



**CITY OF FRANKLIN****REPORT TO THE PLAN COMMISSION**

Meeting of November 3, 2016

**Site Plan**

**RECOMMENDATION:** Department of City Development staff recommends approval of the Site Plan Application for Anderson Family Dental, subject to the conditions of approval in the attached draft resolution.

<b>Project Name:</b>	Anderson Family Dental Site Plan
<b>Project Location:</b>	7215 West Rawson Avenue
<b>Property Owner:</b>	BMO REO-WI LAND LLC
<b>Applicant:</b>	Charles Anderson, Anderson Family Dental
<b>Agent:</b>	Shaun Sullivan, Design2Construct
<b>Current Zoning:</b>	B-3 Community Business District
<b>2025 Comprehensive Plan:</b>	Commercial
<b>Use of Surrounding Properties:</b>	Commercial (Root River Center) to the north, vacant R-6 District zoned property to the south, multi-family (zoned PDD No. 17) to the east and vacant commercial land to the west
<b>Applicant's Action Requested:</b>	Approval of the Site Plan Application for Anderson Family Dental

**Introduction and Background:**

Please note:

- Staff recommendations are *underlined, in italics* and are included in the draft resolution.

On September 29, 2016, the applicant submitted a Site Plan Application requesting approval of a dental office at 7215 W. Rawson Avenue. The subject property is zoned B-3 Community Business District. Offices and clinics of dentists, Standard Industrial Classification Code No. 8021, are allowed as a Permitted Use in the B-3 District. Anderson Family Dental is currently located within the Orchard View Shopping Center at 7218 S. 76<sup>th</sup> Street.

In 2007, a Site Plan and Natural Resource Special Exception were approved for the subject property for construction of a multi-tenant office and retail building. This proposal was more intense compared to the current proposal, including a larger building footprint, more parking and greater environmental impacts. The building included lower level offices (primarily a veterinary office) and first floor retail with a building footprint of approximately 5,500 square feet. The project was approved by the City; however, the applicant did not pursue the development following those approvals. Staff believes it was due to the soil conditions of the site and cost of construction.

**Project Description and Analysis:**

The applicant is requesting Site Plan approval to construct an approximately 3,324 square foot dental office. The property is currently vacant and is approximately 1.03 acres (44,999 square feet).

The Site Plan includes the dental office, parking, dumpster enclosure, a concrete block retaining wall and steel guard rail, landscaping and a potential 1,280 square foot addition on the south side of the building for a future tenant.

The applicant has shown on the site plan and agreed to construct a frontage road from the subject property through the property to the west to access W. Rawson Avenue, opposed to utilizing an existing temporary access point to W. Rawson Avenue from the site. This drive does not include curb and gutter as incorporation of the drive with future development is currently unknown. Curb and gutter requirements along the frontage road will be determined at the time the property at 7255 W. Rawson Avenue is developed.

Note that some of the Site Data on the Site Plan, Sheet A1.0, is not correct. For example, the future addition is 1,280 square feet, not 510 square feet, the proposed building is 3,324 square feet, not 6,651 square feet and the parking provided is 22 parking spaces, not 33. Staff recommends that the applicant shall submit a revised Site Plan, Sheet A1.0, with corrected Site Data information to the Department of City Development, prior to issuance of a Building Permit.

Generally related to the Site Plan, staff is also recommending that the applicant shall submit a plat of survey to the Engineering Department, prior to issuance of a Building Permit

Parking:

Table 15-5.0203 of the City of Franklin Unified Development Ordinance (UDO) defines requirements for off-street parking. According to this section, the Standard Parking Ratio for a “Medical, Outpatient or Dental Office/Clinic” is 6.5 parking spaces per 1,000 square feet of Gross Floor Area (GFA), plus 6 queuing spaces. If one applies this standard, then the proposed 3,324 square foot dental office would be required to provide a minimum of twenty-two (22) parking spaces.

The applicant is proposing twenty-two (22) off-street parking spaces, which meets the Standard Parking Ratio for dental offices. This includes one (1) of the off-street parking space that is handicap accessible, which meets minimum requirements of Table 15-5.0202(I)(1) of the (UDO). Queuing may occur along the east side of the drive aisle if needed; however, staff is not concerned with queuing for a dental office.

In consideration of the future building addition, additional parking may or may not be needed to address the future parking demand, which will depend upon the type of use within that tenant space. The UDO does allow for reductions from the Standard Parking Ratio, which often requires more parking than a use may actually demand.

The sixteen (16) parking spaces north of the building are all nine (feet) in width by twenty (20) feet in length (180 square feet), which meets the minimum parking space size per Section 15-5.0202B. of the UDO. The six (6) parking spaces to the east of the building are 9-feet by 19-feet (171 square feet). The City has previously allowed similar parking spaces size when parking is abutting a sidewalk or curb, which would meet the minimum 180 square foot size standard if the overhang is included.

Landscape Surface Ratio/Landscaping:

Pursuant to the B-3 Community Business District Development Standards set forth in Table 15-3.0303 of the Unified Development Ordinance (UDO), a minimum Landscape Surface Ratio (LSR) of .40 or 40% is required. The proposed site plan contains 16,225 square feet of impervious surface and 28,774 square feet of greenspace, resulting in a LSR of .64 or 64% exceeding the B-3 District minimum LSR standard.

The above calculations do not include the future 1,280 square foot building addition. If that addition occurs, the site would contain approximately 61% greenspace and 39% impervious surface, which would still exceed the B-3 District LSR minimum standard of .40.

With twenty-two (22) parking spaces provided, five plantings of each type (Canopy/Shade Tree, Evergreens, Decorative Trees and Shrubs) are required per Table 15-5.0302 of the UDO. However, the property to the south is zoned R-6 Suburban Single-Family Residence District. In addition, the properties to the east contain a multi-family use, zoned PDD No. 17. Section 15-5.0302C. of the UDO states that when a development abuts a residential zoning or use the minimum quantity of plantings required in Table 15-5.0302 increases by twenty (20) percent, the emphasis of plantings shall be on placing the increased amount within the bufferyard and that evergreens and arborvitae are required within the buffer yard with a minimum planting height of six (6) feet. The 20% increase in plantings results in a minimum of six plantings of each type required.

The applicant is proposing seven Canopy/Shade trees, eight Evergreens, five Decorative trees and thirty-one Shrubs, which exceeds the requirements of Table 15-5.0302 of the UDO. Note that although five, not six decorative trees have been provided, the UDO allows, where appropriate, the replacement of decorative trees with shade trees.

The applicant has included hose bibs locations on the building for irrigation.

Lighting:

The applicant is proposing four wall fixtures, two adjacent to the main entrance on the north side of the building and two on the south side of the building. Additionally, seven bollard style lights are dispersed along the interior edge of the sidewalk along the north, south and east sides of the building. The proposed lighting levels comply with exterior lighting standards of Section 15-5.0401 of the UDO.

Natural Resource Protection Plan:

A Natural Resource Protection Plan was created and a Natural Resource Special Exception approved in 2007 for the subject property. The applicant has updated the NRPP with wetland delineations by Dave Maier, Wetland & Waterway Consulting, LLC, report dated June 23, 2016. Dave Maier is a WDNR Assured Delineator.

The NRSE allowed for disturbance of approximately 8,590 square feet of wetland buffer and about 5,630 square feet of wetland setback. The current proposal consists of approximately 4,141 square feet of impacts to the wetland buffer and about 2,848 square feet of impacts to the wetland setback, which is less than the impacts approved in 2007.

The mitigation plan approved in 2007 was never implemented. The mitigation plan required wetland buffer and wetland setback enhancements at a 1.5:1 ratio. The applicant is proposing to provide mitigation at the same ratio based upon their current impacts to the natural resource features. Mitigation includes a rain garden, planting native meadow/prairie vegetation as well as planting native trees.

As the previously approved NRSE did not have an expiration date, as the amount of encroachment is less than previously approved, and as the ratio of mitigation is the same as previously approved, staff has determined that a new NRSE is not required.

A Conservation Easement was also never recorded in 2007. The proposed conservation easement boundary is illustrated on the attached NRPP map and a written draft easement agreement has been provided to staff. *Staff recommends that the Conservation Easement shall be recorded with the Milwaukee County Register of Deeds following Common Council approval, prior to issuance of an Occupancy Permit.*

Architecture:

The proposed dental office building consists of a stone veneer base, fiber cement lap siding, fiber cement staggered edge shingle siding and 30-year dimensional asphalt shingles. All elevations contain windows, except for the south elevation which is not visible to the general public. The peak height of the building is 22'-1".

Signage:

The applicant has illustrated a monument sign location adjacent to W. Rawson Avenue in the northwest corner of the site. That sign is for reference only and requires separate review and approval and permitting through the Inspection Department.

**Staff Recommendation:**

Department of City Development staff recommends approval of the Site Plan Application for Anderson Family Dental, subject to the conditions of approval in the attached draft resolution.

## RESOLUTION NO. 2016-\_\_\_\_

A RESOLUTION APPROVING A SITE PLAN FOR A  
DENTAL CLINIC DEVELOPMENT  
(7215 WEST RAWSON AVENUE)  
(CHARLES C. ANDERSON, OWNER OF ANDERSON  
FAMILY DENTAL, APPLICANT)

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WHEREAS, Charles C. Anderson, owner of Anderson Family Dental having applied for approval of a proposed site plan for construction of an approximately 3,324 square foot dental clinic, a dumpster enclosure, 22 parking spaces and a retaining wall, along with landscaping and lighting, on approximately 1.03 acres of vacant land located at 7215 West Rawson Avenue; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the development of an approximately 3,324 square foot dental clinic, a dumpster enclosure, 22 parking spaces and a retaining wall, along with landscaping and lighting, as depicted upon the plans dated October 24, 2016, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for the Charles C. Anderson dental clinic dated October 24, 2016.
2. Charles C. Anderson, owner of Anderson Family Dental, successors and assigns, and any developer of the Charles C. Anderson dental clinic construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Charles C. Anderson dental clinic construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the Charles C. Anderson dental

CHARLES C. ANDERSON, OWNER OF ANDERSON FAMILY DENTAL – SITE PLAN  
RESOLUTION NO. 2016-\_\_\_\_\_

Page 2

clinic construction project (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.

4. That the Charles C. Anderson dental clinic construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. The applicant shall submit a revised Site Plan, Sheet A1.0, with corrected Site Data information to the Department of City Development, prior to the issuance of a Building Permit.
6. The applicant shall submit a Plat of Survey to the Engineering Department, prior to the issuance of a Building Permit.
7. A Conservation Easement shall be recorded with the Milwaukee County Register of Deeds following Common Council approval, prior to the issuance of an Occupancy Permit.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

APPROVED:

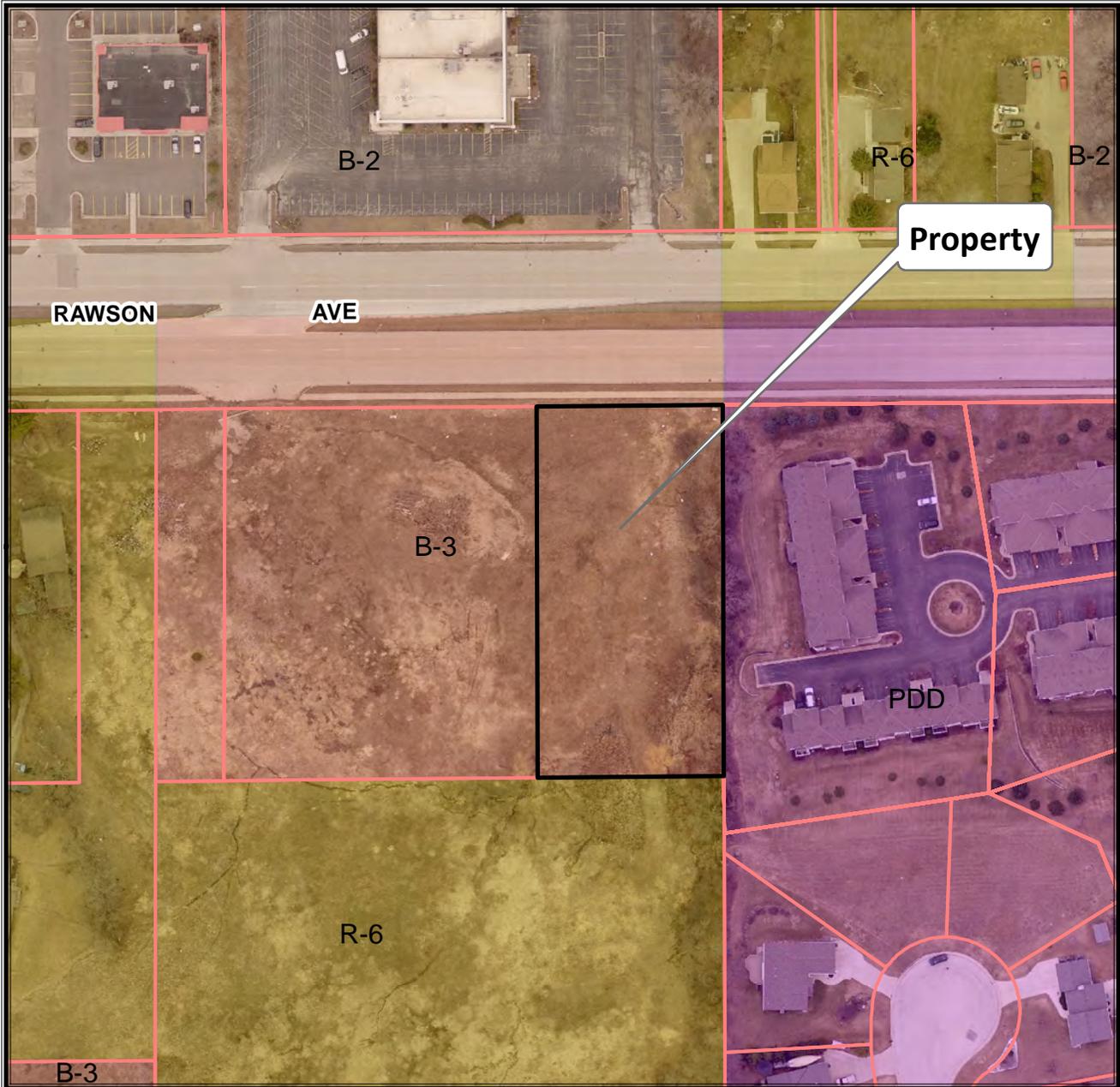
\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

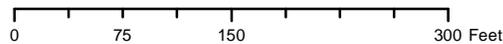
\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

