

CITY OF FRANKLIN  
PLAN COMMISSION MEETING\*  
FRANKLIN CITY HALL COUNCIL CHAMBERS  
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN  
AGENDA  
THURSDAY, MAY 4, 2017, 7:00 P.M.

A. **Call to Order and Roll Call**

B. **Approval of Minutes**

1. Approval of regular meeting of April 20, 2017.

C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)

1. **INTERSTATE PARTNERS II WISCONSIN LLC MULTI-TENANT BUILDING DEVELOPMENT (2 BUILDINGS) CONSISTING OF COMMERCIAL, LIGHT INDUSTRIAL AND DISTRIBUTION SPACE.** Special Use and Certified Survey Map applications by John Heller, President of Interstate Partners II Wisconsin LLC, for construction of 2 multi-tenant buildings totaling approximately 230,000 – 240,000 square feet (101,717 square foot multi-tenant building adjacent to West Oakwood Road upon Lot 2 of the proposed Certified Survey Map) upon property zoned Planned Development District No. 39 (Mixed-Use Business Park), located at the southwest corner of South 27th Street and West Oakwood Road; Tax Key No. 951-9994-001. The Certified Survey Map consists of dividing the 73.2925 acre parcel into 3 separate lots and 1 outlot. [Lot 1 is 10.0777 acres and is the furthest west parcel adjacent to West Oakwood Road (property anticipated to be used for a second phase of development for a 136,700 square foot building). Lot 2 is 7.5198 acres and contains the proposed flex space building. Lot 3 is 34.5330 acres and is reserved for future development. The outlot is 21.1620 acres and consists primarily of protected natural resource features.] **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THE SPECIAL USE APPLICATION OF THIS MATTER.**

D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

E. **Adjournment**

\*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

\*\*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

Franklin Plan Commission Agenda

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REMINDERS:

Next Regular Plan Commission Meeting: May 18, 2017

**City of Franklin  
Plan Commission Meeting  
April 20, 2017  
Minutes**

Unapproved

**A. Call to Order and Roll Call**

Mayor Steve Olson called the April 20, 2017 Regular Plan Commission meeting to order at 7:00 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Commissioners Patricia Hogan, Patrick Leon, Kevin Haley, David Fowler, City Engineer Glen Morrow and Alderman Mark Dandrea. Also present were Planning Manager Joel Dietl and City Attorney Jesse Wesolowski.

**B. Approval of Minutes**

- 1. Regular Meeting of April 6, 2017. Commissioner Fowler moved and Commissioner Haley seconded approval of the April 6, 2017 minutes of the regular meeting of the Plan Commission. On voice vote, all voted 'aye'. Motion carried (6-0-0).

**C. Public Hearing Business Matters**

**1. WISCONSIN TECHNOLOGY NETWORKING, LLC'S INSTALLATION OF THREE TELECOMMUNICATIONS TOWER MONOPOLES WITHIN CITY RIGHT-OF-WAY.**

Special Use application by Wisconsin Technology Networking, LLC (d/b/a Mobilitie), to allow for the installation of three telecommunications tower monopoles of such description and height as set forth below, in the public right-of-way upon property zoned and located as set forth below (pursuant to §15-3.0104 ZONING OF STREETS, ALLEYS, PUBLIC-WAYS, WATERWAYS, AND RAILROAD RIGHTS-OF-WAY [public rights-of-way], of the City of Franklin Unified Development Ordinance, all public rights-of-way "if not otherwise specifically designated, shall be deemed to be in the same zone as the property immediately abutting upon such alleys, streets, public-ways, waterways, and railroad rights-of-way"):

- 1) 90-foot galvanized-steel monopole (93-foot overall height with appurtenances)

City Attorney Jesse Wesolowski presented a brief summary of the request by Wisconsin Technology Networking, LLC (d/b/a Mobilitie), to allow for the installation of three telecommunications tower monopoles located within City of Franklin right-of-way on the south side of South Whitnall Edge Road to the north and adjacent to property bearing Taxkey No. 705-8997-003, located within City of Franklin right-of-way on the north side of West Elm Road to the south and adjacent to property located at 3400 West Elm Road and located within City of Franklin right-of-way on the south side of West Airways Avenue to the north and adjacent to property located at 5512 and 5513 West Airways Avenue.

The City Attorney read into the record the April 19, 2017 email from Mr. Wendt to Mr. Fuchs pertaining to the applicant's request for referral of the public hearing for 60 – 90 days, and the email dated April 19, 2017 from Mr. Wesolowski to Mr. Wendt, and follow-up emails between Mr. Wesolowski and Mr. Wendt pertaining to staff's recommendation to not open the public hearing but rather to re-notice it at a future date.

Mayor Steve Olson indicated concurrence with staff's recommendation and indicated that the public hearing would not be held, and that the application is pending until such time as is appropriate for referral to another future meeting.

supporting microwave dishes and radios; located within City of Franklin right-of-way on the south side of South Whitnall Edge Road to the north and adjacent to property bearing Taxkey No. 705-8997-003 (Latitude: 42.927082, Longitude: -88.047137); zoned B-3 Community Business District.

