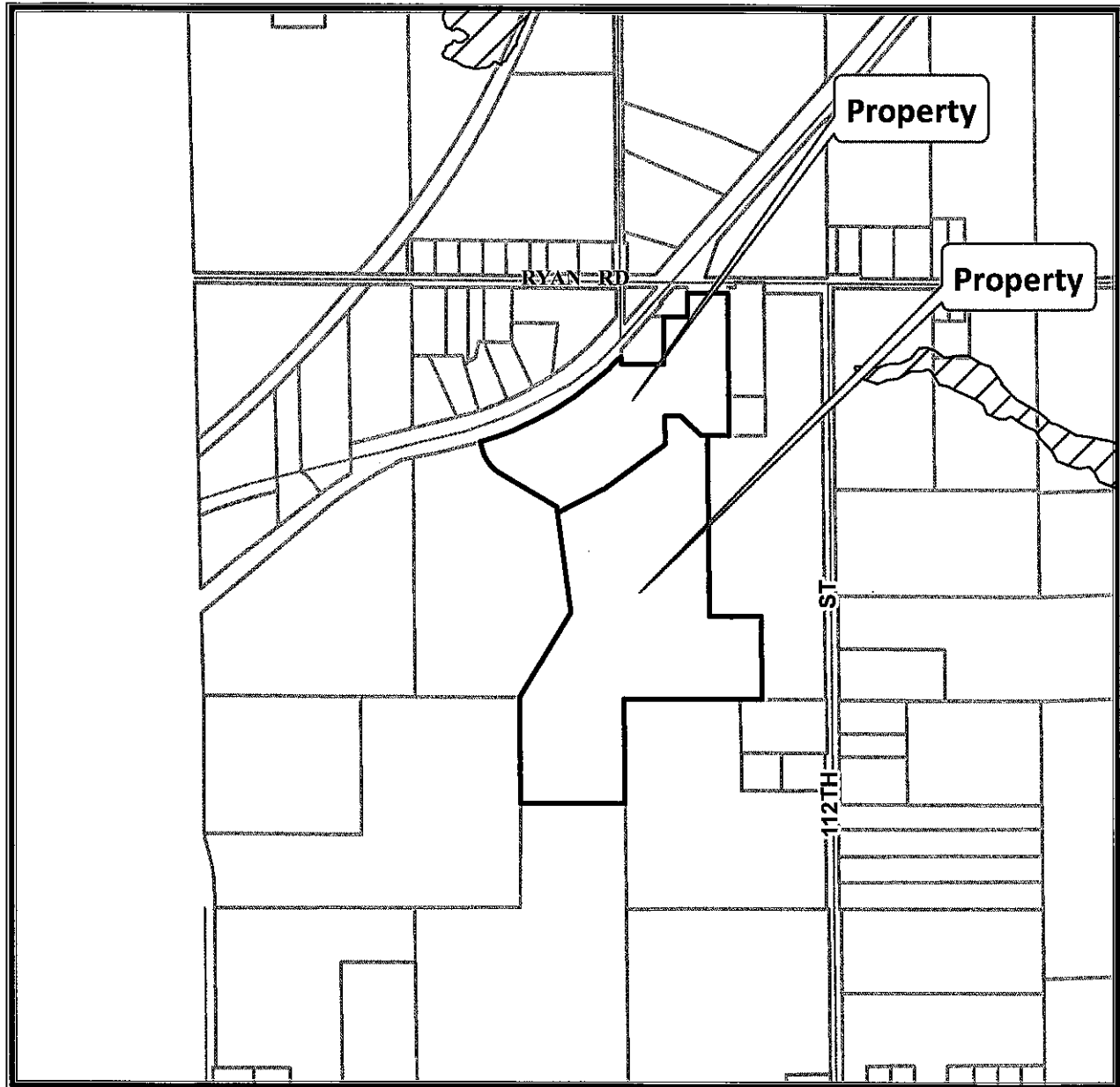
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2017 Aerial Photo



TKNs: 891 9008 000 and 891 9010 000



Planning Department
(414) 425-4024

0 600 1,200 2,400 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2017 Aerial Photo



April 29, 2019

Mr. Ben Kohout
City of Franklin
9229 W. Loomis Road
Franklin, WI 53132

Re: Mills Hotel Wyoming – Preliminary Plat

Dear Mr. Kohout:

Bear Development is pleased to submit this letter and the enclosed submittal materials as an amendments to the formal application for Preliminary Plat review. Bear Development is acting on behalf of the owner of record, Mills Wyoming Hotel, LLC.

Project Summary

Mills Wyoming Hotel, LLC is the owner of record of approximately 131.50 acres of vacant land in the City of Franklin. The land is located on the south sides of STH 36, south of West Ryan Road and west of 112th Street. The property is included in the area commonly known as Planning Area G and included in Tax Increment District #6.

Mills Hotel Wyoming, LLC is under contract to purchase approximately 1.16 acres from Eugene & Marlene Magarich. The subject is adjacent to the submitted Preliminary Plat. Our intention is to add the Magarich property into the submitted plat. Rezoning and Comprehensive Plan Amendments for this property have been previously submitted.

Current Land Use

The subject property is unimproved and vacant. The property is within the major drainage path for the surrounding area

Proposed Use

Mills Hotel Wyoming, LLC proposes to include the 1.16 acres into the overall Preliminary Plat. The added property will be mad part of Outlot 2 and be used for storm water management purposes. As stated above, the property is within the drainage path of the general area. We feel that this is the most efficient use of the property and will improve the storm water management pain for the overall development. By using this acreage for storm water detention, it in turn, allows the adjacent Commercial/Industrial Lot to be enlarged, a benefit for the entire project. Light industrial land uses along the Loomis Road and Ryan frontages and the western portion of the property. The proposed use is consistent with the Comprehensive Land Use Plan designation of Business Park.

Existing Zoning

The property currently holds R-2 and C-1 zoning classifications.

Proposed Zoning

Mills Hotel Wyoming has submitted application applications for Zoning Amendment to amend the zoning district boundaries to the surrounding R-6 District.

Proposed Preliminary Plat

Mills Hotel Wyoming, LLC and Bear Development, LLC, respectfully request City of Franklin review and approval of the enclosed Preliminary Plat. The Preliminary Plat includes:

- Gross Land Area of 132.72 acres
- A total of 83 Lots and 4 Outlots
- Lots 1-79 are Single Family lots with bulk requirements meeting the R-6 Residential zoning standards.
- Lots 81-84 are Light Industrial Lots meeting the M-1 Manufacturing zoning standards. Lots 81, 82 and 84 will be re-divided upon final users being secured within the development.
- Lot 80 is the existing Irish Cottage property (owned by Mills Hotel Wyoming, LLC)
- Outlots 1-3 are for Stormwater Retention and Maintenance and community open space.
- All Lots are to be serviced by public water and sanitary sewer service.
- The access points as shown on the Preliminary Plat have been located in compliance with an approved WDOT Traffic Impact Analysis.

We feel the Preliminary Plat offers an opportunity to create a development opportunity for Planning Area G that meets the goals of the Comprehensive Plan while providing a diverse land uses that will ensure a successful project.

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Sincerely,

Daniel Szczap
Bear Development, LLC



Date of Application: _____

APPLICATION FOR SUBDIVISION PLAT - PRELIMINARY

Complete, accurate and specific information must be entered. Please Print.

Applicant (Full Legal Name[s])
Name: S.R. Mills
Company: Bear Development, LLC
Mailing Address: 4011 80th Street
City / State: Kenosha, WI Zip: 53142
Phone: (262) 842-0556
Email Address: dan@bearddevelopment.com

Applicant Is Represented by (contact person) (Full Legal Name[s])
Name: _____
Company: _____
Mailing Address: _____
City / State: _____ Zip: _____
Phone: _____
Email Address: _____

Project Property Information:

Property Address: 11327 W. Ryan Road (rear parcel)
Property Owner(s): Eugene & Marlene Magarich
Mailing Address: 11327 W. Ryan Road (rear parcel)
City / State: Franklin, WI Zip: 53132
Email Address: _____

Tax Key Nos: Part of 892-9993-001
Existing Zoning: R2 and C1
Existing Use: Vacant, southwest of W. Ryan Road and 112th Street
Proposed Use: Outlot/Open Space/Storm Water Management
Future Land Use Identification: Business Park

*The 2025 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/Home/ResourcesDocuments/Maps.htm>

All Preliminary Subdivision Plat submittals shall comply with Chapter 236 of the Wisconsin State Statutes and City of Franklin UDO Division 15-7.0500 Preliminary Plat. The Unified Development Ordinance (UDO) can be found at the City's web site: www.franklinwi.gov.

Preliminary Subdivision Plat Application submittals for review must include and be accompanied by the following:

- ☒ Milwaukee County Review Fee, payable to Milwaukee County Register of Deeds: \$150.00
 - ☒ Four (4) original map copies for Milwaukee County review, prepared at 22x30-inch on durable white media (s. 236.20(1) (a,b & c), Wis. Stats.
- ☒ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.
- ☒ Application Filing Fee, payable to City of Franklin: ☐ \$5,000
- ☒ Legal Description for the subject property (WORD.doc or compatible electronic format).
- ☒ One copy of the completed DOA "Request for Land Subdivision Plat Review; and "WISDOT SUBDIVISION REVIEW REQUEST" if applicable. (Per s. 236.12 (4m) Wis. Stats. The surveyor must submit copies of the plat directly to all approving agencies.)
- ☒ Nine (9) complete collated and folded sets of Application materials to include:
 - ☒ One (1) original and eight (8) copies of a written Project Narrative, detailed description of the project.
 - ☒ Nine (9) full size copies of the Preliminary Plat, drawn to scale (22" x 30") per s. 236.25(2) (a) Wis. Stats.
 - ☒ Nine (9) full size copies of the Natural Resource Protection Plan, (22" x 30") per Division 15-7.0200 of the UDO, if applicable.
 - ☒ Nine (9) full size copies of the Landscape Plan (22" x 30") for any landscape bufferyard easement areas per Division 15-7.0300 of the UDO, if applicable.
- ☒ One copy of the Site Intensity and Capacity Calculations, see Division 15-3.0500 of the UDO.
- ☒ Three (3) copies of the Natural Resource Protection report, if applicable (see Section 15-7.0103Q of the UDO).
- ☒ Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

•Upon receipt of a complete submittal, staff review will be conducted within 20 days.

•Preliminary Subdivision Plat Review requests require Plan Commission review and recommendation within 60 days of filing.

•Within 90 days of the date of filing, Common Council shall approve, conditionally approve or reject the plat, unless the time is extended by agreement with the Subdivider.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).

Signature - Property Owner S.R. Mills

Name & Title (PRINT) _____

Date: April 16, 2019

Signature - Property Owner _____

Name & Title (PRINT) _____

Date: _____

Signature - Applicant _____

Name & Title (PRINT) _____

Date: _____

Signature - Applicant's Representative _____

Name & Title (PRINT) _____

Date: _____

City of Franklin
Department of City Development

Date: April 11, 2019

To: Bear Development, LLC

From: City Development Staff

RE: Bear Franklin Preliminary Plat – Staff Comments

Please be advised that City Staff has reviewed the above application. Department comments are as follows for the Preliminary Plat submitted by Bear Development, LLC and date stamped by the City of Franklin on February 27, 2019.

Unified Development Ordinance (UDO) Requirements

Plat Data

1. All wetland buffers shall be graphically indicated and dimensioned on the Preliminary Plat per Section 15-5.0501-K of the UDO.
2. If zoning changes are contemplated, the proposed zoning plan for the property, including dimensions shall be accurately shown on the face of the preliminary plat, per Section 15-7.0501-I of the UDO.
3. Please add the water elevation of all wetlands at the date of the survey, referred to National Geodetic Vertical Datum of 1929 (mean sea level) as required by Section 15-7.0502-D of the UDO.
4. Existing zoning of the proposed subdivision shall be depicted on the face of the preliminary plat per Section 15-7.0502-O of the UDO. *The Plat shall reflect the rezoning for Lots 1, 2, and 3 of CSM No. 9050, which was approved via Ordinance No. 2018-2330.*
5. Please graphically indicate and clearly delineate and dimension the location of proposed deed restrictions, landscape easements, and/or conservation easements on the face of the Preliminary Plat per Section 15-7.0502-V of the UDO. The location and extent of conservation easements should be directly related to the “Natural Resource Protection Plan”.
6. Please provide a Landscape Plan for the landscape bufferyard for Lots 6 & 7 along West Ryan Road, as required by Sections 15-7.0502-W and 15-9.0303 of the UDO.
7. Please provide a Market Analysis, prepared by an independent market analyst acceptable to the Plan Commission indicating anticipated absorption rate of the lots as well as other information as may be required by the City Planner or Plan Commission per Section 15-7.0502-X of the UDO.
8. Please provide a Financial Plan for project implementation acceptable to the Plan Commission per Section 15-7.0502-Y of the UDO.

9. Please provide a written project summary including fiscal impact upon the City of Franklin, operational information, building schedule, and estimate of project value and including all site improvement costs per Section 15-7.0502-Z of the UDO.

Declaration of Deed Restrictions, Protective Covenants, Conservation Easements, and Homeowner's Association

10. Please submit a draft of declaration of deed restrictions and protective covenants whereby the Subdivider intends to regulate land use in the proposed Subdivision and otherwise protect the proposed development, as required by Section 15-7.0507-A of the UDO.
11. Please submit a written conservation easement document (template attached) whereby the Subdivider intends to regulate the protection of natural resource features in the proposed Subdivision in conjunction with the "Natural Resource Protection Plan", as required by Section 15-7.0507-B of the UDO.
12. Please submit draft legal instruments and rules for any proposed Wisconsin non-profit membership corporation (homeowners' association), for the purpose of demonstrating its existence, when the Subdivider proposes the property within the Subdivision would be either owned or maintained by such an organization of property owners, as required by Section 15-7.0507-C of the UDO.
13. The City Attorney shall review all draft declaration of deed restrictions and protective covenants, conservation easements, and homeowners' associations and shall approve said instruments as to form, as required by Section 15-7.0507-D of the UDO.

Landscape Bufferyard Easement

14. Please have the following restriction lettered on the face of the Plat, as required by Section 15-5.0102-A of the UDO.
"Landscape Bufferyard Easement: This strip is reserved for the planting of trees and shrubs; the building of structures hereon is prohibited."

Site Intensity and Capacity Calculations

15. Site Intensity and Capacity Calculations shall be for the entire base site of the Plat, not on a lot by lot basis. Please correct this accordingly.

Natural Resource Protection Plan

16. Please graphically and numerically depict those natural resource features that will be disturbed and those that will be preserved per Section 15-7.0201-J of the UDO.
17. Per Section 15-7.0201-K of the UDO, please provide a graphic illustration and notes relating those natural resource features, which are to be preserved, will actually be preserved in perpetuity using conservation easements, deed restrictions, protective covenants, etc.


Landscaping

18. Please indicate the proposed name of the subdivision plat per Section 15-7.0301-A of the UDO.

19. Please provide the names, addresses, and telephone numbers of the owners, subdividers, lessee and/or developer per Section 15-7.0301-C of the UDO.
20. Please note all applicable revision dates per Section 15-7.0301-D of the UDO.
21. Please illustrate the boundary line of the site with a solid line and indicated the total land area encompassed by the site as required by Section 15-7.0301-E of the UDO.
22. Please indicate all landscape bufferyard easements graphically per Section 15-7.0301-F of the UDO.
23. Please provide the location, extent, type and size of all existing trees and natural resource features. If any existing vegetation or other natural resource features are to be demolished or mitigated, please clearly delineate on the landscape plan. Both, common names and scientific names should be identified in the case of plant materials as required by Section 15-7.0301-G of the UDO.
24. Please provide the location, extent, type and size of all landscape materials and plantings per Section 15-7.0301-H of the UDO. Both, common names and scientific names should be identified in the case of plant materials.
25. Please provide information regarding maintenance of the proposed landscape as required by Section 15-7.0301-J of the UDO.

Staff Recommendations

Plat

1. Staff recommends no vehicular access to South 112th Street for Lots 4, 5, Outlot 1, Outlot 2, and Lots 61-67. Also, please see Engineering's condition about no access to W. Loomis Road – STH 36 and W. Ryan Road – CTH "H". Finally, please graphically depict this on the Plat.
 – NO ACCESS
2. Please provide evidence that Lots 4, 5, 6, 7, 32, 33, 34, 35, 36, 37, 43, 44, 45, 58, 59, 60, 61, 74, 75, and 76 are 90 feet wide at the front yard setback line.
3. Lots 6 & 7 are not deep enough to accommodate the required 30-Foot Landscape Bufferyard Easement and a useable rear yard for the proposed single-family lots. Staff recommends reconfiguring the Plat to correct this issue.
4. Please differentiate between existing conservation easements per CSM No. 9095 and those easements being proposed in association with the new wetland delineations conducted by Heartland Ecological Group, Inc. on September 6, 2018.
5. Please label the wetland buffer as the *30-foot Wetland Buffer "No Touch"* and please label the wetland setback as the *50-foot Wetland Setback "No Build"*.
6. Staff recommends buildings be setback a minimum of six (6) feet from a conservation easement boundary to allow construction of the building without disturbance or impact to the protected resource feature.
7. Please remove the wooded areas and exempt wetlands being impacted by the proposed development from the face of the Plat.
8. Please provide proposed grading elevations and an Erosion Control Plan.

Landscape Plan

9. Please provide a planting schedule.
10. Please coordinate the Planting schedule with like types and designate the plants as a Canopy, Evergreen, Decorative Tree or Shrub. Please indicate the required amount of plantings in accordance with Section 15-5.0302 A. of the UDO.

Natural Resource Protection Plan (NRPP)

11. When resources overlap, only the resource feature with the higher protection standard shall be counted. Please update the NRPP accordingly.
12. Are tree lines identified on the Plat protected resources (e.g. mature woodland, mature woodland grove, or young woodland) or not?
13. Woodland impacts shall be addressed on the NRPP per Staff's previous email.
14. Please label the wetland buffer as the *30-foot Wetland Buffer "No Touch"* and please label the wetland setback as the *50-foot Wetland Setback "No Build"*.
15. In the Conservation Easement Document, please provide individual exhibit(s) for all natural resources that are to be protected as part of this development.
16. Staff recommends buildings be setback a minimum of six (6) feet from a conservation easement boundary.
17. Further NRPP comments are forthcoming.

Sign Plan

18. If a subdivision monument sign is proposed in the future, it will require a separate application, review and approval by the Plan Commission, and issuance of a Sign Permit by the Inspection Services Department.

Other

19. Please submit a separate written conservation easement document for review and approval by the Common Council and to be recorded with the Milwaukee County Register of Deeds Office at the time of recording of the Plat.
20. Please check with the State regarding setback requirements and restrictions along State Trunk Highway 36 per Trans 233.08 of Wis. Stats.
21. Staff recommends the developer install a 10-foot wide public recreational multi-use trail (Ryan Creek Trail) along S. 112th Street in accordance with Map 7.1 of the City's 2030 Comprehensive Outdoor Recreation Plan.

Engineering Staff Comments

22. Show the vision triangle at all intersections.
23. Show the missing side lot dimensions for lots 39, 38 & 37.
24. Show that the lots 5, 58, 59 & 60 meet the required frontage of minimum 60-ft.
25. Show the temporary turn around easement at the end of road A.
26. Show all the easements within the subdivision.
27. Show the symbol (hatch line) of "No Vehicular Access" at Ryan Road and STH 36.
28. Show the wetlands area line tables.

Fire Department Staff Comments

- 29. Roads constructed to existing standards.
- 30. Adequate water supply infrastructure for firefighting, as well as supporting any required fire protection systems for the commercial and industrial occupancies.

Milwaukee County

Milwaukee County comments are forthcoming.

RYAN MEADOWS - RESIDENTIAL

SECTION 15-3.0502 CALCULATION OF BASE SITE AREA

The *base site area* shall be calculated as indicated in Table 15-3.0502 for each parcel of land to be used or built upon in the City of Franklin as referenced in Section 15-3.0501 of this Ordinance.

Table 15-3.0502

WORKSHEET FOR THE CALCULATION OF BASE SITE AREA FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	133.40 acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	- 0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	- 0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed residential use, subtract (-) the land proposed for nonresidential uses; or In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	- 105.43 acres
STEP 5:	Equals "Base Site Area"	= 27.97 acres

SECTION 15-3.0503 CALCULATION OF THE AREA OF NATURAL RESOURCES TO BE PROTECTED

All land area with those natural resource features as described in Division 15-4.0100 of this Ordinance and as listed in Table 15-3.0503 and lying within the *base site area* (as defined in Section 15-3.0502), shall be measured relative to each natural resource feature present. The actual land area encompassed by each type of resource is then entered into the column of Table 15-3.0503 titled "Acres of Land in Resource Feature." The acreage of each natural resource feature shall be multiplied by its respective *natural resource protection standard* (to be selected from Table 15-4.0100 of this Ordinance for applicable agricultural, residential, or nonresidential zoning district) to determine the amount of resource protection land or area required to be kept in open space in order to protect the resource or feature. The sum total of all resource protection land on the site equals the *total resource protection land*. The *total resource protection land* shall be calculated as indicated in Table 15-3.0503.

Franklin
JUN 26 2010
City Development

Table 15-3.0503

WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District.		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X 0	0
				=	
20-30%	0.65	0.75	0.70	X 0	0
				=	
+ 30%	0.90	0.85	0.80	X 0	0
				=	
Woodlands & Forests:					
				X 0.83	0.58
				=	
Mature	0.70	0.70	0.70	X 0	0
				=	
Young	0.50	0.50	0.50	X 0	0
				=	
Lakes & Ponds	1	1	1	X 0	0
				=	
Streams	1	1	1	X 0	0
				=	
Shore Buffer	1	1	1	X 0	0
				=	
Floodplains	1	1	1	X 0	0
				=	
Wetland Buffers	1	1	1	X 0	0
				=	
Wetlands & Shoreland Wetlands	1	1	1	X 0	0
				=	
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					0.58

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

SECTION 15-3.0504**CALCULATION OF SITE INTENSITY AND CAPACITY
FOR RESIDENTIAL USES**

In order to determine the maximum number of dwelling units which may be permitted on a parcel of land zoned in a residential zoning district, the site intensity and capacity calculations set forth in Table 15-3.0504 shall be performed.

Table 15-3.0504

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR RESIDENTIAL DEVELOPMENT**

STEP 1:	CALCULATE MINIMAL REQUIRED ON-SITE OPEN SPACE Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>27.97</u> Multiply by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X <u>0</u> Equals MINIMUM REQUIRED ON-SITE OPEN SPACE = 0 acres
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>27.97</u> Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503) or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: <u>- 0.58</u> Equals NET BUILDABLE SITE AREA = 27.39 acres
STEP 3:	CALCULATE MAXIMUM NET DENSITY YIELD OF SITE: Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>27.39</u> Multiply by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X <u>2.972</u> Equals MAXIMUM NET DENSITY YIELD OF SITE = 81.40 D.U.s
STEP 4:	CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE: Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>27.97</u> Multiply by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X <u>2.972</u> Equals MAXIMUM GROSS DENSITY YIELD OF SITE = 83.13 D.U.s
STEP 5:	DETERMINE MAXIMUM PERMITTED D.U.s OF SITE: Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above) or Maximum Gross Density Yield of Site (from Step 4 above): 81.40 D.U.s

LOOMIS BUSINESS PARK - COMMERCIAL

SECTION 15-3.0502 CALCULATION OF BASE SITE AREA

The *base site area* shall be calculated as indicated in Table 15-3.0502 for each parcel of land to be used or built upon in the City of Franklin as referenced in Section 15-3.0501 of this Ordinance.

Table 15-3.0502

WORKSHEET FOR THE CALCULATION OF BASE SITE AREA FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	133.40 acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	- 0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	- 0 acres
STEP 4:	In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed residential use, subtract (-) the land proposed for nonresidential uses; <i>or</i> In the case of " <i>Site Intensity and Capacity Calculations</i> " for a proposed nonresidential use, subtract (-) the land proposed for residential uses.	- 27.79 acres
STEP 5:	Equals "Base Site Area"	= 105.43 acres

SECTION 15-3.0503 CALCULATION OF THE AREA OF NATURAL RESOURCES TO BE PROTECTED

All land area with those natural resource features as described in Division 15-4.0100 of this Ordinance and as listed in Table 15-3.0503 and lying within the *base site area* (as defined in Section 15-3.0502), shall be measured relative to each natural resource feature present. The actual land area encompassed by each type of resource is then entered into the column of Table 15-3.0503 titled "Acres of Land in Resource Feature." The acreage of each natural resource feature shall be multiplied by its respective *natural resource protection standard* (to be selected from Table 15-4.0100 of this Ordinance for applicable agricultural, residential, or nonresidential zoning district) to determine the amount of resource protection land or area required to be kept in open space in order to protect the resource or feature. The sum total of all resource protection land on the site equals the *total resource protection land*. The *total resource protection land* shall be calculated as indicated in Table 15-3.0503.

Franklin

APR 25 2010

City Development

Table 15-3.0503

WORKSHEET FOR THE CALCULATION OF RESOURCE PROTECTION LAND

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 15-4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	
	Agricultural District	Residential District	Non-Residential District		
Steep Slopes:					
10-19%	0.00	0.60	0.40	X 0.31 =	0.12
20-30%	0.65	0.75	0.70	X 0 =	0
+ 30%	0.90	0.85	0.80	X 0 =	0
Woodlands & Forests:					
Mature	0.70	0.70	0.70	X 6.16 =	4.31
Young	0.50	0.50	0.50	X 0 =	0
Lakes & Ponds	1	1	1	X 0.66 =	0.66
Streams	1	1	1	X 0 =	0
Shore Buffer	1	1	1	X 0.34 =	0.34
Floodplains	1	1	1	X 0 =	0
Wetland Buffers	1	1	1	X 2.39 =	2.39
Wetlands & Shoreland Wetlands	1	1	1	X 5.76 =	5.76
TOTAL RESOURCE PROTECTION LAND (Total of Acres of Land in Resource Feature to be Protected)					13.58

Note: In conducting the calculations in Table 15-3.0503, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.0 which represents the higher of the two standards.

SECTION 15-3.0505**CALCULATION OF SITE INTENSITY AND CAPACITY
FOR NONRESIDENTIAL USES**

In order to determine the maximum floor area which may be permitted on a parcel of land zoned in a nonresidential zoning district, the site intensity and capacity calculations set forth in Table 15-3.0505 shall be performed.

A. Maximum Permitted Floor Area for a Retail Building:

- 1 Notwithstanding the provisions of Table 15-3.0505, no individual retail building in any of the following districts shall exceed a total of 125,000 gross square feet of floor area, including all roofed area.
 - a. B-1 Neighborhood Business District
 - b. B-2 General Business District
 - c. B-3 Community Business District
 - d. B-5 Highway Business District
- 2 Notwithstanding, any other provision of this Ordinance, no special use permit, special exception or variance may be approved or granted that would allow a retail building to exceed the size limits of this subparagraph (1) and no nonconforming use or structure may be expanded in any manner that would increase its nonconformance with the limits of subparagraph (1).

Table 15-3.0505

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>105.43</u> Multiple by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X <u>0.4</u> Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE = 42.17 acres
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>105.43</u> Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: - <u>42.17</u> Equals NET BUILDABLE SITE AREA = 63.26 acres
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take <i>Net Buildable Site Area</i> (from Step 2 above): <u>63.26</u> Multiple by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X <u>0.85</u> Equals MAXIMUM NET FLOOR AREA YIELD OF SITE = 53.77 acres
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): <u>105.43</u> Multiple by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X <u>0.42</u> Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE = 44.28 acres
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above): (Multiple results by 43,560 for maximum floor area in square feet): 44.28 acres (<u>1,928,837</u> s.f.)

City of Franklin
Department of City Development

Date: April 11, 2019

To: Bear Development, LLC

From: City Development Staff

RE: Bear Franklin Preliminary Plat – Staff Comments

Please be advised that City Staff has reviewed the above application. Department comments are as follows for the Preliminary Plat submitted by Bear Development, LLC and date stamped by the City of Franklin on February 27, 2019.

Unified Development Ordinance (UDO) Requirements

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1. All wetland buffers shall be graphically indicated and dimensioned on the Preliminary Plat per Section 15-5.0501-K of the UDO.
2. If zoning changes are contemplated, the proposed zoning plan for the property, including dimensions shall be accurately shown on the face of the preliminary plat, per Section 15-7.0501-I of the UDO.
3. Please add the water elevation of all wetlands at the date of the survey, referred to National Geodetic Vertical Datum of 1929 (mean sea level) as required by Section 15-7.0502-D of the UDO.
4. Existing zoning of the proposed subdivision shall be depicted on the face of the preliminary plat per Section 15-7.0502-O of the UDO. *The Plat shall reflect the rezoning for Lots 1, 2, and 3 of CSM No. 9050, which was approved via Ordinance No. 2018-2330.*
5. Please graphically indicate and clearly delineate and dimension the location of proposed deed restrictions, landscape easements, and/or conservation easements on the face of the Preliminary Plat per Section 15-7.0502-V of the UDO. The location and extent of conservation easements should be directly related to the “Natural Resource Protection Plan”.
6. Please provide a Landscape Plan for the landscape bufferyard for Lots 6 & 7 along West Ryan Road, as required by Sections 15-7.0502-W and 15-9.0303 of the UDO.
7. Please provide a Market Analysis, prepared by an independent market analyst acceptable to the Plan Commission indicating anticipated absorption rate of the lots as well as other information as may be required by the City Planner or Plan Commission per Section 15-7.0502-X of the UDO.
8. Please provide a Financial Plan for project implementation acceptable to the Plan Commission per Section 15-7.0502-Y of the UDO.

9. Please provide a written project summary including fiscal impact upon the City of Franklin, operational information, building schedule, and estimate of project value and including all site improvement costs per Section 15-7.0502-Z of the UDO.

Declaration of Deed Restrictions, Protective Covenants, Conservation Easements, and Homeowner's Association

10. Please submit a draft of declaration of deed restrictions and protective covenants whereby the Subdivider intends to regulate land use in the proposed Subdivision and otherwise protect the proposed development, as required by Section 15-7.0507-A of the UDO.
11. Please submit a written conservation easement document (template attached) whereby the Subdivider intends to regulate the protection of natural resource features in the proposed Subdivision in conjunction with the "Natural Resource Protection Plan", as required by Section 15-7.0507-B of the UDO.
12. Please submit draft legal instruments and rules for any proposed Wisconsin non-profit membership corporation (homeowners' association), for the purpose of demonstrating its existence, when the Subdivider proposes the property within the Subdivision would be either owned or maintained by such an organization of property owners, as required by Section 15-7.0507-C of the UDO.
13. The City Attorney shall review all draft declaration of deed restrictions and protective covenants, conservation easements, and homeowners' associations and shall approve said instruments as to form, as required by Section 15-7.0507-D of the UDO.

Landscape Bufferyard Easement

14. Please have the following restriction lettered on the face of the Plat, as required by Section 15-5.0102-A of the UDO.
"Landscape Bufferyard Easement: This strip is reserved for the planting of trees and shrubs; the building of structures hereon is prohibited."

Site Intensity and Capacity Calculations

15. Site Intensity and Capacity Calculations shall be for the entire base site of the Plat, not on a lot by lot basis. Please correct this accordingly.

Natural Resource Protection Plan

16. Please graphically and numerically depict those natural resource features that will be disturbed and those that will be preserved per Section 15-7.0201-J of the UDO.
17. Per Section 15-7.0201-K of the UDO, please provide a graphic illustration and notes relating those natural resource features, which are to be preserved, will actually be preserved in perpetuity using conservation easements, deed restrictions, protective covenants, etc.


Landscaping

18. Please indicate the proposed name of the subdivision plat per Section 15-7.0301-A of the UDO.

19. Please provide the names, addresses, and telephone numbers of the owners, subdividers, lessee and/or developer per Section 15-7.0301-C of the UDO.
20. Please note all applicable revision dates per Section 15-7.0301-D of the UDO.
21. Please illustrate the boundary line of the site with a solid line and indicated the total land area encompassed by the site as required by Section 15-7.0301-E of the UDO.
22. Please indicate all landscape bufferyard easements graphically per Section 15-7.0301-F of the UDO.
23. Please provide the location, extent, type and size of all existing trees and natural resource features. If any existing vegetation or other natural resource features are to be demolished or mitigated, please clearly delineate on the landscape plan. Both, common names and scientific names should be identified in the case of plant materials as required by Section 15-7.0301-G of the UDO.
24. Please provide the location, extent, type and size of all landscape materials and plantings per Section 15-7.0301-H of the UDO. Both, common names and scientific names should be identified in the case of plant materials.
25. Please provide information regarding maintenance of the proposed landscape as required by Section 15-7.0301-J of the UDO.

Staff Recommendations

Plat

1. Staff recommends no vehicular access to South 112th Street for Lots 4, 5, Outlot 1, Outlot 2, and Lots 61-67. Also, please see Engineering's condition about no access to W. Loomis Road – STH 36 and W. Ryan Road – CTH "H". Finally, please graphically depict this on the Plat.
 – NO ACCESS
2. Please provide evidence that Lots 4, 5, 6, 7, 32, 33, 34, 35, 36, 37, 43, 44, 45, 58, 59, 60, 61, 74, 75, and 76 are 90 feet wide at the front yard setback line.
3. Lots 6 & 7 are not deep enough to accommodate the required 30-Foot Landscape Bufferyard Easement and a useable rear yard for the proposed single-family lots. Staff recommends reconfiguring the Plat to correct this issue.
4. Please differentiate between existing conservation easements per CSM No. 9095 and those easements being proposed in association with the new wetland delineations conducted by Heartland Ecological Group, Inc. on September 6, 2018.
5. Please label the wetland buffer as the *30-foot Wetland Buffer "No Touch"* and please label the wetland setback as the *50-foot Wetland Setback "No Build"*.
6. Staff recommends buildings be setback a minimum of six (6) feet from a conservation easement boundary to allow construction of the building without disturbance or impact to the protected resource feature.
7. Please remove the wooded areas and exempt wetlands being impacted by the proposed development from the face of the Plat.
8. Please provide proposed grading elevations and an Erosion Control Plan.

Landscape Plan

9. Please provide a planting schedule.
10. Please coordinate the Planting schedule with like types and designate the plants as a Canopy, Evergreen, Decorative Tree or Shrub. Please indicate the required amount of plantings in accordance with Section 15-5.0302 A. of the UDO.

Natural Resource Protection Plan (NRPP)

11. When resources overlap, only the resource feature with the higher protection standard shall be counted. Please update the NRPP accordingly.
12. Are tree lines identified on the Plat protected resources (e.g. mature woodland, mature woodland grove, or young woodland) or not?
13. Woodland impacts shall be addressed on the NRPP per Staff's previous email.
14. Please label the wetland buffer as the *30-foot Wetland Buffer "No Touch"* and please label the wetland setback as the *50-foot Wetland Setback "No Build"*.
15. In the Conservation Easement Document, please provide individual exhibit(s) for all natural resources that are to be protected as part of this development.
16. Staff recommends buildings be setback a minimum of six (6) feet from a conservation easement boundary.
17. Further NRPP comments are forthcoming.

Sign Plan

18. If a subdivision monument sign is proposed in the future, it will require a separate application, review and approval by the Plan Commission, and issuance of a Sign Permit by the Inspection Services Department.

Other

19. Please submit a separate written conservation easement document for review and approval by the Common Council and to be recorded with the Milwaukee County Register of Deeds Office at the time of recording of the Plat.
20. Please check with the State regarding setback requirements and restrictions along State Trunk Highway 36 per Trans 233.08 of Wis. Stats.
21. Staff recommends the developer install a 10-foot wide public recreational multi-use trail (Ryan Creek Trail) along S. 112th Street in accordance with Map 7.1 of the City's 2030 Comprehensive Outdoor Recreation Plan.

Engineering Staff Comments

22. Show the vision triangle at all intersections.
23. Show the missing side lot dimensions for lots 39, 38 & 37.
24. Show that the lots 5, 58, 59 & 60 meet the required frontage of minimum 60-ft.
25. Show the temporary turn around easement at the end of road A.
26. Show all the easements within the subdivision.
27. Show the symbol (hatch line) of "No Vehicular Access" at Ryan Road and STH 36.
28. Show the wetlands area line tables.

Fire Department Staff Comments

- 29. Roads constructed to existing standards.
- 30. Adequate water supply infrastructure for firefighting, as well as supporting any required fire protection systems for the commercial and industrial occupancies.

Milwaukee County

Milwaukee County comments are forthcoming.

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APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE June 4, 2019
REPORTS & RECOMMENDATIONS	Project Updates for Ballpark Commons	ITEM NUMBER <i>G.5.</i>

A representative from Ballpark Commons will present an update on the development.

COUNCIL ACTION REQUESTED

No action requested. This presentation is only for providing updates on the Ballpark Commons project.

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APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 06/04/19
REPORTS & RECOMMENDATIONS	RESOLUTION TO AMEND RESOLUTION NO. 2017-7246 IMPOSING CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL USE FOR A ONE-STORY, SIX BUILDING, 48 UNIT MULTI-FAMILY SENIOR INDEPENDENT LIVING APARTMENT COMPLEX DEVELOPMENT USE LOCATED AT 3709 WEST COLLEGE AVENUE TO ALLOW FOR CONSTRUCTION OF THE WOODLAND'S EDGE AT FRANKLIN 48 UNIT SENIOR INDEPENDENT LIVING APARTMENT COMPLEX (HERMAN & KITTLE PROPERTIES, INC., APPLICANT)	ITEM NUMBER <i>G.6.</i>

At its May 23, 2019 meeting, the Plan Commission recommended approval with revisions of a resolution to amend Resolution No. 2017-7246 imposing conditions and restrictions for the approval of a special use for a one-story, six building, 48 unit multi-family senior independent living apartment complex development use located at 3709 West College Avenue to allow for construction of the Woodland's Edge at Franklin 48 unit senior independent living apartment complex (Herman & Kittle Properties, Inc., Applicant).

Specifically, the Plan Commission incorporated as recommendations staff's suggestion for further architectural changes, and that all resident parking be provided in garages. The attached resolution has been revised according to the Plan Commission motion above. Please note that the applicant has also requested revision of the resolution to allow two years to obtain an occupancy permit, as opposed to one year. This change is also reflected in the attached resolution.

Please also note that staff has attempted to contact the applicant to discuss the site plan changes that would be necessary to comply with the Plan Commission's recommendation about garages, but as of the preparation of this Common Council Action Sheet, no such contact has been achieved.

Lastly, a protest petition was submitted on the subject Special Use Amendment by neighbors of the subject property on April 30, 2019. Staff reviewed the protest petition pursuant to Section 15-9.0103E. of the Unified Development Ordinance. That review indicated that the petition did not contain enough valid signatures to require a $\frac{3}{4}$ vote of the Common Council to approve the subject Special Use Amendment.

COUNCIL ACTION REQUESTED

A motion to adopt Resolution No. 2019-_____, a resolution to amend Resolution No. 2017-7246 imposing conditions and restrictions for the approval of a special use for a one-story, six building, 48 unit multi-family senior independent living apartment complex development use located at 3709 West College Avenue to allow for construction of the Woodland's Edge at Franklin 48 unit senior independent living apartment complex (Herman & Kittle Properties, Inc., Applicant).

RESOLUTION NO. 2019-_____

A RESOLUTION TO AMEND RESOLUTION NO. 2017-7246 IMPOSING
CONDITIONS AND RESTRICTIONS FOR THE APPROVAL OF A SPECIAL
USE FOR A ONE-STORY, SIX BUILDING, 48 UNIT MULTI-FAMILY SENIOR
INDEPENDENT LIVING APARTMENT COMPLEX DEVELOPMENT USE LOCATED
AT 3709 WEST COLLEGE AVENUE TO ALLOW FOR CONSTRUCTION OF
WOODLAND'S EDGE AT FRANKLIN 48 UNIT SENIOR INDEPENDENT
LIVING APARTMENT COMPLEX
(HERMAN & KITTLE PROPERTIES, INC., APPLICANT)

WHEREAS, Herman & Kittle Properties, Inc. having petitioned the City of Franklin for the approval of an amendment to Resolution Nos. 2017-7246 and 2017-7330, conditionally approving a Special Use for a one-story, six building, 48 unit multi-family senior independent living apartment complex development use, upon property located at 3709 West College Avenue, such property being zoned R-8 Multiple-Family Residence District, more particularly described as follows:

Parcel 1 of Certified Survey Map No. 6537 being part of the Northeast Quarter (NE 1/4) of the Northwest Quarter (NW 1/4) of Section 1, Town 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin excepting therefrom the following: Beginning at the southeast corner of Parcel 2 as recorded in said Certified Survey Map No. 6537; thence South 88°32'26" West along the southerly line of said Parcel 2, 132.00 feet to the southwest corner of said Parcel 2; thence South 00°35'36" West along the westerly line of said Parcel 1, 136.00 feet; thence North 88°32'28" East 132.00 feet; thence North 00°35'36" East 136.00 feet to the place of beginning. Containing a net area of 4.1204 acres or 179,487 square feet of land; Tax Key No. 713-9996-003; and

WHEREAS, such proposed amendment being for the purpose of constructing a 48-unit senior independent living apartment complex consisting of 6 separate one-story cottage style buildings (one 12-unit, approximately 10,000 square feet, one 10-unit, approximately 8,400 square feet, one 8-unit, approximately 6,800 square feet, and three 6-unit buildings, approximately 6,750 square feet each, with 8 units proposed as market rate units) (30 one-bedroom and 18 two-bedroom units)), a separate clubhouse, and associated landscaping, lighting, sanitary sewer, storm sewer and building elevation plans [the facility will be designed, marketed and restricted to those 55 years and older with household incomes of 30%, 50% and 60% of Area Median Household Income], [this application is amending Resolution No. 2017-7330, which approved a Special Use Amendment allowing a two story, 48 unit multi-family senior independent living apartment complex development use (formerly named "The Lakeview at Franklin") that did not move forward following use and site plan approvals]; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 23rd day of May, 2019, and the Plan Commission thereafter having determined to recommend that the proposed amendment to Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed amendment to Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendations and also having found that the proposed amendment to Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of Herman & Kittle Properties, Inc. for the approval of an amendment to Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this amendment to Special Use is approved only for the use of the subject property by Herman & Kittle Properties, Inc., successors and assigns, for the Woodland's Edge at Franklin senior independent living apartment complex development, which shall be developed in substantial compliance with and constructed, operated and maintained by Herman & Kittle Properties, Inc., pursuant to those plans City file-stamped _____, 2019 and annexed hereto and incorporated herein as Exhibit A.
2. Herman & Kittle Properties, Inc., successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consultants to the City of Franklin, for the Woodland's Edge at Franklin senior independent living apartment complex development project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

HERMAN & KITTLE PROPERTIES, INC. – AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2019-_____

Page 3

3. The approval granted hereunder is conditional upon Herman & Kittle Properties, Inc. and the Woodland's Edge at Franklin senior independent living apartment complex development project for the property located at 3709 West College Avenue: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. The applicant shall submit a completed General Standards for Special Uses form prior to the Common Council meeting to be held on this matter.
5. The applicant shall submit completed Site Intensity and Capacity Calculations worksheets prior to the Common Council meeting to be held on this matter.
6. The applicant shall submit additional details about the proposed monument sign for Department of City Development review and approval, and obtain a Sign Permit from the Inspection Services Department prior to installation of the sign.
7. The applicant shall submit all stormwater management related plans and associated calculations directly to the Engineering Department for their review and approval prior to issuance of any Building Permit. Furthermore, the applicant shall secure any necessary drainage easements from adjacent property owners prior to issuance of any Occupancy Permit.
8. The applicant shall submit a revised Architectural Plan incorporating additional brick on all building elevations and greater variety in the architectural design and architectural elements associated with each individual building, for Department of City Development review and approval prior to issuance of any Building Permit.
9. The applicant shall submit a revised Architectural Plan clearly identifying the colors of all façade materials for each building, for Department of City Development review and approval prior to issuance of any Building Permit. The applicant shall further revise the Architectural Plan to utilize fiber cement siding rather than vinyl siding, and that the same proportion of brick be utilized on the currently proposed buildings as was set forth in the prior Special Use approval.
10. Herman & Kittle Properties, Inc. and any owner of the property, as a condition of approval of this Resolution, shall enter into an agreement with the City providing that in the event the land and/or building to be developed hereunder be exempt from general property taxation at any time, that such property shall be subject to an annual payment in lieu of taxes to the City by the owner(s) of the property in an amount that would be equal to the amount that would be levied as the annual City general property

HERMAN & KITTLE PROPERTIES, INC. – AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2019-_____

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tax upon the real and personal property were it not exempt from taxation. Such payments to the City shall be due and payable from time to time as and when general property taxes are due and payable. The agreement shall be prepared by the City Attorney and executed by the property owner, the Mayor and the City Clerk and shall be recorded in the Office of the Register of Deeds for Milwaukee County prior to the issuance of a Building Permit.

11. A Conservation Easement shall be submitted for review and approval by the Common Council and recording with the Milwaukee County Register of Deeds, prior to issuance of an Occupancy Permit.
12. The applicant shall revise the site plan to provide garages for all resident parking.
13. [other conditions, etc.]

BE IT FURTHER RESOLVED, that in the event Herman & Kittle Properties, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this amendment to Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the additional Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be an amendment to such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance, and that all of the terms and conditions of Resolution No. 2017-7246 and 2017-7330, not specifically and expressly amended by or in direct conflict with this Resolution, shall remain in full force and effect.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of two years from the date of adoption of this

HERMAN & KITTLE PROPERTIES, INC. – AMENDMENT TO SPECIAL USE
RESOLUTION NO. 2019-_____
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Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____



3709 W. College Ave.
TKN: 713 9996 003



Planning Department
(414) 425-4024

0 162.5 325 650 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2017 Aerial Photo

**CITY OF FRANKLIN****REPORT TO THE PLAN COMMISSION****Meeting of May 23, 2019****Special Use Amendment**

RECOMMENDATION: Department of City Development staff recommends approval of the Special Use Amendment, subject to the conditions set forth in the attached draft resolution.

Project Name:	Woodlands Edge at Franklin (formerly the Lakeview at Franklin) Apartments
Project Location:	3709 West College Avenue
Property Owner:	McKowen Family Partnership, LLLP
Applicant:	Herman & Kittle Properties, Inc.
Agent:	Mike Roderer, Herman & Kittle Properties, Inc.
Current Zoning:	R-8 Multiple-Family Residence District
2025 Comprehensive Plan:	Residential – Multi-Family
Use of Surrounding Properties:	Single-family residential (City of Greenfield) to the north, vacant Milwaukee County land (Grobschmidt Park & Mud Lake) to the south, multi-family residential to the east and single-family and multi-family residential to the west
Applicant's Action Requested:	Approval of the Special Use Amendment to allow construction of the Lakeview at Franklin apartment development

Introduction and Background

Please note:

- Staff recommendations are included in the draft resolution.
- Further details concerning staff recommendations are contained in the Staff Comments Memo dated March 26, 2019.

In January of 2016, a Rezoning, Comprehensive Master Plan Amendment and Special Use were approved to rezone the subject property to R-8 Residence District, amend the Future Land Use designation to Residential – Multi-Family, and a Special Use to allow construction of a two-story, 48 unit multi-family senior independent living apartment complex development. That project, however, did not move forward.

On September 29, 2017, the applicant filed a Special Use Amendment Application for a revised two-story, 48 unit multi-family senior independent living apartment complex development for the subject property, and received City approval by resolution dated November 21, 2017. That project also did not move forward.

On February 13, 2019, the applicant once again filed a Special Use Amendment application for another revised multi-family apartment development for the subject property. Currently, the

applicant is requesting approval of a one story, 48-unit multi-family senior independent living apartment complex comprised of three 6-unit buildings, one 8-unit building, one 10-unit building, one 12-unit building, and a club house. According to the applicant, the facility will be designed, marketed and restricted to those 55 years and older with household incomes of 30%, 50% and 60% of Area Median Household Income. Note that eight units are proposed as market rate.

Project Description/Analysis

Density

Similar to the previously approved Special Use Amendment, the applicant is requesting approval to exceed the R-8 Residence District density standards under Options 1 and 2, which allows a Gross Density of 6.10 for Option 1 and 8.00 for Option 2 and Net Density of 8.00 for either Special Use Option. Per the applicant's Site Calculations this would allow a maximum of 21 dwelling units per Net Density (Option 1) and 25 dwelling units per Gross Density. The applicant is proposing 48 units, which equates to a Net Density of 17.91 and Gross Density of 11.65. Per Section 15-3.0701A.7. of the UDO (below), the Common Council, pursuant to the recommendations of the Plan Commission, may modify regulations of the zoning district.

Compliance with Standards. The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

For comparison, staff roughly estimates the adjacent property's Gross Density as follows:

- Stonefield Village apartments (directly to the east): 128 units, 9.26 acres – 13.82 units/acre
- Homes on the Park (directly to the west): 38 units, 4.74 acres – 8.02 units/acre
- Park Meadow Condominiums (to the west): 196 units, 19.28 acres – 10.16 units/acre

The subject property has a base site area of approximately 4.12 acres. As currently proposed, the project would contain 2.44 acres of impervious surface (and 1.68 acres greenspace), resulting in an Open Space Ratio (OSR) of 0.41, which complies with the R-8 District Special Use Options 1 and 2 minimum of 0.35 and 0.25, respectively.

Site Plan Changes

The site plan no longer includes detached garages (nor underground parking which was included in the first proposal), all parking is now proposed as surface parking. In addition, the site plan no longer includes benches, trash receptacles, or an outdoor patio with picnic tables and a grill (although a club house is now proposed).

Consistent with the previous approval, the site plan does include a sidewalk along College Avenue, internal sidewalks, and a paved walkway along the east side of the property extending into the Milwaukee County Grobschmidt Park to the south. However, the applicant has provided a letter from the Milwaukee County Parks Department indicating that Milwaukee County has not

approved the request for the trail extension into the park. As such, and as pursuant to condition number 6 of the previous Special Use Resolution No. 2017-7330, the subject trail would no longer be required.

Architecture

The applicant is proposing to construct all six buildings with nearly identical architecture and architectural treatments consisting primarily of vinyl siding (two different colors), with a 1.5 to 3.0 foot high band of brick (color unspecified) at the base of each building, with two different sizes of dormers placed regularly along the roof lines of all buildings.

It can be noted that the prior approved plans consisted of fiber cement siding, and a much higher percentage of brick on the buildings.

In addition to the architectural related recommendations contained within the draft resolution, *staff suggests that fiber cement siding be utilized instead of the vinyl siding, and that the same proportion of brick be utilized on the currently proposed buildings as was set forth in the prior Special Use approval.*

Fire Department Comments

Fire Department administration has a general concerns over the impact of existing and planned senior housing on Emergency Medical Services (EMS) incident run volume. These developments tend to be higher than average users of EMS services, and the department has concerns over being able to handle increasing call volume with existing staffing levels. This location is also not well-served by existing fire station locations, and response times for both fire and EMS calls for service may be substandard.

The current proposal is less concerning than previous submissions. The fire department is generally more supportive of the single-story, row-house style development, as it offers improved access and greater fire-resistive properties over the multi-story, limited entry/egress structures that have been previously proposed for this location.

Additional comments from the Fire Department are located within the Staff Comments Memo dated March 26, 2019.

Aldermanic Comments

Alderwoman Wilhelm has indicated that she is not in support of the proposed project, and has concerns about the LSR/OSR, building design, height, and other changes, the density, stormwater/drainage impacts, etc. Alderwoman Wilhelm has requested a Concept Review and/or a Neighborhood Meeting prior to this project moving forward.

Protest Petition

On April 11, 2019 and April 30, 2019, the City received protest petitions filed on behalf of property owners opposed to the proposed Special Use Amendment. Pursuant to Section 15-9.0103E. of the Unified Development Ordinance:

“...in the event of written protest against any proposed special use, duly signed and acknowledged by the owners of 20% or more either of the areas of the land

included in such proposed amendment, or by the owners of 20% or more of the area of the land immediately adjacent extending 100 feet therefrom, or by the owners of 20% or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land, such special use shall not be granted except by the favorable vote of $\frac{3}{4}$ of all the members of the Common Council.”

Department of City Development staff are currently reviewing and verifying the petitions and will have this completed prior to the Common Council meeting on this matter.

Staff Recommendation

Department of City Development staff recommends approval of the Special Use Amendment, subject to the conditions set forth in the attached draft resolution.

April 30, 2019



Dear Mike Roderer,

Thank you for submitting a project proposal through Milwaukee County Parks' Land Utilization Proposal process. Your trail connection to Grobschmidt Park for the woodland's Edge at Franklin was considered along with several other projects proposed in the spring 2019 process.

Milwaukee County Parks has not approved your project proposal. The denial decision was based on the long term maintenance/replacement, existing public access within close proximity, as well as environmental and hydrologic concerns.

If you have any questions, feel free to contact Milwaukee County Parks at ParksProjects@milwaukeecountywi.gov

Thank you again for your support of Milwaukee County Parks.

Sincerely,

Milwaukee County Parks

More information on review timelines and a Community Project Request Guide is available on our website:
<https://county.milwaukee.gov/EN/Parks/Make-a-Difference/Park-Improvement-Projects>



MilwaukeeCountyParks

countyparks.com



From: [Toomsen, Sarah](#)
To: [Joel Dietl](#)
Subject: Woodland's Edge at Franklin
Date: Thursday, May 23, 2019 10:12:06 AM

Hello Joel,

It came to my attention that the City of Franklin is taking up a new submittal for the Woodland's Edge development proposed north of Milwaukee County's Grobschmidt Park. Please be advised that the Herman & Kittle Properties did submit under the Parks' Land Utilization project review process this spring for consideration of a trail connection. The request was denied in April based on maintenance concerns as well as environmental and hydrologic impacts. The developer is welcome to revise and resubmit their application, but at this time Parks has not approved trail work on parkland.

As is true in all cases of development next to parkland, we respectfully request that the City take reasonable measures during design review to ensure that storm water drainage and construction activities do not impact park property.

Thank you,
Sarah Toomsen

Sarah Toomsen, PLA, LEED AP
Manager of Planning & Development

Milwaukee County Parks
T: 414-257-7389
Sarah.Toomsen@milwaukeecountywi.gov
countyparks.com

From: Joel Dietl [mailto:JDietl@franklinwi.gov]
Sent: Wednesday, July 18, 2018 9:28 AM
To: Sarah Beck <sbeck@hermankittle.com>; 'Ashley Solt' <asolt@hermankittle.com>
Cc: Kristen Wilhelm <KWilhelm@franklinwi.gov>; Toomsen, Sarah <Sarah.Toomsen@milwaukeecountywi.gov>
Subject: RE: e-mail to Joel

Sarah,

The wording of the trail condition says "...to include a gravel or paved connection from the paved walkways along the building **to the existing trail system at Grobschmidt Park**, for review and approval by Department of City Development Staff and Milwaukee County...". This was the wording in the draft resolution that the Plan Commission had, and it's the same wording as adopted by the Common Council.

The Plan Commission even approved a motion to add to this condition, "This requirement is conditioned upon Milwaukee County approval." Which is also in the resolution adopted by the Council.

The most important factor is what the adopted condition says. And it says "from the paved walkways along the building **to the existing trail system at Grobschmidt Park.**" It does not say 'to the southern property line' or 'to the unofficial trail'. In that regard, it can be noted that the Milwaukee County Parks Department identifies only one existing trail, 0.8 mile in length, in Grobschmidt Park, which circles the existing lake.

FYI, Commissioner Fowler mentions at 17:40 on tape two that "a trail that would access this, that would not have the erosion problems that these temporary trails have, or one would be constructed not to have the erosion problems, would be something you would consider in trade with the County...". This, and other comments made during the meeting, indicate that a trail from your property to the existing gravel trail around the lake in Grobschmidt Park was being contemplated.

I am not disagreeing that you did not want the trail down to the lake, even as far back as your response to our original staff comments. And I am not disagreeing that sometimes the Plan Commission discussion was only about the part of the trail on your property. But I continue to assert that this condition requires a trail from your property to the existing trail in Grobschmidt Park around the lake, that it was mentioned that way on a number of occasions during the Plan Commission meeting, and that I have reminded you on numerous occasions that if you did not like this condition, you would need to obtain Common Council approval of a Special Use Amendment to revise or amend this condition (or Milwaukee County would need to say they do not want this trail).

However, if Alderwoman Wilhelm has a different recollection/opinion on this matter, I would be open to considering that information.

Joel Dietl, AICP
Planning Manager
Department of City Development
City of Franklin
9229 W. Loomis Road
Franklin, Wisconsin 53132
Phone: 414-425-4024
Email: jdietl@franklinwi.gov

From: Sarah Beck [<mailto:sbeck@hermankittle.com>]
Sent: Tuesday, July 10, 2018 3:08 PM
To: Joel Dietl
Cc: Nick Fuchs; Ashley Solt
Subject: RE: e-mail to Joel
Importance: High

Hi Joel,

I hope this message finds you well. I've been working with Ashley to confirm all of the requirements of the Special Use for the development at 3709 W College Ave were being met, and there seems to have been some miscommunication between Herman & Kittle, the City of Franklin, and Milwaukee County as to the trail requirement as part of the Special Use approval.

I just listened to the audio of the plan commission meeting, and the only mention of HKP building on county property was brought up in audio file 2 of 2 at minute 17:28 as a potential trade for a stormwater easement to be worked out with the county, but was not a requirement of public trail. The trail was discussed at minute 19:30 – 28:30. There, it was discussed that the trail would go in on the east side of the building and tie into the unofficial trail, but there was no discussion of Herman & Kittle building a trail onto County property. In fact, Edna the neighbor spoke about the condition of the unofficial trail at the end of the conversation, but there was no mention of us building or improving the County land. When Commissioner Fowler raised whether this trail would be cost prohibitive, I said no, as it was understood this would be built only on our site. Had the understanding been that we were to build and maintain another 200+ feet of trail off of our property, I would have said this was cost prohibitive for the project.

Further it is reflected in the final special use that "the site plan be revised to include a gravel or paved connection from the paved walkways *along the building* to the existing trail system." There is no mention of us extending the trail through Grobschmit Park to the gravel trail around Mudd Lake. We do not believe it was the intent of the Plan Commission to require us to build a path on County property as part of the Special Use approval.

In your e-mail on 6/29/18 you had stated "If you do not want to connect to the existing County trails, you must submit a Special Use Amendment application requesting that condition number 6 of Resolution No. 2017-7330 be revised or removed. Such request would be reviewed by staff and forwarded to the Plan Commission for a recommendation and to the Common Council for a final decision." We are willing to provide the trail on our site that connects to the unofficial trail at the edge of our site as we agreed to at the Plan Commission meeting, however, In speaking with the County, they do not have the budget for building and maintaining a trail from our property to Mudd Lake, and it is not a trail currently in their long-term plan. We have been told that the County would not support a trail on our property that ends at the unofficial trail beginning at the south end of our site. The Special Use reads that "this requirement is conditioned upon Milwaukee County approval." As the County does not approve, we ask that the requirement 6 be struck from the special use as the condition of Milwaukee approval for the connection has been rejected. Please let me know if we need something in writing from the County to that effect.

Would you be available tomorrow morning at 9am or in the afternoon at 1pm or 3:30pm for a call to discuss? I would like to make sure we're all on the same page with what is required. Thanks for all your help, I look forward to speaking to you soon.

Sincerely,
Sarah

Sarah Beck

Development Director
Herman & Kittle Properties, Inc.
618-558-1987

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HERMAN & KITTLE PROPERTIES, INC.

Real Estate Development • General Contracting • Property Management

Date: May 10th, 2019

To: City of Franklin, Planning Department
9229 W. Loomis Road
Franklin, WI 53132

From: Herman & Kittle Properties

RE: 3709 W. College Ave Special Use Permit Amendment Application

Content:

Incorporating City's comments on initial application

1. City Comments – Applicant Response
2. Storm Water Report

On behalf of Herman and Kittle Properties, Inc., the developer of Woodland's Edge at Franklin, we would like to thank you and your staff for your review. Please do not hesitate to contact Mike Roderer with any questions, comments, or concerns.

Mike Roderer

Senior VP-Development

MRoderer@hermankittle.com

317-663-6818

Franklin

MAY 13 2019

City Development

City of Franklin Department of City Development

Date: March 26, 2019

To: Ms. Ashley Solt and Mr. David Thompson, Herman & Kittle Properties Inc.

From: City Development Staff

RE: Woodlands Edge Apartment Development Special Use Amendment
Staff Comments

Please be advised that City Staff has reviewed the above application for the property located at approximately 3708 W. College Avenue. Department comments are as follows for the Special Use Amendment Application submitted by Ms. Ashley Solt and Mr. David Thompson and date stamped by the City of Franklin on February 13, 2019.

Applicant responses are noted below in red text.

City Development Staff Comments

Special Use Requirements: Division 15-3.0700 and Section 15-9.0103 of the Unified Development Ordinance (UDO).

1. Pursuant to Section 15-3.0701A.7. [and Sections 15-7.0102B. and 15-9.0103C.] of the UDO, please verify conformance with all of the R-8 zoning district standards as set forth in Table 15-3.0209A of the UDO. In particular:
 - a. Please indicate for each proposed building type/model the maximum building height and the minimum total living area. Updated on sheet **ASP-1 Building Area Calculations and Unit Mix table**.
 - b. Please revise the Development Summary to indicate that you are requesting approval to exceed the maximum Gross and Net Density of 8.0 Dwelling Units per acre. **The Development Summary is updated to reference this request.**
2. Pursuant to Sections 15-3.0701G. and 15-9.0103G. of the UDO, please revise the Development Summary (similar as to what was included in your cover letter) to indicate your request for a two-year approval **The Development Summary is updated to reference this request**

Site Plan Requirements: Division 15-7.0100 of the Unified Development Ordinance (UDO)

3. Pursuant to Section 15-7.0102B. of the UDO, please indicate the height of all buildings. Updated on sheet **ASP-1 Building Area Calculations and Unit Mix table and on Building Elevation sheets A-200 thru A-206**
4. Pursuant to Sections 15-7.0102C., L, and 15-7.0103S. of the UDO, please indicate in your Development Summary that you are requesting approval to exceed the Site Intensity Calculation and Capacity calculation for the Maximum Permitted D.U.s of the site of 21.44. **The Development Summary is updated to reference this request**
5. Pursuant to Section 15-7.0103B. of the UDO, please provide the owner's name and address on the Site Plan. **Provided on all sheets, in the Title Block**

6. Pursuant to Section 15-7.0103C. of the UDO, please provide the engineer's name, address, and seal on the Site Plan. **Provided on sheets C100 thru C900**
7. Pursuant to Section 15-7.0103F. of the UDO, please show the proposed topography on the Site Plan. Staff recommends that this information be provided on a second map (along with any proposed retaining walls and the conservation easement) so it and any site impacts may be more legible. **Provided on Grading Plan C300**
8. Pursuant to Section 15-7.0103G. of the UDO, please provide soils data. Staff recommends that this information be shown on the topo map if possible and legible. **Detailed Soils Information provided in the Erosion Control/Storm Water Management Maintenance /Operation Plan, prepared by Point of Beginning (civil engineer) , dated April 25, 2019.**
9. Pursuant to Section 15-7.0103H. of the UDO, please show all driveways within 200' of the site. **Provided on sheets C100 thru C600**
10. Pursuant to Section 15-7.0103I. and J. of the UDO, please provide:
 - a. The size and height of all buildings. **Provided on sheet ASP-1 Building Area Calculations and Unit Mix table and on Building Elevation sheets A-200 thru A-206**
 - b. Details of any proposed monument sign. Please note, if such information is not provided at this time, a separate application, fee, review, and approval will be required. **Provided on sheet AC-200**
11. Pursuant to Section 15-7.0103P. of the UDO, please provide a stormwater management plan with calculations which justify the underground detention/retention area. Please note that a preliminary plan was to have been submitted at the time of initial application filing. If the Plan Commission makes a determination that a preliminary plan is reasonable, it may allow the later submission of a final stormwater plan as a condition of any approvals. **Stormwater management plan provided in the Erosion Control/Storm Water Management Maintenance /Operation Plan, prepared by Point of Beginning (civil engineer) , dated April 25, 2019 as well as sheets C600 thru C900.**
12. Staff has no objection to depiction of the Conservation Easement in lieu of the Natural Resource Protection Plan. Please note that the Plan Commission or Common Council can require the NRPP pursuant to Section 15-7.0103Q. of the UDO.
13. Pursuant to Section 15-7.0103T. of the UDO and as required by condition #6 of the Special Use Resolution No. 2017-7330, please indicate when and how the trail will be constructed. Please provide correspondence from Milwaukee County providing their concurrence with the trail.
14. Pursuant to Section 15-7.0103X. of the UDO, please provide the location of the proposed trail easement on the subject property as required by condition #6 of the Special Use Resolution No. 2017-7330. **Identified on sheets ASP-1 and C200**
15. Pursuant to Section 15-7.0103BB. of the UDO, please provide a financial plan for the project's implementation. A summary of the financial plan is included in the Development Summary.
16. Pursuant to Section 15-7.0103CC. of the UDO, please include the project's fiscal impact, estimated value, etc. within the Development Summary. The project's fiscal impact, estimated value, etc. are included in the Development Summary.