7215 W. Rawson Ave.  
TKN: 756 9993 017

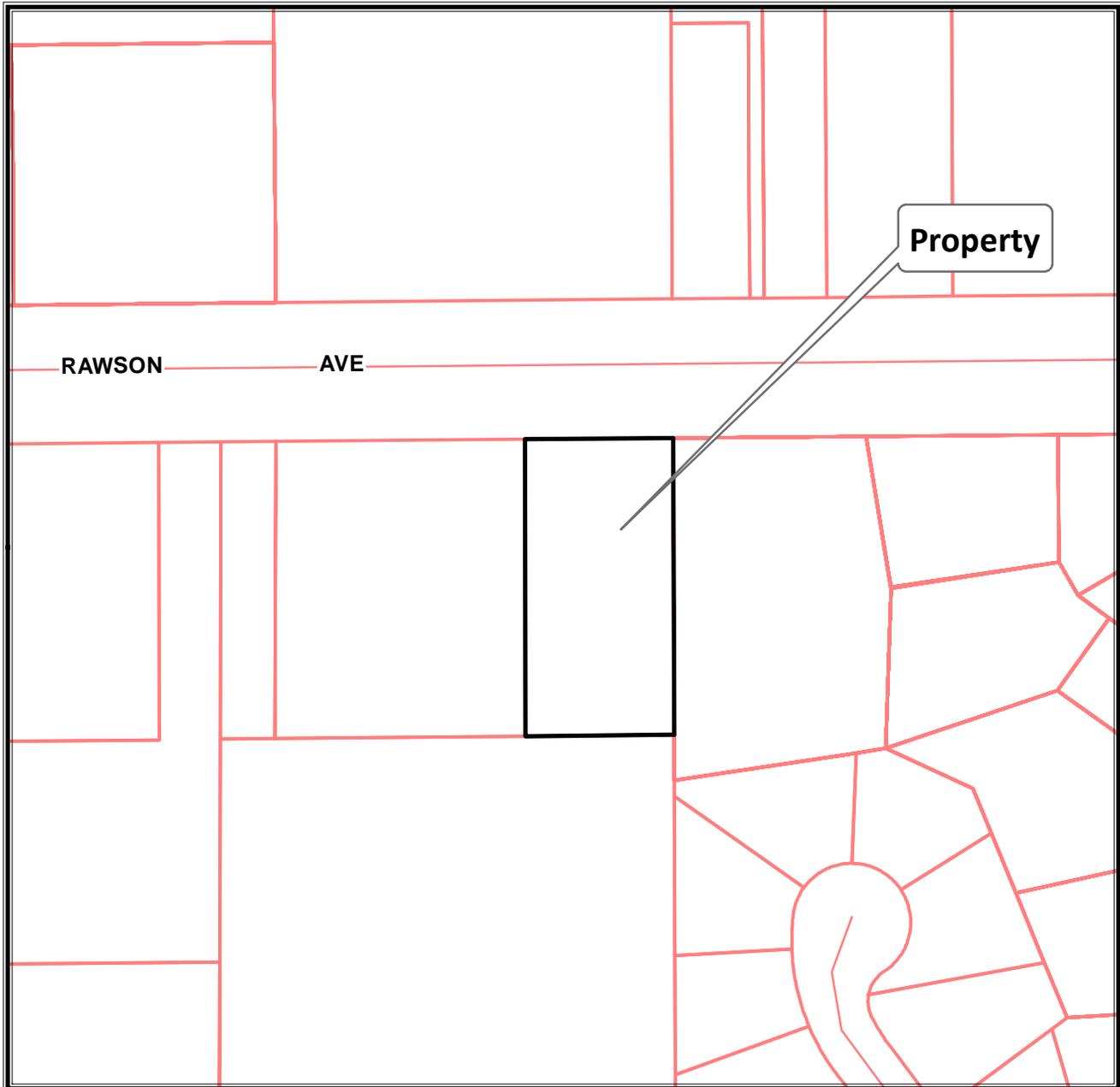


**Planning Department**  
**(414) 425-4024**

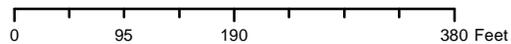


*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

7215 W. Rawson Ave.  
TKN: 756 9993 017



**Planning Department**  
**(414) 425-4024**



*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





N173 W21010

Northwest Passage Way

Jackson, WI 53037



Tel: 262.677-9933

Fax: 262.677.9934

September 29th, 2016

City of Franklin  
9229 West Loomis Road  
Franklin, WI 53132  
Attn: Nick Fuchs

### Project Summary

Dear Mr. Fuchs:

Charles Anderson with Anderson Family Dental is proposing to open a new dental clinic in the City of Franklin. He currently has an existing dental clinic in Franklin and he is looking to open up his own space nearby at 7215 W Rawson. The site is currently undeveloped with a temporary access point off of Rawson. To better suit Franklin's plan for a future road to the west with the adjacent cross easement for future traffic, Dr. Anderson is willing to provide the cross easement access road to his site that will connect off of the existing curb cut on Rawson Ave directly west of his site. This will promote future development on the adjacent site to the west as well as fulfill the future land use plan set forth by the City of Franklin for a future road indicated on CSM 6811.

The proposed site development will ensure the existing wetlands are undisturbed while also filtering all site run through a rain garden. The proposed building footprint will be approximately 3,324 sf. and will be located on the north-west parcel of the site. Parking for this development will be provided in a double loaded parking lot with an additional single loaded parking lot for employee parking.

The building design has a residential feel that fits well with the nearby residential development aesthetics. The primary building materials will be a combination of manufactured stone and fiber cement siding, shake, and trim. The building also has unique architectural overhangs with white accent brackets that add to distinctive design of the building. The glazing will be fixed fiberglass windows and the roof will be an architectural asphalt shingle. The total cost of the building is estimated to be \$734,968.

Please refer to the provided submittal for additional clarification. If you have any questions or concerns regarding this proposed development please contact my office.

Sincerely,

Shaun Sullivan  
Architect  
Design 2 Construct

## **Anderson Dental Clinic**

**October 21, 2016**

### **Wetland Buffer Mitigation**

Wetland Buffer Mitigation for the Anderson Dental Clinic property was previously proposed in a Wetland Mitigation Report prepared by Northern Environmental, dated April 20, 2007. This Report states that mitigation on this site is not required by the WDNR because “project impacts remain outside the wetland boundary”. The report further states that in order to meet the requirements of the City of Franklin UDO, that “mitigation would be needed for the wetland buffer impacts”. This mitigation was determined to be at ratio of 1.5:1 times the combined impacted areas of the 30’ wetland buffer and the 50’ wetland setback.

These originally proposed mitigation practices included 834 SF of wet meadow wetland creation, 10,701 SF of wetland enhancement, and 5,911 SF of wetland buffer enhancement. To our knowledge, none of these mitigation practices were ever constructed.

The Anderson Dental Clinic has a much smaller impact upon the 30’ wetland buffer and the 50’ wetland setback, than did the previous development proposal. This means that the mitigation area required will also be much smaller. The previous development impacts totaled 14,220 SF, requiring 21,330 SF of mitigation. The current development proposal has only 7,195 SF of impact, requiring 10,792 SF of wetland buffer mitigation.

The current Anderson Dental Clinic includes a proposed Rain Garden to treat storm water runoff before it reaches the wetlands. This proposed rain garden provides a major improvement over the previous mitigation proposal. All undeveloped areas located immediately upstream of the wetlands will be scarified and replanted with native meadow/prairie vegetation. The native prairie planting will cover at least 10,792 SF as a wetland buffer enhancement, mitigation practice. Additionally, native tree species, such as red oak, white spruce, and hackberry, will be planted within the new native prairie areas.

## Exhibit A

### Legal Description for proposed Conservation Easement:

A part of Parcel 1 of Certified Survey Map No. 6811, being a part of the Northwest  $\frac{1}{4}$  of the Northwest  $\frac{1}{4}$  of Section 10, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin. Commencing at the Northeast corner of said Parcel 1, thence South  $00^{\circ}07'57''$  10.26 feet to the point of beginning of the easement to be described; thence South  $00^{\circ}07'57''$  East 289.74 feet to a point; thence South  $89^{\circ}21'01''$  West 150.00 feet to a point; thence North  $00^{\circ}07'57''$  West 42.72 feet to a point; thence North  $81^{\circ}35'15''$  East 20.76 feet to a point; thence North  $43^{\circ}25'56''$  East 33.74 feet to a point; thence South  $23^{\circ}11'49''$  East 22.45 feet to a point; thence North  $82^{\circ}30'42''$  East 33.03 feet to a point; thence North  $19^{\circ}13'40''$  East 88.75 feet to a point; thence North  $00^{\circ}32'59''$  West 153.38 feet to a point; thence North  $89^{\circ}52'03''$  East 36.34 feet to the point of beginning; containing 0.40 acres of land.

Site Address: 7215 W. Rawson Avenue, Franklin, Wisconsin



N173 W21010

Northwest Passage Way

Jackson, WI 53037



Tel: 262.677-9933

Fax: 262.677.9934

September 29th, 2016

City of Franklin  
9229 West Loomis Road  
Franklin, WI 53132  
Attn: Nick Fuchs

Legal Description of 7215 West Rawson Ave:

Parcel 1 of Certified Survey Map No. 6811, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 10, Township 5 North, Range 21 East, in the City of Franklin, Milwaukee County, Wisconsin.

Please refer to the provided CSM 6811 for additional clarification. If you have any questions or concerns regarding this proposed development please contact my office.

Sincerely,

Shaun Sullivan  
Architect  
Design 2 Construct



**PRELIMINARY  
FOR REVIEW ONLY**



# LEGEND

	WETLAND
	30' WETLAND BUFFER IMPACTED
	50' WETLAND SETBACK IMPACTED

	Total Area (sf)	Area Impacted (Impervious/Grading in 30')	Area Protected (sf)	% Impacted (Impervious/Grading in 30')	% Protected
Wetland	10,154 sf	0 sf	10,154 sf	0%	100%
30' Wetland Buffer	12,213 sf	4,141 sf	8,072 sf	34%	66%
50' Wetland Setback	6,383 sf	2,848 sf	3,535 sf	45%	55%
<b>Total</b>	<b>28,750 sf</b>	<b>6,989 sf</b>	<b>21,761 sf</b>		

WETLAND DELINEATION BY:  
WETLAND & WATERWAY COSULTING, LLC  
REPORT DATED 6/23/16

**PRELIMINARY  
FOR REVIEW ONLY**

## Site Engineering Services

2920 Oakwood Road  
Hartland, WI 53029  
262-367-4960 office  
marty.worden@att.net email  
Martin D. Worden, PE  
Civil Engineer/Consultant



# NATURAL RESOURCE PRESERVATION

7215 W. Rawson Ave.  
Franklin, Wisconsin

SCALE: 1" = 40'

PROJECT NO. 16022

DATE: 9/28/2016

SHEET NUMBER

—



NORTHWEST PERSPECTIVE

Anderson Family Dental  
7215 W. Rawson Ave - Franklin, WI

**DESIGN**  
**2**  
**CONSTRUCT**  
DEVELOPMENT CORPORATION

N173 W21010  
NORTHWEST PASSAGE WAY  
JACKSON, WI 53037

PHONE 262.677.9933  
FAX 262.677.9934

info@design2construct.com



NORTHEAST PERSPECTIVE

Anderson Family Dental  
7215 W. Rawson Ave - Franklin, WI

**DESIGN**  
**2**  
**CONSTRUCT**  
DEVELOPMENT CORPORATION

N173 W21010  
NORTHWEST PASSAGE WAY  
JACKSON, WI 53037

PHONE 262.677.9933  
FAX 262.677.9934

info@design2construct.com



NORTHEAST BIRDS EYE

Anderson Family Dental  
7215 W. Rawson Ave - Franklin, WI

**DESIGN**  
**2**  
**CONSTRUCT**  
DEVELOPMENT CORPORATION

N173 W21010  
NORTHWEST PASSAGE WAY  
JACKSON, WI 53037

PHONE 262.677.9933  
FAX 262.677.9934

info@design2construct.com




DESIGN  
•  
CONSTRUCTION

PHONE (262) 677-9933  
FAX (262) 677-9934

•  
N173 W21010  
NORTHWEST PASSAGE WAY  
JACKSON, WI 53037

**BUILDING DESIGN FOR:**  
**ANDERSON FAMILY DENTAL**  
7218 S 76TH STREET  
FRANKLIN, WISCONSIN 53132

**PROJECT DATA: SHEET INDEX:**

<b>BUILDING CODE:</b> 2009 INTERNATIONAL BUILDING CODE	
<b>OCCUPANCIES:</b>	BUSINESS: B
<b>CLASS OF CONSTRUCTION:</b> TYPE VB	
<b>NO. OF STORIES:</b>	ONE w/ BASEMENT
<b>BUILDING TYPE:</b>	DENTAL CLINIC
<b>AREAS (GROSS):</b>	
BUSINESS:	2,551 SF
STORAGE:	596 SF
TOTAL:	3,147 SF
<b>AREAS (GROSS):</b>	
BUSINESS (WORST CASE):	9,000 SF
FRONTAGE INCREASE:	3,407 SF
TOTAL:	12,407 SF
<b>OCCUPANCY SEPARATIONS:</b> NONE: NON-SEPARATED USES METHOD USED	
<b>OCCUPANT LOAD:</b>	
BUSINESS (100 SF/OCC.):	26 OCC
STORAGE (300 SF/OCC.):	2 OCC
TOTAL:	28 OCC
<b>EXIT WIDTH (.20" PER OCCUPANT):</b>	
REQUIRED:	5.6 (72" MINIMUM)
PROVIDED:	116"
<b>STAIR WIDTH (.30" PER OCCUPANT)</b>	
REQUIRED:	8.4
PROVIDED:	72"
<b>EXIT DISTANCES:</b>	
BUSINESS (WORST CASE):	200'
<b>SANITARY REQUIREMENTS:</b>	
REQUIRED (MALE):	1 WC, 1 LAV
PROVIDED (MALE):	1 WC, 1 LAV
REQUIRED (FEMALE):	1 WC, 1 LAV
PROVIDED (FEMALE):	1 WC, 1 LAV
GENERAL:	1 SERVICE SINK

**NOTES:**  
DRINKING WATER IS PROVIDED FOR ALL OCCUPANTS VIA BOTTLED WATER.  
TWO UNISEX TOILETS ARE PROVIDED TO MEET FIXTURE COUNT.  
ONE UNISEX TOILET IS PROVIDED FOR THE PUBLIC & ONE UNISEX TOILET IS PROVIDED FOR THE EMPLOYEES OF PATIENTS UNDERGOING PROCEDURES.