2) 90-foot galvanized-steel monopole (93-foot overall height with appurtenances) supporting microwave dishes and radios; located within City of Franklin right-of-way on the north side of West Elm Road to the south and adjacent to property located at 3400 West Elm Road, bearing Taxkey No. 951-9996-016 (Latitude: 42.850862, Longitude: -87.960941); zoned B-7 South 27th Street Mixed Use Office District.

3) 90-foot galvanized-steel monopole (93-foot overall height with appurtenances) supporting microwave dishes and radios; located within City of Franklin right-of-way on the south side of West Airways Avenue to the north and adjacent to property located at 5512 and 5513 West Airways Avenue, bearing Taxkey No. 899-9990-029 (Latitude: 42.866958, Longitude: -87.986648); zoned M-1 Limited Industrial District.

**D. Business Matters**

None.

**E. Adjournment**

Commissioner Fowler moved and Commissioner Hogan seconded to adjourn the Plan Commission meeting of April 20, 2017 at 7:06 p.m. All voted ‘aye’; motion carried. (6-0-0)





# CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of May 4, 2017

### Special Use and Certified Survey Map

**RECOMMENDATION:** City Development staff recommends approval of the proposed Special Use and Certified Survey Map for property Tax Key Number 951-9994-001, subject to the conditions in the draft resolutions.

<b>Project Name:</b>	Interstate Partners Special Use and CSM
<b>Project Address:</b>	O West Oakwood Road (Tax Key No. 951-9994-001)
<b>Applicant:</b>	Caroline Brzezinski, Interstate Partners
<b>Property Owner(s):</b>	JAMS-4 LLC
<b>Current Zoning:</b>	Planned Development District No. 39
<b>2025 Future Land Use:</b>	Business Park
<b>Use of Surrounding Properties:</b>	Single-family residential and Wheaton Franciscan/Ascension Hospital to the north; trucking, areas of natural resource features, and single-family residential to the south; single-family residential and the City of Oak Creek to the east; and agricultural lands to the west
<b>Applicant Action Requested:</b>	Approval of the CSM and Special Use for two light industrial/light manufacturing mixed-use buildings

#### Introduction:

Please note:

- Staff recommendations are *underlined, in italics* and are included in the draft resolution.
- Staff suggestions are only underlined and are not included in the draft resolution.

On March 28, 2017, the applicant submitted Special Use and Certified Survey Map applications for a proposed development at the southwest corner of S. 27<sup>th</sup> Street and W. Oakwood Road. The applicant is requesting approval of a four lot Certified Survey Map (CSM) and of two light industrial flex space buildings to be located on Lots 1 and 2 of the proposed CSM.

#### Background

The subject property is located in the southeast corner of the City (where the City recently rezoned approximately 500 acres of land within the South 27<sup>th</sup> Street Corridor Area lying south of W. Oakwood Road) from primarily B-7 South 27<sup>th</sup> Street Mixed-Use Office District to Planned Development District No. 39 (a proposed Mixed Use/Business Park Planned Development District).

The City also amended the Comprehensive Master Plan/South 27<sup>th</sup> Street Corridor Plan, to change the Future Land Use designation of the subject lands from Mixed Use Office to Mixed Use Business Park, and to revise the design guidelines as they pertain to this area.

## Phasing

The applicant indicates that the first phase of the development will consist of construction of the 101,717 square foot building on Lot 2 of the proposed CSM. A shared driveway for both Lots 1 and 2, as well as a shared stormwater management pond to be located on the far south end of Lot 1 of the proposed CSM, will also be constructed at this time.

The applicant anticipates that the second phase of development will consist of construction of an approximately 136,700 square foot building on Lot 1 of the proposed CSM. No development is anticipated at this time for Lot 3 or Outlot 1 of the proposed CSM.

The applicant indicates that the timing of construction of the Phase 2 building will be dependent upon the leasing of the Phase 1 building. The applicant has also indicated that they understand they would need to return for review and approval of detailed site and architectural plans for Phase 2. However, the applicant is requesting Special Use approval of both buildings at this time, including the allowance for each building to include up to 75% warehouse, distribution, and storage uses.

Staff has concerns with the applicant's request for approval of the Phase 2 portion of the Special Use. Given that the site and architectural details (which require City review and approval) have not yet been provided, that the time-frame of development of Phase 2 is unknown, and that Phase 2 is located on a completely separate parcel (that could be sold to another developer or business owner) - *staff recommends that Phase 2 of the proposed development, comprised of a proposed 136,700 square foot light industrial flex space building, obtain separate Special Use approval from the City of Franklin at such time as a full and complete submittal for, and City review of, a Special Use application can be undertaken.*

- If the Common Council should approve both buildings at this time, the above condition must be removed from the draft Special Use resolution and replaced with a condition requiring applicant submittal for, and Plan Commission review and approval of, a Site Plan application for Phase 2.

## **Project Description/Analysis:**

The subject property is about 73.3 acres in size, and is located at the southwest corner of S. 27<sup>th</sup> Street and W. Oakwood Road. About 52.7 acres is currently farmed, and the remaining 20.6 acres is a woodland (with wetlands and ponds) which has been identified as an Isolated Natural Resource Area by the Southeastern Wisconsin Regional Planning Commission. Public sewer and water is available along W. Oakwood Road.