Landscaping Requirements: Division 15-5.0300 and Section 15-7.0301 of the Unified Development Ordinance (UDO)

17. Pursuant to Sections 15-5.0302F. and 15-7.0102H. of the UDO, please ensure that a minimum of 10 plants of each species is provided (i.e. White Pine and Dogwood) and that the number of any one species does not exceed 35% (i.e. Lilac and Black Hills Spruce), and include that information on the Landscape Plan. **Identified on sheet L100, Landscape Plan**
18. Pursuant to Section 15-5.0302I. of the UDO, please revise the Landscape Plan to include the preparer's name. **Identified on sheet L100, Landscape Plan**
19. Pursuant to Section 15-7.0301C. of the UDO, please include the owners name, address, and phone number on the Landscape Plan. **Provided on all sheets, in the Title Block.**

Architectural Requirements: Division 15-7.0800 of the Unified Development Ordinance (UDO)

20. Pursuant to Sections 15-7.0802A. and E. of the UDO, please provide second-story elements or features to the buildings. **Provided on sheets ASP-1, and A-200 thru A-206.**
21. Pursuant to Sections 15-7.0802C., D., and E. of the UDO, please provide more variety in the materials and colors on the ends of all buildings, and most importantly, to the north end of the building closest to College Avenue. **Provided in color rendered drawings on sheets ASP-1, and A-200 thru A-206.**
22. Pursuant to Section 15-7.0803A. of the UDO, please provide:
 - a. detailed elevations of the proposed Club House. **Provided on sheet AC-200**
 - b. the owner's and architect's name and address on the plan **Provided on all sheets, in the Title Block.**
 - c. the date of the plan **Provided on all sheets, in the Title Block.**
 - d. the scale of the plan **Provided on all sheets.**
 - e. the size and height of all buildings including the Club House. **Updated on sheet ASP-1 Building Area Calculations and Unit Mix table.**
 - f. details of the façade materials. **Provided in color rendered drawings on sheets ASP-1, and A-200 thru A-206.**

Conditions of Approval from Special Use Resolution No. 2017-7330.

23. Pursuant to condition #4, please provide an agreement re: in the event the property be exempt from general property taxation at any time, that such property shall be subject to an annual payment in lieu of taxes. **A form of this agreement is included with the Development Summary, but remains subject to City Attorney review, comment, and approval.**
24. Pursuant to condition #9 (and Sections 15-5.0109 and 15-7.0201 of the UDO) please obtain Common Council review and approval, and Milwaukee County recording, of the Conservation Easement. **An approved Conservation Easement is included with the Development Summary.**
25. Pursuant to condition #13, please provide only one or two 20' tall light poles, and all other light poles to not exceed 15' in height. **Noted on sheet E-002 on Exterior Lighting Fixture Schedule remarks.**

Police Department Staff Comments

The Franklin Police Department has no issues with this project.

Fire Department Staff Comments

1. Fire Department administration has a general concerns over the impact of existing and planned senior housing on Emergency Medical Services (EMS) incident run volume. These developments tend to be higher than average users of EMS services, and the department has concerns over being able to handle increasing call volume with existing staffing levels. This location is also not well-serviced by existing fire station locations, and response times for both fire and EMS calls for service may be substandard.
2. The current proposal is less concerning than previous submissions. The fire department is generally more supportive of the single-story, row-house style development, as it offers improved access and greater fire-resistive properties over the multi-story, limited entry/egress structures that have been previously proposed for this location.
3. Any development must meet state DSPP requirements regarding fire protective features (fire sprinklers, fire alarm detection and notification, and/or fire resistive construction characteristics).

Engineering Department Staff Comments

No comments on the special use. However, the Department will need a full submittal of engineering plans for review and approval.

Alderman Wilhelm Comments

Alderman Wilhelm is not in support of the proposed project, and has concerns about the LSR/OSR, building design, height, and other changes, the density, stormwater/drainage impacts, etc. Alderman Wilhelm would like a Concept Review and/or a Neighborhood Meeting prior to this project moving forward.

Erosion Control/Storm Water Management Maintenance/Operation Plan

For:

Woodland's Edge at Franklin

PREPARED BY:



Point of Beginning

**5709 WINDY DRIVE, SUITE D
STEVENS POINT, WI 54482
(715) 344-9999 ■ (715) 344-9922**

Located in:

**City of Franklin
Milwaukee County, Wisconsin**

Dated:

April 25, 2019

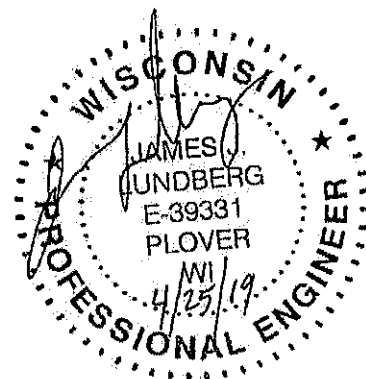


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Woodland's Edge at Franklin
Franklin, Wisconsin
April 25, 2019

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**STORM WATER MANAGEMENT PLAN AND EROSION CONTROL PLAN &
MAINTENANCE/OPERATION PLAN**
for
Woodland's Edge at Franklin
Franklin, WI

1.0 BACKGROUND & GENERAL INFORMATION

1.1 Introduction and Project Location

Point of Beginning, Inc has been retained by Herman & Kittle Properties, Inc. to perform storm water management calculations and prepare a storm water management plan per NR216.47 and NR151, for the proposed Woodland's Edge at Franklin apartment complex development. The project site is located in Parcel 1 of Certified Survey Map no. 6537, recorded July 27, 1998, on Reel 4358, Image 1930, as Document no. 7571685, being part of the Northeast ¼ of the Northwest ¼ of Section 1, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, Wisconsin.

Excepting that part of parcel 1 described as follows: Beginning at the Southeast corner of Parcel 2 of Certified Survey Map No. 6537; then South 88°32'28" West along the Southerly line of said Parcel 2, 132.00 feet to the Southwest corner of said Parcel 2; thence South 00°35'36" West along the westerly line of said Parcel 1, 136.00 feet; thence North 88°32'28" East 132.00 feet; thence North 00°35'36" East 136.00 to the place of beginning, as described in Quit Claim Deed recorded on May 21, 2003, as Document No. 8534206.

1.2 Project Description

The proposed project consists of removing an existing single family residence and replacing it with six, single story, multi-family, senior, independent living apartment buildings, with 48 total units. The development will also include (66) stall parking lot, two dumpster enclosures, asphalt walking trail and lawn areas. Storm water management best management practices will also be installed as needed to meet state and local requirements. (see Layout Plan in **Appendix A**).

1.3 Project Requirements

The project area includes 4.2 acres that will be disturbed. Since the disturbed area exceeds one acre, a Wisconsin Department of Natural Resources Notice of Intent application/permit (NOI-WPDES per WDNR) is required.

Since the proposed disturbance is more than 2 acres, and the increase in impervious surface is more than one-half acre, the proposed development is required to meet the requirements of Chapter 13 of the Milwaukee Metropolitan Sewerage District Surface and Storm Water Rules Guidance Manual.

The storm water management plan for this project is developed in accordance with the NOI-WPDES requirements and NR216.47/NR151.121 for redeveloped construction sites.

1.4 General Project Data

Soils

Soil investigations were performed by Terracon Consultants, Inc., for ground water and structural considerations. Their observations indicate the soils are primarily native lean clay and a mixture of fill material consisting of lean clay, sand and gravel. Based on existing soil mapping data, Natural Resources Conservation Service, the existing subgrade soils are expected to be Blount silt loam, which is classified as hydrologic class "C/D" and Ozaukee silt loam, which is classified as

hydrologic class "C". The geotechnical data containing soil hydrologic classes are attached in **Appendix B**.

Groundwater

Groundwater was not encountered during or at the completion of drilling.

Wetlands

According to the Wisconsin DNR Wetlands and Wetlands Indicator map, there are no identified wetlands within the project limits; however there are wetland indicator soils adjacent to or within the project limits. See attached map in Appendix B.

Precipitation

The following precipitation rates from the NOAA Atlas 14 Point Precipitation Frequency Estimates: WI, have been utilized for storm water calculations:

P _{1,24}	=	2.34"
P _{10,24}	=	3.73"
P _{25,24}	=	4.56"

The following precipitation rates from the City of Franklin Storm Water Management Ordinance have been utilized for storm water calculations:

P _{2,24}	=	2.57"
P _{100,24}	=	5.88"

2.0 EXISTING DRAINAGE CONDITIONS

2.1 Existing Drainage Area

The existing site consists of four sub-basins (E1- E4). Sub-basin E1 consists of off-site runoff from paved parking areas, buildings, and lawn areas. Runoff from E1 is conveyed through the subject parcel and drains into an existing storm pipe that exits the site to the east. Sub-basin E2 consists of runoff from paved parking areas, buildings, sidewalk/concrete areas and lawn areas. Storm water runoff from E2 drains into an existing storm pipe that exits the site to the east. Sub-basin E3 consists of lawn area. Runoff from E3 discharges directly off-site to the southeast. Sub-basin E4 consists of lawn area. Runoff from E4 discharges directly off-site to the southwest. A map outlining the existing drainage areas can be found in **Appendix C**.

2.2 Existing Drainage Calculation Summary

Existing drainage calculations utilize TR-55 methodology and results for a 1, 2, 10, 25, and 100-year design storm are included. Existing drainage calculations are provided in **Appendix C**.

2.3 Existing Off-Site Drainage

Existing off-site storm water runoff draining onto the project site has been taken into consideration for the existing and proposed drainage evaluation.

3.0 PROPOSED DRAINAGE CONDITIONS

3.1 Proposed Drainage Areas

The proposed site is divided into four sub-basins (D1-D4). Sub-basin D1 consists of off-site runoff from paved parking areas, buildings, and lawn areas. Runoff from D1 is conveyed through a storm pipe through the site and is discharged off-site to the east into an existing 15" storm pipe.

Sub-basin D2 consists of buildings, paved parking areas, sidewalk and lawn areas, which are conveyed to the proposed Storm Tech Subsurface Storm Water Management System on the northeast corner of the site. Sub-basin D3 consists of the lawn area that flows directly off-site to the east. Sub-basin D4 consists of lawn area that flows directly off-site to the south. A proposed drainage area map is provided in **Appendix D**.

3.2 Post-Development Runoff Summary

Proposed drainage calculations utilize TR-55 methodology and results for a 1, 2, 10, 25, and 100-year design storm have been attached. A proposed drainage area map and calculations are provided in **Appendix D**.

3.3 Proposed Detention Areas

The proposed site design includes a Storm Tech Subsurface Storm Water Management System incorporated into the storm water management design (1P). The proposed system primarily accomplishes TSS removal and rate control. Storm water is discharged from the system through a control structure and the primary outlet is a 6" orifice. Runoff leaving from the 6" orifice is conveyed through storm pipe to the east where it connects into an existing 15" storm pipe which flows to the east and is discharged from the site.

4.0 POST-DEVELOPMENT PERFORMANCE STANDARDS

4.1 Total Suspended Solids

According to NR151.122, BMPs shall be designed in accordance with Table 1, or to the maximum extent practicable. For new development projects Table 1 indicates that the total suspended solids load from parking areas and roads shall be reduced by 80 percent, based on an average annual rainfall, as compared to no runoff management controls.

The total suspended solids removal has been modeled in WinSLAMM version 10.2.0. According to the WinSLAMM modeling the expected TSS removal from the entire site is 84.80%; therefore, the proposed design meets the requirements of NR151.122. See **Appendix D** for the WinSLAMM modeling inputs and outputs.

4.2 Infiltration

According to NR151.124(4)(c)(1), areas where the infiltration rate of the soil is less than 0.6 inches/hour measured at the bottom of the infiltration basin using a scientifically credible field test method are exempt from the infiltration requirements.

The soils investigation indicates the existing onsite soils are estimated to have infiltration rates less than 0.6 inches/hour throughout the site, and is therefore exempt from the infiltration requirement.

4.3 Peak Discharge

According to NR151.123(1), BMPs shall be employed to maintain or reduce the peak runoff discharge rates, to the maximum extent practicable, as compared to pre-development conditions. The proposed development includes more than ½ acres of new impervious surface. Consequently, Chapter 13 Milwaukee Metropolitan Sewerage District (MMSD) Surface and Storm Water Rules Guidance Manual, Section 13.11 shall be met. In accordance with the aforementioned section, the proposed development must utilize runoff management techniques that will limit the maximum runoff release rate. For the 50%/2-year, 24-hour design storm, a maximum release rate of 0.15 cubic feet per second per acre is to be used and for the 1%/100-year, 24-hour design storm, a

maximum of 0.5 cubic feet per second per acre is to be used. See maximum release rate calculations below.

4.08 acres disturbed x 0.15 cfs = **0.61 cfs** maximum release rate for the 2-year, 24-hour design storm

4.08 acres disturbed x 0.50 cfs = **2.04 cfs** maximum release rate for the 100-year, 24-hour design storm

The volumes of runoff comparisons for the 2-yr and 100-yr 24-hour rainfall events are included in the chart below.

Pre-Development		
Area	2-Yr 24 Hr	100-Yr 24 Hr
E1 (Off-site)	4.07 cfs	15.84 cfs

Post-Development		
Area	2-Yr 24 Hr	100-Yr 24 Hr
D1 (Off-site)	4.07 cfs	15.84 cfs
2L (Disturbed Area)	0.56	1.52

Runoff from D4 is not included in the post-development runoff totals because this area is being left undisturbed. In the existing condition and post development, runoff amounts will not differ for this area.

4.4 Protective Area

According to NR151.125(4)(e) "areas of post-construction sites from which the runoff does not enter the surface water, including wetlands, without first being treated by a BMP" are exempt from the protective areas performance standard of NR151. The proposed storm water basin will provide treatment of storm water runoff from the paved parking areas before it discharges the site.

4.5 Summary

The modeling of this site shows that the requirements set by the Department of Natural Resources for total suspended solids, peak discharge, and infiltration can all be met with the proposed design.

The Storm Water Management Plan shows basic compliance with accepted engineering practice in hydrology planning and design. The resulting development will function as a positive addition to the community while sustaining environmental benefits in storm water management and quality.

5.0 CONSTRUCTION SITE PERFORMANCE STANDARDS

5.1 Erosion Control

The purpose of this control plan is to provide guidelines that comply with the state and local requirements, as well as to make recommendations regarding erosion control and storm water management. The construction of this development is a critical phase in terms of storm water management and runoff control. Construction site erosion control will help minimize the impact of development, enhance and protect local environment, and protect the surrounding project area by applying best management practices for erosion control at construction sites. This work shall be planned and executed in accordance with the Wisconsin Department of Natural Resources Storm

Water Management Technical Standards and/or accepted local engineering practice. The owner/developer will be responsible for erosion control during the process of construction. Vegetation, silt fence, erosion mat, and inlet protection will be utilized to keep sediment from leaving the construction site. See **Appendix E**.

5.2 Construction Site Erosion Control Measures

The following erosion control devices may be used on the project site at any time during the construction phases to ensure the compliance with NR 216 and local erosion control requirements, as applicable.

a) Silt Fence (WDNR 1056)

Continuous silt fencing will be required along all areas downstream of disturbed area. The silt fencing will provide a siltation barrier between the disturbed area and any inlets and ultimately downstream water bodies. All silt fence shall be removed upon completion of the project or when disturbed areas have generated sufficient vegetation to prevent erosion and the threat of sediment reaching inlets and bodies of water.

b) Site Vegetation

Providing vegetation that resists erosion, maintains slow storm water velocities, and retains sediment from runoff is critical. Temporary seeding may be required for disturbed areas that are subject to long periods of construction inactivity. Temporary vegetation is used when areas are disturbed and may remain unfinished long enough to allow vegetation to grow and assist with erosion control. Permanent vegetation is encouraged as soon as possible in the construction process.

c) Non-channel Erosion Mat (WDNR 1052)

The purpose of this practice is to protect the soil surface from the erosive effect of rainfall and prevent sheet erosion during the establishment of grass or other vegetation, and to reduce soil moisture loss due to evaporation. This practice applies to both Erosion Control Re-vegetative Mats (ECRM) and Turf-Reinforcement Mats (TRM).

1. CLASS I: A short-term duration (minimum of 6 months), light duty, organic mat with photodegradable plastic or biodegradable netting.
 - a. Type A – Use on erodible slopes 2.5:1 or flatter.
 - b. Type B -- Double netted product for use on erodible slopes 2:1 or flatter.

d) Channel Erosion Mat (WDNR 1053)

The purpose of this practice is to protect the channel from erosion or act as turf reinforcement during and after the establishment of grass or vegetation in a channel. This practice applies to both Erosion Control Re-vegetative Mats (ECRM) and Turf-Reinforcement Mats (TRM).

1. CLASS II: A long-term duration (three years or greater), organic ECRM.
 - a. Type A – Jute fiber only for use in channels to reinforce sod.
 - b. Type B – For use in channels where the calculated (design) shear stress is 2.0lbs/ft² or less. Made with plastic or biodegradable mat.

e) Inlet Protection (WDNR 1060)

Inlet protection is a temporary barrier applied around storm drains. It is designed to prevent sediment from entering the storm sewer system. All fabrics used for inlet protection devices must be selected from the list of approved fabrics certified for inlet protection, Geotextile Fabric, Type FF in the current addition of the Wisconsin Department of Transportation Product Acceptability List (PAL).

f) Stone Tracking Pad (WDNR 1057)

Stone tracking pads will be constructed at all entrances to the construction site to minimize sediment tracking onto existing streets. A minimum of one construction entrance is required for the project site. Tracking pads are temporary and will be removed or much of the aggregate will be removed before the site is completed.

g) Waste and Material Disposal

All waste and unused building materials (including garbage, debris, cleaning wastes, or other construction materials) shall be properly disposed of and not allowed to be carried by runoff into a receiving channel or inlet.

5.3 Operation and Maintenance, Short-term

The owner of this project in the City of Franklin, Milwaukee County, Wisconsin, is directly responsible for implementation and maintenance of the construction site erosion control measures.

The Contractor shall conduct the following inspections:

- Weekly inspections of implemented erosion and sediment controls.
- Inspections of erosion and sediment controls within 24 hours after precipitation event 0.5 inches or greater which results in runoff during active construction periods.

The Contractor shall maintain weekly written reports of all inspections that include:

- The date, time, and exact place of the inspection.
- The name of the individual who performed the inspection.
- An assessment of the condition of erosion and sediment controls.
- A description of any erosion and sediment control implementation and maintenance performed.
- A description of the present phase of construction at the site.

Repairs shall be made immediately, as required, to maintain effectiveness, until permanent vegetation is established.

A copy of the State of Wisconsin Construction Site Inspection Report is provided in **Appendix F**.

5.4 Operation and Maintenance, Long-term

The OWNER of this project in the City of Franklin, Milwaukee County, Wisconsin, is directly responsible for the operation, inspection, and maintenance of all stormwater facilities located within the Woodland's Edge at Franklin site, as described below.

- Wet Detention Pond:
Inspection: Measure and document the depth of water in basin. Look for damage to inlet pipe. Verify pond is infiltrating properly and that the surface soils are not clogged. Inspect banks of ponds for erosion or damage.
Maintenance: Accumulated sediment shall be dredged once there is less than 3' of permanent pool remaining. Remove any accumulated sediment and/or debris within inlet

pipe. Repair damaged pipes, if the damage is un-repairable then the pipe shall be replaced. Repair pond banks if erosion or damage is identified.

- **Vegetated Swales:**
Inspection: Look for accumulation of sediment and/or debris within swale. Look for erosion or damage. Review plant health.
Maintenance: Remove accumulated sediment deposits and/or debris and repair any eroded or damaged grass areas.
- **Catch Basins, Storm Sewer, and Outfalls:**
Inspection: Accumulation of sediment and/or debris within catch basin, storm sewer pipe, and/or outfall. Look for damage to pipe, catch basin structure, and outfall.
Maintenance: Remove accumulated sediment and/or debris within the pipe, sump below catch basin, and/or within or near outfall. Repair damaged to pipe, catch basin, and/or outfall. If the damage is un-repairable then the pipe, catch basin, and/or outfall shall be replaced.

The aforementioned inspection and maintenance schedule shall be performed after any rainfall event exceeding one inch of rainfall, and at a minimum semi-annually in early spring and fall.

All inspections and maintenance shall be documented and the OWNER shall keep all inspection and maintenance reporting/records onsite and available upon request of governing agencies and/or the Wisconsin Department of Natural Resources.

6.0 SUMMARY

6.1 General

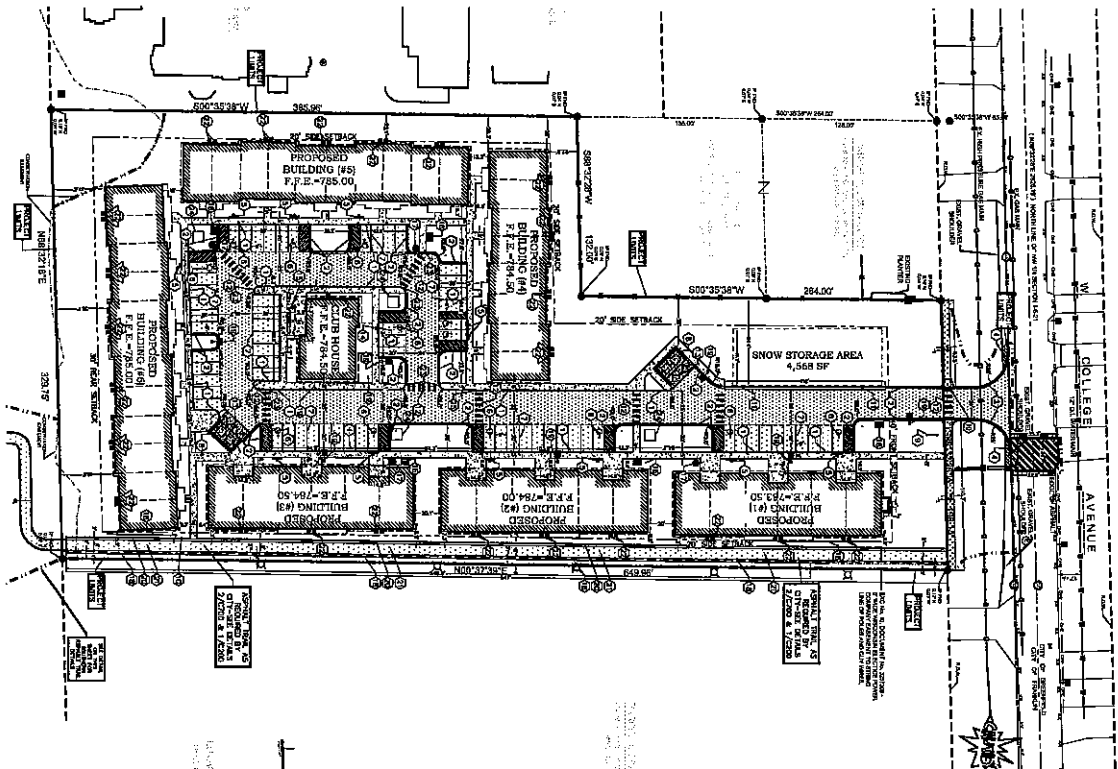
The proposed development as outlined above meets all Wisconsin Department of Natural Resources storm water regulations pertaining to redevelopment.

For the temporary construction site scenario, sediment transport from this site to adjacent properties will be reduced by the erosion control devices and conservation practice standards.

This plan meets state storm water requirements and provides an environmentally sound and practical solution for the future storm water runoff generated from the development of this site.

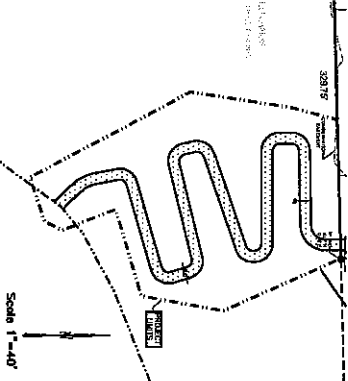
APPENDIX A

Proposed Site Plan



SOUTHERN ASPHALT TRAIL

Scale 1"=40'



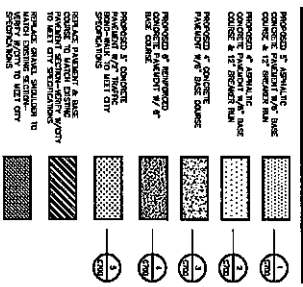
ASPHALT PATH
CROSS SECTION (TYP.)
N.T.S.



- GENERAL NOTES:**
1. CONTACT THE CITY OF FRANKLIN FOR THE LATEST CITY ORDINANCES, SPECIFICATIONS, AND STANDARDS.
 2. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF FRANKLIN SPECIFICATIONS AND STANDARDS.
 3. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND SURROUNDING AREAS. THE DESIGNER HAS NOT CONDUCTED ANY OTHER INVESTIGATIONS OR TESTS.
 4. THE DESIGNER HAS ASSUMED THAT ALL UTILITIES SHOWN ON THE SITE ARE ACCURATE AND DEEP.
 5. THE DESIGNER HAS ASSUMED THAT ALL EXISTING CONDITIONS SHOWN ON THE SITE ARE ACCURATE.
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 15. THE DESIGNER HAS ASSUMED THAT ALL EXISTING CONDITIONS SHOWN ON THE SITE ARE ACCURATE.

- KEYNOTES:**
1. THICKENED DOCK WALL - SEE PLAN
 2. 4" CONCRETE CURB & GUTTER - SEE PLAN
 3. DOB OF THICKENED DOCK WALL - SEE PLAN
 4. 4" CLUM TYP. SECTION - SEE PLAN
 5. REINFORCED FLOORING WALL - SEE PLAN
 6. FLOORING LOT STRIPING - SEE PLAN
 7. ACCESSIBLE PARKING SPOT - SEE PLAN
 8. 4" CONCRETE CURB & GUTTER - SEE PLAN
 9. 4" CONCRETE CURB & GUTTER - SEE PLAN
 10. 4" CONCRETE CURB & GUTTER - SEE PLAN
 11. 4" CONCRETE CURB & GUTTER - SEE PLAN
 12. 4" CONCRETE CURB & GUTTER - SEE PLAN
 13. 4" CONCRETE CURB & GUTTER - SEE PLAN
 14. 4" CONCRETE CURB & GUTTER - SEE PLAN
 15. 4" CONCRETE CURB & GUTTER - SEE PLAN

PAVEMENT HATCH PATTERNS:



PARKING CALCULATION:

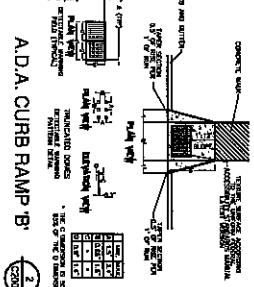
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OWNER INFORMATION:

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**WOODLANDS EDGE
AT FRANKLIN**

3700 W. COLLEGE AVENUE
FRANKLIN, WI 53121



A.D.A. CURB RAMP 'B'



Scale 1"=40'

C200

SHEET TITLE
SITE LAYOUT
PLAN

PROJECT NO.
P245

DO NOT SCALE DIMENSIONS
REFERENCED DIMENSIONS ONLY

ARCHITECT OF RECORD
HERMAN & KITTLE
PROPERTIES, INC.
500 N. MILWAUKEE AVENUE
MILWAUKEE, WI 53211
(414) 381-1111
www.hkinc.com

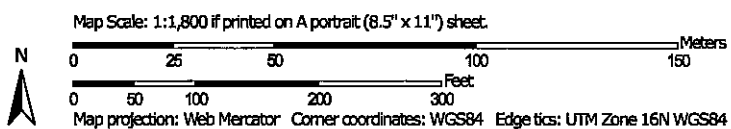
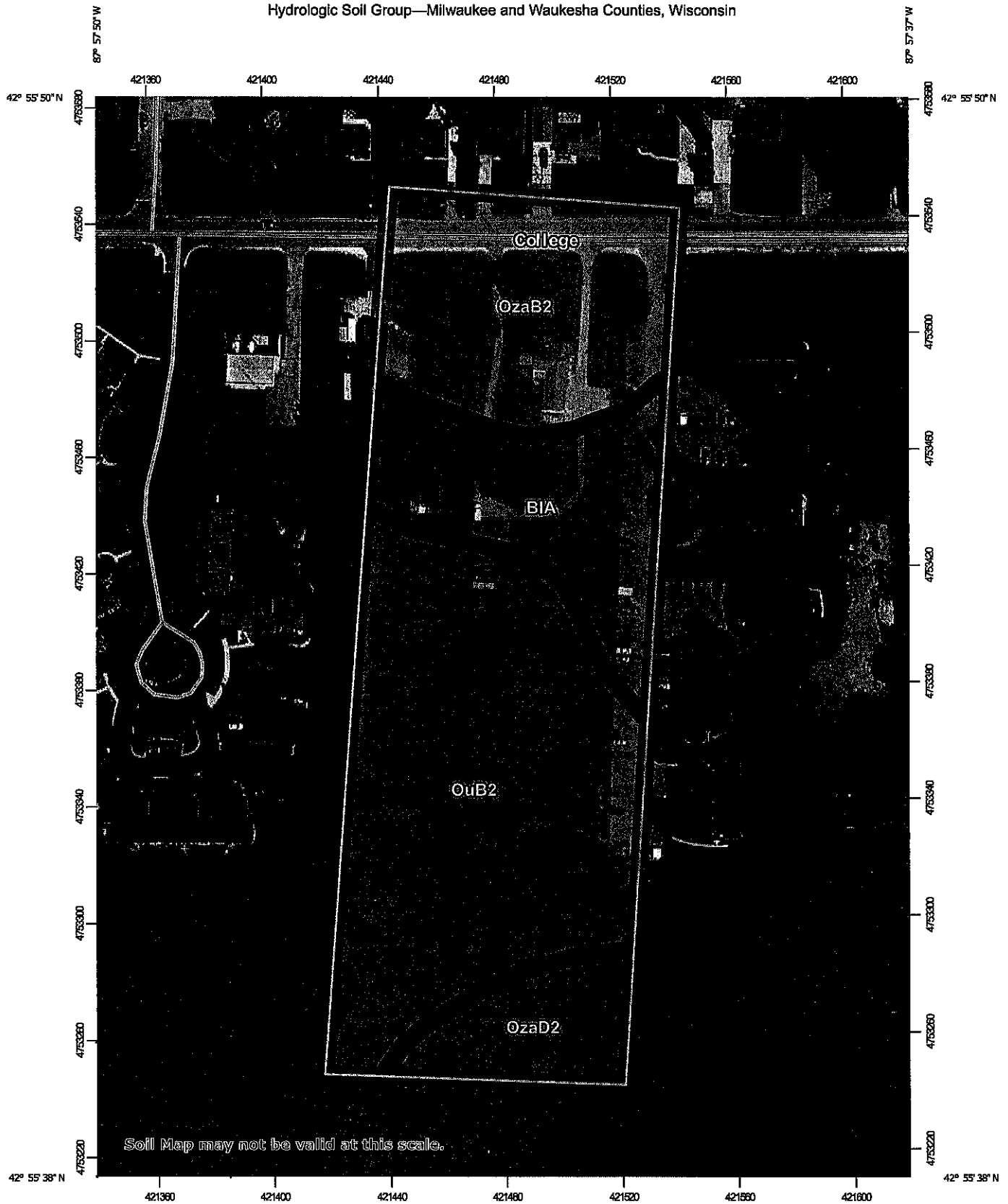
CIVIL ENGINEERING
P. J. B. Engineering
P.O. Box 1000
Franklin, WI 53121
(414) 381-1111
www.pjb.com

OWNER INFORMATION
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APPENDIX B

Geotechnical Data

Hydrologic Soil Group—Milwaukee and Waukesha Counties, Wisconsin























**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

4/3/2018
Page 1 of 4

MAP LEGEND

Area of Interest (AOI)			C
Area of Interest (AOI)			C/D
Soils			D
Soil Rating Polygons			Not rated or not available
Water Features			Streams and Canals
Transportation			Rails
Background			Interstate Highways
Soil Rating Lines			US Routes
Soil Rating Lines			Major Roads
Soil Rating Lines			Local Roads
Soil Rating Lines			Aerial Photography
Soil Rating Lines			Not rated or not available
Soil Rating Points			A
Soil Rating Points			A/D
Soil Rating Points			B
Soil Rating Points			B/D
Soil Rating Points			C
Soil Rating Points			C/D
Soil Rating Points			D
Soil Rating Points			Not rated or not available

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Milwaukee and Waukesha Counties, Wisconsin

Survey Area Date: Version 13, Oct 6, 2017

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 7, 2014—Sep 22, 2014

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres In AOI	Percent of AOI
B/A	Blount silt loam, 1 to 3 percent slopes	C/D	1.4	18.8%
OuB2	Ozaukee silt loam, high carbonate substratum, 2 to 6 percent slopes, eroded	C	3.7	48.3%
OzaB2	Ozaukee silt loam, 2 to 6 percent slopes, eroded	C	1.9	24.2%
OzaD2	Ozaukee silt loam, 12 to 20 percent slopes, eroded	C	0.7	8.7%
Totals for Area of Interest			7.7	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher



HERMAN & KITTLE PROPERTIES, INC.

Real Estate Development • General Contracting • Property Management

Date: April 26, 2019

To: City of Franklin, Planning Department
9229 W. Loomis Road
Franklin, WI 53132

From: Herman & Kittle Properties

RE: 3709 W. College Ave Special Use Permit Amendment Application

Content:

Incorporating City's comments on initial application

1. Development Package
2. Storm Water Report
3. (7) 24"x36" Special Use Permit Set – Revision

On behalf of Herman and Kittle Properties, Inc., the developer of Woodland's Edge at Franklin, we would like to thank you and your staff for your review. Please do not hesitate to contact Mike Roderer with any questions, comments, or concerns.

Mike Roderer

Senior VP-Development

MRoderer@hermankittle.com

317-663-6818

Woodland's Edge at Franklin
3709 W College Ave, Franklin, WI

Development Summary

Woodland's Edge at Franklin, located at 3709 W College Ave, Franklin, Wisconsin, will be a 48 unit independent living facility designed, marketed, and restricted to those aged 55-years and older. The development is proposed as 6 single-story, cottage style residential buildings and a separate clubhouse. The unit mix includes 30 one-, and 18 two-bedroom units. The building will be wood frame construction, and the exterior will be brick and fiber cement siding with two colors of brick accents providing different textures, colors, and materials to add visual interest. The variation in wall planes, exterior porches, offsets and gabled pitched roofs enhance the articulation of the building façades to reduce the visual scale of the buildings. Herman & Kittle Properties, Inc. (HKP) estimates that the total development cost will be approximately \$8,500,000 and site work will be approximately \$750,000.

HKP is requesting approval to exceed the maximum Gross and Net Density of 8.0 dwelling units per acre. Currently, the site plan shows 11.65 dwelling units per acre. HKP also requests approval to exceed the Site Intensity Calculation and Capacity calculation for the maximum permitted dwelling units of the site of 21.44.

Woodland's Edge at Franklin will offer superior on-site amenities including an exercise room, community room with kitchenette, library with computers and media space, wellness room, and a management and leasing office. The apartments will have modern kitchens with Energy Star dishwashers, refrigerators, and stove/ranges. They will come with large living spaces and bedrooms with walk in closets, in-unit washers and dryers, and in-building storage lockers provided free of charge. The project will be constructed to the standards of the Wisconsin Green Built Home program, providing superior energy efficiency features for residents. Adequate surface parking will be available for residents. A trail connecting Woodland's Edge at Franklin with the adjacent Grobschmidt Park to the south will also be completed during the construction period. This trail will be made of asphalt and will connect to Mud Lake within the park. This trail is currently going through the review and approval process at Milwaukee County.

The development will target households with incomes of 30%, 50%, and 60% of Area Median Household Income, adjusted for household size. There will also be eight market rate apartment homes. 30% AMI units are intended for residents who will receive supportive services with a priority for veterans. Residents in other units will also have access to services if they express an interest. Supportive services will be provided by Lutheran Social Services of Wisconsin and Upper Michigan, Inc. (LSS).

There will be a property manager on-site during normal business hours, who will oversee the day-to-day operations and handle the enforcement of property rules and policies including the enforcement of parking standards. Property management will handle the daily up-keep and repairs needed at the property. Landscaping, snow removal, and trash removal will be contracted out to third-party contractors.

HKP, in partnership with LSS, will be the developer, general contractor, property manager, and long-term owner of Woodland's Edge at Franklin. It is integral to our success to serve as a good neighbor to the community and as a partner to the City of Franklin. HKP estimates the development will have an annual

property tax liability of \$50,000 in addition to entitlement remuneration to the City totaling approximately \$260,000 for building permits and other approvals and will provide quality, affordable housing to the City's residents.

Financial Plan for Development Implementation

Woodland's Edge at Franklin will be financed through the Rental Housing Tax Credit (Tax Credit) program, administered by the Wisconsin Housing and Economic Development Authority (WHEDA). The Tax Credits were awarded through an annual competitive process. In addition, HKP estimates financing will include a construction loan, permanent loan, deferred developer profit, and a grant from the Federal Home Loan Bank of Cincinnati Affordable Housing Program. The total development cost for Woodland's Edge at Franklin is approximately \$8.5mm.

Special Conditions

HKP requests the Special Use approval be valid for two years from the date of approval.

Conditions of Approval from Special Use Resolution No. 2017-7330:

- Condition #4 – a draft of the PILOT agreement is included with this Development Summary and is still subject to final review and approval by the City Attorney
- Condition #9 -- a final version of the Conservation Easement is included with this Development Summary

Draft 7/29/18

**PAYMENT IN LIEU OF TAXES AGREEMENT BETWEEN WOODLAND'S EDGE
AT FRANKLIN, LP (FORMERLY, "THE LAKEVIEW AT FRANKLIN, LP") AND
THE CITY OF FRANKLIN FOR THE PROPERTY LOCATED AT 3709 WEST
COLLEGE AVENUE, FRANKLIN, WISCONSIN 53132
(TAX KEY NO. 713-9996-003)**

This Agreement for payments in lieu of taxes ("PILOT Payments") is made and entered into by and between the City of Franklin, a municipal corporation organized and existing under and by virtue of the laws of the State of Wisconsin, with principal offices at 9229 West Loomis Road, Franklin, Wisconsin 53132 ("CITY") and Woodland's Edge at Franklin, LP (formerly, "The Lakeview at Franklin, LP"), a domestic limited partnership, with principal offices located at 647 West Virginia Street, Suite 200, Milwaukee, Wisconsin 53204 ("OWNER").

RECITALS

WHEREAS, OWNER is the owner of the real property legally described on Exhibit A attached hereto (the "PROPERTY"); and

WHEREAS, Herman & Kittle Properties, Inc. was the applicant for an amendment to City of Franklin Resolution No. 2017-7246, conditionally approving a Special Use for a two-story, 48 unit multi-family senior independent living apartment complex development use, and the CITY Common Council adopted Resolution No. 2017-7330, A Resolution to Amend Resolution No. 2017-7246 Imposing Conditions and Restrictions for the Approval of a Special Use for a Two-Story, 48 Unit Multi-Family Senior Independent Living Apartment Complex Development Use Located at 3709 West College Avenue to Allow for Construction of The Lakeview At Franklin Two-Story, 48 Unit Senior Independent Living Apartment Complex (Herman & Kittle Properties, Inc., Applicant), on November 21, 2017, Condition 4.

thereof providing: "Herman & Kittle Properties, Inc. and any owner of the property, as a condition of approval of this Resolution, shall enter into an agreement with the City providing that in the event the land and/or building to be developed hereunder be exempt from general property taxation at any time, that such property shall be subject to an annual payment to the City by the owner(s) of the property in an amount that would be equal to the amount that would be levied as the annual City general property tax upon the real and personal property were it not exempt from taxation. Such payments to the City shall be due and payable from time to time as and when general property taxes are due and payable. The agreement shall be prepared by the City Attorney and executed by the property owner, the Mayor and the City Clerk and shall be recorded in the Office of the Register of Deeds for Milwaukee County prior to the issuance of a Building Permit"; and

WHEREAS, this Agreement is that agreement required by Condition 4. of Resolution No. 2017-7330; the two-story, 48 unit Wisconsin Housing and Economic Development Authority and U.S. Department of Housing and Urban Development subsidized multi-family, senior independent living apartment building, which development was authorized pursuant to Resolution No. 2017-7330 (the "PROJECT"), together with the abutting real property, are legally the PROPERTY described in Exhibit A attached hereto; and

WHEREAS, OWNER recognizes that, notwithstanding the fact that the PROPERTY or portions thereof may in the future qualify for tax exempt status, valuable government services and benefits will be provided to it and the PROPERTY, which services and benefits directly or indirectly relate to the public health, safety, and welfare, and which include, but

are not limited to: fire and police protection; paved streets and streetlights; snow removal; benefits associated with living in an organized community; and

WHEREAS, OWNER agrees for itself and its successors and assigns, in the event that the PROPERTY or a portion thereof is or becomes exempt from payment of property taxes, to make PILOT Payments to CITY in recognition of the services and benefits referred to herein; and

WHEREAS, it is the intent of this Agreement to have OWNER and all future owners of the PROPERTY, any parcel or building which is within the PROPERTY or any portion thereof, make payments in lieu of taxes, in the event that the PROPERTY or any portion thereof is or becomes exempt from payment of property taxes, in order to assure the financial viability of the CITY in the provision of its aforesaid services and benefits; and

WHEREAS, under Wisconsin Statutes, including, but not limited to §§ 70.11(4a), (4b) or (4d), the PROPERTY may be or become exempt from the imposition of general property taxes, but will enjoy the same level of municipal services as provided for non-exempt multi-family residential properties in the CITY; and

WHEREAS, OWNER and the CITY have each determined that it is in their best interests to enter into this Agreement in connection with the application for and approval of Resolution No. 2017-7330 to allow for the development of the aforesaid senior independent living apartment building PROJECT; and

WHEREAS, as long as OWNER operates a tax-exempt senior independent living apartment building and related activities at the PROPERTY, OWNER is willing to make PILOT Payments for the PROJECT and the PROPERTY in recognition of the municipal

services the PROJECT and the PROPERTY will receive and benefit from on the terms set forth below.

NOW, THEREFORE, in consideration of mutual benefits, the receipt and sufficiency of which are hereby acknowledged, the parties hereto hereby agree as follows:

1. INCORPORATION OF RECITALS.

The parties hereby acknowledge that the above whereas clauses are part of this Agreement.

2. CITY SERVICES.

A. Services Typically Covered by Property Tax.

The CITY agrees to continue to furnish governmental services and benefits to the PROJECT and the PROPERTY of the same type, and to the extent, as are furnished from time to time, without cost or charge (except by means of property tax and authorized fees and charges), to other similarly situated commercial multi-family housing buildings and projects in the CITY. Nothing in this Agreement shall be construed to give OWNER or its successors and assigns a contractual right to specific governmental services, or to impose upon the CITY any additional duties, it being the parties' intent that the CITY provide public services to the PROJECT and the PROPERTY subject to the same terms and conditions as apply to properties owned by citizens or the public generally. Such services and benefits include, but are not limited by specific enumeration herein, those typically covered by the property tax such as fire and police protection, and on public streets, snow removal, and street lighting. The CITY shall not have breached its obligations hereunder if it is prevented from providing benefits and/or services to the PROJECT or the PROPERTY because of typical *force majeure* reasons (e.g. war, flood, fire, labor dispute, supply shortage, act of God, natural

disaster, etc.), because of budgetary constraints, or because any person or entity shall assert a right which prevents delivery of such benefits and/or services.

B. Special Assessments, Special Charges and Fees.

Notwithstanding paragraph 2.A., or any future property tax exempt status of the PROPERTY, OWNER understands that the PROJECT and the PROPERTY will be subject to applicable special assessments, special charges, and special taxes as defined in Wis. Stat. § 74.01 (and as also referred to in Wis. Stat. Ch. 66) and fees charged by the CITY in the same manner that such special assessments, special charges, special taxes, and fees are charged for similar services and/or undertakings to commercial multi-family housing buildings and PROPERTY within the CITY. This provision shall not affect the CITY's powers, consistent with the law, to determine the services and benefits (other than those typically covered by the property tax) that shall be provided to the PROJECT and the PROPERTY and/or similarly situated property pursuant to this paragraph 2.B. Nothing contained herein shall preclude OWNER or its successors and assigns from appealing, as provided by law, the imposition of such special assessments, special charges, special taxes, or fees by the CITY.

3. PILOT PAYMENTS.

A. Calculations.

The parties have determined that the Property will be receiving benefits from the City equal to the amount that would be levied as the annual City general property tax upon the real and personal property were it not exempt from taxation. In recognition of those services and benefits covered by paragraph 2.A. of this Agreement, beginning in the year the PROPERTY or any portion thereof becomes exempt from property tax, and so long as the

PROPERTY or any portion thereof continues to be exempt, in whole or in part, under Wis. Stat. § 70.11, or other statutory provision, OWNER or its successors and assigns shall pay the CITY an annual PILOT Payment for the PROPERTY or the portion thereof which is exempt for each calendar year; *provided, however*, that the foregoing shall not apply with respect to any portion of the PROPERTY that becomes exempt by virtue of a conveyance to the CITY. The method to be used in determining the PILOT, shall be the Value¹ for that tax year determined by CITY's Assessor times the Total Property Tax Rate² for the tax year.

B. Payment Due Date.

PILOT Payments for the year in which the PROPERTY or a portion thereof becomes exempt and subsequent years shall be due and payable: (i) in full on or before January 31 of the year following the calendar year for which the PILOT Payment was calculated; or (ii) if OWNER or its successor(s) or assign(s) elects to pay in installments, according to the following schedule: one-tenth of the PILOT Payment by the last day of each month for the first 10 months in the year following the calendar year for which the particular PILOT Payment was calculated. OWNER or its successor(s) or assign(s) shall be deemed to have elected to pay the PILOT Payment in installments by making the first full installment payment on or before January 31 in the respective year in which the PILOT Payment is due.

C. Use.

The CITY may use and expend PILOT Payments hereunder in such manner

¹ "Value" herein means CITY Assessor's determination of the fair market value of the tax-exempt portion(s) of the PROPERTY on January 1 of each tax year.

² "Total Property Tax Rate" means the net rate for all taxes calculated to include all taxing bodies reflected on City of Franklin tax bills from time to time.

and for such purposes the CITY desires.

D. Mandatory Payment for Services to Offset PILOT Payment.

Notwithstanding anything herein to the contrary, if the State of Wisconsin enacts a mandatory payment for municipal services to be paid by owners of property exempt from general property tax or similarly situated owners of exempt property, PILOT Payments shall be reduced dollar for dollar by any such mandatory payment paid by OWNER or its successors or assigns to the CITY.

4. EXEMPT STATUS.

Nothing in this Agreement shall be construed as granting tax-exempt status on the OWNER or the PROPERTY. If OWNER qualifies for tax-exempt status under Wisconsin law, it is the OWNER's obligation to apply for tax-exempt status. At such time that OWNER is granted tax exempt status pursuant to Wis. Stat. § 70.11, or other statutory provision, OWNER shall then make PILOT Payments pursuant to this Agreement. No PILOT Payment under this Agreement is due from OWNER until such time that the PROPERTY is deemed to be exempt from payment of property taxes pursuant to Wis. Stat. § 70.11, or other statutory provision.

The CITY Assessor's Office may review the PROPERTY's exempt status under Wis. Stat. § 70.11, or other applicable statutory provision from time to time with the respective January 1 dates being the reference dates for those exemption reviews. If the CITY, as a result of those reviews or otherwise, determines that all or any portion of the PROPERTY no longer qualifies (or does not qualify) for exemption from property tax: (i) the CITY will provide notice of such determination to OWNER or its successor(s) or assign(s); (ii) this Agreement shall be suspended with respect to any years and, if applicable,

with respect to any portions of the PROPERTY for which exemption no longer applies; (iii) if PILOT Payments have been erroneously made for such tax years, CITY shall promptly refund such PILOT Payments, or, at the option of the CITY, offset such PILOT Payments against any property taxes due, or to become due, from OWNER or its successor(s) or assign(s), in which case the CITY will treat such offset as having been made under protest; and (iv) the PROPERTY, or any portion thereof which does not qualify for exemption, shall be placed on the property tax rolls for all years for which whole or partial exemption has been determined not to apply. If OWNER or its successor(s) or assign(s) disagree with the CITY's determination that the PROPERTY or any part thereof no longer qualifies for tax exemption, OWNER or its successor(s) or assign(s) may challenge such determination by following the procedure set forth in Wis. Stat. § 74.35 or as otherwise provided by law.

Notwithstanding anything to the contrary contained herein, OWNER acknowledges that it is or may be bound by the reporting requirement, in the Wis. Stat. § 70.11 preamble, and that under Wis. Stat. § 70.109: exemptions are strictly construed; it is presumed that property is taxable; and the burden is on the person claiming exemption.

OWNER, on its behalf and that of its successors and assigns, also acknowledges that if it leases, or otherwise allows another person to use and/or occupy, all or a portion of the PROPERTY, such use may affect the PROPERTY's exempt status. See, e.g. the preamble of Wis. Stat. § 70.11, Wis. Stat. § 70.1105, and *Deutsches Land, Inc. v. City of Glendale*, 225 Wis. 2d 70, 591 N.W.2d 583 (1999). For example, if OWNER is exempt but only uses and occupies 90% of the PROPERTY for exempt purposes and leases the other 10% of the PROPERTY to a for-profit, nonexempt entity, and if the assessor applies a square

footage, taxed in part analysis, the PROPERTY is to be taxed on a 10% basis and exempt on a 90% basis and the PILOT Payment would have to be paid on the 90% portion.

5. SUCCESSORS AND ASSIGNS.

All of the terms and conditions of this Agreement shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

6. TERM.

This Agreement shall remain in effect in perpetuity absent the occurrence of any of the following potential termination condition(s) event(s). This Agreement shall terminate effective on the December 31 of the year immediately prior to the year during which the CITY Assessor concludes that as of or prior to the determination date any of the following events has occurred:

a. The CITY determines that the PROPERTY no longer supports/provides for the PROJECT/multi-family building use and with such change of use no longer potentially qualifies for property tax exemption;

b. Enactment by the State of Wisconsin of a mandatory payment for municipal services by owners of property exempt from the general property tax or similarly situated owners of exempt property; and/or

c. Repeal by the State of Wisconsin of the property tax exemption for the PROPERTY and other similarly situated property.

7. AMENDMENT.

The CITY and OWNER expressly reserve the right to modify and amend this Agreement from time to time as they shall mutually agree in writing executed by the parties.

8. SEVERABILITY; GOVERNING LAW.

If any provision hereof is duly held by a court of competent jurisdiction to be invalid with respect to any circumstance or otherwise, the remainder of this Agreement and/or the application of the Agreement to any other circumstance, shall not be affected thereby. The parties intend that the laws of the State of Wisconsin and ordinances and regulations of the City of Franklin shall be the governing law with respect to this Agreement.

9. AUTHORITY.

OWNER represents and warrants to the CITY that its officers executing this Agreement have been duly authorized to execute and to cause OWNER to enter this Agreement. The CITY represents and warrants to OWNER that the undersigned CITY officials are duly authorized to execute and to enter into this Agreement.

10. RECORDING.

The CITY shall cause this Agreement or a memorandum of this Agreement to be recorded with the Milwaukee County Register of Deeds and deliver a copy of the recorded Agreement to OWNER.

IN WITNESS WHEREOF, the parties have executed this Agreement this _____ day of _____, 2018.

WOODLAND'S EDGE AT FRANKLIN, LP

By: _____
Name and Title:

By: _____
Name and Title:

STATE OF _____)
) SS.
_____ COUNTY)

Personally came before me on this _____ day of _____, 2010,
the above named _____ and _____, known to me to be the
persons whose names are subscribed to the foregoing instrument, and acknowledged to me
that they executed said instrument for the purposes and considerations therein expressed as
authorized by and with the authority of Woodland's Edge at Franklin, LP.

Notary Public, _____ County, ____
My commission expires: _____
Dated this _____ day of _____, 2018.

CITY OF FRANKLIN

By: _____
Stephen R. Olson, Mayor

By: _____
Sandra L. Wesolowski, City Clerk

STATE OF WISCONSIN)
) SS.
MILWAUKEE COUNTY)

Personally came before me this _____ day of _____, 2018, Stephen R.
Olson, Mayor and Sandra L. Wesolowski, City Clerk, of the above named municipal
corporation, City of Franklin, to me known to be the persons who executed the foregoing
instrument and to me known to be such Mayor and City Clerk of said municipal corporation,
and acknowledged that they executed the foregoing instrument, as such officers, by their
authority, pursuant to a motion adopted by their City of Franklin Common Council on the
21st day of November, 2017.

Notary Public, Milwaukee County, WI
My commission expires: _____
Dated this _____ day of _____, 2018.

This Agreement was drafted by
Jesse A. Wesolowski
City Attorney
City of Franklin

MORTGAGE HOLDER CONSENT

The undersigned, _____, a Wisconsin banking corporation ("Mortgagee"), as Mortgagee under that certain Mortgage encumbering the Property and recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on _____, 20____, as Document No. _____, hereby consents to the execution of the foregoing easement and its addition as an encumbrance title to the Property.

IN WITNESS WHEREOF, Mortgagee has caused these presents to be signed by its duly authorized officers, and its corporate seal to be hereunto affixed, as of the day and year first above written.

a Wisconsin Banking Corporation

By: _____

Name: _____

Title: _____

STATE OF WISCONSIN)

)ss
COUNTY OF MILWAUKEE)

On this, the _____ day of _____, 20____, before me, the undersigned, personally appeared _____ as _____ of _____, a Wisconsin banking corporation, and acknowledged that (s)he executed the foregoing instrument on behalf of said corporation, by its authority and for the purposes therein contained.

Name: _____

Notary Public, State of Wisconsin

My commission expires _____

EXHIBIT A

Legal Description

Parcel 1 of Certified Survey Map No. 6537 being part of the Northeast Quarter (NE 1/4) of the Northwest Quarter (NW 1/4) of Section 1, Town 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin excepting therefrom the following: Beginning at the southeast corner of Parcel 2 as recorded in said Certified Survey Map No. 6537; thence South 88°32'26" West along the southerly line of said Parcel 2, 132.00 feet to the southwest corner of said Parcel 2; thence South 00°35'36" West along the westerly line of said Parcel 1, 136.00 feet; thence North 88°32'28" East 132.00 feet; thence North 00°35'36" East 136.00 feet to the place of beginning. Containing a net area of 4.1204 acres or 179,487 square feet of land; Tax Key No. 713-9996-003.

CONSERVATION EASEMENT
Woodland's Edge at Franklin

Document No.

Document Title

Recording Data

Return Address

David D. Thompson
Herman & Kittle Properties, Inc.
500 East 96th Street, Suite 300
Indianapolis, IN 46240

Parcel Nos. 713-9996-003

CONSERVATION EASEMENT

(Woodland's Edge at Franklin)

This Conservation easement is made by and between the CITY OF FRANKLIN, a municipal corporation of the State of Wisconsin ("Grantee") and WOODLAND'S EDGE AT FRANKLIN, LP, a Wisconsin limited partnership ("Grantor") and shall become effective upon the recording of this Grant of Conservation Easement, together with the Acceptance following, with the Office of the Register of Deeds for Milwaukee County, pursuant to §700.40(2)(b) of the Wisconsin Statutes.

WITNESSETH

WHEREAS, Grantor is the owner in fee simple of certain real property, located within the City of Franklin, Milwaukee County, Wisconsin, being part of the Northeast Quarter of the Northwest Quarter of Section 1, Township 5 North, Range 21 East, City of Franklin, County of Milwaukee, State of Wisconsin, more particularly described and depicted in Exhibit A attached hereto and hereby made a part hereof ("Protected Property"); and

WHEREAS, the Grantor desires and intends that the natural elements and the ecological and aesthetic values of the Protected Property including, without limitation, mature and young woodland, be preserved and maintained by the continuation of land use that will not interfere with or substantially disrupt the natural elements or the workings of natural systems; and

WHEREAS, Grantee is a "holder", as contemplated by §700.41(1)(b)1. of the Wisconsin Statutes, whose purposes include, while exercising regulatory authority granted to it, *inter alia*, under §62.23 and §236.45 of the Wisconsin Statutes, the conservation of land, natural areas, open space, and water areas; and

WHEREAS, the Grantor and Grantee, by the conveyance to the Grantee of the conservation easement on, over, and across the Protected Property, desire to conserve the natural values thereof and prevent the use or development of the Protected Property for any purpose or in any manner inconsistent with the terms of this conservation easement; and

WHEREAS, the Grantee is willing to accept this conservation easement subject to the reservations and to the covenants, terms, conditions, and restrictions set out herein and imposed hereby;

NOW, THEREFORE, the Grantor, for and in consideration of the foregoing recitations and of the mutual covenants, terms, conditions, and restrictions subsequently contained, and as an absolute and unconditional dedication, does hereby grant and convey unto the Grantee a conservation easement in perpetuity on, over, and across the Protected Property.

Grantee's rights hereunder shall consist solely of the following:

1. To view the Protected Property in its natural, scenic, and open condition;
2. To enforce by proceeding at law or in equity the covenants subsequently set forth, including, and in addition to all other enforcement proceedings, proceedings to obtain all penalties and remedies set forth under Division 15-9.0500 of the Unified Development Ordinance of the City of Franklin, as amended from time to time, any violation of the covenants subsequently set forth being and constituting a violation of such Unified Development Ordinance, as amended from time to time, or such local applicable ordinance as may be later adopted or in effect to enforce such covenants or the purposes for which they are made, it being agreed that there shall be no waiver or forfeiture of the Grantee's right to insure compliance with the covenants and conditions of this grant by reason of any prior failure to act; and

3. To enter the Protected Property at all reasonable times for the purpose of inspecting the Protected Property to determine if the Grantor is complying with the covenants and conditions of this grant.

And in furtherance of the foregoing affirmative rights of the Grantee, the Grantor makes the following covenants which shall run with and bind the Protected Property in perpetuity, namely, that, on, over, or across the Protected Property, the Grantor, without the prior consent of the Grantee, shall not:

1. Construct or place buildings or any structure;
2. Construct or make any improvements, unless, notwithstanding Covenant 1 above, the improvement is specifically and previously approved by the Common Council of the City of Franklin, upon the advice of such other persons, entities, and agencies as it may elect; such improvements as may be so approved being intended to enhance the resource value of the Protected Property to the environment or the public and including, but not limited to animal and bird feeding stations, park benches, the removal of animal blockage of natural drainage or other occurring blockage of natural drainage, and the like;
3. Excavate, dredge, grade, mine, drill, or change the topography of the land or its natural condition in any manner, including any cutting or removal of vegetation, except for the removal of dead or diseased trees;
4. Conduct any filling, dumping, or depositing of any material whatsoever, including, but not limited to soil, yard waste, or other landscape materials, ashes, garbage, or debris;
5. Plant any vegetation not native to the Protected Property or not typical wetland vegetation;
6. Operate snowmobiles, dune buggies, motorcycles, all-terrain vehicles or any other types of motorized vehicles.

To have and to hold this conservation easement unto the Grantee forever. Except as expressly limited herein, the Grantor reserves all rights as owner of the Protected Property, including, but not limited to, the right to use the Protected Property for all purposes not inconsistent with this grant. Grantor shall be responsible for the payment of all general property taxes levied, assessed, or accruing against the Protected Property pursuant to law.

The covenants, terms, conditions, and restrictions set forth in this grant shall be binding upon the Grantor and the Grantee and their respective agents, personal representatives, heirs, successors, and assigns, and shall constitute servitudes running with the Protected Property in perpetuity. This grant may not be amended, except by a writing executed and delivered by Grantor and Grantee or their respective personal representatives, heirs, successors, and assigns. Notices to the parties shall be personally delivered or mailed by U.S. Mail registered mail, return receipt requested, as follows:

To Grantor:

Woodland's Edge at Franklin, LP
6737 West Washington Street, Ste 2275
West Allis, WI 53214

To Grantee:

City of Franklin
Office of the City Clerk
9229 W. Loomis Road
Franklin, WI 53132

In witness whereof, the grantor has set its hand and seals this on this ____ day of _____, 2018.

WOODLAND'S EDGE AT FRANKLIN, LP, a
Wisconsin limited partnership

By: LSS Woodland's Edge at Franklin, LLC, a
Wisconsin limited liability company, its general
partner

By: _____

Printed: _____

Title: _____

STATE OF _____)
COUNTY OF _____) ss

This instrument was acknowledged before me on the _____ day of August, 2018, by _____ the _____ of LSS Woodland's Edge at Franklin, LLC, a Wisconsin limited liability company, general partner of Woodland's Edge at Franklin, LP, a Wisconsin limited partnership, known to be the person(s) who executed the foregoing Conservation Easement and acknowledged the same as the voluntary act and deed of said limited partnership.

Notary Public

Printed

County of Residence

My Commission Expires

Acceptance

The undersigned does hereby consent to and accepts the Conservation Easement granted and conveyed to it under and pursuant to the foregoing Grant of Conservation Easement. In consideration of the making of such Grant Of Conservation Easement, the undersigned agrees that this acceptance shall be binding upon the undersigned and its successors and assigns and that the restrictions imposed upon the Protected Property may only be released or waived in writing by the Common Council of the City of Franklin, as contemplated by §236.293 of the Wisconsin Statutes.

In witness whereof, the undersigned has executed and delivered this acceptance on the ____ day of _____, 2018.

CITY OF FRANKLIN

By: _____
Stephen R. Olson, Mayor

By: _____
Sandra L. Wesolowski, City Clerk

STATE OF WISCONSIN)
) ss
COUNTY OF MILWAUKEE)

Personally came before me this ____ day of _____, 2018, the above named Stephen R. Olson, Mayor and Sandra L. Wesolowski, City Clerk, of the above named municipal corporation, City of Franklin, to me known to be such Mayor and City Clerk of said municipal corporation, and acknowledged that they executed the foregoing instrument as such officers as the Deed of said municipal corporation by its authority and pursuant to Resolution No. _____, adopted by its Common Council on the ____ day of _____, 2018.

Notary Public

My commission expires _____

This instrument was drafted by the City of Franklin.