TS	TITLE SHEET
<b>CIVIL DRAWINGS</b>	
CE-2	SITE PLAN & PAVING PLAN
CE-3	GRADING & EROSION CONTROL PLAN
CE-4	SITE PLUMBING PLAN
CE-5	DETAILS
CE-6	DETAILS
<b>LANDSCAPE DESIGN DRAWINGS</b>	
LS1	LANDSCAPE PLAN
<b>ARCHITECTURAL DRAWINGS</b>	
A1.0	SITE PLAN
G1.0	SCHEDULES, NOTES, SYMBOLS & DETAILS
G2.0	ADA INFORMATION SHEET
A2.0	BASEMENT FLOOR PLAN & LIFE SAFETY PLANS
A2.1	FIRST FLOOR PLAN
A3.0	BASEMENT REFLECTED CEILING PLAN
A3.1	FIRST FLOOR REFLECTED CEILING PLAN
A4.0	EXTERIOR ELEVATIONS
A5.0	BUILDING SECTIONS
A5.1	WALL SECTIONS
A5.2	WALL SECTIONS
A6.0	ROOF PLAN
A7.0	INTERIOR ELEVATIONS
<b>STRUCTURAL DRAWINGS</b>	
S001	GENERAL NOTES
S002	GENERAL NOTES
S100	FOUNDATION PLAN
S200	FIRST FLOOR FRAMING PLAN
S201	ROOF FRAMING PLAN
S400	STRUCTURAL DETAILS
S401	STRUCTURAL DETAILS
S402	STRUCTURAL DETAILS

**PROJECT CONTACTS**

**CIVIL CONSULTANT**  
SITE ENGINEERING SERVICES  
2920 OAKWOOD ROAD  
HARTLAND, WI 53029  
MARTY WORDEN  
marty.worden@att.net  
OFF: (262) 367-4960

**ARCHITECT**  
MARK HERTZFELDT

**PROJECT MANAGER**  
SHARON REITSMA

**PROJECT NO.**  
16-00141

**LANDSCAPE CONSULTANT**  
SCHAEFER LAND DESIGN  
405 N. PAGE STREET  
STOUGHTON, WI 53589  
JIM SCHAEFER  
jschaefer@sbglobal.net  
OFF: (608) 225-7946

**DATE**  
10.26.2016

**SEAL**

**STRUCTURAL CONSULTANT**  
PIERCE ENGINEERS  
241 N. BROADWAY, SUITE 500  
MILWAUKEE, WI 53202  
ERIC DOHRMANN  
EMD@pierceneengineers.com  
OFF: (414) 988-7465  
FAX: (414) 278-6061

**DENTAL CONSULTANT**  
PATTERSON DENTAL SUPPLY, INC  
N8 W22350 JOHNSON RD. SUITE 8  
WAUKESHA, WI 53186  
DAVE HENNINGS  
dave.hennings@pattersondental.com  
OFF: (800) 242-0630  
FAX: (262) 408-4101

PREV. TRANS. NO.:  
NEW TRANS. NO.: 2776053  
REVIEWER: MOKTAR TAAMALLAH




BUILDING DESIGN FOR:  
**ANDERSON FAMILY DENTAL**  
7215 W. RAWSON AVENUE  
FRANKLIN, WISCONSIN 53132

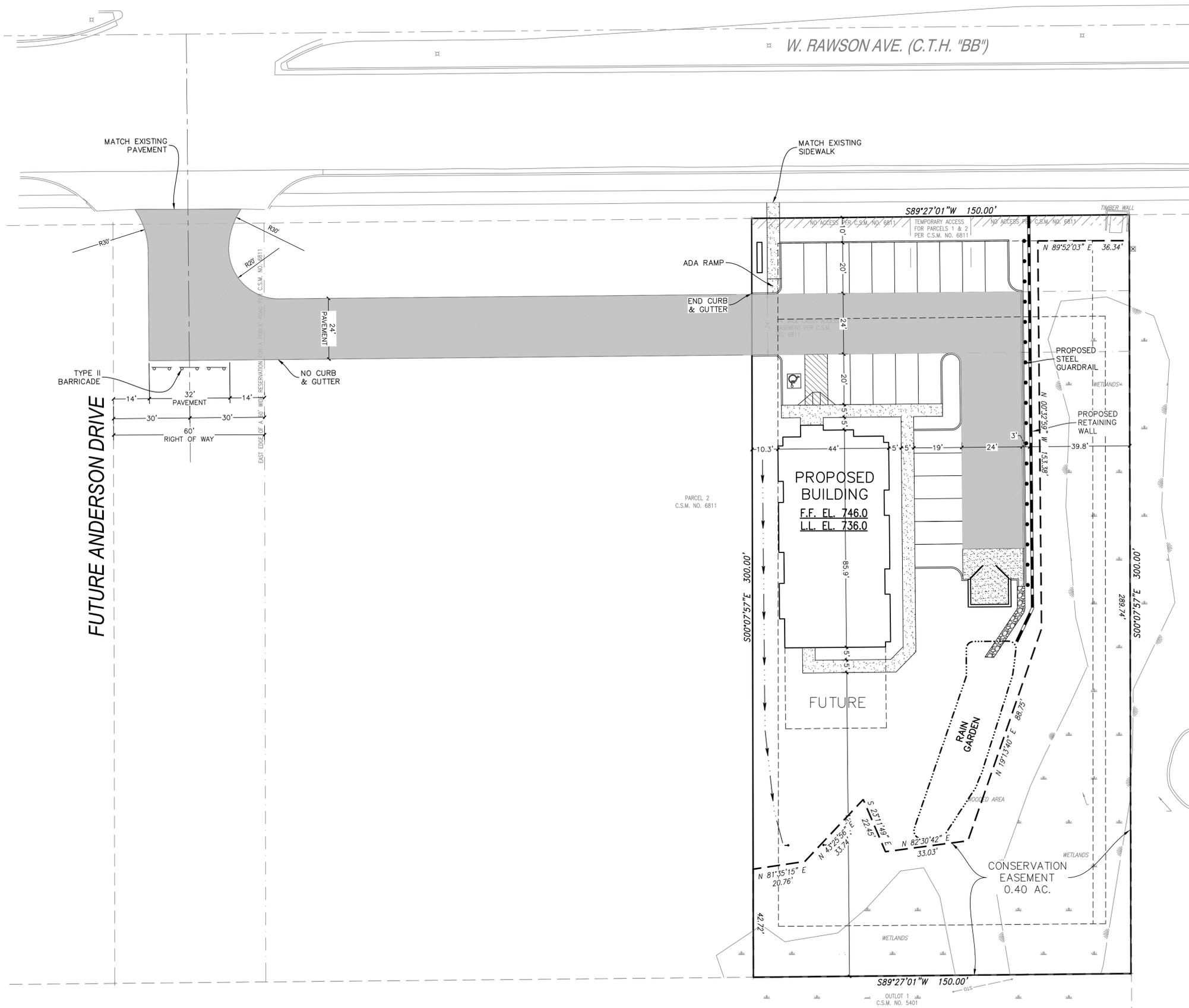
**SHEET TITLE**  
TITLE SHEET

**REVISIONS**

<b>PROJECT DATA</b>	
DATE	10.26.2016
JOB NO.	16-00141
SET USE	PERMIT & BIDDING
FILE NAME	A1-TS
DRAWN BY	SDS, BW
SHEET NO.	TS

**TS**

**PRELIMINARY  
NOT FOR CONSTRUCTION**

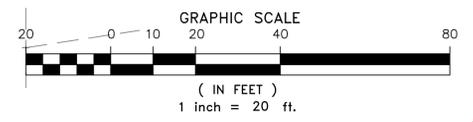


### LEGEND

	PROPOSED LIGHT-DUTY ASPHALT PAVEMENT
	1 1/2" HMA SURFACE COURSE
	1 1/2" HMA BINDER COURSE
	9" CRUSHED STONE BASE
	COMPACTED SUBGRADE
	PROPOSED HEAVY-DUTY ASPHALT PAVEMENT
	1 1/2" HMA SURFACE COURSE
	2 1/2" HMA BINDER COURSE
	12" CRUSHED STONE BASE
	COMPACTED SUBGRADE
	PROPOSED RETAINING WALL

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

TOPOGRAPHIC SURVEY PROVIDED BY:  
CHAPUT LAND SURVEYS  
234 WEST FLORIDA STREET  
MILWAUKEE, WI 53204  
DATED 9/27/2016 BY: DONALD C. CHAPUT, RLS



DATE	DESCRIPTION	ISSUE	PROJECT TEAM
X-XX-XX		1	
	PROJECT MANAGER: intob		
	PROJECT ENGINEER: intob		
	DESIGNER: intob		
	CAD TECHNICIAN: LDH		

<b>Site Engineering Services</b>	
2920 Oakwood Road Lafayette, WI 53003 262-367-1490 office marty.worden@att.net email	
Martin D. Worden, PE Civil Engineer/Consultant	

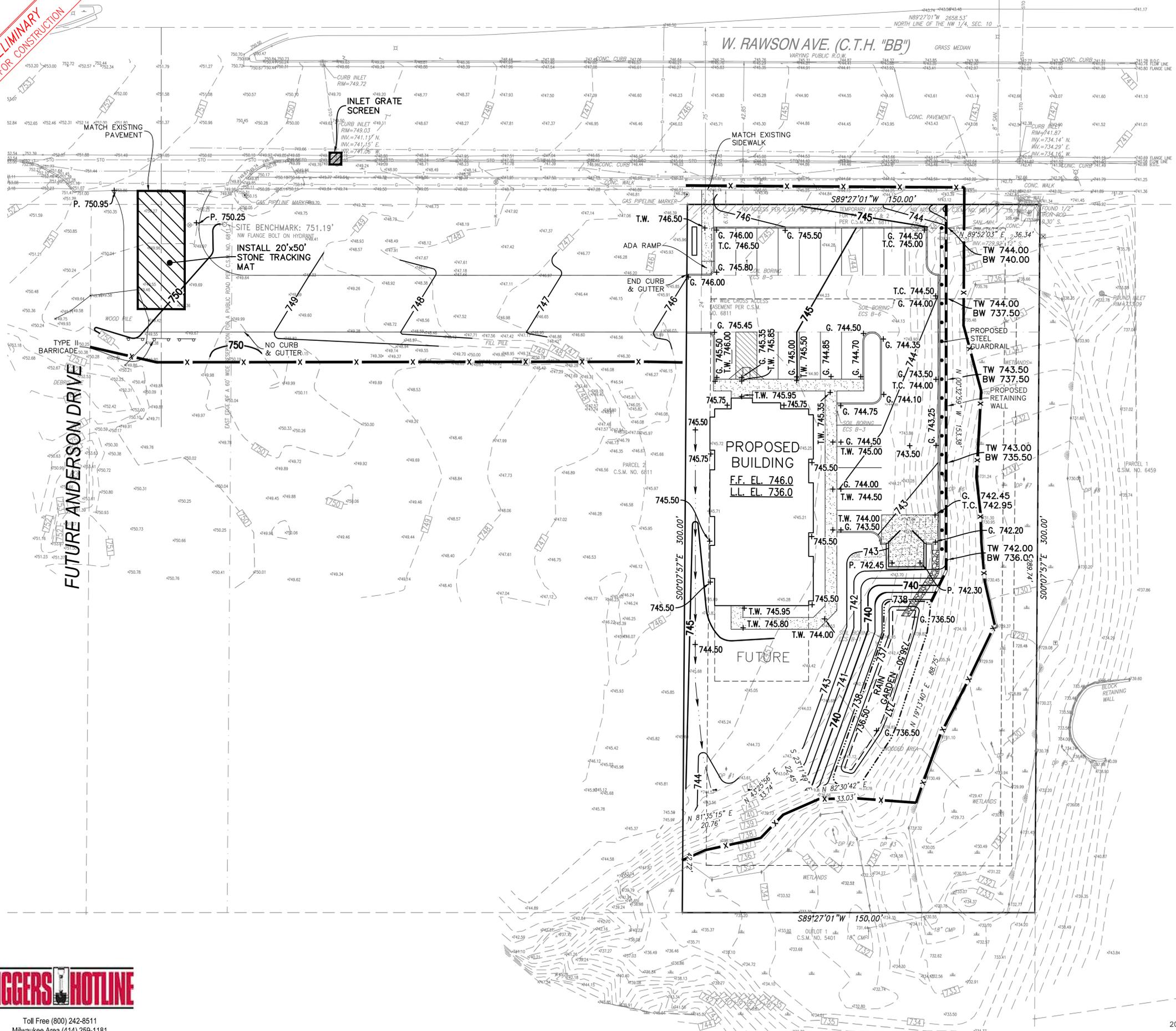
<b>SITE PLAN &amp; PAVING PLAN</b>	
for Anderson Family Dental	
7215 W. Rawson Ave., Franklin, Wisconsin	

SCALE: 1"=20'
PROJECT NO. 16022
DATE: 10/21/2016
SHEET NUMBER
CE-2

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**PRELIMINARY  
NOT FOR CONSTRUCTION**

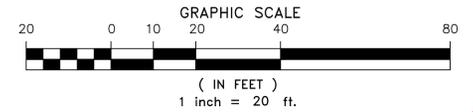


### LEGEND

- + T.W. 61.50 TOP OF WALK
- + T.W. 61.50 TOP OF WALL
- + B.W. 61.50 BOTTOM OF WALL
- + P. 61.50 PAVEMENT GRADE
- + G. 61.50 GUTTER GRADE
- + T.C. 61.50 TOP OF CURB GRADE
- ◻ RIM 61.50 PROPOSED CATCH BASIN/ELEV
- 62 PROPOSED CONTOURS
- EXISTING CONTOURS
- X SILT FENCE
- ◻ INLET GRATE SCREEN
- ▨ STONE TRACKING MAT

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

TOPOGRAPHIC SURVEY PROVIDED BY:  
CHAPUT LAND SURVEYS  
234 WEST FLORIDA STREET  
MILWAUKEE, WI 53204  
DATED 9/27/2016 BY: DONALD C. CHAPUT, RLS



Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

DATE	DESCRIPTION	ISSUE	PROJECT TEAM	PROJECT MANAGER	DESIGNER	CAD TECHNICIAN	DATE	
		I		intols	intols	LDH		
<b>Site Engineering Services</b> 2920 Oakwood Road Milwaukee, WI 53207 262-367-4960 office 262-367-4960 cell martyn.warden@att.net email Martin D. Warden, PE Civil Engineer/Consultant								
<b>GRADING &amp; EROSION CONTROL PLAN</b> for <b>Anderson Family Dental</b> 7215 W. Rawson Ave., Franklin, Wisconsin								
SCALE: 1"=20'								
PROJECT NO. 16022								
DATE: 10/21/2016								
SHEET NUMBER								
CE-3								

**PRELIMINARY  
NOT FOR CONSTRUCTION**

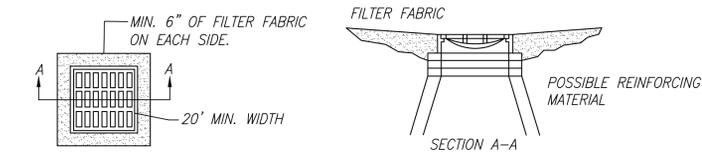


**General Construction Notes:**

- No fill shall be placed on a wet, or soft, subgrade. The subgrade shall be proof rolled before any base material is placed.
- The Contractor shall maintain site drainage throughout the construction period. This may include the excavation of temporary ditches, or pumping to alleviate water ponding.
- The Contractor shall notify the project owner and the municipality forty-eight (48) hours prior to the start of construction.
- The Municipality shall have the authority to inspect, approve, and reject the construction of the improvements detailed in this project.
- The Contractor shall indemnify the owner, the Engineer, the Municipality, and their agents from all liability involved with the construction, installation, and testing of the work on this project.
- The Bidder shall be solely responsible for determining quantities, and shall state such quantities in his proposal. He shall base his bid on his own estimate of the work required and shall not rely on the Engineer's Opinion of quantities.
- The Contractor is responsible for verifying soil conditions prior to the start of construction. A Geotechnical Report may be available from the Owner.
- The Contractor is responsible for examining all site conditions prior to the start of construction. If site conditions do not match the plans, the Contractor shall notify the Owner and Engineer immediately, to allow for possible plan revisions.
- The Contractor shall obtain and pay for all permits required to perform the work. The Contractor shall conduct his work according to the requirements of the permits.
- The Contractor is responsible to field verify all utility information shown on the plans prior to the start of construction. The Contractor shall call Digger's Hotline to notify the utilities of his intentions, and to request field marking of all existing utilities.
- Silt fence, inlet screens, and other erosion control facilities shall be installed prior to construction, or other land disturbing activity.

