

CITY OF FRANKLIN
PLAN COMMISSION MEETING*
FRANKLIN CITY HALL COUNCIL CHAMBERS
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN
AGENDA
THURSDAY, OCTOBER 5, 2017, 7:00 P.M.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of September 21, 2017.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **O'REILLY AUTOMOTIVE STORES, INC.; "AUTO AND HOME SUPPLY STORES" USE.** Special Use application by O'Reilly Automotive Stores, Inc., for construction of a 7,228 square foot O'Reilly Auto Parts store with associated parking, landscaping, fencing and lighting, upon an approximately 0.72 acre property, zoned B-4 South 27th Street Mixed-Use Commercial District, located at 7251 South 27th Street; Requested Waivers of South 27th Street Design Overlay District Standards:
 - a. 15-3.0352A. Parking required and location regulated (fifty (50) percent of the off-street parking spaces shall be located directly between the front facade of the building and the public street).
 - b. 15-3.0353B. Coordination of site furnishings (lighting and site furnishings [benches, trash receptacles, bicycle racks, etc.]).
 - c. 15-3.0353C.3. Pedestrian considerations (pedestrian and bicycle access within the development and connections to adjacent properties).
 - d. 15-3.0353C.4. Pedestrian considerations (sidewalks along the entire length of façade, leaving room for foundation planting beds).
 - e. 15-3.0353C.5. Pedestrian considerations (pedestrian walkways from building entrances to public sidewalks or pedestrian/bike facilities).
 - f. 15-3.0353E. Bicycle and pedestrian amenities required (integrated bicycle parking and pedestrian furniture in appropriate quantities and location).
 - g. 15-3.0353F.1. Landscaping (building foundation landscaping for building frontage).
 - h. 15-3.0355A.8. and 9. Building Character and Design (sides of the building shall be designed with details that complement the front façade).
 - i. 15-3.0355B.3.a. and c. Building Materials and Colors (facades shall be varied and articulated; decorative patterns must be incorporated).
 - j. 15-3.0355B.6. Change in Relief of Building (building must include changes in relief on at least ten (10) percent of the primary façade).

- k. 15-3.0355B.4.b. Roof Materials, Parapets, and Roof Pitch (flat roofs are permitted with detailed stepped parapets or detailed brick coursing).
- l. 15-3.0355B.7.a., b. and c. Windows (windows shall include sills at the bottom and pediments at the top; windows: sixteen (16) square feet per story or six (6) percent of the facade, whichever is greater).
- m. 15-3.0355B.8.d. Pedestrian Accessibility (building shall utilize a corner entrance to the building).

Tax Key No. 761-9956-001. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

- 2. **WOODLAND PRAIRIE CONDOMINIUMS UNIT NUMBER REDUCTION.** Special Use Amendment application by Rick & Ron Development, LLC, to reduce the number of condominium units from 44 units to 32 units (The original site plan included 13 buildings (two 6 unit, five 4 unit and six 2 unit buildings). The applicant is requesting to revise the site plan to include 15 buildings consisting of all 2 unit buildings, except for Building No. 4, which has already been constructed as a 4 unit building. The applicant is also proposing two additional building types and associated landscaping changes, upon property zoned R-8 Multiple-Family Residence District, located at 6700-6799 South Prairiewood Lane; Tax Key Nos. 747-0038-000 through 747-0081-000. (The proposed amendment encompasses the entirety of and is the same bounded property as is in the existing Woodland Prairie Condominiums condominium plat; the range of existing addresses and tax key numbers above are for the existing 44 units, which are intended to be reduced to 32 units [one 4 unit building and fourteen 2 unit buildings].) **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

- 1. **BUFFALO BILL'S FARM AUTUMN OUTDOOR MARKET AND AMUSEMENT EVENT.** Temporary Use application by William Hinkel and Roselinda Hinkel, for the sale of pumpkins and decorative gourds as well as other amusement type activities, including a corn maze, corn play area and pedal cars, at Buffalo Bill's Farm located at 9612 West Oakwood Road, with dates of operation from October 6, 2017 through October 28, 2017, on Wednesday, Thursday and Friday from 3:00 p.m. to 6:00 p.m., and Saturdays and Sundays from 10:00 a.m. to 6:00 p.m., property zoned A-2 Prime Agricultural District and FW Floodway District; Tax Key No. 936-9997-000.
- 2. **TORBENSON SHOWS LLC HOLIDAY CRAFT AND GIFT EXPO AT THE MILWAUKEE COUNTY SPORTS COMPLEX.** Temporary Use application by

James C. Torbenson/Torbenson Shows LLC, for a holiday craft and gift expo at the Milwaukee County Sports Complex located at 6000 West Ryan Road, on November 24, 2017, from 9:00 a.m. to 5:00 p.m., November 25, 2017 from 9:00 a.m. to 5:00 p.m. and November 26, 2017 from 10:00 a.m. to 4:00 p.m., on property zoned P-1 Park District, FC Floodplain Conservancy District and FW Floodway District; Tax Key Nos. 852-9999-001 and 882-9987-001.

E. Adjournment

*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

**Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

REMINDERS:

Next Regular Plan Commission Meeting: October 19, 2017

**City of Franklin
Plan Commission Meeting
September 21, 2017
Minutes**

Unapproved

A. Call to Order and Roll Call

Mayor Steve Olson called the September 21, 2017 regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present was Commissioner Patricia Hogan, Alderman Mark Dandrea and Assistant City Engineer Sara Arnold. Excused were Commissioners Kevin Haley and David Fowler. Also present was Planning Manager Joel Dietl and Principal Planner Nick Fuchs.

B. Approval of Minutes

1. Regular Meeting of September 7, 2017.

Alderman Dandrea moved and Commissioner Hogan seconded approval of the September 7, 2017 minutes of the regular meeting of the Plan Commission. On voice vote, all voted 'aye'. Motion carried (4-0-2).

C. Public Hearing Business Matters

1. NEUMANN DEVELOPMENTS, INC. PARK CIRCLE DUPLEX SINGLE-FAMILY CONDOMINIUMS DEVELOPMENT. Special Use application by Neumann Developments, Inc., to allow for the Park Circle Condominiums development (27 two-unit condominium buildings, totaling 54 condominium units), upon property zoned R-8 Multiple-Family Residence District, located at 9733 South 76th Street; Tax Key No. 896-9999-007.

Planning Manager Joel Dietl presented the request by Neumann Developments, Inc., to allow for the Park Circle Condominiums development (27 two-unit condominium buildings, totaling 54 condominium units), upon property zoned R-8 Multiple-Family Residence District, located at 9733 South 76th Street; Tax Key No. 896-9999-007.

The Official Notice of Public Hearing was read in to the record by Principal Planner Fuchs and the Public Hearing was opened at 7:01 and closed at 7:01.

Alderman Dandrea moved and Commissioner Hogan seconded a motion to recommend approval of a Resolution imposing conditions and restrictions for the approval of a Special Use for a condominiums development use upon property located at 9733 South 76th Street. On voice vote, all voted 'aye'. Motion carried (4-0-2).

D. Business Matters

1. None.

E. Adjournment

Alderman Dandrea moved and Commissioner Hogan seconded to adjourn the Plan Commission meeting of September 21, 2017 at 7:03 p.m. All voted 'aye'; motion carried. (4-0-2).

**CITY OF FRANKLIN****REPORT TO THE PLAN COMMISSION****Meeting of October 5, 2017****Special Use**

RECOMMENDATION: City Development staff recommends approval of the proposed Special Use and associated Site Plan for an O'Reilly Auto Parts store upon property located at 7251 South 27th Street subject to the conditions set forth in the draft Resolution. Staff further recommends approval of the waivers to the South 27th Street Design Overlay District Standards subject to the conditions also set forth in the draft Resolution.

Project Name:	O'Reilly Auto Parts Special Use
Project Address:	7251 South 27 th Street
Applicant:	Patrick Blee, Architect, PLLC
Property Owner:	O'Reilly Automotive Stores, Inc.
Current Zoning:	B-4 South 27 th Street Mixed Use Commercial District
2025 Comprehensive Plan	Mixed Use
Use of Surrounding Properties:	St. James Catholic Congregation and School to the north, Park Motel and Little Cancun restaurant to the south, City of Oak Creek (residential) to the east and single-family residential to the west
Applicant Action Requested:	Recommendation of approval for the proposed Special Use and associated Site Plan for the development of an O'Reilly Auto Parts store.

Please note:

- Staff recommendations are *underlined, in italics* and are included in the draft resolution.
- Staff suggestions are only underlined and are not included in the draft resolution.

INTRODUCTION

On August 22, 2017, the applicant submitted a Special Use Application for the development of an O'Reilly Auto Parts store upon property located at 7251 S. 27th Street. O'Reilly Auto Parts is an auto parts retailer classified under Standard Industrial Classification Title No. 5531: Auto and Home Supply Stores, which is allowed as a Special Use in the B-4 South 27th Street Mixed Use Commercial District per Table 15-3.0603 of the Unified Development Ordinance.

PROJECT DESCRIPTION AND ANALYSIS

The applicant has submitted a Special Use Application requesting approval of an O'Reilly Auto Parts store. The applicant's responses to the Unified Development Ordinance's Special Use standards are attached. Staff has no objection to the proposed use, subject to Plan Commission approval of the associated Site Plan for this project.

The subject property is approximately 0.72-acres and is located on the northwest corner of S. 27th Street and W. Minnesota Avenue. The applicant has recently razed the dilapidated home and accessory buildings that were on the property. The Wisconsin Department of Transportation has recently reconstructed this section of S. 27th Street, including the addition of a turn-lane and a sidewalk in front of the subject property.

Site Plan:

The proposed O'Reilly Auto Parts store is 7,228 square feet. The total amount of impervious surface proposed onsite is 21,926 square feet, leaving 15,921 square feet of greenspace or approximately 42% (a minimum of 30% is required by the B-4 zoning district standards). Note that as the applicant is disturbing less than one acre of land and impervious surface added is less than one-half an acre, storm water management facilities are not required.

The site plan includes two drives adjacent to W. Minnesota Avenue. The opening nearest S. 27th Street is 24 feet wide and the westernmost opening is 36-feet wide. Section 15-5.0207B. of the UDO limits width to 24' and 30' at roadway; however, it also states that the Plan Commission may approve openings for vehicular ingress and egress greater than 30-feet.

The proposal also includes cross-access to the property to the north. The applicant has provided a cross access easement exhibit. Staff recommends that the applicant shall submit a recorded cross-access easement to the Department of City Development prior to issuance of an Occupancy Permit. Staff also recommends that the cross access easement location be illustrated on the proposed site plan. Finally, staff also recommends that the applicant shall pave the cross-access up to the property line prior to issuance of an Occupancy Permit. The applicant has indicated that they would prefer to pave this connection at the time cross access is actually provided by the property to the north. In that regard, the B-4 zoning district intent does state that the City may require a letter of credit sufficient to ensure the construction of a future pedestrian or vehicular connection.

In addition, it can be noted that a large parking lot exists immediately to the north, associated with the St. James Church, and as noted later in this staff report, the proposed O'Reilly development does not meet the City's parking standards. Therefore, staff recommends that the applicant shall contact St. James Church to inquire about the possibility of constructing the cross access and implementing a cross access easement and shared parking agreement simultaneously with development of the subject parcel, for Department of City Development review and approval prior to issuance of a Building Permit.

In this regard, staff would not object to relocation of the cross access to the west side of the subject property should that location be preferred by both property owners. However, should such a change occur, the building location and certain other site plan features such as the parking lot would likely change. Staff would therefore recommend that in the event of any site plan changes attributable to relocation of the cross access,

that the applicant shall submit a Site Plan Amendment to the City for review and approval by the Plan Commission.

The site plan also consists of a new 6-foot tall wood fence along the west property line to buffer the use from the adjacent residential dwelling to the west and a dumpster enclosure, which is located at the southwest corner of the building. The dumpster enclosure will be constructed of split face CMU with gate on south elevation.

According to the applicant, there are no outside merchandise display areas.

Parking:

Table 15-5.0203 of the Unified Development Ordinance (UDO) requires five parking spaces per 1,000 square feet of Gross Floor Area. The building is 7,228 square feet; therefore, 37 parking spaces are required. The site plan includes 26 parking spaces, which is a reduction of 11 parking spaces or about 30%.

Section 15-5.0203 of the UDO allows for parking reductions if sufficient proof that the minimum number of required parking spaces exceeds actual parking demand, that shared parking is provided, or that land is reserved for future parking, if necessary.

Note that the S. 27th Street Design Overlay District also requires that technical documentation shall be furnished by the applicant during the site plan review process to indicate, to the satisfaction of the Plan Commission, that actual off-street parking demand for that particular use is less than the required amount or that sufficient on-street parking is available in the area.

The site plan does not include any future parking areas nor are there currently opportunities for shared parking. At the time of review comments, staff requested, “that the percent decrease being requested be stated in a revised project narrative or supplemental letter as well as justification for the decrease and that the store’s parking demand will be met. For example, a comparative analysis may be submitted that indicates the typical number of parking spaces provided and the demand for other comparable O’Reilly Auto Parts stores.”

The applicant indicated that O’Reilly Auto Parts is not a high traffic store. Staff does not find this sufficient technical documentation; therefore, staff recommends that the applicant shall submit a parking analysis and/or future parking areas reserved, for review and approval by Department of City Development staff, that demonstrates that typical parking demand for an O’Reilly Auto Parts store is met, prior to issuance of a Building Permit.

The applicant has indicated that two 2-door Nissan Frontier pickup trucks will be parked overnight onsite. These vehicles will be parked in the two furthest southwest parking spaces as noted on the Site Development Plan. Note that Special Use approval is required for parking any vehicle over 8,000 pounds manufactured Gross Vehicle Weight (GVW) overnight. The GVW of a Nissan Frontier is between 4,700 to 5,816 lbs; therefore, the parking of these vehicles does not have to be specifically included as part of this Special Use approval.

The parking spaces adjacent to the building meet or exceed the UDO minimum parking space size of not less than 9-foot wide and 180 square feet. However, the parking spaces along the east side of the property adjacent to S. 27th Street do not, as they are 9-foot wide and 18-foot in length (162 square feet). Staff is aware that in certain situations the Plan Commission has approved parking spaces that were 9-foot wide by 18.5-foot in length when abutting a curb, which would account for a 1.5-foot overhang. As this is a retail use with high vehicle turnover, staff suggests that the site plan be revised so all parking spaces are a minimum of 9-foot wide and 20-foot in length (180 square feet).

Two ADA accessible parking spaces are provided in front of the building, which complies with ADA standards and Table 15-5.0202(I)(1) of the UDO.

Landscaping:

Table 15-5.0302 of the Unified Development Ordinance (UDO) requires a minimum of one canopy/shade tree, one evergreen tree, one decorative tree and one shrub for every five provided parking spaces. However, the subject property is adjacent to a single-family residence; therefore, the minimum quantity of plantings is increased by 20% per Section 15-5.0302C. of the UDO.

Given that the applicant is providing 26 parking spaces, 8 plantings of each type are required, which includes the 20% increase in quantity. The Landscape Plan includes 0 canopy/shade trees, 57 evergreen trees, 5 decorative trees, and 180 shrubs.

Staff recommends that the applicant shall submit a Landscape Plan, for review and approval by Department of City Development staff, that includes the following revisions, prior to issuance of a Building Permit:

- A minimum of eight canopy/shade trees and eight decorative trees shall be provided.
- Karl Forester Grass and Prairie Dropseed shall be noted as ornamental grasses, not shrubs.
- A greater variety of plantings shall be provided along the west and north property line to serve as the bufferyard, opposed to consisting of entirely Emerald Green Arborvitaes. Furthermore, the plantings shall be staggered, opposed to in a single row.
- The number of species provided shall comply with Section 15-5.0302F. of the Unified Development Ordinance.
For example, 57 evergreen trees are provided, however, only one species. This section requires that a minimum of four different species be provided.
- Planting size shall be indicated in the Planting Schedule and comply with minimum sizes within Table 15-5.0302 of the UDO.
- A planting guaranty of 2-years shall be provided by the landscape contractor and that guarantee noted on the Landscape Plan per Section 15-5.0303G.3. of the UDO prior to issuance of an Occupancy Permit.

Lighting:

The applicant has provided a Lighting Plan with photometrics. The Lighting Plan includes three new light poles and five wall mounted building lights. The three new light poles have

an overall height of 27.5-feet. The maximum footcandles is 8.1 and at the property lines are 3.7.

Lighting cut sheets/catalog pages were not included as part of the Plan Commission submittal; however, were part of the applicant's initial submittal to staff. Staff recommends that the applicant shall submit cut sheets/catalog pages for Department of City Development review and approval, prior to issuance of a Building Permit.

Staff suggests that the applicant utilizes shorter and a more decorative style light pole.

Architecture:

The primary building materials consist of two different colors of CMU. The building also has an EIFS and glass storefront entry feature. The applicant has included a canopy above the entrance and above a faux window on the south elevation. Building articulation includes minor variations in the roofline/parapet height of the front entrance feature, and pilaster features on the corners and center of the building.

Staff would note that the applicant is requesting waivers from South 27th Street Design Overlay District standards in regard to the architecture and windows. As such, the Plan Commission may wish to consider requiring additional architectural features or enhancements and consider any such changes as compensation for some of the requested waivers to the South 27th Street Design Overlay District standards. A condition related to architectural improvements is included in the discussion of these waivers later in this report.

The applicant has indicated that mechanicals are screened by parapets and that a screen will be provided on the rear of the building to screen mechanicals from the adjacent residential use.

Natural Resource Protection Plan:

Graef-USA, Inc. conducted a natural resource investigation of the property on August 16, 2017 and found no natural resources onsite as defined by the Unified Development Ordinance.

Signage:

The applicant has included signage for reference only and is aware and noted that signs are subject to separate review and approval through the Architectural Review Board and Inspection Department.

The applicant is proposing a monument sign at the corner of S. 27th Street and W. Minnesota Avenue and a wall sign on the east elevation above the front entry.

South 27th Street Design Overlay District Standards and Necessary Waivers:

The subject property is located within the South 27th Street Design Overlay District. This zoning district contains special architectural, parking and landscaping standards for sites with new buildings or for projects that result in an increase in floor area of fifty (50) percent or more over the floor area of the existing building at the time of the addition. The proposed new building must meet these standards.

The Design Overlay District authorizes the Plan Commission to waive any of the District standards by 5 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the waiver of the particular standard, or, in the case of parking provisions, where it can be demonstrated that the required parking is excessive or where specified areas are provided for the future provision of additional parking if necessary.

The applicant has provided a letter in which they outline the waivers being requested. Below, is a comprehensive list of the waivers being requested, along with the applicant's response and staff's recommendation to each requirement.

1. **Section 15-3.0352A. Parking required and location regulated.** "Not more than fifty (50) percent of the off-street parking spaces shall be located directly between the front facade of the building and the public street, unless additional buildings in the overall development are or will be located between the main building and the public street. Such additional buildings must be sufficient in size, location, and number to provide an effective visual break between the public street and the parking lot."

Applicant's response: "Due to the size of our lot and because we are already under the amount of parking required per code (5/1000SF of GFA), and do not have the space to relocate it anywhere else on site, we request that this requirement be waived."

Staff's Recommendation/Suggestion: Staff suggests moving the building closer to S. 27th Street, with relocation of one aisle of parking to the western portion of the site. Otherwise, the Plan Commission may concur with the applicant's findings that the proposed site layout, with parking and cross-access located on the east side of the property, is appropriate due to the size of the subject property.

2. **Section 15-3.0353B. Coordination of site furnishings.** Lighting and site furnishings (benches, trash receptacles, bicycle racks, etc.) shall complement the character of the building, and provide an attractive and strong relationship with adjoining properties and the public sidewalk.

Applicant's response: "O'Reilly typically isn't a place of great pedestrian traffic, so we would prefer not to add these items unnecessarily."

Staff's Recommendation/Suggestion: Staff recommends that the applicant shall submit a revised Site Development Plan for Department of City Development review and approval, that includes site furnishings such as benches, trash receptacles, and bicycle racks, prior to issuance of a Building Permit. In addition, the applicant shall provide cut sheets/catalog pages for the type of furnishings provided.

3. **Section 15-3.0353C.2. Pedestrian considerations.** Large parking areas shall include walkways to allow safe pedestrian access to the building entrance and to connect the site to adjacent streets and properties. Pedestrian walkways shall be designed with amenities such as special paving treatments (colored paver blocks or textured concrete), lighting (see lighting discussion below) and furnishings to create a pedestrian-friendly character.

Applicant's response: "Due to our inability to meet parking space requirements we would need to lose what few parking spaces we have in order to create landscaping islands. We are proposing to attempt to put one in at the storefront parking as shown on the L 1. 1 sheet, but it may cause difficulties with two-way traffic. If possible, we would prefer this requirement to be waived."

Staff's Recommendation/Suggestion: The proposed parking lot is not very large and the Landscape Plan includes significant perimeter plantings; therefore, staff does not find that a waiver is needed.

4. **Section 15-3.0353C.3. Pedestrian considerations.** The entire development shall provide for safe pedestrian and bicycle access to all uses within the development, connections to existing and planned public pedestrian and bicycle facilities, and connections to adjacent properties.

Applicant's response: "O'Reilly would prefer not to add these items."

Staff's Recommendation/Suggestion: Staff recommends that the applicant shall submit a revised site plan for Department of City Development review and approval, that includes a pedestrian connection from the front entry of the building to the sidewalk along S. 27th Street, prior to issuance of a Building Permit.

Staff would not object to location of the pedestrian connection to the S. 27th Street sidewalk along the northern or southern portions of the parking lot, subject to a direct connection to the proposed sidewalk along the front/east side of the building. In addition, it can be noted that the applicant has agreed, and staff has already recommended, a condition that the applicant provide a recorded cross-access agreement for access to the property to the north.

5. **Section 15-3.0353C.4. Pedestrian considerations.** Sidewalks shall be provided along the entire length of any facade containing a public entrance, leaving room for foundation planting beds.

Applicant's response: "Due to parking space count and drive aisle width, we don't have a reasonable amount of space with which to provide a planting bed along the front entrance. We request that this item be waived."

Staff's Recommendation/Suggestion: Staff recommends that the applicant shall submit a revised Landscape Plan, for Department of City Development review and approval, that includes foundation plantings or planters along the south and east sides of the building, prior to issuance of a Building Permit.

6. **Section 15-3.0353C.5. Pedestrian considerations.** Pedestrian walkways shall be provided from all building entrances to existing or planned public sidewalks or pedestrian/bike facilities.

Applicant's response: "O'Reilly would prefer not to add these items.

Staff's Recommendation/Suggestion: As indicated previously, staff recommends providing a pedestrian connection from the building entrance to the sidewalk along S. 27th Street.

7. **Section 15-3.0353E. Bicycle and pedestrian amenities required.** The development shall provide secure, integrated bicycle parking and pedestrian furniture in appropriate quantities and location.

Applicant's response: "O'Reilly typically isn't a place of great pedestrian traffic, so we would prefer not to add these items unnecessarily."

Staff's Recommendation/Suggestion: Again, as previously stated, staff recommends that bicycle and pedestrian amenities be included and illustrated on the site plan.

8. **Section 15-5.0353F.1. Landscaping.** On-site landscaping shall be provided per the landscaping requirements found in Section 15-5.0302. In addition, the project shall provide: 1. Extensive building foundation landscaping for all building frontages facing public streets, parking lots, or residential districts to provide visual breaks in the mass of the building. Building foundation landscaping shall be placed so that, at maturity, the plant's drip line is within ten (10) feet of the foundation. Canopy/shade trees shall not be used to meet this requirement.

Applicant's response: "Due to parking space count and drive aisle width, we don't have a reasonable amount of space with which to provide a planting bed along the front entrance. We request that this item be waived."

Staff's Recommendation/Suggestion: Again, staff recommends foundation plantings or planters be located along the building adjacent to S. 27th Street and W. Minnesota Avenue to satisfy this requirement.

9. **Section 15-3.0355A.8. and 9. Building Character and Design.** All visible sides of the building shall be designed with details that complement the front facade. Side facades that are visible from the public street shall receive equal design attention.

Applicant's response: "Per the S. 27th St design standards, we already meet the requirements as written. We have also worked extensively with Mr. Fuchs to arrive at a mutually approved design that is far above and beyond what a typical O'Reilly looks like."

Staff's Recommendation/Suggestion: Staff recommends that the applicant shall submit revised elevations, for Department of City Development review and approval, that provides additional architectural enhancements to better comply with the architectural standards as detailed within the South 27th Street Design Overlay District standards, prior to issuance of a Building Permit. Specifically, staff recommends consideration of providing more variation/articulation to the building, such as: varying building setbacks; more/larger façade protrusions and/or recesses; additional variations in building and/or parapet height; additional building materials (stucco, wood, stone, terra-cotta) or patterns, etc.

It should be noted that staff has consistently recommended additional architectural enhancements beyond what has been proposed by the applicant.

10. Section 15-3.0355B.3.a. and c. Building Materials and Colors.

a. Facades shall be varied and articulated to provide visual interest to pedestrians. Within larger projects, variations in facades, floor levels, architectural features, and exterior finishes shall create the appearance of several smaller buildings.

c. Where masonry is used for exterior finish, decorative patterns must be incorporated. Examples of these decorative patterns include multicolored masonry units such as brick, stone, or cast stone, in layered or geometric patterns, or split-faced concrete block to simulate a rusticated stone-type construction.

Applicant's response: "Per the S. 27th St design standards, we already meet the requirements as written."

Staff's Recommendation/Suggestion: The architectural recommendations above could satisfy these requirements as well.

11. Section 15-3.0355B.4.b. Roof Materials, Parapets, and Roof Pitch. Flat roofs are permitted with detailed stepped parapets or detailed brick coursing.

Applicant's response: "Per the S. 27th St design standards, we already meet the requirements as written."

Staff's Recommendation/Suggestion: Staff recommends that the applicant shall submit revised elevations, for Department of City Development review and approval, that provides additional roofline variation, particularly along the side and rear elevations as well as a brick coursing element, prior to issuance of a Building Permit.

12. **Section 15-3.0355B.6. Change in Relief of Building.** Buildings must include changes in relief on at least ten (10) percent of their primary facade for pedestrian interest and scale. Relief changes include cornices, bases, fenestration, fluted masonry, or other treatments.

Applicant's response: "Most of our building will be storage areas and we typically don't have visibility into those areas from the exterior. We also have a glass curtain wall assembly at our storefront, which is prototypical and provides a large area of visibility into the sales area. We request that this requirement be waived. If need be we can work something out to reduce the blank wall space on the parking lot side of the building."

Staff's Recommendation/Suggestion: The architectural recommendations above could satisfy this requirement as well.

13. **Section 15-3.0355B.7.a., b. and c. Windows.**

a. Windows which allow views to the interior activity or display areas are expected. Windows shall include sills at the bottom and pediments at the top. Glass curtain walls, reflective glass, and painted or darkly tinted glass shall not be used.

b. Ground Floor Window Standards: i All new buildings must provide ground floor windows. ii Required window areas must be either windows that allow views into working areas or lobbies, pedestrian entrances, or display windows. iii Required windows must have a sill no more than four feet above grade. Where interior floor levels prohibit such placement, the sill must be raised to allow it to be no more than two feet above the finished floor level, up to a maximum sill height of six feet above grade. iv. Darkly tinted windows and mirrored windows that block two-way visibility are prohibited as ground floor windows along street facades. v. The primary facade of each building, or for corner buildings each of the two facades, must contain at least twenty (20) percent of the ground floor wall area in display areas, windows, or doorways. Blank walls are prohibited. vi. Ground floor windows are also required on facades facing any public parking lot. The minimum requirement is sixteen (16) square feet per story or six (6) percent of the facade, whichever is greater.

c. Upper Floor Window Standards. i. Glass area dimensions shall not exceed 5' x 7'. (The longest dimension may be taken either horizontally or vertically.) ii. Windows must have trim or molding at least two inches wide around their perimeters.

Applicant's response: "Per the S. 27th St design standards, we already meet the requirements as written. We also have added 1 faux window on the Minnesota Ave side. Adding further windows will greatly affect energy usage, and have negative impacts on the environment. We do not wish to add any further windows."

Staff's Recommendation/Suggestion: Staff understands that much of the building includes storage areas; therefore, staff suggest consideration of additional frosted or glass block windows.

In addition, staff suggests adding sills at the bottom of the windows to better comply with these standards.

Otherwise, the Plan Commission may concur with the applicant's findings and that the faux window provided on the south elevation is sufficient.

14. **Section 15-3.0355B.8.d. Pedestrian Accessibility.** Buildings located at the intersection of two streets shall utilize a corner entrance to the building unless this requirement is waived by the Plan Commission.

Applicant's response: "Due to the low-key nature of the area of our site and its limited size, we request that the corner entrance requirement be waived."

Staff's Recommendation/Suggestion: Staff suggests that the applicant revise the building design to provide a corner entrance. Note that if the building were relocated closer to the southeast corner of the site, staff would recommend that a corner entrance be provided.

Otherwise, the Plan Commission may concur with the applicant's findings and that the proposed building location with cross-access on the east side of the property and a front facing entry is appropriate due to the business use and site constraints.

STAFF RECOMMENDATION

City Development staff recommends approval of the proposed Special Use and associated Site Plan for an O'Reilly Auto Parts store upon property located at 7251 South 27th Street subject to the conditions set forth in the draft Resolution. Staff further recommends approval of the waivers to the South 27th Street Design Overlay District Standards subject to the conditions also set forth in the draft Resolution.

RESOLUTION NO. 2017-_____

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS
FOR THE APPROVAL OF A SPECIAL USE FOR AN AUTO PARTS RETAIL STORE
UPON PROPERTY LOCATED AT 7251 SOUTH 27TH STREET
(O'REILLY AUTOMOTIVE STORES, INC., APPLICANT)

WHEREAS, O'Reilly Automotive Stores, Inc., having petitioned the City of Franklin for the approval of a Special Use within a B-4 South 27th Street Mixed-Use Commercial District under Standard Industrial Classification Title No. 5531 "Auto and Home Supply Stores", to allow for the construction and use of a 7,228 square foot O'Reilly Auto Parts store with associated parking, landscaping, fencing and lighting upon an approximately 0.72 acre property consisting of an existing home and accessory buildings, which will be razed to allow for the store construction, upon property located at 7251 South 27th Street, bearing Tax Key No. 761-9956-001, more particularly described as follows:

That part of the Northeast One-quarter (1/4) of Section Twelve (12), Township Five (5) North, Range Twenty-one (21) East, in the City of Franklin, County of Milwaukee, Wisconsin, bounded and described as follows: Commencing at a point in the West line of South 27th Street (U.S. Highway 41) said point being 80.08 feet west of and 994.19 feet South 2°30'30" West of the Northeast corner of said 1/4 Section; thence North 89°56' West, a distance of 250 feet to a point; thence South on and along a line parallel to the East line of said 1/4 Section a distance of 152 feet to a point; thence South 89°56' East, a distance of 250 feet to a point; thence North on and along a line parallel to the East line of said 1/4 Section a distance of 152 feet to the point of beginning; excepting therefrom the South Fifteen feet for street; and also excepting therefrom that part thereof shown as Parcel 43 of Transportation Project Plat 2265-16-20-4.06, recorded as Document No. 10227659; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 5th day of October, 2017, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic

O'REILLY AUTOMOTIVE STORES, INC. – SPECIAL USE
RESOLUTION NO. 2017-_____

Page 2

congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the petition of O'Reilly Automotive Stores, Inc., for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by O'Reilly Automotive Stores, Inc., successors and assigns, as an auto parts retail store use, which shall be developed in substantial compliance with, and operated and maintained by O'Reilly Automotive Stores, Inc., pursuant to those plans City file-stamped September 25, 2017 and annexed hereto and incorporated herein as Exhibit A.
2. O'Reilly Automotive Stores, Inc., successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the O'Reilly Automotive Stores, Inc. auto parts retail store, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon O'Reilly Automotive Stores, Inc. and the auto parts retail store use for the property located at 7251 South 27th Street: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. The cross access easement location shall be illustrated on the proposed site plan and a recorded cross-access easement shall be submitted to the Department of City Development prior to the issuance of an Occupancy Permit.
5. The cross access shall be paved up to the property line prior to the issuance of an Occupancy Permit.