## Certified Survey Map

The CSM consists of dividing the parcel into three separate lots and one outlot: Lot 1 would be about 10.1 acres, and is the furthest west parcel; Lot 2 is about 7.5 acres; Lot 3 is about 34.5 acres and is located at the corner of S. 27<sup>th</sup> Street and W. Oakwood Road; and Outlot 1 would be about 21.2 acres and consists primarily of protected natural resource features.

Staff recommends that the applicant shall make the following technical revisions to the Certified Survey Map, for staff review and approval, prior to recording of the CSM with the Milwaukee County Register of Deeds:

1. That dashed setback lines be added to Lot 3 on Sheet 1, adjacent to W. Oakwood Road and Outlot 1 and Lot 2.
2. That the Certified Survey Map be revised to replace “Oakwood Avenue” with “West Oakwood Road”.
3. That Sheet 2 be changed to Sheet 7 and the Certified Survey Map renumbered accordingly.

The following comments and recommendations, which relate to the Natural Resource Protection Plan and Conservation Easement, also require revisions to the CSM. Therefore, these recommendations are stated here, and are included within the draft CSM resolution. A complete discussion of the NRPP and Conservation Easement are provided later in the Special Use section of this Staff Report.

While the natural resource features depicted on the CSM and NRPP have been identified by the Southeastern Wisconsin Regional Planning Commission, it is important to note that some of the delineations (including some adjacent to the proposed Phase 1 development) were based solely on aerial photograph interpretation. Therefore, staff recommends that the applicant shall revise the Natural Resource Protection Plan to include field verified natural resource delineations within 100 feet of all land disturbing activities for Department of City Development review and approval prior to issuance of a Building Permit. Staff also recommends that the applicant shall revise the Certified Survey Map, Natural Resource Protection Plan, and Conservation Easement accordingly, for Department of City Development review and approval, prior to recording the Certified Survey Map and Conservation Easement with the Milwaukee County Register of Deeds.

The Ordinary High Water Mark for the ponds within Outlot 1 has not yet been determined by the Wisconsin Department of Natural Resources (WDNR), therefore, staff recommends that the applicant shall ensure that the location of the Ordinary High Water Mark as determined by the WDNR be illustrated on the Certified Survey Map, Natural Resource Protection Plan and Conservation Easement, prior to recording the Certified Survey Map and Conservation Easement with the Milwaukee County Register of Deeds.

The applicant has submitted a draft Conservation Easement that includes the entirety of Outlot 1. The CSM, however, only includes the wetland details as identified by the Southeastern Regional Planning Commission. It can be noted that Outlot 1 contains additional protected resources, such as wetland buffers, shore buffers and woodlands; therefore, staff recommends that the applicant shall include all of Outlot 1 within the Conservation Easement and that the Certified Survey Map be revised to illustrate all of Outlot 1 as the Conservation Easement boundary.

It appears that the proposed stormwater management pond may extend into Outlot 1, and may extend into the mature woodland. Therefore, staff recommends that the applicant shall revise the NRPP, CSM, and Conservation Easement to reflect the envisioned loss of mature woodland, for Department of City Development review and approval prior to issuance of a Building Permit.

### Special Use (Phase 1 only)

The proposed light industrial flex building is allowed as a Special Use within PDD No. 39 as defined below.

Office/Light Industrial Flex Space, herein defined as a building within which each tenant must have a combination of office and any one or more of the following uses: commercial, light industrial, warehouse, distribution, and/or storage (such uses consisting of any permitted/accessory/special use office, commercial, light industrial, warehouse, distribution, and storage uses as may otherwise be allowed within the pertinent Business Park Area portion of PDD No. 39), provided these uses are compatible with the office use of the building. The uses within an Office/Light Industrial Flex Space building may be interchangeable based on market demand and owner/tenant needs, provided that an office component is retained by each tenant at all times, and shall be subject to Zoning Compliance and/or Minor Site Plan Amendment review and approval by the Department of City Development. The following additional standard shall apply to any Office/Light Industrial Flex Space building located within the Gateway Area, and within all parcels immediately adjacent to Oakwood Road: If at any time should the total amount of space within the entire building devoted to warehouse, distribution, and/or storage uses increase by more than 25 percent over those amounts approved by the Common Council, a Special Use amendment shall be required.

As a light industrial flex building, the applicant is requesting that the Special Use approval allow the proposed building to contain up to 75% warehouse/distribution/storage space, plus the allowance for up to an additional 25% as may be approved by staff (per the above definition). This would result in a potential maximum total of 94% warehouse/distribution/storage within the building.

Considering the allowance for an additional 25% of warehouse/distribution/storage space by staff beyond the percentage approved by the Common Council, the emphasis PDD No. 39 places upon office uses, the prominent and desirable location of the buildings, and the extent of other permitted uses that may be accommodated with the proposed building, staff recommends that at least 35 percent of the building be reserved for office uses or other uses as allowed within the PDD No. 39 Business Park Area.

If the Special Use Permit is granted, each warehouse/distribution/storage tenant (similar to permitted uses), would be required to obtain its own zoning approval via a Zoning Compliance Permit prior to occupancy. Any future tenants which would cause the building to exceed the amount of warehouse/distribution/storage approved by the Common Council (by more than 25%), or any other special uses, would be required to obtain Council approval.