Approved as to contents:

Nicholas Fuchs, Principal Planner
Department of City Development

Date

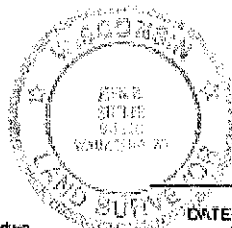
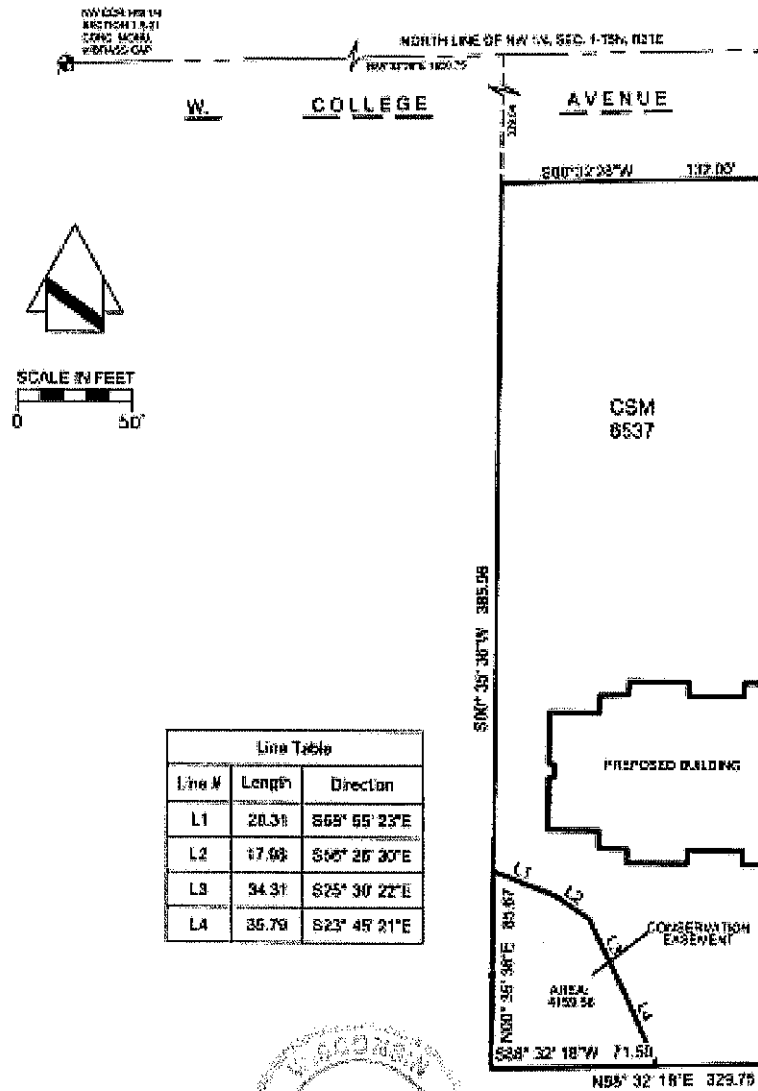
Approved as to form only:

Jesse A. Wesolowski
City Attorney

Date

This instrument was drafted by David D. Thompson, Herman & Kittle Properties, Inc.

EXHIBIT-A CONSERVATION EASEMENT



P.S. MILWAUKEE 987
FILE NAME: S:\projects\188045\dwg\188045.dwg

John R. Stigler
JOHN R. STIGLER, Wis. Reg. No. S-1020
DATED this _____ day of _____, 2010
INSTRUMENT DRAFTED BY JOHN W. JAHNKE

All that part of Parcel 1 of Certified Survey Map No. 6537 recorded July 27, 1998 on Reel 4358, Image 1930 on Document No. 7571685 being part of the Northeast Quarter (NE ¼) of the Northwest Quarter (NW ¼) of Section 1, Town 5 North, Range 21 East, City of Franklin, County of Milwaukee, State of Wisconsin bounded and described as follows: Commencing at the northwest corner of the Northwest Quarter (NW ¼) of Section 1; thence North 88°32'28" East along the north line of said Northwest Quarter (NW ¼) 1650.75 feet; thence South 00°35'36" West 650.00 feet along the west line of said Certified Survey Map No. 6537 to the southwest corner of said map and the place of beginning of the Conservation Easement herein described; thence North 00°35'36" East 85.66 feet along said west line of Map No. 6537; thence South 56°26'30" East 17.98 feet; thence South 25°30'22" East 34.00 feet; thence South 23°45'21" East 35.79 feet to the south line of Map No. 6537; thence South 88°32'18" West along said south line 71.47 feet to the place of beginning. Containing a net area of 4159.6 square feet of land or 0.095 acres of land.

ARCHITECT OF RECORD

**HEMAN & KITTLE
PROPERTIES, INC.**
100 West 4th Street, Suite 100
Indianapolis, IN 46204
(317) 645-1111
FAX: (317) 645-1111

CIVIL ENGINEERING
Professional Engineer
No. 12345
State of Indiana

Point of Beginning
Surveyed and Platted
10/1/2011

CONTRACT & CONSTRUCTION
DOCUMENTS

SEAL

**WOODLANDS EDGE
AT FRANKLIN**

PROJECT TITLE

OWNER

WOODLANDS EDGE AT FRANKLIN, LP
100 West 4th Street, Suite 100
Indianapolis, IN 46204

DATE

REVISIONS

**DO NOT SCALE DIMENSIONS - USE
FIGURED DIMENSIONS ONLY**

PROJECT NO.

17415

SHEET TITLE

**Sanitary Sewer-
Water Plan**

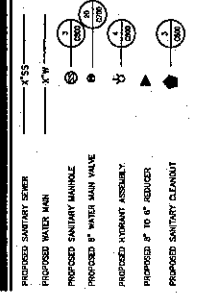
SHEET NUMBER

C500

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE START OF CONSTRUCTION.
2. ANY EXISTING UTILITIES NOT SHOWN ON THIS PLAN SHALL BE RELOCATED AND OR ABANDONED.
3. SETBACKS TO THE PROPOSED BUILDING SHALL BE MAINTAINED TO THE EXISTING SETBACKS AND SIZES.
4. COORDINATE ALL UTILITY WORK WITH ALL ELECTRICAL, INCLUDING MAIN SERVICE, SUE LUTHER, COUNCIL AND SHOWN.
5. COORDINATE ALL UTILITY WORK WITH ALL ELECTRICAL, INCLUDING MAIN SERVICE, SUE LUTHER, COUNCIL AND SHOWN.
6. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF INDIANAPOLIS.
7. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF INDIANAPOLIS.
8. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF INDIANAPOLIS.
9. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF INDIANAPOLIS.
10. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF INDIANAPOLIS.
11. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT BE RELOCATED OR ABANDONED.
12. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT BE RELOCATED OR ABANDONED.
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20. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT BE RELOCATED OR ABANDONED.

UTILITY LEGEND:

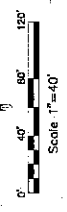
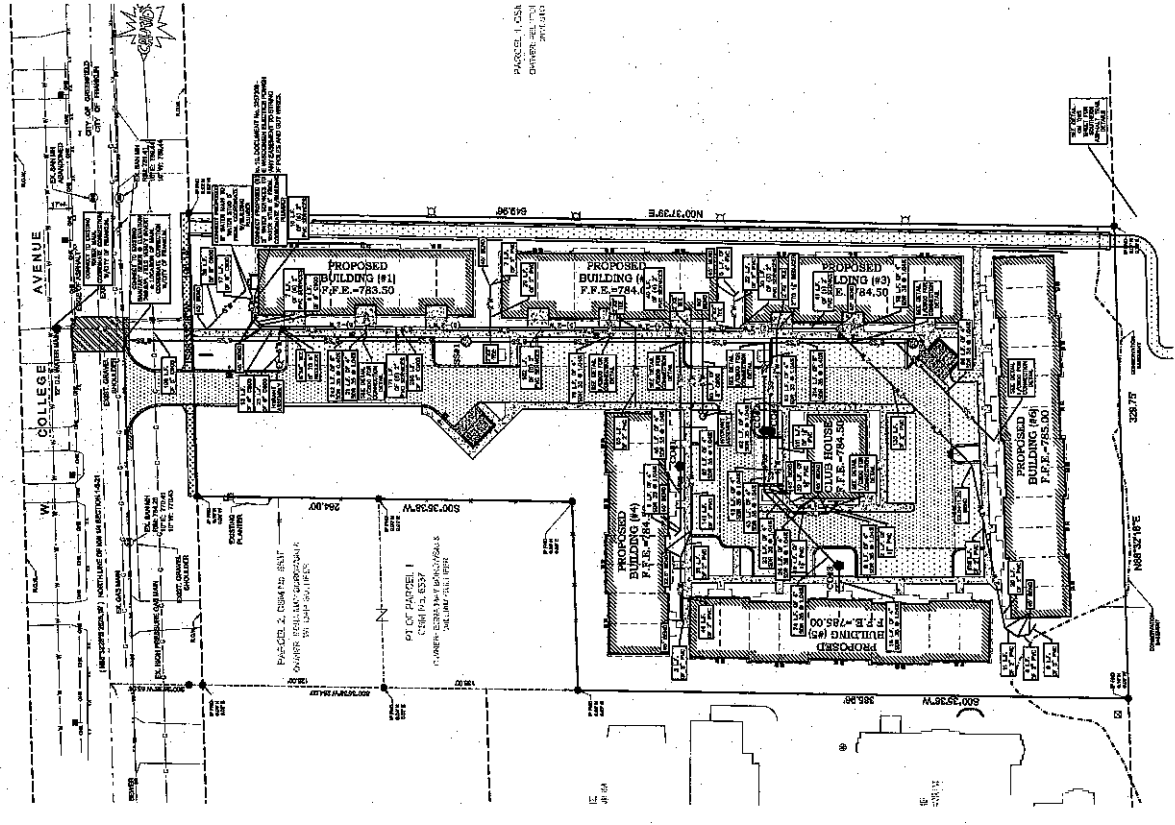


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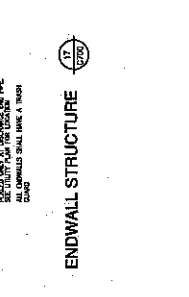
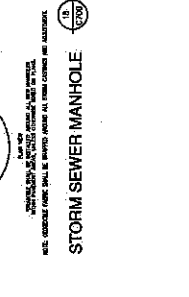
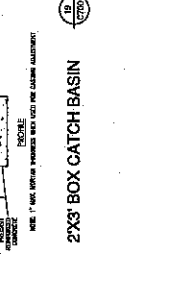
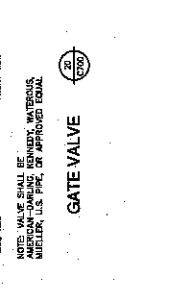
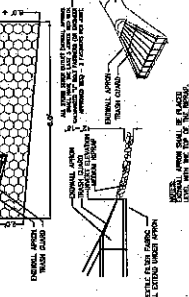
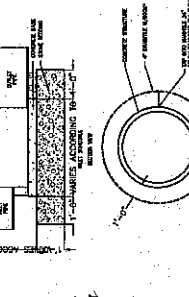
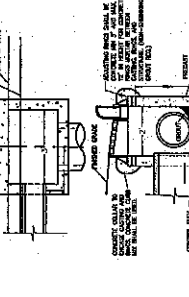
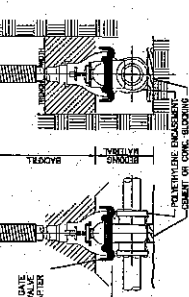
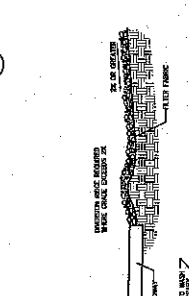
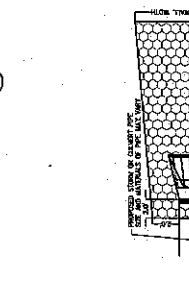
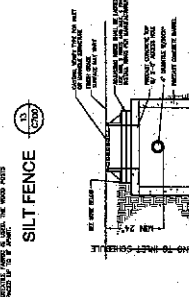
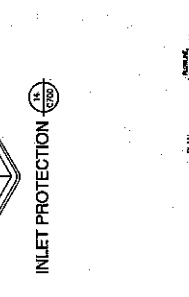
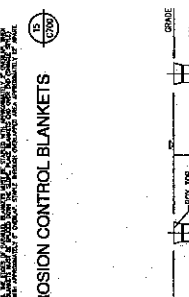
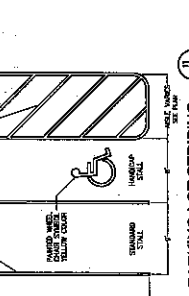
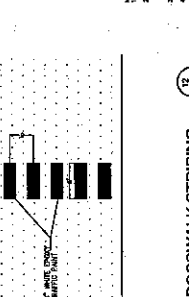
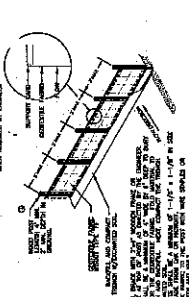
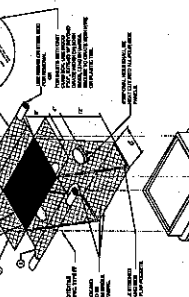
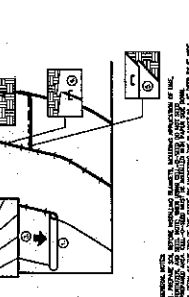
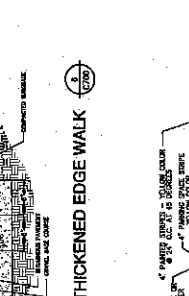
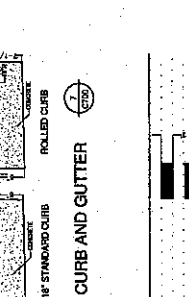
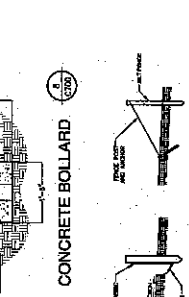
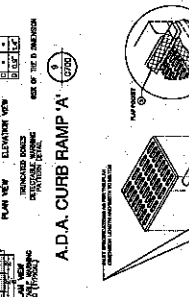
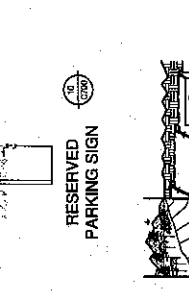
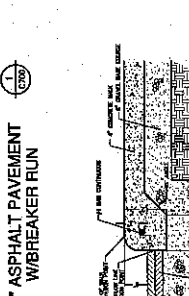
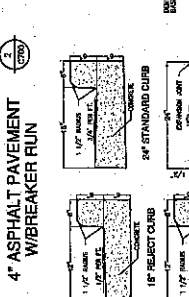
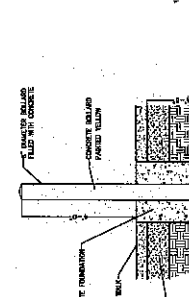
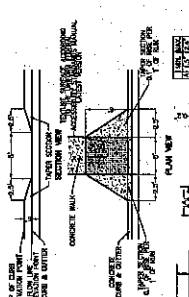
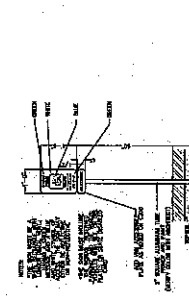
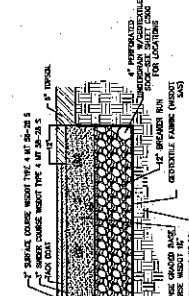
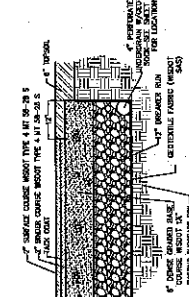
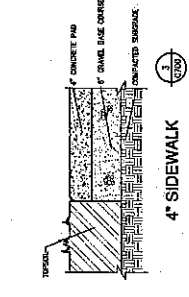
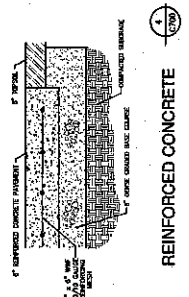
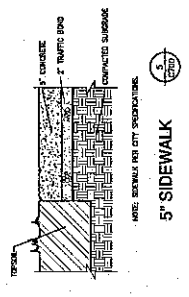
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SANITARY MANHOLE SCHEDULE:

SSM	SSM	SSM	SSM
SSM	SSM	SSM	SSM
SSM	SSM	SSM	SSM
SSM	SSM	SSM	SSM



1000



ARCHITECT OF RECORD

**HERMAN & KITTLE
PROPERTIES, INC.**
300 W. COLLEGE AVENUE
FRANKLIN, IN 46201
(317) 864-3111

CIVIL ENGINEERING
Professional Engineer
No. 12345
State of Indiana

COMPONENT & CONNECTIONS
DOCUMENTS

SEAL

**WOODLANDS EDGE
AT FRANKLIN**

PROJECT TITLE

**WORKMANSHIP AT FRANKLIN
SITE 200 W. COLLEGE AVENUE
FRANKLIN, IN 46201**

DATE

REVISIONS

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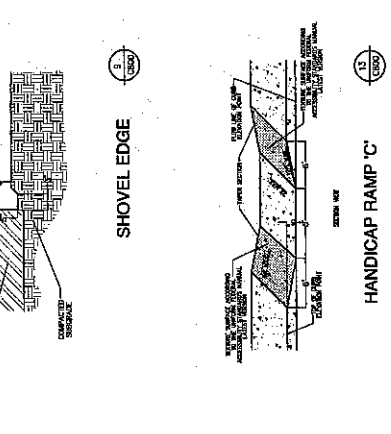
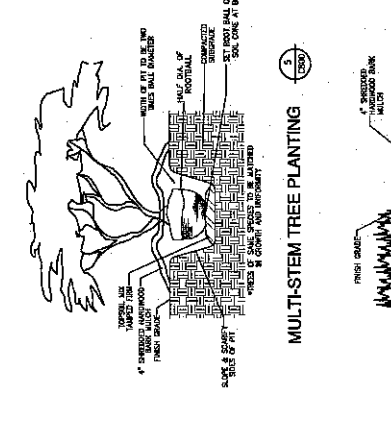
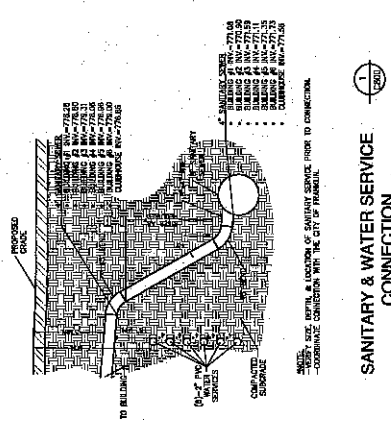
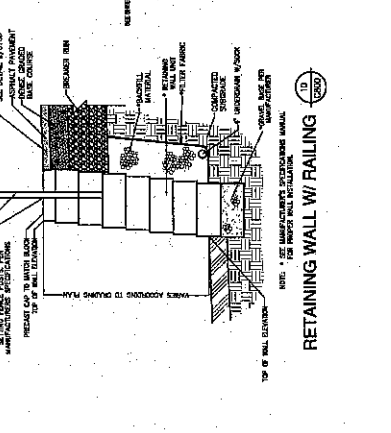
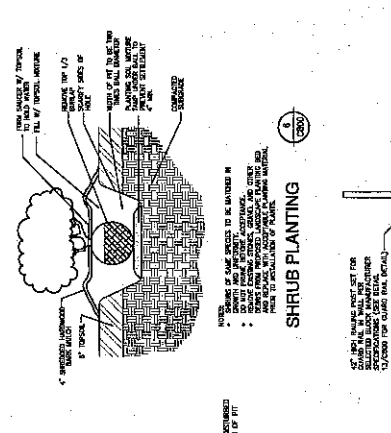
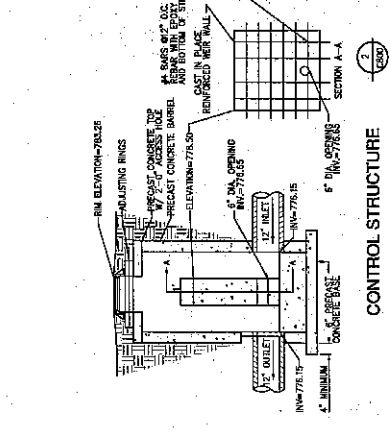
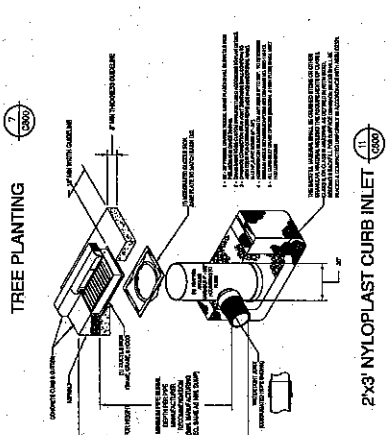
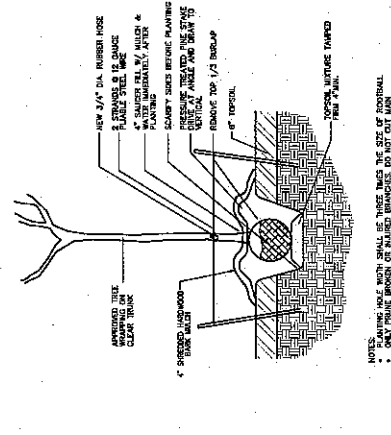
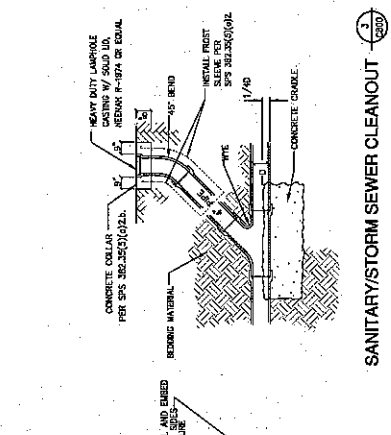
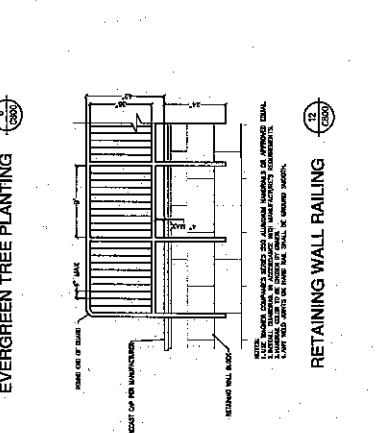
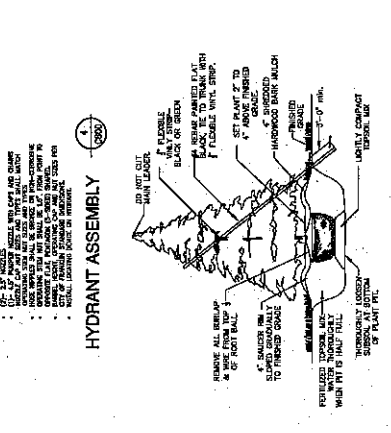
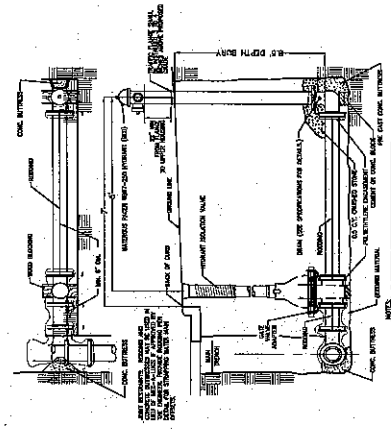
14015

SHEET TITLE

**Detail
Sheet**

SHEET NUMBER

C800



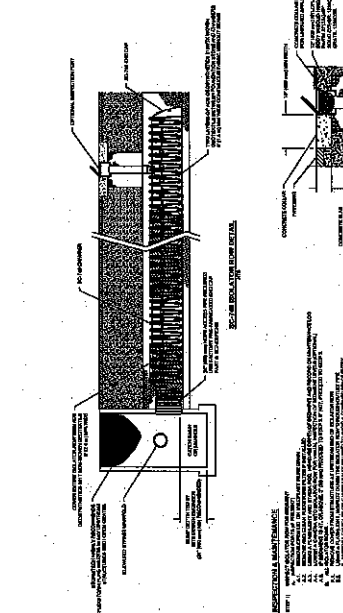
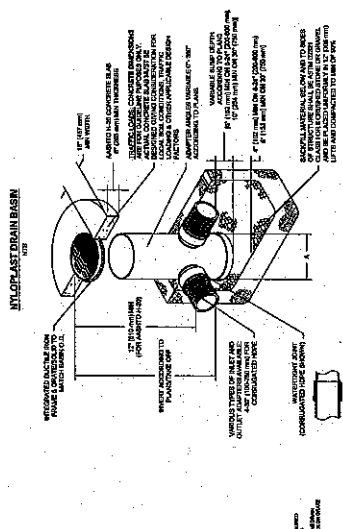
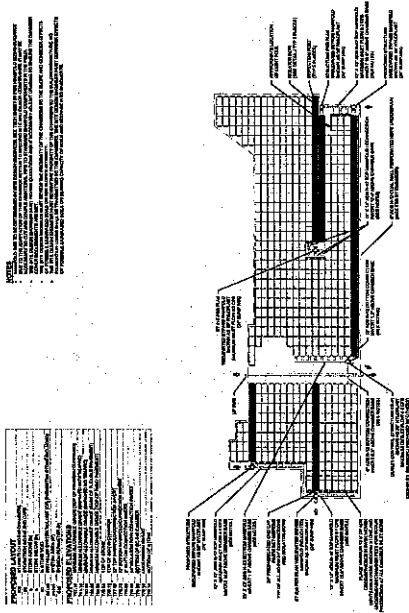
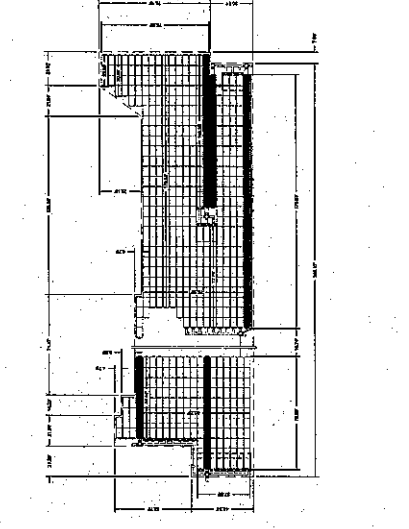
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NO.	DATE	DESCRIPTION
1	08/11/2015	ISSUED FOR PERMIT

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 PROJECT NO.
 17415



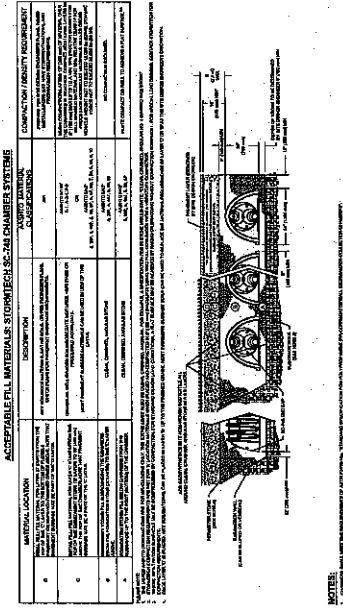
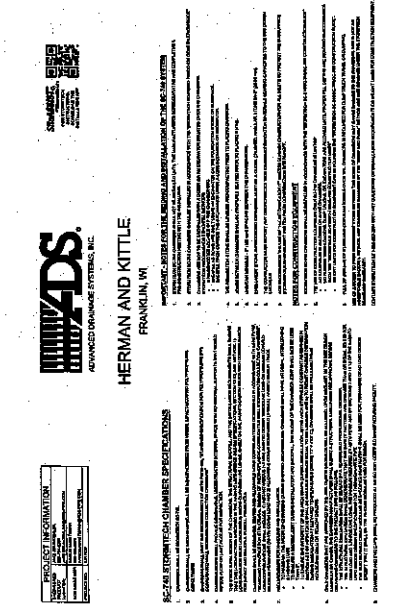
NOTES

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NO.	DATE	DESCRIPTION
1	08/11/2015	ISSUED FOR PERMIT

REVISIONS

NO.	DATE	DESCRIPTION
1	08/11/2015	ISSUED FOR PERMIT



NOTES

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NO.	DATE	DESCRIPTION
1	08/11/2015	ISSUED FOR PERMIT

REVISIONS

NO.	DATE	DESCRIPTION
1	08/11/2015	ISSUED FOR PERMIT

GENERAL NOTES:

[illegible]

PLANTING SCHEDULE:

[illegible]

PERFORMANCE REQUIREMENTS:

[illegible]




NOTIFICATION INFORMATION

USE UP TO 4000 T. PRODUCTION SYSTEM SHALL BE PROVIDED BY CONTRACT AS A DESIGN-BUILD SYSTEM.

PREPARED BY

POINT OF BEGINNING, INC.
MELISSA A. KLUCK P/LA
4941 KIRSCHLUND COURT
STEVENS POINT, WI 54481
715-344-9899

LEGEND:

		
8' DEPTHS OF SHADOWED GLAUKOID ROCK BELOW	AREA TO BE MINED	SHOW STOPPE AREA

WOODLANDS EDGE
AT FRANKLIN

OWNER
WOODLAND'S EDGE AT FRANKLIN, LP
5500 E. 98TH STREET
SUITE 200 BURNHAMWOOD, IL 60630

[illegible]

17-015

SHEET TITLE

SHEET NUMBER

L100

0° 40° 80° 120°
Scale 1"=40°

Scale 1"=40'



E-001



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[illegible]
$$\frac{1}{\text{SFAL}}$$

PROJECT TITLE

WOODLANDS EDGE
AT FRANKLIN
3709 W. COLLEGE AVENUE
FRANKLIN, WI 53221

ISSUED FOR:	DATE
SPECIAL USE PERMIT SET	02/11/19
SPECIAL USE PERMIT APPLICATION	140021

REVISIONS	
MARK	DESCRIPTION DATE

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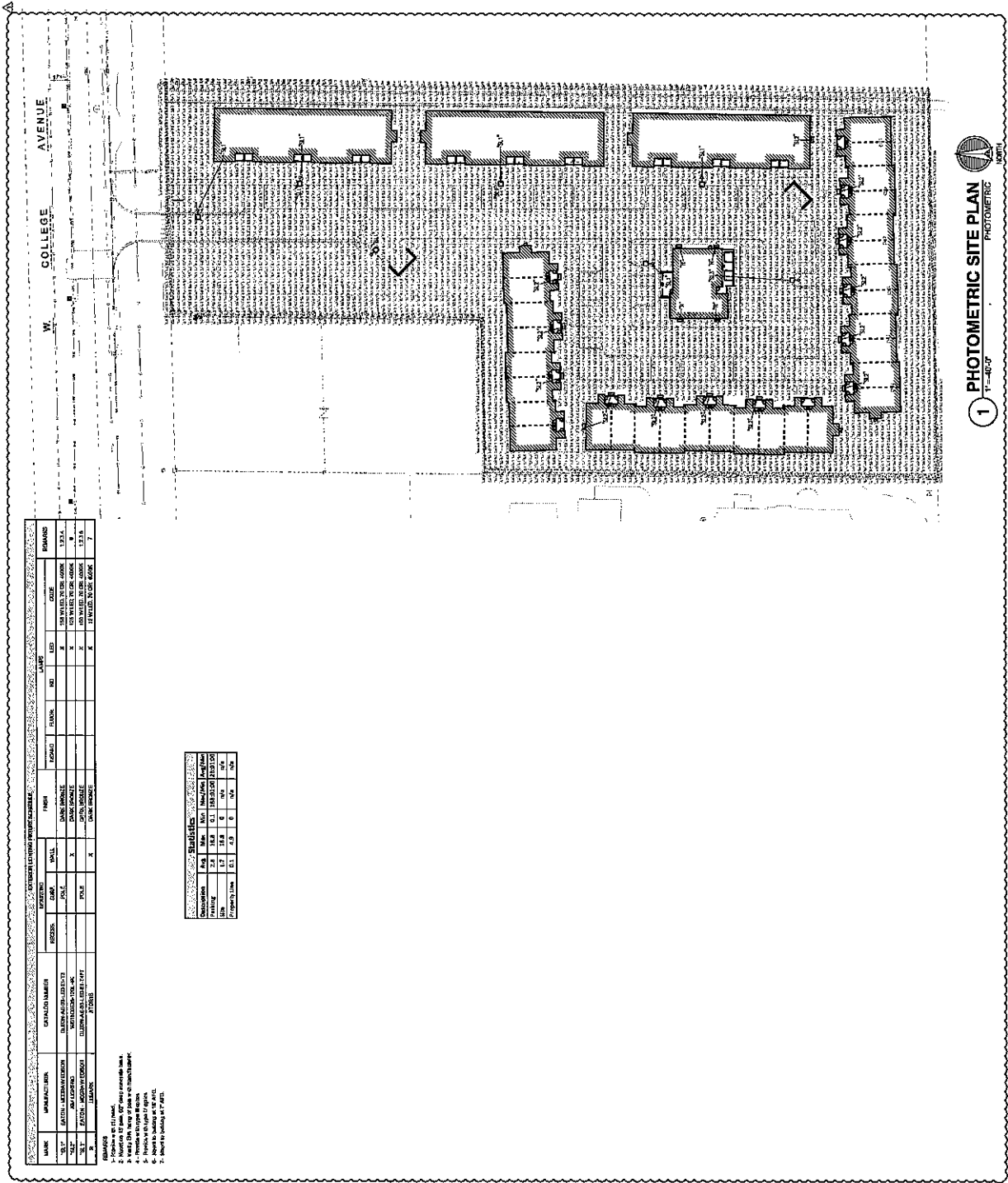
17-015

SHEET TITLE E

PHOTOMETRIC
SITE PLAN

SHEET NUMBER

E-002





LS&A
CONSULTING ENGINEERS
1 Macoplane, P.A.
Lancaster Summary
PA 17602
5001 Mt. Pleasant Blvd. Suite A
Trophy, Maryland 21218
Telephone: (301) 234-8822
FAX: (301) 234-0047
E-mail: ls@aol.com

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PROJECT TITLE

WOODLANDS EDGE
AT FRANKLIN
3708 W. COLLEGE AVENUE
FRANKLIN, WI 53221

[illegible]

17-015


SHEET TITLE


SITE PLAN
DETAILS

SHEET NUMBER

E-003







FIBERTECH TECHNOLOGY

Product Information

Model: 1000

Price: \$1,000.00

Weight: 10.00 lbs.

Dimensions: 10.00" x 10.00" x 10.00"

Material: Aluminum

Finish: Anodized

Color: Silver

Accessories: None

Warranty: 1 Year

Lead Time: 4 Weeks

Shipping: \$50.00

Notes: See Page 12 for more information.

Technical Specifications

Model: 1000

Price: \$1,000.00

Weight: 10.00 lbs.

Dimensions: 10.00" x 10.00" x 10.00"

Material: Aluminum

Finish: Anodized

Color: Silver

Accessories: None

Warranty: 1 Year

Lead Time: 4 Weeks

Shipping: \$50.00

Notes: See Page 12 for more information.

Company Information

Model: 1000

Price: \$1,000.00

Weight: 10.00 lbs.

Dimensions: 10.00" x 10.00" x 10.00"

Material: Aluminum

Finish: Anodized

Color: Silver

Accessories: None

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Notes: See Page 12 for more information.

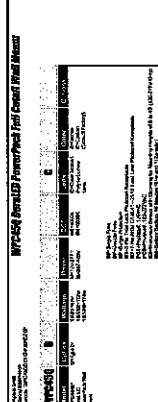
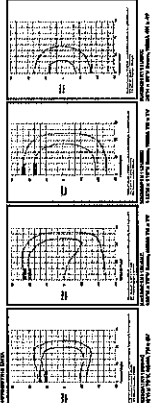
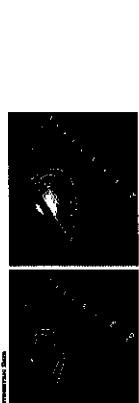
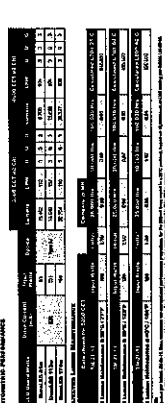
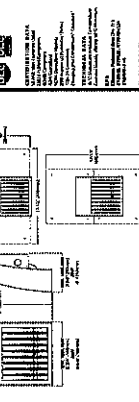
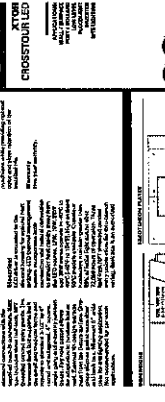
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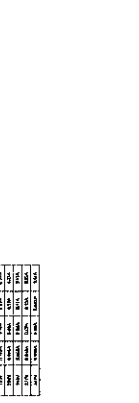
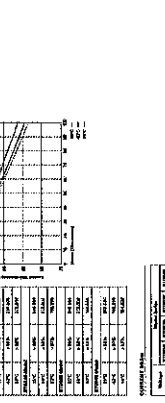
Figure 1 consists of four scatter plots arranged in a 2x2 grid. The top row (a and b) shows results for the 'Model 1' (log-log), and the bottom row (c and d) shows results for the 'Model 2' (log-linear). The left column (a and c) displays 'Basal Area' (m³/ha) on the y-axis, and the right column (b and d) displays 'Volume' (m³/ha) on the y-axis. The x-axis for all plots is 'Observed' values. The y-axis for all plots is 'Predicted' values. The plots show a strong positive correlation between observed and predicted values, with data points clustered around the 1:1 line. The 'Model 2' plots (c and d) show slightly better alignment with the 1:1 line compared to the 'Model 1' plots (a and b).

[illegible][illegible]

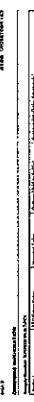
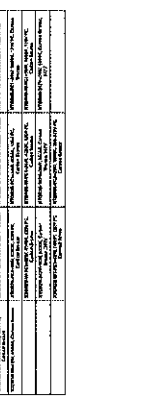
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 in 1000 2-1000

Handwritten
 and printed
 text

Typewriter
 Number 12, 18 750

PROJECT INFORMATION	
ENGINEERED	JAKE BRUNOHLER
PRODUCT	262-794-2306
MANAGER:	JAKE BRUNOHLER@ADS-PIPE.COM
ADS SALES REP:	AARON KUNSTMANN
	262-493-0906
PROJECT NO.:	AARON.KUNSTMANN@ADS-PIPE.COM
	\$117038



ADVANCED DRAINAGE SYSTEMS, INC.

HERMAN AND KITTLE FRANKLIN, WI



FOR STORMTECH
INSTRUCTIONS,
DOWNLOAD THE
INSTALLATION APP

SC-740 STORMTECH CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE STORMTECH SC-740.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
6. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
7. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN. IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
8. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.96 FOR DEAD LOAD AND 1.76 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787, AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
9. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

1. STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.
 - STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
8. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
9. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

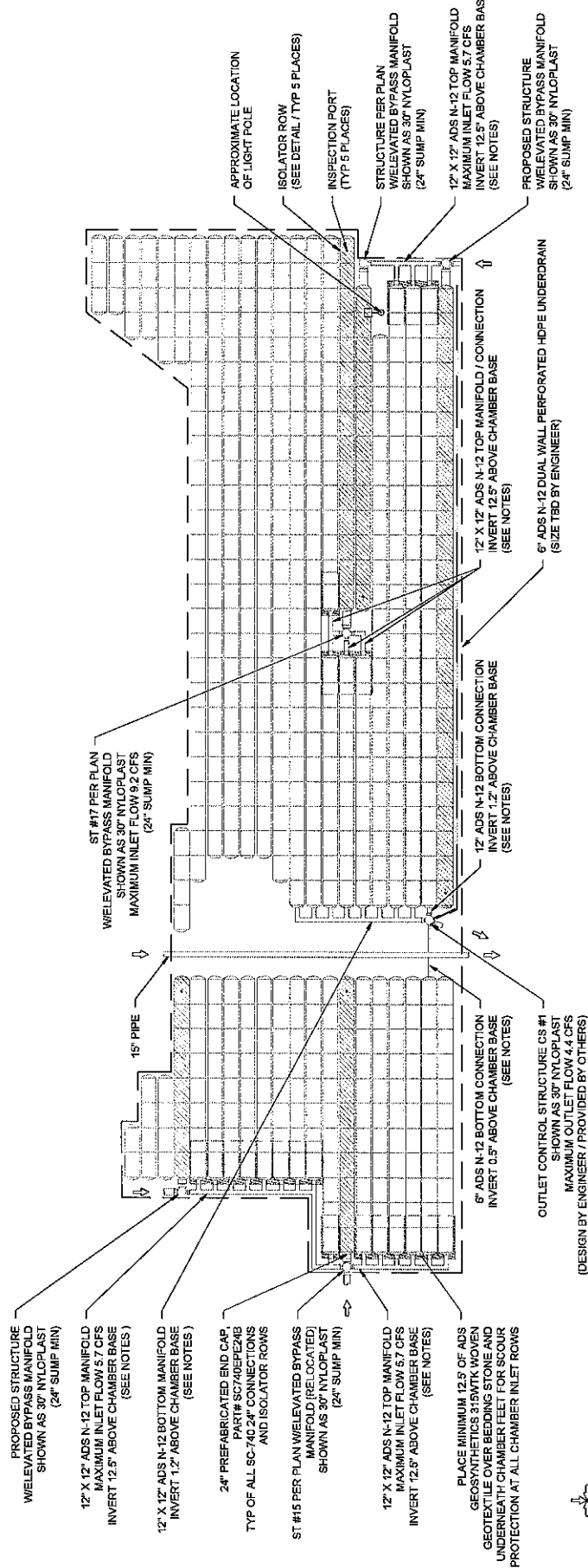
1. STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 2. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIERED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING. USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.


CONTACT STORMTECH AT 1-888-492-2664 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

	STORMTECH SC-740 CHAMBERS
	STORMTECH SC-740 END CAPS
	STONE ABOVE (in)
	STONE BELOW (in)
	% STONE VOID
	INSTALLED SYSTEM VOLUME (CF) (PERMETER STONE INCLUDED)
	SYSTEM AREA (ft ²)
	SYSTEM PERIMETER (ft)

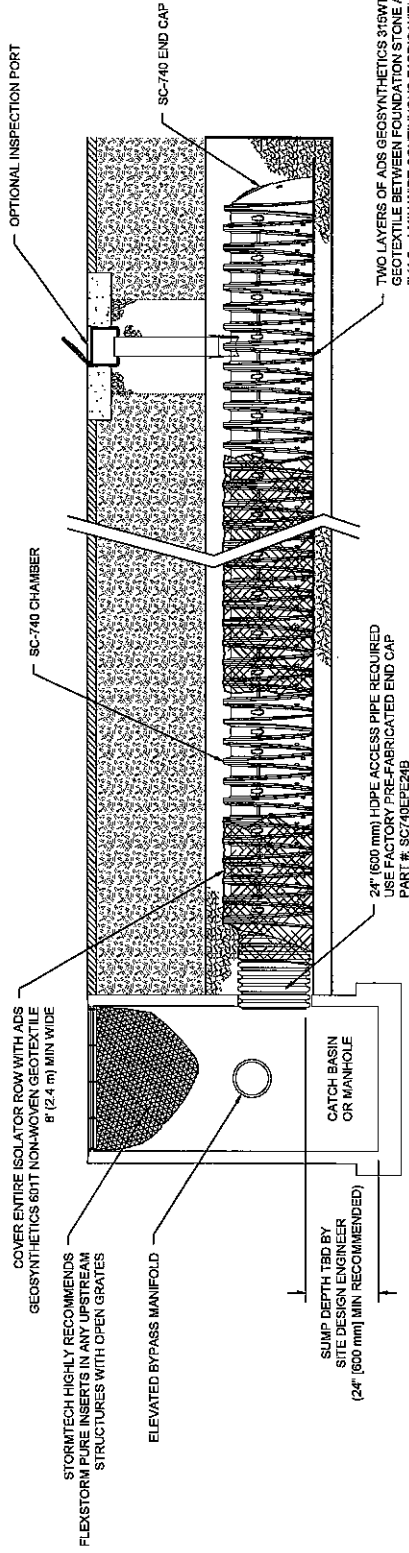
MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)
 MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)
 MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)
 MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)
 MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT)
 TOP OF STONE
 TOP OF SC-740 CHAMBER
 12" TOP MANIFOLD/CONNECTION INVERT
 12" BOTTOM MANIFOLD/CONNECTION INVERT
 6" BOTTOM CONNECTION INVERT
 24" ISOLATOR ROW CONNECTION INVERT
 BOTTOM OF SC-740 CHAMBER
 UNDERDRAIN INVERT
 BOTTOM OF STONE

- MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE "TECH SHEET #7 FOR MANHOLE SIZING GUIDANCE.
- THE CHAMBER SHALL BE CONSTRUCTED OF 15" MINIMUM THICKNESS PRECAST CONCRETE. THE CHAMBER SHALL BE CAST IN PLACE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THE SITE DESIGN ENGINEER MUST REVIEW THE PROXIMITY OF THE CHAMBERS TO THE SLOPE AND CONSIDER EFFECTS OF POSSIBLE SATURATED SOILS ON THE SLOPE'S INTEGRITY.
- THE SITE DESIGN ENGINEER MUST REVIEW THE PROXIMITY OF THE CHAMBERS TO THE BUILDING'S STRUCTURE. NO FOUNDATION LOADS SHALL BE TRANSMITTED TO THE CHAMBERS. THE SITE DESIGN ENGINEER MUST CONSIDER EFFECTS OF POSSIBLE SATURATED SOILS ON BEARING CAPACITY OF SOILS AND SEEPAGE INTO BASEMENTS.



		4640 RIEMAN BLVD HILLIARD, OH 43026 60'		ADVANCED DRAINAGE SYSTEMS, INC. 12500 WILSON BLVD., SUITE 100 CLEVELAND, OH 44115 (216) 291-9291 • FAX (216) 291-9292 WWW.ADSYSTEMS.COM	
DATE: 02/01/19 DRAWN: MSY CHECKED: XXX PROJECT # 51-7039 DATE: 02/01/19 DRAWN: MSY CHECKED: XXX		0 30'		THIS DRAWING HAS BEEN PREPARED IN ACCORDANCE WITH THE DESIGN CRITERIA AND SPECIFICATIONS OF THE ADVANCED DRAINAGE SYSTEMS, INC. (ADS) DESIGN MANUAL. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN NECESSARY PERMITS AND REGULATIONS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE APPROPRIATE AGENCIES.	

DATE	04-22-19	BLV	MC	REVISED BEDS, INCREASED ELEVATIONS	DATE:	02/01/19	DRAWN:	MSV	CHECKED:	XXX
DATE	04-18-19	BLV	MC	GRANITE BED TO ADD CHANGES	PROJECT #	8.117039				
				DESCRIPTION						
HERMAN AND KITTLE										
FRANKLIN, WI										



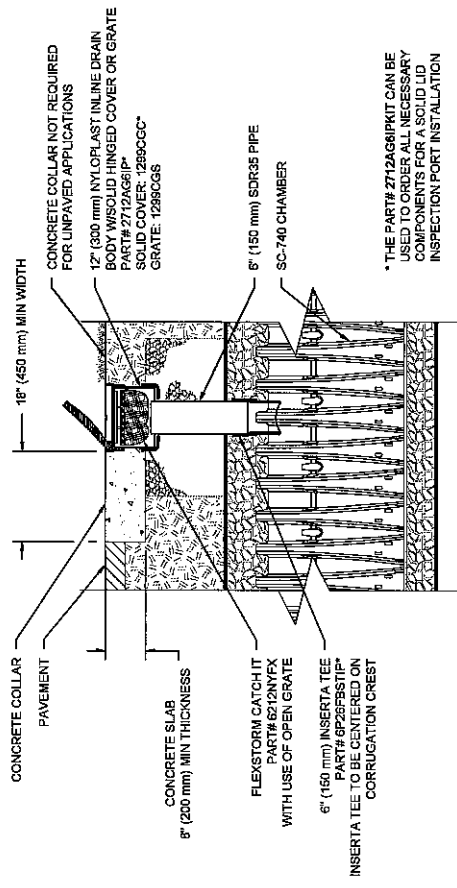
SC-740 ISOLATOR ROW DETAIL

INSPECTION & MAINTENANCE

- STEP 1)
- INSPECT ISOLATOR ROW FOR PRESENT
- A. INSPECTION PORTS (IF PRESENT)
- A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- A.2. REMOVE AND CLEAN FLEXFORM FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.5. SEDIMENT IS AT, OR ABOVE, 3" (90 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ISOLATOR COVER
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF OUTLET PIPE
- B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
- B.3. I) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- II) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- IF SEDIMENT IS AT, OR ABOVE, 3" (90 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2)
- CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A. A FIXED GULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3)
- REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4)
- INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

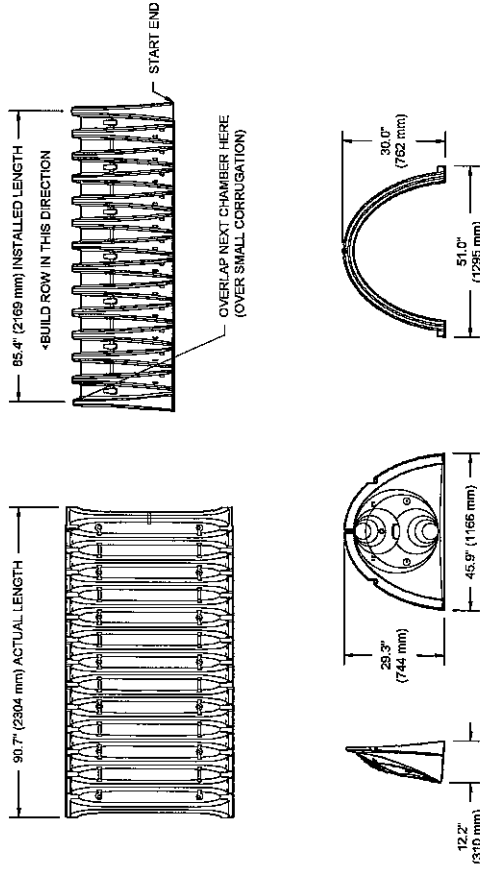
1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



SC-740 6" (150 mm) INSPECTION PORT DETAIL

SC-740 TECHNICAL SPECIFICATION

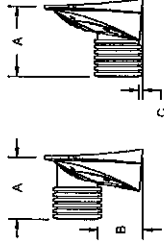
NTS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4"	(1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET	(1.30 m³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET	(2.12 m³)
WEIGHT	75.0 lbs.	(33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS



PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
PRE-CORED END CAPS END WITH "PC"

PART #	STUB	A	B	C
SC740EPE00T / SC740EPE00TPC	6" (150 mm)	10.9" (277 mm)	18.9" (470 mm)	—
SC740EPE00B / SC740EPE00BPC	—	—	—	0.5" (13 mm)
SC740EPE00T / SC740EPE00TPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	—
SC740EPE00B / SC740EPE00BPC	—	—	—	0.6" (15 mm)
SC740EPE10T / SC740EPE10TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	—
SC740EPE10B / SC740EPE10BPC	—	—	—	0.7" (18 mm)
SC740EPE12T / SC740EPE12TPC	12" (300 mm)	14.7" (373 mm)	12.5" (310 mm)	—
SC740EPE12B / SC740EPE12BPC	—	—	—	1.2" (30 mm)
SC740EPE15T / SC740EPE15TPC	15" (375 mm)	16.4" (467 mm)	6.0" (228 mm)	—
SC740EPE15B / SC740EPE15BPC	—	—	—	1.3" (33 mm)
SC740EPE18T / SC740EPE18TPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	—
SC740EPE18B / SC740EPE18BPC	—	—	—	1.6" (41 mm)
SC740EPE24B*	24" (600 mm)	18.5" (470 mm)	—	0.1" (3 mm)

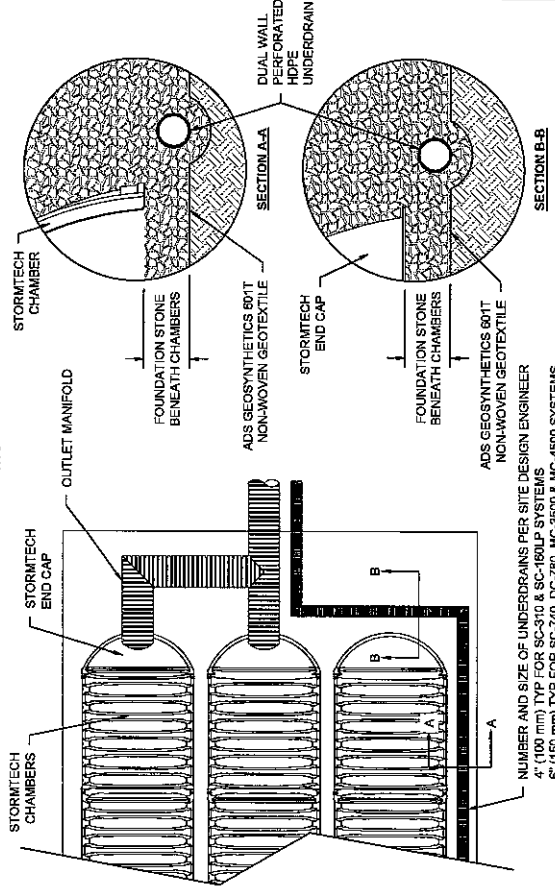
ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-882-2694.

* FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE 12-18 STUB SO THAT THE FITTING SITS LEVEL

NOTE: ALL DIMENSIONS ARE NOMINAL

UNDERDRAIN DETAIL

NTS



NUMBER AND SIZE OF UNDERDRAINS PER SITE DESIGN ENGINEER
4" (100 mm) TYP FOR SC-310 & SC-460LP SYSTEMS
6" (150 mm) TYP FOR SC-740, DC-760, MC-3500 & MC-4500 SYSTEMS

STORMTECH
DESIGN-MAKERS MAKE DRAINAGE

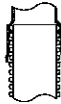
20 INWOOD ROAD, SUITE 3 | ROCKY HILL, CT 06067
860-892-1888 | 860-892-2694 | WWW.STORMTECH.COM

ADVANCED DRAINAGE SYSTEMS, INC.
HILLIARD, OH 43026

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DATE: 04-18-19
BY: ALB
CHECKED: MSY
PROJECT #: S-1707039
DATE: 02/01/19
DRAWN: MSY
CHECKED: XXX
FRANKLIN, WI
HERMAN AND KITTLE

NTS



1. 3-37 (230-750 mm) GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536
2. GRADE 70-60
3. DRAIN BASIN TO BE CUSTOMER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-60
4. DRAIN BASIN TO BE CUSTOMER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-60
5. DRAINAGE CONNECTION STUD JOINT THICKNESS SHALL CONFORM TO ASTM D3312
6. FOR CORRUGATED HDPE (48" & HIGHER DUAL WALL) S-35 35 PVC
7. FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST-US.COM
8. TO ORDER CALL: 800-921-6710
9.

A	PART #	GRATE/SOLID COVER OPTIONS			
8" (200 mm)	2808AG	PEDESTRIAN LIGHT DUTY	STANDARD LIGHT DUTY	SOLID LIGHT	DUTY
10" (253 mm)	2810AG	PEDESTRIAN LIGHT DUTY	STANDARD LIGHT DUTY	SOLID LIGHT	DUTY
12" (300 mm)	2812AG	PEDESTRIAN AASHTO H-10	STANDARD AASHTO H-20	SOLID AASHTO H-20	
15" (375 mm)	2815AG	PEDESTRIAN AASHTO H-10	STANDARD AASHTO H-20	SOLID AASHTO H-20	
18" (450 mm)	2818AG	PEDESTRIAN AASHTO H-10	STANDARD AASHTO H-20	SOLID AASHTO H-20	
24" (600 mm)	2824AG	PEDESTRIAN AASHTO H-10	STANDARD AASHTO H-20	SOLID AASHTO H-20	
30" (750 mm)	2830AG	PEDESTRIAN AASHTO H-20	STANDARD AASHTO H-20	SOLID AASHTO H-20	

SHEET

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 PROPERTIES, INC.
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 FAX (317) 286-0111
 CIVIL ENGINEERING

CONTRACT & CONDITIONS OF
 CONTRACT
 CONTRACT NO. 15-01
 PROJECT NO. 15-01
 SHEET NO. 15-01
 SEAL



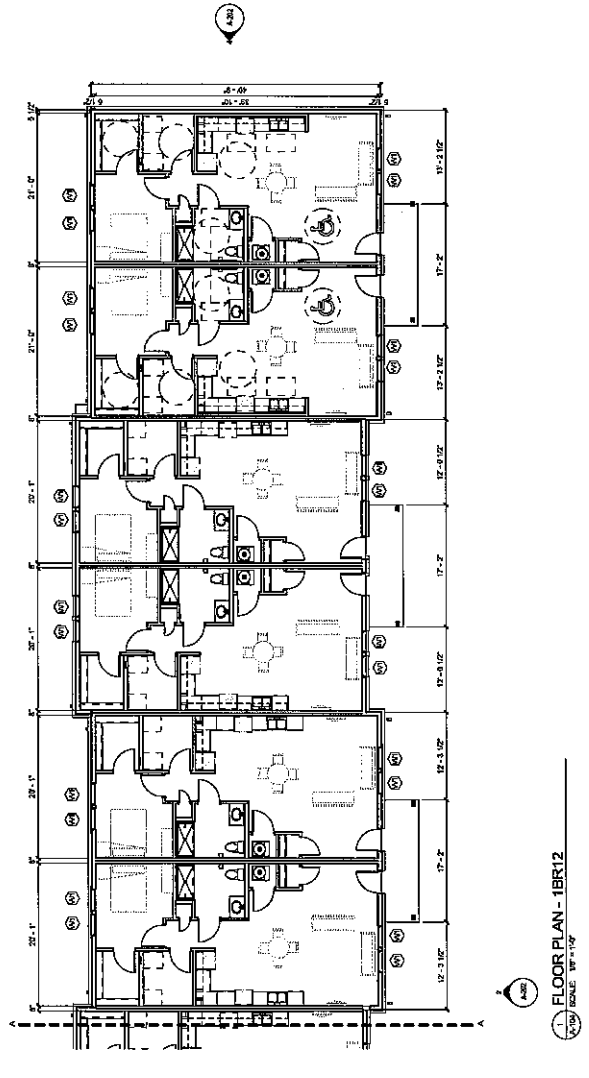
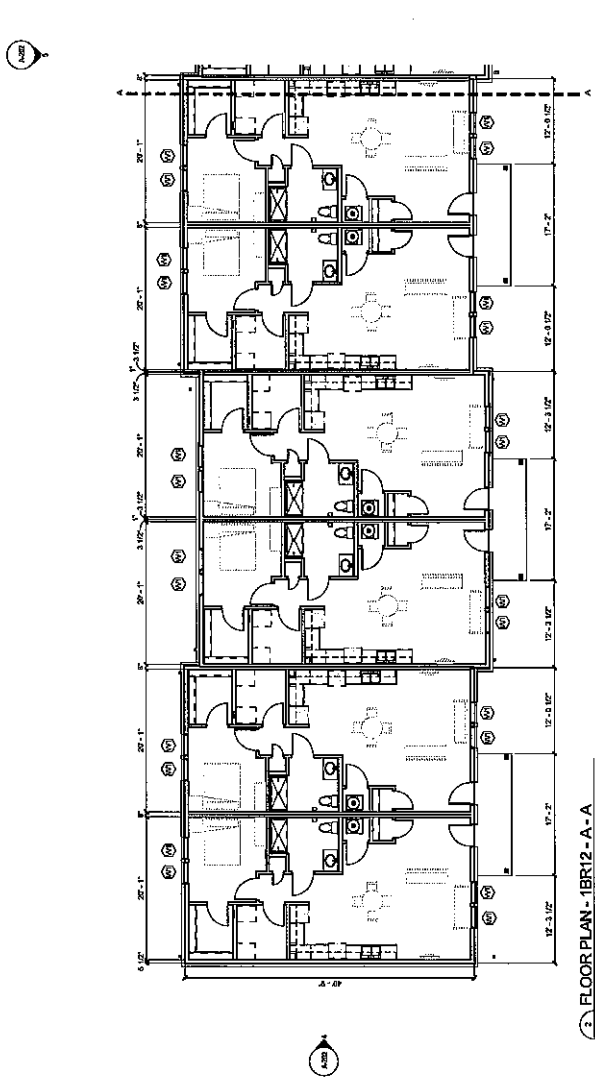
PROJECT TITLE
WOODLANDS
EDGE AT
FRANKLIN
 3709 W. COLLEGE AVENUE
 FRANKLIN, IN 46221

OWNER
 WOODLANDS/EDGE AT FRANKLIN, LP
 3709 W. COLLEGE AVENUE
 FRANKLIN, IN 46221

DESIGNED FOR
 DATE
 CHECKED BY
 DATE
 REVISIONS
 DATE
 DESCRIPTION
 DATE
 PROJECT NO. 15-01
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SHEET TITLE
FLOOR PLAN - 1BR12
 SHEET NUMBER

A-102



REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR CONSTRUCTION
3	ISSUED FOR AS-BUILT
4	ISSUED FOR FINAL
5	ISSUED FOR ARCHIVE
6	ISSUED FOR CANCEL
7	ISSUED FOR REVISION
8	ISSUED FOR CANCEL
9	ISSUED FOR REVISION
10	ISSUED FOR CANCEL

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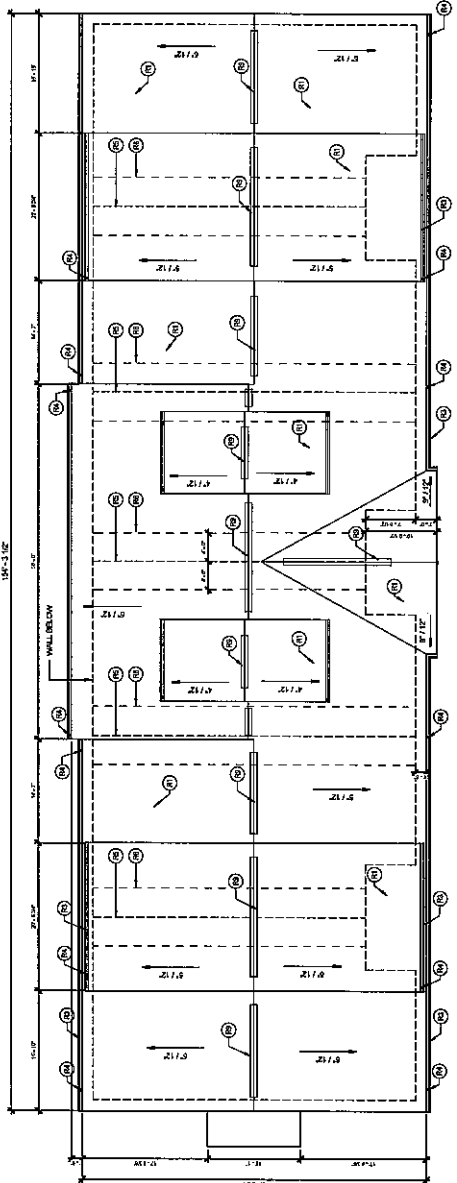
PROJECT TITLE
WOODLAND'S
EDGE AT
FRANKLIN
 3709 W. COLLEGE AVENUE
 FRANKLIN, IN 46231

OWNER
 WOODLAND'S EDGE AT FRANKLIN, LP
 3709 W. COLLEGE AVENUE
 FRANKLIN, IN 46231

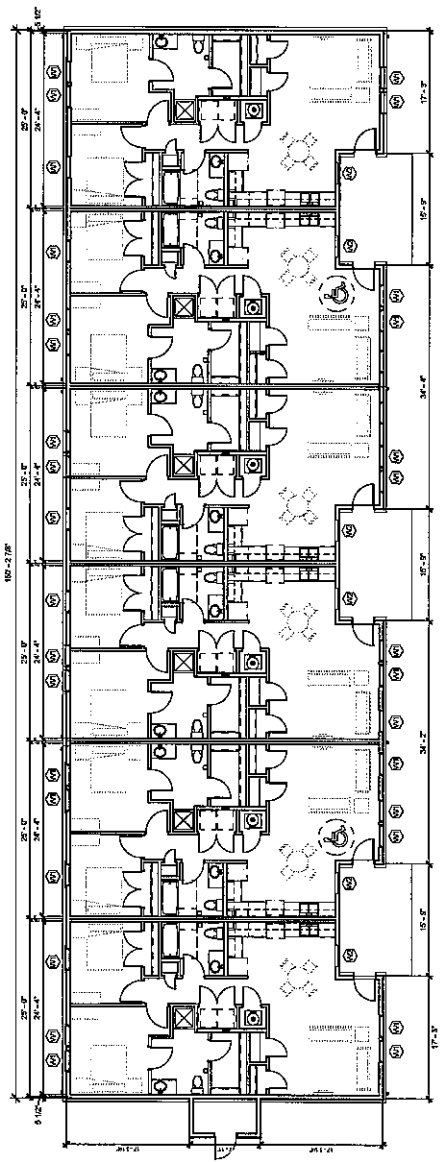
DATE	BY	REVISION
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10/1/2018	J. H. K.	ISSUED FOR FINAL
10/1/2018	J. H. K.	ISSUED FOR ARCHIVE
10/1/2018	J. H. K.	ISSUED FOR CANCEL
10/1/2018	J. H. K.	ISSUED FOR REVISION
10/1/2018	J. H. K.	ISSUED FOR CANCEL
10/1/2018	J. H. K.	ISSUED FOR REVISION
10/1/2018	J. H. K.	ISSUED FOR CANCEL

SHEET TITLE
FLOOR PLAN & ROOF
PLAN - 2BR6 BUILDING

SHEET NUMBER
A-106



1. ROOF PLAN - 2BR6
 2. SCALE: 1/8" = 1'-0"
 3. 10/1/2018
 4. J. H. K.



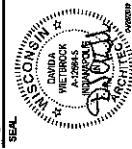
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 2. SCALE: 1/8" = 1'-0"
 3. 10/1/2018
 4. J. H. K.