O'REILLY AUTOMOTIVE STORES, INC. – SPECIAL USE
RESOLUTION NO. 2017-_____

Page 3

6. The applicant shall contact St. James Church to inquire about the possibility of constructing the cross access and implementing a cross access easement and shared parking agreement simultaneously with development of the subject parcel, for Department of City Development review and approval prior to the issuance of a Building Permit. In the event of any site plan changes attributable to relocation of the cross access, the applicant shall submit a Site Plan Amendment to the City for review and approval by the Plan Commission.
7. The applicant shall submit a parking analysis and/or reserve areas for future parking, for review and approval by Department of City Development staff, that demonstrates that typical parking demand for an O'Reilly Auto Parts store is met, prior to the issuance of a Building Permit.
8. A Landscape Plan shall be submitted, for review and approval by Department of City Development staff that includes the following revisions, prior to the issuance of a Building Permit:
 - a. A minimum of eight canopy/shade trees and eight decorative trees shall be provided.
 - b. Karl Forester Grass and Prairie Dropseed shall be noted as ornamental grasses, not shrubs.
 - c. A greater variety of plantings shall be provided along the west and north property line to serve as the bufferyard, opposed to consisting of entirely Emerald Green Arborvitaes. Furthermore, the plantings shall be staggered, opposed to in a single row.
 - d. The number of species provided shall comply with Section 15-5.0302F. of the Unified Development Ordinance.
 - e. Planting size shall be indicated in the Planting Schedule and comply with minimum sizes within Table 15-5.0302 of the UDO.
 - f. A planting guaranty of 2-years shall be provided by the landscape contractor and that guarantee noted on the Landscape Plan per Section 15-5.0303G.3. of the UDO prior to the issuance of an Occupancy Permit.
9. Cut sheets/catalog pages of the proposed light fixtures shall be submitted for Department of City Development review and approval, prior to the issuance of a Building Permit.
10. A revised Site Development Plan shall be submitted for Department of City Development review and approval that includes site furnishings such as benches, trash receptacles, and bicycle racks, prior to the issuance of a Building Permit. In addition, the applicant shall provide cut sheets/catalog pages for the type of furnishings provided.

O'REILLY AUTOMOTIVE STORES, INC. – SPECIAL USE
RESOLUTION NO. 2017-_____

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11. A revised Site Development Plan shall be submitted for Department of City Development review and approval that includes a pedestrian connection from the front entry of the building to the sidewalk along South 27th Street, prior to the issuance of a Building Permit.
12. A revised Landscape Plan shall be submitted for Department of City Development review and approval that includes foundation plantings or planters along the south and east sides of the building, prior to the issuance of a Building Permit.
13. Revised elevations shall be submitted for Department of City Development review and approval that provides additional architectural enhancements to better comply with the architectural standards as detailed within the South 27th Street Design Overlay District standards, prior to the issuance of a Building Permit. Specifically, the elevations shall provide more variation/articulation to the building, such as: varying building setbacks; more/larger façade protrusions and/or recesses; additional variations in building and/or parapet height; additional building materials (stucco, wood, stone, terra-cotta) or patterns, etc.
14. Revised elevations shall be submitted for Department of City Development review and approval that provides additional roofline variation, particularly along the side and rear elevations as well as a brick coursing element, prior to the issuance of a Building Permit.
15. Unified Development Ordinance Section 15-3.0352A. Parking Required and Location Regulated (fifty (50) percent of the off-street parking spaces shall be located directly between the front facade of the building and the public street) requirement(s) are hereby waived, provided that the applicant moves the building closer to South 27th Street, with relocation of one aisle of parking to the western portion of the site or Plan Commission concurrence that the proposed site layout, with parking and cross-access located on the east side of the property, is appropriate due to the size of the subject property.
16. Unified Development Ordinance Section 15-3.0353B. Coordination of Site Furnishings (lighting and site furnishings [benches, trash receptacles, bicycle racks, etc.]) and Section 15-3.0353E. Bicycle and Pedestrian Amenities Required (integrated bicycle parking and pedestrian furniture in appropriate quantities and location) requirement(s) are hereby waived, provided that the applicant submit a revised Site Development Plan for Department of City Development review and approval, that includes site furnishings such as benches, trash receptacles, and bicycle racks, prior to the issuance of a Building Permit. In addition, the applicant shall provide cut sheets/catalog pages for the type of furnishings provided.

O'REILLY AUTOMOTIVE STORES, INC. – SPECIAL USE
RESOLUTION NO. 2017-_____

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17. Unified Development Ordinance Section 15-3.0353C.3. Pedestrian Considerations (pedestrian and bicycle access within the development and connections to adjacent properties) and Section 15-3.0353C.5. Pedestrian Considerations (pedestrian walkways from building entrances to public sidewalks or pedestrian/bike facilities) requirement(s) are hereby waived, provided that the applicant submit a revised site plan for Department of City Development review and approval, that includes a pedestrian connection from the front entry of the building to the sidewalk along South 27th Street, prior to the issuance of a Building Permit.
18. Unified Development Ordinance Section 15-3.0353C.4. Pedestrian Considerations (sidewalks along the entire length of façade, leaving room for foundation planting beds) Section 15-3.0353F.1. Landscaping (building foundation landscaping for building frontage) requirement(s) are hereby waived, provided that the applicant submit a revised Landscape Plan, for Department of City Development review and approval, that includes foundation plantings or planters along the south and east sides of the building, prior to the issuance of a Building Permit.
19. Unified Development Ordinance Sections 15-3.0355A.8. and 9. Building Character and Design (sides of the building shall be designed with details that complement the front façade), Sections 15-3.0355B.3.a. and c. Building Materials and Colors (facades shall be varied and articulated; decorative patterns must be incorporated) and Section 15-3.0355B.6. Change in Relief of Building (building must include changes in relief on at least ten (10) percent of the primary façade) requirement(s) are hereby waived, provided that the applicant submit revised elevations, for Department of City Development review and approval, that provides additional architectural enhancements to better comply with the architectural standards as detailed within the South 27th Street Design Overlay District standards, prior to the issuance of a Building Permit. Specifically, staff recommends consideration of providing more variation/articulation to the building, such as: varying building setbacks; more/larger façade protrusions and/or recesses; additional variations in building and/or parapet height; additional building materials (stucco, wood, stone, terra-cotta) or patterns, etc.
20. Unified Development Ordinance Section 15-3.0355B.4.b. Roof Materials, Parapets, and Roof Pitch (flat roofs are permitted with detailed stepped parapets or detailed brick coursing) requirement(s) are hereby waived, provided that the applicant submit revised elevations, for Department of City Development review and approval, that provides additional roofline variation, particularly along the side and rear elevations as well as a brick coursing element, prior to the issuance of a Building Permit.
21. Unified Development Ordinance Sections 15-3.0355B.7.a., b. and c. Windows (windows shall include sills at the bottom and pediments at the top; windows: sixteen

O'REILLY AUTOMOTIVE STORES, INC. – SPECIAL USE
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(16) square feet per story or six (6) percent of the facade, whichever is greater) requirement(s) are hereby waived, provided that the applicant considers additional frosted or glass block windows and addition of sills at the bottom of the windows to better comply with the standards, prior to the issuance of a Building Permit or Plan Commission concurrence that the faux window provided on the south elevation is sufficient.

22. Unified Development Ordinance Section 15-3.0355B.8.d. Pedestrian Accessibility (building shall utilize a corner entrance to the building) requirement(s) are hereby waived, provided that the applicant revise the building design to provide a corner entrance, prior to the issuance of a Building Permit or Plan Commission concurrence that the proposed building location with cross-access on the east side of the property and a front facing entry is appropriate due to the business use and site constraints.

BE IT FURTHER RESOLVED, that in the event O'Reilly Automotive Stores, Inc., successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

O'REILLY AUTOMOTIVE STORES, INC. – SPECIAL USE
RESOLUTION NO. 2017-_____

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BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2017.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this _____ day of _____, 2017.

APPROVED:

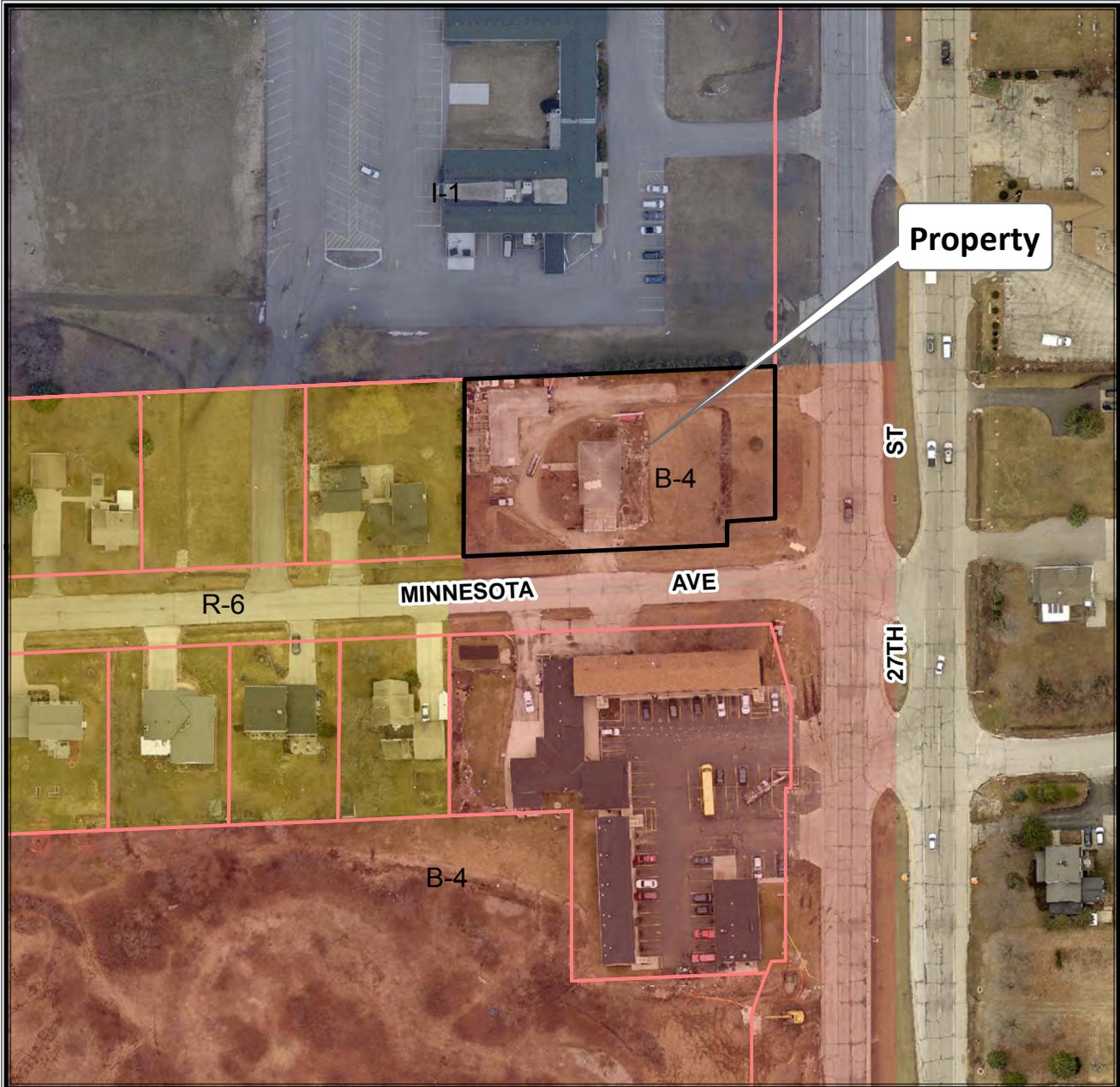
Stephen R. Olson, Mayor

ATTEST:

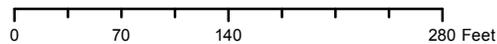
Sandra L. Wesolowski, City Clerk

AYES _____ NOES _____ ABSENT _____

7251 S. 27th Street
TKN: 761 9956 001

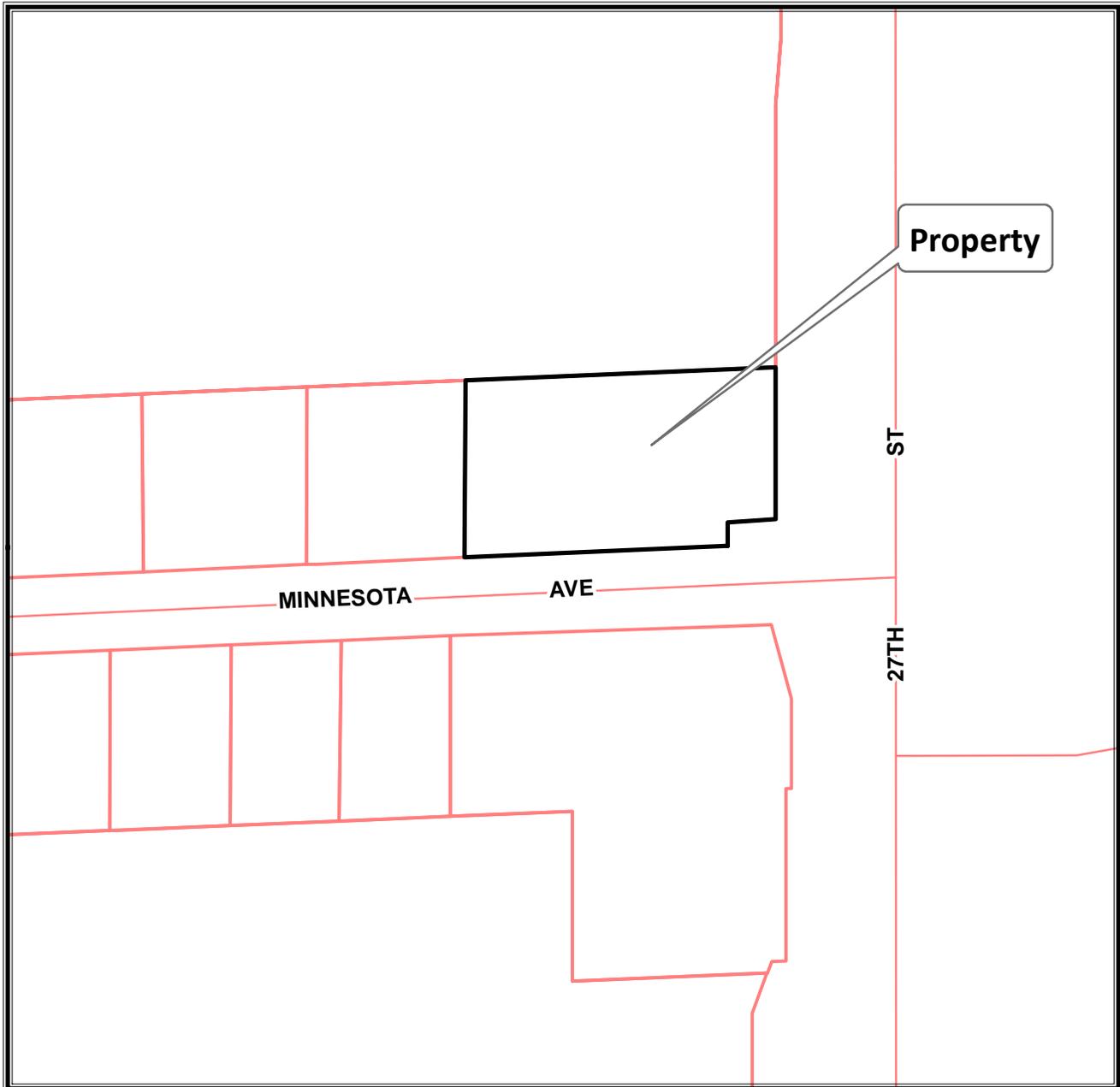


Planning Department
(414) 425-4024

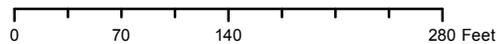


This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.

7251 S. 27th Street
TKN: 761 9956 001



Planning Department
(414) 425-4024



This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.





PATRICK G. BLEES ARCHITECT, PLLC

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www.cmarch.com

Patrick G. Blees, AIA

September 25, 2017

Nick Fuchs
Franklin Planning and
Zoning Department
7251 S. 27th Street
Franklin, WI 53132

**RE: O'Reilly Auto Parts
Project Summary
7251 S. 27th St.
Franklin, WI 53132**

Project #: 17115.003

Dear Mr. Fuchs:

O'Reilly Automotive Stores, Inc. will have a General Contractor, who is yet to be determined, demolish the existing buildings, pavement, concrete, fence, and to remove a few trees and bushes to construct a new concrete masonry unit building for the sale of auto parts and auto accessories. The site is a total of 37,847 square feet, and will be improved by adding a variety of natural plants and trees as part of the design, which will help the 27th Street corridor look more appealing. Landscaping will surround the parking lot as well as the west and north sides of the property line. The building is 7,228 gross square feet, has two bathrooms, an office for the store manager, and has a total occupancy load of 115 people. The project evaluation is \$975,780. There will be (2) Nissan Frontier store owned delivery trucks parked on site (gross weight 3,815 lbs per vehicle). For the stock deliveries, there will be deliveries 4-5 times a week depending on sales volume, and will be scheduled for earlier in the evening. The store will be open 7am-9pm Monday-Sunday with a between 10 and 12 employees max at any given time.

Sincerely,

Fort Worth, TX

Minneapolis, MN

Dallas, TX

Samantha McNamara

Project Specialist

Enclosure



PATRICK G. BLEES ARCHITECT, PLLC

architecture • planning • interior design

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Patrick G. Blees, AIA

September 25, 2017

Mr. Nick Fuchs, Principle Planner
City of Franklin
Department of City Development
9229 W. Loomis Rd
Franklin, WI 53132

RE: O'Reilly Auto Parts – 7251 S. 27th St.

Project #: 17115.003

Dear Mr. Fuchs:

Per our conversations regarding the design review for our proposed O'Reilly Auto Parts store, I have included below a list of the items we wish to have waived. This may not be an all-inclusive list, but at this time they are the main concerns. We also don't have supplemental ideas listed in lieu of the items requested to be waived because we thought we would see what your thoughts are. Here are the items we wish to be waived:

- **Section 15-3.0352 A. Parking:** “Not more than fifty (50) percent of the off-street parking spaces shall be located directly between the front façade of the building and the public street...”
 - *Due to the size of our lot and because we are already under the amount of parking required per code (5/1000SF of GFA), and do not have the space to relocate it anywhere else on site, we request that this requirement be waived.*
- **Section 15-3.0353 B4 Parking Lot Landscaping:** “Sidewalks shall be provided along entire length of any façade containing a public entrance, leaving room for foundation planting beds.”
 - *Due to parking space count and drive aisle width, we don't have a reasonable amount of space with which to provide a planting bed along the front entrance. We request that this item be waived.*
- **Section 15-3.0353 C1 & 2 Interior Landscaping for Off-street parking Areas:** “A minimum of twenty (20) square feet of interior landscaped island shall be provided per parking stall.”; “The interior landscaping shall be provided within landscaped islands a minimum of 250 square feet in area...”
 - *Due to our inability to meet parking space requirements we would need to lose what few parking spaces we have in order to create landscaping islands. We are proposing to attempt to put one in at the storefront parking as shown on the L1.1 sheet, but it may cause difficulties with two-way traffic. If possible, we would prefer this requirement to be waived.*
- **Section 15-3.0355 B6 Change in Relief of Building:** “Windows which allow views to the interior activity or display areas are expected...Glass curtain walls, reflective glass, and painted or darkly tinted glass shall not be used.”
 - *Most of our building will be storage areas and we typically don't have visibility into those areas from the exterior. We also have a glass curtain wall assembly at our storefront, which is prototypical and provides a large*

Fort Worth, TX

Minneapolis, MN

Dallas, TX

area of visibility into the sales area. We request that this requirement be waived. If need be we can work something out to reduce the blank wall space on the parking lot side of the building.

- **Section 15-3.0355 B8 d. Pedestrian Accessibility:** “Buildings located at the intersection of two streets shall utilize a corner entrance to the building unless this requirement is waived by the Plan Commission.”
 - *Due to the low-key nature of the area of our site and its limited size, we request that the corner entrance requirement be waived.*
- **Section 15-3.0355 A7 & B4f Building Character and Design:** “Where are mechanicals located? Are they fully screened from public view?”
 - *Yes, they are screen and will not be seen unless on the roof. Rear parapet screens them from the neighbors as well. No waiver is required.*
- **Section 15-3.0355 A8 & 9: Building Character and Design:** “Staff recommends that additional architectural enhancements be added to better comply with architectural standards as details within the South 27th Street Design Overlay District standards”
 - *Per the S. 27th St design standards, we already meet the requirements as written. We have also worked extensively with Mr. Fuchs to arrive at a mutually approved design that is far above and beyond what a typical O’Reilly looks like.*
- **Section 15-3.0355 B3a & B3c Building Materials and Colors:** “The architectural recommendations above could satisfy these requirements as well”
 - *Per the S. 27th St design standards, we already meet the requirements as written.*
- **Section 15-3.0355 B4b Roof Materials, Parapet, and Roof Pitch:** “Staff recommends additional roofline variation, particularly along the side and rear elevations. Also may consider brick coursing.”
 - *Per the S. 27th St design standards, we already meet the requirements as written.*
- **Section 15-3.055 B7a, b, and c Windows:** “Staff understands that much of the building includes storage areas; therefore, staff recommends consideration of frosted windows or utilizing glass block.”
 - *Per the S. 27th St design standards, we already meet the requirements as written. We also have added 1 faux window on the Minnesota Ave side. Adding further windows will greatly affect energy usage, and have negative impacts on the environment. We do not wish to add any further windows.*
- **Section 15-3.055 B10 External Storage:** “Please confirm that there are no outside sales or merchandise display areas...”
 - *There are no outside display areas or merchandise areas. No waiver is required.*
- **Section 15-3.0353 B & E Coordination of site furnishings:** “Staff recommends including site furnishings such as benches, trash receptacles, bicycle racks, etc.”
 - *O’Reilly typically isn’t a place of great pedestrian traffic, so we would prefer not to add these items unnecessarily.*

Name
Month, dd, yyyy
Page 3 of 3

- **Section 15-3.0353 C3 & C5 Pedestrian Considerations: “Staff recommends providing cross-access to the property to the north as well as a pedestrian connection to the sidewalk along S. 27th Street.”**
 - *O’Reilly would prefer not to add these items.*

Sincerely,

Brandon Cutler

PGB
Enclosure

DIVISION 15-3.0700 SPECIAL USE STANDARDS AND REGULATIONS

SECTION 15-3.0701 GENERAL STANDARDS FOR SPECIAL USES

A. **General Standards.** No special use permit shall be recommended or granted pursuant to this Ordinance unless the applicant shall establish the following:

1. **Ordinance and Comprehensive Master Plan Purposes and Intent.** The proposed use and development will be in harmony with the general and specific purposes for which this Ordinance was enacted and for which the regulations of the zoning district in question were established and with the general purpose and intent of the City of Franklin Comprehensive Master Plan or element thereof.

Response:

Having O'Reilly Auto Parts store located at 7251 S. 27th Street Franklin will help bring color and beauty to the street corridor by having a colorful storefront with a variety of plants and bushes used for landscaping. O'Reilly Auto Parts store will comply with the Ordinance and Comprehensive Master Plan purposes and intent.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and not substantially diminish and impair property values within the community or neighborhood.

Response:

The construction of a new store will not have a detrimental effect on the neighborhood or community. We have been working with the City and neighbors to ensure everyone's needs are met. The new building and parking lot will stay within its property limits. The parking lot will provide street lights to provide safe parking and walking from the building to customer vehicles at night. The new building and landscaping will increase property value.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable zoning district regulations.

Response:

The construction process will occur during the day so the nearby neighbors would not be disturbed at night. The building will not dominate the neighborhood but only make it more appealing within the property limits. The new O'Reilly Auto Parts store is on 27th Street where heavy traffic occurs and will remain. There are driveway entrances on W Minnesota Avenue leading into the parking lot which will help avoid traffic congestion on 27th Street. This will not create more traffic on W Minnesota Avenue, but provide a safe ingress and egress. O'Reilly is a very low impact development with limited traffic and no loud operation noises.

4. **Adequate Public Facilities.** The proposed use and development will be served

adequately by essential public facilities and services such as streets, public utilities including public water supply system and sanitary sewer, police and fire protection, refuse disposal, public parks, libraries, schools, and other public facilities and utilities or the applicant will provide adequately for such facilities.

Response:

The building will have restrooms and drinking fountains for the employees so the building requires access to the city water and sewer utilities. The property is on a major thoroughfare and will be well lit without impacting the neighbors. O'Reilly Auto Parts wants to provide safety to its employees and its customers. There will be a dumpster on site which will require refuse disposal. The building will also have electricity, heating, and air conditioning to provide comfort to its employees and customers.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response:

O'Reilly Auto Parts parking lot provides two ingress and egress to avoid traffic congestion. The driveways are located on Minnesota Avenue to avoid traffic congestion on 27th Street and Minnesota Avenue but also creating a safe exit from Minnesota Avenue on to 27th Street. The parking lot contains 26 parking spaces for employees and customers so there will not be a lot of traffic flow.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Response:

The construction process and operation of O'Reilly Auto Parts will not result in any destruction of any natural, scenic, or historic feature of any kind.

7. **Compliance with Standards.** The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Common Council pursuant to the recommendations of the Plan Commission. The proposed use and development shall comply with all additional standards imposed on it by the particular provision of this Division and Ordinance authorizing such use.

Response:

O'Reilly Auto Parts store is a Mercantile primary use group and will remain so, O'Reilly Auto Parts store will comply with the City of Franklin Ordinances and 2009 Building Codes.

- B. **Special Standards for Specified Special Uses.** When the zoning district regulations authorize a special use in a particular zoning district and that special use is indicated as having special standards, as set forth in Section 15-3.0702 and 15-3.0703 of this Division, a Special Use Permit for such use in such zoning district shall not be recommended or granted unless the applicant shall establish compliance with all such special standards.

Response:

O'Reilly Automotive Stores, Inc. will comply with the Special Standards.

- C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Common Council shall consider the following:

1. **Public Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Response:

The purpose of the O'Reilly Auto Parts store is construction of a new building for the sale of auto parts and auto accessories to the public. This store will also help provide jobs to the community.

2. **Alternative Locations.** Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Response:

O'Reilly Automotive Stores, Inc. found that this location at 7251 S. 27th Street is a good fit at the proposed location because it will clean up the current site, and will attract customers due the proximity to S. 27th St. the property is also zoned appropriately.

3. **Mitigation of Adverse Impacts.** Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Response:

O'Reilly has been working diligently with the City and the neighborhood to ensure everyone's needs are being met.

4. **Establishment of Precedent of Incompatible Uses in the Surrounding Area.** Whether the use will establish a precedent of, or encourage, more intensive or incompatible uses in the surrounding area.

Response:

O'Reilly Auto Parts will fit the context of the 27th Street corridor design plans, and thus will not set a precedent for incompatible uses.

September 22, 2017

City of Franklin
Department of City Development

RE: O'Reilly Auto Parts Special Use Application – Staff Comments

The following is in response to the Staff Comment Letter for the O'Reilly Plan Review on 9/8/2017.

Planning Department - Site Plan

Comment 4.d: **"Natural Resource Protection Plan" Required.** Location of natural resource features present on the site, as defined in Divisions 15-4.0100 and 15-11.0100 of this Ordinance. A "Natural Resource Protection Plan" meeting the requirements of Division 15-7.0100 of this Ordinance shall be submitted with the Site Plan Review Application for Plan Commission review and approval. The "Natural Resource Protection Plan" shall contain any areas of the site where natural resources are to be mitigated and how and where the mitigation is to take place with natural resource protection easements indicated. Copies of any letters of review or permits granted by applicable Federal or State regulatory agencies having jurisdiction over said natural resources shall also be submitted. - - Was a natural resource investigation completed for the property? If so, where any protected natural resources found onsite?

Response: A natural resource investigation was completed and no natural resources were apparent on site. The results of the investigation are pending approval and review by WDNR. A certified investigation will be submitted upon WDNR approval.

Comment 4.e: **Site Intensity and Capacity Calculations to be Submitted.** The "Site Intensity and Capacity Calculation" worksheets required under Division 15-3.0500 for determining the maximum site intensity, or development capacity, of the site. For residential uses, the maximum number of dwelling units permitted on the site shall be determined based upon the zoning district's maximum density (gross and net), the natural resources present on the site and the level of their preservation, minimum open space ratio, and the residential development option selected. For nonresidential uses, the maximum floor area permitted on the site shall be determined based upon the zoning district's allowable maximum floor area ratio (gross and net), the natural resources present on the site and their level of preservation, the minimum landscape surface ratio, and building height in feet and stories. - - Site Intensity

and Capacity Calculation Worksheets are attached. Please complete and include as part of the Plan Commission submittal.

Response : Per discussion with Orrin Sumwalt, Site Intensity and Capacity Calculations are not applicable for B-4 zoning. Minimum landscape requirements have been calculated per city ordinance. Refer to Landscape plans.

Comment: Staff recommends that a cross-access easement be provided and illustrated on the Site Development Plan to allow future access to the property to the north. The B-4 District requires cross-access between parcels (see below). Staff suggests that the cross-access be paved at the time of development of the O'Reilly store. Also note that the Plan Commission may consider paving the cross-access as part of the compensation for the requested waivers from the South 27th Street Design Overlay District standards.

Response: Cross-access easement is being coordinated with city staff.

Comment: Please illustrate areas for snow storage on the Landscape Plan in compliance with Section 15-5.0210 of the Unified Development Ordinance.

Response: Noted. Refer to Sheet C1.1 Keynote C16 for Snow Storage Area.

Engineering Department Comments

Comment: Has a wetland determination been performed by an Assured Delineator or received concurrence from the WDNR?

Response: See previous response.

Comment: What are the pre-and post-development impervious areas?

Response: Impervious areas have been provided. Refer to Sheet C1.1.

Comment: A Building permit is required.

Response: Noted.

Comment: A Plat of Survey showing highway setback, proposed location of the building, erosion control and tracking pad is required.

Response: Noted.

Comment: A permit is required for relocating the existing culvert and request for another culvert.

Response: Noted.

Comment: A permit is required to work on the highway right-of-way.
Response: Noted. All work in state ROW will be coordinated and permitted with WiDOT.

Comment: State approval for connecting to the existing storm inlet is required. May need to demonstrate that the existing storm is adequate enough to take the storm drainage run-off from the site.

Response: Noted. All work in state ROW will be coordinated and permitted with WiDOT.

Comment: State approval is required for parking lot to be installed within the Highway setback.

Response: Noted. All work in state ROW will be coordinated and permitted with WiDOT.

Comment: Driveway permits are required (2-driveway).

Response: Noted.

Comment: Concrete driveway must terminate three feet away from the edge of the road.

Response: Please note this will cause constructability issues. A 3ft wide strip of asphalt pavement will be prone to failure. Therefore, this has not been provided.