**Grading and Erosion Control Notes:**

- The proposed improvements shall be constructed according to the Wisconsin Standard Specifications for Road and Bridge Construction, latest edition, and the local ordinances and specifications.
- Grading shall consist of installation and maintenance of erosion control measures, tree clearing and grubbing, stripping topsoil and vegetation, storage and replacement of topsoil, excavation, borrow, haul, placement of fill material, pick-up and placement of excess utility trench and footing spoils, soil compaction, fine grading, removal of excess soil from the site, and final clean-up. All materials shall be provided by the contractor.
- Erosion Control shall consist of installation and maintenance of erosion control measures, silt fence, tracking mat, inlet screens, erosion mat, straw bales, seeding, and final clean-up. All materials shall be provided by the contractor.
- Topsoil, and any other unsuitable soils, shall be removed prior to placing any structural fill material. All fill materials shall meet the project specifications, or be approved by the Owner's Geotechnical Engineer.
- Place and compact satisfactory soil material in layers (maximum 10" lift thickness) to required elevations. Use solid material free of debris, vegetable matter, waste, and frozen materials, and free of particles larger than 2 inches in any dimension. On-site soils are considered to be contaminated. Non-organic, structurally sound soils that are excavated on-site may be re-used as structural fill on-site, as directed by the Geotechnical Engineer. If sufficient volumes of on-site structural fill is not available, Contractor shall import clean structural fill material from off-site.
- A Landscaping Plan is available from the Owner to show the final treatment of landscaped areas of the site.
- Geotextile Fabric: Non-woven geotextile fabric with a minimum weight of 4 ounces per square yard. Acceptable products include: Geotex NW-401, by SI Geosolutions, and 120 NW, by US Fabric.
- The Contractor shall have the retaining wall designed by a Registered Professional Engineer, and submit the design to the Owner for approval prior to construction. The retaining wall shall be constructed using modular concrete retaining wall blocks with a minimum of 75 lbs. each.

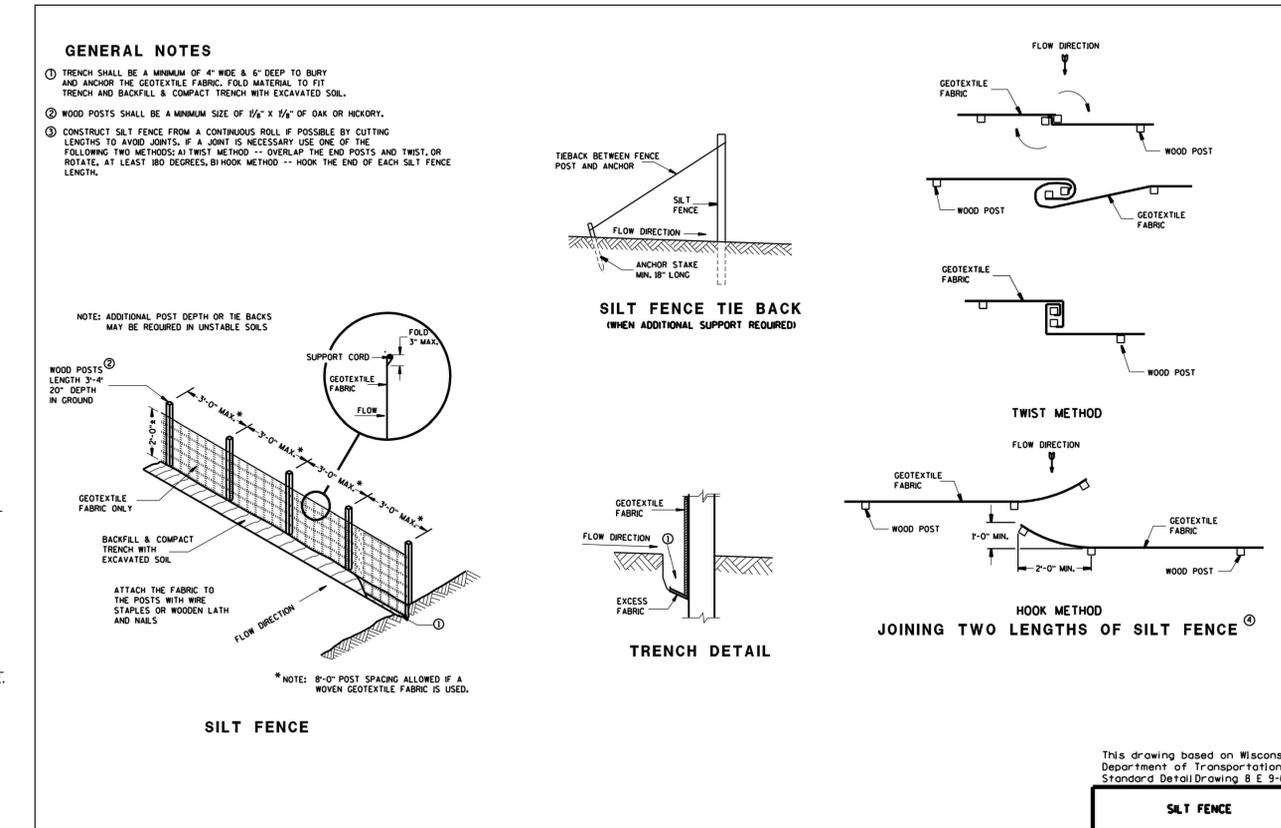


- NOTES:**
- REMOVE INLET GRATE AND PLACE A SINGLE SHEET OF FILTER FABRIC ACROSS THE OPENING. THE FABRIC SHOULD EXTEND AT LEAST 6" BEYOND THE INLET OPENING. A REINFORCING MATERIAL MAY BE REQUIRED TO PREVENT SAGGING.
  - SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR AT A DEPTH OF 1". EXTREME CARE SHALL BE TAKEN NOT TO SPILL ACCUMULATED SEDIMENT INTO INLET, WHEN CLEANING OR REPLACING FILTER FABRIC.
  - FILTER FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
    - GRAB STRENGTH: 100 LBS. (ASTM D-1682)
    - MULLEN BURST: 200 PSI MIN. (ASTM D-3786)
    - EQUIVALENT OPENING SIZE: BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15% BY WEIGHT PASSING A #200 SIEVE. BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15% BY WEIGHT PASSING A #200 SIEVE.
    - WATER FLOW RATE OF 10 GAL/MIN/SQ. FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
    - ULTRA VIOLET RADIATION STABILITY OF 90%
    - IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT

**INLET GRATE SCREEN DETAIL**

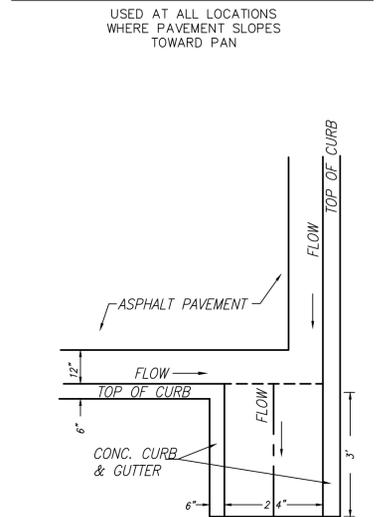
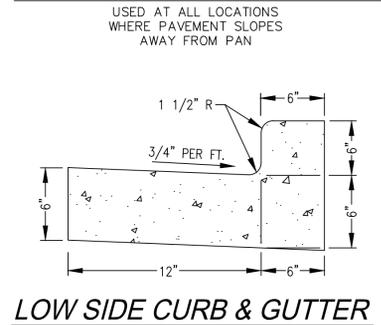
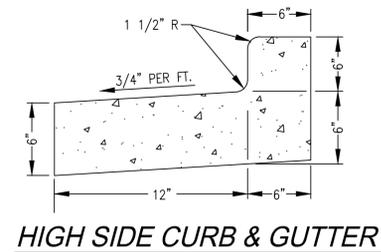
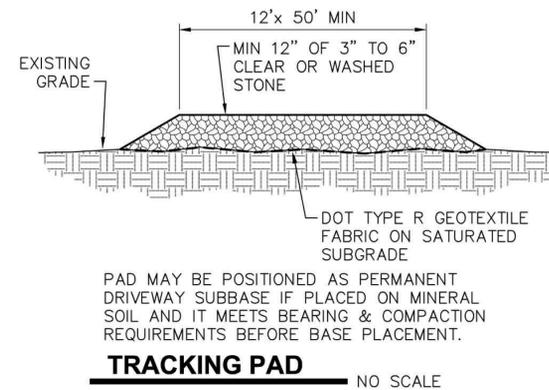
**Site Plumbing Notes:**

- The proposed improvements shall be constructed in accordance with the Wisconsin Administrative Code, latest edition, the Standard Specifications for Sewer and Water Construction in Wisconsin, latest edition, and the local ordinances and specifications.
- Materials for public water main and private water lateral shall be as follows:
  - 6" diameter and larger, shall be PVC pipe conforming to AWWA C-900 with push-on, elastomeric ring gasket joints conforming to ASTM D-1869. A continuous tracer wire shall be installed for the length of the water lateral.
  - Bends and fittings shall be mechanical joint, Ductile Iron, Conforming to AWWA C-111. All metal pipe and fittings shall be wrapped in polyethylene per section 4.4.4 of the Standard Specifications.
  - Gate valves shall be Mueller #2360 series, or Waterous #2500 series.
  - Valve boxes shall be Tyler or East Jordan "DD" three piece, with adapters.
  - Bedding and cover material for water lateral trench shall be sand.
- The Contractor shall install concrete buttresses at all bends, tees, hydrants, and dead ends of the water main and water lateral. Ends of the pipe that cannot be buttressed shall be strapped with threaded rods. See Buttress and strapping details in the Standard Specifications.
- The Contractor shall pressure test, chlorinate, and obtain a safe water sample before the water main, or lateral, can be placed in service. The pressure test shall begin at the new gate valve at the 12' water main, and continue to the building riser.
- Materials for both sanitary sewer, and storm sewer pipe, manholes, and inlets, shall be as follows:
  - Pipe 12" diameter and larger shall be reinforced concrete, ASTM C-76, or HDPE, ASTM 2648.
  - Pipe smaller than 12" diameter shall be PVC, SDR-35, ASTM D-3034 with rubber gasket joints.
  - Trench section shall be Class B for sanitary sewer, Class C for storm sewer.
  - Manholes and inlets shall be precast concrete, ASTM D-478. Sanitary manholes shall have rubber joints, and chimney seals meeting ASTM C-923.
  - Castings for manholes and inlets shall be cast iron, Neenah or approved equal. All castings in pavement shall be "heavy duty".
- All adjustments to manholes and inlets shall be made with precast concrete rings, or concrete brick. All manholes shall include at least one precast adjusting ring, for future adjustment. The maximum adjustment shall not exceed 12".
- All connections to existing structures shall be cored connections.
- The Contractor shall barricade all open excavations, especially during non-working hours.
- Extreme caution must be followed regarding the compaction of all utility trenches. Compacted granular backfill is required in all utility trenches that are located within 5 feet of a building, pavement, or sidewalk. The cost of this material is considered incidental and shall be included in the cost of the proposed utility.
- The Contractor is responsible for providing the Owner with a set of marked-up plans showing all changes made during the construction process.
- A minimum 18 gauge, insulated, single-conductor, copper tracer wire shall be installed along the length of all non-metallic pipe. Tracer wire shall be installed 6" above the pipe and shall be accessible at all manholes, inlets, valves and hydrants. Tracer wire insulation color shall be blue for water, green for sanitary, and brown for storm sewer. Tracer wire conductivity shall be tested prior to installation.



**Paving Notes:**

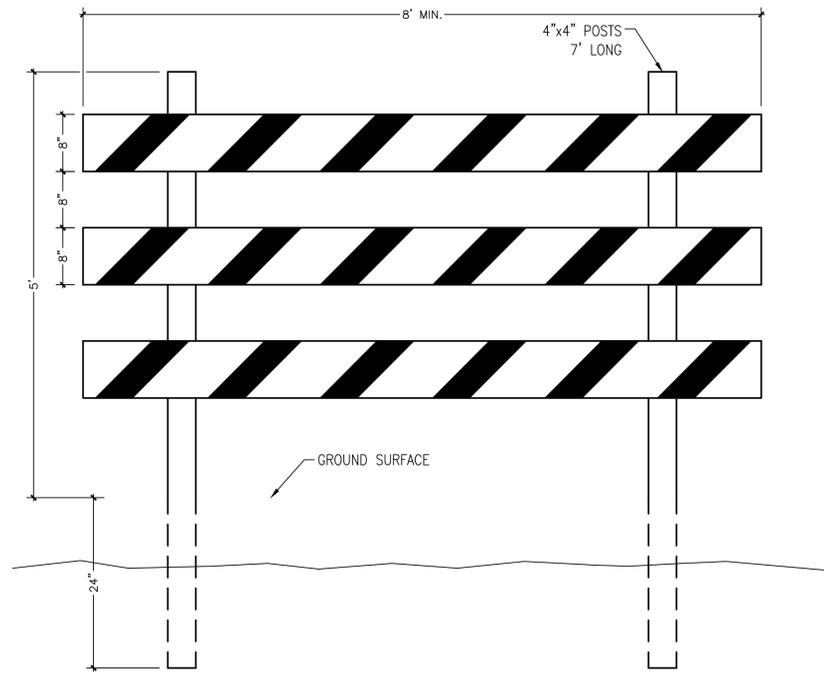
- The proposed improvements shall be constructed according to Wisconsin Standard Specifications for Road and Bridge Construction, latest edition, and the local ordinances and specifications.
- Paving shall consist of fine grading and final compaction of the soil sub-base, and the base course material, installation of the crushed stone base course and bituminous pavement, and final clean-up. All materials shall be provided by the contractor.
- Aggregates used for the crushed stone base shall be 1 1/2" crushed stone (traffic bound), Gradation No. 1, as defined in sub-section 304.2.6 of the Standard Specifications.
- Aggregates used in the bituminous concrete binder course shall conform to Gradation No. 2 of sub-section 401.2.5 of the Standard Specifications. Aggregates for bituminous surface course shall conform to Gradation No. 3.
- Hot Mix Asphalt pavement shall be Superpave E-0.3 in accordance with section 460 of the Standard Specifications.
- Asphalt in bituminous pavement shall be Performance Graded binders (PG 64-22) in accordance with section 455 of the Standard Specifications.
- Concrete for curb and gutter, driveways, sidewalk, ramps, and dumpster pads shall conform to the "Standard Specifications for Ready-mixed Concrete", ASTM designation C-94, and shall contain six (6) sacks of cement per cubic yard. Minimum 28 day compressive strength shall be 3,500 PSI. A curing membrane is required for all exposed concrete.
- This contract includes pavement marking and traffic signage. Parking spaces, and cross-walks shall be painted with an approved traffic paint. Stripes shall be 4" wide unless otherwise noted.