REVISIONS	
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26	REVISIONS TO PERMIT
27	REVISIONS TO PERMIT

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FRANKLIN, IN 46221

OWNER
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3100 WOODLAND AVENUE
FRANKLIN, IN 46221

DESIGNER
HERMAN & KITTLE PROPERTIES, INC.
500 EAST 10TH STREET, SUITE 100
INDIANAPOLIS, IN 46202
(317) 646-3111

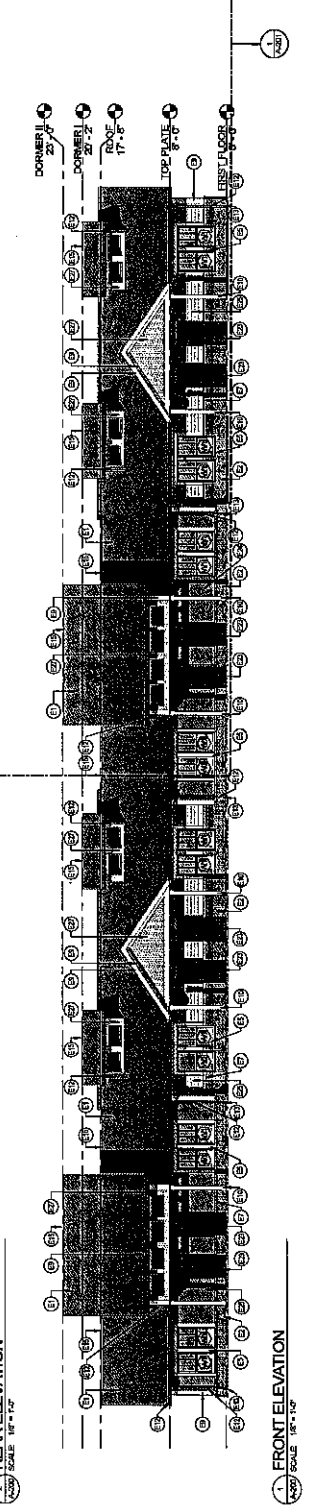
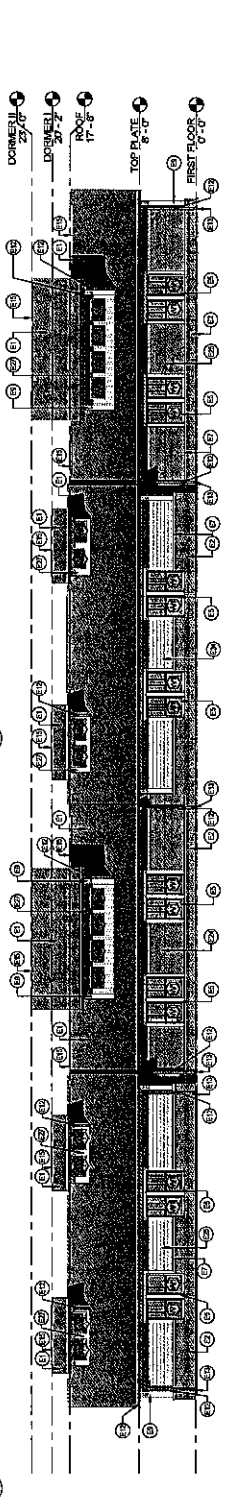
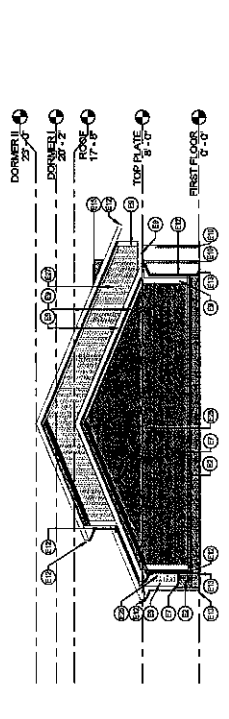
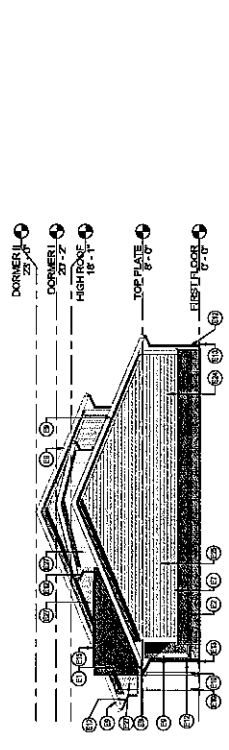
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24	10/1/2019	REVISIONS TO PERMIT
25	10/1/2019	REVISIONS TO PERMIT
26	10/1/2019	REVISIONS TO PERMIT
27	10/1/2019	REVISIONS TO PERMIT

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PROJECT NO.

1-01E

SHEET TITLE
EXTERIOR
ELEVATIONS 1BR8
SHEET NUMBER

A-200



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PROJECT TITLE
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FRANKLIN
 3739 W. COLLIER AVENUE
 FRANKLIN, IN 46221

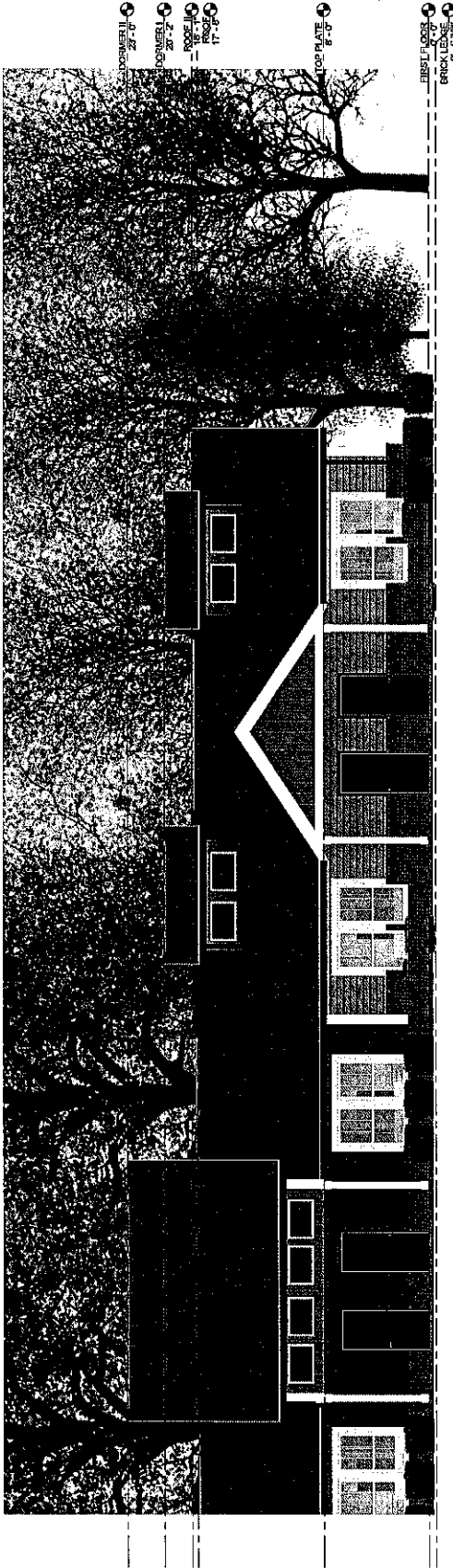
OWNER
 WOODLANDS EDGE AT FRANKLIN, LP
 3739 W. COLLIER AVENUE
 SUITE 200
 FRANKLIN, IN 46221

REVISION	DATE	BY	CHKD
1	10/15/2018	DAK	DAK

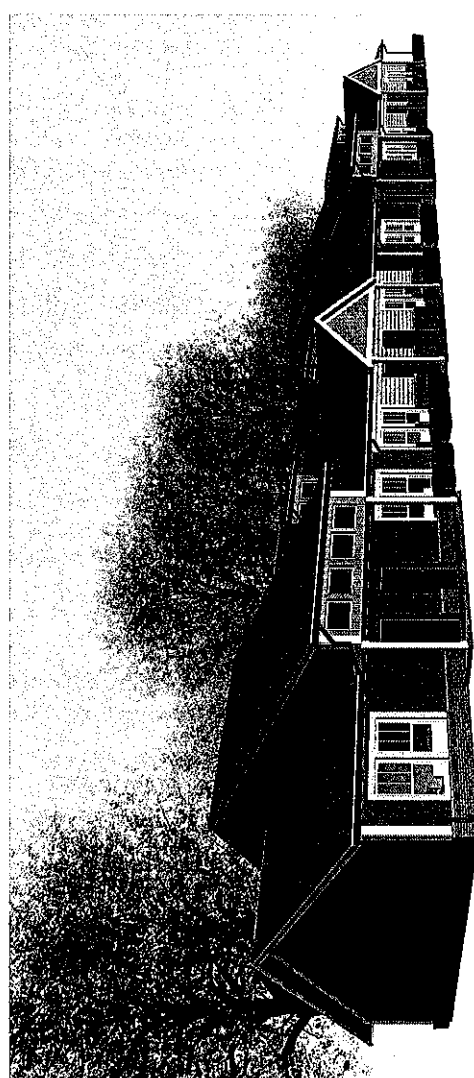
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SHEET TITLE
ENLARGED FRONT
ELEVATION 1B
BUILDING

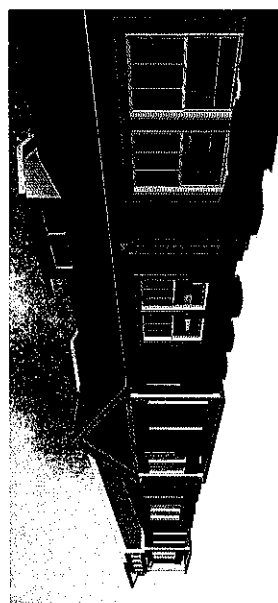
SHEET NUMBER
A-201



1 ENLARGE 1BFR8 FRONT ELEVATION
 1/2" = 1'-0"



1 1BFR8 - PERSPECTIVE VIEW
 1/2" = 1'-0"



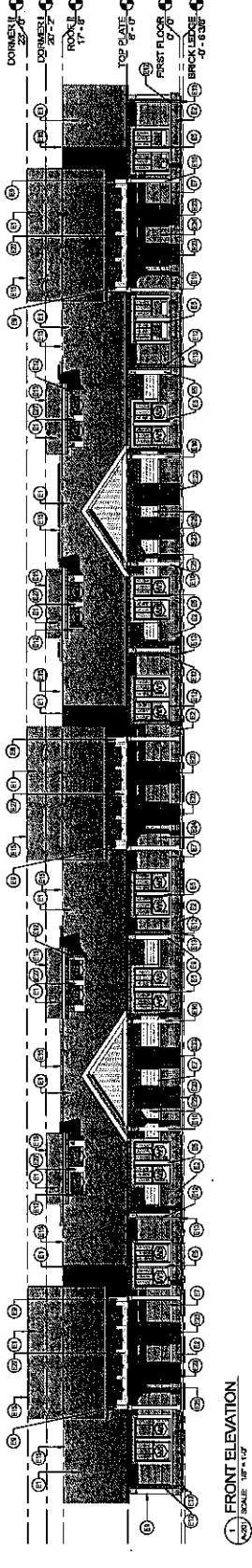
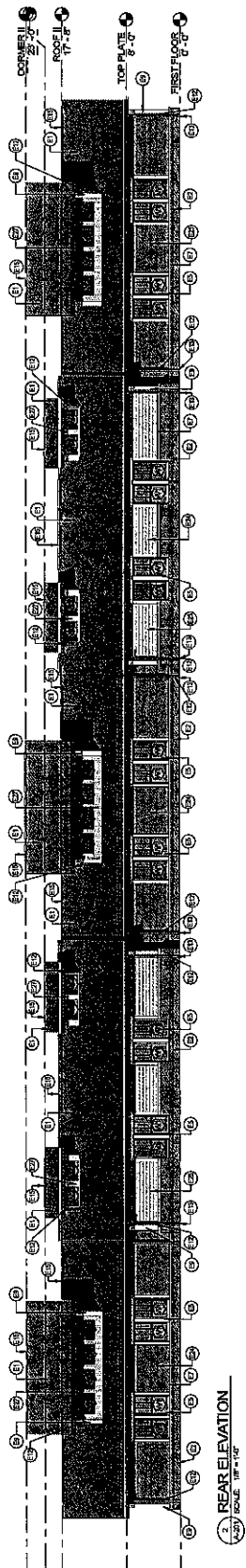
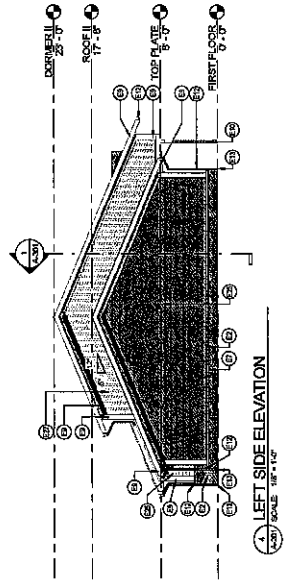
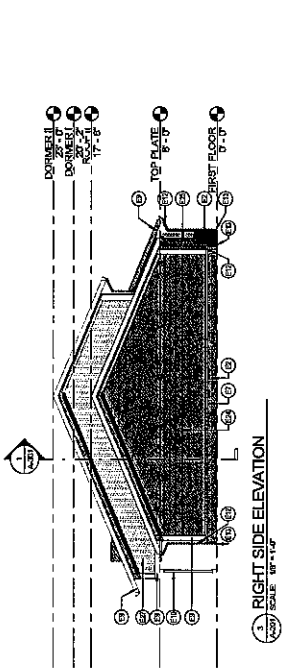
1 ENLARGE PERSPECTIVE VIEW
 1/2" = 1'-0"

Key	Notes
1	WOODLANDS EDGE AT FRANKLIN, INC.
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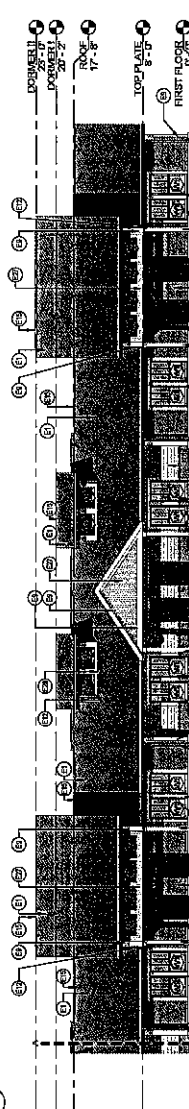
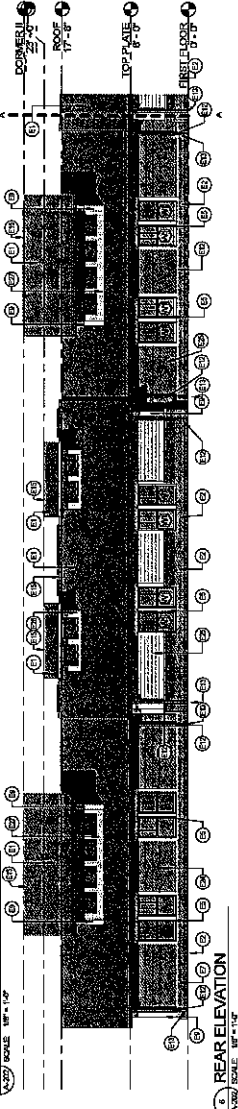
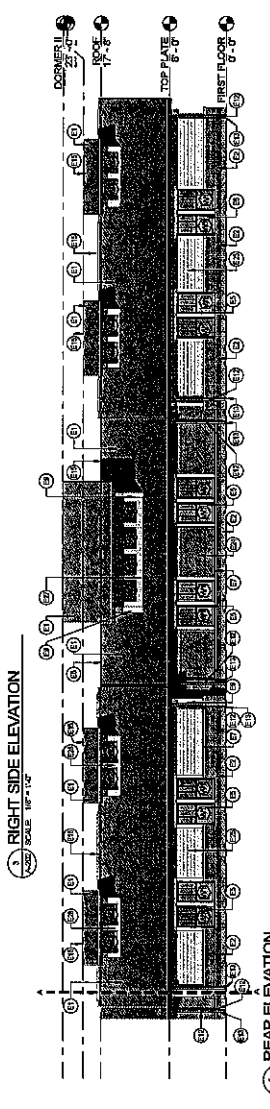
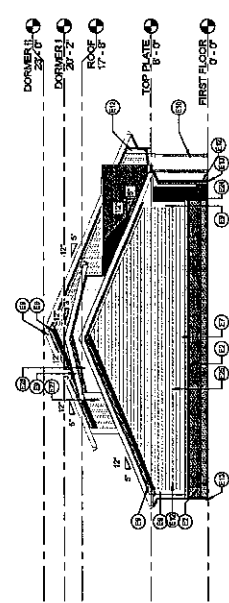
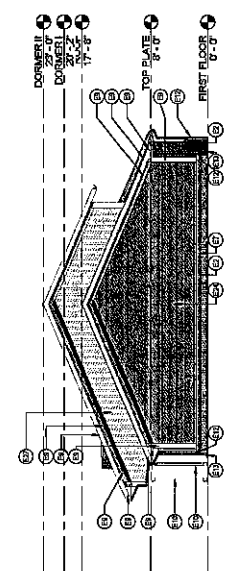
ARCHITECT OF RECORD
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PROPERTIES, INC.
500 East 94th Street, Suite 300
Indianapolis, IN 46240
(317) 944-1111
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CIVIL ENGINEERING

WOODLANDS
EDGE AT
FRANKLIN
FRANKLIN, IN 46201
PROJECT TITLE
WOODLANDS
EDGE AT
FRANKLIN
FRANKLIN, IN 46201
PROJECT NO.
17-05



NO.	REVISIONS	DATE
1	ISSUED FOR PERMIT	08/14/12
2	REVISIONS TO PERMIT	08/14/12
3	REVISIONS TO PERMIT	08/14/12
4	REVISIONS TO PERMIT	08/14/12
5	REVISIONS TO PERMIT	08/14/12
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27	REVISIONS TO PERMIT	08/14/12
28	REVISIONS TO PERMIT	08/14/12
29	REVISIONS TO PERMIT	08/14/12
30	REVISIONS TO PERMIT	08/14/12



Item No.	Description
1	FOUNDATION, EXISTING TO FIRST FLOOR - 4" THICK MASONRY
2	FOUNDATION, EXISTING TO FIRST FLOOR - 4" THICK MASONRY
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ARCHITECT OF RECORD
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(317) 865-2111
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CIVIL ENGINEERING

COPYRIGHT & OWNERSHIP OF DOCUMENT
WOODLAND'S
FRANKLIN
EDGE AT
3700 W. COLLINS AVENUE
FRANKLIN, IN 46221

PROJECT TITLE
WOODLAND'S
FRANKLIN
EDGE AT
3700 W. COLLINS AVENUE
FRANKLIN, IN 46221

SEAL
WOODLAND'S
FRANKLIN
EDGE AT
3700 W. COLLINS AVENUE
FRANKLIN, IN 46221

OWNER
WOODLAND'S
FRANKLIN
EDGE AT
3700 W. COLLINS AVENUE
FRANKLIN, IN 46221

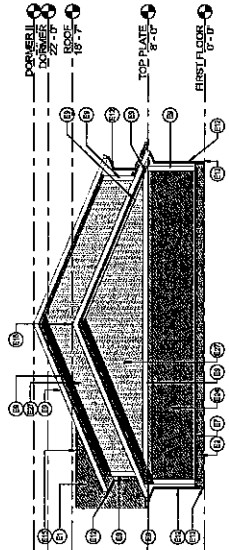
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REVISIONS
DATE
DESCRIPTION
DATE

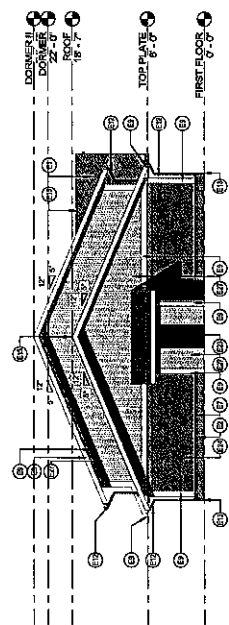
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PROJECT NO.
17-01

SHEET TITLE
2BR6 EXTERIOR
ELEVATIONS

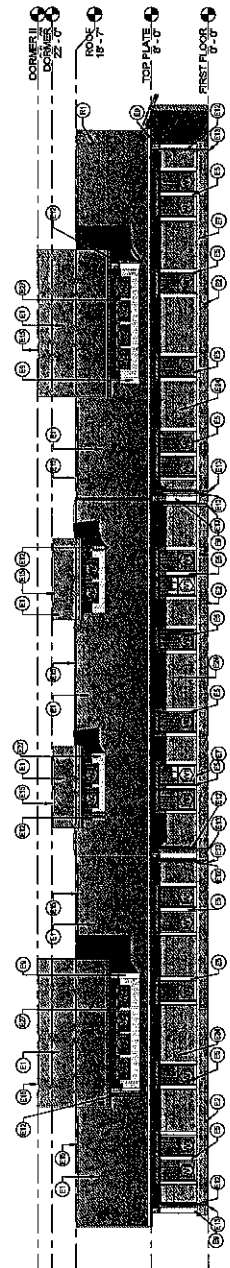
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A-204



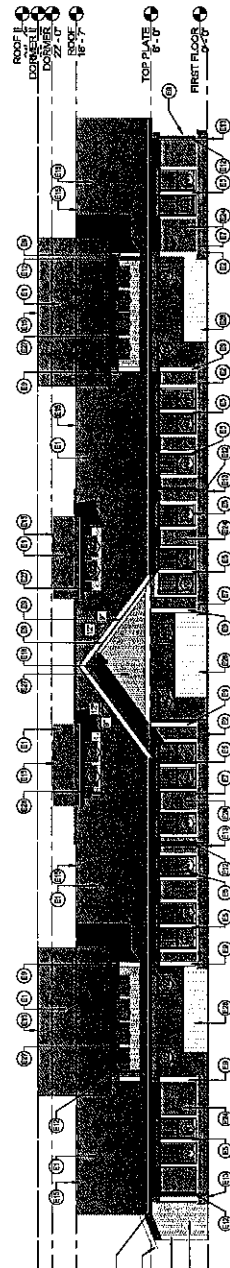
2BR6 - LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



2BR6 - RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



2BR6 - REAR ELEVATION
SCALE: 1/8" = 1'-0"



2BR6 - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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PROPERTIES, INC.
301 Oak Street, Suite 300
Baltimore, MD 21201
(410) 542-1111
www.hkproperties.com
CIVIL ENGINEERING

CONTRACT NO. 2018-001
PROJECT NO. 2018-001
SHEET NO. 2018-001
DATE: 10/1/2018
BY: J. KITTLE
CHECKED: J. KITTLE
APPROVED: J. KITTLE
SEAL

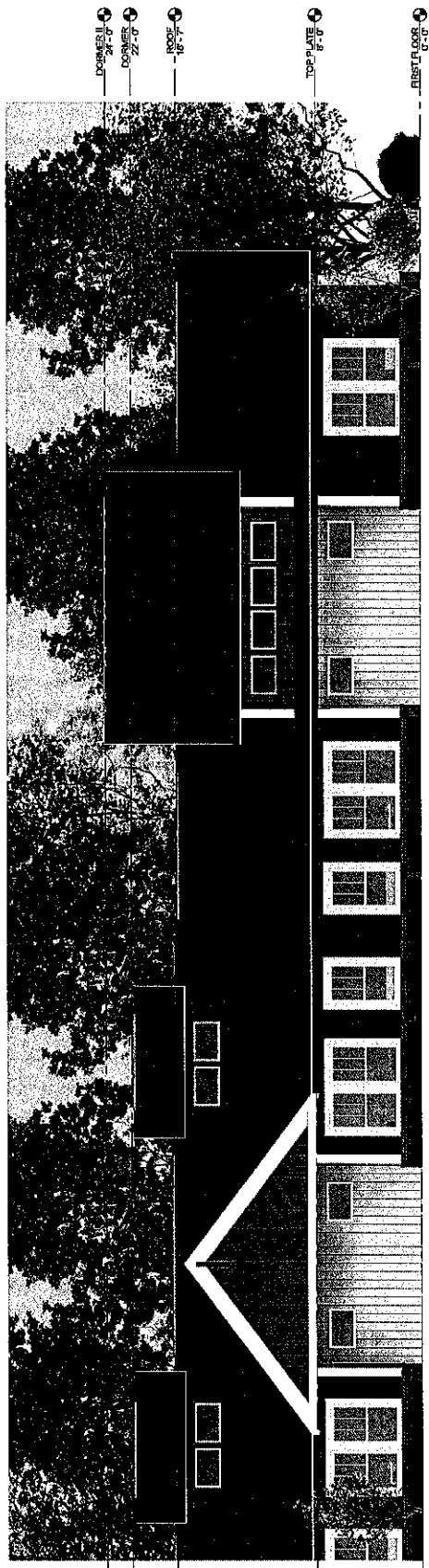
PROJECT TITLE
WOODLAND'S
EDGE AT
FRANKLIN

WOODLAND'S
EDGE AT
FRANKLIN
3700 W. COLLIER AVE
FRANKLIN, VA 22021

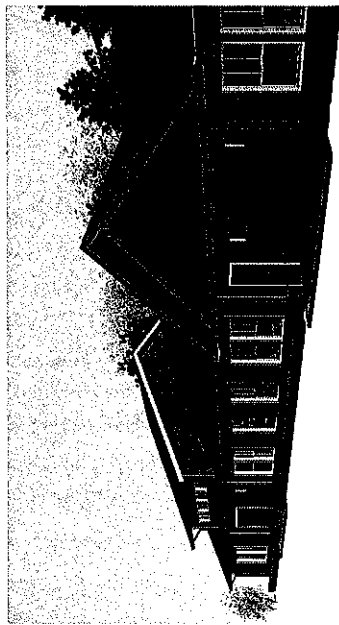
OWNER
WOODLAND'S EDGE AT FRANKLIN, LP
3700 W. COLLIER AVE
FRANKLIN, VA 22021
DATE: 10/1/2018
BY: J. KITTLE
CHECKED: J. KITTLE
APPROVED: J. KITTLE
REVISIONS
DATE
DESCRIPTION
DATE
DESCRIPTION
DATE
DESCRIPTION
DO NOT SCALE PRINTS - USE
FOURED DIMENSIONS ONLY
PROJECT NO. T-005

SHEET TITLE
ENLARGED
FRONT
ELEVATION - 2BR6
SHEET NUMBER

A-205



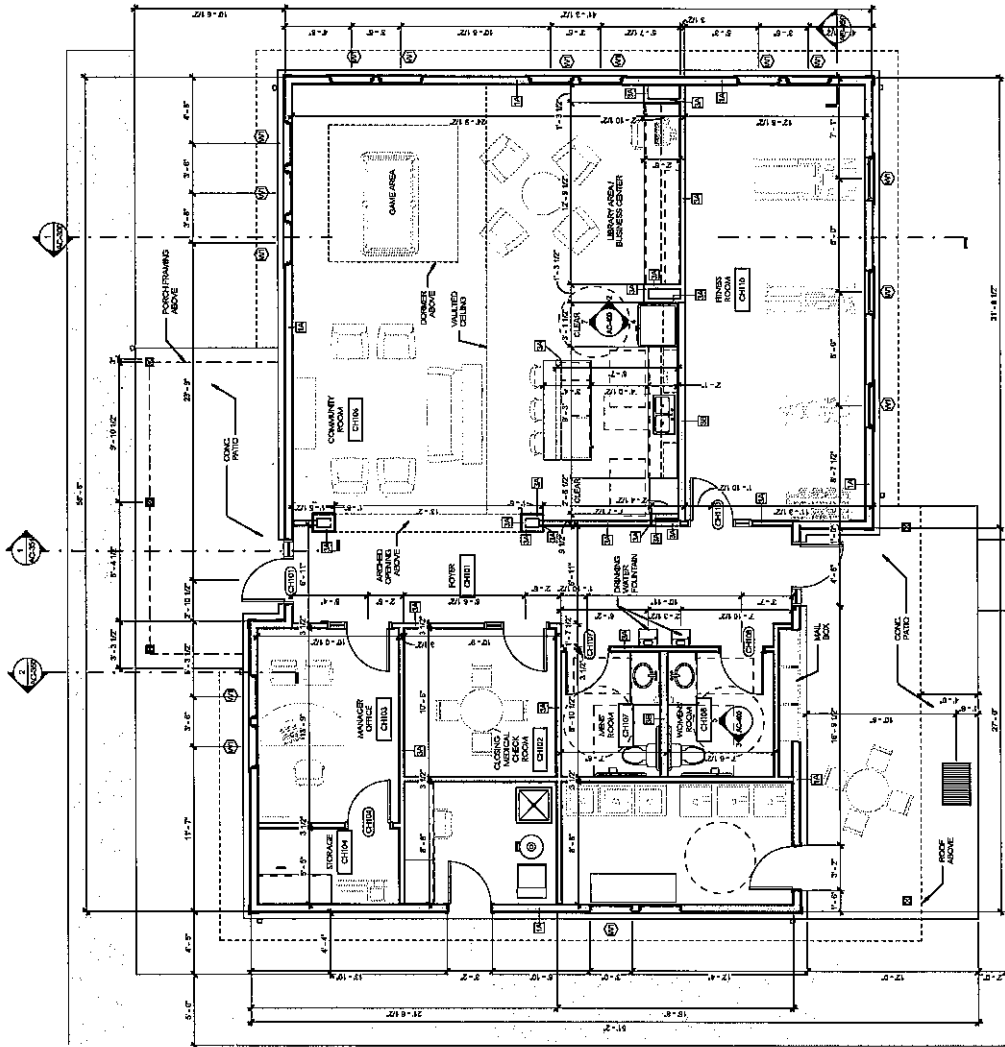
1. FRONT ELEVATION - ENLARGED
SCALE 1/8" = 1'-0"



2. PERSPECTIVE VIEW 2BR6 BUILDING - 2
SCALE 1/8" = 1'-0"



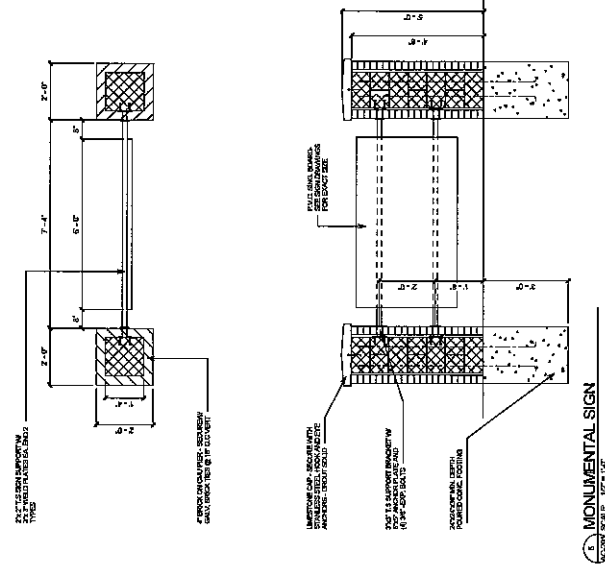
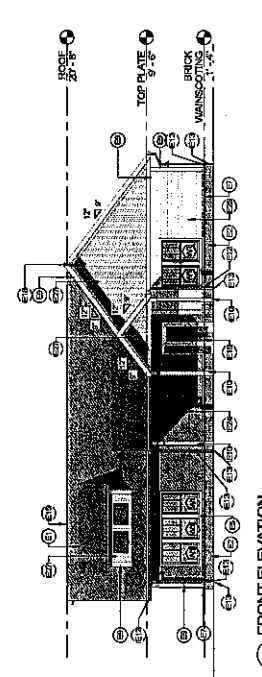
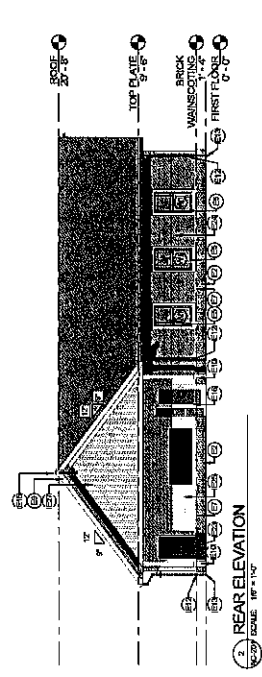
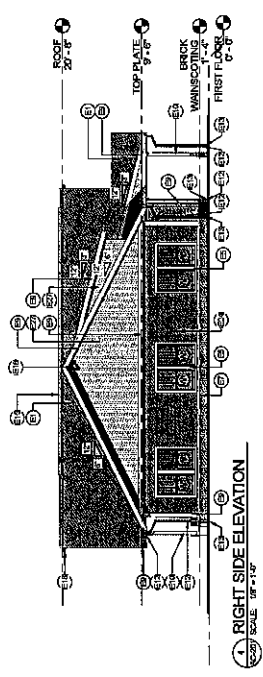
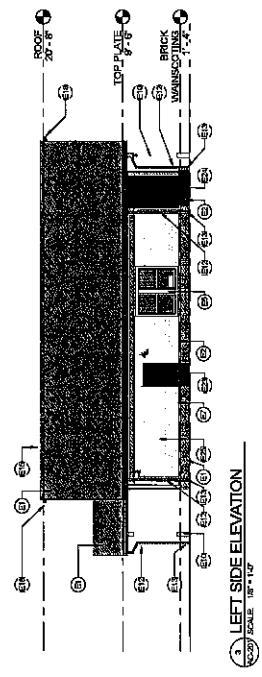
3. PERSPECTIVE VIEW 2BR6 BUILDING
SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

ELEVATION KEYNOTES

E1	DIMENSIONAL ASPHALT SHINGLE ROOF - 40 YEAR WARRANTY
E2	BRICK - KING SIZE - COLOR TO BE DETERMINED BY ARCHITECT
E3	VINYL WINDOWS W/ 3/4" DECORATIVE TRIM SURROUND - SEE WINDOW SCHEDULE
E4	1/2" ALUMINUM GUTTER & DOWNSPOUTS, PRE-FINISHED
E5	2X4 COMPOSITE "REAL COLUMN" PAINTED
E6	2X4 ALUMINUM GUTTER & DOWNSPOUTS, PRE-FINISHED
E7	2X4 ALUMINUM GUTTER & DOWNSPOUTS, PRE-FINISHED
E8	2X4 ALUMINUM GUTTER & DOWNSPOUTS, PRE-FINISHED
E9	2X4 ALUMINUM GUTTER & DOWNSPOUTS, PRE-FINISHED
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E25	2X4 ALUMINUM GUTTER & DOWNSPOUTS, PRE-FINISHED
E26	2X4 ALUMINUM GUTTER & DOWNSPOUTS, PRE-FINISHED
E27	2X4 ALUMINUM GUTTER & DOWNSPOUTS, PRE-FINISHED



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APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 06/04/19
REPORTS & RECOMMENDATIONS	AN ORDINANCE TO AMEND §15-3.0433 OF THE UNIFIED DEVELOPMENT ORDINANCE, PLANNED DEVELOPMENT DISTRICT NO. 28 (POLISH FESTIVALS, INC. – POLISH COMMUNITY CENTER) TO ALLOW FOR ADDITIONAL PARKING (POLISH HERITAGE ALLIANCE, INC., APPLICANT/PROPERTY OWNER) (6941 SOUTH 68TH STREET)	ITEM NUMBER <i>G. 7.</i>

At its May 23, 2019 meeting, the Plan Commission recommended approval of an ordinance to amend Section 15-3.0433 of the Unified Development Ordinance Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) to allow for additional parking, Polish Heritage Alliance, Inc., Applicant, for property bearing Tax Key No. 743-8978-004. (Polish Heritage Alliance, Inc., Applicant/Property Owner) (6941 South 68th Street).

COUNCIL ACTION REQUESTED

A motion to adopt Ordinance No. 2019-_____, an ordinance to amend Section 15-3.0433 of the Unified Development Ordinance Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) to allow for additional parking, Polish Heritage Alliance, Inc., Applicant, for property bearing Tax Key No. 743-8978-004. (Polish Heritage Alliance, Inc., Applicant/Property Owner) (6941 South 68th Street).

ORDINANCE NO. 2019-____

AN ORDINANCE TO AMEND §15-3.0433 OF THE UNIFIED
DEVELOPMENT ORDINANCE, PLANNED DEVELOPMENT
DISTRICT NO. 28 (POLISH FESTIVALS, INC. – POLISH COMMUNITY
CENTER) TO ALLOW FOR ADDITIONAL PARKING
(POLISH HERITAGE ALLIANCE, INC., APPLICANT/PROPERTY OWNER)
(6941 SOUTH 68TH STREET)

WHEREAS, §15-3.0433 of the Unified Development Ordinance provides for and regulates Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center), same having been created by Ordinance No. 99-1552 and later amended by Ordinance Nos. 04-1825 and 13-2122, such District being located at 6941 South 68th Street, bearing Tax Key No. 743-8978-004; and

WHEREAS, Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) includes those lands legally described as follows:

That part of the Northeast 1/4 and the Southeast 1/4 of the Southwest Quarter of Section 3, Township 5 North, Range 21 East in the City of Franklin, County of Milwaukee, State of Wisconsin described as Lot 1 of Certified Survey Map “CSM” 7544, recorded February 9, 2005 in the Milwaukee County Registry as Document Number 08955385; said Lot 1 being more particularly described following meets and bounds and map of said CSM as follows:

Commencing at the west 1/4 corner of said Section 3; Thence S00°25'13"E 1954.77 feet along the west line of said southwest quarter; Thence N89°26'56"E 150.00 feet; Thence N89°26'56"E 1179.95 feet to the west line of the Southeast 1/4 of the Southwest quarter of said Section 3; Thence N00°21'00"W along said west line 1.06 feet; Thence N89°26'56"E 521.27 feet to the Point of Beginning; Thence N00°22'25"W 287.59 feet; Thence N63°45'22"E 113.47 feet; Thence N43°08'18"E 18.03 feet; Thence N37°25'28"W 49.51 feet to a meander line; Thence N46°54'29"E 95.09 feet along said meander line; Thence S19°16'01"E away from said meander line 56.19 feet; Thence N53°13'03"E 40.03 feet; Thence N44°44'54"E 83.80 feet; Thence N39°06'42"E 48.52 feet; Thence N55°21'39"E 32.29 feet; Thence N69°24'54"E 75.37 feet; Thence N81°30'09"E 128.02 feet; Thence N64°15'44"E 34.28 feet; Thence N42°23'19"E 157.46 feet; Thence N71°17'14"E 58.47 feet; Thence N89°07'35"E 64.15 feet; Thence S00°16'46"E 790.53 feet; Thence S89°26'56"W 283.60 feet; Thence N00°16'46"W 60.00 feet; Thence S89°26'56"W 492.08 feet to the Point of Beginning; Together with all lands between said meander line and Kopmeier Lake; Containing

435,600 square feet (10.000 acres) more or less.

[This legal description was prepared by Timothy A. Hayes, PLS at the request of the City of Franklin for the May 10, 2019 Polish Heritage Alliance of Wisconsin, LLC, (6941 S 68th Street) submission to the Franklin Plan Commission. It is not intended to be a departure from the recorded CSM]; and

WHEREAS, Polish Heritage Alliance, Inc., having petitioned for an amendment to Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center), to allow additional parking spaces, in excess of the current number of parking spaces allowed by Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center), resulting in Site Plan changes and an application for a Site Plan Amendment for consideration by the Plan Commission concurrent herewith, upon property located at 6941 South 68th Street; and

WHEREAS, the City of Franklin Plan Commission having considered the application on the 23rd day of May, 2019, and the Plan Commission having determined that the proposed amendment was a minor amendment and having recommended to the Common Council that the proposed amendment to Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) be approved; and

WHEREAS, the Common Council having considered the application and having concurred with the recommendation of the Plan Commission and having determined that the proposed amendment to Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) is consistent with the 2025 Comprehensive Master Plan of the City of Franklin, Wisconsin and that it will promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0433 Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center), of the Unified Development Ordinance of the City of Franklin, Wisconsin, is hereby amended as follows:

Ordinance No. 99-1552, Section 15-3.0433 E. 5. B., is hereby amended to allow for additional parking spaces, in excess of the current number of parking spaces allowed by Planned Development District No. 28 (expansion of the easterly parking lot to create 36 new parking stalls, 360 feet of new curb and gutter, 122 feet of storm sewer, lights and grading work (12,687 square feet of additional paved asphalt surface),

removal of 28 existing trees which will be replaced with evergreen and canopy/shade trees, and construction of a new parking lot on the southwest side of the Polish Community Center to create 81 additional parking stalls, 367 feet of new curb and gutter, lights and grading work (29,641 square feet of new or replaced paved asphalt surface), 165 feet of storm sewer, and clear and grub 27,546 square feet of existing wooded area), which shall be located and constructed, and appear as respectively depicted upon and pursuant to those plans and Site Plan City date-stamped May 13, 2019, attached hereto and incorporated herein.

SECTION 2: The proposed Polish Community Center parking addition shall be completed within one year from the date of adoption of this Ordinance, or this Ordinance and all rights and approvals resulting therefrom shall be null and void without any further action by the City of Franklin.

SECTION 3: Polish Heritage Alliance, Inc., successors and assigns and any developer of the Polish Community Center parking addition project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Polish Community Center parking addition project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

SECTION 4: All other applicable terms and provisions of §15-3.0433 Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) not inconsistent with the terms of this Ordinance, and the Unified Development Ordinance of the City of Franklin, as amended from time to time, shall apply to the Polish Community Center parking addition project, and all terms and provisions of §15-3.0433 Planned Development District No. 28 (Polish Festivals, Inc. – Polish Community Center) as existing immediately prior to the adoption of this Ordinance and not amended by this Ordinance, shall remain in full force and effect.

SECTION 5: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

ORDINANCE NO. 2019-_____

Page 4

SECTION 6: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 7: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019, by Alderman _____.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

CITY OF FRANKLIN
REPORT TO THE PLAN COMMISSION
Meeting of May 23, 2019

Planned Development District Amendment and Site Plan Amendment

RECOMMENDATION: City Development staff recommends approval of the Planned Development District No. 28 Amendment and the Site Plan Amendment subject to the attached conditions of approval in attached draft ordinance.

Project Name:	Polish Community Center Parking Lot Expansion and Creation
Project Address:	6941 S. 68 th Street
Applicant:	Polish Festivals, Inc. – Polish Community Center
Property Owner:	Polish Festivals, Inc.
Current Zoning:	PDD Planned Development District No. 28 and FW Floodway District
2025 Comprehensive Plan:	Areas of Natural Resource Features
Use of Surrounding Properties:	Vacant developable land to the south, Vacant conservancy land to the north and west. S. 68 th St. and residential to the east.
Applicant's Action Requested:	Recommendation to the Common Council for approval of the proposed Planned Development District Amendment and Site Plan Amendment, with conditions of approval.

INTRODUCTION:

On June 1, 1999, the Common Council adopted Ordinance No. 99-1552 establishing Planned Development District No. 28 (Polish Festivals Inc.) to allow construction of a proposed Polish Community Center and a trail around Koepmeir Lake.

On April 3, 2019, the applicants submitted applications for Minor Planned Development District Amendment and subsequent Site Plan Amendment Application to accommodate plans for proposed expansion of the East parking lot (36 new stalls), and to establish a new southwest parking lot (81 stalls), with subsequent grading and removal of trees and additional lights within said expanded areas.

The applicant is requesting, with agreement from the Department of City Development staff, that the Plan Commission and Common Council determine the proposed amendment to be a Minor Amendment. It can be noted that Major PDD Amendments are typically reserved for changes to the exterior boundaries of a PDD or major changes of use.

Staff reviewed the plans and offered Staff comments to the applicants on April 19, 2019. The applicants are proposing amendments to their submittal, except for the landscaping component, which requires new parking lots to include provisions for landscaped islands, and elements contained within UDO Section 15-3.0300. Staff has proposed to the applicants the ability to utilize the

remaining seven 97) percent of the allotted thirty (30) percent of woodland disturbance permitted through the Natural Resource Protection Plan standards to count towards the landscaping provisions. There are no landscaping plans proposed by the applicants and staff is including conditions of approval which contain these elements. Should the Plan Commission desire to not recommend them, staff would advise the Commission to consider removing those conditions prior to recommending action to the Common Council.

CONCLUSION:

City Development staff recommends approval of the proposed PDD Amendment and Site Plan Amendment requests with conditions proposed on the included draft resolutions to the Common Council.



Date of Application: _____

PLANNED DEVELOPMENT DISTRICT (PDD) APPLICATION

Complete, accurate and specific information must be entered. Please Print.

Applicant (Full Legal Name(s)):

Name: Ken Skowronski

Company: Polish Heritage Alliance Inc

Mailing Address: 6941 South 68th Street

City / State: Franklin / WI Zip: 53132

Phone: 414-828-2140

Email Address: kskowronski@live.com

Project Property Information:

Property Address: 6941 South 68th Street

Property Owner(s): Polish Heritage Alliance Inc

Mailing Address: Same

City / State: Franklin / WI Zip: 53132

Email Address: kskowronski@polishfest.org

Applicant Is Represented by (contact person)(Full Legal Name(s))

Name: Tim Hayson

Company: Hayson Engineering Co. LLC

Mailing Address: 310 N Milwaukee Street, Suite 200

City / State: Milwaukee / WI Zip: 53202

Phone: 414-272-3260

Email Address: tim@haysonengr.com

Tax Key Map: 7430070004 00M7544 Lot 1

Existing Zoning: PDD No. 28

Existing Use: CLUB / LODGE / ASSOCIATION

Proposed Use: SAME

Future Land Use Identification: _____

*The 2023 Comprehensive Master Plan Future Land Use Map is available at: <http://www.franklinwi.gov/home/Resources/Documents/Map23.htm>

PDD submittal for review must include and be accompanied by the following:

☒ This Application form accurately completed with original signature(s). Facsimiles and copies will not be accepted.

☒ Application Filing Fee, payable to City of Franklin:

☐ \$6000, PDD New

☐ \$3300, PDD Major Amendment

☐ \$500, PDD Minor Amendment

☒ Legal Description for the subject property (WORD.doc or compatible format).

☒ Seven (7) complete collated sets of Application materials to include:

☒ One (1) original and six (6) copies of a written Project Summary, (description of the proposed development of the property to include the proposal's intent, impacts, and consistency with the Comprehensive Master Plan, any new building construction and site work, interior/exterior building modifications or additions to be made to property, site improvement costs, estimate of project value and any other information that is available.)

☒ Three (3) folded full size, drawn to scale copies (at least 24" x 36") of the Site Plan, Building Elevations, Landscape Plan, Outdoor Lighting Plan, Natural Resource Protection Plan, etc. (See Sections 15-7.0101, 15-7.0301, and 15-8.0402 of the UDO for information that must be denoted or included with each respective plan.)

☒ Four (4) folded reduced size (11"x17") copies of the Site Plan package.

☒ One colored copy (11"x17") of the building elevations, if applicable. N/A

☒ One copy of the Site Intensity and Capacity Calculations, if applicable (see Division 15-3.0500 of the UDO). N/A

☒ Three copies of the Natural Resource Protection Plan report, if applicable (see Section 15-4.0102 and 15-7.0201 of the UDO).

☒ Email (or CD ROM) with all plans/submittal materials. Plans must be submitted in both Adobe PDF and AutoCAD compatible format (where applicable).

*Upon receipt of a complete submittal, staff review will be conducted within ten business days.

*PDD and Major PDD Amendment requests require Plan Commission review, a public hearing, and Common Council approval.

*Minor PDD Amendment requests require Plan Commission review and Common Council approval.

The applicant and property owner(s) hereby certify that: (1) all statements and other information submitted as part of this application are true and correct to the best of applicant(s) and property owner(s) knowledge; (2) the applicant and property owner(s) has/have read and understand all information in this application; and (3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval. By execution of this application, the property owner(s) authorize the City of Franklin and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. § 941.31.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed owner(s) authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature(s) below. If more than one, all of the owners of the property must sign this Application).

Kenneth P Skowronski PRES
Signature - Applicant
Name & Title (PRINT)
Date: 4-2-19

Polish Heritage Alliance Inc
Signature - Property Owner
Name & Title (PRINT)
Date: 4/2/19

Kenneth P Skowronski PRES
Signature - Applicant
Name & Title (PRINT)
Date: 4-2-19

Samir
Signature - Applicant's Representative
Name & Title (PRINT)
Date: 4/2/19

Project Summary

Polish Heritage Alliance Inc.

Site Parking Improvements

Prepared by:

Hayes Engineering Co. S.C.
316 N Milwaukee Street, Suite 206
Milwaukee, WI 53202
414-272-3200

March 2019

Franklin

APR 03 2019

City Development

Existing conditions

The Polish Heritage Alliance Inc. (Polish Center) developed the parcel at 6941 South 68th Street in 1999/2000. The current site includes a 12,200+ square foot office and banquet building, parking and driveway accommodations for approximately 161 vehicles, a deteriorating 780+ square foot boat house, a 100+ square foot storage building, and a 26,500+ square foot storm water pond. The entire parcel is 10 acres more or less and part of the PDD No. 28 with the westerly 2+/- acres of woodlands with slopes ranging from 1% to +30%. Franklin Forestry Department has completed a site tree inventory for the above mentioned woodlands in November of 2018. The parcel generally slopes from northwest to southeast with the northerly edge of the property sloping steeply towards Koepmier Lake. Storm water runoff from parking areas is generally collected via curb and gutter and storm sewers discharging into the storm water basin.

The Polish Center legal boundary is Lot 1 of Certified Survey Map No. 7544 in the City of Franklin, Milwaukee County, WI.

The Polish Heritage Alliance has outgrown its original parking capacity of +/-161 stalls. The building is regularly used for events requiring more than the current parking allows. In addition the parking surfaces along with some of the concrete curb and gutter has reached a point of needing repair and or replacement. According the City of Franklin UDO, a building used for Clubs, Lodges or Associations should have one parking space for every 50-square feet of floor area. For a building of 12,200+ square feet there should be approximately 244 parking spaces, or 83 stalls more than currently exist on site.

Three parking improvement concepts were generated and two have been selected as presented in this summary to satisfy the needs of the Polish Center. They are denoted as the west parking improvements and east parking improvements.

East parking improvements

Extend the northeasterly parking area south and parallel to the existing parking. Grade and fill the topography to accommodate the new parking areas. Berm the final grades and plant new vegetation between the parking limits and the South 68th Street right of way creating screening for the adjacent residential neighbors. Similar berming and screening are in place currently and have satisfactorily screened the vehicle headlights from adjacent neighbors. Storm water runoff from the parking area would generally flow across proposed pavements to a perimeter curb and gutter ultimately draining into a new storm sewer system connecting to the existing storm sewer system and into the existing storm water basin.

This easterly parking improvements would generally require / create; 36 additional parking stalls, 360 feet of new curb and gutter, 12,687 square-feet of new paved asphalt surface, 122 feet of storm sewer, remove approximately 30 existing trees planted when the site was originally developed, install lighting and poles as required, and other subsurface items required for construction.

Trees adjacent to the proposed east improvements were planted at the time of construction in 1999/2000. These trees will be replaced on site at a 1:1 ratio (replanted:removed). 28 trees will be removed and replaced with 3" caliper evergreen and canopy/shade trees.

West parking improvements

Create a new parking area south and west of the existing turn around west of the main entrance. Grade and fill the topography to accommodate the new parking area. Limit the disturbance to the maximum extent practicable adjacent to the existing pond, woodland areas, and steep slopes. Storm water runoff from the parking area would generally flow across proposed pavements to a perimeter curb and gutter ultimately draining to the existing storm water basin.

This westerly parking improvements would generally require / create; 81 additional parking stalls, 367 feet of new curb and gutter, 29,641-square-feet of new or replace paved asphalt surface, 165-feet of storm sewer, clear and grub 27,546 square-feet of existing wooded area, install lighting and poles as required, and other subsurface items required for construction. Steep slope areas will be preserved at the percentages listed in the Franklin UDO. Replacement of existing trees according to Franklin UDO Part 4 will occur.

A historical woodland boundary provided by the City of Franklin is overlaid on the project site plans. A calculated historical woodlands area exists on site of 120,635 sf. An impact of 23.4% (28,310-square-feet, 0.65-acres) is proposed. Based upon Section 15-3.0433B.4.e of PDD 28 a replacement of two shade or evergreen trees for every 8" or larger tree removed will be required. 23 trees of this nature will be removed for the proposed improvements therefore 46 new trees will be planted on site meeting the above requirements. In addition, two evergreens planted in 1999/2000 will be removed and replaced as part of the west parking improvements.

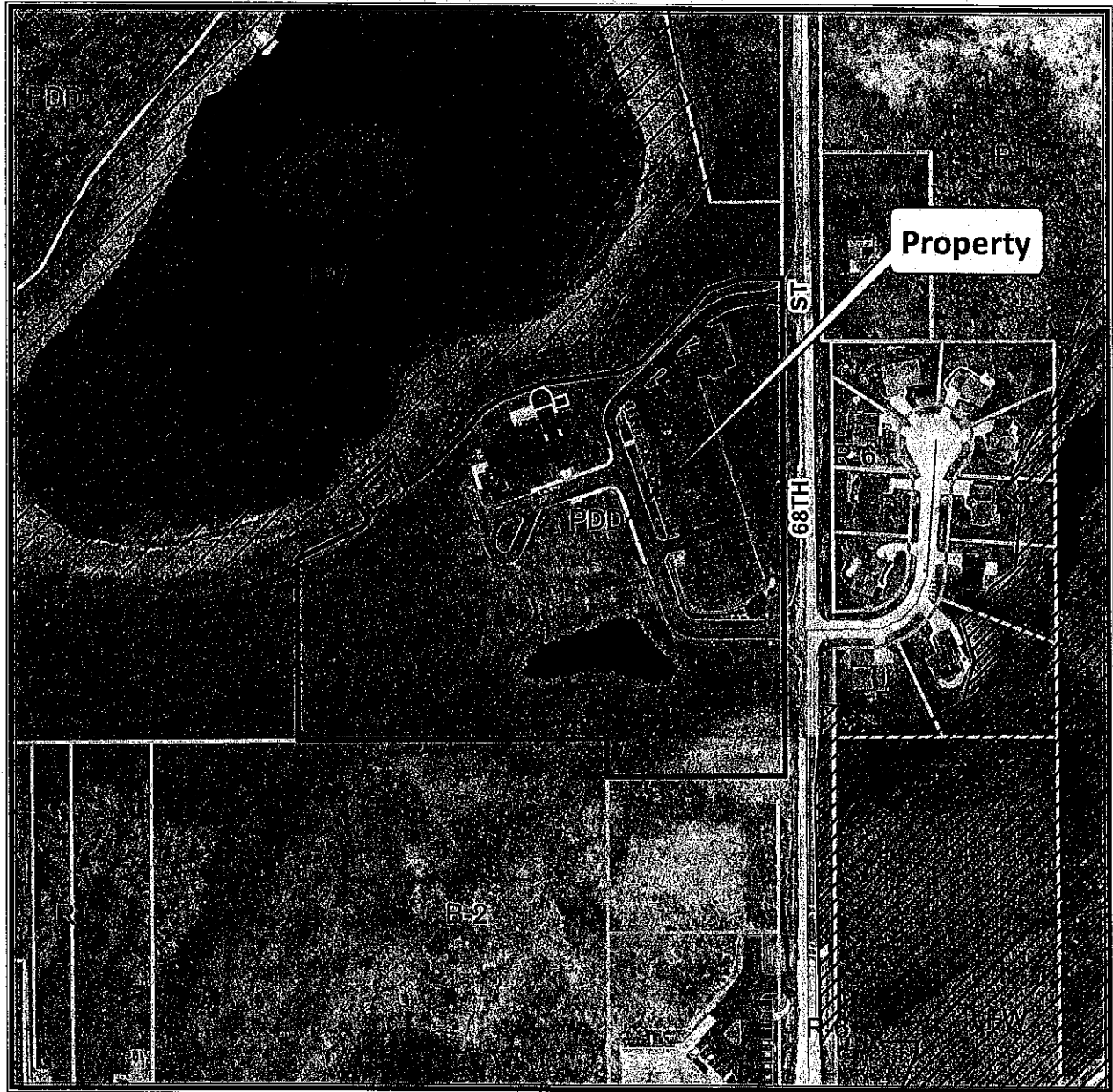
Steep slopes will be impacted by the west improvements. In the previously undisturbed areas there are 42,520-square feet of 10-19% slopes, 8,725-square feet 20-30% slopes, and 4,862-square feet of 30% or greater slopes. An impact to the steep slopes will be limited to 13,834-square feet of the 10-19% slopes (33%). Disturbance of slopes steep than 20% are not anticipated. Franklin UDO code Table 15-4.0100 (Non-residential) allows up to 40% of the 10-19% slopes to be disturbed.

General Site Improvements

In addition to the east and west improvements, areas of curb and gutter and pavement surfaces will be replaced as needed and budget allows.



6941 S. 68th Street
TKN: 743 8978 004



Planning Department
(414) 425-4024

0 155 310 620 Feet

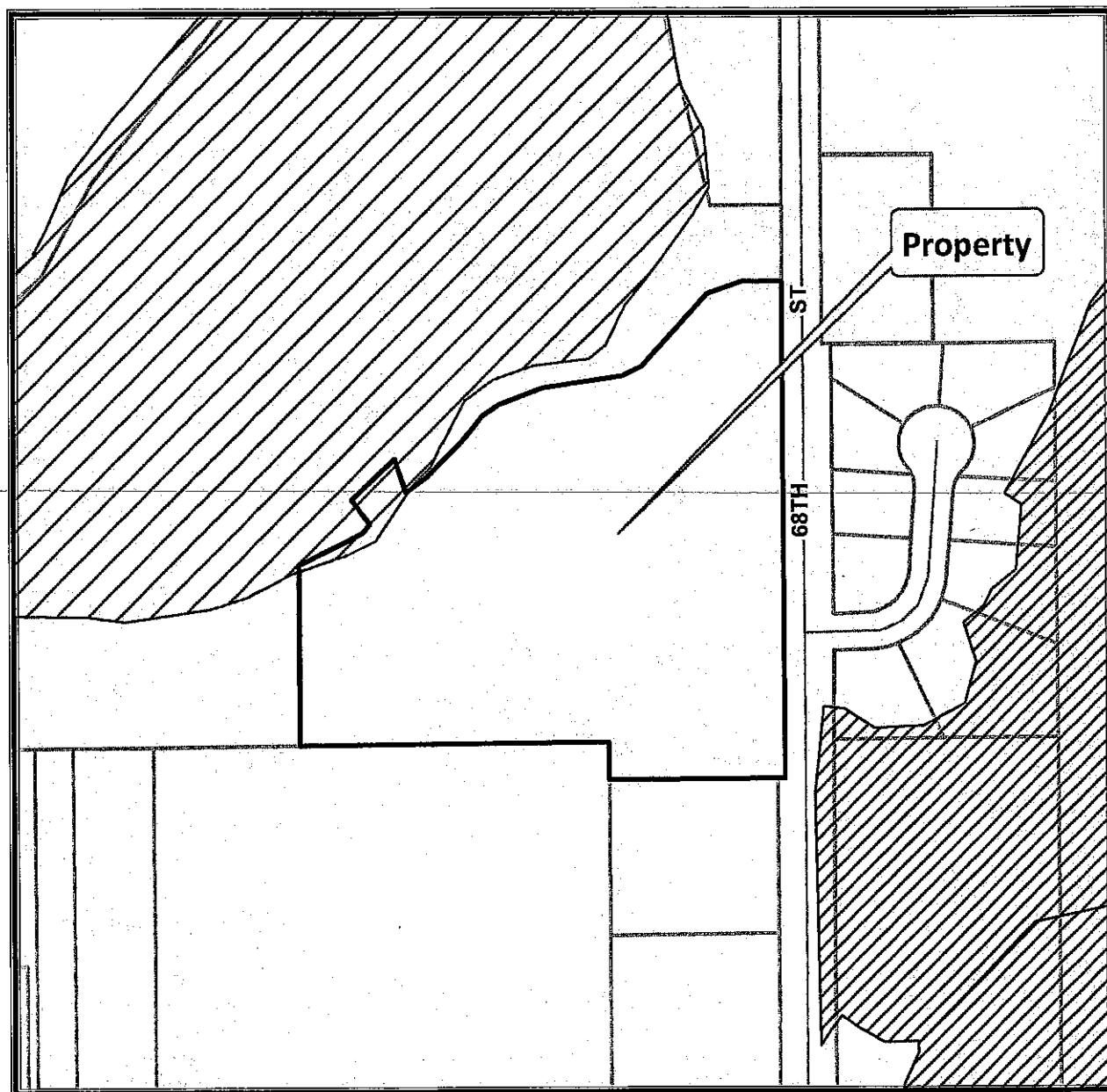
This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2017 Aerial Photo



6941 S. 68th Street
TKN: 743 8978 004



Planning Department
(414) 425-4024

0 155 310 620 Feet

This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.