Comment: Must maintain the roadway ditch at West Minnesota Avenue.

Response: Noted. A ditch has been provided.

Sincerely,



Paul Engel, PE
Anderson Engineering
PJE/waw



Franklin
SEP 25 2017
City Development

One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1470
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collaborāte / formulāte / innovāte

Anderson Engineering Natural Resource Investigation

TO: Wes Weimer, EI
Anderson Engineering
2045 W. Woodland
Springfield, MO 65807

FROM: Mike Al-wathiqui

Phone: (414) 266-9299
Email: mike.al-wathiqui@graef-usa.com

DATE: 9/22/2017

SUBJECT: Natural Resource (NRPP) Investigation

Please be advised that GRAEF-USA, Inc. (GRAEF) has investigated for the presence of natural resources as defined by the City of Franklin in the Unified Development Ordinance (UDO) within the Anderson Engineering Study Area determined by Anderson Engineering as shown on the attached figure (Figure 1). The investigation yielded the following results:

On the date of the site visit, August 16, 2017 no natural resources as defined by the City of Franklin in the Unified Development Ordinance (UDO) were identified within the Study Area designated by Anderson Engineering (Figure 1).

Two soil units are mapped within the Study Area and include Morley silt loam, 2 to 6 percent slopes, eroded (MzdB2) and Blount silt loam, 1 to 3 percent slopes (BIA). The Wisconsin Department of Natural Resources (WDNR) classifies Blount silt loam as an indicator soil for the potential presence of wetlands.

Despite the presence of the WDNR wetland indicator soil, no wetlands were identified on site. Data was collected at a sample point located within the WDNR wetland indicator soil unit mapped within the Study Area to document upland conditions. Vegetation in the area was dominated by *Cirsium arvensis* (Canada Thistle) and *Echinochloa crus-galli* (Barnyard Grass). Soils at the sample point did not meet any of the indicator criteria for hydric soils and there were no indicators of hydrology present.

A confirmation meeting is required to confirm the absence of wetlands. A meeting was scheduled for September 20th, 2017, but been rescheduled at the request of the WDNR. A date for the meeting has not yet been established, but the WDNR has committed to complete confirmation before the end of the growing season.

Please contact me at (414) 266-9299 if you have any questions.

Thank you,

Mike Al-wathiqi
Mike Al-wathiqui
Environmental Scientist



FIGURE 1

GRÄEF

2015 AERIAL
O'REILLY AUTO PARTS
CITY OF FRANKLIN
MILWAUKEE COUNTY, WI

0 10 20 40
Feet



1 in = 50 ft

Legend
Project Boundary



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collaborāte / formulāte / innovāte

Anderson Engineering Wetland Investigation

TO: WDNR Confirmation Service

FROM: Mike Al-wathiqui

Phone: (414) 266-9299

Email: mike.al-wathiqui@graef-usa.com

DATE: 8/17/2017

SUBJECT: Wetland Investigation

Please be advised that GRAEF-USA, Inc. (GRAEF) has investigated for the presence of wetlands within the Anderson Engineering Study Area determined by Anderson Engineering as shown on the attached figure (Figure 1) and is requesting concurrence. The investigation yielded the following results:

1. On the date of the site visit, August 16, 2017 no wetlands were identified within the Study Area designated by Anderson Engineering (Figure 1).
2. Two soil units are mapped within the Study Area and include Morley silt loam, 2 to 6 percent slopes, eroded (MzdB2), which is classified as a well to moderately well drained soil and Blount silt loam, 1 to 3 percent slopes (BIA) which is classified as somewhat poorly drained and is listed as a WDNR wetland indicator soil.
3. Data was collected at a sample point located within the WDNR wetland indicator soil unit mapped within the Study Area. Vegetation in the area was dominated by *Cirsium arvensis* (Canada Thistle) and *Echinochloa crus-galli* (Barnyard Grass). Soils at the sample point did not meet any of the indicator criteria for hydric soils and there were no indicators of hydrology present.

Please contact me at (414) 266-9299 if you have any questions.

Thank you,

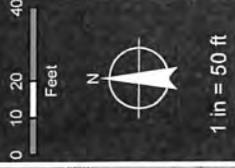
Mike Al-wathiqui
Environmental Scientist

Attachments: Figures, WETS Analysis, Data Sheets, Photos, Statement of Qualifications

EXHIBIT 1

GRÄEF

WETLAND DELINEATION O'REILLY AUTO PARTS CITY OF FRANKLIN MILWAUKEE COUNTY, WI



Legend

- Sample Point
- ▭ Project Boundary

FIGURE 1

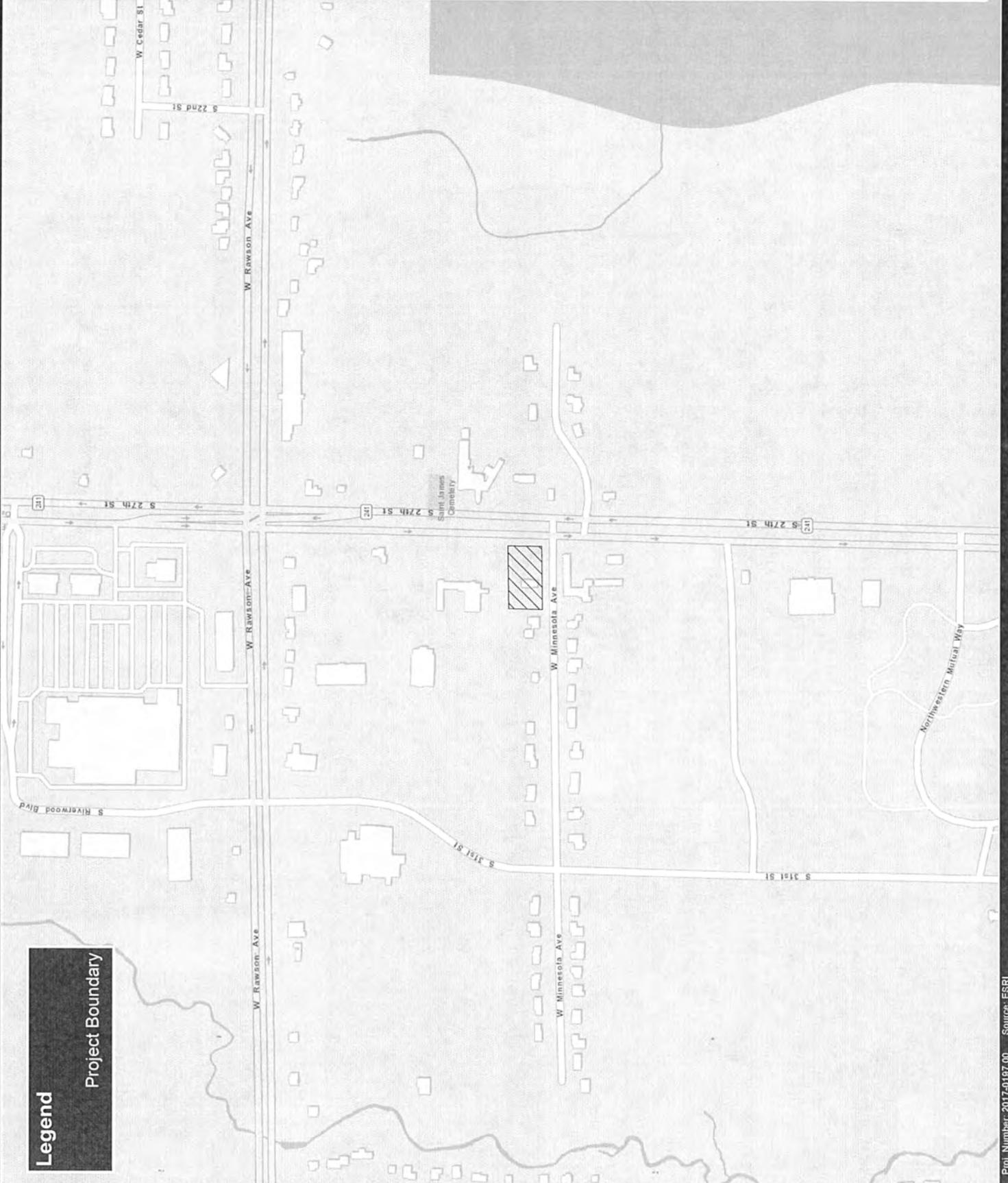


SITE LOCATION
O'REILLY AUTO PARTS
CITY OF FRANKLIN
MILWAUKEE COUNTY, WI

0 90 180 360
Feet



1 in = 500 ft



Legend

Project Boundary



Legend

WWI

Project Boundary

FIGURE 2

GRÄEF

**WISCONSIN WETLAND INVENTORY
O'REILLY AUTO PARTS
CITY OF FRANKLIN
MILWAUKEE COUNTY, WI**

0 10 20 40
Feet



1 in = 50 ft

SOIL MAP
 O'REILLY AUTO PARTS
 CITY OF FRANKLIN
 MILWAUKEE COUNTY, WI

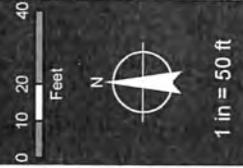


FIGURE 3



Legend

- Soil Survey
- Project Boundary

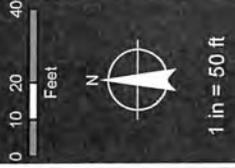
Map Unit Name	Map Symbol	Hydric Classification
Blount silt loam, 1 to 3 percent slopes	BIA	Hydric
Morley silt loam, 2 to 6 percent slopes, eroded	MzdB2	Non Hydric

FIGURE 4



CONTOUR MAP

O'REILLY AUTO PARTS
CITY OF FRANKLIN
MILWAUKEE COUNTY, WI



Legend

— Contour

— Project Boundary

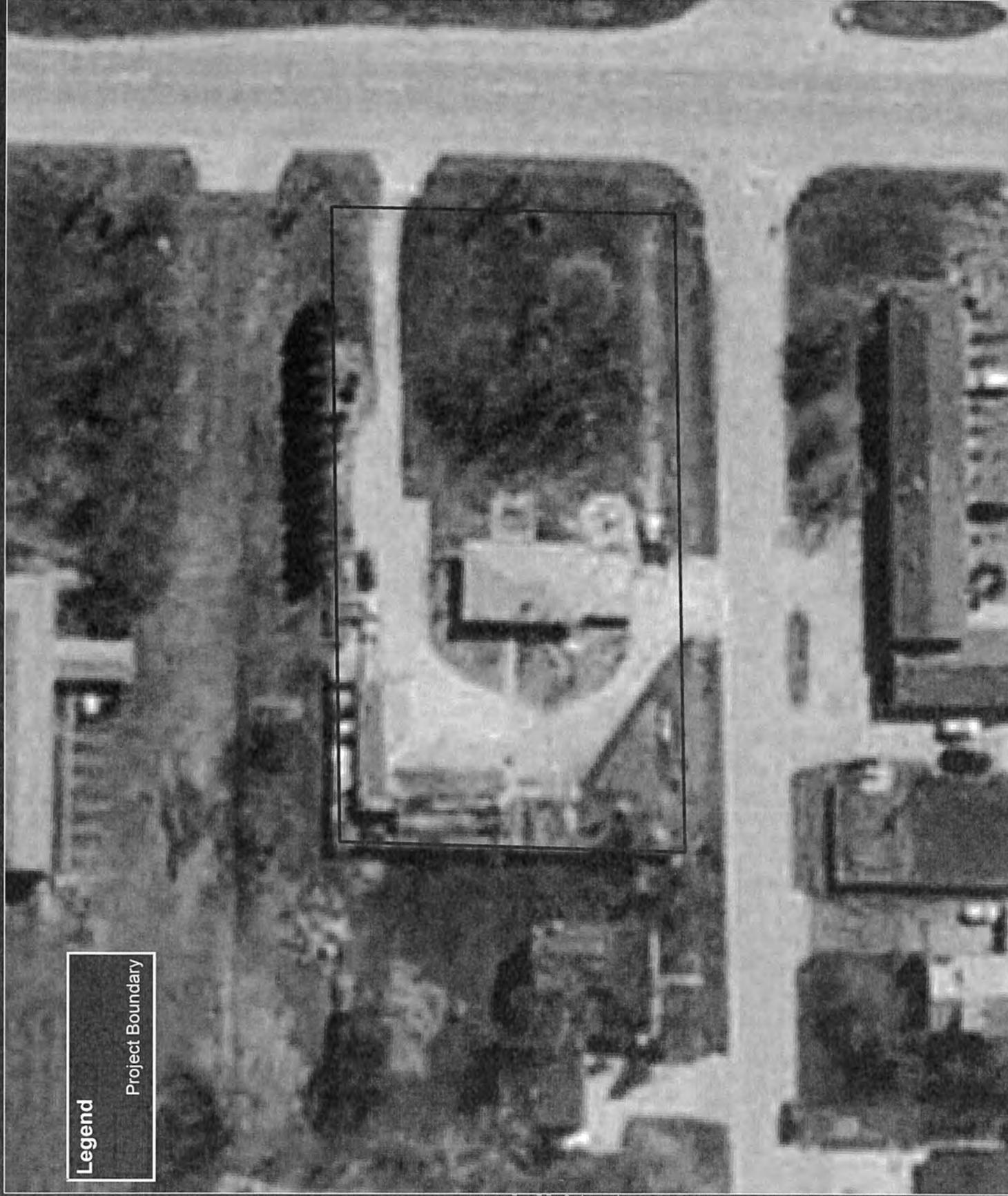


FIGURE 5

GRÄEF

2000 AERIAL
O'REILLY AUTO PARTS
CITY OF FRANKLIN
MILWAUKEE COUNTY, WI



1 in = 50 ft

Legend

Project Boundary



FIGURE 6

GRÄEF

2005 AERIAL
O'REILLY AUTO PARTS
CITY OF FRANKLIN
MILWAUKEE COUNTY, WI

0 10 20 40
Feet

1 in = 50 ft

Legend

Project Boundary



FIGURE 7

GRäEF

2010 AERIAL
O'REILLY AUTO PARTS
CITY OF FRANKLIN
MILWAUKEE COUNTY, WI



1 in = 50 ft

Legend

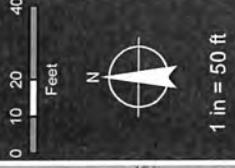
Project Boundary



FIGURE 8

GRÄEF

2015 AERIAL
O'REILLY AUTO PARTS
CITY OF FRANKLIN
MILWAUKEE COUNTY, WI



Legend
Project Boundary

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Anderson Engineering City/County: Franklin/Milwaukee Sampling Date: 16-Aug-17
 Applicant/Owner: Anderson Engineering State: WI Sampling Point: SP-1 upl
 Investigator(s): Mike Al-wathiqui Section, Township, Range: S 12 T 5 N R 21 E
 Landform (hillslope, terrace, etc.): Flat Local relief (concave, convex, none): flat
 Slope: 0.0% / 0.0 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Blount silt loam, 1 to 3 percent slopes (BIA), Hydric WWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="radio"/> No <input checked="" type="radio"/> Hydric Soil Present? Yes <input type="radio"/> No <input checked="" type="radio"/> Wetland Hydrology Present? Yes <input type="radio"/> No <input checked="" type="radio"/>	Is the Sampled Area within a Wetland? Yes <input type="radio"/> No <input checked="" type="radio"/>
Remarks: This sample point documents upland conditions in a WDNR wetland indicator soil unit mapped within the Study Area. None of the three criteria are met indicating that this area is upland.	

VEGETATION - Use scientific names of plants.

Stratum (Plot size: _____)	Absolute % Cover	Dominant Species? Rel. Strat. Cover	Indicator Status	Dominance Test worksheet:
<u>Tree Stratum (Plot size: 30' r)</u>				Number of Dominant Species That are OBL, FACW, or FAC: <u>0</u> (A)
1. _____	0	<input type="checkbox"/> 0.0%		Total Number of Dominant Species Across All Strata: <u>1</u> (B)
2. _____	0	<input type="checkbox"/> 0.0%		Percent of dominant Species That Are OBL, FACW, or FAC: <u>0.0%</u> (A/B)
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
<u>Sapling/Shrub Stratum (Plot size: 15' r)</u>				Prevalence Index worksheet:
1. _____	0	<input type="checkbox"/> 0.0%		Total % Cover of: Multiply by:
2. _____	0	<input type="checkbox"/> 0.0%		OBL species <u>0</u> x 1 = <u>0</u>
3. _____	0	<input type="checkbox"/> 0.0%		FACW species <u>0</u> x 2 = <u>0</u>
4. _____	0	<input type="checkbox"/> 0.0%		FAC species <u>0</u> x 3 = <u>0</u>
5. _____	0	<input type="checkbox"/> 0.0%		FACU species <u>115</u> x 4 = <u>460</u>
	0	= Total Cover		UPL species <u>0</u> x 5 = <u>0</u>
<u>Herb Stratum (Plot size: 5' r)</u>				Column Totals: <u>115</u> (A) <u>460</u> (B)
1. <u>Cirsium arvense</u>	90	<input checked="" type="checkbox"/> 78.3%	FACU	Prevalence Index = B/A = <u>4.000</u>
2. <u>Echinochloa crusgalli</u>	20	<input type="checkbox"/> 17.4%	FACU	
3. <u>Cichorium intybus</u>	5	<input type="checkbox"/> 4.3%	FACU	
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
6. _____	0	<input type="checkbox"/> 0.0%		
7. _____	0	<input type="checkbox"/> 0.0%		
8. _____	0	<input type="checkbox"/> 0.0%		
9. _____	0	<input type="checkbox"/> 0.0%		
10. _____	0	<input type="checkbox"/> 0.0%		
	115	= Total Cover		
<u>Woody Vine Stratum (Plot size: 30' r)</u>				Hydrophytic Vegetation Indicators:
1. _____	0	<input type="checkbox"/> 0.0%		<input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation
2. _____	0	<input type="checkbox"/> 0.0%		<input type="checkbox"/> 2 - Dominance Test is > 50%
	0	= Total Cover		<input type="checkbox"/> 3 - Prevalence Index is ≤ 3.0 ¹
				<input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet)
				<input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain)
				¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
				Hydrophytic Vegetation Present? Yes <input type="radio"/> No <input checked="" type="radio"/>

Remarks: (Include photo numbers here or on a separate sheet.)
 This area is dominated by upland weeds. The hydrophytic vegetation criterion is not met.

¹Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: **SP-1 upl**

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-9	10YR	3/2	100				Silt Loam	
9-24	10YR	3/2	70	10YR	4/6	10	Silty Clay Loam	
	10YR	5/1	20					

¹ Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ² Location: PL=Pore Lining, M=Matrix.

<p>Hydric Soil Indicators:</p> <input type="checkbox"/> Histosol (A1) <input type="checkbox"/> Histic Epipedon (A2) <input type="checkbox"/> Black Histic (A3) <input type="checkbox"/> Hydrogen Sulfide (A4) <input type="checkbox"/> Stratified Layers (A5) <input type="checkbox"/> 2 cm Muck (A10) <input type="checkbox"/> Depleted Below Dark Surface (A11) <input type="checkbox"/> Thick Dark Surface (A12) <input type="checkbox"/> Sandy Muck Mineral (S1) <input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)	<input type="checkbox"/> Sandy Gleyed Matrix (S4) <input type="checkbox"/> Sandy Redox (S5) <input type="checkbox"/> Stripped Matrix (S6) <input type="checkbox"/> Loamy Mucky Mineral (F1) <input type="checkbox"/> Loamy Gleyed Matrix (F2) <input type="checkbox"/> Depleted Matrix (F3) <input type="checkbox"/> Redox Dark Surface (F6) <input type="checkbox"/> Depleted Dark Surface (F7) <input type="checkbox"/> Redox Depressions (F8)	<p>Indicators for Problematic Hydric Soils ³:</p> <input type="checkbox"/> Coast Prairie Redox (A16) <input type="checkbox"/> Dark Surface (S7) <input type="checkbox"/> Iron Manganese Masses (F12) <input type="checkbox"/> Very Shallow Dark Surface (TF12) <input type="checkbox"/> Other (Explain in Remarks)
--	--	--

³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

<p>Restrictive Layer (if observed):</p> Type: _____ Depth (inches): _____	<p>Hydric Soil Present? Yes <input type="radio"/> No <input checked="" type="radio"/></p>
---	--

Remarks:
Redoximorphic features occur too deep in the soil profile to meet any of the indicator criteria. The criterion is not met.

HYDROLOGY

<p>Wetland Hydrology Indicators:</p> <p>Primary Indicators (minimum of one is required; check all that apply)</p> <input type="checkbox"/> Surface Water (A1) <input type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Saturation (A3) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Water-Stained Leaves (B9) <input type="checkbox"/> Aquatic Fauna (B13) <input type="checkbox"/> True Aquatic Plants (B14) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Gauge or Well Data (D9) <input type="checkbox"/> Other (Explain in Remarks)	<p>Secondary Indicators (minimum of two required)</p> <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Dry Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Stunted or Stressed Plants (D1) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> FAC-Neutral Test (D5)
---	---	--

<p>Field Observations:</p> Surface Water Present? Yes <input type="radio"/> No <input checked="" type="radio"/> Depth (inches): _____ Water Table Present? Yes <input type="radio"/> No <input checked="" type="radio"/> Depth (inches): _____ Saturation Present? (includes capillary fringe) Yes <input type="radio"/> No <input checked="" type="radio"/> Depth (inches): _____	<p>Wetland Hydrology Present? Yes <input type="radio"/> No <input checked="" type="radio"/></p>
---	--

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:
There are no indicator of hydrology present. The criterion is not met.

SITE PHOTOGRAPHS

Anderson Engineering
Milwaukee County, Wisconsin

Photos Taken by GRAEF on 8/16/2017

GRAEF



Photo #: 1

Direction of View:

East

Comment:

View from the southwest corner of the site along south edge along West Minnesota Avenue.



Photo #: 2

Direction of View:

North

Comment:

View from southwest corner of the site along western site boundary.

SITE PHOTOGRAPHS

Anderson Engineering
Milwaukee County, Wisconsin

Photos Taken by GRAEF on 8/16/2017

GRAEF



Photo #: 3

Direction of View:

North

Comment:

View from southwest corner of the site along western site boundary.



Photo #: 4

Direction of View:

East

Comment:

View from the northwest corner of the site along the northern site boundary.

SITE PHOTOGRAPHS

Anderson Engineering
Milwaukee County, Wisconsin

Photos Taken by GRAEF on 8/16/2017

GRAEF



Photo #: 5

Direction of View:

Southeast

Comment:

View from the northwest corner of the site.



Photo #: 6

Direction of View:

South

Comment:

View from the northeast corner of the site with South 27th Street seen on the left.

SITE PHOTOGRAPHS

Anderson Engineering
Milwaukee County, Wisconsin

Photos Taken by GRAEF on 8/16/2017

GRAEF



Photo #: 7

Direction of View:

South

Comment:

View from the northeast corner of the site with South 27th Street seen on the left.



Photo #: 8

Direction of View:

West

Comment:

View from the northeast corner of the northern site boundary.

SITE PHOTOGRAPHS

Anderson Engineering
Milwaukee County, Wisconsin

Photos Taken by GRAEF on 8/16/2017

GRAEF



Photo #: 9

Direction of View:

West

Comment:

View from southeast corner of the site.



Photo #: 10

Direction of View:

Northwest

Comment:

View from the southeast corner of the site.

SITE PHOTOGRAPHS

Anderson Engineering
Milwaukee County, Wisconsin

Photos Taken by GRAEF on 8/16/2017

GRAEF



Photo #: 11

Direction of View:

Northwest

Comment:

View from southeast corner of site.



Photo #: 12

Direction of View:

-

Comment:

Upland sample point SP-1 documenting upland conditions in the area of mapped Blount silt loam, 1 to 3 percent slopes (BIA) which is classified by the NRCS as a hydric soil in Milwaukee County and is listed as a wetland indicator soil by the WDNR.

WETS Analysis

Project Site:
 Project Number:
 Period of interest:
 County:

Long-term rainfall records (from WETS table)

Month	3 years in 10 less than	Normal	3 years in 10 greater than
1st month prior: July	2.44	3.56	4.25
2nd month prior: June	2.40	3.56	4.26
3rd month prior: May	1.86	3.06	3.70
Sum =			10.18

*Normal precipitation with 30% to 70% probability of occurrence

**Condition value:

Dry = 1
 Normal = 2
 Wet = 3

***If sum is:

6 to 9 then period has been drier than normal
 10 to 14 then period has been normal
 15 to 18 then period has been wetter than normal

Precipitation data source: USDA eFOTG Database

WETS Station: MILWAUKEE MITCHELL AP, WI

Reference: Donald E. Woodward, ed. 1997. *Hydrology Tools for Wetland Determination*, Chapter 19. Engineering Field Handbook. U.S. Department of Agriculture, Natural Resources Conservation Service, Fort Worth, TX.

Site determination

Site Rainfall (in)	Condition Dry/Normal*/Wet	Condition** Value	Month Weight	Product
3.69	Normal	2	3	6
5.21	Wet	3	2	6
2.83	Normal	2	1	2
Sum =			Sum*** =	14

Determination:

Wet
 Dry
 Normal

STATEMENT OF QUALIFICATIONS

FIELD INVESTIGATORS:

Mike Al-wathiqui

Mr. Al-wathiqui received a Master of Science in Freshwater Resources and Technology from the University of Wisconsin-Milwaukee's School of Freshwater Science. He received a Bachelor's of Science in Biology and Natural Resource Management at the University of Wisconsin-Milwaukee as well. He has completed the WDNR's Critical Methods in Wetland Delineation and Advanced Wetland Delineation Course in 2016 as well as WDNR's Basic Wetland Delineators course in 2015. Mike has seven years of diverse ecological experience including performing wetland delineations, riparian landscape management, environmental education and stream studies. Mike has been performing wetland delineations for three years and has authored many delineation reports and wetland permit applications. He is familiar with state and federal wetland and waterway regulation and policy. He has experience in invasive vegetation management and vegetation monitoring. He provided invasive vegetation management and monitoring services for a Pike River management plan in Racine County. He has also worked at the WDNR on a trail management plan controlling invasive vegetation species along the Hank Aaron State Trail and with non-profits managing invasive vegetation species along the Milwaukee River greenway. He has also worked for the City of Milwaukee Forestry Department treating Ash trees to protect against infestation by the Emerald Ash Borer. He currently holds a valid Wisconsin Pesticide Applicators License. Mike has additional experience in developing metrics for assessing biological integrity of stream ecosystems. In 2015 he worked on a project with the US Forest Service to assess the stream health and invertebrate community structure of various freshwater Hawaiian streams.

City of Franklin

Department of City Development

Date: September 8, 2017
To: Brandon Cutler, Patrick G. Blee, Architect, PLLC
From: Department of City Development
RE: O'Reilly Auto Parts Special Use Application – Staff Comments

Please be advised that City Staff has reviewed the above application for property located at 7251 S. 27th Street. Department comments are as follows for the Special Use date-stamped by the City of Franklin on August 22, 2017.

Planning Department

Special Use

1. Please include the responses to the Special Use Standards and Regulations as part of the Plan Commission submittal. *This is included in the submittal package.*
2. In previous discussions, it was noted that one to two small pickup trucks would be parked overnight. Please confirm if there is overnight vehicle parking onsite and provide details in a revised project narrative. Please include the type and size (Gross Vehicle Weight) of the vehicles. Staff also recommends illustrating the location of where these vehicles will be parked overnight on the Site Development Plan (Sheet C2.1.). *See enclosed revised drawings.*

Note that per Section 15-5.0202G.3. of the Unified Development Ordinance (UDO), “Any vehicle over 8,000 pounds rated Gross Vehicle Weight may be parked in districts not previously mentioned in the normal course of business in conjunction with a commercial or industrial use of the property; however, any overnight parking shall be allowed only with a Special Use.”

3. In a revised project narrative, please include the following information:
 - a. Store hours of operations.
 - b. Number of employees.
 - c. Details regarding deliveries (e.g. number of deliveries per day/week, type and size of delivery vehicles, hours of deliveries, etc.)

Staff also recommends including a truck maneuverability exhibit with the Plan Commission submittal. *See enclosed revised project summary narrative and truck turn exhibit.*

Site Plan

4. Please provide the following information on the Proposed Site Development Plan (Sheet C2.1):
 - a. **Soils Data.** The characteristics and types of soils related to contemplated specific uses. Soil borings may be required by the City Engineer, Zoning Administrator,

and/or Plan Commission. - - Please note the soil types on the Site Development Plan. *See enclosed geotechnical and Phase I report.*

- b. **Building Height.** Height of all building(s), including both principal and accessory, expressed in both feet and stories. - - Please note the building height on the Site Development Plan. *See enclosed sheets G1.1 and A2.1.*
- c. **Existing and Proposed Public Street Rights-of-Way or Reservations.** Existing and proposed public street rights-of-way or reservations and widths. - - Please note the rights-of-way widths for S. 27th Street and W. Minnesota Avenue. *We were unable to find documentation on the ROW width in time for submittal. We will include in a future revision.*
- d. **"Natural Resource Protection Plan" Required.** Location of natural resource features present on the site, as defined in Divisions 15-4.0100 and 15-11.0100 of this Ordinance. A "Natural Resource Protection Plan" meeting the requirements of Division 15-7.0100 of this Ordinance shall be submitted with the Site Plan Review Application for Plan Commission review and approval. The "Natural Resource Protection Plan" shall contain any areas of the site where natural resources are to be mitigated and how and where the mitigation is to take place with natural resource protection easements indicated. Copies of any letters of review or permits granted by applicable Federal or State regulatory agencies having jurisdiction over said natural resources shall also be submitted. - - Was a natural resource investigation completed for the property? If so, where any protected natural resources found onsite? *See enclosed Anderson Engineering response letter.*
- e. **Site Intensity and Capacity Calculations to be Submitted.** The "Site Intensity and Capacity Calculation" worksheets required under Division 15-3.0500 for determining the maximum site intensity, or development capacity, of the site. For residential uses, the maximum number of dwelling units permitted on the site shall be determined based upon the zoning district's maximum density (gross and net), the natural resources present on the site and the level of their preservation, minimum open space ratio, and the residential development option selected. For nonresidential uses, the maximum floor area permitted on the site shall be determined based upon the zoning district's allowable maximum floor area ratio (gross and net), the natural resources present on the site and their level of preservation, the minimum landscape surface ratio, and building height in feet and stories. - - Site Intensity and Capacity Calculation Worksheets are attached. Please complete and include as part of the Plan Commission submittal. *See enclosed worksheet.*
- f. **Project Summary.** A written project summary including fiscal impact upon the City of Franklin, operational information, building schedule, and estimate of project value and including all site improvement costs. - - Please include this type of information within a revised project narrative or supplemental letter. *No fiscal information is available regarding the impact on the City of Franklin; Building schedule is on sheet C1.1; project valuation is estimated at \$975,780.*

5. Please confirm the WisDOT required setback from S. 27th Street. Staff believes WisDOT may require a 42-foot setback, opposed to the City's 40-foot minimum required setback. The more restrictive should then be illustrated on the plans. *See enclosed Anderson Engineering response letter.*
6. Please note the type and height of the proposed fence on the Site Development Plan. *See enclosed Sheet C2.2.*
7. Please illustrate and label the vision triangle on the Site Development Plan (see below). *Row widths could not be determined before time of submittal, but sight line triangles were added at the property lines for reference as that is usually the extent of street right of ways as well.*

SECTION 15-5.0201 TRAFFIC VISIBILITY

A. No Obstructions Permitted. No visual obstructions, such as structures, parking, or vegetation, shall be permitted in any district between the heights of two and one-half (2.5) feet and ten (10) feet above the plane through the mean curb grades within the triangular space formed by any two (2) existing or proposed intersecting street or alley right-of-way lines and a line joining points on such lines, located a minimum of thirty (30) feet from their intersection.