According to the applicant, the future tenants may have overnight parking of trucks and trailers, which, if allowed, must be included as part of this Special Use approval. Staff recommends that overnight parking of commercial vehicles (as defined by the Unified Development Ordinance) and semi-truck trailers is allowed, subject to being located within parking spaces on the south side (rear) of the site. Other than overnight parking within this area, staff recommends that no outdoor storage be allowed.

## Site Plan

The applicant is proposing a single story 101,717 square foot building adjacent to W. Oakwood Road. The proposed Lot 2 has an area of 7.5198 acres or 327,563 square feet. The development will result in a Landscape Surface Ratio of 28.4%. This exceeds the required 25% minimum LSR standard per Ordinance 2016-2238, PDD No. 39.

The project includes the building, which consists of 12 loading docks (expandable to 21), 4 drive through docks, 127 parking spaces, associated landscaping and lighting, and a shared driveway with proposed Lot 1, which are further discussed below. In addition, a stormwater management pond is proposed as part of this development, to be located on and shared with Lot 1.

Ingress/egress to the site is from W. Oakwood Road with a shared drive between Lots 1 and 2. It was contemplated to locate the main drive directly across from S. 34<sup>th</sup> Street; however, the Alderperson and adjacent property owners requested that the drive be shifted further east.

Staff has discussed with the applicant construction of a sidewalk along W. Oakwood Road. The applicant has indicated that there is limited space available for a sidewalk due to the berm location, which was requested by the Alderperson and adjacent residences. Staff would note that adequate room does exist for a sidewalk within the Oakwood Road right-of-way. Staff recommends that the applicant shall work with the City of Franklin Public Works and Engineering Department to locate a sidewalk within the Oakwood Road right-of-way.

- Alternatively, staff would recommend that a pedestrian crossing of Oakwood Road, at the location of the driveway into the subject development, with connection to a sidewalk along the driveway to the parking lot, be established.

Staff would suggest that a sidewalk connection be established from the building to the proposed sidewalk along the south side of Oakwood Road, or to the proposed pedestrian crossing of Oakwood Road if that were to be constructed instead.

The storm water basin is shown behind the Phase 2 building (i.e. Lot 1 of the proposed CSM). Staff recommends that the applicant shall submit a detailed storm water management plan for Phase 1 (or for Phase 1 and 2 if such is approved) for Engineering Department review and approval prior to issuance of a Building Permit.

Pursuant to Section 15-7.0103G. of the UDO, staff recommends that the applicant shall revise the Site Plan to include soils data for the subject area, for Department of City Development review and approval prior to issuance of a Building Permit.

Pursuant to Section 15-8.0300 of the UDO, staff recommends that the applicant shall prepare an Erosion Control Plan for Engineering Department review and approval prior to issuance of a Building Permit.

Pursuant to the City's Design Standards and Construction Specifications for water service and fire suppression purposes, staff recommends that the applicant shall ensure that fire hydrant leads are located within easements and that flow calculations are submitted for Engineering Department review and approval prior to issuance of a Building Permit.

## Parking

Pursuant to the Unified Development Ordinance:

- Light industrial uses require two parking spaces per 1,000 square feet of Gross Floor Area, plus required parking spaces for offices, or similar uses where those uses exceed 10% of GFA.
- Warehouse uses require 0.5 parking spaces per 1,000 square feet of GFA, plus required parking spaces for offices, or similar uses where those uses exceed 10% of GFA.
- General Office uses require 3.33 parking spaces per 1,000 square feet of GFA.

The applicant's site plan includes 127 parking spaces with the possibility of providing 23 more if necessary, for a total of 150 parking spaces. The site plan includes six accessible parking spaces, which meets Table 15-5.0202(I)(1) of the UDO. The applicant indicates that in their experience, such flex space buildings typically need 1.4 to 1.75 parking stalls per 1,000 square feet of GFA, and generally have about 7% of the building space devoted to office uses. This would result in a need for about 140 to about 180 parking spaces.

Staff would note that it is anticipated that the building will be occupied by tenants that have a mix of primarily light industrial, warehousing, distribution, and storage uses, and a lesser amount of office space. As specific tenants are not known at this time, staff considered the amount of parking proposed based on a potential mix of uses and the parking standards set forth in the UDO and noted above. This would result in a need for about 80 to about 200 parking spaces.

Considering these ranges and envisioned uses (and areas reserved for future parking if needed), staff does not object to the number of parking spaces provided. However, staff believes traffic conflicts may occur between cars backing out of the potential future parking spaces along the driveway and other car and truck traffic entering and exiting the site via this drive. Therefore, staff recommends that the applicant shall revise the Site Plan to eliminate the parking spaces along the shared drive between Lots 1 and 2 for Department of City Development review and approval prior to issuance of a Building Permit. Staff would note that should such parking be needed in the future, the applicant could apply for a Special Use amendment.

- If the future parking should remain part of the Site Plan, staff recommends that construction of the future parking shall require staff review and approval and the applicant shall demonstrate compliance with PDD No. 39 lot coverage requirements and shall submit a Landscape Plan to add the required amount of landscaping based upon the quantity of parking added.