2017 Aerial Photo

Subject: PDD No 28 Minor Site Amendment - Polish Center of WI

From: Jason Duehring <jason@hayesengr.com>

Date: 5/10/2019, 2:21 PM

To: generalplanning@franklinwi.gov

CC: "Hayes, Tim" <tim@hayesengr.com>, Ken Skowronski <kskowronski@live.com>, Jeff Kuderski <jkuderski@polishfest.org>

Franklin Planning Department Staff,

Hayes Engineering Co. S.C. (Hayes) on behalf of the Polish Heritage Alliance LLC (Polish Center) has substantially completed tasks listed in the Planning Department's "Staff Comments" for the PDD No. 28 Minor Amendment, Proposed Parking Lot Expansion AND Site Plan. We have attached materials relating to this submittal hereto and will drop off hard copies on Monday May 13th.

The Polish Center is requesting to stay on the Plan Commission agenda for May 23rd. Items relating to staff comments which are not included are regarding site landscaping, tree planting and site lighting. A lighting plan is currently being prepared by others. Representatives from the Polish Center would like to discuss the tree planting and landscaping requirements with the plan commission.

If you have any questions, please feel free to call. Thank you.

Jason

--

Jason K Duehring PE
Hayes Engineering Co. S.C.
316 N Milwaukee St, Suite 206
Milwaukee, WI 53202
414-272-3200

—Attachments:—

20190509-Polish Center Response to Staff Comments.pdf	318 KB
20190509-Polish Center Site Plan Amendment Plan Set.pdf	6.7 MB

Franklin

MAY 13 2019

City Development

Response to Staff Comments re: PDD minor site amendment

Hayes Engineering's responses / actions taken regarding Franklin staff comments are underlined in italics.

Unified Development Ordinance (UDO) Requirements

Site Plan

1. Please indicate the total size of the property, in square feet and in acres on the Site plan. (UDO 15-7.0103-E)

Parcel size has been added to sheet number 1.1b in acres and square-feet.

2. Please indicate the Soils Data (UDO 15-7.0103-E)

Soils boundaries have been overlayed onto the site plan (sheet 1.1b). Soil boundaries were obtained from the USDA, SCS Soil Survey of Milwaukee and Waukesha Counties.

3. Please indicate location of all Signs proposed with this Site Plan amendment and label accordingly (UDO 15-7.0103-I)

a. Please note that if a Sign Plan is not included at this time, separate City review and approval of any signage will be required.

Proposed signs are shown on sheet 5.0. Signs include a stop sign, reserved parking for handicap signs, and a no parking sign.

4. Please place the building and yard setbacks on the site plan (UDO 15-7.0103-M)

a. PDD No. 28 Setbacks: PDD Subsection E.5.c. calls out a need for all driveways and parking stalls to be at least 25 feet from all property lines.

Setbacks from the nearest property lines to edges of proposed parking improvements have been added to sheet 1.2. All parking areas are greater than 25-feet from property lines.

5. Please indicate if any fire hydrants are proposed with this project and include existing locations on the site plan (UDO 15-7.0103-O)

Additional fire hydrants are not proposed at this time. The single existing hydrant on site is located at the east end of the building, shown on sheet 1.1b (and others).

6. Please submit storm water management facility calculations that demonstrate how additional parking lot surface areas will meet or exceed City Requirements. (UDO 15-7.0103-P)

a. Please note that all stormwater management related information should be sent directly to the Engineering Department, to the attention of Sara Arnold.

Response to Staff Comments re: PDD minor site amendment

Site storm water calculations to satisfy MMSD, City of Franklin, and the Wisconsin DNR are completed and included as a separate plan set and summary. Stormwater permit materials have been submitted to the WDNR.

7. Please submit Site Intensity and Capacity Calculations worksheets under Division 15-3.0500 and Table UDO 15-3.0505.

a. Sample worksheets are attached.

Site intensity calculation worksheets (Table 15-3.0502, Table 15-3.0505) are attached.

8. Please submit a light intensity analysis showing compliance with maximum permitted illumination at property lines, satisfying Division 15-5.0401.2

Light poles are intended to match existing approved units. Light pole layouts are shown on sheet 5.0. Light intensity analysis is currently being prepared by others. When completed these plans will be submitted to the City for Review.

9. Please indicate the specifications for the lights proposed in the parking area, such as the overall height, and side profile information (UDO 15-5.0402)

Light poles are intended to match existing approved units. Light pole layouts are shown on sheet 5.0. Light intensity analysis is currently being prepared by others. When completed these plans will be submitted to the City for Review.

10. Please submit a snow storage plan pursuant to UDO Section 15-5.0210.

Snow storage locations and area calculations are shown on sheet 5.0.

11. Please indicate location of handicap stalls and proposed dimensions. There should be a minimum of 7 handicap stalls and signage resulting from the proposed 278 parking spaces. (UDO Table 15-5.0202(l) 1.)

a. Please note that staff will likely recommend that additional handicapped parking be provided.

Existing handicap parking stalls are noted on sheet 1.1b (and others). Two additional handicap stalls are proposed in the west parking improvements (sheet 3.0) for a total of 8 handicap stalls. Required parking stall calculations are shown on plan sheet 5.0.

12. Please indicate on the site plan that the planting height at installation of trees proposed along the East side of the property will be at least 6 feet tall and meet landscaping bufferyard requirements, providing for increasing the minimum prescribed by 20% as in Table 15-5.0302. Please demonstrate the bufferyard requirement minimums are met by showing calculations on the site plan.

Response to Staff Comments re: PDD minor site amendment

Landscaping and tree planting is not being submitted at this time. The Polish Center would like to discuss these requirements with the Plan Commission.

13. Please provide for additional Landscaping. All public off-street parking areas which serve five vehicles or more and are created or redesigned and rebuilt subsequent to the adoption of this Ordinance shall be provided with accessory landscape areas meeting all applicable requirements of Division 15-5.0300 of the Unified Development Ordinance. Please show the table calculations on the site plan.

Landscaping and tree planting is not being submitted at this time. The Polish Center would like to discuss these requirements with the Plan Commission.

14. Please provide for landscaping islands and subsequent landscaping plan for new parking areas per UDO Section 15-3.0354 Sections A,B,C,D. Please show the table calculations on the site plan. See also note number (18) below.

Landscaping and tree planting is not being submitted at this time. The Polish Center would like to discuss these requirements with the Plan Commission.

Engineering

15. Due to MMSD Chapter 13 revisions that went into effect on April 1, 2019, storm water management is required for new impervious surfaces that cumulatively add up to 5,000 square feet. This proposal exceeds that threshold so storm water management is required. Please submit a full set of Engineering and storm water management plans, per City of Franklin Engineering Standards.

Site storm water calculations to satisfy MMSD, City of Franklin, and the Wisconsin DNR are completed and included as a separate plan set and summary. Stormwater permit materials have been submitted to the WDNR.

16. It is unclear from the materials how many square feet will be disturbed with the proposed development. Please indicate on the site plan. If the cumulative disturbed area is greater than one acre, City and DNR storm water requirements will need to be met. If the disturbance is below an acre, a Land Disturbance permit from the City of Franklin Engineering office will be required.

Total disturbed area is estimated to be 66,970 square-feet (included on sheet 3.0). A WDNR storm water discharge permit will be required and has been submitted to the WDNR. Approval from the state will be forwarded to the City when received.

General PDD Requirements

17. Please submit Maximum Site Intensity and Density Standards. Maximum site intensity and density standards in the PDD Planned Development District shall not exceed those set forth in Table 15-3.0402C. Individual uses and structures in a PDD Planned Development District shall comply with the specific use, building location,

Response to Staff Comments re: PDD minor site amendment

height, building size, gross and net floor area (GFAR and NFAR), lot size, open space ratio (OSR), and landscape surface ratio (LSR) requirements as set forth by the City Plan Commission as conditions and restrictions of approval, and approved by the Common Council. (UDO Section 15-3.0403.C)

Worksheet for the calculation of site intensity and capacity for nonresidential development (Table 15-3.0505) is attached. Only steps 1 and 2 apply to these proposed improvements. No building additions are planned at this time.

Other Staff Recommendations and Suggestions

18. Be advised Staff is aware of the existing trees surrounding the property and is investigating to give some credit to the aforementioned landscaping requirements for the exterior areas surrounding the parking lots mentioned in item number 14 above. Specifically, the area to the west of the West parking lot has trees proposed to be retained. We will ask that you please encompass approx. 7 percent of the woodland area for consideration, and Staff can review the contents of this woodland area to possibly satisfy the landscaping standards. Staff will conclude the investigation with a report delivered to the applicant and may recommend additional landscaping for parking lots, depending on the results.

Fire Department Staff Comments

No Comments.

Police Department Staff Comments

No Comments.

**WORKSHEET FOR THE CALCULATION OF BASE SITE AREA
FOR BOTH RESIDENTIAL AND NONRESIDENTIAL DEVELOPMENT**

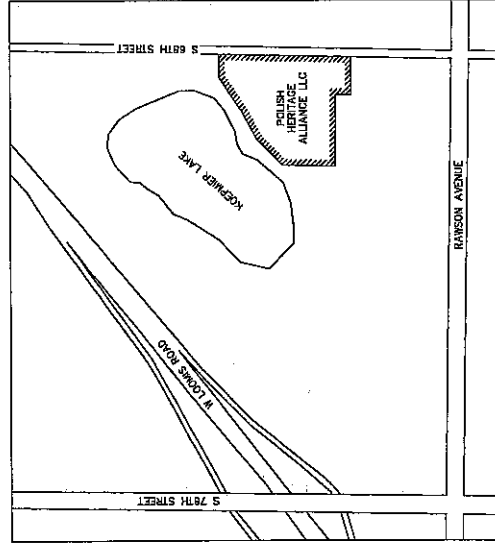
STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	10.00 acres
STEP 2:	Subtract (-) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, the rights-of-way of major utilities, and any dedicated public park and/or school site area.	- 0 acres
STEP 3:	Subtract (-) land which, as a part of a previously approved development or land division, was reserved for open space.	- 0 acres
STEP 4:	In the case of <i>"Site Intensity and Capacity Calculations" for a proposed residential use</i> , subtract (-) the land proposed for nonresidential uses; <i>or</i> In the case of <i>"Site Intensity and Capacity Calculations" for a proposed nonresidential use</i> , subtract (-) the land proposed for residential uses.	- 0 acres
STEP 5:	Equals "Base Site Area"	= 10.00 acres

**WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND
CAPACITY FOR NONRESIDENTIAL DEVELOPMENT**

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>10.00</u> Multiple by Minimum <i>Landscape Surface Ratio (LSR)</i> (see specific zoning district LSR standard): X <u>0.45</u> Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE =	4.50 acres
STEP 2:	CALCULATE NET BUILDABLE SITE AREA: Take <i>Base Site Area</i> (from Step 5 in Table 15-3.0502): <u>10.00</u> Subtract <i>Total Resource Protection Land</i> from Table 15-3.0503 or <i>Minimum Required Landscape Surface</i> (from Step 1 above), whichever is greater: - <u>4.50</u> Equals NET BUILDABLE SITE AREA =	5.50 acres
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE: Take <i>Net Buildable Site Area</i> (from Step 2 above): _____ Multiple by Maximum <i>Net Floor Area Ratio (NFAR)</i> (see specific nonresidential zoning district NFAR standard): X _____ Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =	N/A acres
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE: Take <i>Base Site Area</i> (from Step 5 of Table 15-3.0502): _____ Multiple by Maximum <i>Gross Floor Area Ratio (GFAR)</i> (see specific nonresidential zoning district GFAR standard): X _____ Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =	N/A acres
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE: Take the <i>lowest</i> of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above): (Multiple results by 43,560 for maximum floor area in square feet):	acres (<u>N/A</u> s.f.)

Parking and Site Improvements

Polish Center of Wisconsin



Site Plan Amendment
Planned Development District Amendment
5-9-2019

OWNER
Polish Heritage Alliance LLC
6941 S 68th Street
Franklin, WI 53132

OWNER'S CONTACT
Ken Skowronski
414-803-5542

ENGINEER
Hayes Engineering Co. S.C.
Timothy A. Hayes P.E.
316 N Milwaukee Street
Suite 206
Milwaukee, WI 53202

Sheet Index	1.0
Cover	
Site Plans	
Existing Conditions (Aerial)	1.1a
Existing Conditions	1.1b
Proposed Improvements	1.2
Natural Resource Protection	
Natural Resources	1.3
Tree Preservation	1.4
Steep Slope Preservation	1.5
Site Plans	
Cross Sections	2.0
Site Improvements	3.0
Outdoor Lighting Plan	5.0

LEGEND

Buried electrical	— E — E —
Buried phone	— ATT/P —
Designated wetland
Disturbance limits	— — — — —
Edge of tree disturbance	— — — — —
Existing grades major	— — — — —
Existing grades minor	— — — — —
Gas main	— GAS —
Iron pipe found	•
Historical woodland	— — — — —
Meander line	— — — — —
Proposed contour major	— — — — —
Proposed contour minor	— — — — —
Property line	— — — — —
Rip rap	— — — — —
Site fence	— — — — —
Soils type boundary	— — — — —
Storm sewer/pipe	— — — — —
Storm runoff catchment	— — — — —
Steep slopes disturbed	— — — — —
Tree line	— — — — —
Trees deciduous	— — — — —
Trees coniferous	— — — — —
Water edge	— — — — —
Water main	— — — — —
Wetland buffer	— — — — —

PRELIMINARY
CONTRACTOR RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND
CONFIRMING PRIVATE LINE LOCATES BY OWNERS LOCATION

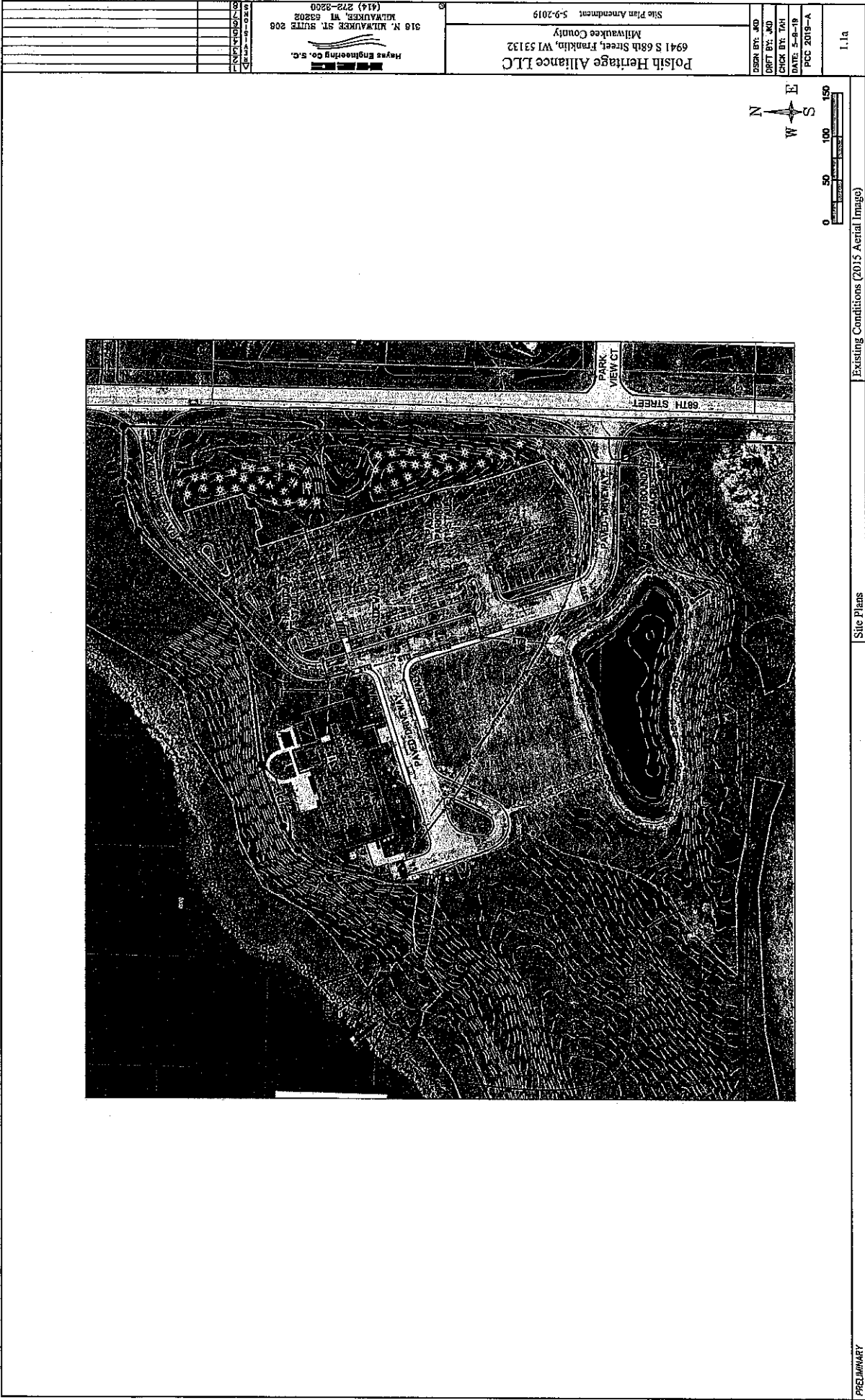
Cover

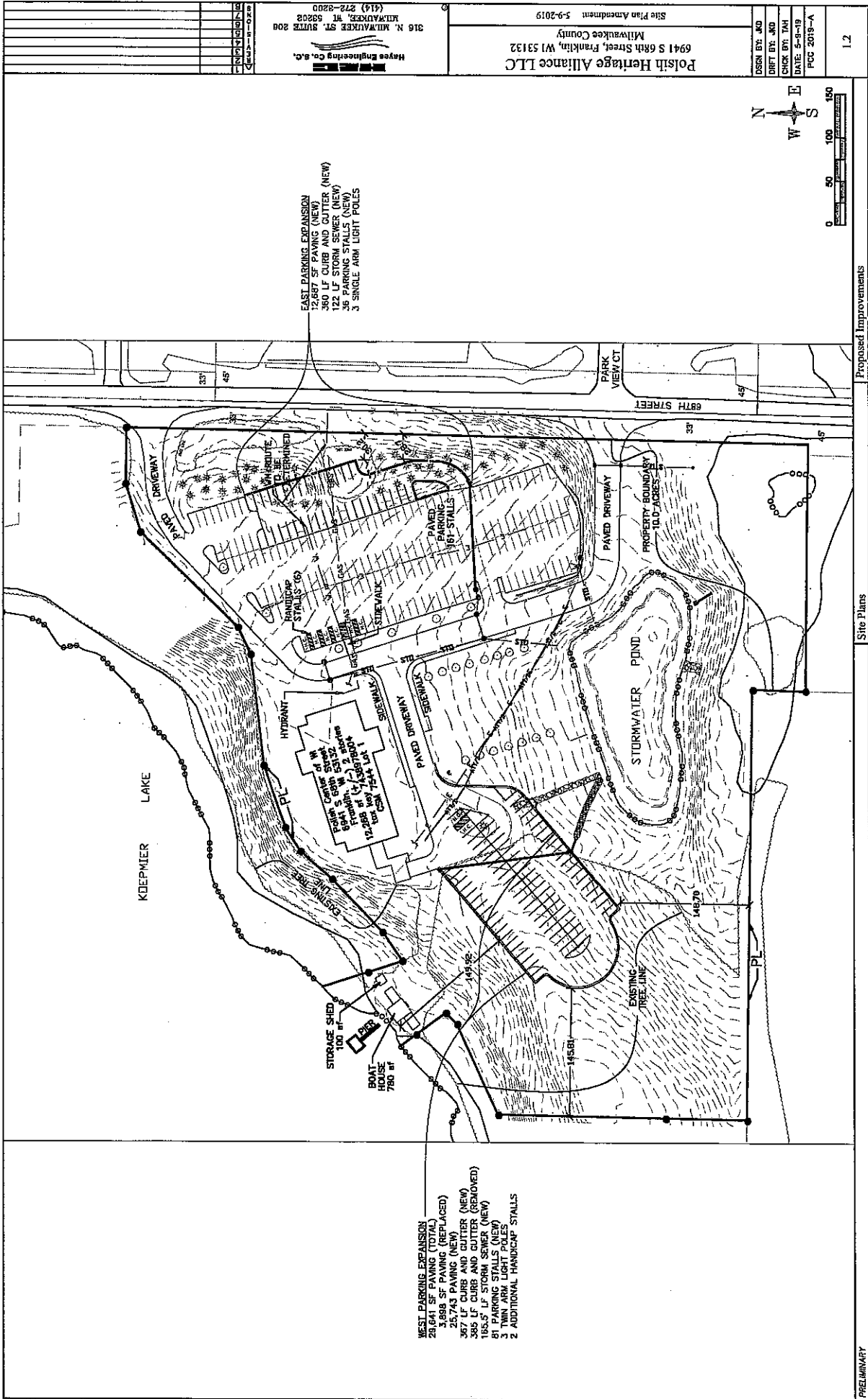
1.0

Polish Heritage Alliance LLC
6941 S 68th Street, Franklin, WI 53132
Milwaukee County
Site Plan Amendment 5-9-2019

Hayes Engineering Co. S.C.
316 N. MILWAUKEE ST. SUITE 206
MILWAUKEE, WI 53202
(414) 872-9800

DESIGN BY: AKO
CHECK BY: AKO
DATE: 5-9-19
PCC 2019-A





Proposed Improvements

Site Plans

PRELIMINARY
 CONTRACTOR RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND
 CONFIRMING PRIVATE LINE LOCATES BY OWNERS LOCATOR

Polish Heritage Alliance LLC
 6941 S 68th Street, Franklin, WI 53132
 Milwaukee County
 Site Plan Amendment 5-9-2019

Hayes Engineering Co., s.c.
 316 N. MILWAUKEE ST. SUITE 200
 MILWAUKEE, WI 53202
 (414) 272-8200

DESIGN BY: JMD
 CHECK BY: JMD
 DATE: 5-9-19
 PCC 2018-A

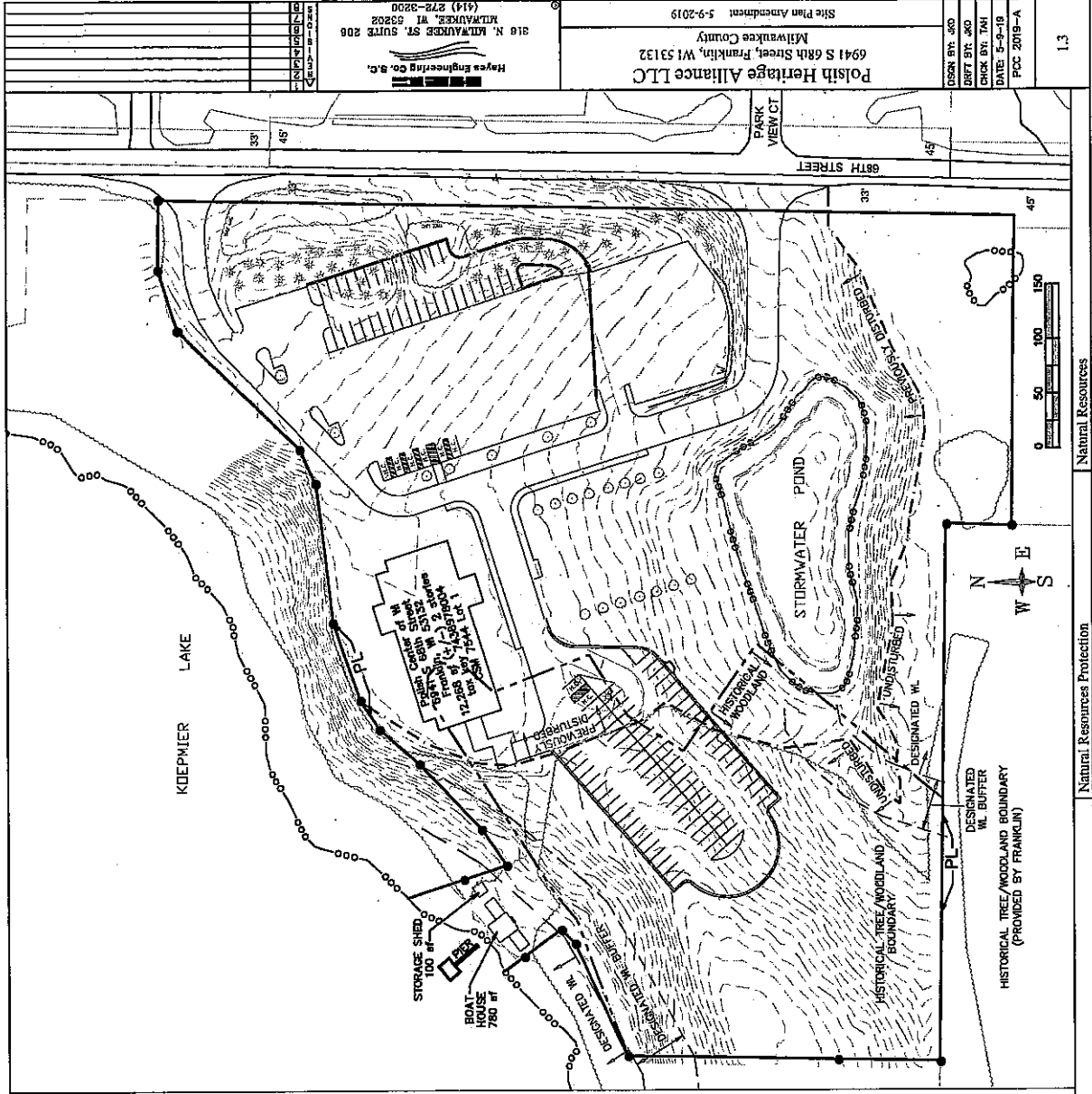
PREVIOUSLY UNDISTURBED AREAS
 SLOPES AREA(SF) PROTECTION STANDARD
 10-15% 42,520 40%
 16-30% 14,185 60%
 30%+ 4,882 80%

HISTORICAL TREE/WOODLAND BOUNDARY
 120,635 SF (*)

DESIGNATED WETLANDS
 (BOUNDARY PROVIDED BY FRANKLIN)
 NO IMPACT

DESIGNATED WETLAND BUFFER
 (BOUNDARY PROVIDED BY FRANKLIN)
 NO IMPACT

* HISTORICAL WOODLAND BOUNDARY PROVIDED BY FRANKLIN. AREA OF HISTORICAL WOODLANDS
 CALCULATED BY HAYES ENGINEERING



PRELIMINARY
 CONTRACTOR RESPONSIBLE FOR CONTACTING AGENCIES UPTIME AND
 CONFIRMING PRIVATE LINE LOCATES BY OWNERS LOCATION

Natural Resources Protection

Natural Resources

1.3

DATE: 5-9-18
 POC: 2018-A
 CHECK BY: TMI
 DRAFT BY: JAO
 CHECK BY: JAO

Polish Heritage Alliance LLC
 6941 S 68th Street, Franklin, WI 53132
 Milwaukee County
 Site Plan Amendment: 5-9-2019

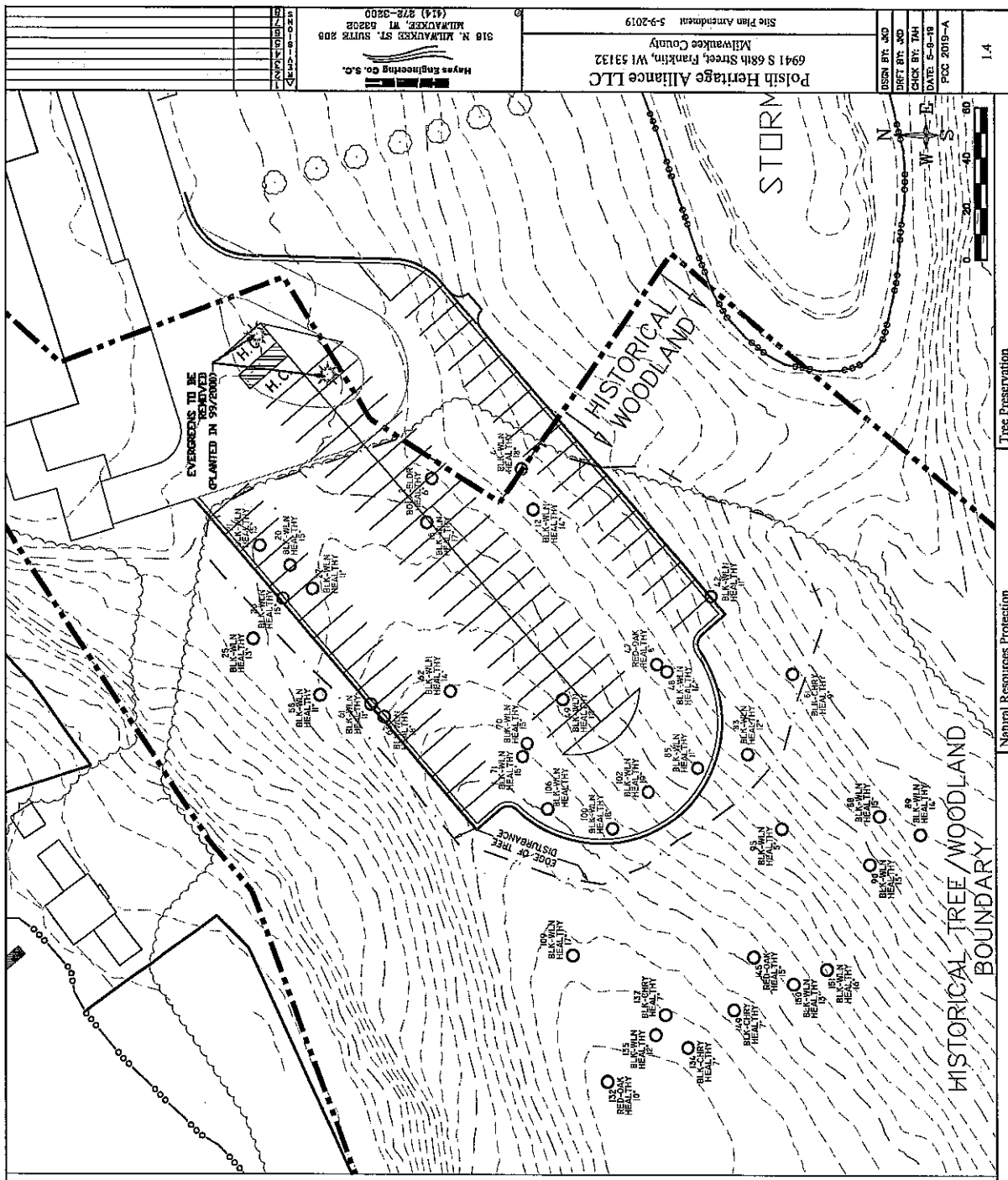
Hayes Engineering Co. S.C.
 810 N. KILVAUGIE ST. SUITE 208
 MILWAUKEE, WI 53208
 (414) 272-3920

HISTORICAL TREE/WOODLAND BOUNDARY
120,635 SF *
28,310 SF (IMPACTED WOODLANDS) (0.65 ACRES)
POD No.28 3" CALIPER #2 FOR EACH 8" TREE REMOVED

TREE NO.	SPECIES	SIZE	STATUS
2	BOX ELDER	8"	REMOVED
4	BLACK WALNUT	18"	REMOVED
12	BLACK WALNUT	14"	REMOVED
18	BLACK WALNUT	17"	REMOVED
20	BLACK WALNUT	15"	REMOVED
21	BLACK WALNUT	15"	REMOVED
25	BLACK WALNUT	15"	REMOVED
27	BLACK WALNUT	11"	REMOVED
42	BLACK WALNUT	11"	REMOVED
47	RED OAK	8"	REMOVED
48	BLACK WALNUT	14"	REMOVED
49	BLACK WALNUT	12"	REMOVED
50	BLACK WALNUT	18"	REMOVED
61	BLACK WALNUT	11"	REMOVED
62	BLACK WALNUT	14"	REMOVED
70	BLACK WALNUT	15"	REMOVED
71	BLACK WALNUT	9"	REMOVED
81	BLACK WALNUT	12"	REMOVED
85	BLACK WALNUT	11"	REMOVED
100	BLACK WALNUT	18"	REMOVED
102	BLACK WALNUT	15"	REMOVED
106	BLACK WALNUT	8"	REMOVED

23 TOTAL TREES IMPACTED/REMOVED (NATURAL/HISTORICAL)
2 TREES REMOVED (PLANTED 1999/2000)

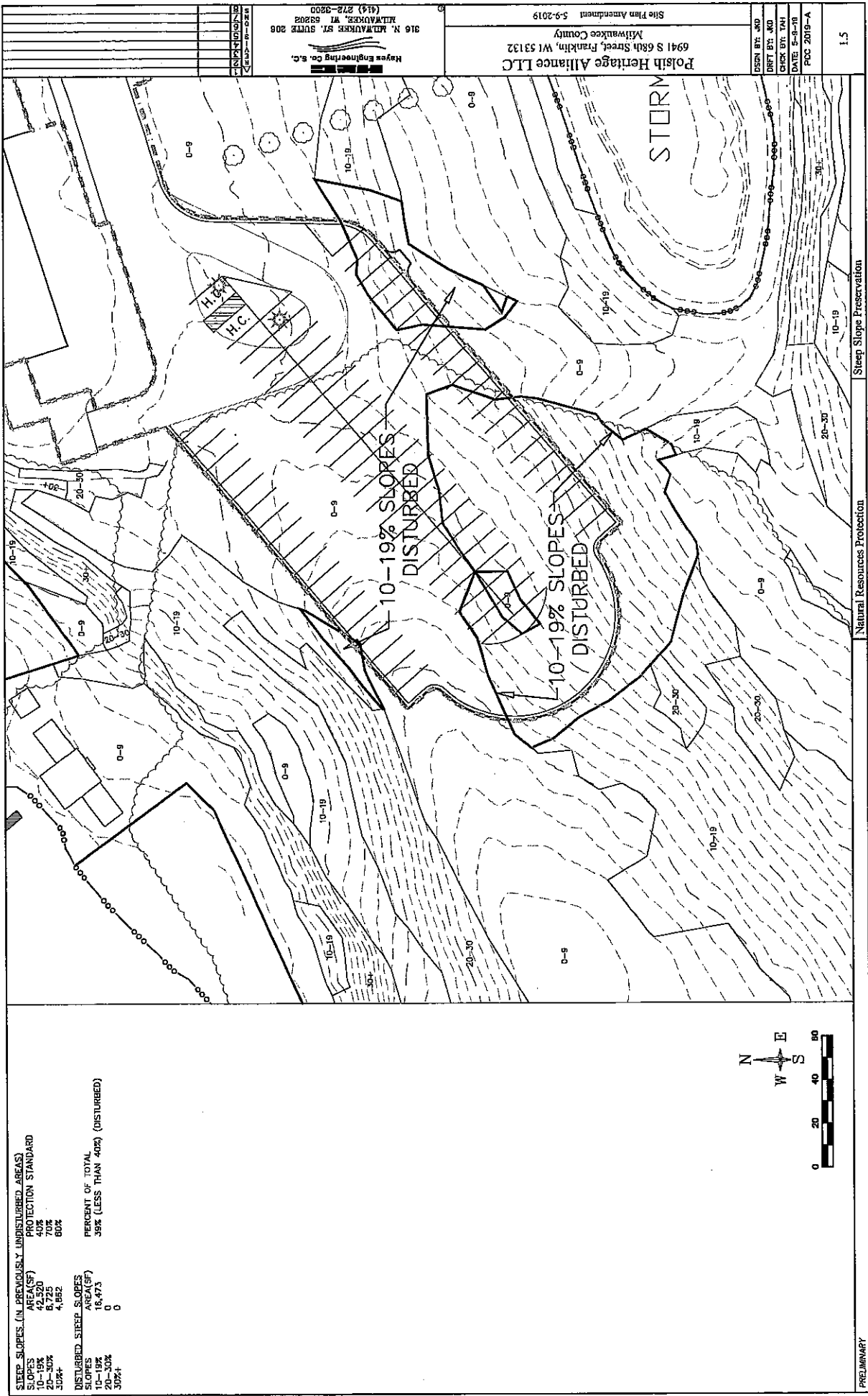
* BOUNDARY LINE AND TREE INVENTORY PROVIDED BY FRANKLIN AREA
CALCULATED BY HAYES ENGINEERING.



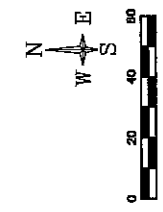
PRELIMINARY
CONTRACTOR RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND
CONFIRMING PRIVATE LINE LOCATES BY OWNERS LOCATOR

Natural Resources Protection

Tree Preservation



SLOPE SLOPES (IN PREVIOUSLY UNDISTURBED AREAS)	
SLOPES	AREA(SF)
10-19%	42,520
20-30%	1,175
30%+	4,182
PERCENT OF TOTAL	
SLOPES	AREA(SF)
10-19%	16,473
20-30%	0
30%+	0



PRELIMINARY
 CONTRACTOR RESPONSIBLE FOR CONTACTING DISSEMINATION AND
 CONFIRMING PRIVATE LINE LOCATES BY OWNERS LOCATOR

Natural Resources Protection

Steep Slope Preservation

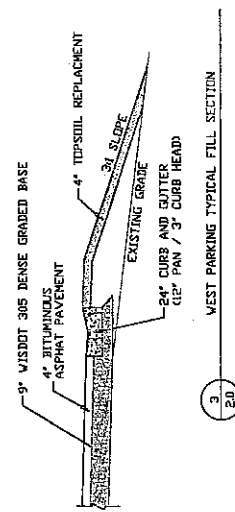
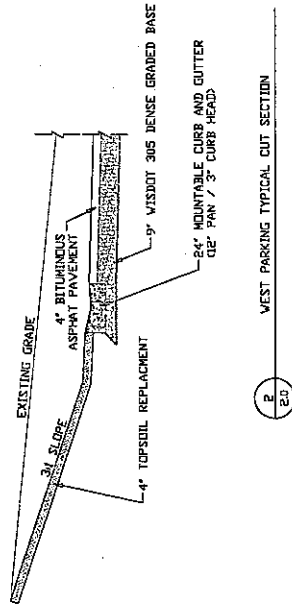
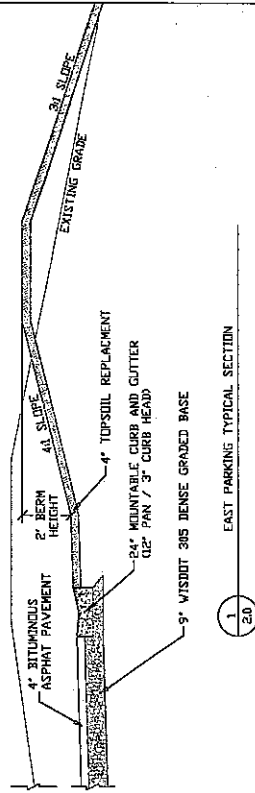
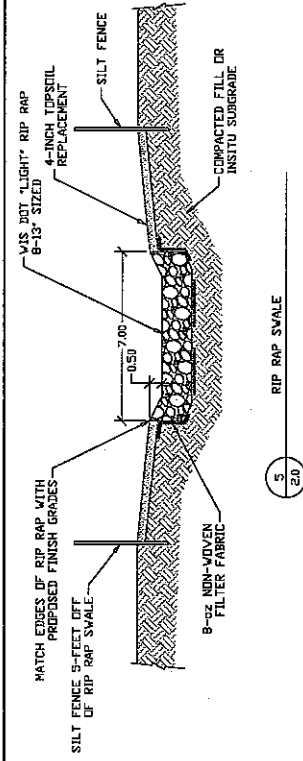
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DESIGN BY: JMD
 DRAFT BY: JMD
 CHECK BY: JMD
 DATE: 5-9-2019
 POC: 2019-A

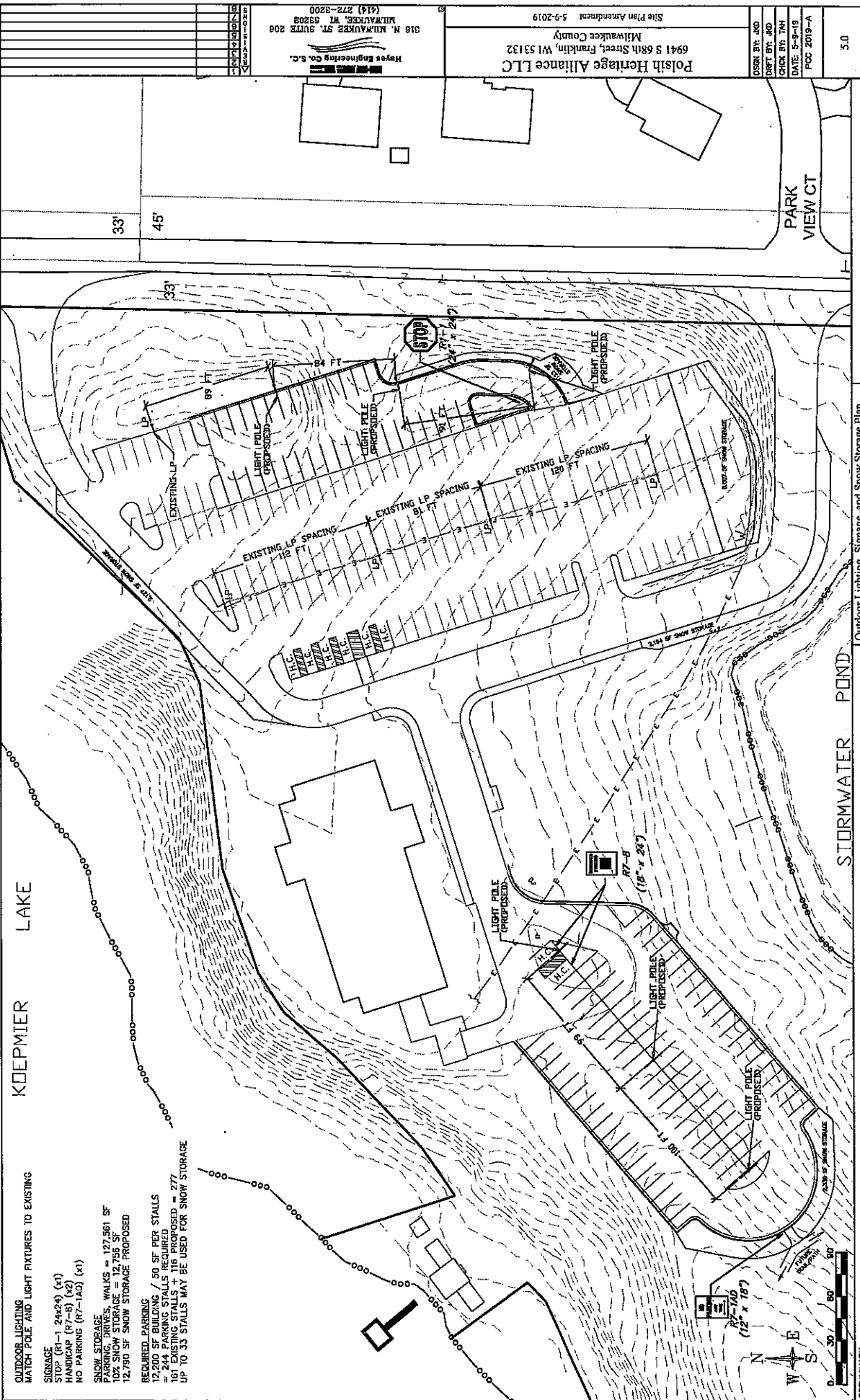
Polish Heritage Alliance LLC
 6941 S 68th Street, Franklin, WI 53132
 Milwaukee County
 Site Plan Amendment 5-9-2019

Hayes Engineering Co., S.C.
 316 N. MILWAUKEE ST. SUITE 208
 MILWAUKEE, WI 53202
 (414) 272-3800

REVISIONS
 NO. DESCRIPTION
 1.00 10-19% SLOPES
 2.00 20-30% SLOPES
 3.00 30%+ SLOPES



CONTRACTOR RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND
CONFIRMING PRIVATE LINE LOCATES BY OWNERS LOCATOR



OUTDOOR LIGHTING
MATCH POLE AND LIGHT FIXTURES TO EXISTING

SIGNAGE
STOP (R1-1 24x24) (x1)
HANDICAP (R7-8) (x2)
NO PARKING (R7-1AD) (x1)

SNOW STORAGE
12,200 SF BUILDING / 90 SF PER STALLS
10% SNOW STORAGE = 12,755 SF
12,750 SF SNOW STORAGE PROPOSED

REQUIRED PARKING / 90 SF PER STALLS
12,200 SF BUILDING / 11% SNOW STORAGE
16% EXISTING STALLS + 11% PROPOSED = 277
UP TO 33 STALLS MAY BE USED FOR SNOW STORAGE

Polish Heritage Alliance LLC
6941 S 68th Street, Franklin, WI 53132
Milwaukee County
Site Plan Amendment 5-9-2019

Hayes Engineering Co. S.C.
218 N. MILWAUKEE ST. SUITE 204
MILWAUKEE, WI 53208
(414) 272-3200

DATE: 5-9-19
FCC 2019-A
CHECK BY: TWH
DRAFT BY: AD
DRAWN BY: AD

Outdoor Lighting, Signage, and Snow Storage Plan

PRELIMINARY
CONTRACTOR RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND
CONFIRMING PRIVATE LINE LOCATES BY OWNERS LOCATOR

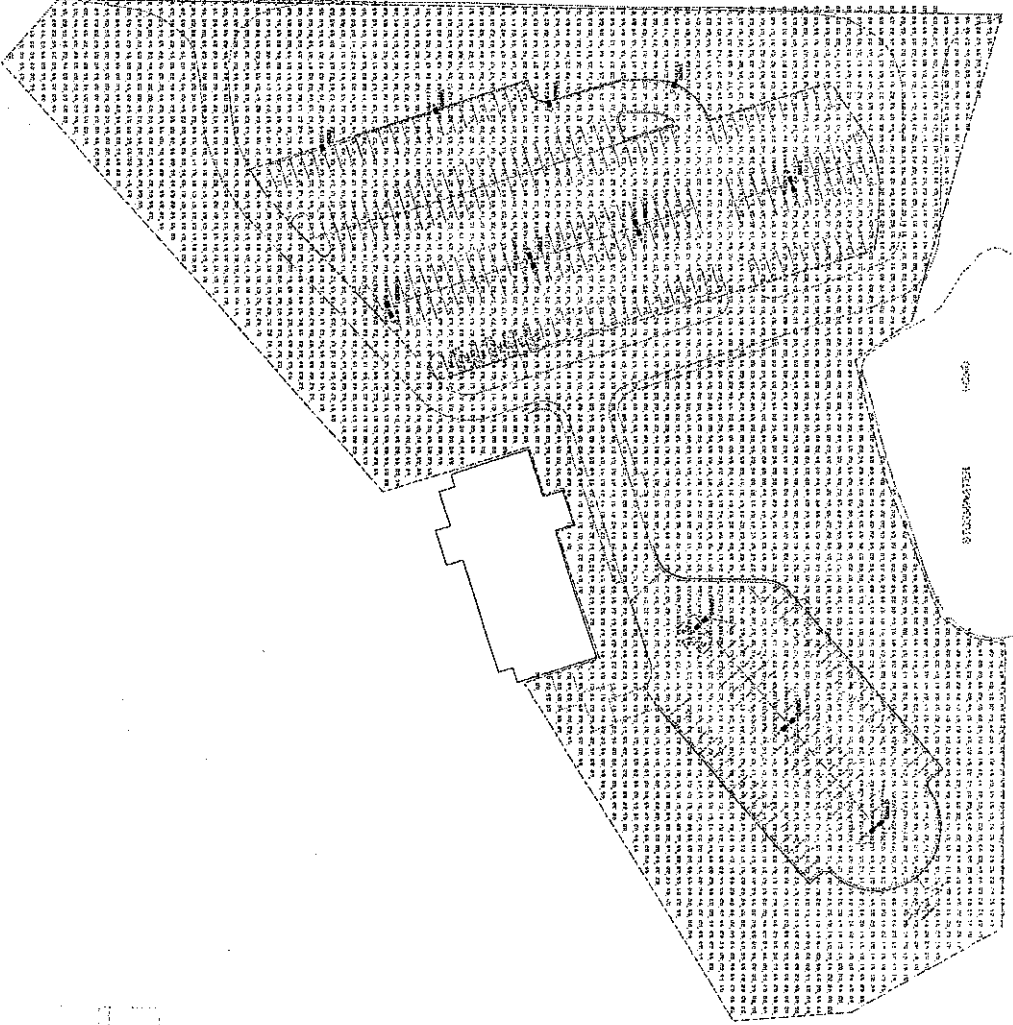


6041 S. 68TH STREET, FRANKLIN, WI 53122
POLISH HERITAGE ALLIANCE LLC
SITE LIGHTING PHOTOMETRICS

Project Name: Polish Heritage Alliance LLC
Site Address: 6041 S. 68TH STREET, FRANKLIN, WI 53122
Client: Polish Heritage Alliance LLC
Date: MAY 16 2019
City Development

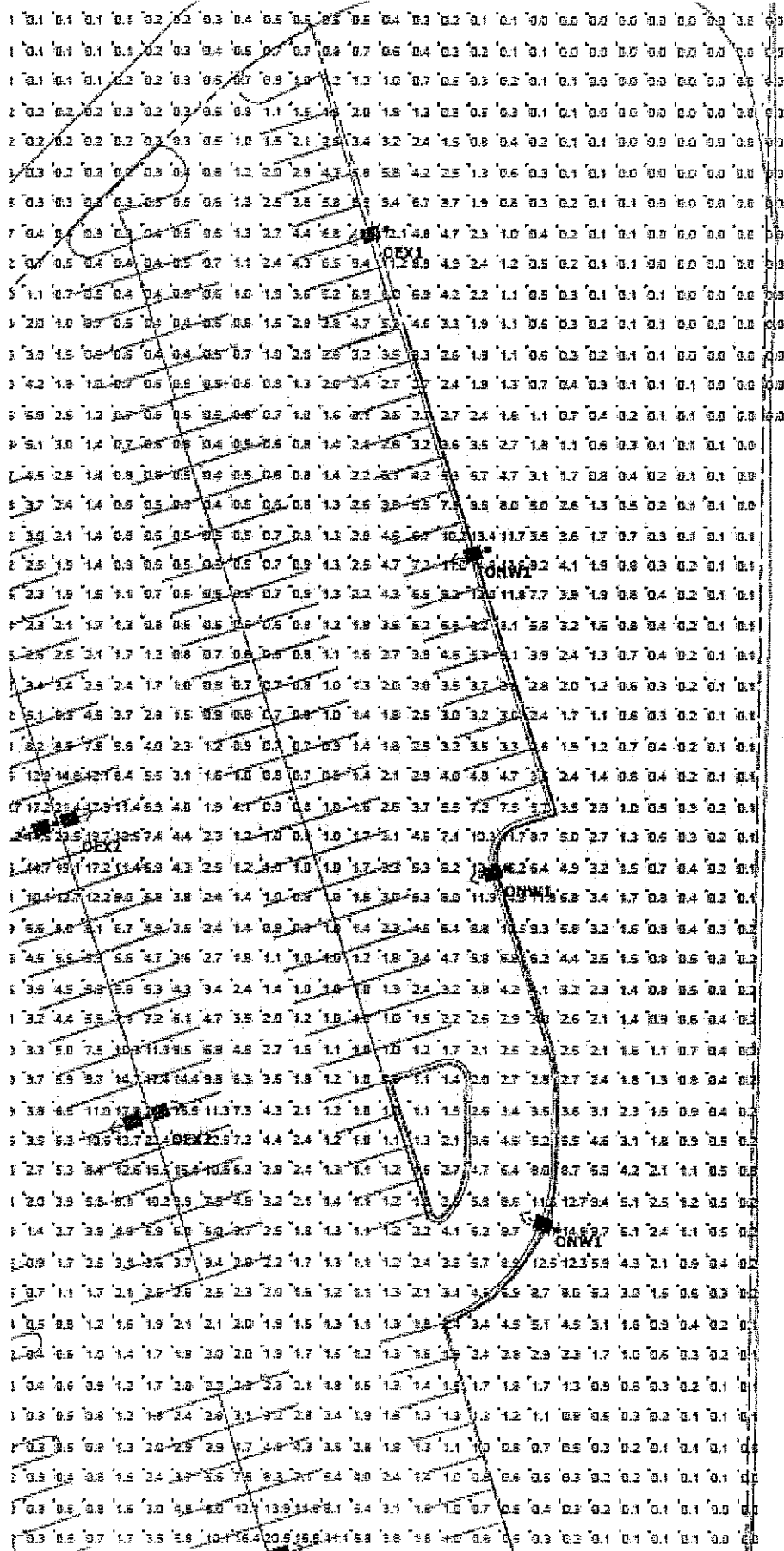
Franklin
MAY 16 2019
City Development

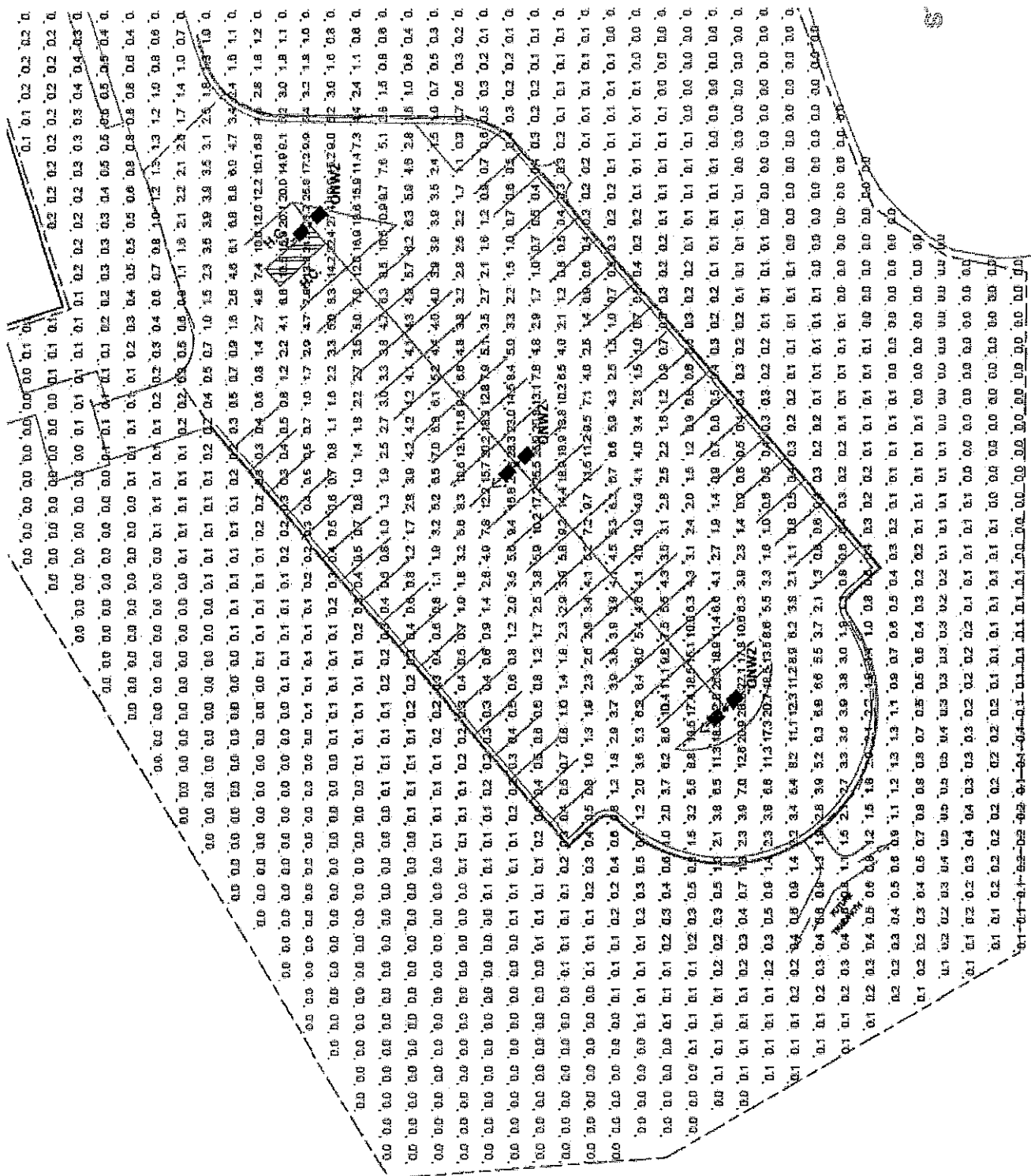
Lighting Fixture Data		Lighting Fixture Data		Lighting Fixture Data		Lighting Fixture Data		Lighting Fixture Data	
Fixture ID	Fixture Type	Fixture Power (W)	Fixture Voltage (V)	Fixture Lumens (lm)	Fixture Beam Angle (deg)	Fixture Mounting Height (ft)	Fixture Mounting Type	Fixture Mounting Location	Fixture Mounting Notes
QW2	QW2	150	120	1500	30	10	QW2	QW2	QW2
QW1	QW1	150	120	1500	30	10	QW1	QW1	QW1
QX1	QX1	150	120	1500	30	10	QX1	QX1	QX1
QF1	QF1	150	120	1500	30	10	QF1	QF1	QF1



Fixture ID	Fixture Type	Fixture Power (W)	Fixture Voltage (V)	Fixture Lumens (lm)	Fixture Beam Angle (deg)	Fixture Mounting Height (ft)	Fixture Mounting Type	Fixture Mounting Location	Fixture Mounting Notes
QW2	QW2	150	120	1500	30	10	QW2	QW2	QW2
QW1	QW1	150	120	1500	30	10	QW1	QW1	QW1
QX1	QX1	150	120	1500	30	10	QX1	QX1	QX1
QF1	QF1	150	120	1500	30	10	QF1	QF1	QF1

THESE LIGHT FIXTURES ARE SUBJECT TO REVISION
IF THE OWNERS REQUIRE AND ARE NOT





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APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MTG. DATE June 4, 2019
Reports & Recommendations	A RESOLUTION FOR ACCEPTANCE OF A WATER MAIN EASEMENT FOR FHCC, LLC, (REPACORP), TAX KEY NO. 748-9994-003, 11301 W. FOREST HOME AVENUE.	ITEM NO. <i>G. 8.</i>

BACKGROUND

As part of the development of FHCC (Repacorp), an easement for a watermain is needed to allow the City access and maintenance rights to the utility. This easement provides for the rights of grantor and grantee.

ANALYSIS

The attached easement includes the land to accommodate the water main and all applicable appurtenances. The water main and all applicable appurtenances will be accepted after construction is complete and applicable inspection and testing indicate that the facilities are satisfactorily installed per applicable plans and specifications.

OPTIONS

- A. Accept easement. Or
- B. Refer back to Staff with further direction.

FISCAL NOTE

None

COUNCIL ACTION REQUESTED

(Option A) Motion to adopt Resolution No. 2019 - _____, A resolution for acceptance of a water main easement for FHCC, LLC, (Repacorp), Tax Key No. 748-9994-003, 11301 W. Forest Home Avenue.

Engineering: GEM

STATE OF WISCONSIN : CITY OF FRANKLIN : MILWAUKEE COUNTY

RESOLUTION NO. 2019 - _____
RESOLUTION FOR ACCEPTANCE OF A WATER MAIN EASEMENT
FOR FHCC, LLC, (REPACORP)
TAX KEY NO. 748-9994-003
11301 W. FOREST HOME AVENUE

WHEREAS, an easement is required to construct, maintain and operate a water main for FHCC, LLC. Repacorp.

NOW, THEREFORE BE IT RESOLVED by the Mayor and Common Council of the City of Franklin that it would be in the best interest of the City to accept such easement, and, therefore the Mayor and City Clerk are hereby authorized and directed to execute the easement accepting it on behalf of the City.

BE IT FURTHER RESOLVED, that the City Clerk is directed to record said easement with the Register of Deeds for Milwaukee County.

Introduced at a regular meeting of the Common Council of the City of Franklin the _____ day of _____, 2019, by Alderman _____.

PASSED AND ADOPTED by the Common Council of the City of Franklin on the _____ day of _____, 2019.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

ML/db

WATER MAIN EASEMENT

FHCC, LLC

THIS EASEMENT, made by and between the CITY OF FRANKLIN, a municipal corporation of the State of Wisconsin, hereinafter referred to as "City," and FHCC, LLC, a Limited Liability Company, owner, (including heirs, executors, administrators, successors and assigns of above owner(s) as may be or may become applicable), hereinafter called "Grantor,"

WITNESSETH

WHEREAS, Grantor is the owner and holder of record Title to certain real property described on Exhibit "A" which is attached hereto and incorporated herein (the Property); and

WHEREAS, the City desires to acquire a permanent easement with the right of entry in and across the property hereinafter described with the right to build and construct and/or operate, maintain, repair, enlarge, reconstruct, relocate and inspect as may be or may become applicable the following facilities and appurtenances thereto, hereinafter called "Facilities," in, upon and across said portion of the property; a water main and associated fire hydrants, all as shown on the plan attached hereto as Exhibit "B"; and

WHEREAS, the initial construction and installation of the Facilities shall be made by Grantor at Grantor's expense and the Facilities shall be the property of the city and be deemed dedicated to the City upon the City's inspection and approval of the Facilities as installed, subject to the terms and conditions set forth below:

NOW, THEREFORE, in consideration of the grant of the easement hereinafter described and the payment of One Dollar (\$1.00) and other valuable considerations to the Grantor, receipt whereof is hereby acknowledged, said Grantor, being the owner and person interested in the land hereinafter described does hereby grant unto the City a permanent easement in that part of the SE ¼ of Section Six (6), Township Five (5) North, Range Twenty-one (21) East, in the City of Franklin, Milwaukee County, Wisconsin, more particularly described on Exhibit A, attached hereto (the "Easement Area").

UPON CONDITION

1. That said Facilities shall be maintained and kept in good order and condition by the City. Responsibility for maintaining the ground cover and landscaping within the easement area shall be that of the Grantor (including heirs, executors, administrators, successors and assigns).
2. That in and during whatever construction, reconstruction, enlargement or repair work is or becomes necessary in constructing and/or maintaining of said Facilities, so much of the surface or subsurface of the property as may be disturbed, will at the expense of the City be replaced in substantially the same condition as it was prior to such disturbance; except that the City will in no case be responsible for replacing or paying for replacing any aesthetic plantings or improvements other than ordinary lawns or standard walks, roadways, driveways and parking lot surfacing which were required to be removed in the course of doing the above work. However, the City shall save harmless the Grantor from any loss, damage, injury or liability resulting from negligence on the part of the City in connection with said work involved in constructing and/or maintaining of said Facilities; provided that if above loss, damage, injury or liability results from the joint negligence of parties hereto, then the liability therefore shall be borne by them in proportion to their respective degree of negligence; provided further, however, that these provisions are subject to the legal defenses with under law the City is entitled to raise excepting the defense of so-called "sovereign immunity."
3. That no structure may be placed within the limits of the easement by the Grantor except that improvements such as walks, pavements for driveways and parking lot surfacing may be constructed or placed within the Easement Area.
4. That, in connection with the construction by the grantor of any structure or building abutting said easement defined limits, the Grantor will assume all liability for any damage to the Facilities in the above described property. The Grantor will also save and keep the City clear and harmless from any claims for personal injuries or property damage caused by any negligence of the Grantor or person other than the Grantor, arising out of the construction by the Grantor of any structure or building abutting the said easement defined limits, and shall reimburse the City for the full amount of such loss or damage.
5. That no charges will be made against said lands for the cost of maintenance or operation of said Facilities in the afore-described property. Whenever the Grantor makes application for a service connection, the regular and customary service connection charge in effect at the time of the application shall be charged and paid. The Grantor shall be responsible for the routine maintenance of land on which the easement is located.
6. All conditions pertaining to the "Maintenance of Water Service Piping" as set forth in Chapter 5.12 of the "Rules and Regulations Governing Water Service" dated and subsequent amendments thereto shall apply to all water services which are within the easement defined limits and also within the limits of any adjoining easements; except that the City of Franklin Water Works, a utility owned by the City of Franklin shall in no case be responsible for maintaining at its expense any portion of said water services

outside of the easement defined limits and outside the limits of any adjoining easements regardless of any statement to the contrary in said "Rules and Regulations Governing Water Service."