B. Corner Cut-Off Distances for Intersecting Arterial and/or Collector Streets. In the case of arterial and/or collector streets intersecting with other arterial and/or collector streets, the corner vision clearance distances establishing the triangular vision clearance space shall be sixty (60) feet from the two (2) intersecting street rights-of-way lines and a line joining the two (2) points on such lines.

8. Please provide dumpster enclosure details. Staff assumes this may be on Sheet C2.2 or C2.3; however, those plan sheets were not provided. Staff recommends that the dumpster enclosure materials match that of the principal building. *See enclosed sheet C2.3.*
9. On Sheet C2.1, please include additional site data, such as square footage of proposed impervious surface, greenspace and Landscape Surface Ratio (see definitions below). *See enclosed sheet C2.1.*

Landscape Surface Ratio (LSR). The ratio derived by dividing the area of landscaped surface by the base site area.

Landscape Surface Area. Surface area of land not covered by any building or impervious surface; impervious surface, and that is maintained as a natural area and left undisturbed or to support plant life.

Site Area, Base. (See Division 15-3.0500 of this Ordinance.)

10. Staff recommends that a cross-access easement be provided and illustrated on the Site Development Plan to allow future access to the property to the north. The B-4 District requires cross-access between parcels (see below). Staff suggests that the cross-access be paved at the time of development of the O'Reilly store. Also note that the Plan Commission may consider paving the cross-access as part of the compensation for the requested waivers from the South 27th Street Design Overlay District standards. *We do*

not have information on a cross access easement at this time, and will need to address at a later date.

B-4 District

Require that cross-access for both pedestrian and vehicular circulation is provided between adjacent parcels at the time of any new development or redevelopment. In cases where existing development on adjacent parcels, not under common ownership, does not allow for the actual construction of connecting driveways, sidewalks, etc. it shall be sufficient in most cases to provide the appropriate cross-access easements to be utilized at the point in time when the adjacent parcel undergoes development or redevelopment that would facilitate the completion of the connection. The city may require a letter of credit sufficient to ensure the construction of the future pedestrian and vehicular connection when actual construction is not taking place at the time of site plan approval.

Landscaping

11. Please organize the plantings within the Planting Schedule by plant type (i.e. Canopy/Shade Trees, Evergreens, Decorative Trees and Shrubs). *See enclosed L1.1.*
12. Please include the landscaping calculations on the Landscape Plan (i.e. how many plantings are required per the UDO, including the 20% increase for the bufferyard). Note that the UDO requires rounding up to the nearest whole number. Staff recommends exceeding landscape requirements as part of the compensation for the requested waivers from the South 27th Street Design Overlay District standards. *See enclosed L1.1.*
13. Please indicate the planting size in the Planting Schedule, opposed to the reference provided. Note that evergreens and arborvitae within the bufferyard must have a planting height of 6-feet. *See enclosed L1.1.*
14. Staff recommends additional plant species be provided per Section 15-5.0302F. of the UDO. *See enclosed revised waiver narrative.*
15. Please illustrate areas for snow storage on the Landscape Plan in compliance with Section 15-5.0210 of the Unified Development Ordinance. *See enclosed sheet C2.1.*
16. Please note a 2 year planting guaranty on the Landscape Plan per Section 15-5.0303G.3. of the UDO. *O'Reilly is still reviewing. An answer will be provided at a later date.*

Parking

17. Staff recommends that all parking spaces be a minimum of 9-feet wide and 180 square feet in size. *Plans are already compliant.*
18. Parking is rounded up; therefore, the required number of parking spaces is 37, not 36. Please revise the Site Development Plan accordingly. *See enclosed sheet C2.1.*
19. A parking reduction is being requested. As such, staff recommends that the percent decrease being requested be stated in a revised project narrative or supplemental letter as well as justification for the decrease and that the store's parking demand will be met. For example, a comparative analysis may be submitted that indicates the typical number of parking spaces provided and the demand for other comparable O'Reilly Auto Parts stores.

Note that the S. 27th Street Design Overlay District also requires that technical documentation shall be furnished by the applicant during the site plan review process to indicate, to the satisfaction of the Plan Commission, that actual off-street parking demand for that particular use is less than the required amount or that sufficient on-street parking

is available in the area. *There is no technical documentation at this time, however, O'Reilly Auto Parts is not a high traffic store.*

Architecture

20. Please include 11 x 17 color elevations as part of the Plan Commission submittal. *See enclosed.*
21. See architectural comments under the South 27th Street Design Overlay District Requirements section below. *See enclosed.*

Lighting

22. Staff recommends that shorter light poles be utilized as well as consideration of more decorative style lighting. *Per UDO standards we are already under the 30' max height.*

Signage

23. As previously discussed, signage will require separate review and approval by the Architectural Review Board and a Sign Permit from the Inspection Department. Please provide a note on the plans that states signs are shown for reference only and require separate review and approval. *See enclosed sheets SG1.1, SG1.2, and SG2.1.*
24. The monument sign shall be located outside of vision triangle. *See enclosed sheets SG1.1, SG1.2, and SG2.1.*

South 27th Street Design Overlay District Requirements

25. Previously a letter was provided, dated March 13, 2017, that listed the waivers being requested from the South 27th Street Design Overlay Standards. Please update this letter as may be necessary and include it as part of the Plan Commission submittal. Staff also recommends noting areas that the project is exceeding standards to compensate for such waivers. Below is from the design standards for your review. *As indicated on the L1.1 sheet, we are well over on landscaping. We have also gone above and beyond our typical store design, and diligently worked with the city to improve the building design.*

Authorize the Plan Commission to waive any of the South 27th Street Design Overlay District Standards by 5 votes of all the members of the Plan Commission provided that supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the waiver of the particular standard, or, in the case of parking provisions, where it can be demonstrated that the required parking is excessive or where specified areas are provided for the future provision of additional parking if necessary. In support of the waiver request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the waiver is requested.

Staff finds that the following waivers must be requested or the project revised to address each requirement.

- Section 15-3.0352A. Parking required and location regulated.

Staff recommends locating the building closer to the corner of S. 27th Street and W. Minnesota Avenue, with parking located on the rear half of the site. *See enclosed revised waiver narrative.*

- Section 15-3.0353B. Coordination of site furnishings.

Staff recommends including site furnishings such as benches, trash receptacles, bicycle racks, etc. If provided, please include cut sheets/catalog pages for the type of furnishings provided. *See enclosed revised waiver narrative.*

- Section 15-3.0353C.3. Pedestrian considerations.

Staff recommends providing cross-access to the property to the north as well as a pedestrian connection to the sidewalk along S. 27th Street. *See enclosed revised waiver narrative.*

- Section 15-3.0353C.4. Pedestrian considerations.

Staff recommends the addition of foundation plantings or planters be placed along the front of the building. *See enclosed revised waiver narrative.*

- Section 15-3.0353C.5. Pedestrian considerations.

Again, staff recommends providing pedestrian connections from the building entrance to the sidewalk along S. 27th Street. *See enclosed revised waiver narrative.*

- Section 15-3.0353E. Bicycle and pedestrian amenities required.

Again, staff recommends that bicycle and pedestrian amenities be included and illustrated on the Site Development Plan. *See enclosed revised waiver narrative.*

- Section 15-5.0353F.1. Landscaping.

Again, staff recommends foundation plantings and/or planters be located along the building adjacent to S. 27th Street and W. Minnesota Avenue to satisfy this requirement. *See enclosed revised waiver narrative.*

- Section 15-3.0355A.7. Building Character and Design.

Where are mechanicals located? Are they fully screened from public view (i.e. from S. 27th Street and W. Minnesota Avenue)? *See enclosed revised waiver narrative.*

- Section 15-3.0355A.8. and 9. Building Character and Design.

Staff recommends that additional architectural enhancements be added to better comply with architectural standards as detailed within the South 27th Street Design Overlay District standards.

Please refer to previous email correspondence related to architecture. More specifically, staff recommends consideration of providing more

variation/articulation to the building, such as: varying building setbacks; more façade protrusions and/or recesses; building height changes (additional variations in parapets); additional building materials (stucco, wood, stone, terra-cotta) or patterns, etc. *See enclosed revised waiver narrative.*

- Section 15-3.0355B.3.a. and c. Building Materials and Colors

The architectural recommendations above could satisfy these requirements as well. *See enclosed revised waiver narrative.*

- Section 15-3.0355B.4.b. Roof Materials, Parapets, and Roof Pitch.

Staff recommends additional roofline variation, particularly along the side and rear elevations. Also may consider brick coursing. *See enclosed revised waiver narrative.*

- Section 15-3.0355B.4.f. Roof Materials, Parapets, and Roof Pitch.

Again, roof and wall-mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, must be screened from public view. Please verify that all such equipment is screened from S. 27th Street and W. Minnesota Avenue. *See enclosed revised waiver narrative.*

- Section 15-3.055B.7.a., b. and c. Windows.

Staff understands that much of the building includes storage areas; therefore, staff recommends consideration of frosted windows or utilizing glass block.

In additional, staff suggests adding sills at the bottom of the windows to better comply with these standards. *See enclosed revised waiver narrative.*

- Section 15-3.055B.8.d. Pedestrian Accessibility

This requirement has been previously discussed and a corner entrance feature must be provided, unless waived by the Plan Commission. *See enclosed revised waiver narrative.*

- Section 15-3.055B.10. External Storage

Please confirm that there are no outside sales or merchandise display areas. If there are, details must be provided for Plan Commission as part of the site plan review and approval. *See enclosed revised waiver narrative.*

Engineering Department Comments *See enclosed Anderson Engineering response letter.*

- Has a wetland determination been performed by an Assured Delineator or received concurrence from the WDNR?
- What are the pre-and post-development impervious areas?
- A Building permit is required.

- A Plat of Survey showing highway setback, proposed location of the building, erosion control and tracking pad is required.
- A permit is required for relocating the existing culvert and request for another culvert.
- A permit is required to work on the highway right-of-way.
- State approval for connecting to the existing storm inlet is required. May need to demonstrate that the existing storm is adequate enough to take the storm drainage run-off from the site.
- State approval is required for parking lot to be installed within the Highway setback.
- Driveway permits are required (2-driveway).
- Concrete driveway must terminate three feet away from the edge of the road.
- Must maintain the roadway ditch at West Minnesota Avenue.

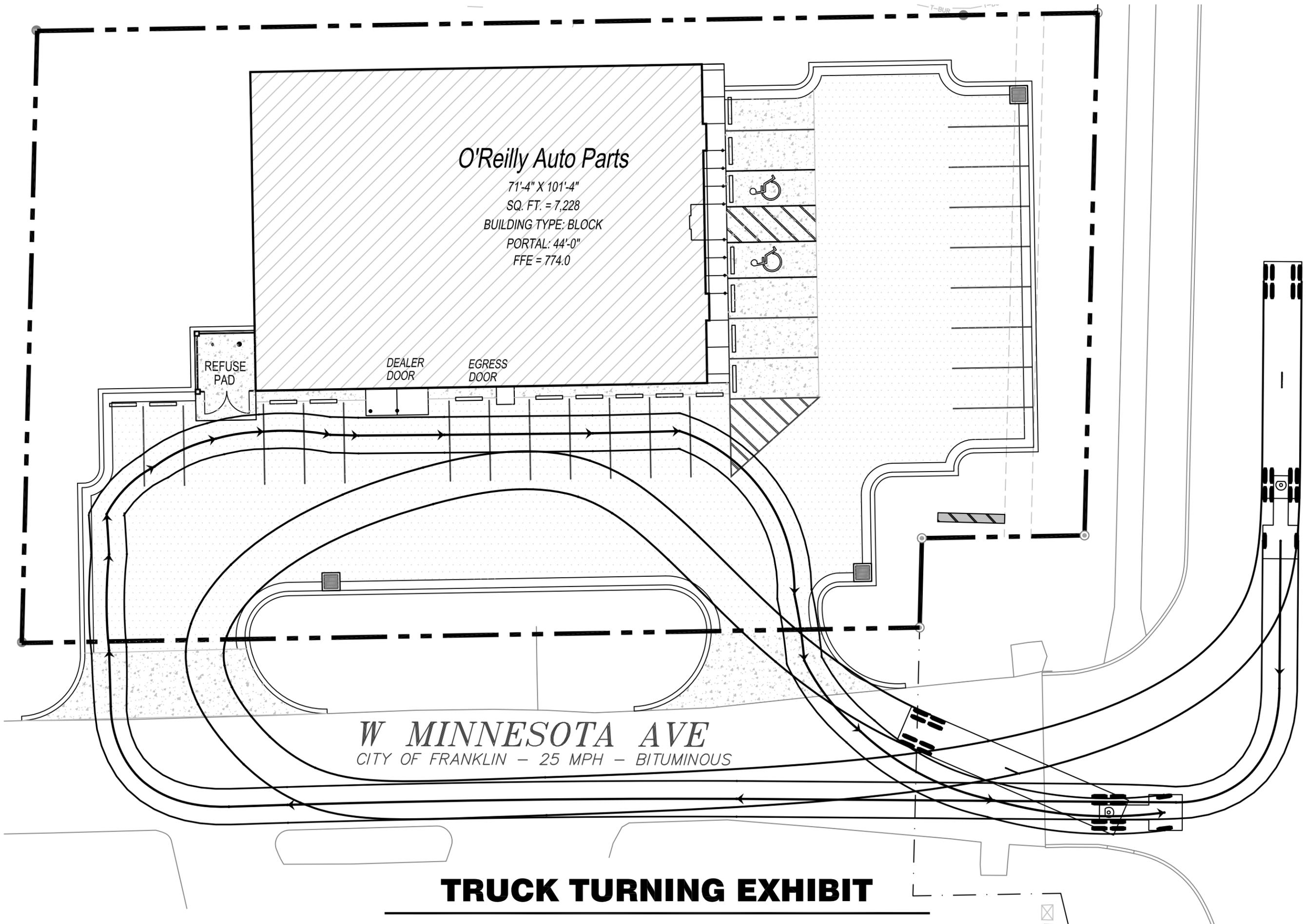
Fire Department Comments

Fire Department requirements would be those established per IBC and State DSPS for given hazard, occupancy type, square footage, and construction type.

Police Department Comments

The Franklin Police Department has reviewed the application for 7251 South 27th Street.

The Police Department has no issues with this request.



O'Reilly Auto Parts

71'-4" X 101'-4"
 SQ. FT. = 7,228
 BUILDING TYPE: BLOCK
 PORTAL: 44'-0"
 FFE = 774.0

REFUSE
PAD

DEALER
DOOR

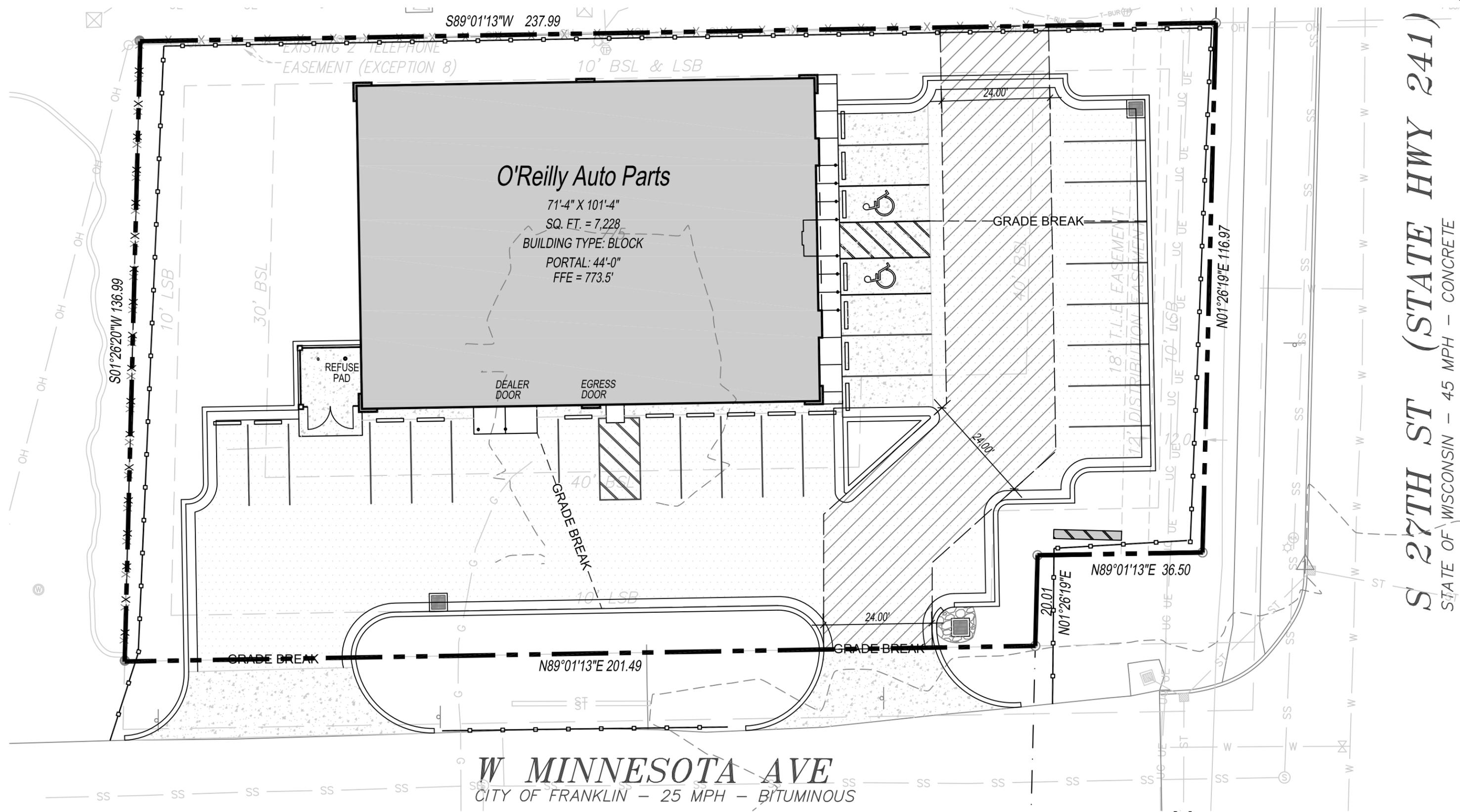
EGRESS
DOOR

W MINNESOTA AVE
 CITY OF FRANKLIN - 25 MPH - BITUMINOUS

S 27TH ST (STATE HWY 241)

STATE OF WISCONSIN - 45 MPH - CONCRETE

TRUCK TURNING EXHIBIT



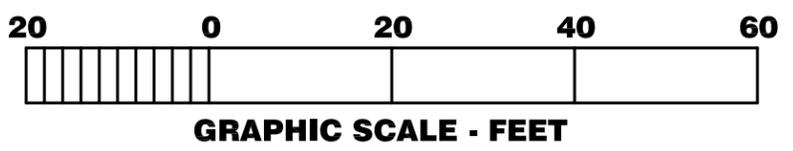
O'Reilly Auto Parts

71'-4" X 101'-4"
 SQ. FT. = 7,228
 BUILDING TYPE: BLOCK
 PORTAL: 44'-0"
 FFE = 773.5'

W MINNESOTA AVE
 CITY OF FRANKLIN - 25 MPH - BITUMINOUS

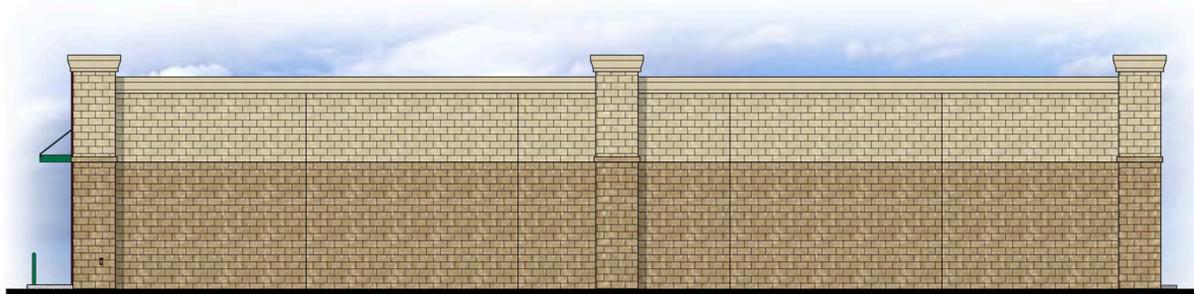
S 27TH ST (STATE HWY 241)
 STATE OF WISCONSIN - 45 MPH - CONCRETE

CROSS ACCESS EASEMENT EXHIBIT





1 FRONT ELEVATION
 CE SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION
 CE SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
 CE SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION
 CE SCALE: 1/8" = 1'-0"

FINISH SCHEDULE:	
	CONCRETE MASONRY UNIT - SOFTER TAN
	CONCRETE MASONRY UNIT - LATTE
	EIFS - POSITIVE RED
	STOREFRONT - CUSTOM GREEN
	CAP FLASHING - POSITIVE RED
	CAP FLASHING - SOFTER TAN
	EXTERIOR AND OVERHEAD DOORS - LATTE



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SGE, INC.
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SEAL:

PATRICK G. BLEES, ARCHITECT

DATE ISSUED: 3.31.17
 REG. NO.: A-9014



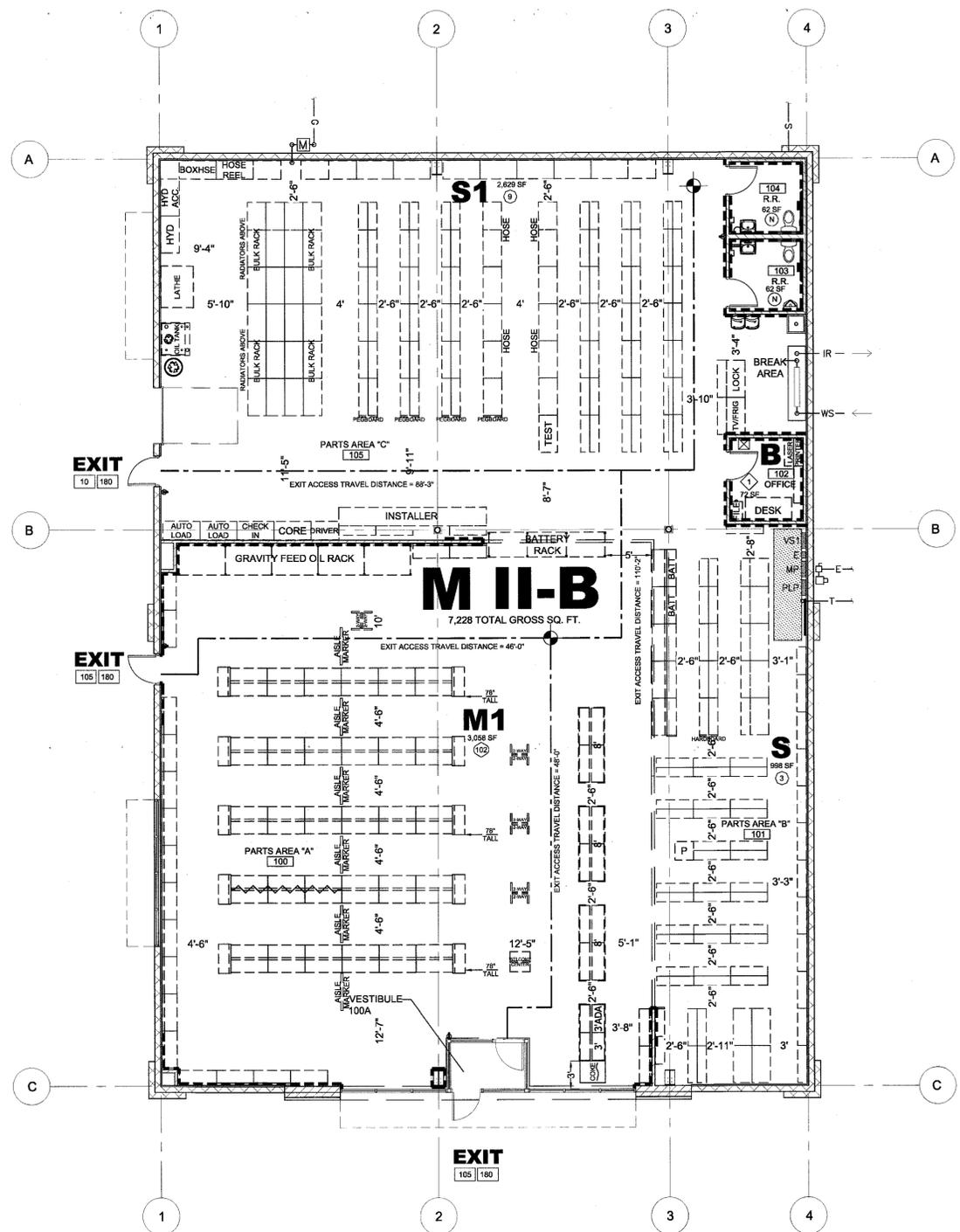
SHEET TITLE:
 EXTERIOR ELEVATIONS

REVISIONS:

NO:	DATE:	BY:

PROJECT NO: 17115.003
 DRAWN BY: BLC/KJO/RD

CE
 SHEET 1 OF 1



1 CODE SUMMARY PLAN
G1.1 SCALE: 1/8" = 1'-0"

PROJECT DATA

REAL ESTATE PROPERTY GROSS AREA:	37,847 GSF
SITE PARKING GROSS AREA:	12,504 GSF
BUILDING BUILDING GROSS AREA:	7,228 GSF
BUILDING INTERIOR AREA:	6,981 SF

HAZARDOUS MATERIALS INVENTORY STATEMENT (HMIS)

(A) UPON REQUEST OWNER TO PROVIDE UNDER SEPARATE COVER, PROJECT HAZARDOUS MATERIALS INVENTORY STATEMENT (HMIS) FOR COMMODITY TYPES, HAZARD CLASS, AND QUANTITIES.

(B) OWNER RESPONSIBLE FOR MONITORING INVENTORY COMMODITY TYPES AND QUANTITIES TO NOT EXCEED CODE REQUIREMENTS.

OCCUPANCY LOAD SUMMARY

ROOM OR AREA (REFER TO FLOOR PLAN)	AREA PER OCCUPANT(S.F.)	OCCUPANTS (QTY.)
100 - PARTS AREA "A"	30	102
101 - PARTS AREA "B"	300	3
102 - OFFICE	100	1
103 - RESTROOM	N/A	0
104 - RESTROOM	N/A	0
105 - PARTS AREA "C"	300	9
TOTAL OCCUPANCY		115

BUILDING CODE

BUILDING OFFICIAL CONTACT NUMBER: (414) 425-0084

COUNTY: MILWAUKEE
ZIP CODE: 53132

GOVERNING CODES AND ORDINANCES
BUILDING CODE: 2009 IBC
PLUMBING CODE: WI UNION CODE IPC
MECHANICAL CODE: 2009 IMC
ELECTRICAL CODE: 2011 NEC
FIRE CODE: 2009 IFC
ENERGY CODE: 2009 IECC
AMENDING ORDINANCE: FRANKLIN CITY ORDINANCES

USE GROUP & CONSTRUCTION TYPE
PRIMARY USE GROUP: M (MERCANTILE)
MIXED USE AND OCCUPANCY: NON-SEPARATED
CONSTRUCTION TYPE: II-B
(NON-COMBUSTIBLE / UNPROTECTED)

AREA MODIFICATIONS
FRONTAGE INCREASE: NOT APPLIED
AUTOMATIC SPRINKLER INCREASE: NOT PROVIDED

ALLOWABLE HEIGHT & BUILDING AREA
NO. OF STORIES: 2 STORIES
AREA: 12,500 SQ. FT.

ACTUAL HEIGHT & BUILDING AREA
NO. OF STORIES: 1 STORY
BUILDING HEIGHT: 21'-4"
GROSS BUILDING AREA: 7,228 SQ. FT.

FIRE PROTECTION SYSTEMS
AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED
PORTABLE FIRE EXTINGUISHERS: REQUIRED
FIRE ALARM SYSTEM: NOT REQUIRED
MONITORING: NOT REQUIRED
(REFER TO SCOPE OF WORK SHEET)
AUTOMATIC FIRE DETECTION SYSTEM: NOT REQUIRED

STRUCTURAL DESIGN (REFER TO STRUCTURAL DRAWINGS)
1. LIVE LOADS
ROOF (1/4"12): 20 PSF

2. ROOF COLLATERAL LOADS
ARCHITECTURAL / MECHANICAL: 2.5 PSF
CEILING SYSTEM:
PARTS AREA "A": 2.0 PSF

3. SNOW LOADS
GROUND LOAD (Pg): 30 PSF
MINIMUM ROOF SNOW LOAD (Pf): 21 PSF
IMPORTANCE FACTOR (Is): 1.0

4. WIND LOADS
BASIC WIND SPEED: 90 MPH
EXPOSURE: B
IMPORTANCE FACTOR (Iw): 1.0

5. SEISMIC
Ss: 0.112
S1: 0.046
Sds: 0.120
Sd1: 0.073
IMPORTANCE FACTOR (Ie): 1.0
SITE CLASS (GEOTECHNICAL REPORT): D
DESIGN CATEGORY: B

6. BUILDING LATERAL DEFLECTION LIMITS:
MAX. ROOF SNOW OR LIVE LOAD DEFLECT.: SPAN/240
MAX. ROOF TOTAL LOAD DEFLECT.: SPAN/180
METAL BUILDING RIGID FRAME.: HEIGHT/150
MAX. METAL BUILDING LATERAL DEFLECT.: SPAN/240

COMMERCIAL ENERGY EFFICIENCY CODE
COMPLIANCE WITH BUILDING ENERGY EFFICIENCY REQUIREMENTS BASED UPON ANSI/ASHRAE/IESNA 90.1 (PERFORMANCE METHOD).

CERTIFICATE OF COMPLIANCE AND CALCULATIONS TO BE PROVIDED UPON REQUEST UNDER SEPARATE COVER.

GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) REFER TO PLANS, SECTIONS, AND DETAILS FOR CONSTRUCTION OF FIRE RATED ASSEMBLIES, WHERE UNDERWRITERS LABORATORY (UL) TEST NUMBERS ARE REFERENCED, CONTRACTOR SHALL PROVIDE CONSTRUCTION MATERIALS, MEANS AND METHODS TO COMPLY WITH TESTED ASSEMBLY.
- (C) REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) OWNER FURNISHED AND INSTALLED FURNISHINGS AND FIXTURES SHOWN FOR REFERENCE ONLY.
- (E) CONTRACTOR TO PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED TO PROTECT THE WORK AREA AND EACH STORAGE UNIT AND JOB TRAILER PER THE FIRE CODE.
- (F) PERMANENT PORTABLE FIRE EXTINGUISHER TO BE MOUNTED AT 42" ABOVE FINISH FLOOR TO CENTERLINE OF EXTINGUISHER. FIRE EXTINGUISHERS SHALL BE UL LISTED WITH TYPE AND CAPACITY FOR HAZARD AND PROJECT CONDITIONS. REFER TO FLOOR PLAN FOR LOCATIONS.
- (G) EXIT DISCHARGE DOORS, PROVIDE TACTILE EXIT SIGNS STATING "EXIT" WITH BRILLE LETTERING. SIGN AND MOUNTING TO COMPLY WITH ANSI A117.1. REFER TO FLOOR PLAN FOR LOCATIONS.