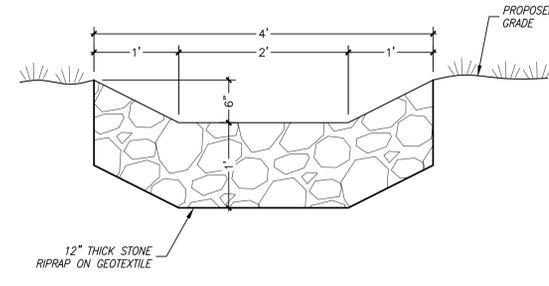
DATE	DESCRIPTION	ISSUE	PROJECT TEAM
X-XX-XX		1	PROJECT MANAGER: intals PROJECT ENGINEER: intals DESIGNER: intals CAD TECHNICIAN: LDH
<b>Site Engineering Services</b> 2920 Oakwood Road 5th Floor 262-167-4960 office martyn.warden@att.net email Martin D. Warden, PE Civil Engineer/Consultant			
<b>SPECIFICATIONS &amp; DETAILS (1)</b> for Anderson Family Dental 7215 W. Rawson Ave., Franklin, Wisconsin			
SCALE: 1"=20'			
PROJECT NO. 16022			
DATE: 10/17/2016			
SHEET NUMBER			
CE-5			

PRELIMINARY  
NOT FOR  
CONSTRUCTION

**PRELIMINARY  
NOT FOR CONSTRUCTION**

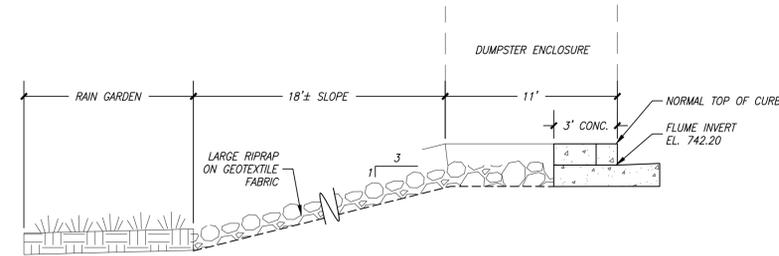


**BARRICADE (TYPE II)**



**RIP RAP FLUME DETAIL**

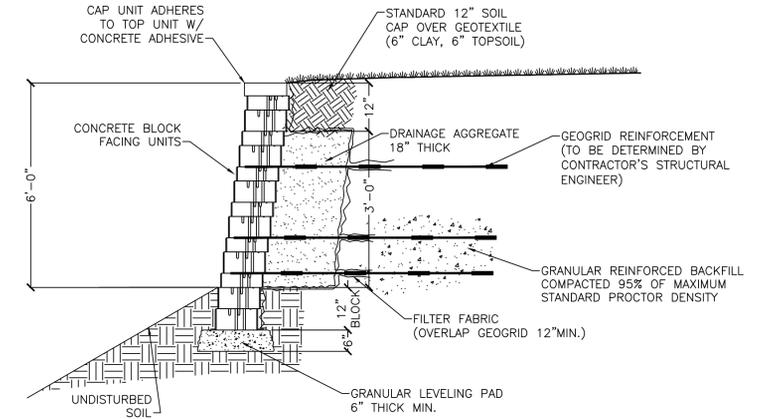
NOT TO SCALE



**PARKING LOT FLUME DETAIL**

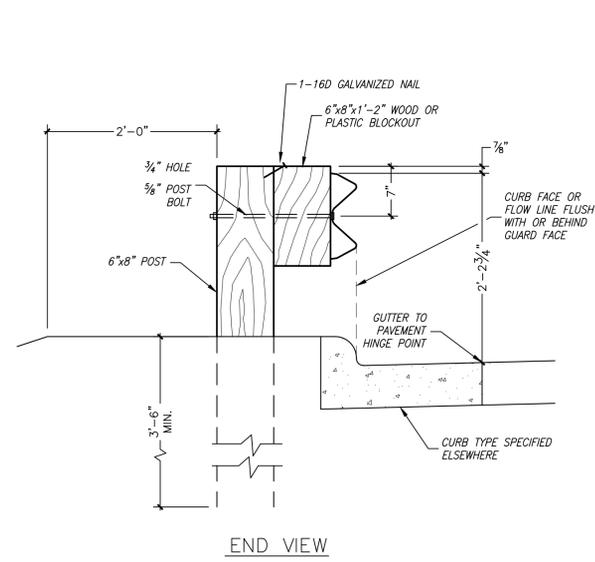
**VIEW WEST**

NOT TO SCALE

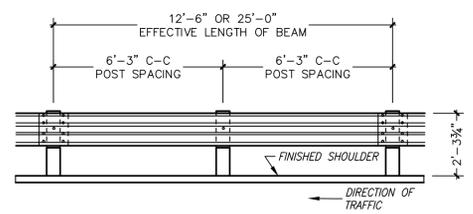


NOTE: THESE PRELIMINARY DETAILS ARE INTENDED AS AN AID IN DESIGNING ATTRACTIVE, DURABLE RETAINING WALLS. FINAL DETERMINATION OF THE SUITABILITY OF ANY INFORMATION OR MATERIAL FOR THE USE CONTEMPLATED AND ITS MANNER OF USE, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. A FINAL PROJECT SPECIFIC DESIGN SHOULD BE PREPARED BY A QUALIFIED, LICENSED, PROFESSIONAL ENGINEER.

**TYPICAL SECTION  
REINFORCED RETAINING  
WALL**



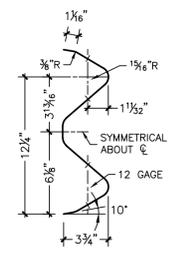
1. W6 X 9 OR W6 X 8.5 STEEL POSTS AND NOTCHED PLASTIC BLOCKOUTS ARE ACCEPTABLE ALTERNATIVES FOR 6"x8" WOOD POSTS WITH WOOD OR PLASTIC BLOCKOUTS. USE APPROVED NOTCHED PLASTIC BLOCKOUTS WITH STEEL POSTS. APPROVED PLASTIC BLOCKOUT DESIGNS MAY VARY FROM THIS TYPICAL DETAIL WHEN USED IN CONJUNCTION WITH STEEL POSTS.  
DO NOT MIX STEEL POSTS AND WOOD POSTS IN A SINGLE INSTALLATION.
2. USE STRUCTURAL STEEL POSTS CONFORMING TO ASTM A 36. GALVANIZED POSTS ACCORDING TO AASHTO M 111. EITHER SET THE POSTS IN DRILLED HOLES OR DRIVE TO GRADE. REMOVE MUSHROOMING CAUSED BY DRIVING AND REPAIR DAMAGED SPLICER COATING ON GALVANIZED POSTS.



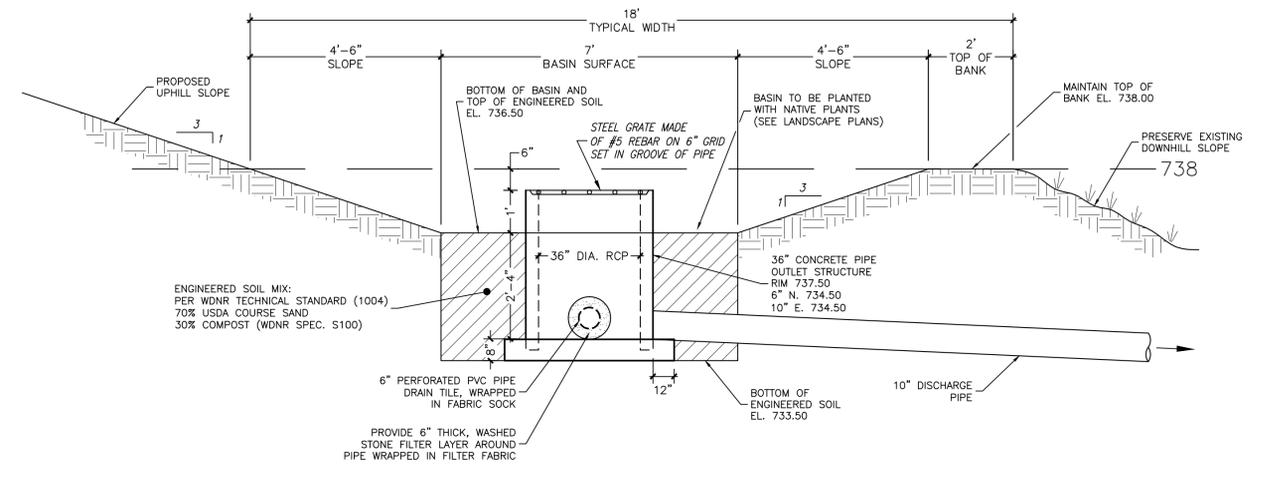
**FRONT VIEW  
POST SPACING STANDARD INSTALLATION**

**GUARDRAIL DETAILS**

NOT TO SCALE



**SECTION THRU  
W BEAM**



**TYPICAL CROSS-SECTION  
OF RAIN GARDEN  
(VIEW NORTH)**

NOT TO SCALE

DATE	DESCRIPTION	ISSUE	PROJECT TEAM
X-XX-XX		1	PROJECT MANAGER: intals PROJECT ENGINEER: intals DESIGNER: intals CAD TECHNICIAN: LDH

**Site Engineering Services**  
2920 Oakwood Road  
Lafayette, LA 70503  
262-367-1490 office  
marty.worden@att.net email  
Martin D. Worden, PE  
Civil Engineer/Consultant



**SPECIFICATIONS & DETAILS (2)**

for  
**Anderson Family Dental**

7215 W. Rawson Ave., Franklin, Wisconsin

SCALE: 1"=20'
PROJECT NO. 16022
DATE: 10/17/2016
SHEET NUMBER <b>CE-6</b>

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

# Planting Notes

## GENERAL

**Digging**  
Contact local Digger's Hotline prior to any digging.

**Topsoil**  
Topsoil shall be classified as a sandy loam soil to silty loam. No organic topsoil from peaty sources will be accepted. Topsoil imported from a local supplier shall be stripped and stockpiled for more than 12 months to be relatively free of viable weed seeds. Topsoil shall be sifted and/or screened to be free of stones and clay lumps, plants or other extraneous materials.

**Fine Grading**  
Inspect site and verify that adequate topsoil has been provided for all seed and planting beds. Remove all trash and stone exceeding 2 inches in diameter from area to a depth of 2 inches prior to bed preparation and planting. Fine grade to within 1/2" of finished grade. All lawn areas to be sloped evenly to sheet drain and approximate contours on grading plan.

## PLANTING

**Substitutions**  
Substitutions or changes of plant species, cultivar, or size at planting must be approved by the owner prior to ordering of materials.

**Plant Staking and Quantities**  
Contractor shall stake tree, shrub, and perennial locations in the field and obtain approval from owner prior to planting. Plantings shown are diagrammatic. Provide additional plant quantities as needed, based on actual field dimensions to satisfy the design intent of the drawings.

**Plant starter mix**  
A 2:1 ratio mix of two parts peat moss and one part manure.

**Trees**  
Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Tree holes to be at least 2 times the spread diameter of the root ball. Use shovel to rough up sides of exposed walls. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

**Shrubs**  
Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

**Perennials**  
Condition topsoil in perennial planting beds by adding 3" plant starter mix. Add bone meal and milorganite, each at the rate of 1-2 lbs. per 100 S.F. Add granular sulfur at the rate of 3-4 lbs. per 100 S.F. Rototill to blend and re-grade as necessary. Set plant depth to be same as grown in nursery. Water-in well.

**MULCHING**  
Install a 3" layer of shredded bark throughout tree, shrub, and perennial planting beds. For trees in lawn, install a 4-5' diameter circle of mulch around each tree. Do not allow mulch to touch plant stems. Contractor shall provide shredded bark mulch from disease-free hardwood trees. Provide generally flat bark, maximum of 1" wide and 4" long, graded down to sawdust, and relatively free of deleterious matter.

**STONE MULCH**  
Install a 2" layer of 3/4" Diameter river rock, over permeable weed cloth barrier as shown on the plans.

## BED EDGING

All turf and perennial planting beds adjacent to turf areas shall be edged with poly-vinyl edging. Install per manufacturer's instructions.

## TURF SEEDING

Proportions by common name by weight

- A. Barron Kentucky bluegrass 20 %
- B. Liberty Kentucky bluegrass 20 %
- C. Pennlawn fescue 20 %
- D. Prelude II perennial ryegrass 20 %
- E. Palmer II perennial ryegrass 20 %

Apply at the rate of 5 Lbs. per 1000 SF.

Method of grass seeding may be varied at discretion of Contractor on their responsibility to establish smooth, uniform turf composed of the grasses specified.

- Spread lawn fertilizer per manufacturer's specifications.
- Do not seed following rain or if surface has been compacted by rain.
- Do not seed when wind velocity exceeds 6 m.p.h.
- Method of mulching may be varied at discretion of contractor. Fiber mulch to be mixed with seed and fertilizer if hydroseeding. Or, protect seeded areas by spreading straw mulch to form a continuous blanket over seeded areas.
- Keep seedbed moist for 4 weeks.

## MEADOW SEEDING

Contractor shall prepare area for installation of new seeded prairie, and is responsible to follow supplier's instructions for all planting operations necessary to guarantee a healthy stand of plants within a one-year establishment period. Seed mix shall be "Low Growing Meadow For Dry Soils", from Prairie Nursery in Westfield, WI, Ph.1-800-476-9453. Contractor shall install per supplier's instructions.

## RAIN GARDEN PLANTING

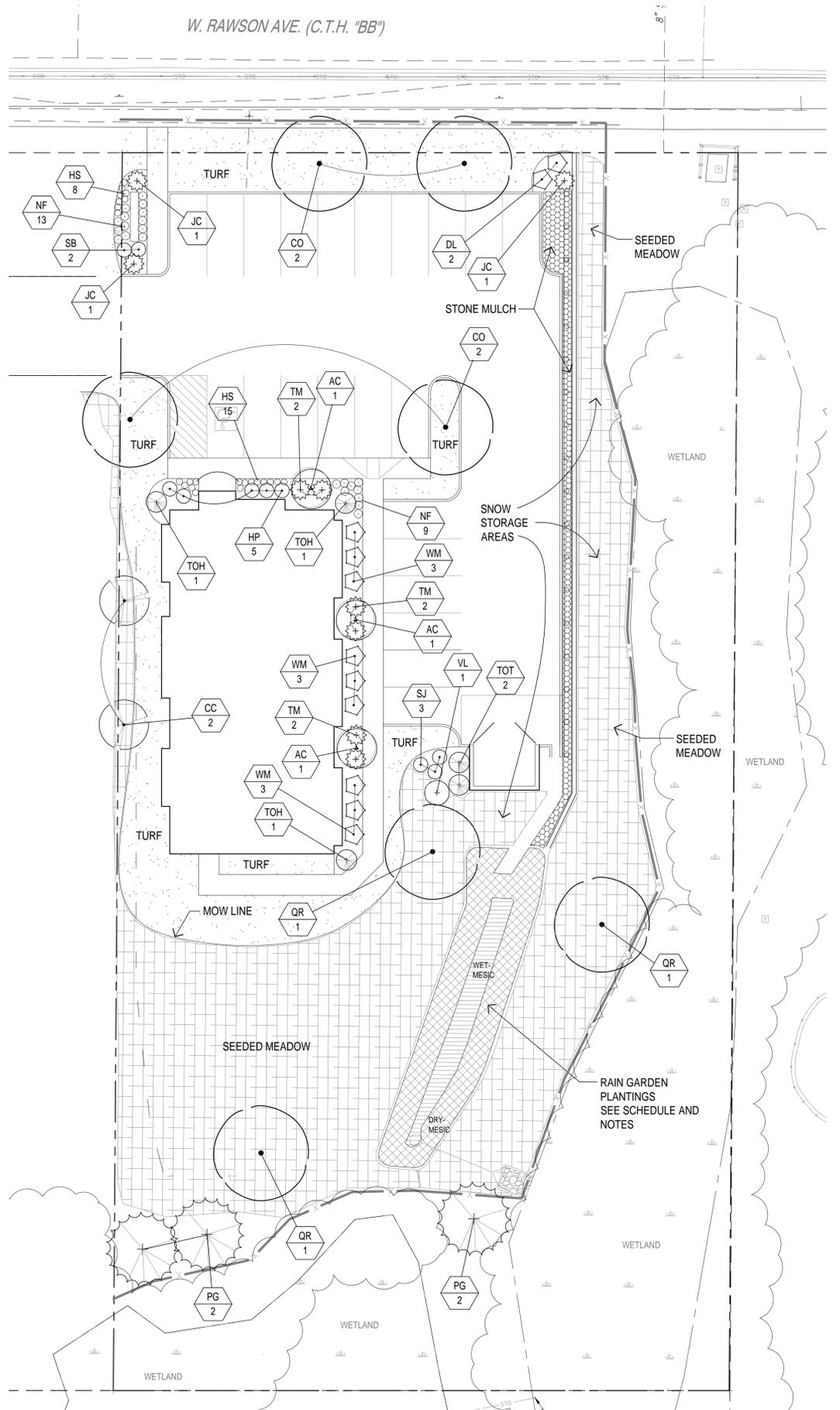
See Civil Dwg. / specifications for grading and soil installation specifications. Plantings shall be live plugs. Provide a 2" layer of shredded bark mulch throughout rain garden planting beds.