7. The Facilities shall be accessible for maintenance by the City at all times. The owner shall submit plans for approval to the City Engineer for any underground installation within the easement area, which approval shall not be unreasonably withheld, conditioned or delayed.
8. That the Grantor shall submit plans for all surface alterations of plus or minus 0.50 foot or greater within the limits of said easement. Said alterations shall be made only with the approval of the City Engineer of the City of Franklin, which approval shall not be unreasonably withheld, conditioned or delayed.
9. The City and Grantor shall each use, and take reasonable measures to cause their employees, officers, customers, agents, contractors and assigns to use the Easement Area in a reasonable manner and so as not to obstruct or otherwise use the Easement Area in a manner that would unreasonably interfere with the use thereof by the other party hereto or its employees, officers, customers, agents, contractors and assigns.
10. The City and Grantor each hereby waive all rights of subrogation that either has or may hereafter have against the other for any damage to the Easement Area or any other real or personal property or to persons covered by such party's insurance, but only to the extent of the waiving party's insurance coverage; provided, however, that the foregoing waivers shall not invalidate any policy of insurance now or hereafter issued, it being hereby agreed that such a waiver shall not apply in any case which would result in the invalidation of any such policy of insurance and that each party shall notify the other if such party's insurance would be so invalidated.
11. Either party hereto may enforce this easement by appropriate action, and should it prevail in such litigation, that party shall be entitled to recover, as part of its costs, reasonable attorneys' fees.
12. This easement may not be modified or amended, except by a writing executed and delivered by the City and Grantor or their respective successors and assigns.
13. No waiver of, acquiescence in, or consent to any breach of any term, covenant, or condition hereof shall be construed as, or constitute, a waiver of, acquiescence in, or consent to any other, further, or succeeding breach of the same or any other term, covenant, or condition.
14. If any term or provision of this easement shall, to any extent, be invalid or unenforceable under applicable law, then the remaining terms and provisions of this easement shall not be affected thereby, and each such remaining term and provision shall be valid and enforceable to the fullest extent permitted by applicable law.
15. This easement shall be construed and enforced in accordance with the internal laws of the State of Wisconsin.
16. It is understood that in the event the above described Real Estate may become portions of public streets; in which event, in the proceedings for the acquisition of the property needed for such streets by purchase, dedication or by condemnation, said lands shall be considered the same as though this easement had not been executed or any rights granted thereby exercised.
17. That the Grantor shall submit as-built drawings of the installed facilities for approval to the City Engineer, which approval shall not be unreasonably withheld, conditioned, or delayed.

IN WITNESS WHEREOF, the Grantor has hereunto set its hands and seals

ON THIS DATE OF: April 17th, 2019

FHCC, LLC

COMPANY NAME

By: [Signature]

Member
Name and Title

STATE OF WISCONSIN

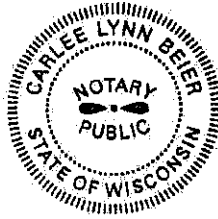
SS

COUNTY OF Milwaukee

Before me personally appeared on the 17th day of April, 2019, the above named

Michael Dilworth, Member of FHCC, LLC
(Name printed) (Title) (Development)

to me known to be the person(s) who executed the foregoing EASEMENT and acknowledged the same as the voluntary act and deed of said corporation



Carlee Beier
NOTARY PUBLIC

My commission expires 9/11/2020

CITY OF FRANKLIN

By: Stephen R. Olson, Mayor

By: Sandra L. Wesolowski, City Clerk

STATE OF WISCONSIN

SS

COUNTY OF MILWAUKEE

On this _____ day of _____, 2019 before me personally appeared Stephen R. Olson and Sandra L. Wesolowski who being by me duly sworn, did say that they are respectively the Mayor and City Clerk of Franklin, and that the seal affixed to said instrument is the corporate seal of said municipal corporation, and acknowledged that they executed the foregoing assignment as such officers as the deed of said municipal corporation by its authority, and pursuant to resolution file No. _____ adopted by its Common Council on _____, 2019.

Notary Public

My commission expires _____

MORTGAGE HOLDER CONSENT

The undersigned, McCormick 102 LLC, a Maryland, Limited Liability Corporation ("Mortgagee"), as Mortgagee under that certain Mortgage encumbering the Property and recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin, on May 28, 2008, as Document No. 9606307, hereby consents to the execution of the foregoing easement and its addition as an encumbrance against title to the Property.

IN WITNESS WHEREOF, Mortgagee has caused these presents to be signed by its duly authorized officers, and its corporate seal to be hereunto affixed, as of the day and year first above written.

McCormick 102, LLC
By Beltway Capital Management, it's
Manager

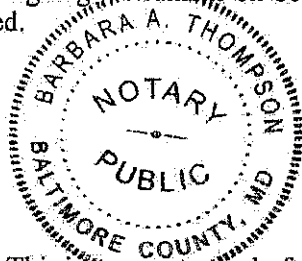
By: Christine K. McSherry
Name: Christine K. McSherry
Title: General Counsel

STATE OF MARYLAND

SS

COUNTY OF BALTIMORE

On this, the 11th day of April, 2019, before me, the undersigned, personally appeared Christine McSherry the General Counsel of Beltway Capital Management as Manger for McCormick 102, LLC, Maryland limited liability corporation, and acknowledged that (s)he executed the foregoing instrument on behalf of said corporation, by its authority and for the purposes therein contained.



Name: Barbara A. Thompson
Notary Public Barbara A. Thompson
State of Maryland
County of Baltimore
My commission expires on: 4-11-2021

This instrument was drafted by the City of Franklin.

BARBARA A. THOMPSON
NOTARY PUBLIC
BALTIMORE COUNTY
MARYLAND
MY COMMISSION EXPIRES APRIL 11, 2021

Approved as to contents
Date: _____

Manager of Water Works of Franklin

Approved as to form only
Date: _____

City Attorney

Exhibit A
(Description of the Property)

WATER MAIN EASEMENT

Part of the Southeast 1/4 of Section 6, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

Commencing at the Southeast corner of the Southeast 1/4 of said Section 6; thence North 88°41'23" West along the South line of the Southeast 1/4 a distance of 980.85 feet to a point; thence North 00°23'49" West along the East line of Certified Survey Map No. 6596 a distance of 379.69 feet to a point; thence North 88°41'23" West along the South line of Outlot 2 of said Certified Survey Map 419.09 feet to a point; thence North 01°01'18" West along the West line of said Outlot 2 a distance of 449.25 feet to a point; thence North 88°37'29" West 550.86 feet to a point on the Easterly line of West Forest Home Ave; thence North 16°36'58" East along said Easterly line 259.56 feet to the point of beginning of the lands to be described; thence continuing North 16°36'58" East 20.74 feet to a point; thence South 88°42'39" East 375.60 feet to a point; thence North 01°07'51" East 54.14 feet to a point; thence South 88°32'06" East 10.21 feet to a point; thence North 01°17'21" East 6.67 feet to a point; thence South 88°42'39" East 20.00 feet to a point; thence South 01°17'21" West 6.73 feet to a point; thence South 88°32'06" East 256.74 feet; thence North 01°27'54" East 65.80 feet to a point; thence South 88°32'06" East 20.00 feet to a point; thence South 01°27'54" West 85.80 feet to a point; thence North 88°32'06" West 286.84 feet to a point; thence South 01°07'51" West 54.07 feet to a point; thence North 88°42'39" West 323.21 feet to a point; thence North 01°17'21" East 2.32 feet to a point; thence North 88°42'39" West 16.73 feet to a point; thence South 01°17'21" West 2.32 feet to a point; thence North 88°42'39" West 61.19 feet to the point of beginning.

Said land contains 16,199 square feet or 0.3719 acres.

March 19, 2019

Drawing No. 167727-ATF

raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

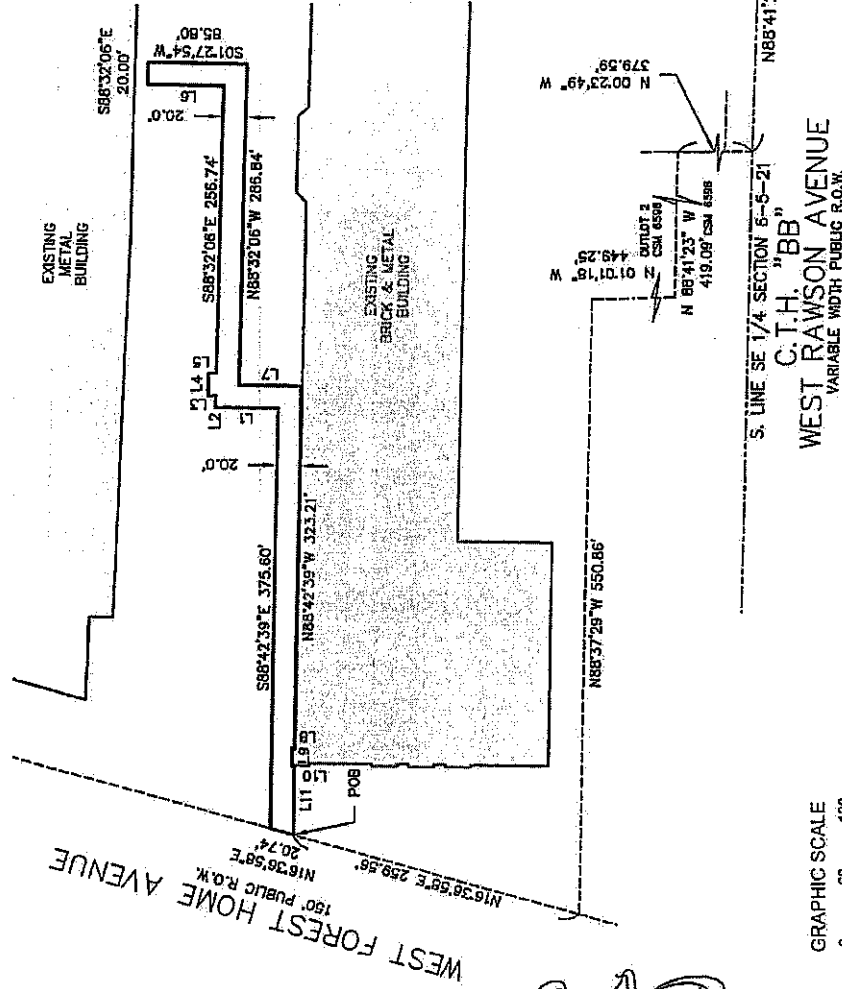
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SHEET 2 OF 2

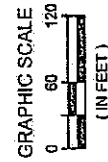
Exhibit B
(Depiction of the Facilities)

WATER MAIN EASEMENT

Part of the Southeast 1/4 of Section 6, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.



Line Table		
Line #	Direction	Length
L1	N01°07'51"E	54.14
L2	S88°32'06"E	10.21
L3	N01°17'21"E	6.67
L4	S88°42'39"E	20.00
L5	S01°17'21"W	6.73
L6	N01°27'54"E	65.80
L7	S01°07'51"W	54.07
L8	N01°17'21"E	2.32
L9	N88°42'39"W	16.73
L10	S01°17'21"W	2.32
L11	N88°42'39"W	61.19



raSmith
16745 W. Bluemound Road
Brookfield, WI 53005-5928
(262) 781-1000
ra-smith.com

CREATIVITY BEYOND ENGINEERING

MARCH 19, 2019

SHEET 1 OF 2

S:\516772\dwg\EX101A12.dwg \ SHEET 1

APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE June 4, 2019
Reports and Recommendations	Motion to approve the Public Health Specialist job description and grant authorization to fill the position	ITEM NUMBER <i>G, 9,</i>
<p>Background: Over the last several years there has been a shift in local public health in the number of available and qualified public health nurses to fill vacancies at the local health department level. Our recruitment attempt to fill the current vacancy in the Health Department with a public health nurse was unsuccessful. In order to keep the Franklin Health Department on the cutting edge of public health practice; adhere to our mission of assessment, policy development, and assurance; and ensure our services continue to match and meet the community's needs we need to be fully staffed with the best public health professionals available.</p> <p>A public health specialist (PHS) is typically a Master's prepared individual with a degree in public health. Their specialties lie in community health assessment and improvement planning, health education and outreach, as well data collection and analysis, programming, and grant writing. Almost all neighboring local health departments have a PHS on staff working with community partners to improve the health and safety of the municipality. The PHS will have immediate impact on conducting a more robust and comprehensive Community Health Assessment in 2020 and the subsequent Community Health Improvement Plan (as required by Wisconsin Chapter DHS 140.05 and Wisconsin Statute Chapter 251.05(3)(a)(c)) for 2021-2025. They will also work with staff on current health education and outreach initiatives including emergency preparedness, substance misuse, mental health, and increased physical activity.</p> <p>The change in staffing was approved by the Franklin Board of Health on May 13, 2019. An updated job description of the Public Health Specialist was submitted and approved by the Personnel Committee on May 20, 2019.</p> <p>Analysis: The job description and compensation level for the PHS was drafted after reviewing the previous description approved by the Franklin Common Council in 2001 as well as the job descriptions of a PHS for the Cities of Greenfield, Greendale, and Wauwatosa Health Departments.</p> <p>Options: 1. Approve the job description and authorize hiring the Public Health Specialist 2. Not approve the job description</p> <p>Recommendation: The Director of Health and Human Services recommends the approval of the Public Health Specialist job description and the authorization to fill the position.</p> <p>Fiscal Note: This full time position will fill the current budgeted vacancy within the Health Department left by a public health nurse. Projected salary range is \$55,000-\$68,000, the vacated position salary was \$68,000. The Public Health Specialist will be responsible for a portion of the Health Department's emergency preparedness coordination and will be 20% grant funded from the Public Health Emergency Preparedness Grant.</p>		

COUNCIL ACTION REQUESTED

The Director of Health and Human Services requests a motion (1) to approve the Public Health Specialist job description and (2) to authorize filling the position.

Health Department: CD

City of Franklin Job Description

Job Title: Public Health Specialist

Department: Health

Reports To: Director of Health & Human Services

Salary Level:

FLSA Status: Exempt

Prepared By: Courtney Day, Director of Health & Human Services

Prepared Date: March 15, 2019

Approved By:

Approved Date:

SUMMARY

The Public Health Specialist is knowledgeable in the principles of public health, community development, grant coordination, program implementation and evaluation, and the core public health functions of assessments, policy development, and assurance. In this role the Public Health Specialist will coordinate, develop, implement, and evaluate specialized public health services and programs by performing the following duties.

The duties listed below are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them for the position if the work is similar, related, or a logical assignment to the position.

ESSENTIAL DUTIES AND RESPONSIBILITIES

The following areas are considered normal for the position however they should not be construed as exclusive or inclusive. Other related duties may be required and assigned.

- Assess, develop, implement, and evaluate public health programs. Conduct targeted surveys, provide community education, while working within established budgetary guidelines.
- Collect, analyze, and use quantitative and qualitative data to; educate and mobilize the community, develop health priorities, garner resources, and plan actions to improve public health.
- Assist in the planning and evaluation of grant-funded activities. Identify and prepare new grant applications to further the Franklin Health Department Programs.
- Collaborate with Franklin Health Department personnel, other City Departments, as well as community agencies to strengthen public health programs.

- Coordinate with other local health departments for emergency preparedness planning and readiness activities, as well as oversee Franklin's Emergency Response Plan.
- Occasionally attends meetings and functions outside of normal business hours; responds to public health emergencies as needed.

Minimum Requirements

Education & Experience:

- Bachelor's degree in public health, health education, or science related field.
- 1-3 years of related experience and/or training in community education, program planning and evaluation, or public health programming preferred.

Necessary Knowledge, Skills, and Abilities:

- Language Skills
 - Ability to read, analyze, and interpret professional journals, technical procedures, and government regulations.
 - Ability to write reports, grant applications, business correspondence, and procedural manuals.
 - Ability to effectively present information and respond to questions from groups of managers, clients, citizens, and/or the general public.
- Computer & Mathematical Skills
 - Ability to use standard office software and hardware provided by the City of Franklin including knowledge of Microsoft Office.
 - Ability to calculate basic epidemiological value including incidence, prevalence, and probability.
- Reasoning Ability
 - Solve practical problems and deal with a variety of variables in situations where limited standardization exists.
 - Prepare and implement projects and programs.
- Interpersonal Competencies
 - Use appropriate methods for interacting sensitively, effectively, and professionally with persons from diverse cultural, socioeconomic, educational, racial, ethnic and professional backgrounds and persons of all ages.
 - Maintain privacy rights of clients and confidentiality of patient records according to professional standards and City of Franklin policies and procedures.

Certificates, Licenses, and Registrations

- Valid WI Driver's License

Supervision Received

- Works under guidance and direction of the Director of Health & Human Services

Supervision Exercised

- None

Physical Demands

- The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

- While performing the duties of this job the employee is regularly required to drive a vehicle, sit, talk, and hear. The employee is frequently required to walk and stand.
- Specific vision abilities include close and distance vision, color vision, and the ability to adjust focus.

Work Environment

- The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of the job. Reasonable accommodation may be made to enable individuals with disabilities to perform the essential functions.
- The work is performed in a variety of settings. Some travel may be required. The employee must own a private vehicle for work assignments.
- The noise level in the work place is moderate.

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APPROVAL <i>Slw mwL</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 6/4/2019
REPORTS AND RECOMMENDATIONS	Revisions to the Job Descriptions for the Inspection Services Department; and for all Positions Requiring a Commercial Drivers License	ITEM NUMBER <i>G. 10.</i>

In December of 2018 the Common Council approved a request to rename the Building Inspection Department to Inspection Services. In addition, a change in the titles of positions in that department was also approved.

Attached are the revised job descriptions that incorporate these name changes for all Inspection Services Department positions. Besides the above changes there are only a few minor changes that have been made which include:

1. Salary Ranges were adjusted to reflect the correct ranges as approved in the Classification and Compensation Study.
2. A couple duties were deleted from the Director position as they are now performed by the IT Director.
3. Education and Experience qualifications were adjusted to match the findings from the Classification and Compensation Study.
4. The Department of Commerce was renamed the Department of Safety and Professional Services (DSPS).

These job descriptions were taken to the Personnel Committee for review on 5/20/2019. A motion was made to approve the revisions as presented. All members voted in favor of the motion.

In addition, the Personnel Committee was also asked to consider a change to the Class A CDL requirement for our Public Works and Sewer & Water Departments. Due to extremely high construction in the area (due to road construction and the Foxconn project), it has been very difficult to attract qualified applicants that have their CDL.

Glen Morrow, City Engineer, requested the ability to hire applicants that do not yet have their CDL, with the requirement that they obtain it prior to completing their introductory period. A copy of Glen's request memo is attached.

At the Personnel Committee on 5/20/2019 a motion was made and approved "to approve the change with the stipulation that we are able to recover any costs incurred if they leave before 1 year, and to authorize the change to the job descriptions."

COUNCIL ACTION REQUESTED

Motion to approve the revised job descriptions for the Inspection Services Department as presented; to approve a change allowing applicants for positions that require a CDL to be able to obtain the CDL license during their introductory period, provided they repay costs if they leave prior to 1 year; and to authorize staff to change the job descriptions in the Public Works and Sewer & Water Departments accordingly.

CITY OF FRANKLIN
Job Description

Job Title: ~~Building Inspector~~ Director of Inspection Services |

Department: Inspection Services |

Reports To: Director of Administration

Appointing Authority: Mayor

Salary Level: ~~Management/Administrative/Supervisory Level~~ |
~~VI~~ Salary Range 10

FLSA Status: Exempt

Prepared By: Mark Luberd, Director of Administration and Dana Zahn, Human Resources Coordinator |

Prepared Date: ~~July 2014~~ March 2019 |

Approved By:

Approved Date:

Summary:

Supervise, administer, and perform the enforcement of the codes of the City of Franklin and the State of Wisconsin, and administer and enforce the provisions of those sections of the Municipal Code under the department's jurisdiction.

Essential Duties and Responsibilities:

Review plans and specification for compliance with local and state building codes.

Review surveys and site plans for compliance with the provisions of the zoning code.

Issue building, heating, sign, and other departmental permits.

Conduct on-site building inspections, including footing, foundation, rough carpentry, insulation, occupancy, soil erosion, and housing inspections.

Assign work to the ~~Building Inspection~~ Services staff including but not limited to the assistant-building inspectors, plumbing, and electrical inspectors and supervise their work. |

Meet with contractors, owners, and the general public to answer questions regarding building, housing, signs, and soil erosion.

Review and meet with contractors, architects, and developers in the preliminary stages of design to insure the compliance with building codes.

Attend, as Ex Officio member, Board of Zoning and Building Appeals meetings.

Attend, as Ex Officio member, the Architectural Board meetings.

Coordinate inspections and provide reports to the license committee on all liquor sale operations, all tavern and other licensed facilities prior to the issuance of a municipal license, as required.

Coordinate inspections and report to the license committee on the installation of all amusement rides.

Receive, delegate or perform, and coordinate the investigation and resolution of complaints.

Prepare and issue orders and citations in order to obtain compliance with Municipal standards.

Act as a witness in court cases to obtain compliance with Municipal codes.

Coordinate inspections with the Fire Department, assistant-building inspectors, plumbing, and electrical inspectors.

Prepare and administer budgets for the Inspection Services Department, under the direction of the Director of Administration.

Review and recommend changes to the building, plumbing, electrical, and sign codes.

Prepare specifications and act as coordinator of municipal construction and remodeling projects.

~~Assist in purchases, and coordinate maintenance of radio equipment owned by the Public Works, Engineering, and Inspection Departments.~~

Prepare specifications, bids, and purchase equipment for the Inspection Services and Engineering Departments and for other city departments as required.

~~Maintain Govern software, including modifying the database, creating and modifying or changing Crystal reports. As time permits, program and or implement Govern for use by other city departments.~~

~~Maintain the City's telephone and voice mail system. Recommend changes and updates to the system to the Director of Administration.~~

Review and recommend revisions of codes used within the jurisdiction of the Building Inspection Services Department.

Attend meetings as required by the Mayor and Common Council. This may include meetings outside of normal business hours.

Peripheral Duties:

Comment [d1]: These are all duties Fred used to do but they are now done by IT.

Serve as representative of the city to the Building Inspector's Association of Southeastern Wisconsin and the WI Building Inspector's Association.

Minimum Qualifications:

Education and Experience:

Graduation from a college or university with a Bachelor's degree, five (5) years building inspection experience, or any equivalent combination of education and experience.

Language Skills:

Ability to read, analyze, and interpret common scientific and technical journals, financial reports, and legal documents. Ability to respond to common inquiries or complaints from customers, regulatory agencies, or members of the business community. Ability to write speeches and articles for publication that conform to prescribed style and format. Ability to effectively present information to top management, public groups, and/or boards of directors.

Mathematical Skills:

Ability to work with mathematical concepts such as probability and statistical inference, and fundamentals of plane and solid geometry and trigonometry. Ability to apply concepts such as fractions, percentages, ratios, and proportions to practical situations.

Reasoning Ability:

Ability to define problems, collect data, establish facts, and draw valid conclusions. Ability to interpret an extensive variety of technical instructions in mathematical or diagram form and deal with several abstract and concrete variables.

Necessary Knowledge, Skills, and Abilities:

Thorough knowledge of building codes and construction standards and practices.

Thorough knowledge of zoning codes and their enforcement.

Thorough knowledge of building materials and their applications.

Working knowledge of structural engineering and the ability to review calculations and plans for compliance with code standards.

Skill in the operation of listed tools and equipment.

Ability to present and communicate ideas and concepts with the public, verbally and in writing, including the ability to present information to the Common Council and various other Boards and Commissions.

Ability to plan, delegate, and supervise personnel in a manner which will gain respect.

Ability to maintain effective work relationships with other departments, appointed officials, elected officials, and the public.

Ability to formulate, implement, and administer policies and procedures affecting the Building Inspection Services Department.

Ability to make independent judgments which have significant impacts on the organization.

Supervision Exercised:

Exercises supervision over Inspection Services Department personnel. Carries out supervisory responsibilities in accordance with the organization's policies and applicable laws.

Responsibilities include interviewing and training employees; planning, assigning, and directing work; appraising performance; rewarding and disciplining employees; addressing complaints and resolving problems.

Responsibility for Public Contact:

Daily contact requiring courtesy, discretion, and sound judgment.

Licensing and Certification:

State of Wisconsin, Department of Industry, Labor, and Human Relations Safety and Professional Services (DSPS) Certifications in the categories of commercial buildings, Uniform Dwelling Code Categories of construction, and HVAC; Plumbing and Electrical preferred.

Valid WI Driver's License.

Comment (d2): An employee could feasibly live in Illinois

Tools and Equipment Used:

Personal computer, copy machine, fax machine, calculator, hand tools, automobile, radio and telephone.

Software:

The person shall have the ability to use products in the Microsoft Office suite, Crystal Reports, Govern Software, GIS, and software provided by Government agencies, product listing, approval and evaluation services (OSHA, UL, FM, ICC Evaluation Services).

Physical Demands:

The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Hand-eye coordination is necessary to operate computers and various pieces of office equipment. While performing the duties of this job, the employee is occasionally required to stand; walk; use hands and fingers to handle, feel or operate objects, tools, or controls; and reach with hands and arms. The employee is occasionally required to sit, climb, balance, stoop, kneel, crouch, crawl, talk and hear.

The employee must occasionally lift and/or move up to 10 pounds. Specific vision abilities required by this job include close vision, distance vision, color vision, peripheral vision, depth perception, and the ability to adjust focus.

Work Environment:

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

While performing the duties of this job, the employee frequently works in outside weather conditions and occasionally in an office environment. The employee occasionally works near moving mechanical parts, in high, precarious places and is occasionally exposed to wet and/or humid conditions, or airborne particles.

The noise level in the work environment is usually quiet in the office, and moderate to loud in the field.

The duties listed above are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.

CITY OF FRANKLIN

Job Description

Job Title: ~~First Assistant~~ Chief Building Inspector

Department: Inspection Services

Reports To: ~~Building Inspector~~ Director of Inspection Services

Salary Level: ~~Level 15, as determined per AFSME Union Contract~~ Salary Range 8

FLSA Status: Non-Exempt

Prepared By: ~~Becky Dudek, Human Resources Coordinator~~ Scott Satula, Director of Inspection Services & Dana Zahn, Human Resources Coordinator

Prepared Date: ~~March 13, 2003~~ 2019

Approved By: ~~Resolution 2003-5517~~

Approved Date: ~~April 15, 2003~~

Summary:

Assist the ~~Building Director of Inspector~~ Inspection Services in all aspects of the ~~Building Inspector~~ Director of Inspection Service's job and act as ~~Building Inspector~~ Director of Inspection Services in the ~~Inspector's~~ Director's Absence.

Enforce the building codes of the City of Franklin and the State of Wisconsin, to administer and enforce the provisions of those sections of the Municipal Code under the department's jurisdiction.

Essential Duties and Responsibilities:

Instructs new inspectors on inspection processes, field reports and coordination with owners and builders.

Coordinates field training of new and existing inspectors in Uniform Dwelling Codes and inspection processes.

Review plans and specifications for compliance with local and state building codes.

Review surveys and site plans for compliance with the provisions of the zoning code.

Issue building, heating, and sign permits.

Conduct on-site building inspections; including footing, foundation, rough carpentry, insulation, housing, soil erosion, and occupancy inspections.

Meet with contractors, owners and the general public to answer questions regarding building, housing, sign, and soil erosion codes.

Attend the Building Board of Appeals and Architectural Board meetings in the absence at the direction of the ~~building inspector~~ Director of Inspection Services.

Receive and/or coordinate the investigation and resolution of complaints.

Prepare and issue orders and citations in order to obtain compliance with Municipal and Zoning Codes.

Other duties as assigned by the ~~Building Inspector~~ Director of Inspection Services.

Peripheral Duties:

Perform duties of plumbing and/or electrical inspectors when necessary, provided the employee is certified and qualified.

Answer and direct telephone calls in the absence of the department secretary.

Receive and answer questions relating to applications for permits.

Minimum Qualifications:

Education and Experience:

Graduation from high school or GED equivalent, two (2) years general construction or related experience, or any equivalent combination of education and experience.

Five (5) years of increasing responsibility within an inspection department.

Language Skills:

Ability to read, analyze, and interpret general business periodicals, professional journals, technical procedures, or governmental regulations. Ability to write reports, business correspondence, and procedure manuals. Ability to effectively present information and respond to questions from groups of managers, clients, customers, and the general public.

Mathematical Skills:

Ability to calculate figures and amounts such as discounts, interest, commissions, proportions, percentages, area, circumference, and volume. Ability to apply concepts of basic algebra and geometry.

Reasoning Ability:

Ability to solve practical problems and deal with a variety of concrete variables in situations where only limited standardization exists. Ability to interpret a variety of instructions furnished in written, oral, diagram, or schedule form.

Necessary Knowledge, Skills, and Abilities:

Thorough knowledge of building codes and construction standards and practices.

~~State certification in Commercial Buildings.~~

Comment [d1]: Already listed under
Certifications section

Working knowledge of zoning codes and their enforcement.

Thorough knowledge of building materials and their applications.

Skill in the operation of listed tools and equipment.

Ability to present and communicate ideas and concepts to the public, verbally and in writing.

Ability to maintain effective working relationships with other departments, appointed officials, elected officials, and the public.

Ability to make independent judgments which have considerable impacts on the organization.

Certificates, Licenses, and Registration:

State of Wisconsin; Department of Commerce ~~Safety and Professional Services (DSPS)~~ certifications in the categories of commercial buildings, ~~and~~ Uniform Dwelling Code certifications in; Building and HVAC are required; Certifications in Plumbing, Private Onsite Wastewater Treatment Systems (ability to obtain) and Electrical are preferred.

Valid ~~WI~~ Driver's License.

Comment [d2]: An employee could feasibly live in Illinois

Supervision Received:

Works under general supervision of the ~~Building Inspector~~ Director of Inspection Services.

Supervision Exercised:

Assigns inspections, plan review and other activities and exercises limited supervision over department personnel in the absence of, or at the direction of the ~~Building Inspector~~ Director of Inspection Services.

Responsibility for Public Contact:

Daily contact requiring courtesy, discretion, and sound judgment.

Tools and Equipment Used:

Personal computer including word processing software, copy machine, fax machine, calculator, automobile, hand tools, and telephone.

Physical Demands:

The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Hand-eye coordination is necessary to operate computers and various pieces of office equipment. While performing the duties of this job, the employee is occasionally required to stand; walk; use hands and fingers to handle, feel or operate objects, tools, or controls; and reach with hands and arms. The employee is occasionally required to sit, climb, balance, stoop, kneel, crouch, crawl, talk and hear.

The employee must occasionally lift and/or move up to 10 pounds. Specific vision abilities required by this job include close vision, distance vision, color vision, peripheral vision, depth perception, and the ability to adjust focus.

Work Environment:

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Work is performed mostly in outdoor settings in the inspection of various land use developments and construction sites. Some work is performed in an office setting. The employee occasionally works near moving mechanical parts, in high, precarious places and is occasionally exposed to wet and/or humid conditions, or airborne particles.

The noise level in the work environment is usually quiet in the office, and moderate to loud in the field.

The duties listed above are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.

CITY OF FRANKLIN

Job Description

Job Title: Assistant Building Inspector

Department: Inspection Services

Reports To: Building Inspector/Director of Inspection Services

Salary Level: 15, per AFSME Union Contract Salary Range 7

FLSA Status: Non-Exempt

Prepared By: Becky Dudek, Human Resources Manager/Scott Satula,
Director of Inspection Services & Dana Zahn, Human Resources Coordinator

Prepared Date: March 13, 2003/March 2019

Approved By: Resolution 2003-5516

Approved Date: April 15, 2003

GENERAL PURPOSE

Enforce the building codes of the City of Franklin and the State of Wisconsin, to administer and enforce the provisions of those sections of the Municipal Code under the department's jurisdiction.

ESSENTIAL DUTIES AND RESPONSIBILITIES

Review plans and specifications for compliance with local and state building codes.

Review surveys and site plans for compliance with the provisions of the zoning code.

Issue building, heating, and sign permits.

Conduct on-site building inspections, including footing, foundation, rough carpentry, insulation, housing, soil erosion, and occupancy inspections.

Meet with contractors, owners and the general public to answer questions regarding building, housing, sign, and soil erosion codes.

Attend the Zoning, Building Board of Appeals, and Architectural Board meetings, in the absence of the building inspector at the direction of the Director of Inspection Services or Chief Building Inspector.

Receive and/or coordinate the investigation and resolution of complaints.

Prepare and issue orders and citations in order to obtain compliance with Municipal and Zoning Codes.

Act as Building Inspector, in the absence of the Building Inspector and First Assistant Building Inspector according to department policy and practice.

Other duties as assigned by the Building Inspector/Director of Inspection Services.

PERIPHERAL DUTIES

Perform duties of plumbing and/or electrical inspectors, provided employee is certified and qualified.

Answer and direct telephone calls in the absence of the department secretary.

Receive and answer questions relating to applications for permits.

MINIMUM QUALIFICATIONS

Education and Experience

Graduation from high school or GED equivalent, two (2) years general construction or related experience, or any equivalent combination of education and experience.

Language Skills

Ability to read, analyze, and interpret general business periodicals, professional journals, technical procedures, or governmental regulations. Ability to write reports, business correspondence, and procedure manuals. Ability to effectively present information and respond to questions from groups of managers, clients, customers, and the general public.

Mathematical Skills

Ability to calculate figures and amounts such as discounts, interest, commissions, proportions, percentages, area, circumference, and volume. Ability to apply concepts of basic algebra and geometry.

Reasoning Ability

Ability to solve practical problems and deal with a variety of concrete variables in situations where only limited standardization exists. Ability to interpret a variety of instructions furnished in written, oral, diagram, or schedule form.

Necessary Knowledge, Skills, and Abilities

Thorough knowledge of building codes and construction standards and practices.

Working knowledge of zoning codes and their enforcement.

Thorough knowledge of building materials and their applications.

Skill in the operation of listed tools and equipment.

Ability to present and communicate ideas and concepts to the public, verbally and in writing.

Ability to maintain effective work relationships with other departments, appointed officials, elected officials, and the public.

Ability to make independent judgments which have considerable impacts on the organization.

CERTIFICATES, LICENSES & REGISTRATION

State of Wisconsin, Department of Industry, Labor and Human Relations Safety and Professional Services (DSPS) certifications in the categories of commercial buildings,

Uniform Dwelling Code Categories of construction, and HVAC required; Plumbing and Electrical certifications preferred.

Valid WI-Driver's License.

SUPERVISION RECEIVED

Works under general supervision of the ~~Building Inspector~~ Director of Inspection Services.

SUPERVISION EXERCISED

None.

RESPONSIBILITY FOR PUBLIC CONTACT

Daily contact requiring courtesy, discretion, and sound judgment.

TOOLS AND EQUIPMENT USED

Personal computer including word processing software, copy machine, fax machine, calculator, automobile, hand tools, and telephone.

PHYSICAL DEMANDS

The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Hand-eye coordination is necessary to operate computers and various pieces of office equipment. While performing the duties of this job, the employee is occasionally required to stand; walk; use hands and fingers to handle, feel or operate objects, tools, or controls; and reach with hands and arms. The employee is occasionally required to sit, climb, balance, stoop, kneel, crouch, crawl, talk and hear.

The employee must occasionally lift and/or move up to 10 pounds. Specific vision abilities required by this job include close vision, distance vision, color vision, peripheral vision, depth perception, and the ability to adjust focus.

WORK ENVIRONMENT

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Work is performed mostly in outdoor settings in the inspection of various land use developments and construction sites. Some work is performed in an office setting. The employee occasionally works near moving mechanical parts, in high, precarious places and is occasionally exposed to wet and/or humid conditions, or airborne particles.

The noise level in the work environment is usually quiet in the office, and moderate to loud in the field.

The duties listed above are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.

CITY OF FRANKLIN
Job Description

Job Title: Chief Electrical Inspector

Department: Inspection Services

Reports To: Building Inspector Director of Inspection Services

Salary Level: 17, per AFSME Union Contract Salary Range 8

FLSA Status: Non-Exempt

Prepared By: Becky Dudek Scott Satula, Director of Inspection Services & Dana Zahn, Human Resources Coordinator

Prepared Date: February 27, 2003 March 2019

Approved By: Resolution 2003-5517

Approved Date: April 15, 2003

Summary:

Perform a variety of routine and complex technical work in building inspection work, to insure that the Uniform Electrical and other related codes and standards are met.

Essential Duties and Responsibilities:

Researching problems and complaints regarding commercial and residential buildings, building construction and electrical code compliance.

Attend preconstruction meetings in order to explain inspection standards and procedures to architects, engineers, owners, contractors and developers.

Make regularly scheduled inspections for electrical installations in new and existing residential and commercial buildings.

Check electrical plans and layout for residential and commercial building for conformance to codes, ordinance, and statutes.

Review and approve electrical applications, issue permits, and make inspections.

Receive and/or coordinate the investigation and resolution of complaints.

Prepare and issue orders and citations in order to obtain compliance with State of Wisconsin and Municipal Codes.

Act as witness in court cases to obtain compliance with Municipal Codes.

Make recommendations to keep codes current.

Make annual tavern and restaurant inspections of electrical, prior to licenses being issued.

Maintain all electrical permits, licenses and inspection records.

Subject to approval by the Director of Inspection Services, will be responsible to render final determination on all matters related to local administration of the Electrical code.

Gives guidance to other inspectors in regards to electrical issues in which they may have questions.

Other duties as assigned by the ~~Building Inspector~~ Director of Inspection Services.

Peripheral Duties:

Assist in administering the permit function and fee assessment.

~~Assists the Board of Electrical Examiners as needed, and providing required information.~~

Minimum Qualifications:

Education and Experience:

Graduation from high school or GED equivalent + required trade school to obtain electrical license, ~~four (4)~~ three (3) years of experience in general construction of electrical systems, or any equivalent combination of education and experience.

Language Skills:

Ability to read, analyze, and interpret general business periodicals, professional journals, technical procedures, or governmental regulations. Ability to write reports, business correspondence, and procedure manuals. Ability to effectively present information and respond to questions from groups of managers, clients, customers, and the general public.

Mathematical Skills:

Ability to calculate figures and amounts such as discounts, interest, commissions, proportions, percentages, area, circumference, and volume. Ability to apply concepts of basic algebra and geometry.

Reasoning Ability:

Ability to solve practical problems and deal with a variety of concrete variables in situations where only limited standardization exists. Ability to interpret a variety of instructions furnished in written, oral, diagram, or schedule form.

Necessary Knowledge, Skills and Abilities:

Thorough knowledge of Electrical Codes and related general construction codes.

Thorough knowledge of commercial and residential electrical systems.

Some knowledge of plumbing, carpentry work, concrete work, or mechanical systems.

Skill in the operation of the listed tools and equipment.

Ability to effectively inspect electrical systems.

Ability to establish effective working relationships with employees, supervisors, contractors, architects, engineers, owners and the general public.

Ability to read and understand complicated electrical plans and blueprints.

Ability to effectively communicate in writing and verbally.

Ability to make independent judgments which have considerable impacts on the organization.

Licensing and Regulation:

Valid WI-driver's license.

Licensed electrician or commercial electrical inspector certification.

State of Wisconsin, Department of ~~Commerce~~ Safety and Professional Services (DSPS)
Certification in UDC Electric and Commercial Electric or Master Electrician

Supervision Received:

Works under the general supervision of the ~~Building Inspector~~ Director of Inspection Services.

Supervision Exercised:

None.

Responsibility for Public Contact:

Daily contact requiring courtesy, discretion, and sound judgment.

Tools and Equipment Used:

Personal computer, including word processing and permitting software; motor vehicle; calculator; telephone; portable radio; various hand tools and electrical testing equipment.

Physical Demands:

The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Hand-eye coordination is necessary to operate computers and various pieces of office equipment. While performing the duties of this job, the employee is occasionally required to stand; walk; use hands and fingers to handle, feel or operate objects, tools, or controls; and reach with hands and arms. The employee is occasionally required to sit, climb, balance, stoop, kneel, crouch, crawl, talk and hear.

The employee must occasionally lift and/or move up to 10 pounds. Specific vision abilities required by this job include close vision, distance vision, color vision, depth perception, and the ability to adjust focus.

Work Environment:

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Work is performed mostly in outdoor settings in the inspection of various land use developments and construction sites. While performing the duties of this job, the employee occasionally works near moving or mechanical parts, and is frequently exposed to risks of electrical shock and outdoor weather conditions.

The noise level in the work environment is usually quiet in the office, and moderate to loud in the field.

The duties listed above are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.

CITY OF FRANKLIN
Job Description

Job Title: Chief Plumbing Inspector

Department: Inspection Services

Reports To: Building Inspector Director of Inspection Services

Salary Level: ~~17, as approved by AFSME Inspector's Labor Agreement~~ Salary Grade 8

FLSA Status: Non-Exempt

Prepared By: ~~Becky Dudek~~ Scott Satula, Director of Inspection Services & Dana Zahn,
Human Resources Coordinator

Prepared Date: ~~March 13, 2003~~ 2019

Approved By: ~~Resolution 2003-5516~~

Approved Date: ~~4/15/2003~~

Summary Inspects commercial and industrial plumbing systems and installations for conformance to state and local codes, sanitation standards, and construction specifications by performing the following duties.

Essential Duties and Responsibilities include the following. Other duties may be assigned.

Make scheduled inspections for plumbing systems of new and existing residential and commercial buildings.

Check plumbing plans and layout for residential and commercial buildings for conformance to codes, ordinance, and statutes.

Approve plumbing applications, issue permits, and make inspections.

Receive and/or coordinate the investigation and resolution of complaints.

Prepare and issue orders and citations in order to obtain compliance with Municipal and Zoning Codes.

Act as witness in court cases to obtain compliance with Municipal Codes.

Make recommendations to keep codes current.

Make annual tavern and restaurant inspections of plumbing, prior to licenses being issued.

Subject to approval by the Director of Inspection Services, will be responsible to render final determination on all matters related to local administration of the Plumbing code.

Gives guidance to other inspectors in regards to plumbing issues in which they may have questions.

Other duties as assigned by the ~~Building Inspector~~ Director of Inspection Services.

Maintain all plumbing permits and inspection records.

Supervisory Responsibilities

This job has no supervisory responsibilities.

Qualifications To perform this job successfully, an individual must be able to perform each essential duty satisfactorily. The requirements listed below are representative of the knowledge, skill, and/or ability required. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Education and Experience

Graduation from high school or GED equivalent + required trade school to obtain plumbing license, four (4) yearsthree (3) years relevant experience, or any equivalent combination of education and experience.

Language Skills

Ability to read and interpret documents such as safety rules, operating and maintenance instructions, and procedure manuals. Ability to write routine reports and correspondence. Ability to speak effectively before groups of citizens or employees of the organization. Ability to maintain effective work relationships with other departments, appointed officials, elected officials, and the public.

Mathematical Skills

Ability to calculate figures and amounts such as discounts, interest, proportions, percentages, area, circumference, and volume. Ability to apply concepts of basic algebra and geometry.

Reasoning Ability

Ability to solve practical problems and deal with a variety of concrete variables in situations where only limited standardization exists. Ability to interpret a variety of instructions furnished in written, oral, diagram, or schedule form. Ability to make independent judgments which have considerable impacts on the organization.

Computer Skills

To perform this job successfully, an individual should have knowledge of Microsoft Word word processing software. The ability to learn other required software, as needed.

Necessary Knowledge, Skills, and Abilities

Thorough knowledge of plumbing codes and construction standards and practices.

RESPONSIBILITY FOR PUBLIC CONTACT

Daily contact requiring courtesy, discretion, and sound judgment.

Certificates, Licenses, Registrations

~~Journey~~ Master Plumbers License.

State of Wisconsin, Department of ~~Commerce~~ Safety and Professional Services (DSPS) certifications in Uniform Dwelling Code Categories of Plumbing I and Private Onsite Waste Treatment System (P.O.W.T.S.) certification.

Valid WI-Driver's License.

Physical Demands The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable

accommodations may be made to enable individuals with disabilities to perform the essential functions.

Hand-eye coordination is necessary to operate computers and various pieces of office equipment. While performing the duties of this job, the employee is occasionally required to stand; walk; use hands and fingers to handle, feel or operate objects, tools, or controls; and reach with hands and arms. The employee is occasionally required to sit, climb, balance, stoop, kneel, crouch, crawl, talk and hear.

The employee must occasionally lift and/or move up to 10 pounds. Specific vision abilities required by this job include close vision, distance vision, depth perception, and the ability to adjust focus.

Work Environment The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Work is performed mostly in outdoor settings. While performing the duties of this job, the employee occasionally works in outside weather conditions. The employee is occasionally exposed to wet and/or humid conditions.

The noise level in the work environment is usually quiet in the office, and moderate to loud in the field.

Miscellaneous The duties listed above are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.

CITY OF FRANKLIN

Job Description

Job Title: Residential Building Inspector

Department: Inspection Services

Reports To: ~~Building Inspector~~ Director of Inspection Services

Salary Level: Salary Range 6

FLSA Status: Non-Exempt

Prepared By: Mark Lubberda, Director of Administration & Dana Zahn, Human Resources Coordinator

Prepared Date: ~~October 11, 2016~~ March 2019

Approved By: Common Council

Approved Date:

GENERAL PURPOSE

Enforce the building codes (exclusive of Commercial Building Construction Code) of the City of Franklin and the State of Wisconsin, to administer and enforce the provisions of those sections of the Municipal Code under the department's jurisdiction and to investigate and resolve complaints.

ESSENTIAL DUTIES AND RESPONSIBILITIES

Review plans and specifications for compliance with local and state building codes.

Review surveys and site plans for compliance with the provisions of the zoning code.

Issue building, heating, and sign permits.

Conduct on-site building inspections, including footing, foundation, rough carpentry, insulation, housing, soil erosion, and occupancy inspections.

Meet with contractors, owners and the general public to answer questions regarding building, housing, sign, and soil erosion codes.

Attend the Zoning, Building Board of Appeals, and Architectural Board meetings, ~~in the absence of the building inspector~~ at the direction of the Director of Inspection Services.

Act as a primary inspector for the investigation and resolution of complaints.

Prepare and issue orders and citations in order to obtain compliance with Municipal and Zoning Codes.

Other duties as assigned by the ~~Building Inspector~~ Director of Inspection Services.

PERIPHERAL DUTIES

Perform duties of plumbing and/or electrical inspectors, provided employee is certified and qualified.

Answer and direct telephone calls in the absence of the department secretary.

Receive and answer questions relating to applications for permits.

MINIMUM QUALIFICATIONS

Education and Experience

Graduation from high school or GED equivalent, 1-3 years general construction or related experience, or any equivalent combination of education and experience.

Language Skills

Ability to read, analyze, and interpret general business periodicals, professional journals, technical procedures, or governmental regulations. Ability to write reports, business correspondence, and procedure manuals. Ability to effectively present information and respond to questions from groups of managers, clients, customers, and the general public.

Mathematical Skills

Ability to calculate figures and amounts such as discounts, interest, commissions, proportions, percentages, area, circumference, and volume. Ability to apply concepts of basic algebra and geometry.

Reasoning Ability

Ability to solve practical problems and deal with a variety of concrete variables in situations where only limited standardization exists. Ability to interpret a variety of instructions furnished in written, oral, diagram, or schedule form.

Necessary Knowledge, Skills, and Abilities

Thorough knowledge of building codes and construction standards and practices.

Working knowledge of zoning codes and their enforcement.

Thorough knowledge of building materials and their applications.

Skill in the operation of listed tools and equipment.

Ability to present and communicate ideas and concepts to the public, verbally and in writing.

Ability to maintain effective work relationships with other departments, appointed officials, elected officials, and the public.

Ability to make independent judgments which have considerable impacts on the organization.

CERTIFICATES, LICENSES & REGISTRATION

State of Wisconsin, Department of Industry, Labor and Human Relations Safety and Professional Services (DSPS) certifications in the categories of Uniform Dwelling Code Categories of construction, HVAC required; Plumbing and Electrical certifications preferred.

Valid WI-Driver's License.

SUPERVISION RECEIVED

Works under general supervision of the ~~Building Inspector~~ Director of Inspection Services.

SUPERVISION EXERCISED

None.

RESPONSIBILITY FOR PUBLIC CONTACT

Daily contact requiring courtesy, discretion, and sound judgment.

TOOLS AND EQUIPMENT USED

Personal computer including word processing software, copy machine, fax machine, calculator, automobile, hand tools, and telephone.

PHYSICAL DEMANDS

The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Hand-eye coordination is necessary to operate computers and various pieces of office equipment. While performing the duties of this job, the employee is occasionally required to stand; walk; use hands and fingers to handle, feel or operate objects, tools, or controls; and reach with hands and arms. The employee is occasionally required to sit, climb, balance, stoop, kneel, crouch, crawl, talk and hear.

The employee must occasionally lift and/or move up to 10 pounds. Specific vision abilities required by this job include close vision, distance vision, color vision, peripheral vision, depth perception, and the ability to adjust focus.

WORK ENVIRONMENT

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Work is performed mostly in outdoor settings in the inspection of various land use developments and construction sites. Some work is performed in an office setting. The employee occasionally works near moving mechanical parts, in high, precarious places and is occasionally exposed to wet and/or humid conditions, or airborne particles.

The noise level in the work environment is usually quiet in the office, and moderate to loud in the field.

The duties listed above are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.

CITY OF FRANKLIN
Job Description

Job Title: Permit Technician

Department: ~~Building Inspection~~ Services |

Reports To: ~~Building Inspector~~ Director of Inspection Services |

Salary Level: Salary Grade 6

FLSA Status: Non-Exempt

Prepared By: W. Scott Satula, ~~Building Inspector~~ Director of Inspection Services |

Prepared Date: ~~10/10/2018~~ March 2019 |

Approved By: Common Council

Approved Date: ~~10/16/2018~~ |

Summary:

Under the direct supervision of the ~~Building Inspector~~ Director of Inspection Services, provides skilled residential and non-construction related commercial building inspections, assists in permit intake and review, issues permits and manages complaints to assure compliance with City/State/Federal codes and ordinances. |

Essential Duties and Responsibilities:

Assists front office staff with answering calls and serving customers at counter.

Processes “over-the-counter” permits for alterations, repairs and other small projects involving one & two-family dwellings.

Assists with scheduling inspections.

Assists in conducting liquor license inspections.

Provides coverage for other inspectors performing inspections on one & two-family dwellings.

Research, inspect, and takes appropriate action involving property maintenance, abandoned vehicle and other complaints routinely received by the Department of Building Inspection.

Prepares and issues notices & orders to property owners relating to nuisance complaints.

Maintains records of referrals and complaints on Department software program.

Inspects new & existing residential buildings for compliance with the Uniform Dwelling Code Construction & HVAC Codes.

Interprets legal requirements and recommends compliance procedures to property owners.

Inspects alterations and repairs of one & two-family buildings and premises for code compliance.

Answers building and zoning questions through e-mail, over the phone and at the counter.

Assists in the coordination of overlapping functions in other departments.

Consults with the City Attorney's Office in the issuance of citations and summons for prosecution regarding persons or firms violating City codes or ordinances.

Represents the City in Municipal Court for pre-trials and trials.

Testifies in court.

Maintains a variety of departmental reports, records, construction plans and surveys.

Recommends changes in procedures and processes to improve efficiency.

Performs other duties as assigned.

Peripheral Duties:

Position will also serve to assist and provide coverage for the Secretary and Permit Clerk positions in the Department.

Minimum Qualifications:

Education and Experience:

Graduation from high school or GED equivalent is required. A degree in architecture, construction management or closely related field; or 1-3 years previous experience in a municipal building inspection department or general building construction/building trades; or an equivalent combination of education and experience is required.

Language Skills:

Ability to read, analyze, and interpret general business periodicals, professional journals, technical procedures, or governmental regulations. Ability to write reports, business correspondence, and procedure manuals. Ability to effectively present information and respond to questions from groups of managers, clients, customers, and the general public.

Mathematical Skills:

Ability to calculate figures and amounts such as discounts, interest, commissions proportions percentages, area, circumference, and volume. Ability to apply concepts of basic algebra and geometry.

Reasoning Ability:

Ability to solve practical problems and deal with a variety of concrete variables in situations where only limited standardization exists. Ability to interpret a variety of instructions furnished in written, oral, diagram, or schedule form.

Necessary Knowledge, Skills, and Abilities:

Working knowledge of zoning codes and their enforcement, building codes, construction standards and practices, and the ability to explain in general terms their requirements.

Working knowledge of building materials and their applications.

Basic knowledge of the Inspection Services Department computer programs and the ability to teach the operation of the systems to others.

Ability to demonstrate strong values in communication, teamwork, safety, initiative, continuous improvement and maintaining a positive work environment.

Skill in operation of listed tools and equipment.

Maintains prompt, predictable, and regular physical attendance.

Provides truthful and accurate written and verbal communications.

Ability to present and communicate ideas and concepts to the public, verbally and in writing.

Ability to maintain effective working relationships and other departments, appointed officials, elected officials, and the public.

Ability to make independent judgments which have considerable impacts on the organization.

Certificates, Licenses, and Registrations:

DSPS inspector certifications in Uniform Dwelling Code Construction and HVAC are required within 6 months of employment.

Valid driver's license.

Supervision Received:

Works under the general supervision of the ~~Building Inspector~~ Director of Inspection Services.

Responsibility for Public Contact:

Daily contact requiring courtesy, discretion, and sound judgment.

Tools and Equipment Used:

Personal computer including word processing, permit tracking, complaint tracking, GOVERN, GIS, database and spreadsheet software, copy machine, fax machine, calculator, radio, and telephone.

Physical Demands:

The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Hand-eye coordination is necessary to operate computers and various pieces of office equipment. While performing the duties of this job, the employee is occasionally required to stand; walk; use hands and fingers to handle, feel or operate objects, tools, or controls; and reach with hands and arms. The employee is occasionally required to sit, climb, balance, stoop, kneel, crouch, crawl, talk and hear.

The employee must occasionally lift and/or move up to 10 pounds. Specific vision abilities required by this job include close vision, distance vision, color vision, peripheral vision, depth perception, and the ability to adjust focus.

Work Environment:

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

Work is performed in outdoor settings in the inspection of various land use developments and construction sites. Work is also performed in an office setting. The employee occasionally works near moving mechanical parts, in high, precarious places and is occasionally exposed to wet and/or humid conditions, or airborne particles.

The noise level in the work environment is usually quiet in the office, and moderate to loud in the field.

The duties listed above are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.

CITY OF FRANKLIN
Job Description

Job Title: Inspection Permit Clerk

Department: Inspection Services

Reports To: ~~Building Inspector~~Director of Inspection Services

Salary Level: ~~determined per TEAMSTERS Clerical Union Contract~~Salary Grade 5

FLSA Status: Non-Exempt

Prepared By: ~~Becky Dudek, Human Resources Manager~~Scott Satula, Director of Inspection Services & Dana Zahn, Human Resources Coordinator

Prepared Date: ~~March 20, 2003~~2019

Approved By: ~~Resolution 2003-5558~~

Approved Date: ~~July 15, 2003~~

Summary:

Review applications and provide secretarial and permit services in support of department objectives and coordinate office clerical operations.

Essential Duties and Responsibilities:

Issue building permits for the construction of accessory structures, fences, swimming pools, attached decks, foundation repairs, and other types of permits as authorized by the ~~Building Inspector~~Director of Inspection Services.

Compose, type, and edit a variety of correspondence, reports, memoranda, and other materials.

Receive and perform preliminary checks of building plans, surveys, and specifications submitted for permit applications.

Prepare applications and enter permit information into the computer system.

Coordinate and schedule inspections to be made by the building, plumbing, and electrical inspectors, and engineering technicians.

Maintain records and files; including plumbing, building, soil erosion, drive approach, culverts, hydrant use, and sign permits.

Maintain filing systems, control records, and indexes.

Prepare various detailed monthly and yearly reports for federal and state governments, local utilities, and city use.

Enter permit records into various computer databases and coordinate occupancy re-inspections for the inspectors.

Meet with contractors, owners, and the public to answer general questions regarding building, housing, signs, and soil erosion codes.

Coordinate the agenda for the architectural board, mail required notices, and transcribe minutes.

Updates Inspection Services Department web page.

Provides support to other departments on Govern software.

Maintain account records and coordinate department purchasing.

Other duties as assigned by the ~~Building Inspector~~Director of Inspection Services.

Peripheral Duties:

~~Licensing of electrical contractors.~~

Process permits as directed by the ~~Building Inspector~~Director of Inspection Services.

Minimum Qualifications:

Education and Experience:

Graduation from high school or GED equivalent with specialized course work in general office practice and two (2) years of increasingly responsible related experience, or any equivalent combination of related education and experience. A minimum of two (2) years experience in a Building Inspection Department or an equivalent degree of experience in office management in a construction related field. The ability to obtain certification as an a Wisconsin Department of Safety and Professional Services (DSPS) UDC construction Construction Inspector within 6 months.

Language Skills:

Ability to read, analyze, and interpret general business periodicals, professional journals, technical procedures, or governmental regulations. Ability to write reports, business correspondence, and procedure manuals. Ability to effectively present information and respond to questions from groups of managers, clients, customers, and the general public.

Mathematical Skills:

Ability to calculate figures and amounts such as discounts, interest, commissions proportions percentages, area, circumference, and volume. Ability to apply concepts of basic algebra and geometry.

Reasoning Ability:

Ability to solve practical problems and deal with a variety of concrete variables in situations where only limited standardization exists. Ability to interpret a variety of instructions furnished in written, oral, diagram, or schedule form.

Necessary Knowledge, Skills, and Abilities:

Working knowledge of zoning and building codes and the ability to explain in general terms their requirements.

Ability to review plans and issue permits following completion of review.

Advanced knowledge of the Inspection Services Department computer programs and the ability to teach the operation of the systems to others. |

Skill in operation of listed tools and equipment.

Ability to present and communicate ideas and concepts to the public, verbally and in writing.

Ability to maintain effective working relationships and other departments, appointed officials, elected officials, and the public.

Ability to make independent judgments which have moderate impacts on the organization.

Certificates, Licenses, and Registrations:

Certification as an UDC Construction Inspector.

Supervision Received:

Works under the general supervision of the ~~Building Inspector~~ Director of Inspection Services. |

Responsibility for Public Contact:

Daily contact requiring courtesy, discretion, and sound judgment.

Tools and Equipment Used:

Personal computer including word processing, permit tracking, complaint tracking, GOVERN, GIS, database and spreadsheet software, copy machine, fax machine, calculator, radio, and telephone.

Physical Demands:

The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

While performing the duties of this job, the employee is frequently required to sit, talk and hear. The employee is occasionally required to walk; use hands and fingers to operate, handle or feel objects, tools, or controls; and reach with hands and arms.

The employee must occasionally lift and/or move up to 10 pounds. Specific vision abilities required by this job include close vision and the ability to adjust focus.

Work Environment:

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of the job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

The work is performed primarily in an office setting. The noise level in the work environment is moderate.

The duties listed above are intended only as illustrations of various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.

CITY OF FRANKLIN
Job Description

Job Title: Secretary

Department: Inspection Services

Reports To: ~~Building Inspector~~ Director of Inspection Services

Salary Level: ~~12, per Teamsters Clerical Union Contract~~ Salary Grade 2

FLSA Status: Non-Exempt

Prepared By: ~~Becky Dudek~~ Scott Satula, Director of Inspection Services & Dana Zahn, Human Resources Coordinator

Prepared Date: ~~March 13, 2003~~ 2019

Approved By: ~~Resolution 2003-5516~~

Approved Date: ~~April 15, 2003~~

GENERAL PURPOSE

Provide secretarial services in support of department objectives and coordinate office operations.

ESSENTIAL DUTIES AND RESPONSIBILITIES

Compose, type, and edit a variety of correspondence, reports, memoranda, and other materials.

Receive and perform preliminary checks of building plans, surveys, and specifications submitted for permit applications.

Prepare application forms for all permits.

Coordinate and schedule inspections to be made by the building, plumbing, and electrical inspectors, and engineering technicians, for drive approach permits.

Maintain records and files, including plumbing, building, soil erosion, drive approach, culverts, hydrant use, and sign permits.

Establish and maintain filing systems, control records, and indexes.

Prepare various detailed monthly and yearly reports for federal and state governments, local utilities, and city use.

Enter permit records into various computer databases and coordinates occupancy reinspections for the inspectors.

Meet with contractors, owners, and the general public to answer general questions regarding building, housing, signs, and soil erosion codes.

Coordinate the agenda for the architectural board, mail required notices, and transcribe minutes.

Serve as cashier and post money to appropriate accounts.

Other duties as assigned by the ~~Building Inspector~~ Director of Inspection Services.

PERIPHERAL DUTIES

~~Licensing of electrical contractors.~~

Process various types of permits.

MINIMUM QUALIFICATIONS

Education and Experience

Graduation from high school or GED equivalent with specialized course work in general office practice and, two (2) years of increasingly responsible related experience, or any equivalent combination of related education and experience. Must be able to type 40 wpm.

Language Skills

Ability to read and interpret documents such as safety rules, operating and maintenance instructions, and procedure manuals. Ability to write routine reports and correspondence. Ability to speak effectively before groups of customers or employees of organization.

Mathematical Skills

Ability to calculate figures and amounts such as discounts, interest, commissions, proportions, percentages, area, circumference, and volume. Ability to apply concepts of basic algebra and geometry.

Reasoning Ability

Ability to apply common sense understanding to carry out instructions furnished in written, oral, or diagram form. Ability to deal with problems involving several concrete variables in standardized situations.

Necessary Knowledge, Skills, and Abilities

Working knowledge of zoning and building codes and the ability to generally explain their requirements.

Skill in operation of listed tools and equipment.

Ability to present and communicate ideas and concepts with the public, verbally and in writing.

Ability to maintain effective work relationships with other departments, appointed officials, elected officials, and the public.

Ability to make independent judgments which have moderate impacts on the organization.

SUPERVISION RECEIVED

Works under the general supervision of the ~~Building Inspector~~ Director of Inspection Services.

SUPERVISION EXERCISED

None.

RESPONSIBILITY FOR PUBLIC CONTACT

Daily contact requiring courtesy, discretion, and sound judgment.

LICENSING AND CERTIFICATION

None.

TOOLS AND EQUIPMENT USED

Personal computer including word processing, GIS, and GOVERN software, copy machine, fax machine, calculator, radio, and telephone.

PHYSICAL DEMANDS

The physical demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

While performing the duties of this job, the employee is frequently required to sit, talk and hear. The employee is occasionally required to walk; use hands and fingers to operate, handle or feel objects, tools, or controls; and reach with hands and arms.

The employee must occasionally lift and/or move up to 10 pounds. Specific vision abilities required by this job include close vision and the ability to adjust focus.

WORK ENVIRONMENT

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of the job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

The work is performed primarily in an office setting. The noise level in the work environment is moderate.

The duties listed above are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.