SYMBOLS LEGEND

- M** PRIMARY USE GROUP, (MERCANTILE)
- II-B** CONSTRUCTION TYPE: (COMBUSTIBLE/PROTECTED)
- 325 SF ROOM SQUARE FOOTAGE
- 521 180 SF DESIGN OCCUPANT LOAD SERVED BY EXIT. MAXIMUM ALLOWABLE CAPACITY (EXAMPLE: 36" / 2" = 180)
- (N) OCCUPANT LOAD SERVED BY EXIT BUT NOT COUNTED IN TOTAL OCCUPANT LOAD.
- (1) HOUR FIRE SEPARATION ASSEMBLY EXTENDS UP TO DECK, FIRE SEAL COMPLETELY.
- (2) HOUR FIRE SEPARATION ASSEMBLY EXTENDS UP TO DECK OR MIN. 30" ABOVE DECK, FIRE SEAL COMPLETELY.
- U ROOM OCCUPANT LOAD NOT COUNTED IN:
- (6) ROOM OCCUPANT LOAD AT 5 SQ. FT. NET PER PERSON:
- (7) ROOM OCCUPANT LOAD AT 7 SQ. FT. NET PER PERSON:
- (8) ROOM OCCUPANT LOAD AT 15 SQ. FT. NET PER PERSON:
- (9) ROOM OCCUPANT LOAD AT 20 SQ. FT. NET PER PERSON:
- (10) ROOM OCCUPANT LOAD AT 30 SQ. FT. GROSS PER PERSON:
- (11) ROOM OCCUPANT LOAD AT 100 SQ. FT. GROSS PER PERSON:
- (12) ROOM OCCUPANT LOAD AT 200 SQ. FT. GROSS PER PERSON:
- (13) ROOM OCCUPANT LOAD AT 300 SQ. FT. GROSS PER PERSON:
- (14) ROOM OCCUPANT LOAD AT 500 SQ. FT. GROSS PER PERSON:
- (15) ROOM OCCUPANT LOAD AT 18" OF SEAT PER PERSON:
- (F) FIRE ALARM PULL STATION
- (F) FIRE ALARM STATION
- (S) FIRE ALARM STROBE
- (E) EMERGENCY EXIT LIGHTING
- (F) FLOOR/CEILING FIRE RATED ASSEMBLY
- EXIT ACCESS TRAVEL DISTANCE (LENGTH IN FEET)

PLUMBING FIXTURE SUMMARY

GENERAL
IPC TABLE 403.1
PRIMARY OCCUPANCY: (M) MERCANTILE
TOTAL OCCUPANCY: 115

OCCUPANCY LOAD CALCULATED PER SEX:
FEMALE: 115 / 2 = 58
MALE: 115 / 2 = 58

PLUMBING FIXTURES
WATER CLOSETS (URINALS): 1 PER 500
REQUIRED FOR FEMALE: 58/500 = 1
PROVIDED FOR FEMALE: 1
REQUIRED FOR MALE: 58/500 = 1
PROVIDED FOR MALE: 1 AND 1
URINAL

LAVATORIES:
REQUIRED FOR FEMALE: 1 PER 750
58/750 = 1
PROVIDED FOR FEMALE: 1
REQUIRED FOR MALE: 58/750 = 1
PROVIDED FOR MALE: 1

DRINKING FOUNTAINS:
REQUIRED: 1 PER 1,000
115/1000 = 1
PROVIDED: 2

SERVICE SINK REQUIRED: 1
SERVICE SINK PROVIDED: 1

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PATRICK G. BLEES, ARCHITECT

DATE ISSUED: 9.1.17
REG. NO. A-9014

Reilly AUTO PARTS
7251 S. 27TH ST.
FRANKLIN, WI 53132

SHEET TITLE:
CODE SUMMARY PLAN

REVISIONS:

NO.	DATE:	BY:

PROJECT NO: 17115.003
DRAWN BY: SM

G1.1
SHEET 1 OF 1

STAGES OF CONSTRUCTION:

1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
2. INSTALLATION OF CONSTRUCTION ENTRANCE. MONTH 1
3. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
4. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
5. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
6. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS. MONTH 1
7. ROUGH GRADING. MONTH 1 & MONTH 2
8. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
9. FINAL GRADING. MONTH 3
10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3
11. REMOVAL OF EROSION CONTROL FENCE. MONTH 3

SITE EXCAVATION REQUIREMENTS:

1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
2. WORK SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY ATC, DATED OCTOBER 25, 2016.
3. REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

FLOOD ZONE NOTE

THIS SITE IS INCLUDED ON FLOOD INSURANCE RATE MAP-COMMUNITY PANEL NUMBER 5507900162E. THIS MAP PANEL WAS NOT PRINTED, WHICH MEANS THAT ALL PROPERTY INCLUDED ON THIS PANEL IS LOCATED IN FLOOD ZONE X, WHICH IS DEFINED AS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR ANNUAL CHANCE FLOODPLAIN.

STORMWATER RUNOFF SUMMARY:

TOTAL PROPERTY AREA = 0.73 ACRES,
TOTAL DISTURBED AREA = 0.73 ACRES < 1.0 ACRES. THEREFORE NOI NOT REQUIRED.

EXISTING PERVIOUS	= 0.48 AC	PROPOSED PERVIOUS	= 0.23 AC
EXISTING IMPERVIOUS	= 0.25 AC	PROPOSED IMPERVIOUS	= 0.50 AC

IMPERVIOUS ADDED TO SITE = 0.25 AC < 0.5 AC

PER CITY REGULATIONS, IF DISTURBED AREA IS LESS THAN ONE ACRE AND ADDED IMPERVIOUS IS LESS THAN 0.5 AC, NO DETENTION IS REQUIRED. PROPOSED SITE IS BELOW MINIMUM REQUIREMENTS, THEREFORE NO DETENTION PROVIDED ON SITE.

EROSION CONTROL & MAINTENANCE PLAN NOTES:

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY/COUNTY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO 3(C)1 FOR SILT SOX CONSTRUCTION.
7. ALL GRASS SLOPES WHICH EXCEED 3:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MATS TRM 450 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

CONSTRUCTION EGRESS NOTES:

1. CONSTRUCTION EGRESS SHALL BE 25' MINIMUM WIDTH AND 30' MINIMUM LENGTH AND 6" MIN THICKNESS OF STONE (1.5'-3.5') COARSE AGGREGATE WITH GEOTEXTILE UNDERLINER. REFER TO THE CITY OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE CITY OR STATE REQUIREMENTS.

GENERAL NOTES:

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

SPECIAL NOTE:
FIELD VERIFY SANITARY SEWER CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. REFER TO SITE UTILITIES PLAN.

CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

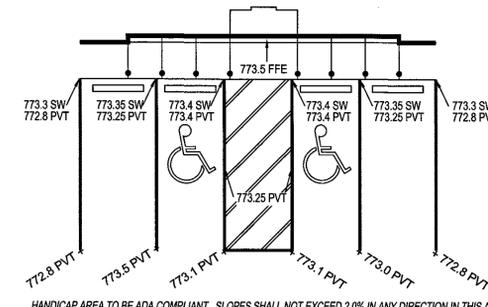
NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.

PIPES NOTES:

1. PIPE MATERIALS SHALL BE IN ACCORDANCE WITH AND AS APPROVED BY THE CITY OR APPLICABLE AUTHORITY. REINFORCED CONCRETE PIPE (RCP), AND HIGH DENSITY POLYETHYLENE (HDPE), MAY BE USED AS ALLOWED BY LOCAL GUIDELINES.
2. ALL PIPE IS TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS AND MEET COVER REQUIREMENTS PER THE MANUFACTURER.

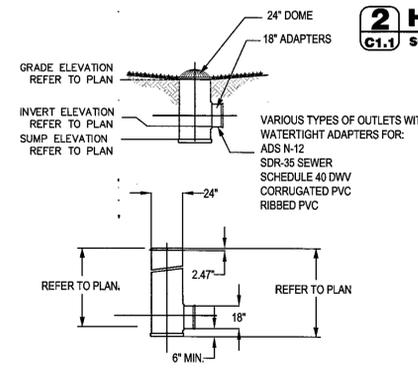
RIP-RAP NOTE:

PLACE RIP-RAP IN ALL PLACES AS INDICATED ON THE PLAN. THE STONE FOR RIP-RAP SHALL CONSIST OF FIELD STONE OR ROUGH UNHEWN QUARRY STONE AS NEARLY AS UNIFORM, IN SECTION AS PRACTICAL. THE STONES SHALL BE DENSE, RESISTANT TO THE ACTION OF AIR AND WATER, AND SUITABLE IN ALL ASPECTS FOR THE PURPOSE INTENDED UNLESS OTHERWISE SPECIFIED. ALL STONES USED AS RIP-RAP SHALL WEIGH BETWEEN 50-150 POUNDS EACH, AND AT LEAST 60 PERCENT OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH. STONES SHALL BE A MINIMUM OF 12" IN DIAMETER AND PLACED A MINIMUM OF 18" BELOW FINISH GRADE.



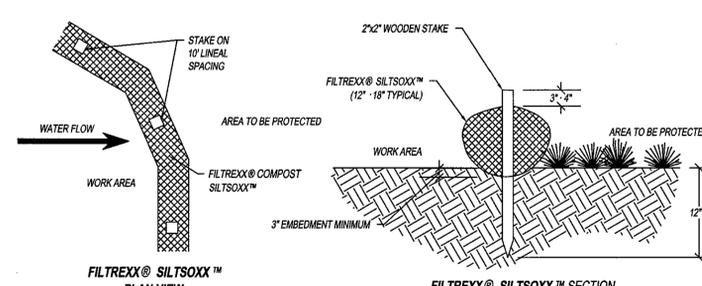
2 HANDICAP PARKING DETAIL

C1.1 SCALE: 1" = 10'



5 18" Ø NYLOPLAST DRAIN

C1.1 SCALE: NOT TO SCALE



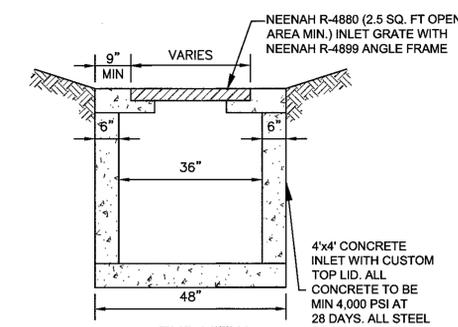
3 FILTREX SILTSOXX™

C1.1 SCALE: NOT TO SCALE

- NOTE:
1. ALL MATERIAL TO MEET FILTREX® SPECIFICATIONS OR APPROVED EQUAL.
 2. SILTSOXX™ COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 3. SILTSOXX™ DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE MANUFACTURER SPECIFICATIONS.
 4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 5. SILTSOXX TO COMPLY WITH ISWM SPECIFICATIONS AND SPECIFICATIONS FOR ORGANIC FILTER TUBES.

KEY NOTES:

- C1 LIMITS OF TEMPORARY EROSION CONTROL FENCE, REFER TO DETAIL 3(C)1.1.
- C2 INSTALL CONSTRUCTION EGRESS PER NOTE.
- C3 INSTALL 42 LF OF 18" Ø PIPE PER DOT STANDARDS. CONNECT TO EXISTING INLET @ INV = 768.0' REFER TO PIPE NOTES.
- C4 INSTALL 4'x4' AREA INLET. RIM = 769.7' INV = 767.2' REFER TO DETAIL 4(C)1.1.
- C5 INSTALL 112 LF OF 18" Ø PIPE. REFER TO PIPE NOTES.
- C6 INSTALL 4'x4' AREA INLET. RIM = 771.0' INV = 768.5' REFER TO DETAIL 4(C)1.1.
- C7 INSTALL 118 LF OF 18" Ø PIPE. REFER TO PIPE NOTES.
- C8 INSTALL 4'x4' AREA INLET. RIM = 772.0' INV = 769.5' REFER TO DETAIL 4(C)1.1.
- C9 INSTALL 80 LF OF 18" Ø PIPE. REFER TO PIPE NOTES.
- C10 INSTALL 24" NYLOPLAST DRAIN. RIM = 772.0' INV = 770.2' SUMP = 769.9' REFER TO DETAIL 5(C)1.1.
- C11 INSTALL 86 LF OF 18" Ø PIPE. REFER TO PIPE NOTES.
- C12 INSTALL 24" NYLOPLAST DRAIN. RIM = 772.0' INV = 769.9' SUMP = 769.0' REFER TO DETAIL 5(C)1.1.
- C13 INSTALL 3" CURB CUT WITH 43 SF OF RIPRAP. REFER TO RIPRAP NOTES.
- C14 INSTALL 3" CURB CUT WITH 43 SF OF RIPRAP. REFER TO RIPRAP NOTES.
- C15 INSTALL 55 LF OF 8" Ø RCP. REFER TO PIPE NOTES.
- C16 INSTALL 50 LF OF 8" Ø RCP. REFER TO PIPE NOTES.
- C16 SNOW STORAGE AREA.



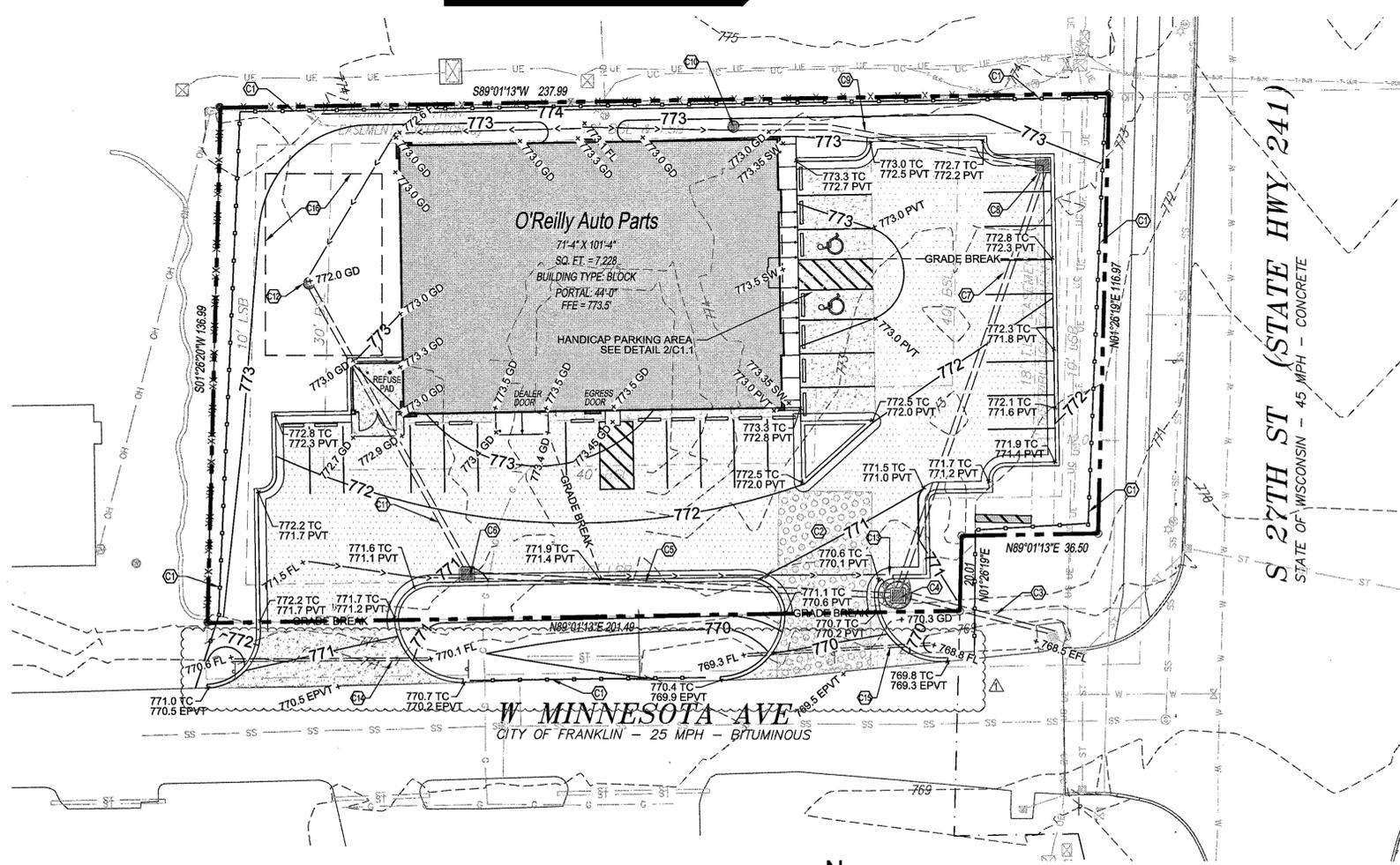
4 4'x4' AREA INLET

C1.1 SCALE: NOT TO SCALE

NOTE: MIN. #4 BARS @ 12" O.C. (ALL WALLS VERT, HOR. & SLAB)

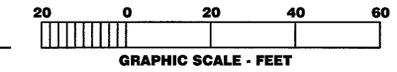
SYMBOLS LEGEND

REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.		
---	EXISTING GRADE LINES	NEW SPOT ELEVATIONS LIST
---	PROPOSED NEW GRADE LINES	
[Symbol]	NEW BUILDING CONSTRUCTION	NEW GRADE
[Symbol]	NEW SIGN LOCATION	
[Symbol]	NEW CONCRETE PAVING BLOCK	EXISTING GRADE
[Symbol]	TEMPORARY EROSION CONTROL FENCE	



1 SITE GRADING PLAN

C1.1 SCALE: 1" = 20'



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PROJ # 10227-16

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DATE ISSUED 9.17
REG. NO. 38234-006

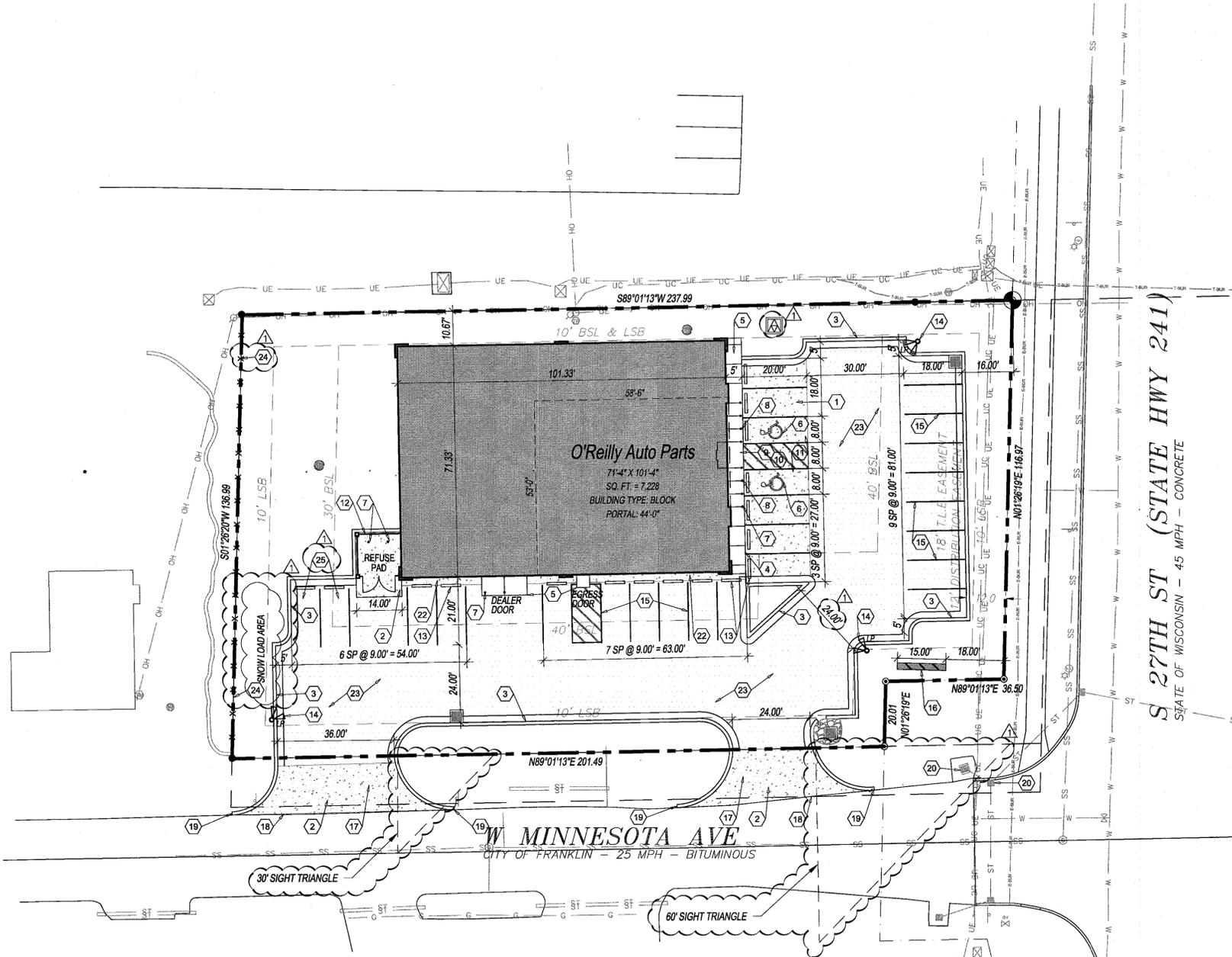
O'Reilly AUTO PARTS
7251 S. 27TH ST.
FRANKLIN, WI 53132

SHEET TITLE:
SITE GRADING PLAN

REVISIONS:
NO. DATE BY:
1 9-25-17 PLANNING

PROJECT NO: 17115.003
DRAWN BY: WAW

C1.1
SHEET 1 OF 1



ZONING CODE

ZONING CLASSIFICATION: B-4
 PROPERTY AREA: 37,847 SQ. FT.
 PAVEMENT AREA: 12,504 SQ. FT.

PARKING SUMMARY
 PARKING FORMULA: 5 SP. PER 1,000 SQ. FT. GFA
 SPACE SIZE: 9' x 20'
 SPACES REQUIRED: 26
 SPACES PROVIDED: 26
 H.C. SPACES PROVIDED: 2

SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

- [Solid Grey Box] NEW BUILDING CONSTRUCTION
- [Dotted Box] AREA OF CONCRETE
- [Cross-hatched Box] AREA OF PAVING
- [Diagonal Lines Box] NEW MONUMENT SIGN LOCATION
- [Dashed Line] NEW CONCRETE PAVING BLOCK
- [V Symbol] NEW LIGHT POLE LOCATION
- [X-X Symbol] NEW FENCE CONSTRUCTION

SITE AREAS

IMPERVIOUS AREA: 21,926 SQ FT
 LANDSCAPE AREA: 15,921 SQ FT
 LANDSCAPE SURFACE RATIO: 42% (REQ'D: 30% MIN.)

SPECIAL NOTE:
 PRIOR TO CONTRACT CLOSEOUT, CONTRACTOR SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE SITE SURVEY OF COMPLETED PROJECT CONDITIONS AND SUBMIT FOR REVIEW AND APPROVAL BY OWNER. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

DEVELOPER SPECIAL NOTE:
 WHERE ASPHALT PAVING IS TO BE USED, FRONT HEAD IN PARKING SHALL BE CONCRETE AND 2' WIDE MINIMUM CONCRETE PAVING APRON PROVIDED ADJACENT TO BUILDING PERIMETER. SUBMIT GEOTECHNICAL REPORT WITH PAVEMENT DESIGN RECOMMENDATIONS FOR REVIEW AND APPROVAL.

- GENERAL NOTES**
- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
 - (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
 - (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
 - (D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
 - (E) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
 - (F) FOR BUILDING FRONT SIDEWALK GENERAL DEVELOPMENT LAYOUT CONCEPT, REFER TO DETAIL 12/C2.2.

- KEY NOTES**
- (1) CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS, REFER TO DETAIL 1/C2.2.
 - (2) CONCRETE PAVING (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA, REFER TO DETAIL 2/C2.2.
 - (3) CONCRETE CURB, REFER TO DETAIL 3/C2.2.
 - (4) CONCRETE SIDEWALK CURB, REFER TO DETAIL 4/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS ADJACENT TO BUILDING PERIMETER.
 - (5) CONCRETE SIDEWALK OR DOOR LANDING, REFER TO DETAIL 5/C2.2 AND STRUCTURAL DRAWINGS. LANDING MAY BE POURED MONOLITHIC WITH PAVING IF CONCRETE PAVING IS PROVIDED.
 - (6) ACCESSIBLE PARKING SYMBOL, PAVEMENT STRIPING, REFER TO DETAIL 6/C2.2.
 - (7) STEEL BOLLARD, REFER TO DETAIL 7/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (6) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
 - (8) ACCESSIBLE PARKING SIGN, REFER TO DETAIL 8/C2.2.
 - (9) DETECTIBLE WARNING SURFACE, REFER TO DETAIL 9/C2.2.
 - (10) ACCESSIBLE CONCRETE CURB RAMP TO BE INSTALLED PER CITY AND / OR STATE DESIGN STANDARDS. IF NO STANDARDS PROVIDE CONCRETE CONSTRUCTION PER DETAIL 10/C2.2.
 - (11) ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
 - (12) REFUSE ENCLOSURE, REFER TO 1/C2.3.
 - (13) CONCRETE BUMPER BLOCK (8' W X 5' H X 6'-0" LONG) ANCHORED TO PAVING WITH (2) 1'-6" LONG #4 REBAR.
 - (14) PARKING LOT LIGHTING, REFER TO SITE UTILITY PLAN FOR TYPE AND CONSTRUCTION.
 - (15) 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
 - (16) SITE SIGN, REFER TO SHEET SG1.1 FOR TYPE AND CONSTRUCTION. SIGN OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE). REFER TO SITE UTILITY PLAN FOR ADDITIONAL REQUIREMENTS.
 - (17) CONCRETE DRIVE APRON TO BE INSTALLED PER CITY AND / OR STATE DESIGN STANDARDS. IF NO STANDARDS PROVIDE CONCRETE CONSTRUCTION PER DETAIL 2/C2.2.
 - (18) LIMITS OF NEW PAVING, MATCH EXISTING PAVEMENT TRANSITION ELEVATIONS. AT TRANSITIONS OF NEW CONCRETE TO EXISTING CONCRETE PAVEMENT, EPOXY DOWEL 6" MINIMUM INTO EXISTING WITH #4 X 1'-6" SMOOTH DOWELS MATCHING NEW PAVEMENT REINFORCEMENT SPACING. PROVIDE SEALANT AT JOINTS.
 - (19) ROLL DOWN CURB END TRANSITION SLOPING 1:2.
 - (20) CONCRETE STORM WATER CONTROL SYSTEM, REFER TO SITE GRADING PLAN.
 - (21) ASPHALT PAVING (STANDARD DUTY), REFER TO DETAIL 11/C2.2.
 - (22) CONCRETE PAVING APRON TO BE PROVIDED WHERE ASPHALT PAVEMENT USED, REFER TO DETAIL 11/C2.2.
 - (23) ASPHALT PAVING (HEAVY DUTY) AT DRIVE AREAS AND FIRE LANES, REFER TO DETAIL 14/C2.2.
 - (24) NEW WOODEN SCREEN FENCE. REFER TO DETAIL 15/C2.2.
 - (25) PROPOSED AREA OF OVERNIGHT ONSITE DELIVERY VEHICLE PARKING.

CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

**Know what's below
 Call before you dig.**

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PATRICK G. BLEES, ARCHITECT

DATE ISSUED: 9.1.17
 REG. NO.: A-9014

O'Reilly AUTO PARTS
 7251 S. 27TH ST.
 FRANKLIN, WI 53132

SHEET TITLE:
 SITE DEVELOPMENT PLAN

REVISIONS:

NO.	DATE	BY:
△ 1	9.25.17	PLANNING

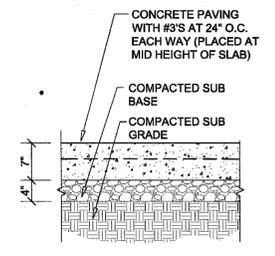
PROJECT NO: 17115.003
 DRAWN BY: SM/BLC

C2.1
 SHEET 3 OF 5



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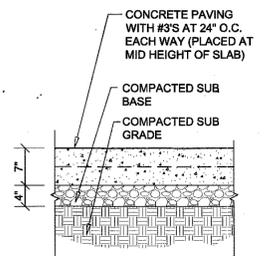
PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)



1 CONCRETE (STANDARD DUTY) PAVING SECTION

C2.2 SCALE: 3/4" = 1'-0"

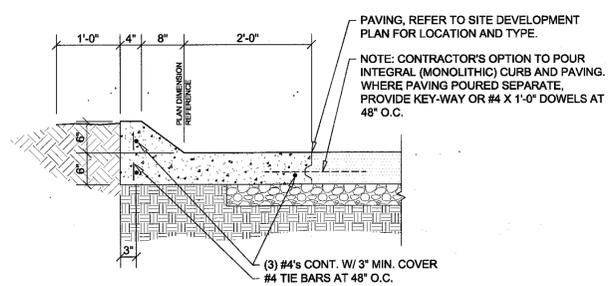
PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)



2 CONCRETE (HEAVY DUTY) PAVING SECTION

C2.2 SCALE: 3/4" = 1'-0"

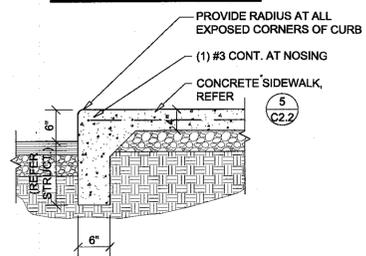
PROVIDE CONTROL JOINTS AT 10'-0" O.C. (25% SLAB THICKNESS)



3 CONCRETE CURB SECTION

C2.2 SCALE: 3/4" = 1'-0"

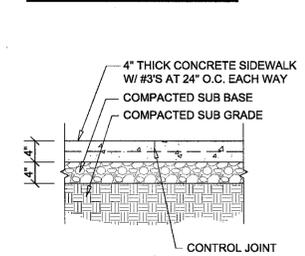
NOTE: REFER TO SITE GRADING PLAN FOR ELEVATIONS OF PAVEMENT ADJACENT TO SIDEWALKS.



4 CONCRETE SIDEWALK CURB SECTION

C2.2 SCALE: 3/4" = 1'-0"

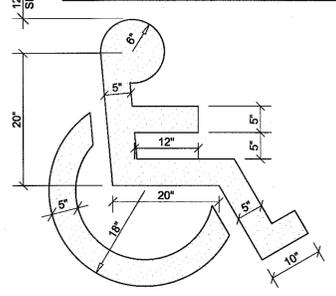
PROVIDE TOOLED CONTROL JOINTS AT 6' O.C. (25% SLAB THICKNESS) AND ISOLATION JOINTS AT 24' O.C., UNLESS OTHERWISE NOTED.



5 CONCRETE SIDEWALK SECTION

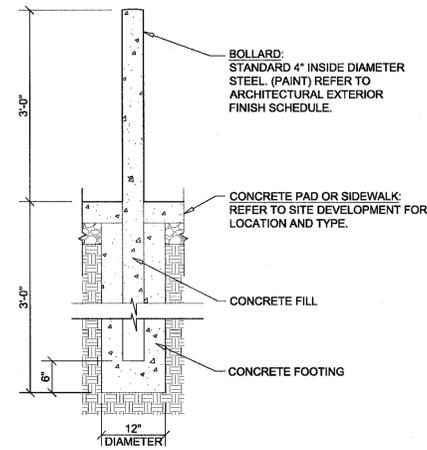
C2.2 SCALE: 3/4" = 1'-0"

NOTE: SYMBOL TO BE PAINTED (HIGHWAY GRADE) OR DECAL ADHERED TO PAVEMENT. COLOR TO MATCH STRIPING UNLESS OTHERWISE REQUIRED BY LOCAL ACCESSIBILITY STANDARDS.