## MAINTENANCE

Maintenance Period - Contractor shall provide regular maintenance until a date of 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.

## PLANT GUARANTEE

The landscape contractor shall guarantee to replace once, without charge, any woody plant material (deciduous or evergreen trees & shrubs) that dies within one year of installation, providing the owner gives normal plant care (regular watering). The owner must report plant losses within the guarantee period.



# Planting Schedule

Shade Trees						
SYM	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING
CO	Celtis occidentalis	Common Hackberry	4	2.5 Cal.	B/B	As shown
QR	Quercus rubra	Red Oak	3	2.5" Cal.	B/B	As shown
Evergreen Trees						
SYM	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING
PG	Picea glauca	White Spruce	3	5' Ht.	B/B	As shown
TOH	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	3	4' Ht.	B/B	As shown
TOT	Thuja occidentalis 'Techny'	Techny Arborvitae	2	4' Ht.	B/B	48" o.c.
Decorative Trees						
SYM	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING
AC	Amelanchier canadensis 'Prince William'	Prince William Serviceberry	3	1.5"	BB	As shown
CC	Crataegus crusgalli var. inermis	Thornless Cockspur Hawthorn	2	1.5" Cal.	B/B	As shown
Shrubs						
SYM	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING
DL	Diervilla lonicera	Dwarf-bush Honeysuckle	2	2 Gal.	Container	54" o.c.
HP	Hydrangea paniculata 'Baby Lace'	Baby Lace Hydrangea	5	30" Ht.	B/B	42" o.c.
JC	Juniperus chinensis pfltz. comp.	Compact Pfitzer Juniper	3	5 Gal.	Container	60" o.c.
SB	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	2	18" Ht.	Container	48" o.c.
SJ	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spirea	3	24" Ht.	Container	36" o.c.
TM	Taxus x media 'Dark Green Spreader'	Dark Green Spreader Yew	6	12" Ht.	B/B	60" o.c.
VL	Viburnum lentago	Nannyberry Viburnum	1	36" Ht.	B/B	60" o.c.
WM	Weigela 'Minuet'	Minuet Weigela	9	2 gal.	Container	as shown
Perennials						
SYM	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING
HS	Hemerocallis 'Stella d'Oro'	Low Yellow-Gold Daylily	23	1 Gal.	Container	18" o.c.
NF	Nepeta x faassenii 'Blue Wonder'	Blue Wonder Catmint	22	1 Gal.	Container	18" o.c.
RAIN GARDEN PLANTINGS						
Dry-Mesic Perennials - Side Slopes						
SYM	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING
AA	Aster azureus	Sky Blue Aster	160	2"	Container	12" o.c.
AC	Amorpha caescens	Leadplant	160	2"	Container	12" o.c.
BC	Bouteloua curtipendula	Sideoats Gramma	160	2"	Container	12" o.c.
LP	Liatris pycnostachya	Prairie Blazingstar	160	2"	Container	12" o.c.
RH	Rudbeckia hirta	Black-Eyed Susan	160	2"	Container	12" o.c.
SS	Schizachyrium scoparium	Little Bluestem	192	2"	Container	12" o.c.
Wet-Mesic Perennials - Bottom						
SYM	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING
CC	Calamagrostis canadensis	Bluejoint Grass	32	2"	Container	12" o.c.
CG	Chelone glabra	White Turtlehead	32	2"	Container	12" o.c.
EM	Eupatorium maculatum	Joe Pye Weed	32	2"	Container	12" o.c.
IS	Iris shrevei	Wild Iris	32	2"	Container	12" o.c.
PV	Panicum virgatum	Switch Grass	64	2"	Container	12" o.c.
LS	Lobelia siphilitica	Great Blue Lobelia	32	2"	Container	12" o.c.
VV	Veronicastrum virginicum	Culver's Root	32	2"	Container	12" o.c.
ZA	Zizia aurea	Golden Alexanders	64	2"	Container	12" o.c.

**REQUIRED LANDSCAPING**

COMMERCIAL, OFFICE, INSTITUTIONAL AND SIMILAR USES  
22 Parking Stalls

Shade Trees 5 Ea.  
Evergreens 5 Ea.  
Decorative Trees 5 Ea.  
Shrubs 5 Ea.

**WETLAND MITIGATION AREA**

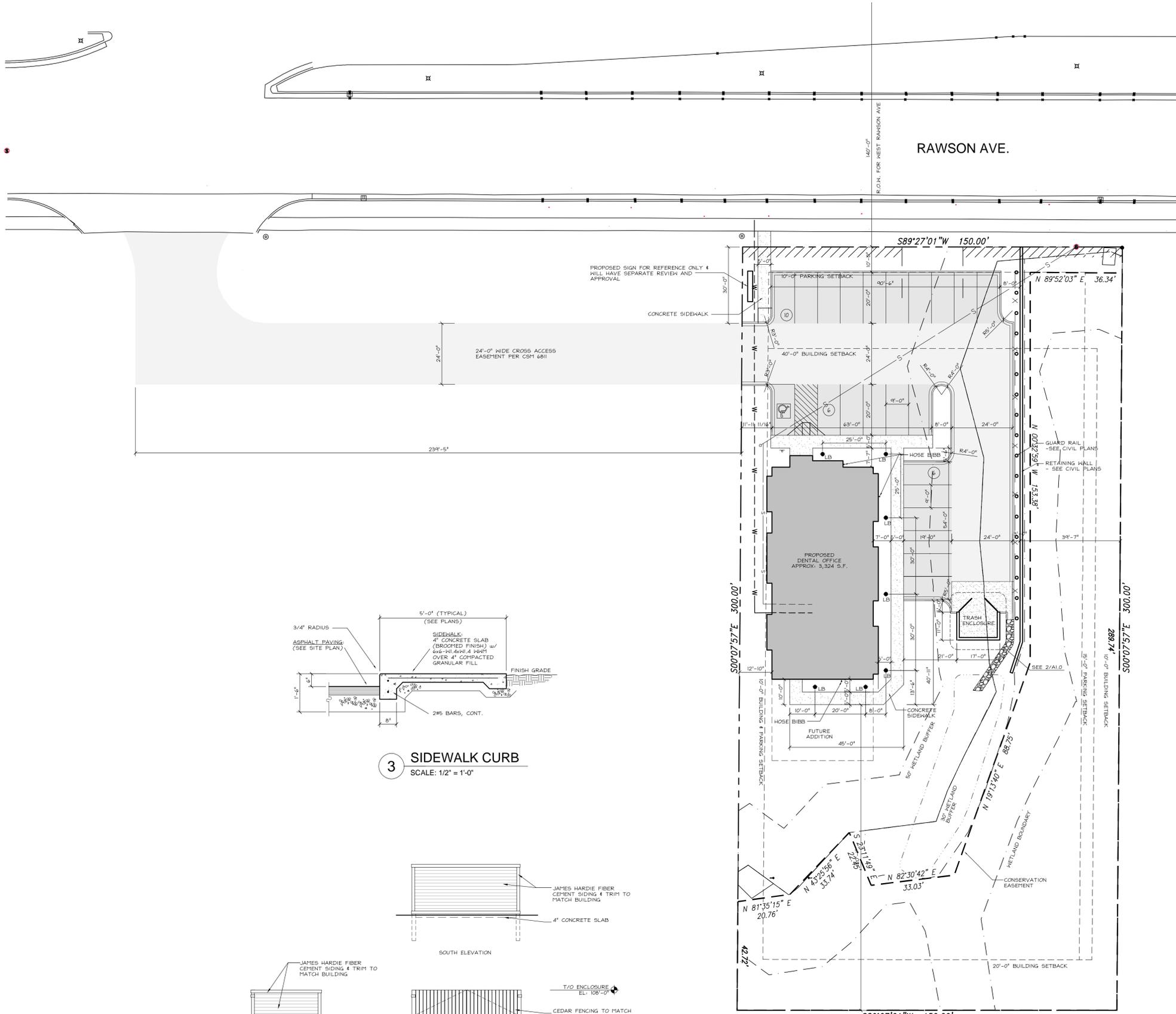
REQUIRED: 10,792 SF. PER NRPP

SHOWN: 10,860 SF.

INCLUDES SEEDED MEADOW AND RAIN GARDEN NATIVE PLANTING AREAS.

DATE	10-21-16
DESCRIPTION	REVISED PER CITY COMMENTS
PROJECT TEAM	PROJECT MANAGER: DESIGNER: CAD TECHNICIAN:
ISSUE	1
<b>Site Engineering Services</b> 2920 Oakwood Road Stoughton, WI 53589 262-367-1490 office 262-367-1491 cell marty.worden@att.net email Martin D. Worden, PE Civil Engineer/Consultant	
<b>PLANTING PLAN</b> for Dr. Anderson 7215 W. Rawson Ave., Franklin, Wisconsin	
SCALE: 1"=16'-0"	
PROJECT NO. 16022	
DATE: 10/21/2016	
SHEET NUMBER	
LS-1	





**SITE DATA:**

SITE AREA:	44,999 S.F.
	1.03 ACRES
AREA OF PROPOSED BUILDING:	6,651 S.F.
TOTAL BUILDING FOOTPRINT:	4,671 S.F.
PROPOSED FUTURE ADDITION:	510 S.F.
TOTAL HARD SURFACE AREA:	16,225 S.F. (36% OF SITE)
CONCRETE AREA:	1,595 S.F.
HEAVY DUTY PAVING:	*** S.F.
LIGHT DUTY PAVING:	14,630 S.F.
TOTAL GREENSPACE AREA:	28,774 S.F. (64% OF SITE)
ZONING DISTRICT:	B-3
BUILDING HEIGHT:	22'-1"
FRONT YARD SETBACK:	40'-0"
SIDE YARD SETBACK:	10'-0"
REAR YARD SETBACK:	20'-0"
<b>PARKING STALL REQUIREMENTS:</b>	
OFFICE: 6.5/1,000 S.F.	4,671 SF
TOTAL # OF STALLS REQ'D:	30
TOTAL PARKING PROVIDED:	33 (INCL. H.C. STALLS)
HANDICAP PARKING REQUIRED:	1
HANDICAP PARKING PROVIDED:	1
<b>PROPERTY OWNER INFORMATION:</b>	
BMO REO-WI LAND, LLC	
2711 CENTERVILLE RD STE 400	
WILMINGTON, DE 19808	
P: 302-636-5401	

**DESIGN**  
**2**  
**CONSTRUCT**  
DEVELOPMENT CORPORATION

N173 W21010  
**NORTHWEST PASSAGE WAY**  
JACKSON, WI 53037

PHONE 262.677.9933  
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:

**ANDERSON FAMILY DENTAL**

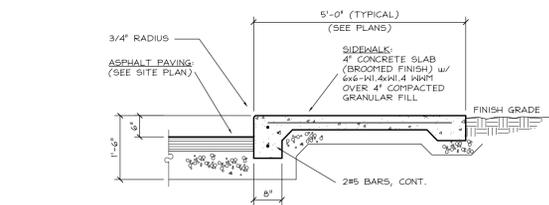
7215 W. RAWSON AVENUE

FRANKLIN, WISCONSIN 53132

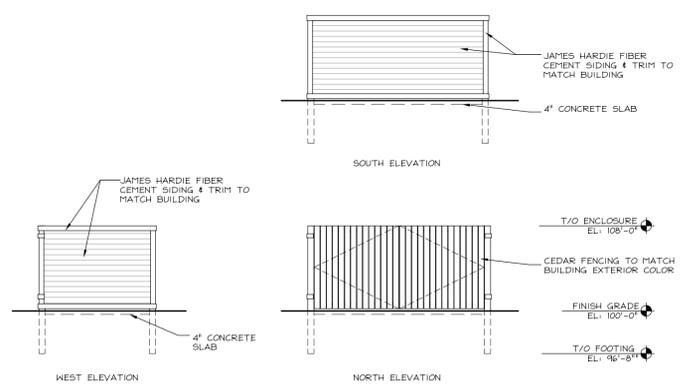
SHEET TITLE
SITE PLAN

REVISIONS
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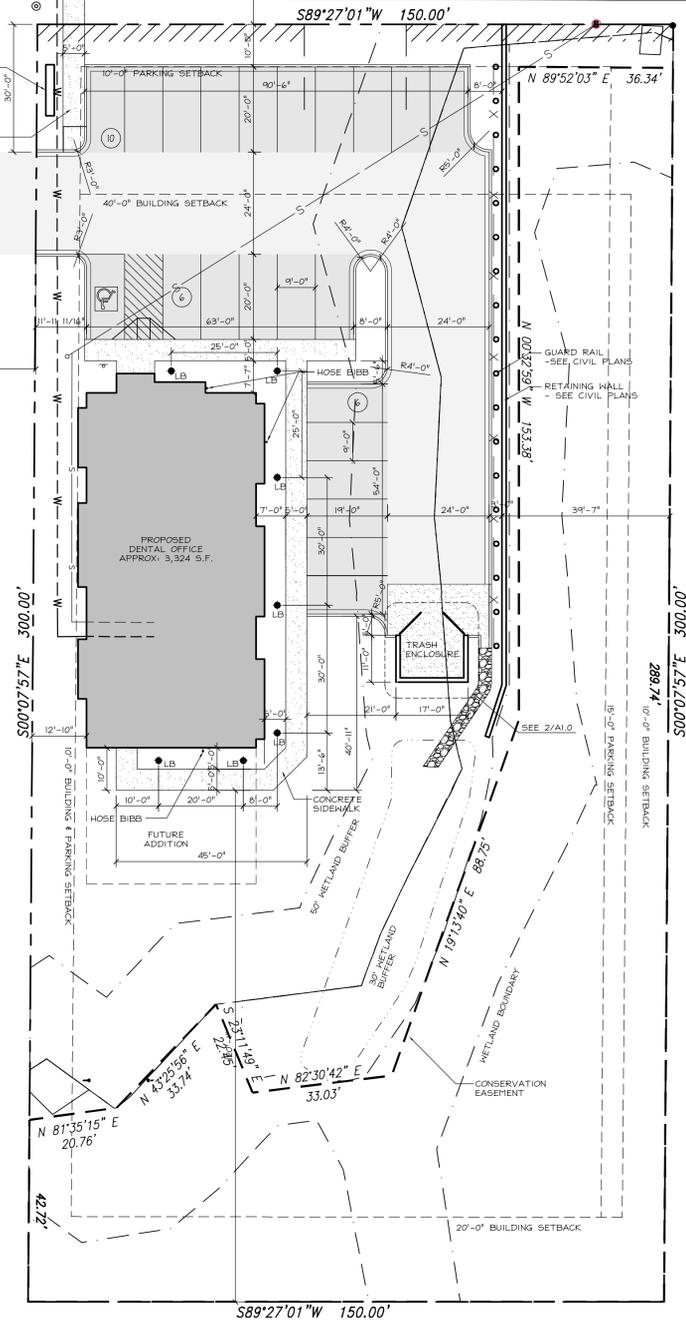
PROJECT DATA	
DATE	10.26.2016
JOB NO.	16-00141
SET USE	PERMIT & BIDDING
FILE NAME	C1-A1.0
DRAWN BY	SPS
SHEET NO.	