MEMORANDUM: FROM ENGINEERING

DATE: March 25, 2019

TO: Mark Luberda, Director of Administration

COPY: Dana Zahn, Human Resources Coordinator
Mayor Steve Olson
Bill Dudash, Public Works Superintendent
Mike Roberts, Utility Superintendent

FROM: Glen E. Morrow, PE- City Engineer, Director of Public Works, Utility Manager *Glen E. Morrow*

SUBJECT: Minimum Drivers License requirements for DPW and Utility Applicants

Currently all DPW and Utility job postings require that the applicant have his/her commercial driving license (CDL) Class A, B, C, and D with endorsement N. For reference:

Class A. For operation of a commercial motor vehicle. Any combination of vehicles with a Gross Vehicle Weight Rating (GVWR), actual weight, or registered weight over 26,000 pounds provided the GVWR, actual weight, or registered weight of the towed vehicle(s) is more than 10,000 pounds.

Class B. For operation of a commercial motor vehicle. Any single vehicle with a GVWR, actual weight, or registered weight over 26,000 pounds, or such vehicle towing a vehicle with a GVWR, actual weight, or registered weight of 10,000 pounds or less.

Class C. For operation of a commercial motor vehicle. Any single vehicle with a GVWR, actual weight, or registered weight of 26,000 pounds or less, (or such vehicle towing a vehicle less than 10,000 pounds) transporting hazardous materials requiring placarding or designed to carry 16 or more persons including the driver.

Class D. For operation of automobiles; light trucks and mopeds.

Endorsement N= Tank vehicle. Any commercial vehicle that is designed to transport a liquid or gaseous material within a tank that is either permanently or temporarily attached to the commercial motor vehicle of the chassis.

To take the applicable CDL certification test, the applicant must have an appropriate vehicle to take the driving test. Depending on the equipment used, a restriction such as automatic transmission may be placed on the license.

There are also ways in which an applicant may have the appropriate experience but has not needed to obtain his/her CDL license. For example exemptions include:

Back-up (substitute or replacement) snowplow drivers (includes snow or ice removal by plowing, salting or sanding) for local units of government (defined as a county, city, village, town, school district, county utility district, sanitary district, metropolitan sewage district, or other public body created by or pursuant to state law) are not required to hold a CDL if they meet all of the following:

- *Are an employee of a local unit of government with a population of 3,000 or fewer.*
- *Hold a valid Class D license.*
- *Are operating within the boundaries of the local unit of government.*
- *Is one of the following:*
 - *Substituting for or replacing, a regular employee who ordinarily operates the vehicle.*
 - *An additional employee because a snow emergency exists as determined by the local unit of government.*

As a result, an applicant may have many desirable, applicable, and valuable job skills but has not had the opportunity to practice and drive the appropriate vehicle. The requirements for a CDL Class A, B, C, and D with endorsement N to even apply for an open position has limited the number of applicants for consideration.

Some other communities have altered their qualifications for hiring these employees and state that applicants with those certifications will be preferred but not required at date of hire. They also state that applicable certifications must be obtained before the probation time has expired.

With the support of the DPW and Utility Superintendents, I would like to recommend that Franklin not require minimum CDL requirements at the date of hire but require that the minimum CDL requirements for each position be obtained prior to expiration of the new employee's probation. Failure to obtain the certifications prior to end of probation will be cause for termination.

Obviously, hiring an employee with the applicable CDL certifications is highly desirable, but waiving this requirement will allow consideration of a broader pool of applicants.

APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE June 4, 2019
REPORTS & RECOMMENDATIONS	NOTIFICATION OF CLOSURE OF RECYCLING CENTER SERVICES AT DPW FACILITY (7979 W. RYAN ROAD) ON SATURDAYS	ITEM NUMBER <i>G.11.</i>

BACKGROUND

Currently, Franklin residents utilize a recycling center Mondays through Saturdays at the Department of Public Works (DPW) facility at 7979 W. Ryan Road. Historically, the recycling center was staffed on Saturdays by volunteer DPW Staff that were paid overtime. This overtime expense was covered by the solid waste fund and included heavy equipment operators (HEO), light equipment operators (LEO) and mechanics. It is budgeted that approximately 7.5 hours per week are paid by the solid waste fund.

In April 2016, the staffing for the recycling center was modified to shift the Saturday work using an altered work schedule. See attached April 25, 2016 email with the Mayor's approval and description of the implementation. This modification removed monies from the DPW payroll budget but it also removed one employee for one day each week from the work crews. Common Council was reminded of this modification in 2017 during the 2018 budget discussions with the attached memorandum.

Presently, DPW has several open positions and the missing operator one day per week is exacerbating the understaffed/overworked environment. In addition, it is assumed that mandatory rotating Saturday work is limiting the pool of applicants for open LEO and HEO positions in the current employment market. With the Mayor's blessing, DPW would like to eliminate the mandatory altered work schedule and eliminate Saturday services at the recycling center.

ANALYSIS

Staff would still open the DPW recycling center Mondays through Fridays during DPW's normal operating hours. DPW would start documenting Staff efforts at the Recycling Center Mondays through Fridays that would be equivalent to the current solid waste fund budget that pays for Saturday hours.

Note that residents may also utilize recycling facilities at Waste Management's facility at 12200 W. South County Line Road. Waste Management will ask for proof of Franklin residency, but they are open on Mondays, Wednesdays, Fridays, and Saturdays (until 3:00 pm) and will accept everything that the DPW facility does plus they will take all sizes of brush, tires, trash, metal, yard and garden waste, leaves, construction debris, furniture, and carpeting. If allowed to close on Saturdays, DPW would post a sign with instructions on how to find the Waste Management facilities.

The Mayor has authority to alter work schedules. Staff would like for Common Council to acknowledge that it is acceptable for the DPW Recycling Center to close operations on Saturdays.

If allowed to close on Saturdays, Staff will alert the residents of the change in the upcoming City newsletter (next publication the week of July 22, 2019), City website, and a sign at the DPW yard. Implementation would start in August 2019.

FISCAL NOTE

This has negligible impact on current budget since the number of Staff hours would remain the same and the budget from the Solid Waste fund would also remain the same.

OPTIONS

- A. Allow the closure of the recycling center on Saturdays. Or
- B. Refer back to Staff with further direction.

COUNCIL ACTION REQUESTED

(OPTION A) Motion to acknowledge closing the Department of Public Works Recycling Center on Saturdays.

Engineering: GEM

Glen Morrow

From: Steve Olson [steve-olson@wi.rr.com]
Sent: Monday, April 25, 2016 10:11 AM
To: Glen Morrow; Steve Olson
Cc: Jerry Schaefer; Dana Zahn; Mark Luberda
Subject: RE: DPW Light Equipment Operator altered work schedule

Approved.

Steve Olson
Mayor
City of Franklin
9229 W. Loomis Rd.
Franklin, Wi. 53132
O: 414-427-7529



City of Franklin

From: Glen Morrow [<mailto:GMorrow@franklinwi.gov>]
Sent: Monday, April 25, 2016 9:56 AM
To: Steve Olson
Cc: Jerry Schaefer; Dana Zahn; Mark Luberda
Subject: DPW Light Equipment Operator altered work schedule

Mayor,

Per the employee manual "...the work week and hours of work for non-Civil Service employees shall primarily be established by the Mayor.....The City reserves the right to alter work schedules and assignments of supervisors and managers to meet the needs of the Departments and the City."

We plan to hire a DPW light equipment operator following the retirement of a Heavy Equipment Operator (HEO) and subsequent promotion of Light Equipment Operator (LEO). Current policy to staff the recycling center on Saturday is to offer overtime to current DPW employees, including mechanics, HEOs, and LEOs. We plan to advertise and hire all new LEO positions as mandatory Saturday hours at straight time based on an altered work schedule- working only 4 days earlier in the week. The goal is to eventually have this scheduled shared with many LEOs on a rotation or voluntary basis.

Once the first new employee is hired, we will offer this altered schedule to existing LEOs (and possibly HEOs if necessary) on a voluntary basis so that the new person may not need to work every Saturday. Otherwise, we will occasionally need overtime if the new employee(s) have valid reasons to miss work on a Saturday. Again- I intend to grandfather all existing employees as voluntary altered work schedules. Overtime to staff the Recycling Center in the future will be as a last resort.

Please reply with your approval or questions to document your mayoral decision.

Glen E. Morrow, PE

City Engineer / Director of Public Works
City of Franklin
9229 W. Loomis Rd.
Franklin, Wi. 53132
414-425-7510



MEMORANDUM: FROM ENGINEERING

DATE: July 28, 2017

TO: Mayor Olson
Common Council
Director of Finance Rotzenberg

FROM: Glen E. Morrow, PE- City Engineer, Director Of Public Works, Utility Manager

SUBJECT: Proposed 2018 DPW Personnel addition of Light Equipment Operator.

In 2016, a new light equipment operator (LEO) was approved in the budget, but never hired. This new position was requested in 2017 budget but not approved. Please consider this position again for 2018.

There has been some significant road mileage added to the Franklin DPW responsibilities with most notably the jurisdictional transfers of S. 68th Street, S. North Cape Road, and W. St. Martins Road. Not only do these roads require additional snow clearing operations, but they have added property owner services related to ditches and drainage concerns that were previously addressed (or neglected) by the County Highway department. Several of these residents have consumed a large portion of Staff's time with a wide variety of issues, including but not limited to drainage complaints, right-of-way mowing, street tree maintenance, and ditch enclosures.

Additionally, there is increased needs in Parks that are stretching the abilities of the department. Not just the visible Kayla's playground, but all parks are receiving additional attention to structural repairs, landscaping, and general daily maintenance because of increased use. Pleasant View Park has alone added 24 acres of maintenance. Pathways for Pleasant View and Robinwood Trail are examples of the trails that have been installed and need weekly attention. I am told that the Parks budgets have been created to compensate the DPW operations budgets- but they not currently adequate.

The Parks contributes approximately \$60,000 for fulltime salaries and less than \$20,000 for temporary salaries equaling about \$80,000 total gross salaries (not including benefits). In 2015, the gross salaries of DPW full and part time employees was over \$93,000. In 2016 that number was over \$95,000. As of the 7/21/2017 pay period, the 2017 number is over \$49,000 and it is anticipated that the year will finish \$95,000 - \$100,000.

Note that several small promises of DPW time are continually being added to weekly chores. These include mowing projects in the summertime and sidewalk/pathway clearing in the wintertime.

Please note that DPW is continually implementing savings to the City. One example is requiring new LEOs to adjust their work schedule to cover the Recycling Center on Saturdays for no overtime. Unfortunately, this cost savings measure leaves the DPW routinely short of staff each week to address the LEO duties.

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APPROVAL <i>Slw</i> <i>Pa</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE June 4, 2019
REPORTS & RECOMMENDATIONS	AN ORDINANCE TO AMEND ORDINANCE 2018-2345, AN ORDINANCE ADOPTING THE 2019 ANNUAL BUDGETS FOR THE GRANTS FUND TO PROVIDE \$10,500 OF APPROPRIATIONS FOR CAPITAL PURCHASES	ITEM NUMBER <i>G.12.</i>

Background

The 2019 Grants budget did not provide any capital appropriations for Health Grants. Recently, the Public Health Emergency Preparedness Grant provided \$10,500 of resources for tables and chairs in the Health Department to act as an Emergency Preparedness site.

Appropriations are needed to authorize the equipment purchase.

Recommendation

Staff recommends the attached proposed 2019 budget amendment be adopted to provide appropriations necessary to utilize the resources provided by the Public Health Emergency Preparedness Grant.

COUNCIL ACTION REQUESTED

Motion adopting an Ordinance to amend Ordinance 2018-2345, an Ordinance adopting the 2019 annual budgets for the Grants Fund to provide \$10,500 of appropriations for capital purchases

Roll Call Vote Required

Finance Dept - Paul

STATE OF WISCONSIN : CITY OF FRANKLIN : MILWAUKEE COUNTY

ORDINANCE NO. 2019_____

AN ORDINANCE TO AMEND ORDINANCE 2018-2345, AN ORDINANCE ADOPTING
THE 2019 ANNUAL BUDGETS FOR THE GRANT FUND TO PROVIDE \$10,500 OF
APPROPRIATIONS FOR CAPITAL PURCHASES

WHEREAS, the Common Council of the City of Franklin adopted the 2019 Annual Budgets for the City of Franklin on November 13, 2018; and

WHEREAS, a new \$10,500 Public Health Emergency Preparedness grant has become available to purchase desks and chairs to equip the City's Preparedness site; and

WHEREAS, resources and expenditure appropriations were not included in the 2019 Grant Fund for capital purposes; and

WHEREAS, the City of Franklin will benefit by accepting the grant and purchasing the equipment.

NOW, THEREFORE, the Common Council of the City of Franklin does hereby ordain as follows:

Section 1 That a 2019 Budget for the Grant Fund be adjusted as follows:

Health Grant Fund

Revenues	Grant	Increase	\$10,500
Capital Budget		Increase	\$10,500

Section 2 Pursuant to §65.90(5)(a), Wis. Stats., the City Clerk is directed to publish a Class 1 notice of this budget amendment within ten days of adoption of this ordinance.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this ____ day of _____, 2019.

APPROVED:

Stephen R Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES ____ NOES ____ ABSENT ____

APPROVAL <i>Slw pd</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE June 4, 2019
REPORTS & RECOMMENDATIONS	April, 2019 Monthly Financial Report	ITEM NUMBER <i>G.13.</i>

Background

The April, 2019 Financial Report is attached.

The Finance Committee reviewed this report and recommends acceptance of the attached statements.

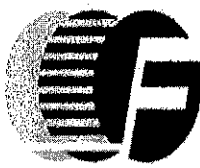
The Finance Committee recommended that Common Council revisit the Park Impact Fee rate immediately and current level of Park Spending to address the expiring Park Impact fees.

Highlights of the report are contained in the transmittal memo.

The Finance Director will be on hand to answer any questions.

COUNCIL ACTION REQUESTED

Motion to Receive and place on file



City of Franklin

Date: May 15, 2019
To: Mayor Olson, Common Council and Finance Committee Members
From: Paul Rotzenberg, Director of Finance & Treasurer *PR*
Subject: April 2019 Financial Report

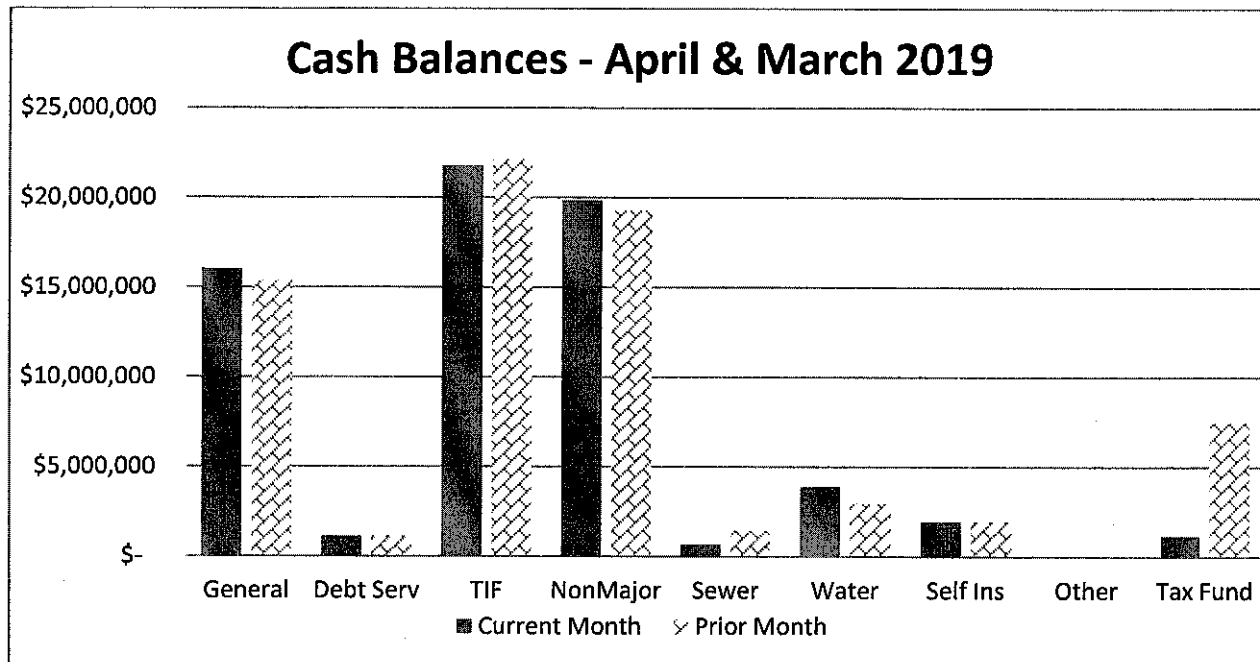
The April, 2019 financial reports for the General Fund, Debt Service Fund, TID Funds, Solid Waste Fund, Capital Outlay Fund, Equipment Replacement Fund, Street Improvement Fund, Capital Improvement Fund, Development Fund, Utility Development, Self Insurance Fund, and Post Employment Insurance Fund are attached.

The budget allocation is completed using an average of the last five years actual spending against the Original Budget, amendments to the 2019 budget are excluded from the Year To Date budget allocation. Caution is advised in that spending patterns may have changed. Comments on specific and trending results are provided below to aid the reader in understanding or explaining current year financial results.

Cash & Investments Summary – is provided to aid in understanding the resources available to meet current activities. Cash & investments are positions with safety and liquidity as primary objectives as stated in the City's Investment policy. Investment returns are secondary in the investment decisions, while return potential is not ignored.

The City borrowed \$20.1 million dollars in February. \$10.6 million was used to refund the TID 5 Note Anticipation Note sold in May 2018. \$3 million provided financing for a Developer's grant in TID 3, and \$6 million will finance project costs in TID 6.

Cash & Investments in the General Governmental Funds totaling \$58.8 million increased \$0.9 million since last month. Most of that increase resulted from the April tax settlement. The large decrease in the Tax Fund represents the settlement of Property taxes after the second installment due date.



GENERAL FUND revenues of \$16.8 million are \$0.7 million greater than budget. Tax collections are slightly faster and higher than prior years.

Year to Date April's expenditures of \$8.7 million are \$12,000 less than budget. Expenditure items of note are:

- The Public Works Year to date budget includes the 2018 salt purchase. The allocated budget does not anticipate that purchase in Q1. This variance will disappear by year end.
- The contingency expenditure represents the web site design project.

An \$8.0 million surplus is \$779,000 greater than budget. The faster collection of taxes generated the improved performance to budget. The tax collection favorable position will disappear by year end.

DEBT SERVICE – Debt payments were made March 1 as required. The increased development activity of late has permitted more impact fee transfers than expected in the budget.

TIF Districts –

TID 3 – The 2019 increment was collected and the TID borrowed \$3 million in February to finance a Developer Grant. The first of six buildings have received occupancy permits, and the grant has begun to be paid.

TID4 – The 2019 increment was collected and payments are being made on the Engineering contract.

TID5 – The 2019 Increment was collected. The TID borrowed \$10.6 million to make a \$10 million note payment. Developer draws continue to be paid. The 2019 budget will need to

be increased, as spending in 2018 was less than anticipated when the budget was adopted and will now be made in 2019. Total expenditures on the infrastructure are \$17.7 million.

TID6 – The TID borrowed \$6 million to finance developer project costs this summer. A second borrowing, likely in Q4, will be needed to meet commitments to the Developer.

SOLID WASTE FUND – Activity is occurring as budgeted. Tipping fees tend to run a month late.

LANDFILL SITING REVENUES – These revenues impact the four Capital Funds and the General Fund. The 2019 Budget of \$1.6 million anticipated a 72% increase over the prior year. Due to the uncertainty of that increase, several contingencies were established in the Capital fund expenditures until a clearer picture of landfill siting revenues was known. Receipts thru April 30 total \$467,300, 141% more than 2018 at this time.

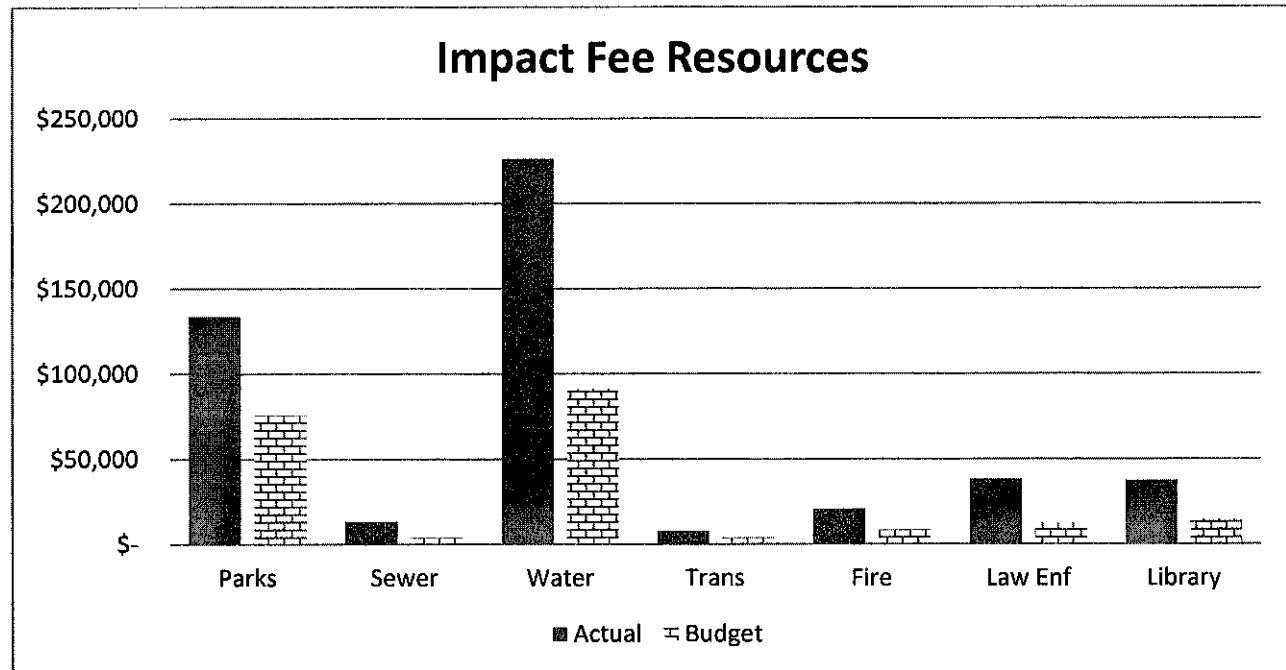
CAPITAL OUTLAY FUND – tax revenues are in line with budget. Landfill siting revenue is being allocated differently than in prior years, which accounts for the reduced revenue in 2019 compared to budget. The Police have ordered several of the planned vehicles. A \$26,000 text 2-911 project initiated in 2016 has numerous technical delays. The Fire Dept has completed the thermal imaging project. Highway has completed the Router replacement.

EQUIPMENT REPLACEMENT FUND – Revenues are in line with budget. The last of the 2018 projects were completed. The Fire Dept has placed the \$633,000 Purchase Order for the fire engine replacement.

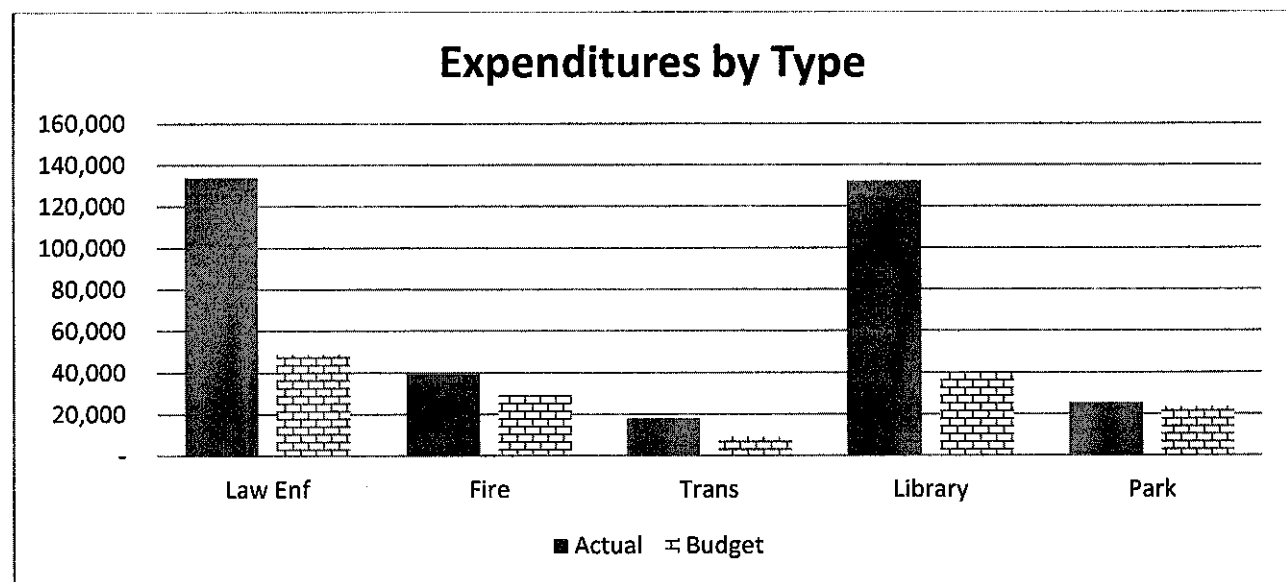
STREET IMPROVEMENT FUND – Revenues are in line with budget. The 2019 program purchase order has been placed. Costs are expected to be \$79,000 less than budget.

CAPITAL IMPROVEMENT FUND – The \$1,012,000 of Public Works expenditures represent the commitments made on the Rawson Homes storm sewer project. Some purchase commitments have been made on the City Hall HVAC & roof project. The Elm Road engineering study was charged to Contingency.

DEVELOPMENT FUND – Impact fee collections are starting very strong with several home building permits getting pulled. The large Water Impact fee was collected on the Ballpark Common's Routine Field permit.



Transfers to the Debt Service fund were made to fund debt service costs.



The Park Impact fee expenditures represent a commitment for a trail to a developer. The Park Impact fee holding period ends at the end of August 2019, should qualifying park expenditures utilizing fees not occur prior to then, rebates will begin.

Water Impact fees have been held for nearly six years. Oversizing payments to developers will utilize some of the fees but not very soon. A Water tower project is in the planning stage for 2021 or later and will use all of those fees and more.

April, 2019
Financial report

As of April, 2019, there are \$4.27 million of Park and \$1.76 million of Water Impact fees on hand. All other fee types total \$315,000.

UTILITY DEVELOPMENT FUND – A large deferred assessment was paid in January.

SELF INSURANCE FUND – Revenues are slightly below budget, as participation in the plan decreased as a result of the revised health insurance program.

Employer contributions to the Health Savings Accounts are pushing costs greater than expected when more participants chose this plan. A budget amendment permitting additional transfers to cover HSA contributions will be needed.

Benefit payments are 4% greater than budget.

A break even result thru April is worse than budget but better than last year. Generally, current performance of this fund is favorable.

RETIREE HEALTH FUND – Insurance results are much better than 2018. The additional participant contributions are a function of higher participant premium rates and greater participation. Medical claims are off to a much slower start than 2018, generating an insurance surplus. These results can quickly change depending upon group activity.

Investment results erased the sharp down turn in the fourth quarter of 2018. Net investment gains of \$670,000 combined with the City contributions generate the \$754,000 surplus.

Caution is advised, as equity market returns can be volatile, evidenced by the sharp fourth quarter downturn in 2018.

City of Franklin
Cash & Investments Summary
April 30, 2019

	Cash	American Deposit Management	Institutional Capital Management	Local Government Invest Pool	Fidelity Investments	Total	Prior Month Total
General Fund	\$ 886,581	\$ 8,213,262	\$ 5,202,897	\$ 1,735,414	\$ -	\$ 16,038,153	\$ 15,363,648
Debt Service Funds	31,655	586,347	527,679	-	-	1,145,681	1,144,078
TIF Districts	825,240	17,978,658	2,997,569	-	-	21,801,467	22,162,726
Nonmajor Governmental Funds	557,998	10,185,019	9,099,645	-	-	19,842,662	19,282,900
Total Governmental Funds	2,301,474	36,963,285	17,827,790	1,735,414	-	58,827,963	57,953,352
Sewer Fund	(25,764)	700,000	-	-	-	674,236	1,456,218
Water Utility	20,387	3,485,726	410,893	-	-	3,917,006	2,977,506
Self Insurance Fund	144,237	25,487	1,794,459	-	-	1,964,183	1,960,876
Other Designated Funds	13,877	-	-	-	-	13,877	13,972
Total Other Funds	152,737	4,211,213	2,205,352	-	-	6,569,302	6,408,571
Total Pooled Cash & Investments	2,454,211	41,174,498	20,033,142	1,735,414	-	65,397,265	64,361,924
Retiree Health Fund	108,018	-	-	-	6,009,673	6,117,691	5,933,260
Property Tax Fund	123,928	1,037,002	-	-	-	1,160,930	7,500,356
Total Trust Funds	231,946	1,037,002	-	-	6,009,673	7,278,621	13,433,616
Grand Total Cash & Investments	2,686,158	42,211,500	20,033,142	1,735,414	6,009,673	72,675,886	77,795,540
Average Rate of Return		2.37%	1.65%	2.49%			
Maturities:							
Demand	2,686,158	29,368,615	64,347	1,735,414	265,550	34,120,083	39,387,168
Fixed Income & Equities	-	-	-	-	4,397,155	4,397,155	4,255,881
2019 - Q2	-	2,984,485	-	-	-	2,984,485	2,984,485
2019 - Q3	-	9,178,000	995,096	-	-	10,173,096	10,172,150
2019 - Q4	-	-	1,986,014	-	-	1,986,014	1,983,524
2020 - Q1	-	167,700	1,033,832	-	-	1,201,532	1,200,880
2020 - Q2	-	-	988,383	-	-	988,383	-
2020	-	512,700	4,476,226	-	172,961	5,161,888	6,146,240
2021	-	-	7,960,703	-	225,887	8,186,590	8,186,431
2022	-	-	2,528,541	-	170,505	2,699,046	2,701,348
2023	-	-	-	-	174,230	174,230	174,370
2024	-	-	-	-	201,009	201,009	201,331
2025	-	-	-	-	202,518	202,518	202,274
2026	-	-	-	-	199,858	199,858	199,457
	2,686,158	42,211,500	20,033,142	1,735,414	6,009,673	72,675,886	77,795,540

City of Franklin
2019 Financial Report
General Fund Summary
For the Four months ended April 30, 2019

Revenue	2019 Original Budget	2019 Amended Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	Var to Budget Surplus (Deficiency)
Property Taxes	\$ 18,139,675	\$ 18,139,675	\$ 14,026,581	\$ 14,548,158	\$ 521,577
Other Taxes	686,800	686,800	24,456	48,137	23,681
Intergovernmental Revenue	1,736,127	1,736,127	302,844	321,961	19,117
Licenses & Permits	1,038,990	1,038,990	322,881	303,514	(19,367)
Law and Ordinance Violations	546,000	546,000	216,382	151,201	(65,181)
Public Charges for Services	2,056,950	2,056,950	621,426	693,327	71,901
Intergovernmental Charges	207,500	207,500	-	30,891	30,891
Investment Income	265,000	265,000	88,333	229,878	141,545
Miscellaneous Revenue	162,150	162,150	35,124	31,008	(4,116)
Transfer from Other Funds	1,109,250	1,109,250	392,116	439,125	47,009
Total Revenue	\$ 25,948,442	\$ 25,948,442	\$ 16,030,143	\$ 16,797,200 104.79%	\$ 767,057
Expenditures	2019 Original Budget	2019 Amended Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	Var to Budget Surplus (Deficiency)
General Government	\$ 3,200,440	\$ 3,239,416	A \$ 1,219,744	\$ 1,099,633	E \$ 120,111
Public Safety	17,784,187	17,778,874	A 5,885,456	5,996,280	E (110,824)
Public Works	3,571,132	3,703,236	A 1,151,083	1,290,314	E (139,231)
Health and Human Services	750,797	742,362	A 231,485	202,722	28,763
Other Culture and Recreation	182,702	185,793	A 42,977	42,350	627
Conservation and Development	640,776	732,514	A 207,806	242,944	E (35,138)
Contingency and Unclassified	2,069,728	1,833,754	A 31,826	16,920	E 14,906
Anticipated underexpenditures	(375,320)	(317,444)	A (105,815)	-	(105,815)
Transfers to Other Funds	274,000	282,100	A 83,333	-	83,333
Encumbrances	-	-	-	(155,220)	155,220
Total Expenditures	\$ 28,098,442	\$ 28,180,605	\$ 8,747,895	\$ 8,735,943 99.86%	\$ 11,952
Excess of revenue over (under) expenditures	(2,150,000)	(2,232,163)	<u>\$ 7,282,248</u>	8,061,257	<u>\$ 779,009</u>
Fund balance, beginning of year	7,336,277	7,336,277		7,336,277	
Fund balance, end of period	<u>\$ 5,186,277</u>	<u>\$ 5,104,114</u>		<u>\$ 15,397,534</u>	

A Represents an amendment to Adopted Budget

E Represents an encumbrance for current year from prior year

**City of Franklin
Debt Service Funds
Balance Sheet
April 30, 2019 and 2018**

	2019 Special Assessment	2019 Debt Service	2019 Total	2018 Special Assessment	2018 Debt Service	2018 Total
Assets						
Cash and investments	\$ 727,742	\$ 417,939	\$ 1,145,681	\$ 626,126	\$ 60,762	\$ 686,888
Special assessment receivable	58,474	-	58,474	89,463	-	89,463
Total Assets	\$ 786,216	\$ 417,939	\$ 1,204,155	\$ 715,589	\$ 60,762	\$ 776,351
Liabilities and Fund Balance						
Unearned & unavailable revenue	\$ 58,474	\$ -	\$ 58,474	\$ 89,463	\$ -	\$ 89,463
Unassigned fund balance	727,742	417,939	1,145,681	626,126	60,762	686,888
Total Liabilities and Fund Balance	\$ 786,216	\$ 417,939	\$ 1,204,155	\$ 715,589	\$ 60,762	\$ 776,351

**Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018**

	2019 Special Assessment	2019 Debt Service	2019 Year-to-Date Actual	2019 Amended Budget	2018 Special Assessment	2018 Debt Service	2018 Year-to-Date Actual
Revenue							
Property Taxes	\$ -	\$ 1,300,000	\$ 1,300,000	\$ 1,300,000	\$ -	\$ 1,300,000	\$ 1,300,000
Special Assessments	5,729	-	5,729	-	4,437	-	4,437
Investment Income	7,679	6,191	13,870	-	(2,262)	2,334	72
GO Debt Issuance	-	-	-	-	-	-	-
Total Revenue	13,408	1,306,191	1,319,599	1,300,000	2,175	1,302,334	1,304,509
Expenditures:							
Debt Service:							
Principal	-	1,405,000	1,405,000	1,405,000	-	1,339,008	1,339,008
Interest	-	74,256	74,256	134,138	-	65,634	65,634
Bank Fees	-	800	800	1,050	-	-	-
Total expenditures	-	1,480,056	1,480,056	1,540,188	-	1,404,642	1,404,642
Transfers in	-	323,419	323,419	240,188	-	111,999	111,999
Transfers out	-	-	-	-	(60,000)	-	(60,000)
Net change in fund balances	13,408	149,554	162,962	-	(57,825)	9,691	(48,134)
Fund balance, beginning of year	714,334	268,385	982,719	982,719	683,951	51,071	735,022
Fund balance, end of period	\$ 727,742	\$ 417,939	\$ 1,145,681	\$ 982,719	\$ 626,126	\$ 60,762	\$ 686,888

**City of Franklin
Consolidating TID Funds
Balance Sheet
April 30, 2019**

	<u>TID 3</u>	<u>TID 4</u>	<u>TID 5</u>	<u>TID 6</u>	<u>Total</u>
<u>Assets</u>					
Cash & investments	\$ 5,358,526	\$ 4,237,554	\$ 5,674,036	\$ 6,531,351	\$ 21,801,467
Total Assets	<u>\$ 5,358,526</u>	<u>\$ 4,237,554</u>	<u>\$ 5,674,036</u>	<u>\$ 6,531,351</u>	<u>\$ 21,801,467</u>
<u>Liabilities and Fund Balance</u>					
Accounts payable	\$ 833,333	\$ 15,612	\$ 7,016	\$ -	\$ 855,961
Accrued liabilities	865,136	-	-	-	865,136
Due to other funds	-	-	29,694	-	29,694
Advances from other funds	-	-	75,000	13,000	88,000
Total Liabilities	<u>1,698,469</u>	<u>15,612</u>	<u>111,710</u>	<u>13,000</u>	<u>1,838,791</u>
Assigned fund balance	<u>3,660,057</u>	<u>4,221,942</u>	<u>5,562,326</u>	<u>6,518,351</u>	<u>19,962,676</u>
Total Liabilities and Fund Balance	<u>\$ 5,358,526</u>	<u>\$ 4,237,554</u>	<u>\$ 5,674,036</u>	<u>\$ 6,531,351</u>	<u>\$ 21,801,467</u>

**Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019**

	<u>TID 3</u>	<u>TID 4</u>	<u>TID 5</u>	<u>TID 6</u>	<u>Total</u>
<u>Revenue</u>					
General property tax levy	\$ 1,114,683	\$ 1,011,224	\$ 30,951	\$ -	\$ 2,156,858
Payment in lieu of taxes	-	121,759	-	-	121,759
State exempt aid	-	-	-	-	-
Investment income	35,032	41,930	59,003	6,840	142,805
Bond proceeds	<u>3,001,886</u>	<u>-</u>	<u>10,600,102</u>	<u>6,638,320</u>	<u>20,240,308</u>
Total revenue	<u>4,151,601</u>	<u>1,174,913</u>	<u>10,690,056</u>	<u>6,645,160</u>	<u>22,661,730</u>
<u>Expenditures</u>					
Debt service interest & fees	\$ 16,201	\$ -	\$ 10,428,009	\$ 109,101	\$ 10,553,311
Administrative expenses	3,542	14,672	14,795	2,983	35,992
Professional services	-	132,399	78,610	2,537	213,546
Capital outlays	-	714,802	3,339,310	-	4,054,112
Development incentive & obligation payments	1,125,324	-	-	-	1,125,324
Encumbrances	<u>-</u>	<u>(817,443)</u>	<u>(47,479)</u>	<u>(1,156)</u>	<u>(866,078)</u>
Total expenditures	<u>1,145,067</u>	<u>44,430</u>	<u>13,813,245</u>	<u>113,465</u>	<u>15,116,207</u>
Revenue over (under) expenditures	<u>3,006,534</u>	<u>1,130,483</u>	<u>(3,123,189)</u>	<u>6,531,695</u>	<u>7,545,523</u>
Fund balance, beginning of year	<u>653,523</u>	<u>3,091,459</u>	<u>8,685,515</u>	<u>(13,344)</u>	<u>12,417,153</u>
Fund balance, end of period	<u>\$ 3,660,057</u>	<u>\$ 4,221,942</u>	<u>\$ 5,562,326</u>	<u>\$ 6,518,351</u>	<u>\$ 19,962,676</u>

City of Franklin
Tax Increment Financing District #3
Balance Sheet
April 30, 2019 and 2018

Assets	2019	2018
Cash & investments	\$ 5,358,526	\$ 1,490,560
Total Assets	<u>\$ 5,358,526</u>	<u>\$ 1,490,560</u>
Liabilities and Fund Balance		
Accounts payable	\$ 833,333	\$ 9
Accrued liabilities	865,136	1,323,600
Total Liabilities	<u>1,698,469</u>	<u>1,323,609</u>
Assigned fund balance	3,660,057	166,951
Total Liabilities and Fund Balance	<u>\$ 5,358,526</u>	<u>\$ 1,490,560</u>

Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018

	2019 Annual Budget	2019 Amended Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	2018 Year-to-Date Actual
Revenue					
General property tax levy	\$ 1,180,900	\$ 1,180,900	\$ 1,180,900	\$ 1,114,683	\$ 1,381,191
State exempt aid	479,831	479,831	2,100	-	-
Investment income	25,000	25,000	12,236	35,032	8,656
Bond proceeds	3,500,000	3,500,000	3,500,000	3,001,886	-
Total revenue	<u>5,185,731</u>	<u>5,185,731</u>	<u>4,695,236</u>	<u>4,151,601</u>	<u>1,389,847</u>
Expenditures					
Debt service principal	-	-	-	-	985,000
Debt service interest & fees	111,500	111,500	70,500	16,201	15,084
Administrative expenses	113,350	113,350	37,350	3,542	28,615
Interfund interest	-	-	-	-	74
Capital outlays	-	984,323	-	-	-
Development incentive & obligation payments	4,589,265	4,589,265	1,529,755	1,125,324	109,000
Encumbrances	-	-	-	-	-
Total expenditures	<u>4,814,115</u>	<u>5,798,438</u>	<u>1,637,605</u>	<u>1,145,067</u>	<u>1,137,773</u>
Revenue over (under) expenditures	371,616	(612,707)	<u>\$ 3,057,631</u>	3,006,534	252,074
Fund balance, beginning of year	<u>653,523</u>	<u>653,523</u>		<u>653,523</u>	<u>(85,123)</u>
Fund balance, end of period	<u>\$ 1,025,139</u>	<u>\$ 40,816</u>		<u>\$ 3,660,057</u>	<u>\$ 166,951</u>

City of Franklin
Tax Increment Financing District #4
Balance Sheet
April 30, 2019 and 2018

	2019	2018
<u>Assets</u>		
Cash & investments	\$ 4,237,554	\$ 3,592,179
Total Assets	<u>\$ 4,237,554</u>	<u>\$ 3,592,179</u>
<u>Liabilities and Fund Balance</u>		
Accounts payable	\$ 15,612	\$ 117
Total Liabilities	<u>15,612</u>	<u>117</u>
Assigned fund balance	4,221,942	3,592,062
Total Liabilities and Fund Balance	<u>\$ 4,237,554</u>	<u>\$ 3,592,179</u>

Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018

	2019 Annual Budget	2019 Amended Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	2018 Year-to-Date Actual
Revenue					
General property tax levy	\$ 1,023,600	\$ 1,023,600	\$ 1,023,600	\$ 1,011,224	\$ 1,059,413
Payment in Lieu of Taxes	132,800	132,800	112,880	121,759	132,871
State exempt aid	19,700	19,700	1,600	-	-
Investment income	20,000	20,000	6,667	41,930	2,139
Bond proceeds	5,000,000	5,000,000	-	-	-
Total revenue	<u>6,196,100</u>	<u>6,196,100</u>	<u>1,144,747</u>	<u>1,174,913</u>	<u>1,194,423</u>
Expenditures					
Debt service interest & fees	188,750	188,750	37,917	-	-
Administrative expenses	10,350	10,350	13,283	14,672	2,374
Professional services	29,500	161,724	-	132,399	66,460
Capital outlay	8,000,000	8,714,802	2,666,667	714,802	-
Encumbrances	-	-	-	(817,443)	(60,474)
Total expenditures	<u>8,228,600</u>	<u>9,075,626</u>	<u>2,717,867</u>	<u>44,430</u>	<u>8,360</u>
Revenue over (under) expenditures	(2,032,500)	(2,879,526)	<u>\$ (1,573,120)</u>	1,130,483	1,186,063
Fund balance, beginning of year	<u>3,091,459</u>	<u>3,091,459</u>	-	<u>3,091,459</u>	<u>2,405,999</u>
Fund balance, end of period	<u>\$ 1,058,959</u>	<u>\$ 211,933</u>		<u>\$ 4,221,942</u>	<u>\$ 3,592,062</u>

City of Franklin
Tax Increment Financing District #5
Balance Sheet
April 30, 2019 and 2018

<u>Assets</u>	2019	2018
Cash & investments	\$ 5,674,036	\$ (8,782)
Total Assets	<u>\$ 5,674,036</u>	<u>\$ (8,782)</u>
<u>Liabilities and Fund Balance</u>		
Accounts payable	\$ 7,016	\$ 1,912
Due to other funds	29,694	4,649,695
Interfund advance from Development Fund	75,000	75,000
Total Liabilities	<u>111,710</u>	<u>4,726,607</u>
Assigned fund balance	5,562,326	(4,735,389)
Total Liabilities and Fund Balance	<u>\$ 5,674,036</u>	<u>\$ (8,782)</u>

Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018

	2019 Annual Budget	2019 Amended Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	2018 Year-to-Date Actual
Revenue					
General property tax levy	\$ 31,500	\$ 31,500	\$ 10,500	\$ 30,951	\$ 30,500
State exempt aid	400	400	133	-	-
Investment income	25,000	25,000	8,334	59,003	24
Bond proceeds	10,000,000	10,000,000	10,000,000	10,600,102	-
Total revenue	<u>10,056,900</u>	<u>10,056,900</u>	<u>10,018,967</u>	<u>10,690,056</u>	<u>30,524</u>
Expenditures					
Debt service interest & fees	10,875,810	10,875,810	10,374,246	10,428,009	-
Administrative expenses	20,700	20,700	6,900	14,795	15,450
Professional services	10,000	54,279	3,333	78,610	58,868
Capital outlay	-	-	-	3,339,310	4,620,000
Development incentive & obligation payments	4,000,000	4,000,000	1,333,334	-	-
Encumbrances	-	-	-	(47,479)	(27,279)
Total expenditures	<u>14,906,510</u>	<u>14,950,789</u>	<u>11,717,813</u>	<u>13,813,245</u>	<u>4,667,039</u>
Revenue over (under) expenditures	(4,849,610)	(4,893,889)	<u>\$ (1,698,846)</u>	(3,123,189)	(4,636,515)
Fund balance, beginning of year	<u>8,685,515</u>	<u>8,685,515</u>		<u>8,685,515</u>	<u>(98,874)</u>
Fund balance, end of period	<u>\$ 3,835,905</u>	<u>\$ 3,791,626</u>		<u>\$ 5,562,326</u>	<u>\$ (4,735,389)</u>

City of Franklin
Ballpark Commons
Thru March 2019 Draw

Dev Agreement	Date Paid	Streets	Storm Sewer	Parking Lot	County Methane	MMSD Main Movement	Topsoil Replacement	Berms	Water	Sanitary Sewer	Trail	Sound & Light	Contingency	Total
Budget		5,157,399	2,564,027	1,930,196	3,887,300	458,000	2,602,500	920,000	1,011,124	782,266	145,000	100,000	2,933,672	22,491,484
Draw # 8			897,491										(897,491)	-
Change			457,818										(911,988)	-
Draw # 9			693,517				152,516			25,973			(1,069,330)	-
Draw # 10										136,960				-
Draw # 13		(699,400)	391,199						48,680	259,521				-
Draw # 14		(165,453)	16,263				8,481			140,710				-
Draw # 15		(451,929)	164,110				203,912		57,377	26,531				-
			21,500										(21,500)	-
Revised Budget		3,840,617	5,205,924	1,930,196	3,887,300	458,000	2,967,408	920,000	1,631,715	1,371,961	145,000	100,000	33,363	22,491,484
Draw's														
Draw 1		398,407	99,753	123,528	314,334	48,090	501,681	36,865	79,928	79,928	19,518	45,565		1,747,597
Draw 2		64,474	22,941	64,474	310,577	4,566	13,856		15,098	15,098				511,082
Draw 3		39,611	2,524	1,311	369,089	2,967	5,197		1,311	1,311			750	424,072
Draw 4		266,915	131,445	17,455	124,910	41,411	124,306		15,224	118,532	8,801			848,997
Jr # 4 - Qualite Ret														
Draw 5		99,896	947,338	10,830	183,741	2,326	161,860	84,935	1,840	16,532	1,105	3,673		3,673
Draw 6		195,997	1,327,576	46,840	212,579	-	222,094	59,218	10,564	136,835			750	1,510,403
Draw 7		161,449	133,499	45,791	301,564	3,030	477,714		61,736	185,602				2,214,639
Draw 8		19,968	486,541	196,505	113,302	9,855	198,197	59,931	264,294	93,528			1,075	1,370,385
Draw 9		128,648	413,641	72,698	508,079	3,398	663,555	6,492	864,146	100,156			460	1,443,197
Draw 10		242,241	556,536	29,135	207,355	49,224	197,741		83,579	129,391			250	2,761,273
Draw 10 A			80,000											1,495,452
2018 Total	12/26/2018	1,617,607	4,201,794	608,567	2,645,529	164,865	2,566,201	247,441	1,397,720	876,912	31,610	49,238	3,285	80,000
Draw 11		67,942	147,607	129,144	115,553	3,554	26,460	35,055	294,394	384,347				14,410,769
Draw 12		60,185	428,176	55,904	12,215		191,508	26,465	161,125	111,320				1,204,055
Draw 13		118,699	356,931	15,990	31,758	10,831	44,435		(85,877)	236,790				1,046,899
Draw 14	4/19/2019	115,240	16,263	2,765	42,544	6,325	8,481		38,226	128,712				729,556
Total		1,979,673	5,150,771	812,370	2,847,599	185,575	2,837,084	308,961	1,805,588	1,738,081	31,610	49,238	3,285	-
Remaining Budget		1,860,944	55,153	1,117,826	1,039,701	272,425	130,324	611,039	(173,873)	(366,121)	113,390	50,762	30,078	4,741,650

City of Franklin
Tax Increment Financing District #6
Balance Sheet
April 30, 2019 and 2018

<u>Assets</u>	2019	2018
Cash & investments	\$ 6,531,351	\$ -
Total Assets	<u>\$ 6,531,351</u>	<u>\$ -</u>
<u>Liabilities and Fund Balance</u>		
Advances from other funds	\$ 13,000	\$ -
Total Liabilities	<u>13,000</u>	<u>-</u>
Assigned fund balance	6,518,351	-
Total Liabilities and Fund Balance	<u>\$ 6,531,351</u>	<u>\$ -</u>

Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018

	2019 Annual Budget	2019 Amended Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	2018 Year-to-Date Actual
Revenue					
Investment income	\$ -	\$ 132,300	\$ 44,000	\$ 6,840	\$ -
Bond proceeds	-	9,837,382	6,137,000	6,638,320	-
Total revenue	<u>-</u>	<u>9,969,682</u>	<u>6,181,000</u>	<u>6,645,160</u>	<u>-</u>
Expenditures					
Debt service interest & fees	\$ -	\$ 195,375	\$ 52,000	\$ 109,101	\$ -
Administrative expenses	-	8,550	-	2,983	-
Professional services	-	26,156	-	2,537	-
Capital outlay	-	9,000,000	-	-	-
Encumbrances	-	-	-	(1,156)	-
Total expenditures	<u>-</u>	<u>9,230,081</u>	<u>52,000</u>	<u>113,465</u>	<u>-</u>
Revenue over (under) expenditures	-	739,601	<u>\$ 6,129,000</u>	6,531,695	-
Fund balance, beginning of year	<u>(13,344)</u>	<u>(13,344)</u>		<u>(13,344)</u>	<u>-</u>
Fund balance, end of period	<u>\$ (13,344)</u>	<u>\$ 726,257</u>		<u>\$ 6,518,351</u>	<u>\$ -</u>

City of Franklin
Solid Waste Collection Fund
Balance Sheet
April 30, 2019 and 2018

<u>Assets</u>	2019	2018
Cash and investments	\$ 1,386,764	\$ 1,341,470
Accrued Receivables	269	518
Total Assets	\$ 1,387,033	\$ 1,341,988
<u>Liabilities and Fund Balance</u>		
Accounts payable	\$ 126,118	\$ 124,693
Accrued salaries & wages	458	430
Restricted fund balance	1,260,457	1,216,865
Total Liabilities and Fund Balance	\$ 1,387,033	\$ 1,341,988

Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018

	2019 Adopted Budget	2019 YTD Budget	2019 Year-to-Date Actual	2018 Year-to-Date Actual
Revenue				
Grants	\$ 69,000	-	\$ -	\$ -
User Fees	1,220,400	1,218,921	1,214,373	1,208,508
Landfill Operations-tippage	361,800	78,552	79,689	81,321
Investment Income	9,500	3,954	11,661	1,934
Sale of Recyclables	-	-	-	228
Total Revenue	1,660,700	1,301,427	1,305,723	1,291,991
Expenditures:				
Personal Services	16,931	5,285	4,301	4,746
Refuse Collection	713,750	237,298	236,976	231,090
Recycling Collection	380,720	126,670	131,358	127,553
Leaf & Brush Pickups	63,800	21,267	-	-
Tippage Fees	469,000	156,333	102,818	104,834
Miscellaneous	3,500	1,167	560	580
Printing	1,800	600	-	-
Total expenditures	1,649,501	548,620	476,013	468,803
 Revenue over (under) expenditures	 11,199	 <u>752,807</u>	 829,710	 823,188
 Fund balance, beginning of year	 <u>430,747</u>		 <u>430,747</u>	 <u>393,677</u>
 Fund balance, end of period	 <u>\$ 441,946</u>		 <u>\$ 1,260,457</u>	 <u>\$ 1,216,865</u>

**City of Franklin
Capital Outlay Fund
Balance Sheet
April 30, 2019 and 2018**

<u>Assets</u>	2019	2018
Cash and investments	\$ 681,522	\$ 576,456
Accrued Receivables	1,800	-
Total Assets	\$ 683,322	\$ 576,456
<u>Liabilities and Fund Balance</u>		
Accounts payable	\$ 7,530	\$ 46,969
Assigned fund balance	675,792	529,487
Total Liabilities and Fund Balance	\$ 683,322	\$ 576,456

**Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018**

Revenue	2019 Original Budget	2019 Amended Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	2018 Year-to-Date Actual
Property Taxes	\$ 452,800	\$ 452,800	\$ 452,800	\$ 452,800	\$ 450,500
Grants	5,000	5,000	1,667	1,606	-
Landfill Siting	317,000	317,000	118,128	99,930	42,600
Investment Income	6,000	6,000	2,000	6,518	781
Miscellaneous Revenue	25,000	25,000	5,718	2,715	323
Transfers from Other Funds	250,000	250,000	125,000	-	-
Total Revenue	1,055,800	1,055,800	705,313	563,569	494,204
Expenditures:					
General Government	158,610	234,648	46,258	1,760	72,013
Public Safety	473,795	576,235	218,656	321,019	355,440
Public Works	34,020	42,020	11,858	27,117	16,478
Health and Human Services	1,020	1,020	340	-	-
Culture and Recreation	9,000	11,866	3,000	2,866	-
Conservation and Development	1,500	2,010	500	-	-
Contingency	50,000	34,190	44,730	-	16,028
Contingency - Pending Additional Consideration	100,000	100,000	-	-	-
Contingency - Restricted	250,000	250,000	-	-	-
Encumbrances	-	-	-	(39,942)	(142,202)
Transfers to Other Funds	-	-	-	-	-
Total expenditures	1,077,945	1,251,989	325,342	312,820	317,757
Revenue over (under) expenditures	(22,145)	(196,189)	379,971	250,749	176,447
Fund balance, beginning of year	425,043	425,043		425,043	353,040
Fund balance, end of period	\$ 402,898	\$ 228,854		\$ 675,792	\$ 529,487

A Portion of Municipal Building, Police, Highway & Parks appropriations are contingent upon Landfill Siting revenue growth

**City of Franklin
Equipment Replacement Fund
Balance Sheet
April 30, 2019 and 2018**

<u>Assets</u>	2019	2018
Cash and investments	\$ 2,945,034	\$ 2,715,639
Total Assets	\$ 2,945,034	\$ 2,715,639
<u>Liabilities and Fund Balance</u>		
Accounts payable	\$ -	\$ 39,417
Assigned fund balance	2,945,034	2,676,222
Total Liabilities and Fund Balance	\$ 2,945,034	\$ 2,715,639

**Comparative Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018**

	2019 Original Budget	2019 Amended Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	2018 Year-to-Date Actual
Revenue:					
Property Taxes	\$ 175,000	\$ 175,000	\$ 175,000	\$ 175,000	\$ 350,000
Landfill	376,700	376,700	135,126	112,150	57,900
Investment Income	29,000	29,000	9,667	31,893	(11,814)
Transfers from Other Funds	-	-	-	-	-
Property Sales	30,000	30,000	5,973	727	7,738
Total revenue	610,700	610,700	325,766	319,770	403,824
Expenditures:					
Public Safety	1,006,670	1,006,670	647,206	633,395	43,417
Public Works	190,000	210,431	6,309	20,431	249,610
Encumbrances	-	-	-	(633,395)	(253,610)
Total expenditures	1,196,670	1,217,101	653,515	20,431	39,417
Revenue over (under) expenditures	(585,970)	(606,401)	(327,749)	299,339	364,407
Fund balance, beginning of year	2,645,695	2,645,695		2,645,695	2,311,815
Fund balance, end of period	\$ 2,059,725	\$ 2,039,294		\$ 2,945,034	\$ 2,676,222

**City of Franklin
Street Improvement Fund
Balance Sheet
April 30, 2019 and 2018**

<u>Assets</u>	<u>2019</u>	<u>2018</u>
Cash and investments	\$ 758,730	\$ 1,040,497
Total Assets	\$ 758,730	\$ 1,040,497
 <u>Liabilities and Fund Balance</u>		
Accounts payable	\$ 11,887	\$ 276
Assigned fund balance	746,843	1,040,221
Total Liabilities and Fund Balance	\$ 758,730	\$ 1,040,497

**Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018**

	<u>2019 Original Budget</u>	<u>2019 Year-to-Date Totals</u>	<u>2018 Year-to-Date Totals</u>
Revenue:			
Property Taxes	\$ 18,200	\$ 18,200	\$ 714,700
Landfill Siting	133,000	42,060	38,400
Investment Income	4,000	4,190	1,264
Local Road Improvement Aids	700,000	300,000	-
Refunds and Reimbursements	-	-	-
Total revenue	855,200	364,450	754,364
 Expenditures:			
Street Reconstruction Program - Current Year	975,000	921,125	841,709
Encumbrances	-	(904,130)	(841,300)
Total expenditures	975,000	16,995	409
Revenue over (under) expenditures	(119,800)	347,455	753,955
Fund balance, beginning of year	399,388	399,388	286,266
Fund balance, end of period	\$ 279,588	\$ 746,843	\$ 1,040,221

City of Franklin
Capital Improvement Fund
Balance Sheet
April 30, 2019 and 2018

<u>Assets</u>	2019	2018
Cash and investments	\$ 3,510,996	\$ 3,526,290
Accrued receivables	8,949	847
Total Assets	\$ 3,519,945	\$ 3,527,137
<u>Liabilities and Fund Balance</u>		
Accounts payable	\$ 51,407	\$ 62,805
Escrow Balances Due	78,915	78,915
Assigned fund balance	3,389,623	3,385,417
Total Liabilities and Fund Balance	\$ 3,519,945	\$ 3,527,137

Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018

	2019 Original Budget	2019 Amended Budget	2019 Year-to-Date Totals	2018 Year-to-Date Totals
Revenue:				
Block Grants	\$ -	\$ -	\$ -	\$ -
Other Grants	1,150,000	1,150,000	-	-
Landfill Siting	560,000	560,000	176,322	28,205
Transfers from Other Funds	-	-	-	-
Transfers from Impact Fees	384,511	384,511	-	-
Transfers from Connection Fees	1,000,000	1,000,000	-	-
Bond Proceeds	2,100,000	2,100,000	-	-
Donations	-	-	-	11,085
Refunds & Reimbursements	-	-	-	-
Investment Income	20,000	20,000	33,931	(3,371)
Total revenue	5,214,511	5,214,511	210,253	35,919
Expenditures:				
General Government	1,815,000	1,822,940	172,588	-
Public Safety	1,665,000	1,707,696	50,508	112,545
Public Works	2,550,000	2,642,465	1,012,030	577,754
Culture and Recreation	843,109	846,434	3,325	344,387
Sewer & Water	1,000,000	1,000,000	-	-
Contingency	100,000	148,084	48,871	17,249
Bond/Note Issuance Cost	75,000	75,000	-	-
Transfers to Other Funds	-	-	-	-
Encumbrances	-	-	(1,143,320)	(605,940)
Total expenditures	8,048,109	8,242,619	144,002	445,995
Revenue over (under) expenditures	(2,833,598)	(3,028,108)	66,251	(410,076)
Fund balance, beginning of year	3,323,372	3,323,372	3,323,372	3,795,493
Fund balance, end of period	\$ 489,774	\$ 295,264	\$ 3,389,623	\$ 3,385,417

**City of Franklin
Development Fund
Balance Sheet
April 30, 2019 and 2018**

<u>Assets</u>	2019	2018
Cash and investments	\$ 6,463,091	\$ 4,248,879
Total Assets	\$ 6,463,091	\$ 4,248,879
<u>Liabilities and Fund Balance</u>		
Accounts payable	\$ -	\$ -
Payable to Developers- Oversizing	103,934	59,799
Non-Spendable Fund Balance - Advances	-	-
Assigned fund balance	6,359,157	4,189,080
Total Fund Balance	6,359,157	4,189,080
Total Liabilities and Fund Balance	\$ 6,463,091	\$ 4,248,879

**Comparative Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018**

	2019 Amended Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	2018 Year-to-Date Actual
Revenue:				
Impact Fee: Parks	\$ 400,000	\$ 75,786	\$ 133,787	\$ 33,726
Southwest Sewer Service Area	35,000	3,889	13,104	-
Administration	7,500	1,154	2,585	660
Water	425,000	90,733	226,378	29,481
Transportation	25,000	3,731	7,838	2,021
Fire Protection	50,000	8,211	20,625	5,258
Law Enforcement	75,000	12,357	38,268	9,727
Library	75,000	14,295	37,331	9,598
Total Impact Fees	1,092,500	210,156	479,916	90,471
Investment Income	60,000	20,000	66,120	(15,965)
Interfund Interest Income	-	-	-	74
Total revenue	1,152,500	230,156	546,036	74,580
Expenditures:				
Other Professional Services	35,253	6,667	15,253	3,321
Transfer to Debt Service:				
Law Enforcement	205,000	48,634	133,800	15,972
Fire	43,100	29,234	39,333	6,440
Transportation	73,250	8,979	18,000	12,216
Library	133,100	39,863	132,286	17,371
Total Transfers to Debt Service	454,450	126,710	323,419	51,999
Transfer to Capital Improvement Fund:				
Park	384,511	23,348	25,285	-
Total Transfers to Capital Improveme	384,511	23,348	25,285	-
Sewer Fees	500,000	-	-	-
Water Fees	500,000	166,667	226,590	-
Encumbrances		-	(263,472)	(3,321)
Total expenditures	1,874,214	323,392	327,075	51,999
Revenue over (under) expenditures	(721,714)	(93,236)	218,961	22,581
Fund balance, beginning of year	4,058,562		6,140,196	4,166,499
Fund balance, end of period	\$ 3,336,848		\$ 6,359,157	\$ 4,189,080

Development Fund

City of Franklin

Summary of Impact Fee Activity
For the three months ended March 31, 2019

	4292	4293	4294	4295	4296	4297	4299	Net Cash Balance
Cash Acct								27,1100.1111
Revenue Acct								-27,2000.2117
Expenditure Acct								
	Parks Recreation	SW Sewer	Admin Fee *	Water	Transportation	Fire Protection	Law Enforcement	Library
Beginning Bal, 01/01/19	4,098,570.98	39,277.12	90,530.02	1,522,882.55	23,732.20	94,469.10	129,589.07	141,145.03
1st Quarter								
Impact Fees	56,316.00	8,415.00	990.00	155,958.00	5,721.00	9,831.00	18,182.00	15,945.00
Expenditures			(2,745.50)	²	(18,000.00)	¹ (39,333.13)	(133,800.00)	(132,286.26)
subtotal	4,154,886.98	47,692.12	88,774.52	1,678,840.55	11,453.20	64,966.97	13,971.07	24,803.77
Transfers								
Investment Income	35,883.44	378.11	779.57	13,920.09	152.98	693.18	624.15	721.49
Ending balance 3/31/2019	4,190,770.42	48,070.23	89,554.09	1,692,760.64	11,606.18	65,660.15	14,595.22	25,525.26
2nd Quarter								
Impact Fees	77,471.00	4,689.00	1,595.00	70,420.00	2,117.00	10,794.00	20,086.00	21,386.00
Expenditures			(910.00)					
subtotal	4,268,241.42	52,759.23	90,239.09	1,763,180.64	13,723.18	76,454.15	34,681.22	46,911.26
Transfers								
Investment Income	8,721.19	107.80	184.38	3,602.66	28.04	156.22	70.86	95.85
Ending balance 6/30/2019	4,276,962.61	52,867.03	90,423.47	1,766,783.30	13,751.22	76,610.37	34,752.08	47,007.11
2019 Impact Fees	133,787.00	13,104.00	2,585.00	226,378.00	7,838.00	20,625.00	38,268.00	37,331.00
2018 Impact Fees	869,037.00	4,689.00	20,625.00	938,441.00	55,533.10	136,409.82	250,076.12	243,988.00
2017 Impact Fees	66,591.00	0.00	2,695.00	122,539.00	19,218.00	17,970.00	33,017.00	19,383.00
2016 Impact Fees	209,983.00	0.00	4,950.00	206,237.00	8,570.00	30,198.00	56,096.00	57,725.00
2015 Impact Fees	137,670.00	2,928.00	3,630.00	133,352.00	20,533.00	27,116.00	50,222.00	38,526.00
2014 Impact Fees	184,592.00	17,568.00	5,830.00	235,415.00	51,436.00	48,134.00	88,431.00	51,821.00
2013 Impact Fees	317,206.00	11,712.00	6,160.00	427,429.00	31,829.00	45,110.00	82,280.00	66,179.00

* Funded by an Administrative Fee not an impact fee

Scheduled¹ Debt service payments² Oversizing payments made**Scheduled**

Unpaid Balance @ 12/31/2018

Deferred principal & interest

59,799.00

Oversizing payments due in future periods

73,499

624,550

270,444

0

42,996

225,400

1,449,632

205,004

466,100

134,039

92,230

896,953

455,538

1,408,280

2,617,029

City of Franklin
Monthly Park Impact Fees Collected
27.0000.4291

Month	Collected Year & Month													
	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
Jan	99,863	25,497	34,866	6,250	-	-	20,842	7,598	5,632	2,816	-	-	9,765	31,667
Feb	71,079	8,499	14,880	11,465	3,281	83,871	10,851	3,799	5,632	5,914	12,002	6,342	3,423	13,864
Mar	45,883	22,664	8,928	3,125	3,281	10,335	14,468	18,995	8,448	3,098	9,045	6,342	17,115	10,785
Apr	68,384	14,165	5,952	3,125	76,578	10,335	10,851	83,610	43,696	8,871	6,030	6,342	3,423	77,471
May	57,584	11,332	11,904	6,250	3,281	-	7,234	18,995	5,632	54,874	119,591	9,513	77,676	
Jun	63,879	45,328	2,976	6,250	16,405	10,335	36,170	22,794	21,168	14,785	9,045	3,171	87,945	
Jul	44,986	22,396	20,832	15,625	13,124	13,780	94,259	26,593	16,896	2,957	6,030	9,513	145,083	
Aug	37,786	14,165	8,928	12,500	9,843	6,890	21,702	43,066	14,080	11,828	9,045	6,342	81,099	
Sep	29,689	16,998	5,952	3,125	9,843	-	3,617	30,400	19,712	11,828	18,090	9,513	77,676	
Oct	32,388	22,664	11,904	9,375	-	3,445	18,085	40,528	26,800	14,785	3,015	-	13,692	
Nov	35,992	11,332	2,976	-	3,281	17,225	21,702	15,196	8,448	5,914	12,060	-	13,692	
Dec	59,394	5,666	2,976	3,125	6,562	6,890	3,617	5,632	8,448	-	6,030	9,513	338,448	
Total	646,907	220,706	133,074	80,215	145,479	163,106	263,398	317,206	184,592	137,670	209,983	66,591	869,037	133,787

Regular Holding Period is 10 years from date collected.