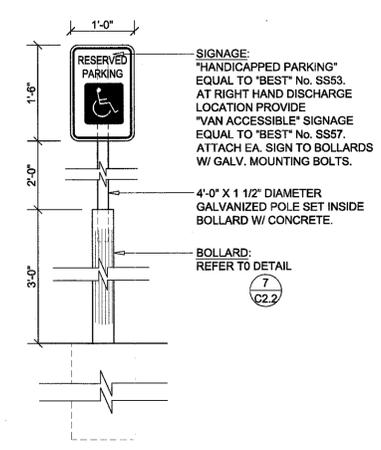
6 ACCESSIBLE PARKING PAVEMENT STRIPING DETAIL

C2.2 SCALE: 3/4" = 1'-0"



7 STEEL BOLLARD SECTION

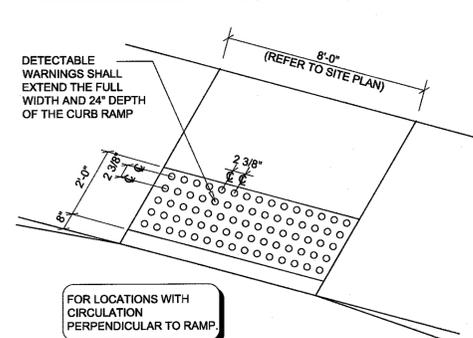
C2.2 SCALE: 3/4" = 1'-0"



8 HANDICAP PARKING SIGN DETAIL

C2.2 SCALE: 3/4" = 1'-0"

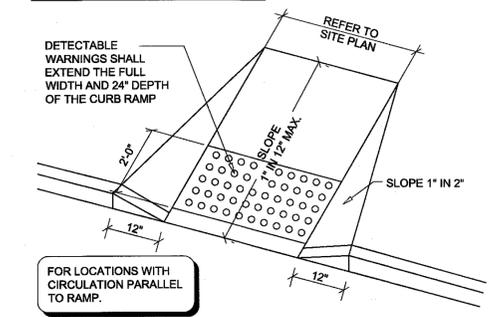
PROVIDE DETECTABLE WARNINGS WITH RAISED PATTERN (CAUTION YELLOW COLOR WITH 9" DIA. AND RAISE .02" PER ADAAG 4.7.7)



9 DETECTABLE WARNING DETAIL

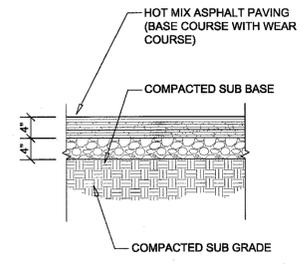
C2.2 SCALE: (NOT TO SCALE)

DETECTABLE WARNING SURFACE MATERIAL SHALL BE IN CAUTION YELLOW COLOR AND COMPLY WITH CURRENT ADA DESIGN STANDARDS.



10 CONCRETE SIDEWALK CURB RAMP DETAIL

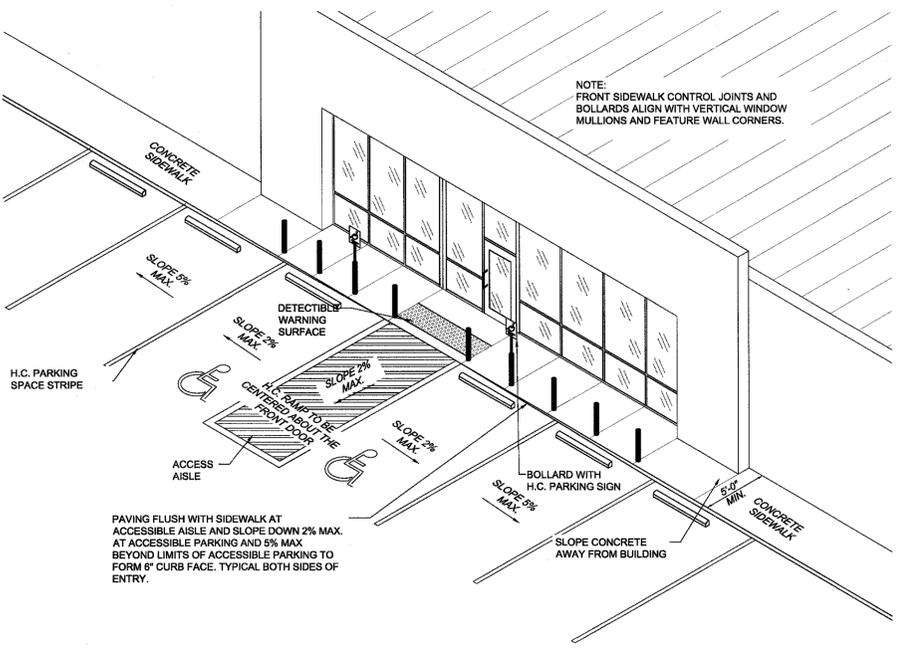
C2.2 SCALE: (NOT TO SCALE)



11 ASPHALT (STANDARD DUTY) PAVING SECTION

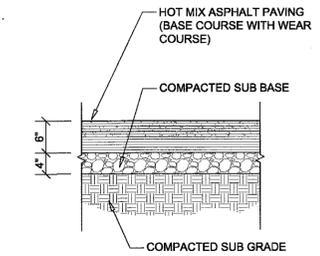
C2.2 SCALE: 3/4" = 1'-0"

NOTE: FRONT SIDEWALK CONTROL JOINTS AND BOLLARDS ALIGN WITH VERTICAL WINDOW MULLIONS AND FEATURE WALL CORNERS.



12 ACCESSIBLE PARKING & SIDEWALK DETAIL

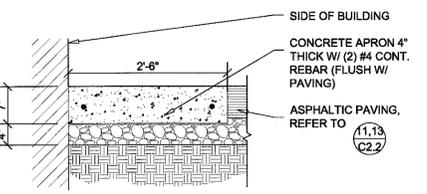
C2.2 SCALE: N.T.S.



13 ASPHALT (HEAVY DUTY) PAVING SECTION

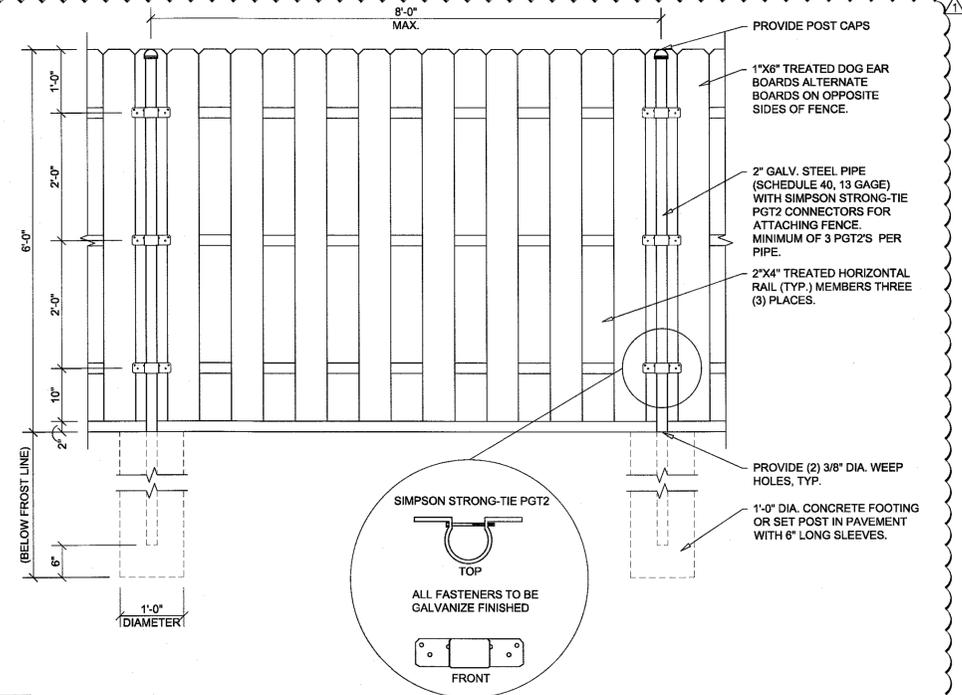
C2.2 SCALE: 3/4" = 1'-0"

PROVIDE CONTROL JOINTS AT 12'-0" O.C. (25% SLAB THICKNESS)



14 CONCRETE PAVING APRON SECTION

C2.2 SCALE: 3/4" = 1'-0"



15 WOOD SCREEN FENCE DETAILS

C2.2 SCALE: 3/4" = 1'-0"

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DATE ISSUED: 9.1.17 REG. NO.: A-9014

Reilly AUTO PARTS 7251 S. 27TH ST. FRANKLIN, WI 53132

SHEET TITLE: SITE DEVELOPMENT DETAILS

Table with columns: NO., DATE, BY. Row 1: 9.25.17, PLANNING

PROJECT NO: 17115.003 DRAWN BY: SM/BLC

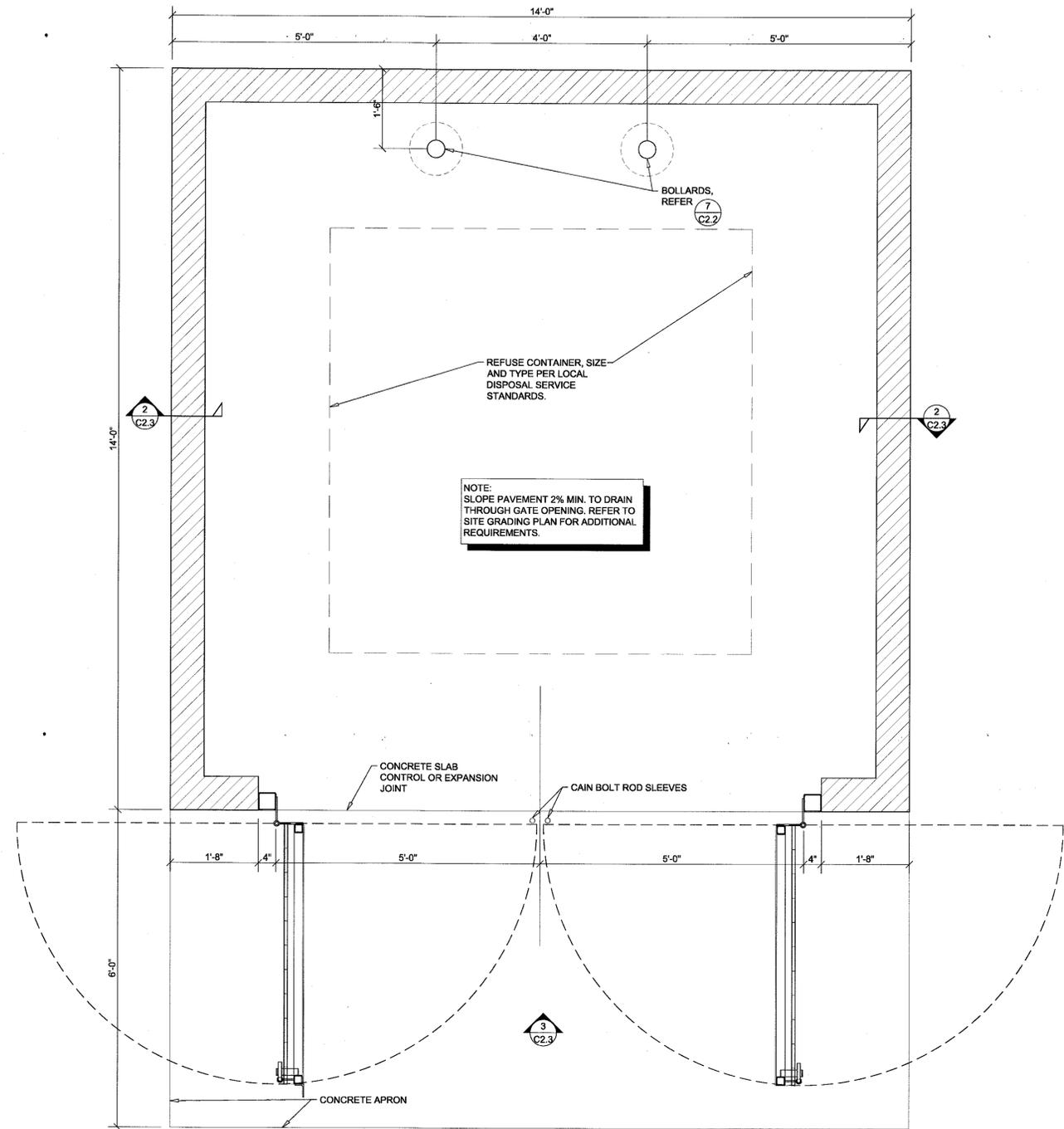
C2.2 SHEET 4 OF 5

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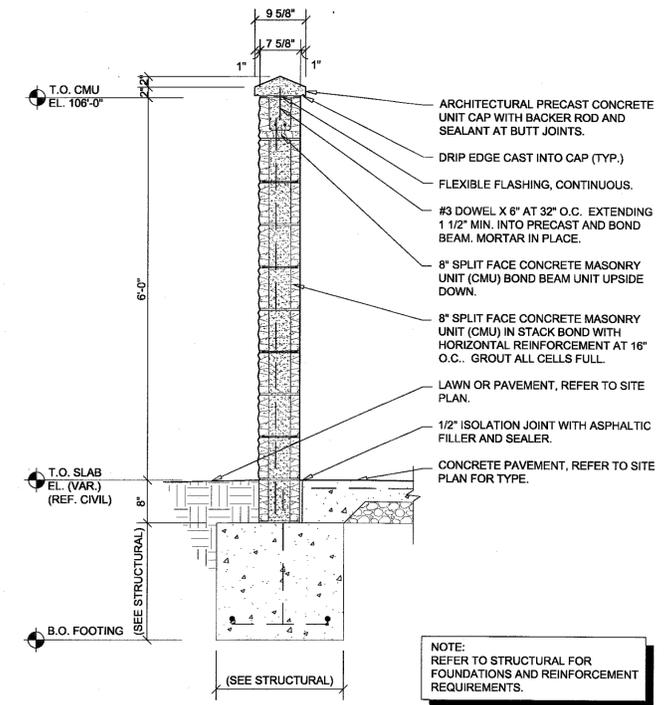
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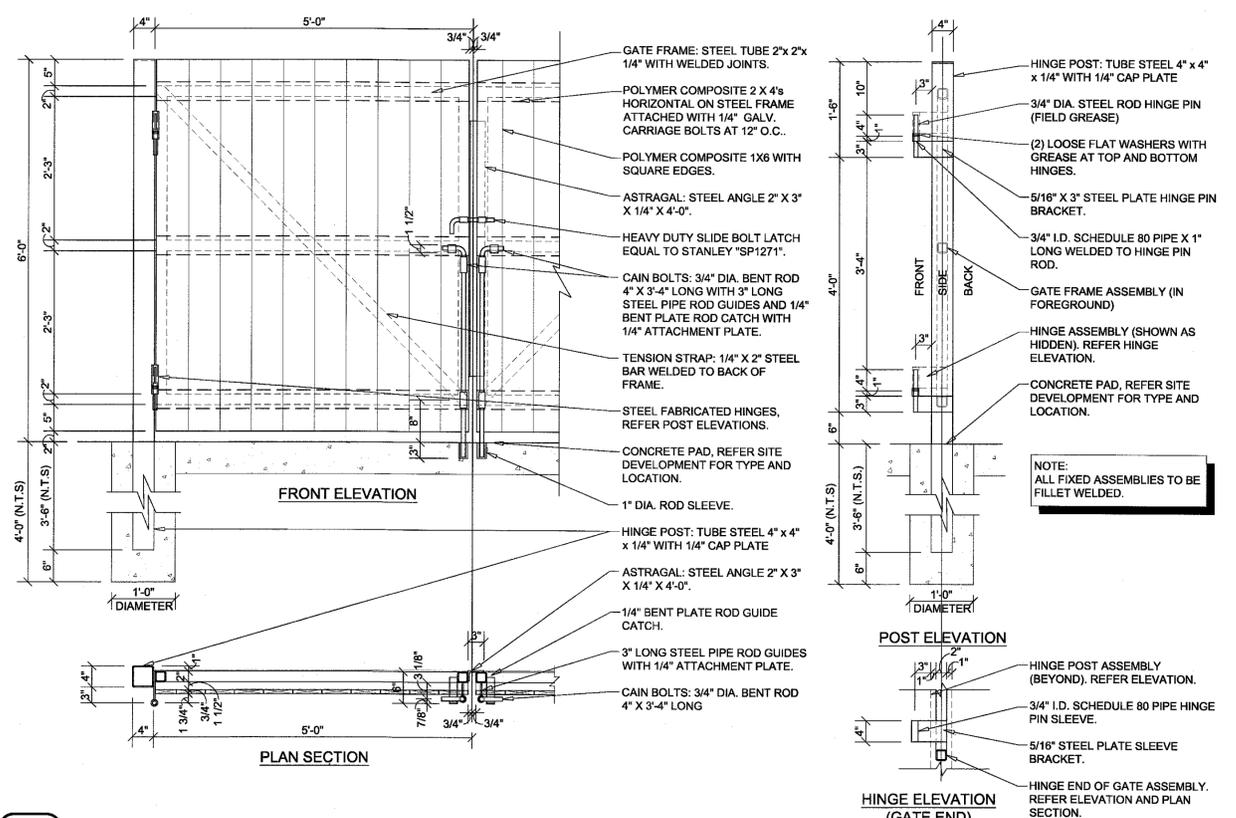
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1 MASONRY SCREEN FENCE REFUSE ENCLOSURE PLAN
C2.3 SCALE: 3/4" = 1'-0"



2 MASONRY SCREEN FENCE SECTION
C2.3 SCALE: 3/4" = 1'-0"



3 SCREEN FENCE GATE DETAILS
C2.3 SCALE: 3/4" = 1'-0"

GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:
 1. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW6468 "HUNT CLUB".
 2. POLYMER COMPOSITE MATERIAL COLOR TO BE EQUAL TO "TREC" SELECT SERIES "PEBBLE GREY". FINAL COLOR TO BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD SAMPLES.

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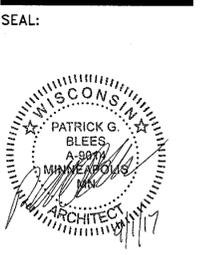
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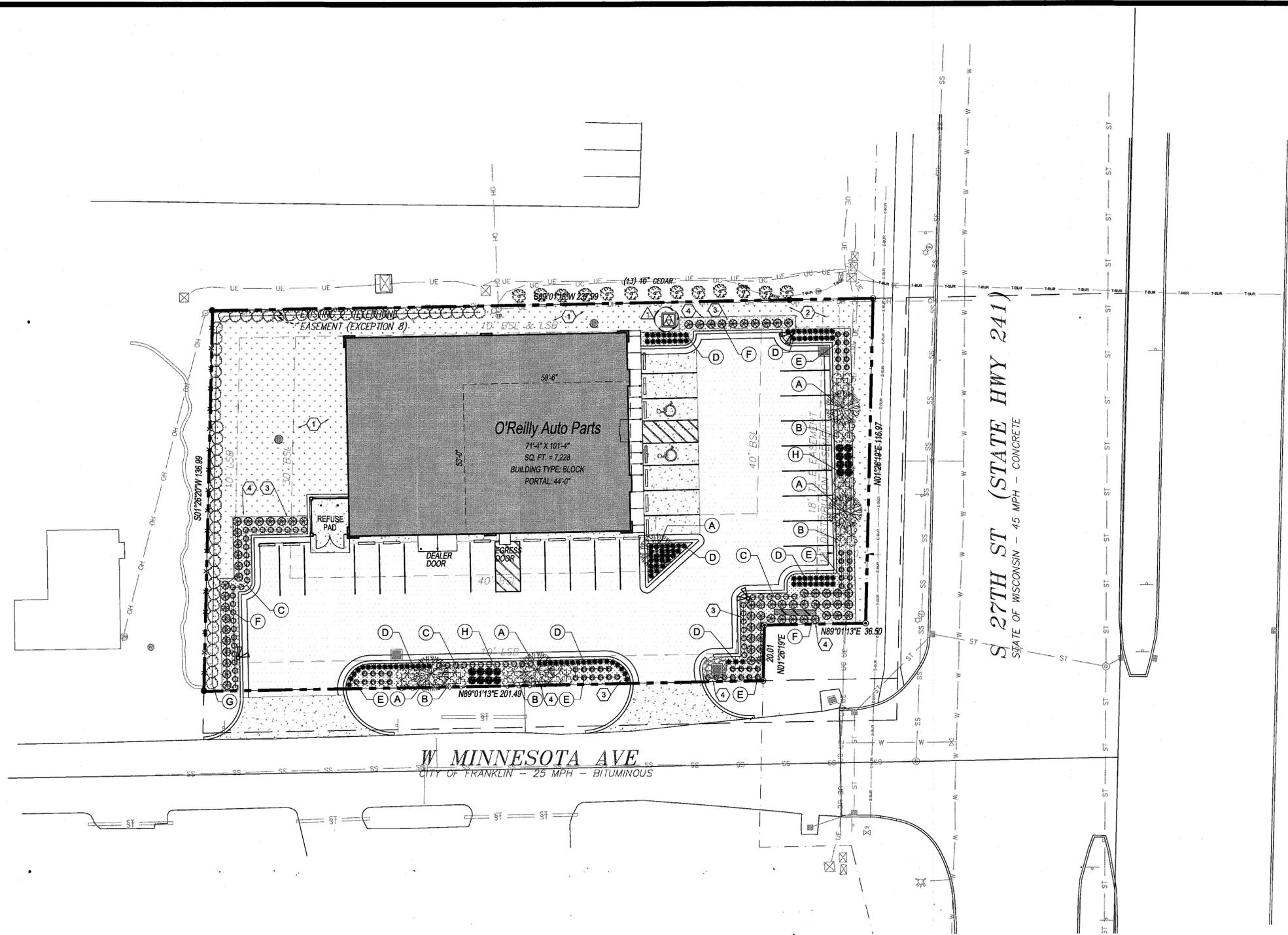
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SHEET TITLE:
SITE DEVELOPMENT
DETAILS

REVISIONS:

NO.	DATE:	BY:

PROJECT NO: 17115.003
DRAWN BY: SM



GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- (C) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (D) ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
- (E) NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- (F) PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- (G) QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.
- (H) PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- (I) WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHED OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- (J) RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- (K) PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.

KEY NOTES

- (1) AREA OF HYDRO MULCH OR SEED AND STRAW. UNLESS NOTED OTHERWISE, ALL AREAS DISTURBED BY CONSTRUCTION ARE FIRST TO BE FINE GRADED AND THEN FOLLOWED BY HYDRO MULCH OR SEED AND STRAW OVER MIN. 4" TOPSOIL STOCKPILED FROM SITE OR HAULED IN AS REQUIRED.
- (2) AREA OF SOD, REFER TO DETAIL 1/L1.2.
- (3) CREEK GRAVEL, REFER TO DETAIL 2/L1.2.
- (4) LANDSCAPE EDGING, REFER TO DETAIL 3/L1.2. PROVIDE AT ALL GROUND COVER TYPE TRANSITIONS.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.

- NEW AREA OF LANDSCAPE GRAVEL
- NEW AREA OF SOD
- SHRUB PLANTING
- UNDER STORY TREE
- CANOPY TREE

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below
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LANDSCAPING CODE

TYPE:	PLANTING SIZE:	MINIMUM QUANTITY:
CANOPY SHADE TREES	2.5" CALIPER	26 PARKING SP/5 = 6 + 20% BUFFER YARD = 8 PLANTS
EVERGREENS	4" HEIGHT	26 PARKING SP/5 = 6 + 20% BUFFER YARD = 8 PLANTS
DECORATIVE TREES	1.5" CALIPER	26 PARKING SP/5 = 6 + 20% BUFFER YARD = 8 PLANTS
SHRUBS	3' HEIGHT	26 PARKING SP/5 = 6 + 20% BUFFER YARD = 8 PLANTS

PLANTINGS PROVIDED:
411 PLANTS = 4 DIFFERENT SPECIES REQ'D
PLANT SPECIES PROVIDED = 8

PLANTING SCHEDULE

REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS
ALL PLANTINGS MAY BE SUBSTITUTED DUE TO REGION OR LOCAL REQUIREMENTS IF NECESSARY

MARK	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	DETAIL	NOTES
(A)	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	5 (1% TOT)	1 1/2" CALIPER MIN.	5/L1.2	DECORATIVE TREE: WELL BRANCHED, FULL HEAD, 10' HEIGHT MIN., B & B
(B)	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	48 (12% TOT)	#2	4/L1.2	SHRUB: FULL PLANT, 3' HIGH MIN
(C)	KARL FOERSTER GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	53 (13% TOT)	#1	4/L1.2	SHRUB: FULL PLANT, 3' HIGH MIN
(D)	PRAIRIE DROPS EED	SPOROBOLUS HETEROLEPIS	114 (28% TOT)	#1	4/L1.2	SHRUB: FULL PLANT, 3' HIGH MIN
(E)	MR. BOWLING BALL ARBORVITAE	THUJA OCCIDENTALIS 'BOBAZAM'	51 (12% TOT)	#5	4/L1.2	EVERGREEN: FULL PLANT, 3' HIGH MIN
(F)	ALPINE	SPIRAEA JAPONICA 'ALPINA'	65 (16% TOT)	#5	4/L1.2	SHRUB: FULL PLANT, 3' HIGH MIN
(G)	EMERALD GREEN ARBORVITAE	THUJA OCCIDENTALIS 'EMERALD GREEN'	57 (14% TOT)	5' BB	5/L1.2	EVERGREEN: FULL HEIGHT 6' MIN
(H)	DART'S GOLD NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD'	16 (4% TOT)	#2	4/L1.2	SHRUB: FULL PLANT, 3' HIGH MIN

1 LANDSCAPE PLAN
L1.1 SCALE: 1" = 20'-0"

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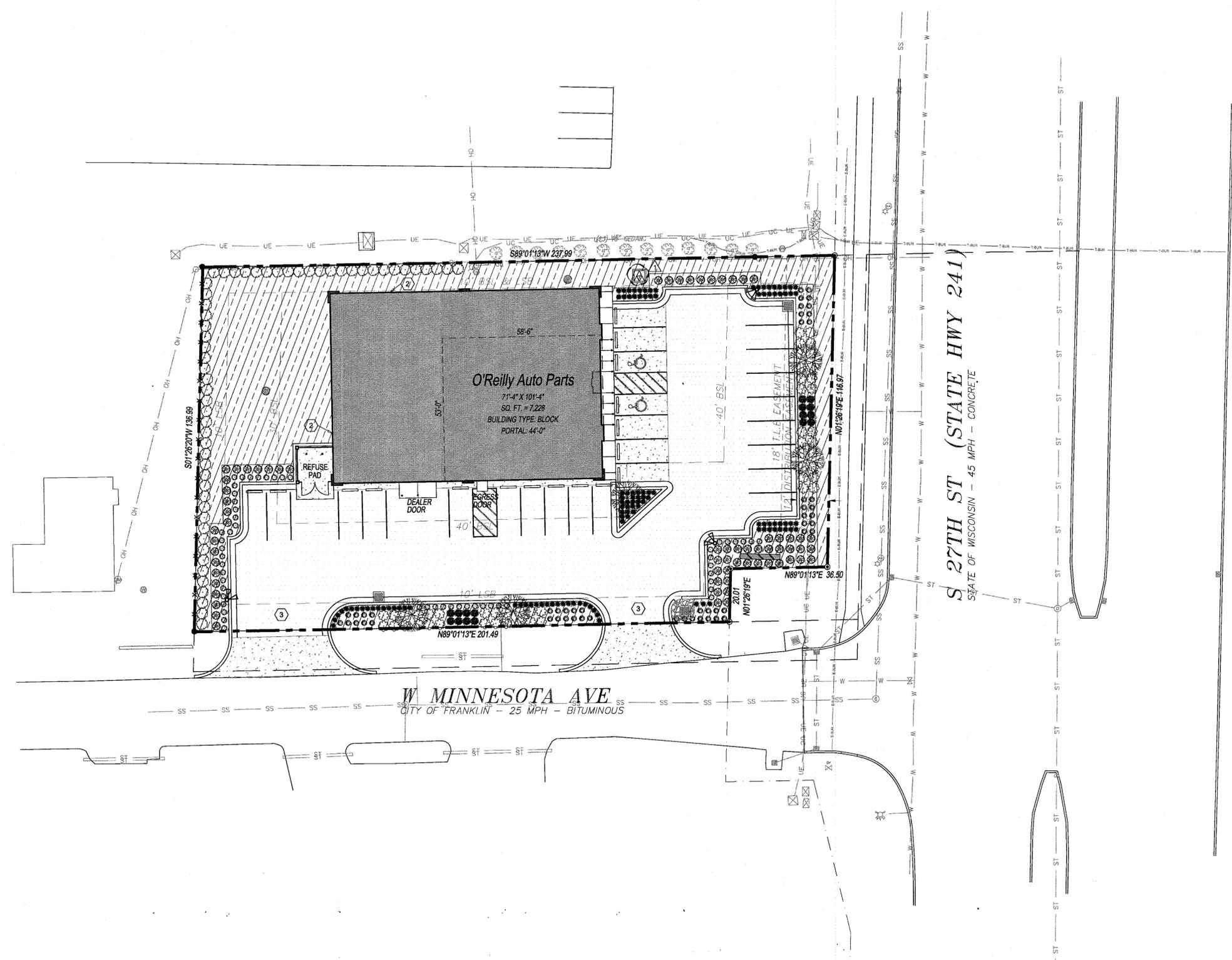
7251 S. 27TH ST.
FRANKLIN, WI 53132

SHEET TITLE:
LANDSCAPE PLAN

REVISIONS:

NO.	DATE:	BY:
1	9.25.17	PLANNING

PROJECT NO: 17115.003
DRAWN BY: SM/BLC



1 LANDSCAPE IRRIGATION PLAN
L2.1 SCALE: 1" = 20'-0"

GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) REFER TO CIVIL AND SITE UTILITY DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (C) PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- (D) IRRIGATION SYSTEM TO BE DESIGNED BY CONTRACTOR FOR SHOWN COVERAGE AREAS INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE IRRIGATION SYSTEM IN ACCORDANCE WITH GOVERNING CODES, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL AS SPECIFIED.
- (E) VERIFY MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO DESIGN AND BEGINNING CONSTRUCTION.
- (F) COORDINATE IRRIGATION SYSTEM WITH LANDSCAPING AND PLANTING. REFER TO LANDSCAPE PLAN. WHEN TRENCHING AVOID TREE ROOT BALLS AND INSTALL HEADS AT APPROPRIATE LOCATIONS.
- (G) ADJUST ALL NOZZLES TO AVOID OVERTHROW ON SIDEWALKS, PAVING, WALLS, ROADWAYS, AND BEYOND PROPERTY LINES. UNLESS OTHERWISE INDICATED, THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FOGGING. ADJUST ARC AND RADIUS OF REQUIRED SPRINKLERS AS NEEDED.
- (H) SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS.
- (I) INSTALL RISERS 18" FROM WALLS AND A MINIMUM OF 12" FROM ANY SIDEWALK OR ROAD.
- (J) TOP OF SPRAY AND ROTOR HEADS SHALL BE SET AT TOP OF SOD OR TOP OF MULCH LAYERS.
- (L) PROVIDE RAIN SENSOR AND ANTI-FREEZE ASSEMBLY ON IRRIGATION SYSTEM.
- (M) THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE WORK UNTIL OWNER GIVES FINAL ACCEPTANCE.
- (N) ALL CIRCUIT PIPE IS TO BE CLASS 160 PVC OR HIGHER GRADE.
- (O) ALL MAIN FITTINGS SHALL BE REINFORCED WITH 2000 PSI POURED CONCRETE THRUST BLOCKS.