**3** SIDEWALK CURB  
SCALE: 1/2" = 1'-0"



**2** TRASH ENCLOSURE  
SCALE: 1/8" = 1'-0"



**1** SITE PLAN  
SCALE: 1" = 20'-0"

**A1.0**

**CONSTRUCTION NOTES:**

GENERAL:  
ALL GYPSUM WALLBOARD IS TO BE 5/8" THICK (UNLESS NOTED OTHERWISE), IN LONGEST LENGTHS AVAILABLE, SCREW ATTACHED TO STUDS OR FURRING. PROVIDE METAL CORNER BEADS AND USG NO. 200B METAL TRIMS AT ALL EXPOSED WALLBOARD EDGES. TAPE AND FINISH ALL JOINTS, EVEN IF NOT EXPOSED TO VIEW. PROVIDE MOISTURE-RESISTANT GYPSUM WALLBOARD AT ALL WET AREAS (LUNCH ROOM, TOILET ROOMS, ETC.).

ALL SINGLE-FACED PARTITIONS ARE TO EXTEND TO 4" (MIN.) ABOVE THE ADJACENT CEILING LINE. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE, OR TIE BACK TO MASONRY WALLS.

ALL PARTIAL HEIGHT PARTITIONS ARE TO EXTEND TO HEIGHT (INDICATED IN INCHES) ADJACENT TO CONSTRUCTION NOTE. HEIGHT INDICATED IS TO TOP OF PLASTIC LAMINATE CAP (IN STAIR) OR TOP OF GWB (AT FIRST FLOOR).

ALL DOUBLE-FACED PARTITIONS (FULL OR PARTIAL HEIGHT) ARE TO BE INSULATED WITH FULL THICKNESS SOUND INSULATION BATTS. SOUND INSULATION IS TO EXTEND TO FULL HEIGHT OF WALL.

- 1 PROVIDE WATER LINE WITH SHUT OFF VALVE FOR REFRIGERATOR.
- 2 PLASTIC LAMINATE SILL.

**PARTITION NOTES:**

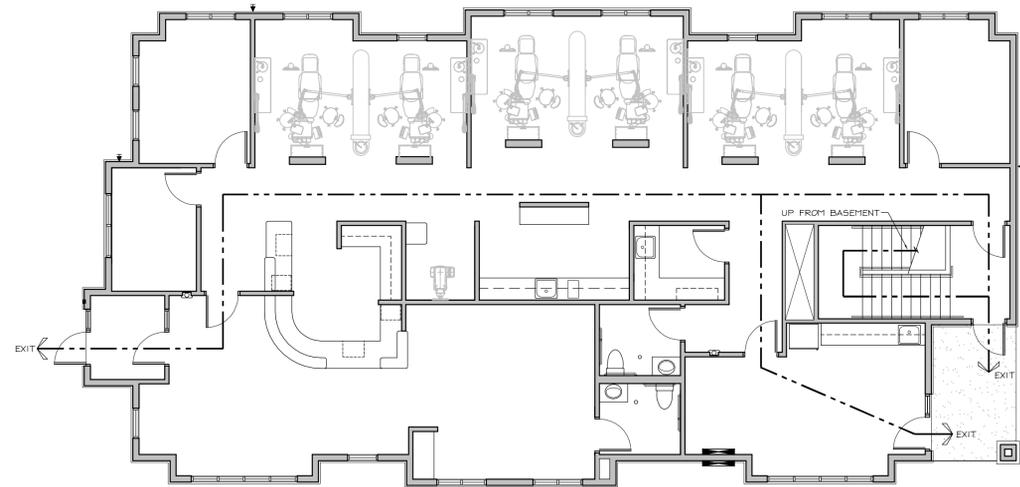
- ALL PARTITIONS ARE TYPE NO. 13, UNLESS NOTED OTHERWISE.
- ALL FURRING TYPES EXTEND 4" ABOVE CEILING, UNLESS NOTED OTHERWISE.
- ALL STUD, SHAFT AND CAVITY PARTITION TYPES EXTEND TO STRUCTURE, UNLESS NOTED OTHERWISE.
- PARTITION TYPES WITH SUBSCRIPT 'n' EXTEND TO 'n' INCHES ABOVE THE HIGHEST ADJACENT FLOOR LEVEL.

**ELECTRICAL LEGEND:**

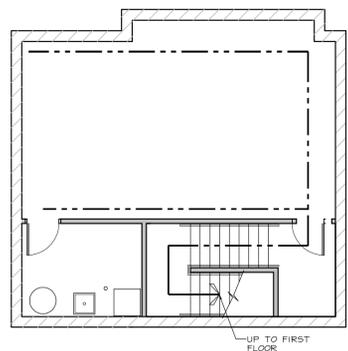
- ⊕ DUPLEX OUTLET
- ⊕<sup>WP</sup> DUPLEX OUTLET, WEATHERPROOF
- ⊕<sup>G</sup> GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊕<sup>C</sup> DUPLEX OUTLET MOUNTED ABOVE COUNTER
- ▽ VOICE / DATA OUTLET
- ▬ ELECTRICAL PANEL

**PARTITION TYPES:**

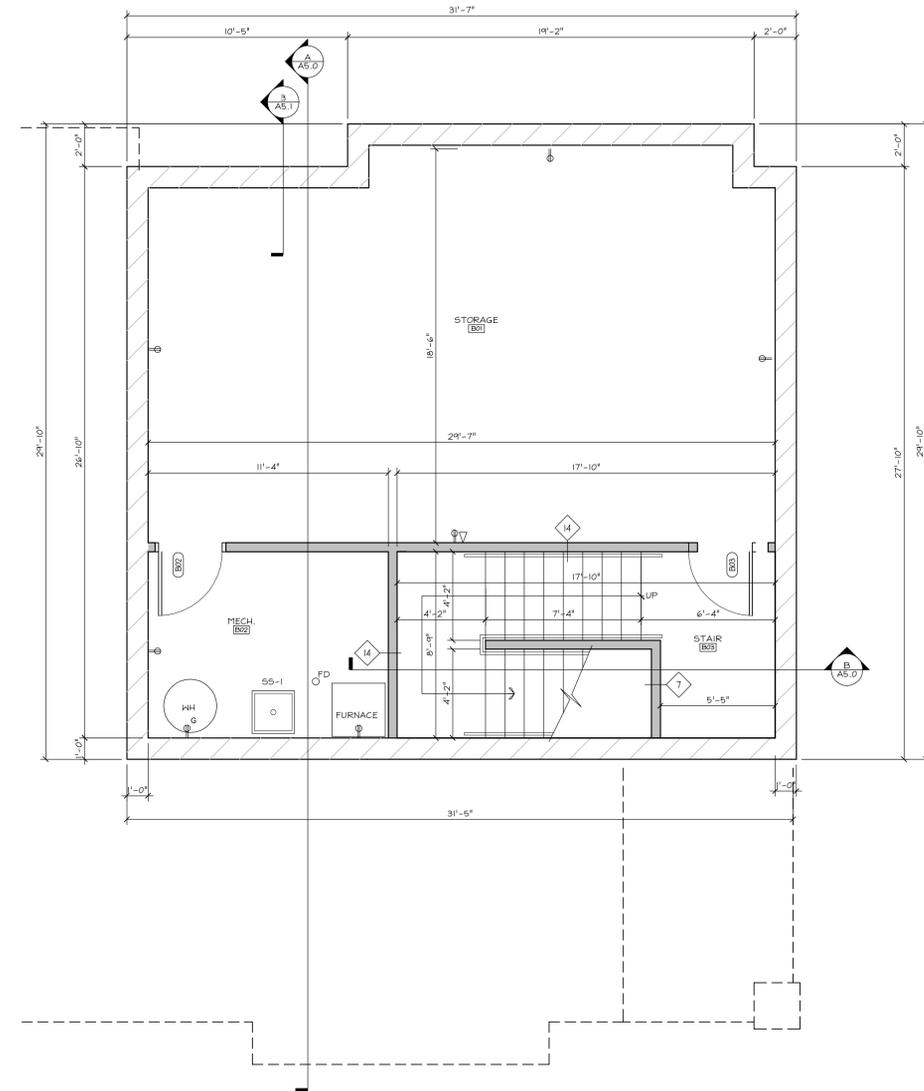
NO.	SKETCH	DESCRIPTION	NO.	SKETCH	DESCRIPTION
<b>(FURRING TYPES)</b>					
7		5/8" GYPSUM WALLBOARD ON 2 x 4 WOOD STUDS, 24" O.C. FULL THICKNESS SOUND INSULATION BATTS WITH VAPOR BARRIER. ACTUAL THICKNESS: 4-3/4". PLAN DIMENSION: VARIES (SEE PLANS)	22		5/8" FIRECODE GYPSUM WALLBOARD ON 2-1/2" METAL C-H STUDS, 24" O.C. 1" MINERAL FIBER INSULATION 1" FIRECODE GYPSUM LINER PANELS 1-HR. RATED (PER G.A. #P 7008) ACTUAL THICKNESS: 3-1/8". PLAN DIMENSION: VARIES
<b>(STUD WALL TYPES)</b>					
11		5/8" GYPSUM WALLBOARD (EACH FACE) ON 2 x 4 WOOD STUDS, 16" O.C. ACTUAL THICKNESS: 4-3/4". PLAN DIMENSION: VARIES	13		5/8" GYPSUM WALLBOARD (EACH FACE) ON 2 x 4 WOOD STUDS, 16" O.C. FULL THICKNESS SOUND INSULATION BATTS ACTUAL THICKNESS: 4-3/4". PLAN DIMENSION: VARIES
14		5/8" FIRECODE GYPSUM WALLBOARD (EACH FACE) ON 2 x 4 WOOD STUDS, 16" O.C. FULL THICKNESS SOUND INSULATION BATTS 1-HR. RATED (PER G.A. #P 3043) ACTUAL THICKNESS: 4-3/4". PLAN DIMENSION: VARIES	20		5/8" GYPSUM WALLBOARD (EACH FACE) ON 2 x 6 WOOD STUDS, 16" O.C. FULL THICKNESS SOUND INSULATION BATTS ACTUAL THICKNESS: 6-3/4". PLAN DIMENSION: VARIES



**3 FIRST FLOOR LIFE SAFETY PLAN**  
SCALE: 1/8" = 1'-0"  
INDICATES NEW & EXISTING MEANS OF EGRESS PATH



**2 BASEMENT LIFE SAFETY PLAN**  
SCALE: 1/8" = 1'-0"  
INDICATES NEW & EXISTING MEANS OF EGRESS PATH



**2 BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
PROPOSED BASEMENT NET AREA: APPROX. 5% SF

**SHEET TITLE**  
BASEMENT FLOOR PLAN & LIFE SAFETY PLANS

**REVISIONS**

**PROJECT DATA**

DATE	10.26.2016
JOB NO.	16-00141
SET USE	PERMIT & BIDDING
FILE NAME	E4-A2.0
DRAWN BY	SPS
SHEET NO.	

### CONSTRUCTION NOTES:

GENERAL:  
ALL GYPSUM WALLBOARD IS TO BE 5/8" THICK (UNLESS NOTED OTHERWISE), IN LONGEST LENGTHS AVAILABLE. SCREW ATTACHED TO STUDS OR FURRING. PROVIDE METAL CORNER BEADS AND USG NO. 200B METAL TRIMS AT ALL EXPOSED WALLBOARD EDGES. TAPE AND FINISH ALL JOINTS, EVEN IF NOT EXPOSED TO VIEW. PROVIDE MOISTURE-RESISTANT GYPSUM WALLBOARD AT ALL WET AREAS (LUNCH ROOM, TOILET ROOMS, ETC.).

ALL SINGLE-FACED PARTITIONS ARE TO EXTEND TO 4" (MIN.) ABOVE THE ADJACENT CEILING LINE. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE, OR TIE BACK TO MASONRY WALLS.

ALL PARTIAL HEIGHT PARTITIONS ARE TO EXTEND TO HEIGHT (INDICATED IN INCHES) ADJACENT TO CONSTRUCTION NOTE. HEIGHT INDICATED IS TO TOP OF PLASTIC LAMINATE CAP (IN STAIR) OR TOP OF GWB (AT FIRST FLOOR).

ALL DOUBLE-FACED PARTITIONS (FULL OR PARTIAL HEIGHT) ARE TO BE INSULATED WITH FULL THICKNESS SOUND INSULATION BATTS. SOUND INSULATION IS TO EXTEND TO FULL HEIGHT OF WALL.

- PROVIDE WATER LINE WITH SHUT OFF VALVE FOR REFRIGERATOR.
- PLASTIC LAMINATE SILL.

### PARTITION NOTES:

- ALL PARTITIONS ARE TYPE NO. 13, UNLESS NOTED OTHERWISE.
- ALL FURRING TYPES EXTEND 4" ABOVE CEILING, UNLESS NOTED OTHERWISE.
- ALL STUD, SHAFT AND CAVITY PARTITION TYPES EXTEND TO STRUCTURE, UNLESS NOTED OTHERWISE.
- PARTITION TYPES WITH SUBSCRIPT "1" EXTEND TO "1" INCHES ABOVE THE HIGHEST ADJACENT FLOOR LEVEL.

### ELECTRICAL LEGEND:

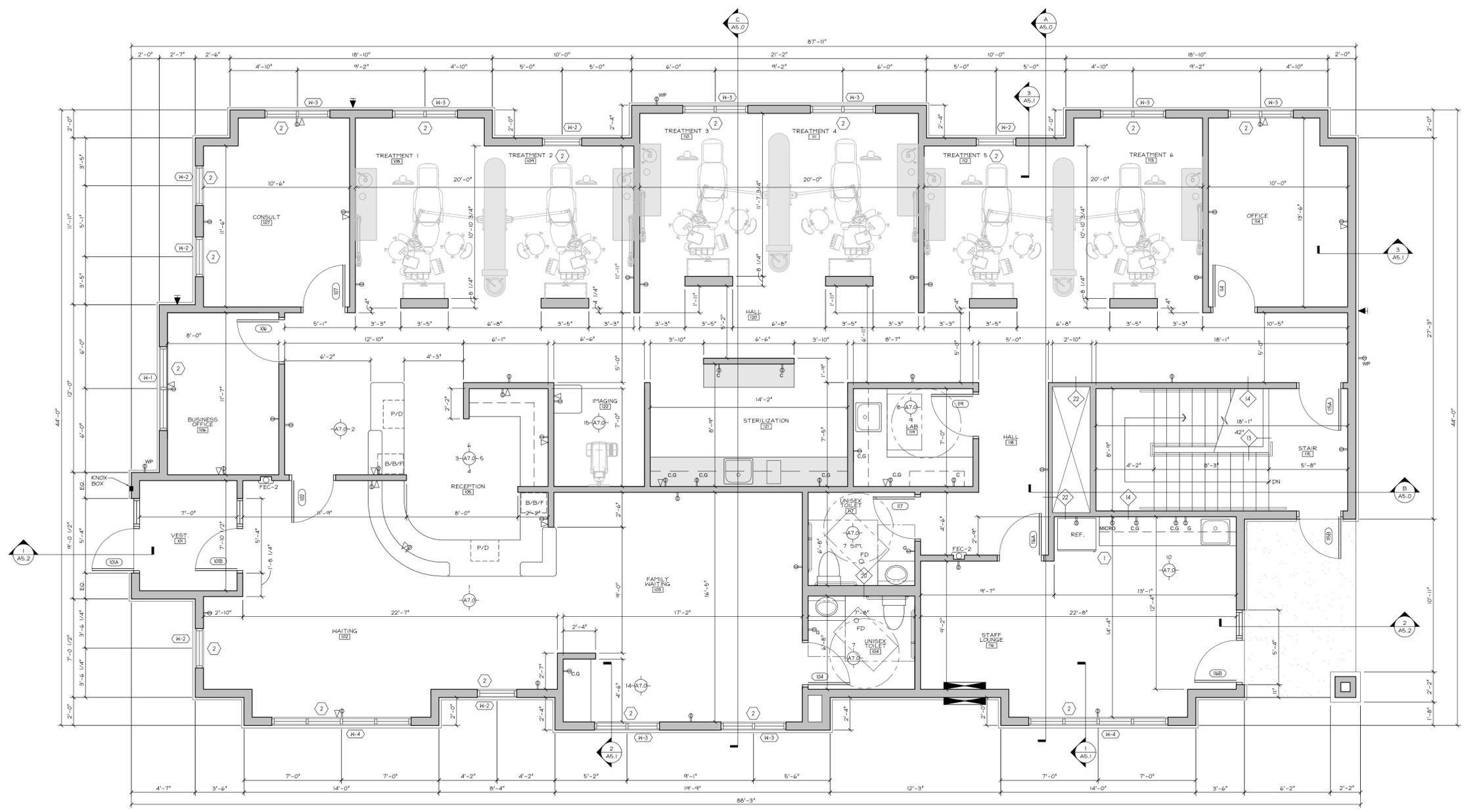
- DUPLEX OUTLET
- DUPLEX OUTLET, WEATHERPROOF
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- DUPLEX OUTLET MOUNTED ABOVE COUNTER
- VOICE / DATA OUTLET
- ELECTRICAL PANEL