2019 Budget - Projects

Project	Cost	Impact Fees
Pleasant View Pavilion	500,000	235,000
Pleasant View Park Dev	20,000	9,400
Neighborhood Park Land Acq	298,109	140,111
Total	818,109	384,511

Per Resolution 2016-7177 - Holding period extended to 13 years for fees collected after April 10, 2006. this extended holding period ends Dec 31, 2022.

C:\Users\protzenberg\AppData\Local\Microsoft\Windows\Temporary Internet Files\Content.Outlook\p9XXPFZS\Monthly PARK Impact Fees Collected-2004 forward.xlsx\Collections Summary

**City of Franklin
Utility Development Fund
Balance Sheet
April 30, 2019 and 2018**

<u>Assets</u>	2019	2018
Cash and investments - Water	\$ 764,293	\$ 629,072
Cash and investments - Sewer	1,117,208	795,912
Special Assessment - Water Current	101,293	146,187
Special Assessment - Water Deferred	251,036	332,962
Special Assessment - Sewer Current	191,587	241,026
Special Assessment - Sewer Deferred	-	76,728
Reserve for Uncollectible	(16,776)	(40,982)
Total Assets	\$ 2,408,641	\$ 2,180,905
<u>Liabilities and Fund Balance</u>		
Accounts payable	\$ -	\$ -
Unearned Revenue	527,140	755,921
Total Fund Balance	1,881,501	1,424,984
Total Liabilities and Fund Balance	\$ 2,408,641	\$ 2,180,905

**Comparative Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018**

	2019 Original Budget	2019 Year-to-Date Budget	2019 Year-to-Date Actual	2018 Year-to-Date Actual
Revenue:				
Special Assessments				
Water	\$ 28,400	\$ 2,894	\$ 63,551	\$ -
Sewer	29,200	2,014	70,898	-
Connection Fees				
Water	2,000	1,333	-	-
Sewer	35,000	7,438	20,100	5,400
Total Assessments & Connection Fees	94,600	13,679	154,549	5,400
Special Assessment Interest	17,900	51	-	-
Investment Income	10,000	3,334	14,414	6,206
Total revenue	122,500	17,064	168,963	11,606
Transfer to Capital Improvement Fund:				
Water	500,000	-	-	-
Sewer	500,000	-	-	-
Total Transfers to Capital Improven	1,000,000	-	-	-
Revenue over (under) expenditures	(877,500)	17,064	168,963	11,606
Fund balance, beginning of year			1,712,538	1,413,378
Fund balance, end of period			\$ 1,881,501	\$ 1,424,984

City of Franklin
Self Insurance Fund - Actives
Balance Sheet
April 30, 2019 and 2018

<u>Assets</u>	2019	2018
Cash and investments	\$ 2,059,484	\$ 2,146,045
Accounts receivable	309	900
Prepaid expenses	-	1,500
Total Assets	\$ 2,059,793	\$ 2,148,445
<u>Liabilities and Net Assets</u>		
Accounts payable	\$ 11,391	\$ 45,979
Claims payable	290,700	290,700
Unrestricted net assets	1,757,702	1,811,766
Total Liabilities and Fund Balance	\$ 2,059,793	\$ 2,148,445

City of Franklin Self Insurance Fund - Actives
Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018

	2019	2019	2019	2018
	Budget	Year-to-Date Budget	Year-to-Date Actual	Year-to-Date Actual
Revenue				
Medical Premiums-City	\$ 2,837,218	\$ 951,229	\$ 814,501	\$ 830,560
Medical Premiums-Employee	642,507	213,836	174,946	153,633
Other - Invest Income, Rebates	30,000	10,000	48,718	22,342
Medical Revenue	3,509,725	1,175,065	1,038,165	1,006,535
Dental Premiums-City	112,550	31,745	37,481	36,178
Dental Premiums-Retirees	3,675	1,907	1,236	1,800
Dental Premiums-Employee	56,450	18,745	19,121	18,413
Dental Revenue	172,675	52,397	57,838	56,391
Total Revenue	3,682,400	1,227,462	1,096,003	1,062,926
Expenditures:				
Medical				
Medical claims	2,833,650	684,580	637,259	748,237
Prescription drug claims	-	-	73,099	114,837
Refunds-Stop Loss Coverage	-	-	22	(18,130)
Total Claims	2,833,650	684,580	710,380	844,944
Medical Claim Fees	145,850	56,031	51,103	53,051
Stop Loss Premiums	667,300	226,858	184,385	157,239
Other - Miscellaneous	118,250	13,182	218	10,795
Transfer to Other Funds	59,250	19,750	98,125	-
Total Medical Costs	3,824,300	1,000,401	1,044,211	1,066,029
Dental				
Active Employees & COBRA	189,000	57,821	52,684	68,924
Retiree	3,675	1,255	1,574	2,403
Total Dental Costs	192,675	59,076	54,258	71,327
Claims contingency	-	-	-	-
Total Expenditures	4,016,975	1,059,477	1,098,469	1,137,356
Revenue over (under) expenditures	(334,575)	\$ 167,985	(2,466)	(74,430)
Net assets, beginning of year	1,760,168		1,760,168	1,886,196
Net assets, end of period	\$ 1,425,593		\$ 1,757,702	\$ 1,811,766

City of Franklin
City of Franklin Post Employment Benefits Trust
Balance Sheet
April 30, 2019 and 2018

<u>Assets</u>	2019	2018
Cash and investments	\$ 108,018	\$ -
Investments held in trust - Fixed Inc	2,109,197	1,941,416
Investments held in trust - Equities	3,900,476	3,666,866
Accounts receivable	15,777	15,332
Total Assets	\$ 6,133,468	\$ 5,623,614
<u>Liabilities and Net Assets</u>		
Accounts payable	\$ 19,341	\$ 6,721
Claims payable	131,100	131,100
Due to City	-	19,627
Net assets held in trust for post emp	5,983,027	5,466,166
Total Liabilities and Fund Balance	\$ 6,133,468	\$ 5,623,614

City of Franklin Post Employment Benefits Trust
Statement of Revenue, Expenses and Fund Balance
For the Four months ended April 30, 2019 and 2018

	2019	2018
<u>Revenue</u>	<u>Year-to-Date Actual</u>	<u>Year-to-Date Actual</u>
ARC Medical Charges - City	\$ 67,874	\$ 74,103
Medical Charges - Retirees	76,218	61,864
Implicit Rate Subsidy	-	145,720
Medical Revenue	<u>144,092</u>	<u>281,687</u>
Expenditures:		
Retirees-Medical		
Medical claims	45,858	211,756
Prescription drug claims	41,035	40,173
Refunds-Stop Loss Coverage	(1,393)	(642)
Total Claims-Retirees	<u>85,500</u>	<u>251,287</u>
Medical Claim Fees	27,338	6,444
Stop Loss Premiums	26,497	23,626
Miscellaneous Expense	345	330
ACA Fees	-	-
Total Medical Costs-Retirees	<u>139,680</u>	<u>281,687</u>
Revenue over (under) expenditures	4,412	-
Annual Required Contribution-Net	78,866	(71,699)
Other - Investment Income, etc.	670,345	(35,898)
Total Revenues	<u>749,211</u>	<u>(107,597)</u>
Net Revenues (Expenditures)	753,623	(107,597)
Net assets, beginning of year	<u>5,229,404</u>	<u>5,573,763</u>
Net assets, end of period	<u>\$ 5,983,027</u>	<u>\$ 5,466,166</u>

APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE June 4, 2019
REPORTS AND RECOMMENDATIONS	An Ordinance to Amend the Municipal Code to End the St. Martins Every Summer Monday Market Fair and Amend Fees for the St. Martins Fair	ITEM NUMBER <i>G.14.</i>
<p>See annexed hereto draft ordinance. The Aldermanic members of the Fair Commission will provide the Council with the information received and reviewed by the Fair Commission.</p>		
<p style="text-align: center;">COUNCIL ACTION REQUESTED</p> <p>A motion to adopt An Ordinance to Amend the Municipal Code to End the St. Martins Every Summer Monday Market Fair and Amend Fees for the St. Martins Fair.</p>		

ORDINANCE NO. 2019-_____

AN ORDINANCE TO AMEND THE MUNICIPAL CODE TO END THE ST. MARTINS
EVERY SUMMER MONDAY MARKET FAIR AND AMEND FEES FOR THE
ST. MARTINS FAIR

WHEREAS, Chapter 203 of the Municipal Code provides for, describes and regulates the St. Martins Fair; and

WHEREAS, the Fair Commission having gathered and reviewed information regarding the experience of the St. Martins Every Summer Monday Market Fair, the investment of City staff time involved therewith and the lack of vendors and public attendance thereat, and having recommended the cessation thereof; and

WHEREAS, the Common Council having considered the Commission's information and recommendation and having concurred therewith.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §203-1. Definitions, of the Municipal Code of the City of Franklin, Wisconsin, is hereby amended with regard to "ST. MARTINS FAIR" to read as follows *[note: strike-through text is deleted; unchanged text is not highlighted]*:

ST. MARTINS FAIR

The events held on the Sunday before Labor Day and Labor Day, held on the outside of permanent, enclosed buildings at St. Martins. ~~In addition thereto, excepting for Labor Day, the St. Martins Every Summer Monday Market Fair is hereby established and shall overlap the Summer calendar, shall be centrally located and focused at the St. Martins Market Square Gazebo, and shall be held every Monday from the second Monday in June through the first Monday in October, annually.~~

SECTION 2: §203-7.A. Sales, of the Municipal Code of the City of Franklin, Wisconsin, is hereby amended to read as follows *[note: strike-through text is deleted; unchanged text is not highlighted]*:

A. Sales. No person may sell or provide entertainment or amusement at the St. Martins Fair except during ~~the St. Martins Every Summer~~

~~Monday Market Fair days, except Labor Day, from 3:00 p.m. to 7:00 p.m., the Sunday preceding Labor Day from 8:00 a.m. to 9:00 p.m. and Labor Day from 6:00 a.m. to 6:00 p.m.~~

SECTION 3: §169-1. Licenses required, of the Municipal Code of the City of Franklin, Wisconsin, is hereby amended as follows: delete:

203 Food and transient merchant's permit

[Amended 2-25-

2002 by Ord. No. 2002-1704]

Through mail \$110.00 per license year

Issued in person (additional) \$25.00

203-2A(2) Reinspection fee \$35.00

203-2A(3) Prepermit instruction and inspection services \$25.00

Issuance of food and transient merchant's permit after 5:00 p.m. on Friday preceding Labor Day for St. Martin's Labor Day Fair (additional) \$100.00

SECTION 4: §203-2.A. Combination food and transient's fair permit, of the Municipal Code of the City of Franklin, Wisconsin, is hereby repealed.

SECTION 5: §203-2.B. Transient's permit, §203-2.C. and §203-2.D. Late applications, are hereby re-lettered to §203-2.A., §203-2.B. and §203-2.C.

SECTION 6: The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION 7: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 8: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019, by Alderman _____.

ORDINANCE NO. 2019-____

Page 3

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2019.

APPROVED:

Stephen R. Olson, Mayor

ATTEST:

Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

APPROVAL <i>Slw AH</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 6/4/19
Bills	Vouchers and Payroll Approval	ITEM NUMBER H.1.

Attached are vouchers dated May 17, 2019 through June 3, 2019 Nos. 173754 through Nos. 173926 in the amount of \$ 3,469,516.91 Included in this listing are EFT's Nos. 4028 through Nos. 4040, Library vouchers totaling \$ 16,912.45, Tourism vouchers totaling \$ 1,000.00, Property Tax Refunds totaling \$ 1,287.16 and Water Utility vouchers totaling \$ 11,421.84.

Vouchers approved at the Council meeting dated May 21, 2019 that are included in this distribution.

CDW Government	Bitdefender License	\$11,030.00
Franklin Historical Society	Refund-Barn Funds	\$78,914.98
Geographic Mkting	GIS Services	\$11,574.93
OSG	Water/Sewer Processing	\$5,477.12
Quorum Architects	City Hall HVAC, Roof, Fascia	\$41,734.25
R&R Insurance	LWMMI Insurance	\$22,217.00
R&R Insurance	Workers Comp	\$35,469.00
State of WI	LGIP Transfer	\$1,400,000.00
Tyler Technologies	Assessor Services	\$ 5,470.00
TOTAL		\$1,611,887.28

Early release disbursements dated May 17, 2019 through May 30, 2019 in the amount of \$ 2,215,184.71 are provided on a separate listing and are also included in the complete disbursement listing. These payments have been released as authorized under Resolution 2013-6920.

The net payroll dated May 24, 2019 is \$ 380,321.61 previously estimated at \$ 390,000.00. Payroll deductions dated May 10, 2019 are \$ 395,873.25 previously estimated at \$ 431,000.00.

The estimated payroll for June 7, 2019 is \$ 385,000.00 with estimated deductions and matching payments of \$ 216,000.00.

***Property Tax refunds are being issued from the City bank account.*

Attached is a list of property tax reimbursements and investments EFT's Nos. 266 through Nos. 268 dated May 17, 2019 through May 30, 2019 in the amount of \$ 3,401,324.43. These payments have been released as authorized under Resolution 2013-6920.

Vouchers approved at the Council meeting dated May 21, 2019 that are included in this distribution.

American Deposit	Temp Investment – Tax Funds	\$1,500,000.00
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Approval to release payment to Dorner Inc in the amount of \$ 182,509.15 for the Rawson Drainage Home Improvements Project pending appropriate approvals.

Approval to release payment to Worthington Direct in the amount of \$ 10,016.42 for Health Department furniture pending budget amendment approval.

Approval to release payment to Knight Barry totaling \$660,725.00 as a draw request from Ballpark Commons Developer pending review by the Director of Finance & Treasurer and Engineering inspection.

COUNCIL ACTION REQUESTED

Motion approving the following:

- City vouchers with an ending date of June 3, 2019 in the amount of \$ 3,469,519.91 and
- Payroll dated May 24, 2019 in the amount of \$ 380,321.61 and payments of the various payroll deductions in the amount of \$ 395,873.25 plus City matching payments and
- Estimated payroll dated June 7, 2019 in the amount of \$ 385,000.00 and payments of the various payroll deductions in the amount of \$ 216,000.00, plus City matching payments and
- Property Tax refunds and investments with an ending date of May 30, 2019 in the amount of \$ 3,401,324.43 and
- The release of payment to Dorner Inc in the amount of \$ 182,509.15 and
- The release of payment to Worthington Direct in the amount of \$ 10,016.42.
- The release of payment to Knight Barry in the amount of \$660,725.00.

ROLL CALL VOTE NEEDED

APPROVAL <i>Slw</i>	REQUEST FOR COUNCIL ACTION	MEETING DATE 06/04/19
LICENSES AND PERMITS	MISCELLANEOUS LICENSES	ITEM NUMBER I.1.

See attached minutes from the License Committee Meetings held May 23 and 30, 2019.

Also, see attached listing from meeting of June 04, 2019.

COUNCIL ACTION REQUESTED



414-425-7500

**License Committee
Minutes
Aldermen's Room
May 23, 2019 – 3:00 pm**

1.	Call to Order & Roll Call	Time: 3:00		
2.	Applicant Interviews & Decisions			
License Applications Reviewed		Recommendations		
Type/ Time	Applicant Information	Approve	Hold	Deny
Amusement Device Operator 2019-2020	National Amusements 2740 S 9 th Pl Milwaukee, WI 53215 Janis Thein, Owner	√		
Amusement Device Operator 2019-2020	Reggie's Amusements, LLC 4918 S Packard Ave Cudahy, WI 53110 Reginald Zeniecki, Owner	√		
Mobile Home 2019-2020	Franklin Mobile, LLC DBA Franklin Mobile Estates 6361 S 27 th St David Steinberger, Manager	√ Subject to Appear		
Class A Combination 2019-2020	Dairyland Retail Group, LLC Dba 7-Eleven 7610 W Rawson Ave Elizabeth Evans, Agent	√*		
Class A Combination 2019-2020	Ryan Fuel LLC Dba Andy's on Ryan Rd 5120 W Ryan Rd Kavita Khullar, Agent	√* Subject to Appear		
Class A Combination 2019-2020	Wisconsin CVS Pharmacy LLC Dba CVS Pharmacy #5390 5220 W Rawson Ave Samantha Jo Klaphake, Agent	√		
Class A Combination 2019-2020	Spirit Dreams LLC Dba Discount Cigarettes & Liquor 6507A S 27 th St Scott Haese, Agent	√		
Class A Combination 2019-2020	New Liquor & Food, Inc DBA Franklin Liquor Store 8305 S 27 th St Gurjeet Singh, Agent	√		
Class A Combination 2019-2020	Hodach Petroleum Inc Dba Hodach Citgo 9830 W St Martins Rd Stephen Hodach, Agent	√		
Class A Combination 2019-2020	Kwik Trip, Inc Dba Kwik Trip #287 5040 W Rawson Ave Samuel T McCormick, Agent	√*		

*subject to compliance with City Ordinance and approval of inspections
 **subject to payment & compliance with City Ordinance and approval of Inspections.

pp-payment of personal property taxes
 w-WDFI delinquent

Class A Combination 2019-2020	Kwik Trip Inc Dbk Kwik Trip #857 10750 W Speedway Dr Andrew P Wichmann, Agent	√*		
Class A Combination 2019-2020	Jujhar LLC Dbk Midtown Gas & Liquor 11123 W Forest Home Ave Hardip Singh Bhatti, Agent	√* Subject to Appear		
Class A Combination 2019-2020	Mega Marts, LLC Dbk Pick N Save #6431 7780 S Lovers Lane Rd Jennifer Weed, Agent	√*		
Class A Combination 2019-2020	Ultra Mart Foods, LLC Dbk Pick N Save #6360 7201 S 76 th St Ricky Kloth, Agent	√*		
Class A Combination 2019-2020	Sam's East, Inc Dbk Sam's Club 6705 S 27 St Henry Monti, Agent	√		
Class A Combination 2019-2020	Sendik's Franklin LLC Dbk Sendik's Food Markets 5200 W Rawson Ave Theodore Balistreri, Agent	√*		
Class A Combination 2019-2020	Target Corporation Dbk Target Store T2388 7800 S Lovers Lane Rd Daniel Olson, Agent	√		
Class A Combination 2019-2020	Wal-Mart Stores East, LP Dbk Walmart 6701 S 27 th St Jon McCourt, Agent	√*		
Class A Combination 2019-2020	Walgreen Co. Dbk Walgreens #15020 7130 S 76 St Jessica Nerby, Agent	√		
Class A Combination 2019-2020	Walgreen Co. Dbk Walgreens #05884 9527 S 27 St Brian Hilber, Agent	√*		
Class A Combination 2019-2020	Walgreen Co. Dbk Walgreens #5459 9909 W Loomis Rd Jessica Marin, Agent	√*		
Class B Combination 2019-2020	The Bowery, LLC Dbk The Bowery Bar & Grill 3023 W Ryan Rd Roger Hein, Agent	√**		
Class B Combination, Entertainment & Amusement 2019-2020	Christopher Matecki (Individually Owned) Dbk Buckhorn Bar & Grill 9461 S 27 th St Christopher Matecki, Agent/Owner	√**		
Class B Combination 2019-2020	RLGIDI, Inc. Dbk Casa Di Giorgio 3137 W Rawson Ave Rex Idriqi, Agent	√**		

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pp-payment of personal property taxes
w-WDFI delinquent

Class B Combination 2019-2020	ERJ Dining III, LLC Dba Chili's Bar & Grill 6439 S 27 th St Paul Scott Thompson, Agent	√*		
Class B Combination, Entertainment & Amusement, Bowling 2019-2020	Country Lanes LLC Dba Country Lanes 11231 W Forest Home Ave Robert Sczerzen, Agent	√pp		
Reserve Class B Combination, Entertainment & Amusement 2019-2020	Federation of Croatian Societies, Inc Dba Croatian Park 9100 S 76 th St Josip Veber, Agent	√*		
Class B Combination 2019-2020	M&W Lueng, LLC Dba Green Tea Garden 7236 S 76 th St May Lueng, Agent	√*		
Reserve Class B Combination 2019-2020	FF&E, LLC Dba Hampton Inn & Suites Milwaukee/Franklin 6901 S 76 th St Teresa D'Amato, Agent	√*		
Class B Combination, Entertainment & Amusement 2019-2020	Franklin Food & Beverage, LLC DBA The Hideaway Pub & Eatery 9643 S 76 th St Frank J Orcholski, Agent	√		
Class B Combination, Entertainment & Amusement 2019-2020	Irish Cottage of Franklin LLC Dba Irish Cottage 11433 W Ryan Rd Jenny Jennings, Agent	√		
Class B Combination, Entertainment & Amusement 2019-2020	Iron Mike's Bar LLC Dba Iron Mike's 6357 S 27 th St Michael Pues, Agent	√*		
Class B Combination, Entertainment & Amusement 2019-2020	The Landmark of Franklin LLC Dba Landmark 11401 W Swiss St Lorie Beth Knaack-Helm, Agent	√ Subject to Appear		
Class B Combination, Entertainment & Amusement 2019-2020	Little Cancun LLC Dba Little Cancun Restaurant 7273A S 27 th St Veronica Cervera, Agent	√**		
Class B Combination 2019-2020	Robley Tech Inc Dba Michaelangelo's Pizza 8330 W Puetz Rd Dennis Rau, Agent	√		
Reserve Class B Combination, Entertainment & Amusement 2019-2020	Hudson Burger LLC Dba Milwaukee Burger Company 6421 S 27 th St Brad Herron, Agent	√		
Class B Combination 2019-2020	Enthusiast Approved LLC Dba Mimosa 9405 S 27 th St Apostolos Evreniadis, Agent	√*		
Class B Combination, Entertainment & Amusement 2019-2020	BST, LLC Dba Mulligan's Irish Pub & Grille 8933 S 27 th St Brian Francis, Agent	√		

*subject to compliance with City Ordinance and approval of inspections

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Class B Combination, Entertainment & Amusement 2019-2020	HB&H, LLC Dba On The Border 10741 S 27 th St Gerald Hay, Agent	√		
Class B Combination, Coin Operator 2019-2020	Pantheon of Wisconsin Inc Dba Pantheon Family Restaurant 7621 W Rawson Ave Debbie Koutromanos, Agent	√ signature		
Class B Combination, Entertainment & Amusement 2019-2020	Point After LLC The Point After 7101 S 76 th St Darryl Malek, Agent	√*		
Class B Combination, Entertainment & Amusement 2019-2020	Polish Heritage Alliance Inc Dba Polish Center of Wisconsin 6941 S 68 th St Jeffrey Kuderski, Agent	√*		
Class B Combination, Entertainment & Amusement 2019-2020	Polonia Sport Club Inc Polonia Sport Club 10200 W Loomis Rd Irene Hawkinson, Agent	√*w		
Class B Combination, Entertainment & Amusement 2019-2020	Rawson Pub, Inc Dba Rawson Pub 5621 W Rawson Ave Steven Schweitzer, Agent	√**		
Class B Combination, Entertainment & Amusement 2019-2020	Rock Snow Park LLC Dba Rock Snow Park 7900 B W Crystal Ridge Dr Michael R Schmitz, Agent	√*		
Class B Combination, Entertainment & Amusement 2019-2020	The Rock Sports Complex LLC Dba The Rock Sports Complex 7900 W Crystal Ridge Dr Thomas Johns, Agent	√		
Class B Combination 2019-2020	Romey's Place LLC Dba Romey's Place 7508 S North Cape Rd Nathan Fabry, Agent	√		
Class B Combination, Entertainment & Amusement, Bowling 2019-2020	Root Group LLC Dba Root River Center 7220 W Rawson Ave David Church, Agent	√*pp		
Class B Combination, Entertainment & Amusement 2019-2020	Franklin Hotel Company LLC Dba Staybridge Suites Milwaukee Airport South 9575 S 27 th St Vicki Jesson, Agent	√**		
Class B Combination, Entertainment & Amusement 2019-2020	Alley Kats Pub and Grill LLC Swiss Street Pub & Grill 11430 W Swiss St John Trudeau, Agent	√*pp		
Class B Combination, Entertainment & Amusement 2019-2020	Kriton & Ermira LLC Dba Toscana Restaurant 8405 S 27 St Ermira Lazaj, Owner/Agent	√		
Class B Combination, Country Club, Entertainment & Amusement 2019-2020	Tuckaway Country Club Dba Tuckaway Country Club 6901 W Drexel Ave Jennifer Jacobi, Agent	√		

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Class B Combination 2019-2020	St Martins Inn, LLC Dba Wegner's St Martins Inn 11318 W St Martins Rd Dennis Wegner, Agent	√**		
**Class B Beer 2019-2020	M-Squared Inc Dba Crossroads II Pizza & Subs 11357 W St Martins Rd Michael Falk, Agent	√*		
Class B Beer 2019-2020	Top Prize Dog Restaurants, LLC DBA Top Prize Dog 7178 S 76 th St John O'Malley, Agent/Owner	√*		
Class B Beer Class C Wine 2019-2020	Dhiman LLC Dba India Palace 7107 S 76 th St Deepak Dhiman, Agent	√**		
Class B Beer Class C Wine 2019-2020	Lover Lane Buffet, Inc Dba Lovers Lane Sushi & Seafood Buffet 6514 S Lovers Lane Rd JianDuan Jiang, Agent	√*		
Class B Beer Class C Wine 2019-2020	Jiang Saya Enterprises, Inc DBA Oyagi Asian Bistro 6509B S 27 th Street Viengsavanh Sayavongsa, Agent		√	
Entertainment & Amusement 2019-2020	Prime Timez, LLC Dba Fun Timez 6544 S Lovers Lane Rd Mohammed Nowman, Agent	√*		
Temporary Entertainment & Amusement	Rainbow Valley Rides, Inc – Fourth of July Festivities Person in Charge: Ronald Kedrowicz Location: 9229 W Loomis Rd Dates of Event: 7/3/2019 thru 7/6/2019	√		
Temporary Entertainment & Amusement	Civic Celebration – Fourth of July Festivities Person in Charge: John Bergner Location: 9229 W Loomis Rd Dates of Event: 7/3/2019 thru 7/6/2019	√ Proof of Insurance		
Temporary Class B Beer	Civic Celebration – Fourth of July Festivities Person in Charge: John Bergner Location: 9229 W Loomis Rd Dates of Event: 7/3/2019 thru 7/6/2019	√ Proof of Insurance		
Police Incident Reports from December 21, 2018 thru April 30, 2019	Review of Police Incident Reports from December 21, 2018 thru April 30, 2019 for Class A and B Establishments.	√		
3.	Adjournment			
		Time		

*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per State ex rel. Badke v. Greendale Village Board, even though the Common Council will not take formal action at this meeting.

****subject to payment & compliance with City Ordinance and approval of Inspections.**

**pp-payment of personal property taxes
w-WDFI delinquent**



City of Franklin

9229 W. Loomis Road
Franklin, WI 53132-9728

414-425-7500

License Committee

Minutes

Aldermen's Room

May 30, 2019 – 3:00 pm

1.	Call to Order & Roll Call	Time: 3:03 PM		
2.	Applicant Interviews & Decisions			
License Applications Reviewed		Recommendations		
Type/ Time	Applicant Information	Approve	Hold	Deny
Operator 2018-2019 New	Frank J Janiszewski 12301 W Ryan Rd Franklin, WI 53132 Xaverian Missionaries	✓		
Operator 2018-2019 New	Alissa C Jost 8190 S 20 th St Oak Creek, WI 53154 The Rock Sports Complex	✓		
Operator 2019-2020 Renewal	Alissa C Jost 8190 S 20 th St Oak Creek, WI 53154 The Rock Sports Complex	✓		
Operator 2019-2020 New	Cathy J Anderson 8736 S Country Dr #201 Oak Creek, WI 53154 Tuckaway Country Club	✓		
Operator 2019-2020 New	Nicole M Bower 1875 E Hidden Creek Ct #102 Oak Creek, WI 53154 Target Store T-2388	✓		
Operator 2019-2020 New	Bryan D Bremer 6275 Thorncrest Dr Greendale, WI 53129 Polish Center of Wisconsin	✓		
Operator 2019-2020 New	Madison L Halvorson 1808 W Meyer Ln Oak Creek, WI 53154 Tuckaway Country Club	✓		
Operator 2019-2020 New	Jo Ann Hansen 2900 Raymond Ave Franksville, WI 53126 Pick n Save #6360	✓		
Operator 2019-2020 New	Nicholas A Harvey W6538 N Lakeshore Dr Elkhorn, WI 53121 Pick n Save #6360	✓		
Operator 2019-2020 New	Evelia Martinez 1136 S 10 th St Milwaukee, WI 53204 Sendik's Food Market	✓		
Operator 2019-2020 New	Daniel E Olsen 1574 Maria St Racine, WI 53404 Target Store T-2388	✓		

Operator 2019-2020 New	Jason J Ottman 9619 W 5 Mile Rd Franksville, WI 53126 Pick n Save #6360	✓		
Operator 2019-2020 New	Craig A Pescheck 7155 S 49 th St Franklin, WI 53132 The Rock Sports Complex	✓		
Operator 2019-2020 New	Justin W Pischke 7400 W Burleigh St Milwaukee, WI 53210 Chili's Grill & Bar	✓		
Operator 2019-2020 New	Joshua D Sobczak 1512 Menomonee Ave South Milwaukee, WI 53172 The Rock Sports Complex	✓		
Operator 2019-2020 New	Kathryn M Theis 6509 S Whitnall Edge Rd Franklin, WI 53132 Target Store T-2388	✓		
Operator 2019-2020 New	Susan C Van Erden 7272 Countryside Ct Franklin, WI 53132 Pick n Save #6360	✓		
Operator 2019-2020 New	Pang Vang 3709 W Galena St Milwaukee, WI 53208 Tuckaway Country Club		✓ For Appearance	
Operator 2019-2020 New	Brandon D Wirtz 6723 S Harvard Dr Franklin, WI 53132 Tuckaway Country Club			
Operator 2019-2020 New	Veronica M Wist 8322 W Forest Hill Ave Franklin, WI 53132 Sendik's Food Market	✓		
Operator 2019-2020 Renewal	Carsen J Abraham 8528 S 68 th St Franklin, WI 53132 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Alexis R Adamek 6329 W Nebraska Ave Milwaukee, WI 53220 Sendik's Food Market	✓		
Operator 2019-2020 Renewal	Ashley R Allen 5060 S Greenbrook Terrace Greenfield, WI 53220 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Danielle J Anderson W229S8020 Big Bend Dr Greendale, WI 53211 Point After Pub & Grille	✓		
Operator 2019-2020 Renewal	Robin L Ariens 5808 Dendron Ln Greendale, WI 53129 Michaelangelo's Pizza		✓ For Appearance	
Operator 2019-2020 Renewal	Nicole E Baker 7554 S 75 th St Franklin, WI 53132 CVS Pharmacy #5390	✓		

Operator 2019-2020 Renewal	Amy B Balcerzak 2605 E Emily Ave Oak Creek, WI 53154 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Dakotah D Balistreri 107 Michaels Ct Apt 6 Mukwonago, WI 53149 The Rock Sports Complex	✓		
Operator 2019-2020 Renewal	Jamie M Balistreri 7712 Dunkelow Rd Franksville, WI 53126 Hideaway Pub & Eatery		✓ For Appearance	
Operator 2019-2020 Renewal	Michael J Bartolone 8041 W Tripoli Ave Milwaukee, WI 53220 On the Border	✓		
Operator 2019-2020 Renewal	Leesa R Bearder 9644 S 31 st St Franklin, WI 53132 Hampton Inn & Suites	✓		
Operator 2019-2020 Renewal	John E Bergner 8501 Parkland Dr Franklin, WI 53132 Civic Celebration/4 th of July	✓		
Operator 2019-2020 Renewal	Brandon S Bhatti S90W12978 Boxhorn Reserve Ct Muskego, WI 53150 Midtown Gas & Liquor	✓		
Operator 2019-2020 Renewal	Wendy J Beierle 9221 S 96 th St Franklin, WI 53132 Hodach Citgo	✓		
Operator 2019-2020 Renewal	Larry E Behrendt 6631 S 51 st St Franklin, WI 53132 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Janet L Beyer 8034 W Lake Dr Wind Lake, WI 53185 Country Lanes	✓		
Operator 2019-2020 Renewal	Rick L Boardman 2112 S 72 nd St West Allis, WI 53219 Hodach Citgo	✓		
Operator 2019-2020 Renewal	Michael J Boese 9169 W Elm Ct Unit E Franklin, WI 53132 Hodach Citgo	✓		
Operator 2019-2020 Renewal	Darrell J Bostwick 7308 Lakeshore Dr Racine, WI 53402 On the Border	✓		
Operator 2019-2020 Renewal	John D Braovac 1335 S 124 th St Brookfield, WI 53005 Croatian Park	✓		
Operator 2019-2020 Renewal	Jefferson M Calimlim 9125 Sura Lane #222 Greenfield, WI 53228 Hampton Inn & Suites	✓		

Operator 2019-2020 Renewal	William J Canales 809 Lakeview Ave #4 South Milwaukee, WI 53172 On the Border	✓		
Operator 2019-2020 Renewal	Joseph A Cauley 1813 S 70 th St West Allis, WI 53214 Rawson Pub	✓		
Operator 2019-2020 Renewal	Monica Chance 2436 S 61 st St West Allis, WI 53219 CVS Pharmacy #5390	✓		
Operator 2019-2020 Renewal	Carolyn M Christensen 3800 Spruce St Racine, WI 53403 Target Store T-2388	✓		
Operator 2019-2020 Renewal	Rachel K Clark 8235 W Imperial Dr Franklin, WI 53132 Chili's Grill & Bar	✓		
Operator 2019-2020 Renewal	Joel B Clifford 3115A S Brisbane Ave Milwaukee, WI 53207 On the Border	✓		
Operator 2019-2020 Renewal	Amanda J Cook 10324 W Bunzel Ave Hales Corners, WI 53130 Tuckaway Country Club	✓		
Operator 2019-2020 Renewal	Kayla M Corona 315 E Fieldstone Circle Apt #3 Oak Creek, WI 53154 Chili's Grill & Bar	✓		
Operator 2019-2020 Renewal	Rebecca Cottreau 3117 S Austin St Milwaukee, WI 53207 Romey's Place	✓		
Operator 2019-2020 Renewal	Barbara J Davison 6931 S Phyllis Ln Franklin, WI 53132 Pick 'n Save #6431	✓		
Operator 2019-2020 Renewal	Rebecca L Deall 3725 S 76 th St Milwaukee, WI 53220 Pick n Save #6360	✓		
Operator 2019-2020 Renewal	Susan M DeGeorge 2456 S 88 th St West Allis, WI 53227 Point After Pub & Grille	✓		
Operator 2019-2020 Renewal	Sarah K Deshambo 1912 E Eden Pl Saint Francis, WI 53235 Romey's Place	✓		
Operator 2019-2020 Renewal	Milan Djurina 2326 W Clayton Crest Milwaukee, WI 53221 Croatian Park	✓		
Operator 2019-2020 Renewal	Kristin Dombrowski 5440 S Tuckaway Ct #6 Greenfield, WI 53221 The Rock Sports Complex	✓		

Operator 2019-2020 Renewal	Marcus C Drewek 2957 S 51 st St Milwaukee, WI 53219 Root River Center	✓		
Operator 2019-2020 Renewal	Christine L DuCharme 7811 S Scepter Dr Franklin, WI 53132 Pick 'n Save #6431	✓		
Operator 2019-2020 Renewal	Mitchell R Dykstra 4293 W Southwood Dr Franklin, WI 53132 Walgreens #05884	✓		
Operator 2019-2020 Renewal	Richard G Elliott 9461 S 27 th Street Franklin, WI 53132 Buckhorn Bar & Grill	✓		
Operator 2019-2020 Renewal	Lori A Falkowski 10227 Parklane Ct Hales Corners, WI 53130 Sendik's Food Market	✓		
Operator 2019-2020 Renewal	Matthew M Fannin 579W18997 Janesville Muskego, WI 53150 Target Store T-2388	✓		
Operator 2019-2020 Renewal	Joshua J Farrell 7417 S 36 th St Franklin, WI 53132 Discount Cigarettes & Liquor		✓ For Appearance	
Operator 2019-2020 Renewal	Amanda J Fellows 5411 Nicholson Rd Franksville, WI 53126 Walmart #1551	✓		
Operator 2019-2020 Renewal	Kristen N Fenninger 9750 S 31st Franklin, WI 53132 Bowery Bar & Grill	✓		
Operator 2019-2020 Renewal	Ethan R Fisher 8221 Fairmont Ln Greendale, WI 53129 Sendik's Food Market	✓		
Operator 2019-2020 Renewal	Katelynn M Flowers 5829 S New York Ave Cudahy, WI 53110 Discount Cigarettes & Liquor	✓		
Operator 2019-2020 Renewal	Jennacy A Frey 3440 Britton Ridge Union Grove, WI 53182 Target Store T-2388	✓		
Operator 2019-2020 Renewal	Eric M Gagliano 3723 Meadow Rose Ct Franksville, WI 53126 Bowery Bar & Grill	✓		
Operator 2019-2020 Renewal	Adam Garcia 3675 S 88 th St Milwaukee, WI 53228 Pick 'n Save #6431	✓		
Operator 2019-2020 Renewal	Nicole L Gaus 1127 N Cass St #1B Milwaukee, WI 53202 Bowery Bar & Grill	✓ Verify Schooling		

Operator 2019-2020 Renewal	Leah A Gdaniec 11200 W Cleveland Ave Apt# G11 West Allis, WI 53227 Romey's Place	✓		
Operator 2019-2020 Renewal	Patricia A Greer 1702 E Eden Place St. Francis, WI 53235 CVS Pharmacy #5390	✓		
Operator 2019-2020 Renewal	Zachary M Grmick 10202 W Ridge Rd Hales Corners, WI 53130 Tuckaway Country Club	✓		
Operator 2019-2020 Renewal	Halina Grochowski 1111 W Rosewood Tr Oak Creek, WI 53154 Buckhorn Bar & Grill	✓		
Operator 2019-2020 Renewal	Kenneth J Grochowski 7521 S Nottingham Way Franklin, WI 53132 Civic Celebration/4 th of July	✓		
Operator 2019-2020 Renewal	Louis G Guzzo 4 W Clarendon Dr Round Lake Beach, IL 60073 Sendik's Food Market	✓		
Operator 2019-2020 Renewal	Jeremy J Haese 11811 W Rawson Ave Franklin, WI 53132 Discount Cigarettes & Liquor	✓		
Operator 2019-2020 Renewal	Grant J Halser 3535 W Forest Hill Ave Franklin, WI 53132 The Rock Sports Complex	✓		
Operator 2019-2020 Renewal	Jocelyn Hart 11522 W Swiss St Franklin, WI 53132 Crossroads II Pizza & Subs	✓		
Operator 2019-2020 Renewal	Bambi D Hatfield 3352 S 20 th St Milwaukee, WI 53215 Romey's Place	✓		
Operator 2019-2020 Renewal	Tiffany L Heller 7855 S Scepter Dr #9 Franklin, WI 53132 Pick n Save #6360	✓		
Operator 2019-2020 Renewal	Veronica S Hilgart 10560 W Cortez Cir Apt #19 Franklin, WI 53132 Root River Center	✓		
Operator 2019-2020 Renewal	Daniel P Hodach 4520 Empire Lane Waterford, WI 53185 Hodach Citgo	✓		
Operator 2019-2020 Renewal	Amanda M Holterman S110W14718 Union Church Dr Muskego, WI 53150 Hideaway Pub & Eatery	✓		
Operator 2019-2020 Renewal	Lisa M Hutts 5612 Euston St Greendale, WI 53129 Pick n Save #6360	✓		

Operator 2019-2020 Renewal	Josip A Jaksic 413 S 67 th St Milwaukee, WI 53214 Croatian Park	✓		
Operator 2019-2020 Renewal	Ellen L Jensen 2415 W Hilltop Ln Oak Creek, WI 53154 Buckhorn Bar & Grill	✓		
Operator 2019-2020 Renewal	Yuzeng Jiang 2470 W Briar Lake Way #3B Oak Creek, WI 53154 Oyagi Asian Bistro	✓		
Operator 2019-2020 Renewal	Jill M Jones 5495 W Cobblestone Way A Franklin, WI 53132 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Adam J Jubeck 2430 W Briar Lake Way #2B Oak Creek, WI 53154 Bowery Bar & Grill	✓		
Operator 2019-2020 Renewal	Paramjeet Kaur 185 W Rainbow Ridge Dr #301 Oak Creek, WI 53154 Franklin Liquor Store	✓		
Operator 2019-2020 Renewal	Dawn Klinko 6830 W Kathleen Ct #4 Franklin, WI 53132 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Austin J Korth 8481 S 5 th Ave #4B Oak Creek, WI 53154 Walgreens #05884	✓		
Operator 2019-2020 Renewal	Brian A Krasowski 2936A S 13 th St Milwaukee, WI 53215 Top Prize Dog	✓		
Operator 2019-2020 Renewal	Isaac K Krikorian 2542A S Wentworth Ave Milwaukee, WI 53207 On the Border	✓		
Operator 2019-2020 Renewal	Traci A Krueger 5836 S 60 th St Milwaukee, WI 53221 Sendik's Food Market	✓		
Operator 2019-2020 Renewal	Kelly K Kuglitsch 4358 S Louisiana Ave Milwaukee, WI 53221 Irish Cottage	✓		
Operator 2019-2020 Renewal	Sue M Kuiper 6951 Beechnut Dr Racine, WI 53402 Green Tea Garden	✓		
Operator 2019-2020 Renewal	Jill H Lake W135S7013 Hale Park Dr Muskego, WI 53150 Wegner's St Martins Inn	✓		
Operator 2019-2020 Renewal	Kimberly D Leannais 7086 S Fieldstone Ct Franklin, WI 53132 Country Lanes	✓		

Operator 2019-2020 Renewal	Christian J Lee 8401 S 116 th St Franklin, WI 53132 Crossroads II Pizza & Subs	✓		
Operator 2019-2020 Renewal	John B Lehman 1301 S 76 th St West Allis, WI 53214 Polish Center of Wisconsin	✓		
Operator 2019-2020 Renewal	Joseph M Ligocki 10400 S Redwood Lane Oak Creek, WI 53154 Sendik's Food Market	✓		
Operator 2019-2020 Renewal	Steven G Lippel 3922 70 th St Kenosha, WI 53142 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Michael J Lloyd 8908 W Verona Ct Milwaukee, WI 53227 The Rock Sports Complex	✓		
Operator 2019-2020 Renewal	Justin C Lockridge 3229 S 99 th St, Apt #1 Milwaukee, WI 53227 Top Prize Dog	✓		
Operator 2019-2020 Renewal	June A Loh 7930 W Coldspring Rd Greenfield, WI 53220 Wegner's St Martins Inn	✓		
Operator 2019-2020 Renewal	Marcia G Lonzaga 753 N 116 th St Wauwatosa, WI 53226 Walgreens #05884	✓		
Operator 2019-2020 Renewal	Dawn R Luce 2840 21 st St #28 Kenosha, WI 53140 Walmart #1551	✓		
Operator 2019-2020 Renewal	Jon P Mankowski 5917 W Edgerton Greenfield, WI 53220 Root River Center	✓		
Operator 2019-2020 Renewal	Grace M Mantyh 6214 W Lincoln Ave Apt #2 West Allis, WI 53219 Pick 'n Save #6431	✓		
Operator 2019-2020 Renewal	Shelly Marquardt 26011 75 th St Upper Salem, WI 53168 Hodach Citgo	✓		
Operator 2019-2020 Renewal	Nadiya Mashkina 9667 W Forest Home Ave Apt #1 Hales Corners, WI 53130 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Mark J Matecki 1007 W Morgan Ave Milwaukee, WI 53221 Buckhorn Bar & Grill	✓		
Operator 2019-2020 Renewal	Lauren J Mather 12400 Mac Alister Way #103 New Berlin, WI 53151 Tuckaway Country Club	✓		

Operator 2019-2020 Renewal	Michelle R McDonald 718 S 112 th St West Allis, WI 53214 Pantheon Family Restaurant	✓		
Operator 2019-2020 Renewal	Bailey A Menke 9343 S 35 th St Franklin, WI 53132 Pick 'n Save #6431	✓		
Operator 2019-2020 Renewal	Jane M Michel 3720 W 7 Mile Rd Caledonia, WI 53108 Andy's On Ryan Rd	✓		
Operator 2019-2020 Renewal	Beau A G Mitchell 5314 Robin Dr Greendale, WI 53129 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Janet Miller 8995 Woodbridge Dr Greendale, WI 53129 Pick n Save #6360	✓		
Operator 2019-2020 Renewal	Susan Mlynczak 16513 50 th Rd Franksville, WI 53126 Point After Pub & Grille	✓		
Operator 2019-2020 Renewal	Ann C Moehlenpah 3573 W Hilltop Ln Franklin, WI 53132 Walgreens #05884	✓		
Operator 2019-2020 Renewal	Peter J Mundschau 1809 Stardust Dr Waukesha, WI 53186 On the Border	✓		
Operator 2019-2020 Renewal	Melissa Murphy 6157 S 42 nd St Greenfield, WI 53221 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Stacy Newton 4369 Skylark Ln Greendale, WI 53129 Pick 'n Save #6431	✓		
Operator 2019-2020 Renewal	Martha E Norman 9741 S Deerpath Dr Oak Creek, WI 53154 Polish Center of Wisconsin	✓		
Operator 2019-2020 Renewal	Kristi L Oconnor 9611 W Forest Home Ave Hales Corners, WI 53130 Pick 'n Save #6431	✓		
Operator 2019-2020 Renewal	Rachel A Olson 5206 W Oakwood Rd Franklin, WI 53132 Landmark, The	✓		
Operator 2019-2020 Renewal	Derek J Olszewski 7009 Ernest Dr Franklin, WI 53132 Landmark, The	✓		
Operator 2019-2020 Renewal	Sherry L Orchel 2120 S 58 th St West Allis, WI 53219 Sendik's Food Market	✓		

Operator 2019-2020 Renewal	Amy M Ottaviani 28706 Beach Dr Waterford, WI 53185 Irish Cottage	√		
Operator 2019-2020 Renewal	Andrew M Page 4642 W Crawford Ave Greenfield, WI 5320 Point After Pub & Grill	√		
Operator 2019-2020 Renewal	Sarah J Page 1227 Williams Ave South Milwaukee, WI 53172 Walgreens #15020	√		
Operator 2019-2020 Renewal	Meghan E Pesich 547 E Centennial Dr Oak Creek, WI 53154 The Rock Sports Complex	√		
Operator 2019-2020 Renewal	Miranda R Peters 4950 S Heritage Dr Apt #101 Greenfield, WI 53220 Irish Cottage	√		
Operator 2019-2020 Renewal	Allison M Planton 14900 W Wilbur Dr. Unit 1204 New Berlin, WI 53151 The Rock Sports Complex	√		
Operator 2019-2020 Renewal	Hannah M Plewa 5244 W Allerton Ave Greenfield, WI 53220 The Rock Sports Complex	√		
Operator 2019-2020 Renewal	Joseph M Pollack 10165 W Coldspring Rd Apt #106 Greenfield, WI 53228 On the Border	√		
Operator 2019-2020 Renewal	Denise K Popp W182S7715 Valley Dr Muskego, WI 53150 Romey's Place	√		
Operator 2019-2020 Renewal	Richard G Rabiega 7731 W Ceder Ridge Ct Franklin, WI 53132 Polonia Sport Club	√		
Operator 2019-2020 Renewal	Jeanne A Rainwater 7561 S 75 th St Franklin, WI 53132 Staybridge Suites	√		
Operator 2019-2020 Renewal	Ellisa S J Reeder 1575 S 82 nd St Milwaukee, WI 53214 Chili's Grill & Bar	√		
Operator 2019-2020 Renewal	Debra A Reichart 25304 Windsong Ct Wind Lake, WI 53185 Rawson Pub	√		
Operator 2019-2020 Renewal	Mark A Reikowski W125 S8317 North Cape Rd Muskego, WI 53130 Walgreens #15020	√		
Operator 2019-2020 Renewal	Kyle Rodenkirch 7144 S 47 th Pl Franklin, WI 53132 Sendik's Food Market	√		

Operator 2019-2020 Renewal	Haley A Rosploch 9213 S 8 th Ave Oak Creek, WI 53132 Hampton Inn & Suites	✓		
Operator 2019-2020 Renewal	Jenna K Rozek 8945 S 116 th St Franklin, WI 53132 Crossroads II Pizza & Subs	✓		
Operator 2019-2020 Renewal	Christine A Rozewicz 8123 S Legend Drive, Unit A Franklin, WI 53132 Rawson Pub	✓		
Operator 2019-2020 Renewal	Bobette A Sakiewicz 9205 S Orchard Park Cir Oak Creek, WI 53132 Walgreens #05884	✓		
Operator 2019-2020 Renewal	Brian Sawinski 3551 S 11 th St Milwaukee, WI 53221 Civic Celebration/4 th of July	✓		
Operator 2019-2020 Renewal	Lisa Schaefer 2905 N Newhall St Apt 501 Milwaukee, WI 53221 Tuckaway Country Club	✓		
Operator 2019-2020 Renewal	Timothy D Schappel 570 Phantom Wood Rd #8 Mukwonago, WI 53149 On the Border	✓		
Operator 2019-2020 Renewal	Joseph M Schauer 8520 W Euclid Ave Milwaukee, WI 53227 Croatian Park	✓		
Operator 2019-2020 Renewal	Jason M Schepker 7026 S North Cape Rd Franklin, WI 53132 Polish Center of Wisconsin	✓		
Operator 2019-2020 Renewal	Nicole M Schilcher 10509 County Line Rd Franksville, WI 53126 Root River Center	✓		
Operator 2019-2020 Renewal	Judy A Schneider 1088 Quail Ct # 226 Pewaukee, WI 53072 Michaelangelo's Pizza	✓		
Operator 2019-2020 Renewal	Sally A Schroeder 12152 W Woodcrest Circle Franklin, WI 53132 Hideaway Pub & Eatery	✓		
Operator 2019-2020 Renewal	Kathleen M Schumacher 7984 S 60 th St Franklin, WI 53132 Pick n Save #6360	✓		
Operator 2019-2020 Renewal	Candice M Sibila 4362 S Nicholson Ave St. Francis, WI 53235 Point After Pub & Grille	✓		
Operator 2019-2020 Renewal	Sahil Singh 7380 Countryside Dr Franklin, WI 53132 Walgreens # 15020	✓		

Operator 2019-2020 Renewal	Elyzabeth D Smith 5389 Orchard Lane Greendale, WI 53129 Rawson Pub	✓		
Operator 2019-2020 Renewal	Amanda M Snieg 2133 S 75th West Allis, WI 53219 Root River Center	✓		
Operator 2019-2020 Renewal	Anette L Sorce 8037 S Mission Dr Franklin, WI 53132 Top Prize Dog	✓		
Operator 2019-2020 Renewal	Angela M Spingola 4169 S 5 th Pl Milwaukee, WI 53207 Buckhorn Bar & Grill	✓		
Operator 2019-2020 Renewal	Dan Stadler S73W14901 Candlewood Ln Muskego, WI 53150 Polonia Sport Club	✓		
Operator 2019-2020 Renewal	Dustin Stafford 11207 W 7 Mile Rd Franksville, WI 53126 Pick 'n Save #6431	✓		
Operator 2019-2020 Renewal	Sherry L Standley 2200 W Kilbourn Ave Apt #420 Milwaukee, WI 53233 Walmart #1551	✓		
Operator 2019-2020 Renewal	Alexis M Steltz S65W18718 Onyx Dr Muskego, WI 53150 Romey's Place	✓		
Operator 2019-2020 Renewal	James A Steuck 3119 S 122 nd St #19 West Allis, WI 53227 The Rock Sports Complex	✓		
Operator 2019-2020 Renewal	Jessica N St. Louis 10598 W Cortez Cir #34 Franklin, WI 53132 Crossroads II Pizza & Subs	✓		
Operator 2019-2020 Renewal	Nadine A Stork 8636 W Marshfield Ct Franklin, WI 53132 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Berenice Strong 3252 S 68 th St Milwaukee, WI 53219 Kwik Trip #857	✓		
Operator 2019-2020 Renewal	Wendy M Swenarski 6370 Scenic Dr. E West Bend, WI 53095 Top Prize Dog	✓		
Operator 2019-2020 Renewal	Taylor A Takerian 8605 S river Terrace Dr Franklin, WI 53132 Sendik's Food Market	✓		
Operator 2019-2020 Renewal	Angelina Tarantino 3676 W Hilltop Lane Franklin, WI 53132 Pick 'n Save #6431	✓		

Operator 2019-2020 Renewal	Terry J Tornow 713 13 th Ave Union Grove, WI 53182 Chili's Grill & Bar	✓		
Operator 2019-2020 Renewal	Tiffany A Torres S65W18718 Onyx Dr Muskego, WI 53150 Romey's Place	✓		
Operator 2019-2020 Renewal	Monica L Tossava 2020 Hickory Grove Ave Racine, WI 53403 Pick n Save #6360	✓		
Operator 2019-2020 Renewal	Stacie L Trippler 5331 N 37 th St Milwaukee, WI 53209 On the Border	✓		
Operator 2019-2020 Renewal	Deanna E Umaske 6260 S 51 st St Greendale, WI 53129 Mulligan's Irish Pub & Grill	✓		
Operator 2019-2020 Renewal	Kathleen A Varga 3739 S Packard Ave #20 St. Francis, WI 53235 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Anna E Vasquez 11400 W St. Martins Rd Franklin, WI 53132 Crossroads II Pizza & Subs	✓		
Operator 2019-2020 Renewal	Mallory K Villwock 8026 S 47 th St Franklin, WI 53132 Walgreens #15020	✓		
Operator 2019-2020 Renewal	Sarah J Walkington 2231 N Himount Blvd Milwaukee, WI 53208 Target Store T-2388	✓		
Operator 2019-2020 Renewal	Nicholas Wavra 2544 N Frederick Ave #205 Milwaukee, WI 53211 Point After Pub & Grille	✓		
Operator 2019-2020 Renewal	Kathleen R Wegner 26545 Nordic Ridge Dr Wind Lake, WI 53185 Wegner's St Martins Inn	✓		
Operator 2019-2020 Renewal	Kristen L Wieneke 3422 E Tesch Ave St. Francis, WI 53235 Rawson Pub	✓		
Operator 2019-2020 Renewal	Julie A Wiltzius 4889 S 72 nd St Greenfield, WI 53220 Rawson Pub	✓		
Operator 2019-2020 Renewal	Veronica Wright 10255 W Plum Tree Cir Apt# 106 Hales Corners, WI 53130 Walmart #1551	✓		
Operator 2019-2020 Renewal	Alyssa G Zacher 595 E Shepard Hills Dr Oak Creek, WI 53154 Bowery Bar & Grill	✓		

Operator 2019-2020 Renewal	Raquel M Zalewski 3625 W Ruskin St Milwaukee, WI 53215 Rawson Pub	√		
Operator 2019-2020 Renewal	Danielle E Zielinski 9880 S Glenmoor Ct Oak Creek, WI 53154 Sendik's Food Market	√		
Operator 2019-2020 Renewal	Nicole M Zignego W304N2358 N Westwind Dr. Unit 5A Pewaukee, WI 53072 Rock Snow Park	√		
Operator 2019-2020 Renewal	Phillip L Zurowski 11836 W Howard Ave Greenfield, WI 53228 Romey's Place	√		
3.	Adjournment			
		Time	5:45	

*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per State ex rel. Badke v. Greendale Village Board, even though the Common Council will not take formal action at this meeting.



City of Franklin

9229 W. Loomis Road
Franklin, WI 53132-9728

414-425-7500

License Committee Agenda* Aldermen's Room June 4, 2019 – 5:25 pm

1.	Call to Order & Roll Call	Time:		
2.	Applicant Interviews & Decisions			
License Applications Reviewed		Recommendations		
Type/ Time	Applicant Information	Approve	Hold	Deny
Extraordinary Entertainment & Special Event 5:30 p.m.	American Diabetes Assoc – Tour De Cure Person in charge: American Diabetes Assoc. (Abigail Bornemeier) Location: Bike ride through Franklin (Oak Leaf Trail, S County Line Rd) Dates of Event: July 13, 2019, 7:30 am – 4:00 pm			
Extraordinary Entertainment & Special Event 5:35 p.m.	Ballpark Commons-Routine Field – Fireworks Person in Charge: Scot Johnson Location: 7035 S Ballpark Dr Dates of Event: 06/24, 06/27, 07/12, 08/09 and 08/23; 10:05pm-10:30pm 07/27 and 08/31 9:05 pm-10:30pm			
Temporary Entertainment & Amusement 5:45 p.m.	Polonia Sport Club- Youth Sports Fundraiser-Band Person in Charge: Andy Wojtanowski Location: 10200 W Loomis Rd Date of Event: 06/05/19 6pm-10pm			
Class A Combination 2019-2020 5:50 p.m.	Ryan Fuel LLC Dba Andy's on Ryan Rd 5120 W Ryan Rd Kavita Khullar, Agent			
Class A Combination 2019-2020 5:55 p.m.	Jujhar LLC Dba Midtown Gas & Liquor 11123 W Forest Home Ave Hardip Singh Bhatti, Agent			
Class B Combination, Entertainment & Amusement 2019-2020 6:00 p.m.	The Landmark of Franklin LLC Dba Landmark 11401 W Swiss St Lorie Beth Knaack-Helm, Agent			
Operator 2018-2019 New	Scanlon, Cailin E 171 Mill Ave Union Grove, WI 53182 Hideaway Pub & Eatery			
Operator 2019-2020 Renewal	Scanlon, Cailin E 171 Mill Ave Union Grove, WI 53182 Hideaway Pub & Eatery			
Operator 2019-2020 New	Dacquisto, Deanna D 2920 N Fratney #A Milwaukee, WI 53212 Landmark, The			
Operator 2019-2020 New	Lohr, Jenna L 4207 W Barnwood Ct Franklin, WI 53132 Walgreens #05884			
Operator 2019-2020 New	Nelson, Samantha A S75W16880 Gregory Dr, Apt D Muskego, WI 53150 Milwaukee Burger Company			

Operator 2019-2020 Renewal	Applin, Qyinn M 4521 W Ramsey Ave #65 Greendale, WI 53129 Country Lanes			
Operator 2019-2020 Renewal	Baraniak, Nicole J 5330 S 116 th St Hales Corners, WI 53130 Landmark, The			
Operator 2019-2020 Renewal	Bielinski, Tanya J 10240 W St. Martins Rd Franklin, WI 53132 Swiss Street Pub & Grill			
Operator 2019-2020 Renewal	Contreras, Arturo R 805 S 94 th St West Allis, WI 53214 Hideaway Pub & Eatery			
Operator 2019-2020 Renewal	Cuellar, Chad M 14180 Ranch Rd Brookfield, WI 53005 Polonia Sport Club			
Operator 2019-2020 Renewal	Hartung, Patti S 664 Shirley Dr Franksville, WI 53126 Walgreens #05459			
Operator 2019-2020 Renewal	Hinkel, Shawn 2023 S 96 th St West Allis, WI 53227 Walgreens #05459			
Operator 2019-2020 Renewal	Holtz, Thomas A 3835 S 76 th St Apt #4 Milwaukee, WI 53220 Andy's On Ryan Road			
Operator 2019-2020 Renewal	Martinez, Laura A 3742 E Obrien Rd Oak Creek, WI 53154 Mulligan's Irish Pub & Grill			
Operator 2019-2020 Renewal	Sastre Colon, Oscar A 3221 S 36 th St Milwaukee, WI 53215 Walgreens #05459			
Operator 2019-2020 Renewal	Steeves, Linda M 9265 S 92 nd St Franklin, WI 53132 Walgreens #05459			
Operator 2019-2020 Renewal	Young, Kenneth J 11401 W Swiss St Franklin, WI 53132 Landmark, The			
3.	Adjournment			

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