COVERAGE REQUIREMENTS

IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.



KEY NOTES

- (1) APPROXIMATE LOCATION OF LAWN IRRIGATION METER WITH BACK FLOW PREVENTION PER CITY REQUIREMENTS. REFER TO SITE UTILITIES PLAN
- (2) IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND RAIN SENSOR ON OUTSIDE OF BUILDING.
- (3) 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT FOR ROUTING OF IRRIGATION SYSTEM. PROVIDE END CAPS AND PULL WIRE.

SYMBOLS LEGEND

- NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.
- NEW AREA OF IRRIGATION SYSTEM COVERAGE
 - SHRUB PLANTING
 - UNDER STORY TREE
 - CANOPY TREE

CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



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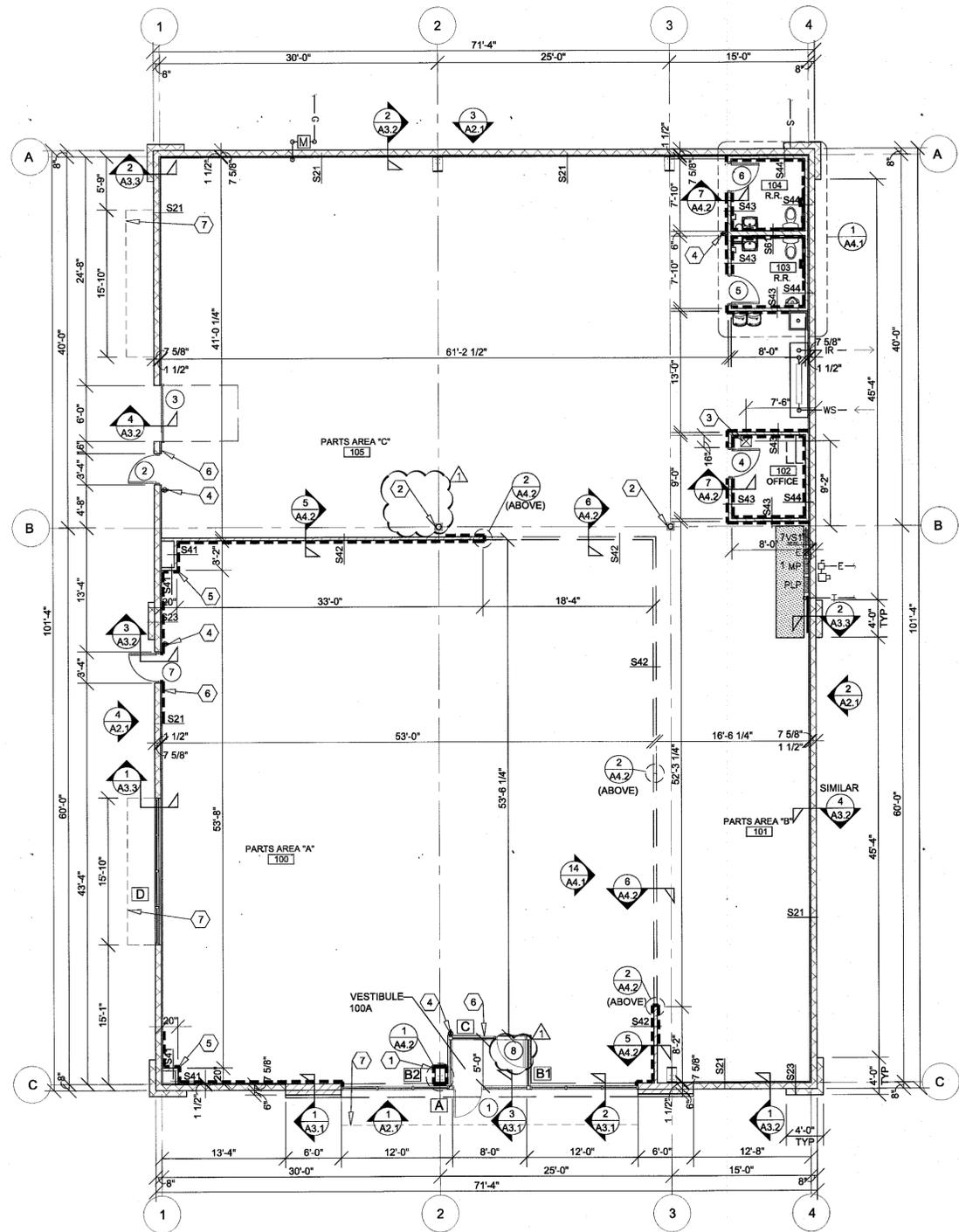
SHEET TITLE:
 LANDSCAPE IRRIGATION PLAN

REVISIONS:

NO.	DATE	BY:
1	9.25.17	PLANNING

PROJECT NO: 17115.003
 DRAWN BY: KJO/BLC

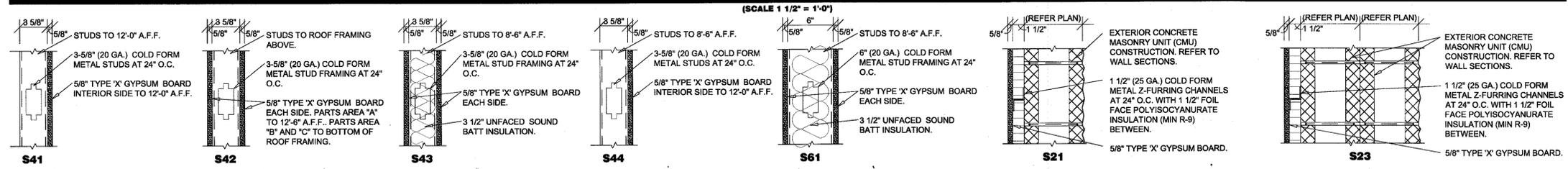
L2.1
 SHEET 3 OF 3



1 FLOOR PLAN
A1.1 SCALE: 1/8" = 1'-0"



INTERIOR WALL TYPES



GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) ALL DIMENSIONS TO ROUGH FACE OF ROUGH FRAMING, CONCRETE, MASONRY OR CENTERLINE OF STRUCTURE, UNLESS OTHERWISE NOTED. COLD FORM METAL STUD INTERIOR PARTITION DIMENSIONS 3/8" UNLESS OTHERWISE INDICATED AND NOT SHOWN FOR CLARITY.
- (C) REFER TO EXTERIOR AND INTERIOR FINISH SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS. NOTIFY ARCHITECT IF FINAL DESIGN CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.

KEY NOTES

- (1) CONCEALED STEEL COLUMN, REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS. PROVIDE SHEET METAL COVER WITH NO EXPOSED HORIZONTAL SEAMS. FINISH TO MATCHING WINDOW FRAMING.
- (2) EXPOSED STEEL COLUMN, REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS, (PAINT).
- (3) OWNER FURNISHED AND CONTRACTOR INSTALLED FLOOR SAFE. SIZE AND TYPE TO BE VERIFIED BY OWNER. FOR FLOOR RECESSED TYPE REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS. DO NOT INSTALL UNIT UNTIL AFTER OFFICE INTERIOR FINISH WORK HAS BEEN COMPLETED.
- (4) PORTABLE FIRE EXTINGUISHER SURFACE MOUNTED AT 42" A.F.F. TO CENTERLINE OF EXTINGUISHER. FIRE EXTINGUISHERS SHALL BE UL LISTED, ABC TYPE, WITH 10 LBS. CAPACITY.
- (5) SHOWROOM CORNER WALL BOX OUT. INSTALL 5/8" FIRE TREATED PLYWOOD BACKING TO BACK SIDE OF STUD INTERIOR FLANGE ON EACH EXPOSED WALL FACE FROM 8'-0" TO 10'-0" A.F.F. FOR INSTALLATION OF SECURITY MIRRORS. REFER TO 4/A4.2 (TYPICAL).
- (6) TACTILE EXIT SIGN AT EXIT DISCHARGE DOOR STATING 'EXIT' WITH BRAILLE LETTERING. SIGN TYPE TO COMPLY WITH ANSI A117.1 AND MOUNTED AT 60" A.F.F. TO CENTERLINE.
- (7) EXTRUDED ALUMINUM CANOPY ABOVE. REFER TO SPECIFICATIONS MANUAL FOR APPROVED MANUFACTURERS.

INTERIOR WALL & CEILING NOTES

- 1. GENERAL:
A. REFER TO FINISH SCHEDULES FOR ADDITIONAL WALL FINISH MATERIAL APPLICATIONS.
- B. REFER TO WALL SECTIONS AND DETAILS FOR ADDITIONAL CONDITIONS.
- 2. FRAMING:
A. PROVIDE FIRE TREATED 2X BLOCKING AS REQUIRED FOR INSTALLATION OF ACCESSORIES PER MANUFACTURER'S RECOMMENDATIONS.
B. PROVIDE DIAGONAL WALL BRACING (3" X 16 GA. FLAT STRIP) AT CORNER FACES OF FREE STANDING PARTITION SYSTEMS.
C. WHERE WALL FRAMING EXTENDS TO BOTTOM OF ROOF DECK OR STRUCTURE, PROVIDE DEFLECTION CHANNELS AT TOP TRACK FOR 1 1/2" MINIMUM DEFLECTION.
D. REFER TO WINDOW AND DOOR HEAD, JAMB AND SILL DETAILS FOR ADDITIONAL FRAMING REQUIREMENTS.
E. PROVIDE HORIZONTAL STUD BRIDGING AT 4'-0" O.C. VERTICAL.
- 3. GYPSUM AND BACKING BOARD:
A. EXPANSION/CONTROL JOINTS: INSTALL EXPANSION/CONTROL JOINTS IN CEILINGS EXCEEDING 2500 SQ. FT. IN AREA AND IN PARTITION WALL LENGTHS EXCEEDING 30 FEET. DO NOT EXCEED A DISTANCE OF 50 FEET IN ANY DIRECTION BETWEEN CEILING JOINTS. INSTALL CONTROL JOINTS WHERE FRAMING OR FURRING CHANGES DIRECTION.
B. PROVIDE MOISTURE RESISTANT TYPE "X" GYPSUM BOARD AT ALL WET LOCATIONS (RESTROOMS, WET WALLS, AND JANITOR'S SINK AREAS).
C. PROVIDE "J" MOLDING, REGLETS, OR CORNER BEAD AT GYPSUM BOARD PERIMETER CONDITIONS TRANSITIONING TO DISSIMILAR EXPOSED FINISH MATERIALS.
- 4. INSULATION:
A. INSULATION SHALL HAVE A FLAME SPREAD RATING OF 0-25 AND A SMOKE DEVELOPMENT RATING OF 0-450.
B. PROVIDE SEALANT ON BOTH SIDES OF STUD BOTTOM TRACKS AT ACOUSTICAL INSULATED WALL LOCATIONS.
- 5. FIRE STOPPING:
A. PROVIDE FIRE STOPPING AND FIRE SEALANT MATERIALS AS REQUIRED AT ALL FIRE RATED ASSEMBLY TRANSITIONS, PENETRATIONS, AND PERIMETER CONDITIONS. RATING TO BE EQUAL TO RATED ASSEMBLY.

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FRANKLIN, WI 53132

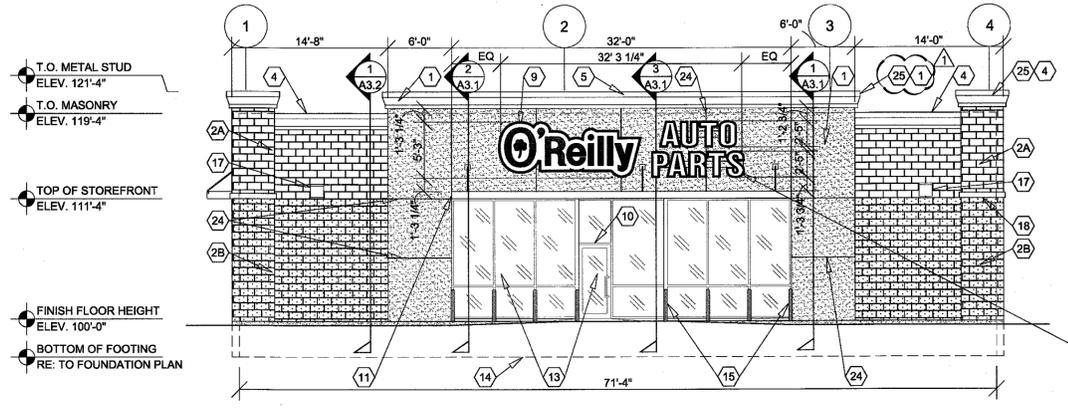
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FLOOR PLAN

REVISIONS:

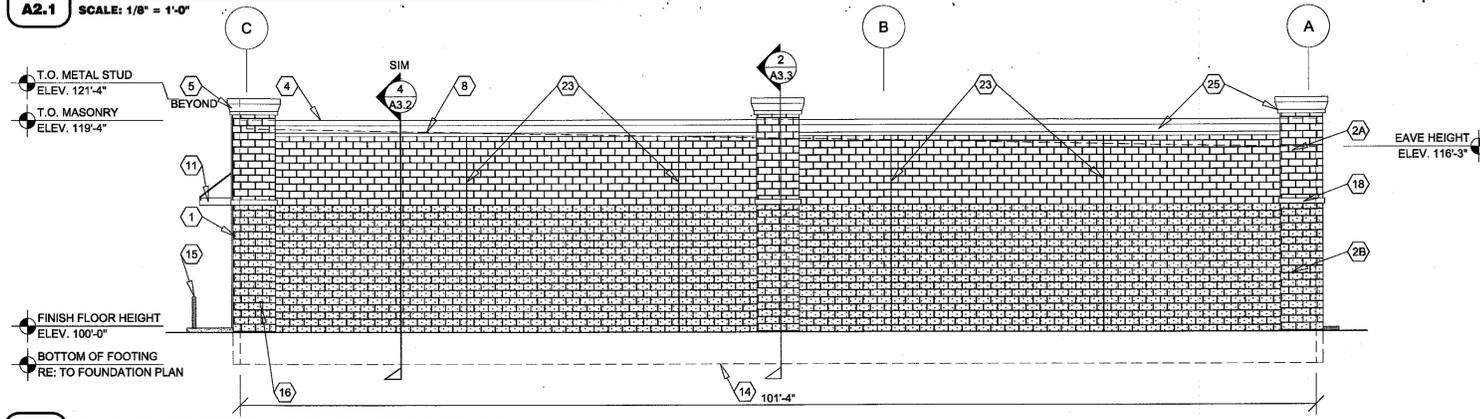
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PROJECT NO: 17115.003
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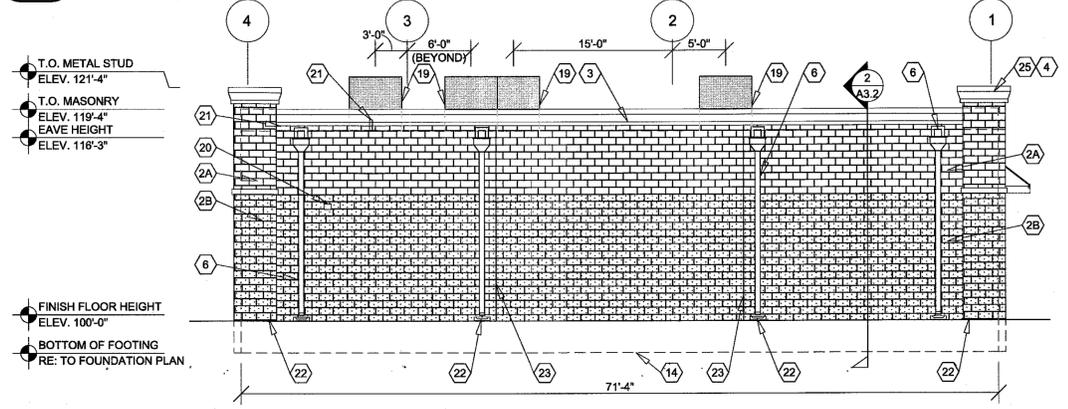
A1.1
SHEET 1 OF 11



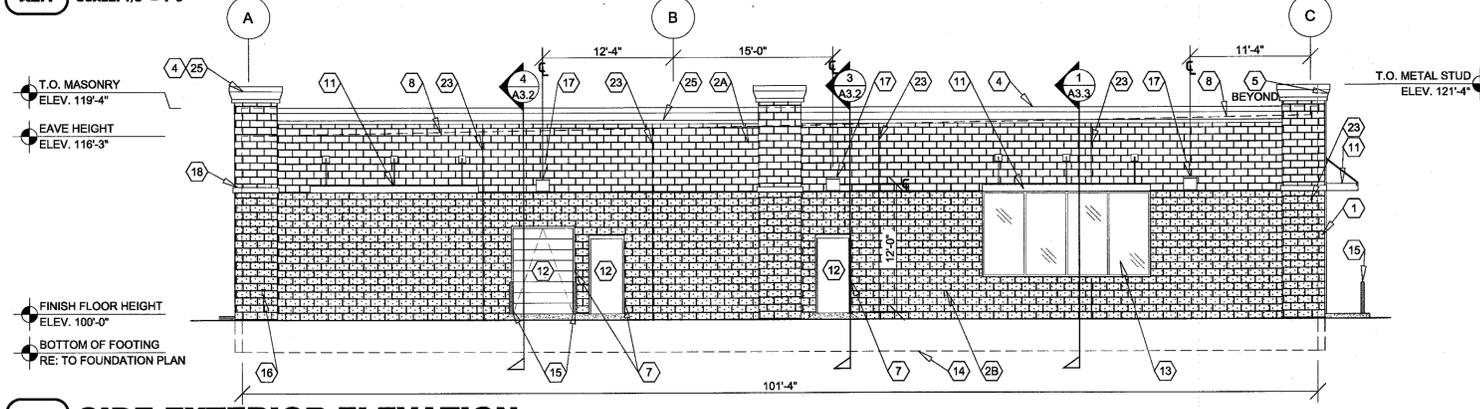
1 FRONT EXTERIOR ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



2 SIDE EXTERIOR ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



3 REAR EXTERIOR ELEVATION
A2.1 SCALE: 1/8" = 1'-0"



4 SIDE EXTERIOR ELEVATION
A2.1 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
KEY NOTE NO. 1:
MFG: DRYVIT SPECIFIED. EQUAL BY STO OR BASF (NO SUBSTITUTES)
SERIES: OUTSULATION PLUS MD
TEXTURE: SANDBLAST
COLOR: DRYVIT "ORAP011030S" STRATOTONE HIGH PERFORMANCE
COLOR STANDARD: SHERWIN WILLIAMS "POSITIVE RED" SW6871 (SHER-CRYL) GLOSS

KEY NOTE NO. 2S:
MFG: DRYVIT SPECIFIED. EQUAL BY STO OR BASF (NO SUBSTITUTES)
SERIES: OUTSULATION PLUS MD
TEXTURE: SANDBLAST
COLOR: DRYVIT STRATOTONE HIGH PERFORMANCE
COLOR STANDARD: SHERWIN WILLIAMS "SOFTER TAN" SW6141(SHER-CRYL) GLOSS

UNIT MASONRY
KEY NOTE NO. 2A:
TYPE: CONCRETE MASONRY UNIT (CMU)
MFG: (REFER TO PROJECT MANUAL)
SIZE: 8"X8"X16" (NOM.)
TEXTURE: SPLIT FACE
COURSING: RUNNING BOND
FINISH: FIELD PAINT (ACCENT COLOR)
COLOR: SHERWIN WILLIAMS "SOFTER TAN" SW6141 (SEMI-GLOSS)
COATS:
(1) COAT SW "PREPRITE" BLOCK FILLER B25W25 (NO LESS THAN 8 MILS) AND (2) COATS SW "CONFLEX XL" SMOOTH ELASTOMERIC A5-400 (NO LESS THAN 5.7 MILS EACH COAT)

COATS (COLD WEATHER APPLICATIONS):
(1) COAT SW "LOXON BLOCK SURFACER" (NO LESS THAN 8 MILS) AND (2) COATS SW "ULTRACRETE" SOLVENT BORNE SMOOTH B46 (NO LESS THAN 8 MILS EACH COAT OR 16 MILS TOTAL)

KEY NOTE NO. 2B:
TYPE: CONCRETE MASONRY UNIT (CMU)
MFG: (REFER TO PROJECT MANUAL)
SIZE: 8"X8"X16" (NOM.)
TEXTURE: SPLIT FACE
COURSING: RUNNING BOND
FINISH: FIELD PAINT (FIELD COLOR)
COLOR: SHERWIN WILLIAMS "LATTE" SW6108 (SEMI-GLOSS)
COATS:
(1) COAT SW "PREPRITE" BLOCK FILLER B25W25 (NO LESS THAN 8 MILS) AND (2) COATS SW "CONFLEX XL" SMOOTH ELASTOMERIC A5-400 (NO LESS THAN 5.7 MILS EACH COAT)

COATS (COLD WEATHER APPLICATIONS):
(1) COAT SW "LOXON BLOCK SURFACER" (NO LESS THAN 8 MILS) AND (2) COATS SW "ULTRACRETE" SOLVENT BORNE SMOOTH B46 (NO LESS THAN 8 MILS EACH COAT OR 16 MILS TOTAL)

FLASHING AND SHEET METAL
KEY NOTE NO. 3:
TYPE: STANDING SEAM ROOFING SYSTEM
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
COLOR: GALVALUME

KEY NOTE NO. 4:
TYPE: CAP FLASHING AT MASONRY
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
FINISH: PREFINISHED
COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

KEY NOTE NO. 5:
TYPE: CAP FLASHING AT EXTERIOR INSULATION FINISH SYSTEM (EIFS)
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
FINISH: FACTORY PRIMED AND FIELD PAINT
COLOR: SHERWIN WILLIAMS "POSITIVE RED" SW6871 (SHER-CRYL) GLOSS WITH SHERWIN WILLIAMS THREE COMPONENT (B65T105 / B65V105 / B65C105) CLEAR URETHANE

KEY NOTE NO. 6:
TYPE: GUTTER AND DOWNSPOUTS
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
FINISH: PREFINISHED
COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

DOORS AND WINDOWS
KEY NOTE NO. 12:
TYPE: STEEL DOORS AND FRAMES (DOORS NO. 2 AND NO. 7)
MFG: (OWNER FURNISHED / CONTRACTOR INSTALLED)
FINISH: FACTORY PRIMED AND FIELD PAINT
COLOR: SHERWIN WILLIAMS "LATTE" SW6108 (SEMI-GLOSS)

KEY NOTE NO. 13:
TYPE: (REFER TO WINDOW SCHEDULE)
MFG: EFCCO, KAWNEER, OR OLD CASTLE (VISTA WALL). (NO SUBSTITUTES)
COLOR: EFCCO "IVY", KAWNEER "DARK IVY", VISTA WALL "INTERSTATE GREEN"

PAINTING
KEY NOTE NO. 11:
TYPE: EXTRUDED ALUMINUM CANOPY
(MFG: REFER TO PROJECT MANUAL)
FINISH: PREFINISHED
COLOR: EQUAL TO SHERWIN WILLIAMS "HUNT CLUB" SW6488 (SEMI-GLOSS)

KEY NOTE NO. 15:
TYPE: STEEL BOLLARDS (REFER TO CIVIL DRAWINGS)
FINISH: FIELD PRIME AND PAINT
COLOR: SHERWIN WILLIAMS "HUNT CLUB" SW6488 (SEMI-GLOSS)

GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (C) REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SYSTEM TYPES AND ADDITIONAL REQUIREMENTS.
- (D) REFER TO EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES.
- (E) REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (F) REFER TO SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.

KEY NOTES

- (1) EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
- (2A) CONCRETE MASONRY UNIT (CMU) EXTERIOR WALL CONSTRUCTION (ACCENT COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (2B) CONCRETE MASONRY UNIT (CMU) EXTERIOR WALL CONSTRUCTION (FIELD COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- (3) PRE-ENGINEERED METAL BUILDING SHEET METAL ROOFING SYSTEM BEYOND.
- (4) PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING (AT MASONRY)
- (5) PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING (AT EIFS)
- (6) PRE-ENGINEERED METAL BUILDING SHEET METAL GUTTER SCUPPER, AND DOWNSPOUT SYSTEM.
- (7) CONCRETE MASONRY UNIT (CMU) CORNER FINISHED JAMB UNIT.
- (8) LINE OF ROOF BEYOND WITH 1/4":12" SLOPE MINIMUM.
- (9) SURFACE MOUNTED SIGN OWNER FURNISHED AND INSTALLED. PROVIDE BACKING FOR MOUNTING AND ROUGH-IN ELECTRICAL COORDINATE REQUIREMENTS WITH OWNER. REFER TO SHEET SG2.1.
- (10) BUILDING ADDRESS NUMBERS IN 6" HIGH HELVETICA WHITE VINYL ADHERED TO EXTERIOR FACE OF GLAZING.
- (11) EXTRUDED ALUMINUM CANOPY. REFER TO SPECIFICATION MANUAL FOR APPROVED VENDORS.
- (12) EXTERIOR DOOR AND FRAME SYSTEM. REFER TO FLOOR PLAN AND DOOR SCHEDULE FOR TYPES.
- (13) EXTERIOR WINDOW SYSTEM. REFER TO FLOOR PLAN AND WINDOW SCHEDULE FOR TYPES.
- (14) APPROXIMATE LINE OF FOUNDATION. REFER TO STRUCTURAL DRAWINGS.
- (15) STEEL BOLLARDS. REFER TO CIVIL AND STRUCTURAL DRAWINGS.
- (16) HOSE BIB. REFER TO PLUMBING DRAWINGS.
- (17) LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- (18) EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) LEDGE.
- (19) MECHANICAL ROOF TOP UNIT. REFER TO MECHANICAL DRAWINGS.
- (20) MECHANICAL WALL PENETRATIONS. REFER TO MECHANICAL DRAWINGS. PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED.
- (21) PLUMBING ROOF VENT. REFER TO PLUMBING DRAWINGS AND DETAIL 1/A6.1.
- (22) CONCRETE SPLASH BLOCK INSTALL AT EACH DOWNSPOUT.
- (23) MASONRY CONTROL JOINT. REFER TO STRUCTURAL DRAWINGS. PROVIDE SEALANT OVER 1/2" DIAMETER FOAM BACKER ROD.
- (24) RUSTICATION JOINT. REFER TO DETAIL 6/A3.2.
- (25) EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) CORNICE.

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DATE ISSUED 9.1.17
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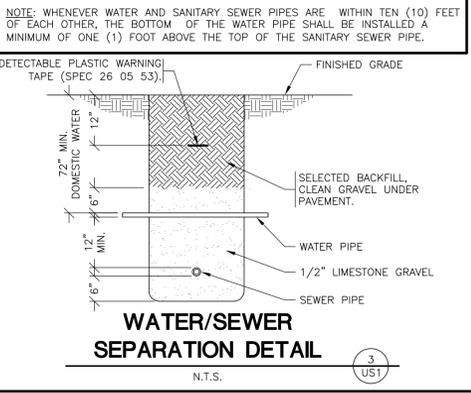
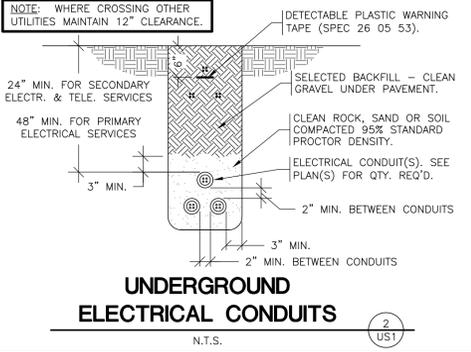
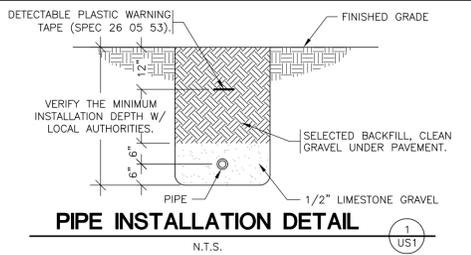
SHEET TITLE:
EXTERIOR ELEVATIONS

REVISIONS:

NO.	DATE:	BY:
△ 1	9.25.17	PLANNING

PROJECT NO: 17115.003
DRAWN BY: BLC/SM

A2.1
SHEET 3 OF 11



- EXISTING CONDITIONS NOTES**
1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
 2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
 3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
 4. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
 5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

**CONTRACTOR CAUTION!!!
VERIFY SEWER LINE ELEVATION**

BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.

IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW GRINDER PUMP SYSTEM EQUAL TO "ENVIRONMENT ONE" #DH152
PHONE: 518-346-6161 TO MEET OWNER AND LOCAL REQUIREMENTS.

TELEPHONE SERVICE REQUIREMENTS

SPECIAL NOTE: NEW PHONE SERVICE TO BUILDING SHALL BE AN UNDERGROUND SERVICE. CONTRACTORS TO SCHEDULE INSTALLATION OF U/G TELEPHONE SERVICE CONDUIT WITH OWNER. CONTACT (417) 874-7288.

CONTRACTOR SHALL CONTACT PHONE COMPANY AND VERIFY REQUIRED SIZE OF CONDUIT (2", 3" OR 4") PVC SCHEDULE 40 CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEP BENDS @ 18"-24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE PULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM U/G ELECTRIC CONDUIT IN SAME TRENCH.

CAP END OF CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY, IF NECESSARY. OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT A MINIMUM 10' (ft.) ABOVE FINISHED GRADE ATTACHED TO POLE.

CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY, PLUS INCLUDE ALL FEES (IF ANY) BY PHONE COMPANY FOR INSTALLATION OF NO LESS THAN 10 PAIR CABLE, IN MENTIONED CONDUIT, TO CONTRACTOR INSTALLED 4" X 6" X 3/4" FIRE RETARDING BACKBOARD (IF PLYWOOD, PAINT BOARD W/FIRE RETARDING PAINT) WITHIN BUILDING. CONTRACTOR TO PROVIDE #6 AWG CU. GROUND TO TELEPHONE EQUIPMENT LOCATION FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE-THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER, WEATHER HEAD, ETC. COORDINATE WITH OWNER & PHONE CO.

SAWCUT NOTE

WHERE NEW UTILITY SERVICES ARE ROUTED UNDER EXISTING PAVED AREAS, ALL EXISTING PAVING SHALL BE REMOVED IN THE FOLLOWING STEPS:

- 1) SAWCUTTING PAVING, CONCRETE CURB & GUTTER.
- 2) REMOVAL & TRENCHING.
- 3) INSTALLATION OF UTILITY.
- 4) BACKFILL & COMPACTION.
- 5) INSTALLATION OF NEW PAVING, CONCRETE CURB & GUTTER THAT MATCHES THE EXISTING SURROUNDING PAVING, CURB & GUTTER IN BOTH MATERIAL & ELEVATION.

CONTRACTOR SHALL COORDINATE, OBTAIN & PAY FOR ALL REQUIRED PERMITS & LICENSES TO PERFORM THIS WORK & SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHILE PERFORMING SAWCUTTING OPERATIONS AS NECESSARY.

DOT PERMIT REQUIRED

FOR INSTALLATION OF WATER SERVICE.

GENERAL NOTE:

PRIOR TO INSTALLATION, GENERAL CONTRACTOR SHALL CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR SHALL CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

VENSTAR KEYNOTE

VIA VENSTAR SURVEYOR / LIGHTING CONTROL PANEL. SEE SHEET VS1, VS2 & VS3 (VENSTAR SCOPE OF WORK (S.O.W.)).