The applicant is also proposing parking spaces that are 9' x 18' (162 square feet) in size. However, the UDO recommends a minimum of 180 square feet. In this instance, staff does not have any serious concerns as the majority of the proposed parking for this building will be employee parking for light industrial and warehouse/distribution/storage uses, with fewer turnover rates than retail or office type uses.

## Landscaping

Table 15-5.0302 of the UDO requires 1 planting of each type (canopy/shade tree, decorative tree, evergreen and shrub) per 10 provided parking spaces. With 127 parking spaces provided, 13 plantings of each type are required (15 plantings of each type if all of the future parking were

constructed). The development is adjacent to single-family residential uses (on the north side of W. Oakwood Road); therefore, a 20% increase in the quantity of plantings is required per Section 15-5.0302C. of the UDO. Based upon that increase, 16 plantings of each type are required (or 18 if all future parking is developed).

The applicant is proposing to install 13 plantings of each type. *Staff recommends that the applicant shall plant an additional three plantings of each type* (canopy/shade tree, decorative tree, evergreen and shrub) *to comply with Unified Development Ordinance requirements for Department of City Development review and approval prior to issuance of an Occupancy Permit. Staff recommends that the location of these additional plantings shall be along the berm adjacent to W. Oakwood Road.*

Staff recommends that a 2-year planting guaranty be provided and noted on the Landscape Plan per Section 15-5.0303G.3 of the Unified Development Ordinance (below).

**Plant Replacement.** Any plant materials included in an approved landscaping plan that do not survive a plant establishment period of two (2) years after installation shall be replaced with plant material(s) of the same or like species of equal size within the next planting season, but in any event, within six (6) months of the plant's demise. Said replacement shall be made by the property owner or, in the case of landscape plant materials located within a landscape easement under the control of a homeowners' association, the homeowners' association shall be responsible for said replacement.

As the amount of parking needed for the various tenants of the building will likely vary significantly from time to time, such that some employees may not always be able to park close to their tenant space, staff suggests that the applicant revise the Site Plan and Landscape Plan to extend the walkway along the entire front of the building.

### Lighting

The Lighting Plan consists of parking lot and building lighting. Twelve double and single fixture light poles are located throughout the site, primarily at access locations around the perimeter of the site and within the parking lot. These light poles are 20 feet high.

### Architecture

The proposed building exterior consists primarily of painted precast concrete wall panels of different colors and finishes. The building contains a center entrance feature and entrance features on the east and west ends of the building. All three entrances include a canopy feature and raised roofline. The building is generally 33'-5 1/2" in height with a peak height of 35'-8".

A dumpster enclosure is proposed and shown on the site plan. The enclosure will be constructed of painted CMU. Details can be found on Sheet AS500.

The applicant has noted that rooftop mechanical units have not been considered since tenants are not yet known. Staff recommends that all roof and wall-mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, must be screened from public view by parapets, walls, or by other means, or site line drawings provided that demonstrate the rooftop equipment is not visible from the public right-of-way, as approved by the Department of City Development.

Staff suggests higher parapets for all or portions of the north, east, and west elevations of the building to provide more variation to the roofline and to help screen future rooftop mechanicals.

### Natural Resource Protection

The property contains several protected natural resource features, primarily within Outlot 1 and Lot 3 of the proposed CSM. The applicant has provided natural resource information based upon a combination of SEWRPC aerial photograph interpretation, field delineations (with and without subsequent surveying), and best available information. Staff concurs with the use of this information for the CSM and Special Use except for those areas within 100 feet of any land disturbing activity. In that instance, field verified and surveyed delineations would be necessary. In addition, wetland delineation concurrence may also be required by the Wisconsin Department of Natural Resources.

The CSM contains the following notes related to natural resources:

- “Upon further division or development of Outlot 1 or Lot 3, field verification of all natural resources will be required.”
- “The natural resource features identified herein are not based upon field surveys. In the event of further land division or development of a parcel herein with any such natural resource feature, a complete NRPP with field surveys is required for said parcel.”
- “The natural resource features identified herein are not based upon filed surveys. In the event of further land division or any such natural resource feature, a complete NRPP with field surveys is required for said parcel.”

### Conservation Easement

A draft conservation easement document is attached for review. Note that best available information is being utilized in some locations, and that the conservation easement does not include protection of any resources located upon Lots 1, 2 and 3 of the CSM at this time. It is envisioned that a Conservation Easement would be required prior to any land division or development of those parcels, and would be based upon field verified delineations.

Outlot 1 contains a SEWRPC Isolated Natural Resource Area, which is also identified as a Natural Area and critical species habitat area, thus staff suggests that the second whereas paragraph of the conservation easement include language identifying that area as “Natural Area and Critical Species Habitat Area.”

The conservation easement proposed does not follow the City’s standard template. Most notably, the property owner is requesting that the property (Outlot 1) may continue to be used as it has been in the past, including holding family and friend gatherings, maintaining and using walking paths, various recreational uses such as fishing, hunting, and interacting with wildlife, riding horses, collecting maple sap and operating snowmobiles, all-terrain vehicles and other types of motorized vehicles.

Staff is not supportive of any motorized vehicle use, and is not supportive of these uses in perpetuity, therefore, staff recommends that the applicant shall revise the Conservation Easement to remove motorized vehicle use and to state that the remaining added rights sunset in the event that this property is sold, further subdivided or developed, prior to the recording the Conservation Easement with the Milwaukee County Register of Deeds.