### PARTITION TYPES:

NO.	SKETCH	DESCRIPTION	NO.	SKETCH	DESCRIPTION
7		5/8" GYPSUM WALLBOARD ON 2" x 4" WOOD STUDS, 1/4" O.C. FULL THICKNESS SOUND INSULATION BATTS WITH VAPOR BARRIER. ACTUAL THICKNESS: 4-1/8" PLAN DIMENSION: VARIES (SEE PLANS)	22		5/8" FIRECODE GYPSUM WALLBOARD ON 2-1/2" METAL C-H STUDS, 24" O.C. 1" MINERAL FIBER INSULATION 1" FIRECODE GYPSUM LINER PANELS 1-HR. RATED (PER G.A. WP 700B) ACTUAL THICKNESS: 3-1/8" PLAN DIMENSION: 5"
11		5/8" GYPSUM WALLBOARD (EACH FACE) ON 2" x 4" WOOD STUDS, 1/4" O.C. ACTUAL THICKNESS: 4-3/4" PLAN DIMENSION: 5"			
13		5/8" GYPSUM WALLBOARD (EACH FACE) ON 2" x 4" WOOD STUDS, 1/4" O.C. FULL THICKNESS SOUND INSULATION BATTS ACTUAL THICKNESS: 4-3/4" PLAN DIMENSION: 5"			
14		5/8" FIRECODE GYPSUM WALLBOARD (EACH FACE) ON 2" x 4" WOOD STUDS, 1/4" O.C. FULL THICKNESS SOUND INSULATION BATTS 1-HR. RATED (PER G.A. WP 9514) ACTUAL THICKNESS: 4-3/4" PLAN DIMENSION: 5"			
20		5/8" GYPSUM WALLBOARD (EACH FACE) ON 2" x 4" WOOD STUDS, 1/4" O.C. FULL THICKNESS SOUND INSULATION BATTS ACTUAL THICKNESS: 6-3/4" PLAN DIMENSION: 7"			

NOTE:  
MILLWORK TO BE PROVIDED BY DENTAL EQUIPMENT SUPPLIER SHOWN SHADED.

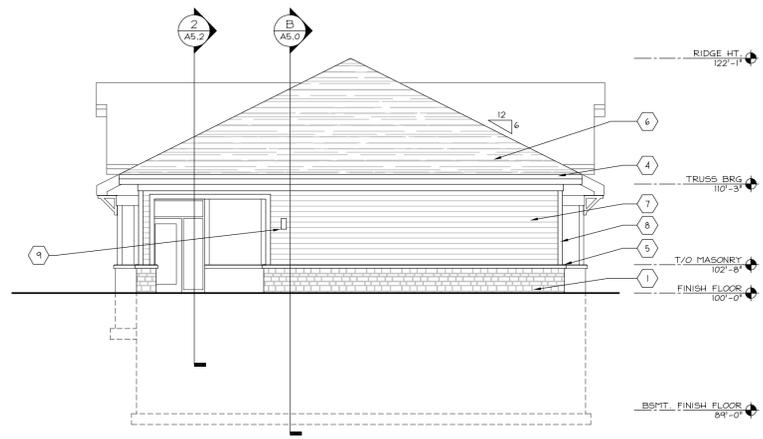
NOTE:  
ELECTRICAL SHOWN ON PLANS IS FOR GENERAL USE & DOES NOT INCLUDE DENTAL EQUIPMENT SPECIFIC ELECTRICAL. REFER TO DENTAL EQUIPMENT PLANS FOR SPECIFIC ELECTRICAL REQUIREMENTS.



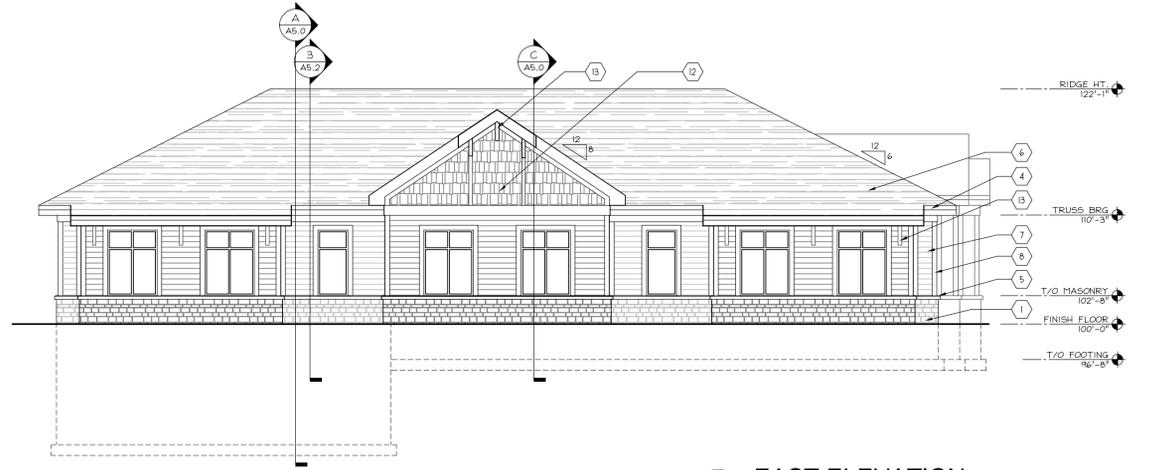
**1 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
PROPOSED DENTAL AREA: APPROX. 3,324 SF

- TYPICAL BUILDING FINISHES**
- ① DECORATIVE STONE VENEER - STACK STONE COLOR (EARTH TONES) TBD
  - ② CLAD WINDOW - FINISHED WHITE
  - ③ PRE-FINISHED ALUMINUM STOREFRONT SYSTEM - FINISHED CLEAR ANNOXIDIZED
  - ④ PRE-FINISHED GUTTER AND DOWNSPOUT DISCHARGE TO GRADE - WHITE TO MATCH FASCIA
  - ⑤ STONE SILL/LINTEL/COLUMN BASE CAP - SANDSTONE/ WHEAT FINISH
  - ⑥ 30 YEAR DIMENSIONAL ASPHALT SHINGLES - OWENS CORNING WEATHERED WOOD
  - ⑦ PRE-FINISHED "JAMES HARDIE" FIBER CEMENT CEDAR LAP SIDING 6" EXP - GRAY SLATE
  - ⑧ PRE-FINISHED "JAMES HARDIE" FIBER CEMENT FASCIA AND TRIM - ARCTIC WHITE
  - ⑨ DECORATIVE BUILDING LIGHTING
  - ⑩ UTILITY METER LOCATION - ELECTRIC - SEE SITE PLAN FOR TRANSFORMER LOCATION.
  - ⑪ UTILITY METER LOCATION - NATURAL GAS/ WATER
  - ⑫ PRE-FINISHED "JAMES HARDIE" FIBER CEMENT STAGGERED EDGE SHINGLE SIDING 6" EXP - COBBLE STONE
  - ⑬ PRE-FINISHED FYPON BRACKET TBD

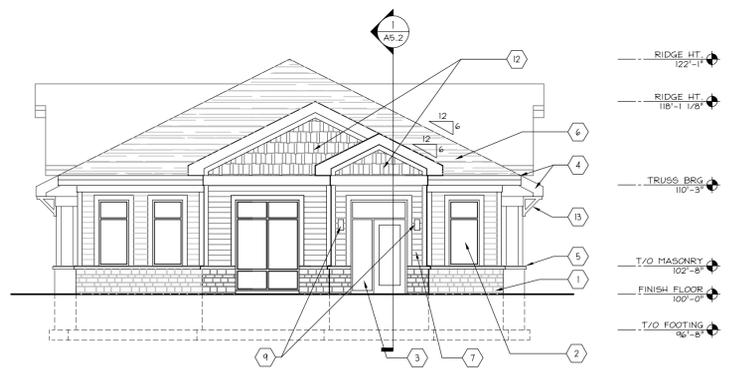
NOTE:  
 BUILDING SIGNAGE IS NOT PART OF THIS APPROVAL. IF BUILDING SIGNAGE IS DESIRED IT WILL BE APPROVED UNDER A SEPARATE SUBMITTAL.



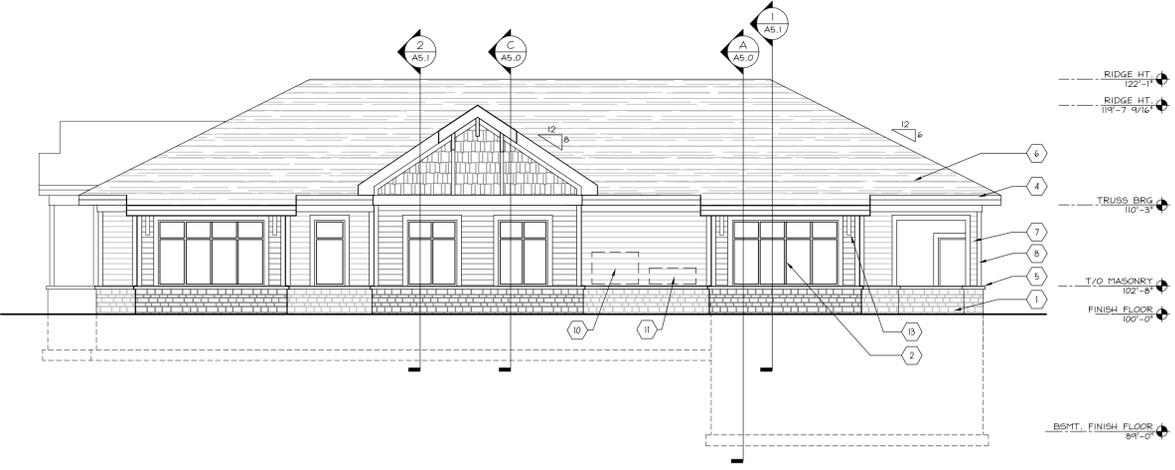
**4 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**3 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



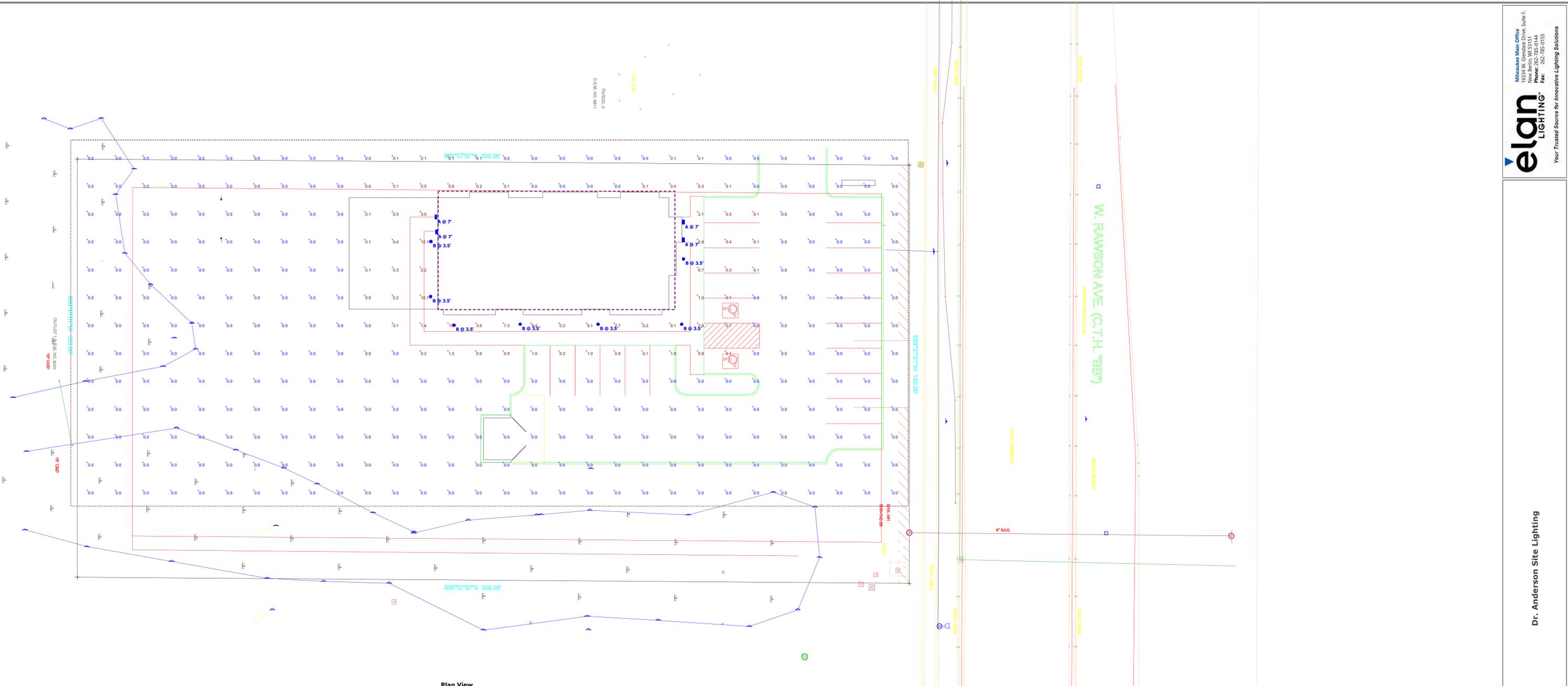
**1 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

SHEET TITLE
EXTERIOR ELEVATIONS

REVISIONS

PROJECT DATA	
DATE	10.26.2016
JOB NO.	16-00141
SET USE	PERMIT & BIDDING
FILE NAME	H1-4.0
DRAWN BY	SPS
SHEET NO.	A4.0

**A4.0**



**Plan View**  
Scale - 1" = 16ft

Symbol	Image	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Label
		4	WAC Lighting	WS-W73614 A102215	WALL MOUNTED		1	WS-W73614 A102215.IES	1247	0.95	25.1	A
		7	Lithonia Lighting	DSXB LED 16C 700 40K SYM	D-SERIES BOLLARD WITH 16 4000K LEDS OPERATED AT 700mA AND SYMMETRIC DISTRIBUTION	LED	1	DSXB_LED_16C_700 _40K_SYM.ies	2055	0.95	39	B