STOP-CALL BEFORE YOU DIG!

811

DEMOLITION NOTE

- 1) CLEAN & CLEAR SITE OF INDICATED UTILITIES.
- 2) EXISTING UTILITIES TO BE REMOVED & RELOCATED AS INDICATED.

METER LOCATION

TWO 1" METERS AND BACKFLOW DEVICES ARE TO BE INSTALLED INSIDE BUILDING, SEE P1 & P2 SHEET FOR LOCATION.

UTILITIES CONTACTS:

ELECTRIC: WE ENERGIES, GERRI GAGLIONE: 414-423-5008
ATT: KENNETH SCHICK: 715-839-5830
CITY OF FRANKLIN, MIKE ROBERTS: 414-425-7510
SEWER: CITY OF FRANKLIN, MIKE ROBERTS: 414-421-2613
GAS: WE ENERGIES, GERRI GAGLIONE: 414-423-5008

NEW UTILITIES

W WATER SERVICE
UG UNDERGROUND ELECTRIC
UGT UNDERGROUND PHONE
S SANITARY SEWER
OHE OVERHEAD ELECTRIC
OHT OVERHEAD PHONE
G GAS SERVICE (BY GAS CO.)
SC SAW CUT
B BORE
GRAV GRAVEL

P.O.C. = POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00). AS NECESSARY - SPEC 21 13 13 DENOTES LANDSCAPE IRRIGATION).

STATE OF WISCONSIN LIMITATION

I HEREBY CERTIFY THAT THESE ENGINEERING DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

Norman E. Goth 9-22-17 (DATE)

NORMAN E. GOTH

LICENSE RENEWAL DATE IS JULY 31, 2018

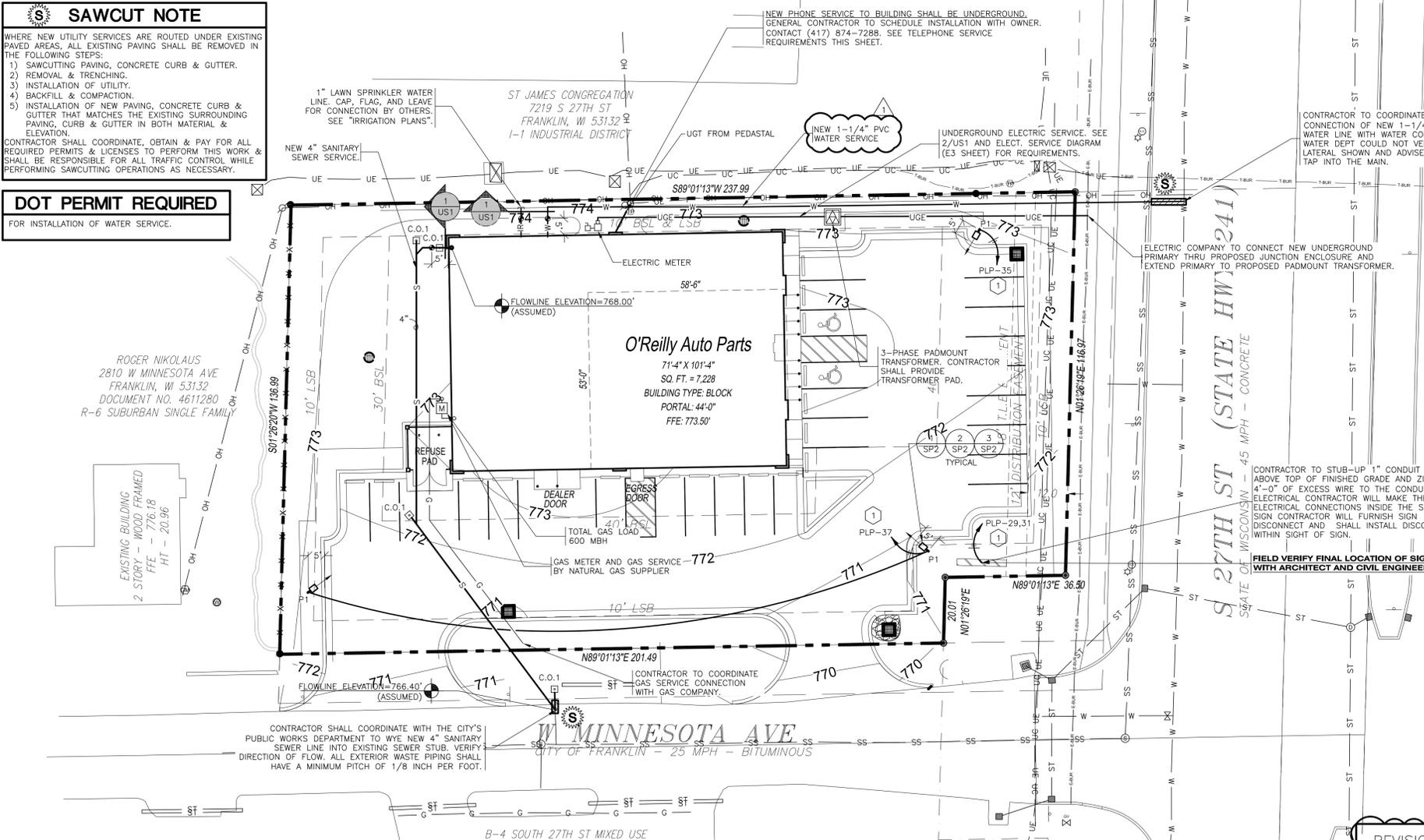
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PLUMBING: APPROVED PLANS

SPS 382.20(8): THE PLUMBING SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED PLANS.



UTILITIES SITE PLAN

SCALE: 1" = 20'-0"

REVISION DUE TO SITE BASE UPDATE.

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WISCONSIN PROFESSIONAL ENGINEER
NORMAN E. GOTH
E-37429
SPRINGFIELD MISSOURI
9/22/17

9.1.17
DATE ISSUED

O'Reilly AUTO PARTS

7251 S. 27TH ST.
FRANKLIN, WI 53132

SHEET TITLE:
UTILITIES SITE PLAN

REVISIONS:

NO:	DATE:	BY:
1	9/25/17	PLANNING

PROJECT NO: 17115.003
DRAWN BY: LRB

US1
SHEET 1 OF 1

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EXTERIOR LIGHT FIXTURE SCHEDULE

ALL ITEMS LISTED ON THE "LIGHT FIXTURE SCHEDULE" WILL BE SUPPLIED BY THE OWNER (O'REILLY). ITEMS SHALL BE DIRECT ORDERED AND OR RELEASED FROM THE LISTED ELECTRICAL EQUIPMENT DISTRIBUTOR.

GRAYBAR ELECTRIC CO. INC.
11885 LACKLAND ROAD
ST. LOUIS, MO 63146

GRAYBAR O'REILLY TEAM
EMAIL: oreilly@graybar.com
TOLL FREE: (314) 573-2080

MARK	MFR.	CATALOG NUMBER	SUPPLY VOLTAGE	FINISH	MOUNTING		LAMPS		WATTAGE	NOTES	FIXTURE QUANTITY
					SURFACE WALL	SURF. CEILING	OTHER	FLUORESCENT			
LED EXTERIOR LIGHTS											
WP1	LSI	XWM-FT-LED-06-50-UE-BRZ NO SUBSTITUTIONS	120	DARK BRONZE	X		X		59	FULL CUT-OFF, ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.	5
LED POLE LIGHTS											
P1	LSI	XALM-FT-LED-SS-50-UE-BRZ-IL	120	DARK BRONZE		X	X		154	25' POLE LENGTH, ADVANCE BALLASTS, FULL CUT-OFF, NO SUBSTITUTIONS, ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL LOUVER HOUSE, SIDE SHIELD	3
FIXTURE QUANTITY TO BE VERIFIED WITH SITE PLAN QUANTITY											

AUTOMATIC LIGHTING CONTROL

COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:

- ONCE THE VENSTAR EMS HAS BEEN PROGRAMMED, THE INTERIOR AND EXTERIOR LIGHTS WILL TURN ON AND OFF USING THE FOLLOWING LOGIC: SEE SHEETS VS1, VS2 AND VS3

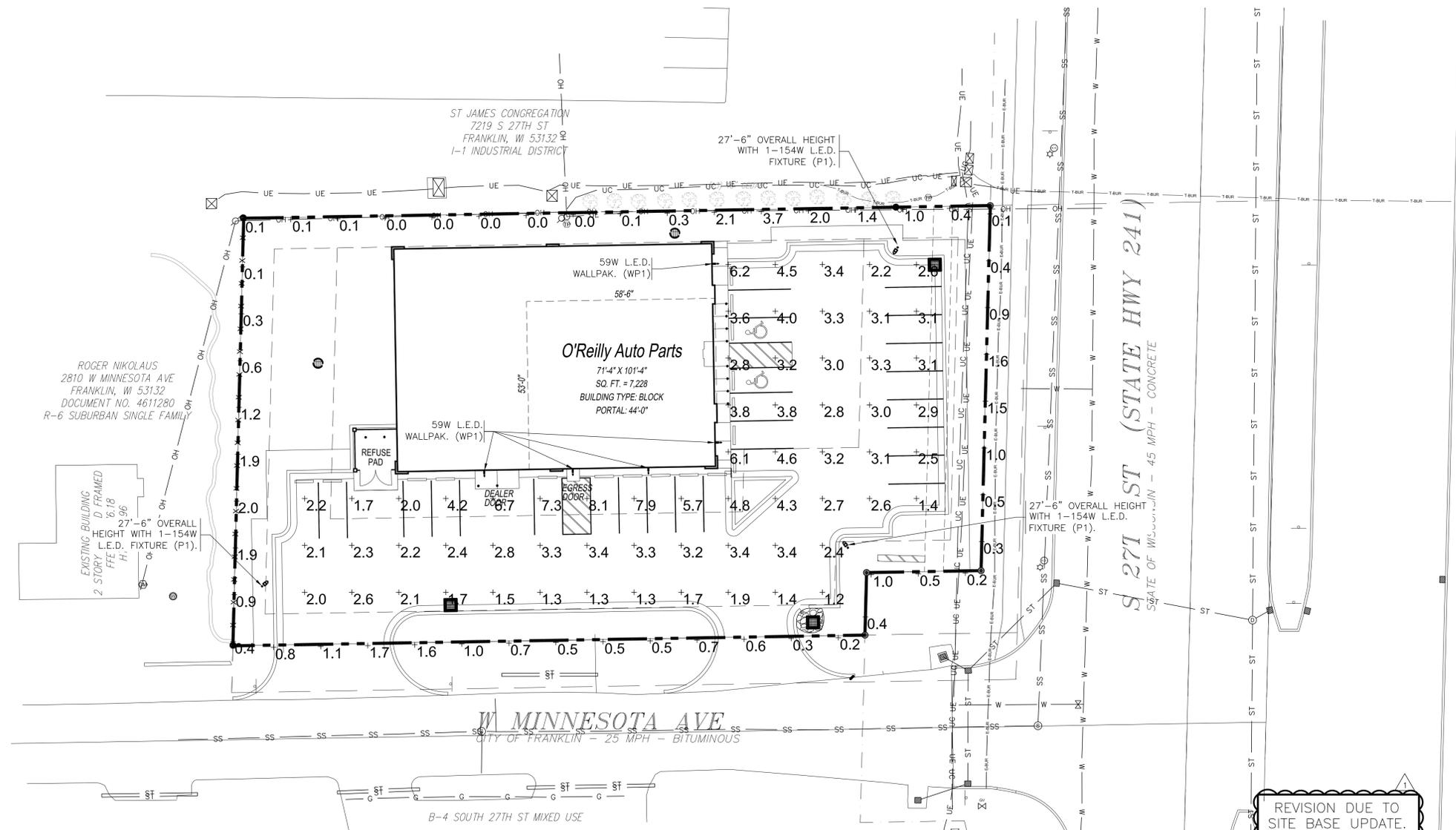
 INTERIOR WORK LIGHTS WILL TURN ON WITH FIRST MOTION IN THE STORE AND WILL TURN OFF 15 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.

 INTERIOR SALES LIGHTS WILL TURN ON AT STORE OPENING AND TURN OFF 15 MINUTES AFTER STORE CLOSING.

 EXTERIOR SIGN LIGHTS WILL TURN ON WHEN ITS DARK ENOUGH OUTSIDE ANYTIME DURING STORE HOURS, AND WILL TURN OFF AT STORE CLOSING.

 EXTERIOR SITE LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH OUTSIDE AND IT IS WITHIN STORE HOURS OR THERE IS MOTION IN THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.

 FOR NEW CONSTRUCTION LOCATIONS ONLY, THERE IS A TEMPORARY PROGRAM TO KEEP SIGN AND SITE LIGHTS ON UNTIL MIDNIGHT RATHER THAN THE TIMES INDICATED ABOVE. O'REILLY WILL DISABLE THIS PROGRAM ONE YEAR AFTER STORE OPENING.
- RESTROOMS AND OFFICES: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY OCCUPANT-SENSING DEVICES.



REVISION DUE TO SITE BASE UPDATE. NO CHANGE TO MEP THIS SHEET.

SITE LIGHTING PHOTOMETRICS

SCALE: 1" = 20'-0"



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SEAL:



DATE ISSUED: 9.1.17

O'Reilly AUTO PARTS

7251 S. 27TH ST.
FRANKLIN, WI 53132

SHEET TITLE:
SITE LIGHTING PHOTOMETRICS

REVISIONS:

NO.	DATE:	BY:
1	9/25/17	PLANNING

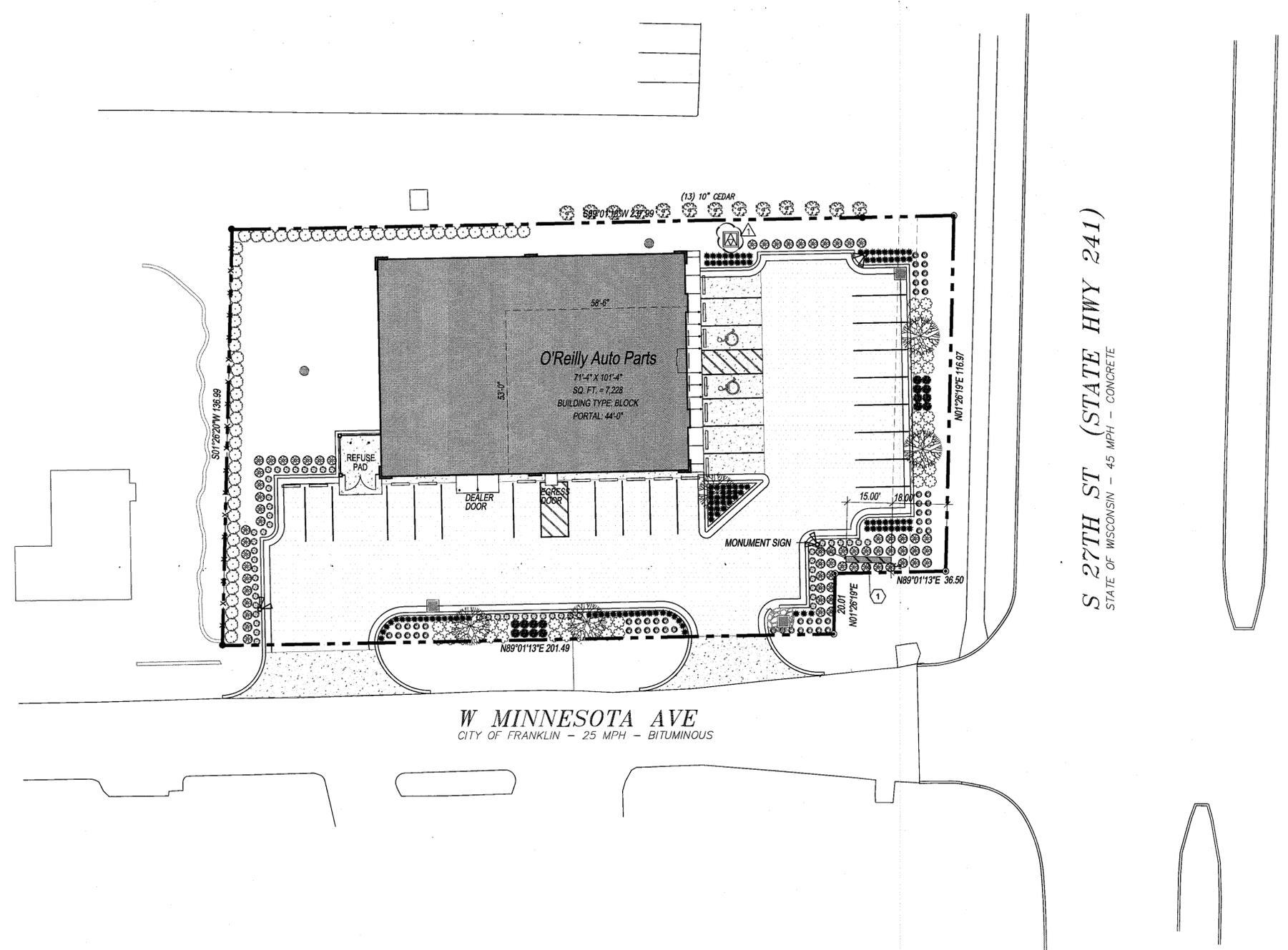
PROJECT NO: 17115.003
DRAWN BY: LRB

SP1

SHEET 1 OF 2

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c:\O'Reilly\1715.003 Franklin, WI (FRN)\Drawings\Work in Progress\1715.003 SG1.1.dwg



1 SITE SIGNAGE PLAN
 SG1.1 SCALE: 1" = 20'-0"



GENERAL NOTES

- (A) REFER TO PROJECT MANUAL AND SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (D) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
- (E) "COMING SOON" TEMPORARY CONSTRUCTION SIGN TO BE PROVIDED BY CONTRACTOR. APPLIED SIGNAGE GRAPHICS TO BE OWNER FURNISHED AND CONTRACTOR INSTALLED. LOCATE TEMPORARY CONSTRUCTION SIGN ON SITE SO AS TO BE VISIBLE TO PUBLIC FROM RIGHT-OF-WAY. REFER TO DETAIL 1/SG1.2.

SPECIAL NOTE:
 AVOID OBSCURING VISIBILITY OF SITE SIGN FROM RIGHT OF WAY WITH LARGE PLANTINGS AND LANDSCAPING. SUBMIT LANDSCAPING LAYOUT FOR FINAL OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.

KEY NOTES

- 1 SITE SIGN, REFER TO ELEVATION 2/SG1.2

CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below
 Call before you dig.**

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DATE ISSUED: 9.1.17
 REG. NO.: A-9014

O'Reilly AUTO PARTS
 7251 S. 27TH ST.
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SHEET TITLE:
 SITE SIGNAGE PLAN

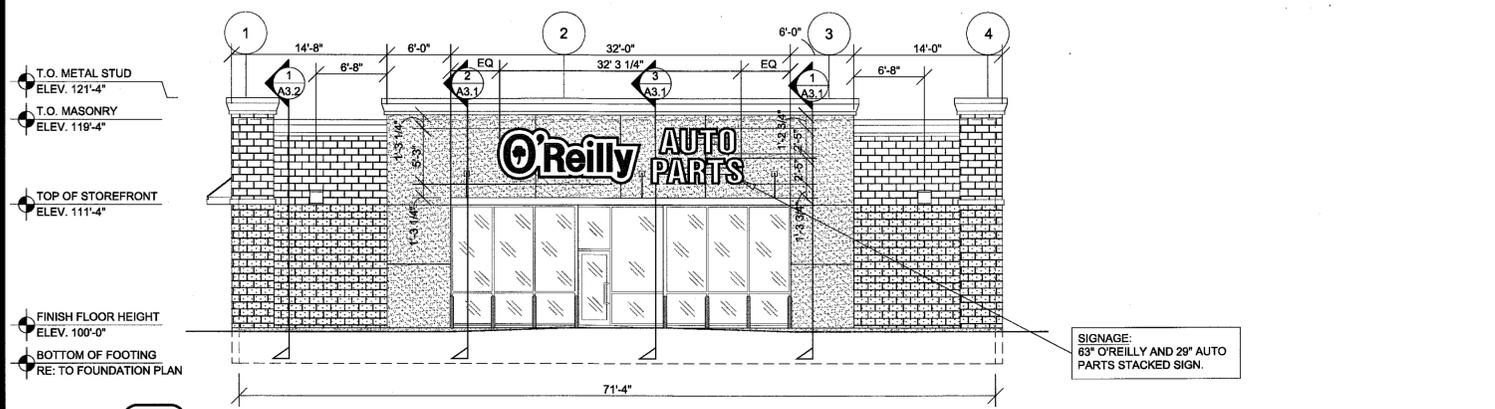
REVISIONS:

NO.	DATE	BY:
1	9.25.17	PLANNING

PROJECT NO.: 17115.003
 DRAWN BY: RD

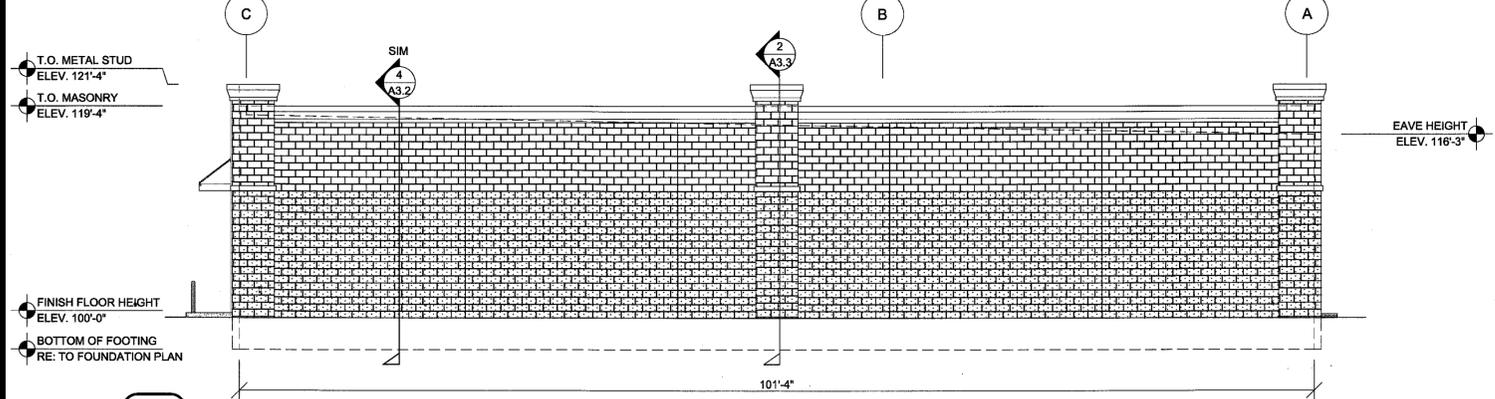
SG1.1
 SHEET 1 OF 3

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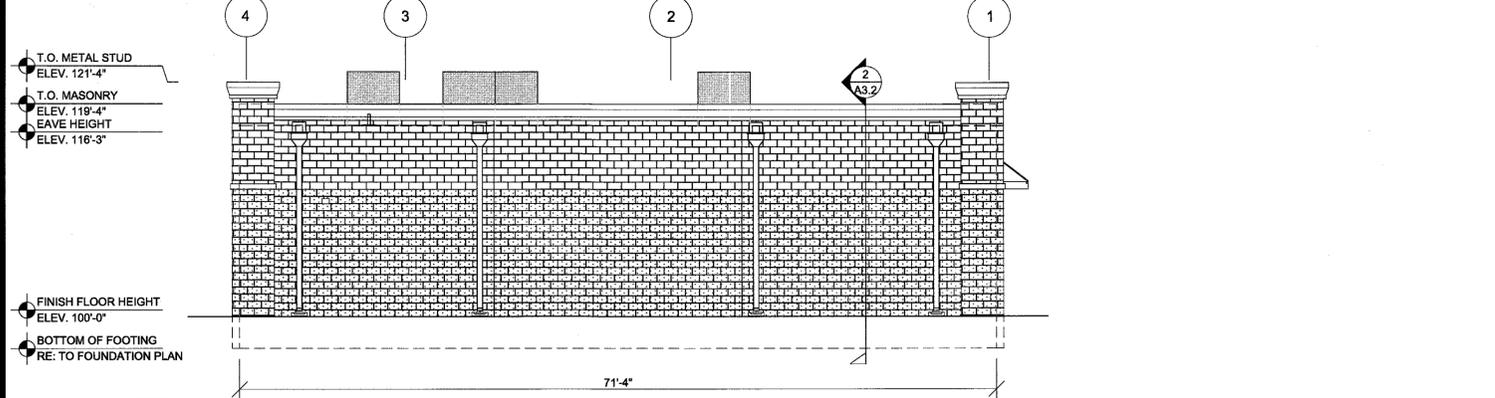
1 FRONT EXTERIOR ELEVATION

SG2.1 SCALE: 1/8" = 1'-0"



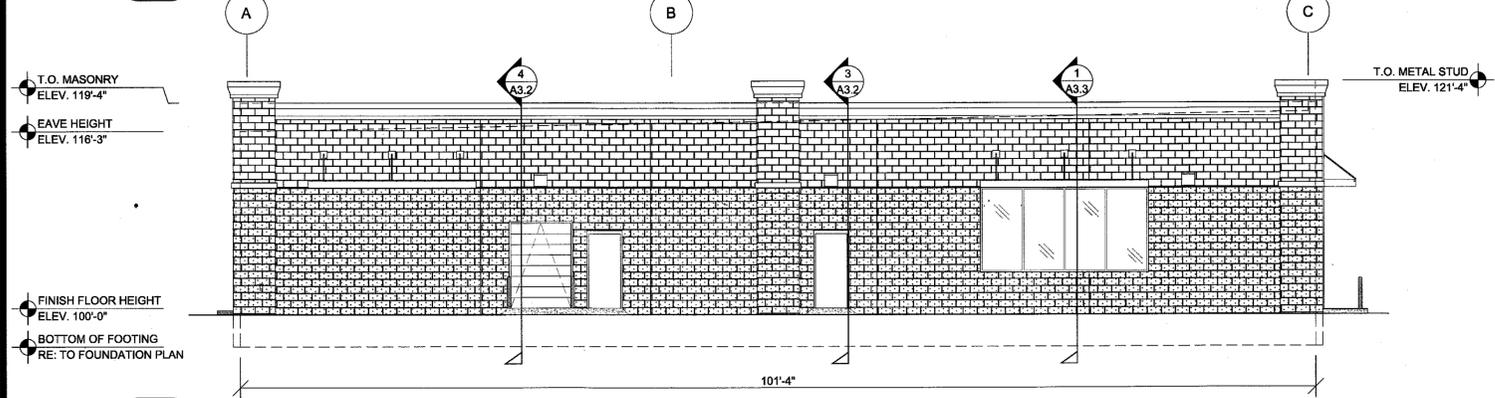
2 RIGHT EXTERIOR ELEVATION

SG2.1 SCALE: 1/8" = 1'-0"



3 REAR EXTERIOR ELEVATION

SG2.1 SCALE: 1/8" = 1'-0"



4 LEFT EXTERIOR ELEVATION

SG2.1 SCALE: 1/8" = 1'-0"

BUILDING SIGN SCHEDULE

FRONT EXTERIOR ELEVATION:
 TYPE: OR 63" / 29" AP STACKED
 DETAIL: REFER TO 5/SG2.1 & 6/SG2.1

RIGHT EXTERIOR ELEVATION:
 TYPE: NO SIGN
 DETAIL:

LEFT EXTERIOR ELEVATION:
 TYPE: NO SIGN
 DETAIL:

REAR EXTERIOR ELEVATION:
 TYPE: NO SIGN
 DETAIL:

GENERAL NOTES

- (A) CONTACT OWNERS OR TENANT'S DESIGNATED PROJECT ADMINISTRATOR FOR QUESTIONS OR CLARIFICATIONS.
- (B) BUILDING PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED, (REFER TO SCOPE OF WORK SCHEDULE). SIGNAGE GRAPHICS PROVIDED FOR REFERENCE ONLY (N.I.C.) AND CONTRACTOR'S COORDINATION WITH SPECIFIC PROJECT CONSTRUCTION CONDITIONS. CONTRACTOR TO PROVIDE BACKING AND ROUGH-IN ELECTRICAL AS REQUIRED FOR INSTALLATION.
- (C) REQUIRED GOVERNMENTAL PERMITS FOR PERMANENT TYPE SIGNAGE TO BE PROVIDED BY OWNER OR OTHERS (N.I.C.).
- (D) SEPARATE SIGNAGE PERMIT AND REVIEW REQUIRED BY CITY OF FRANKLIN. SIGNS ARE SHOWN FOR REFERENCE ONLY.

PATRICK G. BLEES
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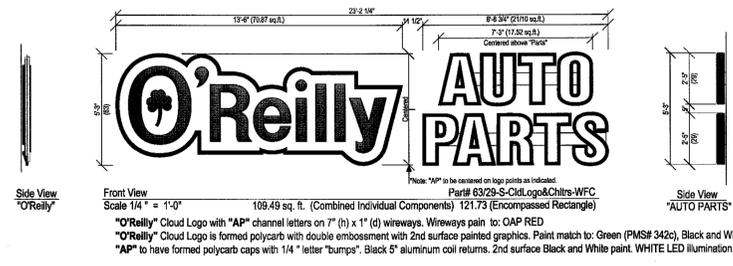
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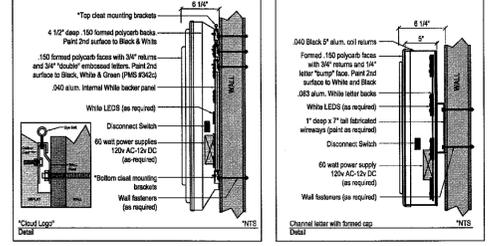
Front View
 Scale 1/4" = 1'-0" 109.49 sq. ft. (Combined Individual Components) 121.73 (Encompassed Rectangle)

Part# 63/29-S-CldLogo&Chtrs-WFC

"O'Reilly" Cloud Logo with "AP" channel letters on 7" (h) x 1" (d) wireways. Wireways pain to: OAP RED
 "O'Reilly" Cloud Logo is formed polycarb with double embossment with 2nd surface painted graphics. Paint match to: Green (PMS# 342c), Black and White.
 "AP" to have formed polycarb caps with 1/4" letter "bumps". Black 5" aluminum coil returns. 2nd surface Black and White paint. WHITE LED illumination.

5 FRONT WALL SIGN ELEVATION

SG2.1 SCALE: 1/4" = 1'-0"



Formed Cloud Logo with "AP" Formed Caps & Channel Returns
 Part# 63/29-S-CldLogo&Chtrs-WFC



O'Reilly Auto Parts
 233 Patterson St.
 Springfield, MO 65803

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Formed Embossed Cloud Logo
 AUTO PARTS Channel Letters
 with Formed Embossed Caps
 6329-S-CldLogo&Chtrs-WFC

6 FRONT WALL SIGN MOUNTING DETAILS

SG2.1 SCALE: 1/4" = 1'-0"



PATRICK G. BLEES, ARCHITECT

9.1.17
 DATE ISSUED A-9014
 REG. NO.

O'Reilly AUTO PARTS
 7251 S. 27TH ST.
 FRANKLIN, WI 53152

SHEET TITLE:
 BUILDING EXTERIOR
 SIGNAGE

REVISIONS:

NO.	DATE	BY:
1	9.25.17	PLANNING

PROJECT NO: 17115.003
 DRAWN BY: RD/BLC

SG2.1
 SHEET 3 OF 3

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