Staff also recommends the following technical revisions:

- Staff recommends that wetland setbacks be included as part of the conservation easement and that the second whereas paragraph be amended to include “wetland setbacks.” Note that in protecting the entirety of Outlot 1, the wetland setbacks will be protected within that easement boundary.
- Mortgage Holder Consent page required. If no mortgage holder, the page is still required with “None” written across it, so the City and County are aware that there is no mortgage on the property.
- A more legible exhibit and legal description will be needed for the Conservation Easement.

### Signage

The applicant is proposing to locate a monument sign adjacent to W. Oakwood Road. The sign includes the development name and three individual tenant panels. The sign has a masonry base and has an overall height of 9’-9 ¾”.

Signs are shown for reference only. Signs require separate review and approval by the Architectural Review Board and a Sign Permit from the Inspection Department, prior to installation.

### **Staff Recommendation:**

City Development staff recommends approval of the proposed Special Use and Certified Survey Map for property Tax Key Number 951-9994-001, subject to the conditions in the draft resolutions.

RESOLUTION NO. 2017-\_\_\_\_\_

A RESOLUTION CONDITIONALLY APPROVING A 3 LOT AND 1 OUTLOT CERTIFIED SURVEY MAP, BEING THE NORTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 21 EAST, IN THE CITY OF FRANKLIN, COUNTY OF MILWAUKEE, STATE OF WISCONSIN  
(JOHN HELLER, PRESIDENT OF INTERSTATE PARTNERS II WISCONSIN LLC, APPLICANT)  
(THE SOUTHWEST CORNER OF SOUTH 27TH STREET AND WEST OAKWOOD ROAD)

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WHEREAS, the City of Franklin, Wisconsin, having received an application for approval of a certified survey map, such map being the Northwest 1/4 and part of the Northeast 1/4 of the Northeast 1/4 of Section 36, Township 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin, more specifically, of the property located at the southwest corner of South 27th Street and West Oakwood Road, bearing Tax Key No. 951-9994-001, John Heller, President of Interstate Partners II Wisconsin LLC, applicant; said certified survey map having been reviewed by the City Plan Commission and the Plan Commission having recommended approval thereof pursuant to certain conditions; and

WHEREAS, the Common Council having reviewed such application and Plan Commission recommendation and the Common Council having determined that such proposed certified survey map is appropriate for approval pursuant to law upon certain conditions.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of the City of Franklin, Wisconsin, that the Certified Survey Map submitted by John Heller, President of Interstate Partners II Wisconsin LLC, as described above, be and the same is hereby approved, subject to the following conditions:

1. That any and all objections made and corrections required by the City of Franklin, by Milwaukee County, and by any and all reviewing agencies, shall be satisfied and made by the applicant, prior to recording.
2. That all land development and building construction permitted or resulting under this Resolution shall be subject to impact fees imposed pursuant to §92-9. of the Municipal Code or development fees imposed pursuant to §15-5.0110 of the Unified Development Ordinance, both such provisions being applicable to the development and building permitted or resulting hereunder as it occurs from time to time, as such Code and Ordinance provisions may be amended from time to time.

JOHN HELLER, PRESIDENT OF INTERSTATE PARTNERS II WISCONSIN LLC –  
CERTIFIED SURVEY MAP  
RESOLUTION NO. 2017-\_\_\_\_\_

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3. Each and any easement shown on the Certified Survey Map shall be the subject of separate written grant of easement instrument, in such form as provided within the *City of Franklin Design Standards and Construction Specifications* and such form and content as may otherwise be reasonably required by the City Engineer or designee to further and secure the purpose of the easement, and all being subject to the approval of the Common Council, prior to the recording of the Certified Survey Map.
4. John Heller, President of Interstate Partners II Wisconsin LLC, successors and assigns, and any developer of the Interstate Partners II Wisconsin LLC 3 lot and 1 outlot certified survey map project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
5. The approval granted hereunder is conditional upon John Heller, President of Interstate Partners II Wisconsin LLC and the 3 lot and 1 outlot certified survey map project for the property located at the southwest corner of South 27th Street and West Oakwood Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
6. The following technical revisions shall be made to the Certified Survey Map, for staff review and approval, prior to recording of the CSM with the Milwaukee County Register of Deeds:
  - a. The dashed setback lines shall be added to Lot 3 on Sheet 1, adjacent to W. Oakwood Road and Outlot 1 and Lot 2.
  - b. The Certified Survey Map shall be revised to replace “Oakwood Avenue” with “West Oakwood Road”.
  - c. Sheet 2 shall be changed to Sheet 7 and the Certified Survey Map renumbered accordingly
7. The Natural Resource Protection Plan shall be revised to include field verified natural resource delineations within 100 feet of all land disturbing activities for Department of City Development review and approval prior to issuance of a Building Permit. The Certified Survey Map, Natural Resource Protection Plan, and Conservation Easement

JOHN HELLER, PRESIDENT OF INTERSTATE PARTNERS II WISCONSIN LLC –  
CERTIFIED SURVEY MAP  
RESOLUTION NO. 2017-\_\_\_\_\_

Page 3

shall be revised accordingly, for Department of City Development review and approval, prior to recording the Certified Survey Map and Conservation Easement with the Milwaukee County Register of Deeds.

8. The location of the Ordinary High Water Mark as determined by the Wisconsin Department of Natural Resources shall be illustrated on the Certified Survey Map, Natural Resource Protection Plan and Conservation Easement, prior to recording the Certified Survey Map and Conservation Easement with the Milwaukee County Register of Deeds.
9. All of Outlot 1 shall be included within the Conservation Easement and the Certified Survey Map shall be revised to illustrate all of Outlot 1 as the Conservation Easement boundary.
10. The Natural Resource Protection Plan, Certified Survey Map, and Conservation Easement shall be revised to reflect the envisioned loss of mature woodland, for Department of City Development review and approval prior to issuance of a Building Permit.
11. The Conservation Easement shall be revised to remove motorized vehicle use and to state that the remaining added rights sunset in the event that this property is sold, further subdivided or developed, prior to the recording the Conservation Easement with the Milwaukee County Register of Deeds.
12. The Conservation Easement shall be revised as follows, prior to recording with the Milwaukee County Register of Deeds:
  - a. The wetland setbacks shall be included as part of the conservation easement and the second whereas paragraph shall be amended to included “wetland setbacks.”
  - b. A Mortgage Holder Consent page shall be provided. If there is not a mortgage holder, the page shall be submitted with “None” written across to indicate that there is no mortgage on the property.
  - c. A more legible exhibit and legal description shall be submitted.

13. [other conditions, etc.]

BE IT FURTHER RESOLVED, that the Certified Survey Map, certified by owner, Jams LLC, be and the same is hereby rejected without final approval and without any further action of the Common Council, if any one, or more than one of the above conditions is or are not met and satisfied within 180 days from the date of adoption of this Resolution.

JOHN HELLER, PRESIDENT OF INTERSTATE PARTNERS II WISCONSIN LLC –  
CERTIFIED SURVEY MAP  
RESOLUTION NO. 2017-\_\_\_\_\_

Page 4

BE IT FINALLY RESOLVED, that upon the satisfaction of the above conditions within 180 days of the date of adoption of this Resolution, same constituting final approval, and pursuant to all applicable statutes and ordinances and lawful requirements and procedures for the recording of a certified survey map, the City Clerk is hereby directed to obtain the recording of the Certified Survey Map, certified by owner, Jams LLC, with the Office of the Register of Deeds for Milwaukee County.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

APPROVED:

\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

RESOLUTION NO. 2017-\_\_\_\_\_

A RESOLUTION IMPOSING CONDITIONS AND RESTRICTIONS  
FOR THE APPROVAL OF A SPECIAL USE TO ALLOW FOR A  
MULTI-TENANT BUILDING DEVELOPMENT CONSISTING OF COMMERCIAL,  
LIGHT INDUSTRIAL AND DISTRIBUTION SPACE USE UPON PROPERTY  
LOCATED AT THE SOUTHWEST CORNER OF SOUTH 27TH STREET  
AND WEST OAKWOOD ROAD  
(JOHN HELLER, PRESIDENT OF INTERSTATE PARTNERS II  
WISCONSIN LLC, APPLICANT)

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WHEREAS, John Heller, President of Interstate Partners II Wisconsin LLC having petitioned for the approval of a Special Use in Planned Development District No. 39 (Mixed-Use Business Park), to allow for a multi-tenant building development (2 buildings totaling approximately 230,000 – 240,000 square feet) consisting of commercial, light industrial and distribution space use, upon property located at the southwest corner of South 27th Street and West Oakwood Road, bearing Tax Key No. 951-9994-001, more particularly described as follows:

The Northwest 1/4 and part of the Northeast 1/4 of the Northeast 1/4 of Section Thirty-Six, Township Five North, Range Twenty-One East, in the City of Franklin, County of Milwaukee, State of Wisconsin; and

WHEREAS, such petition having been duly referred to the Plan Commission of the City of Franklin for a public hearing, pursuant to the requirements of §15-9.0103D. of the Unified Development Ordinance, and a public hearing having been held before the Plan Commission on the 4th day of May, 2017, and the Plan Commission thereafter having determined to recommend that the proposed Special Use be approved, subject to certain conditions, and the Plan Commission further finding that the proposed Special Use upon such conditions, pursuant to §15-3.0701 of the Unified Development Ordinance, will be in harmony with the purposes of the Unified Development Ordinance and the Comprehensive Master Plan; that it will not have an undue adverse impact upon adjoining property; that it will not interfere with the development of neighboring property; that it will be served adequately by essential public facilities and services; that it will not cause undue traffic congestion; and that it will not result in damage to property of significant importance to nature, history or the like; and

WHEREAS, the Common Council having received such Plan Commission recommendation and also having found that the proposed Special Use, subject to conditions, meets the standards set forth under §15-3.0701 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Common Council of

JOHN HELLER, PRESIDENT OF INTERSTATE PARTNERS II WISCONSIN LLC –  
SPECIAL USE  
RESOLUTION NO. 2017-\_\_\_\_\_

Page 2

the City of Franklin, Wisconsin, that the petition of John Heller, President of Interstate Partners II Wisconsin LLC, for the approval of a Special Use for the property particularly described in the preamble to this Resolution, be and the same is hereby approved, subject to the following conditions and restrictions:

1. That this Special Use is approved only for the use of the subject property by John Heller, President of Interstate Partners II Wisconsin LLC, successors and assigns, as a multi-tenant building development use, which shall be developed in substantial compliance with, and operated and maintained by John Heller, President of Interstate Partners II Wisconsin LLC, pursuant to those plans City file-stamped April 25, 2017 and annexed hereto and incorporated herein as Exhibit A.
2. John Heller, President of Interstate Partners II Wisconsin LLC, successors and assigns, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Interstate Partners II Wisconsin LLC multi-tenant building development, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.
3. The approval granted hereunder is conditional upon the John Heller, President of Interstate Partners II Wisconsin LLC multi-tenant building development use for the property located at the southwest corner of South 27th Street and West Oakwood Road: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. Phase 2 of the proposed development, comprised of a proposed 136,700 square foot light industrial flex space building, shall obtain separate Special Use approval from the City of Franklin at such time as a full and complete submittal for, and City review of, a Special Use application can be undertaken.
5. At least 35 percent of the building shall be reserved for office uses or other uses as allowed within the PDD No. 39 Business Park Area
6. Overnight parking of commercial vehicles (as defined by the Unified Development Ordinance) and semi-truck trailers is allowed, subject to being located within parking spaces on the south side (rear) of the site.

7. No outdoor storage shall be allowed.
8. The applicant shall work with the City of Franklin Public Works and Engineering Department to locate a sidewalk within the Oakwood Road right-of-way.
9. A detailed storm water management plan for Phase 1 (or for Phase 1 and 2 if such is approved) shall be submitted for Engineering Department review and approval prior to issuance of a Building Permit.
10. The Site Plan shall be revised to include soils data for the subject area, for Department of City Development review and approval prior to issuance of a Building Permit.
11. The applicant shall prepare an Erosion Control Plan for Engineering Department review and approval prior to issuance of a Building Permit.
12. The applicant shall ensure that fire hydrant leads are located within easements and that flow calculations are submitted for Engineering Department review and approval prior to issuance of a Building Permit.
13. The Site Plan shall be revised to eliminate the parking spaces along the shared drive between Lots 1 and 2 for Department of City Development review and approval prior to issuance of a Building Permit.
14. The applicant shall plant an additional three plantings of each type (canopy/shade tree, decorative tree, evergreen and shrub) to comply with Unified Development Ordinance requirements for Department of City Development review and approval prior to issuance of an Occupancy Permit. The location of these additional plantings shall be along the berm adjacent to W. Oakwood Road.
15. A 2-year planting guaranty shall be provided and noted on the Landscape Plan per Section 15-5.0303G.3 of the Unified Development Ordinance
16. All roof and wall-mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, shall be screened from public view by parapets, walls, or by other means, or site line drawings provided that demonstrate the rooftop equipment is not visible from the public right-of-way, as approved by the Department of City Development.
17. Signs shall require separate review and approval by the Architectural Review Board and a Sign Permit from the Inspection Department, prior to installation.
18. Condition Nos. 7, 8, 9, 10, 11 and 12 of the Certified Survey Map resolution related to the Natural Resource Protection Plan and Conservation Easement shall be resolved prior to issuance of a Building Permit related to this Special Use.



19. [other conditions, etc.]

BE IT FURTHER RESOLVED, that in the event John Heller, President of Interstate Partners II Wisconsin LLC, successors or assigns, or any owner of the subject property, does not comply with one or any of the conditions and restrictions of this Special Use Resolution, following a ten (10) day notice to cure, and failure to comply within such time period, the Common Council, upon notice and hearing, may revoke the Special Use permission granted under this Resolution.

BE IT FURTHER RESOLVED, that any violation of any term, condition or restriction of this Resolution is hereby deemed to be, and therefore shall be, a violation of the Unified Development Ordinance, and pursuant to §15-9.0502 thereof and §1-19. of the Municipal Code, the penalty for such violation shall be a forfeiture of no more than \$2,500.00, or such other maximum amount and together with such other costs and terms as may be specified therein from time to time. Each day that such violation continues shall be a separate violation. Failure of the City to enforce any such violation shall not be a waiver of that or any other violation.

BE IT FURTHER RESOLVED, that this Resolution shall be construed to be such Special Use Permit as is contemplated by §15-9.0103 of the Unified Development Ordinance.

BE IT FURTHER RESOLVED, pursuant to §15-9.0103G. of the Unified Development Ordinance, that the Special Use permission granted under this Resolution shall be null and void upon the expiration of one year from the date of adoption of this Resolution, unless the Special Use has been established by way of the issuance of an occupancy permit for such use.

BE IT FINALLY RESOLVED, that the City Clerk be and is hereby directed to obtain the recording of a certified copy of this Resolution in the Office of the Register of Deeds for Milwaukee County, Wisconsin.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2017, by Alderman \_\_\_\_\_.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

JOHN HELLER, PRESIDENT OF INTERSTATE PARTNERS II WISCONSIN LLC –  
SPECIAL USE  
RESOLUTION NO. 2017-\_\_\_\_\_

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APPROVED:

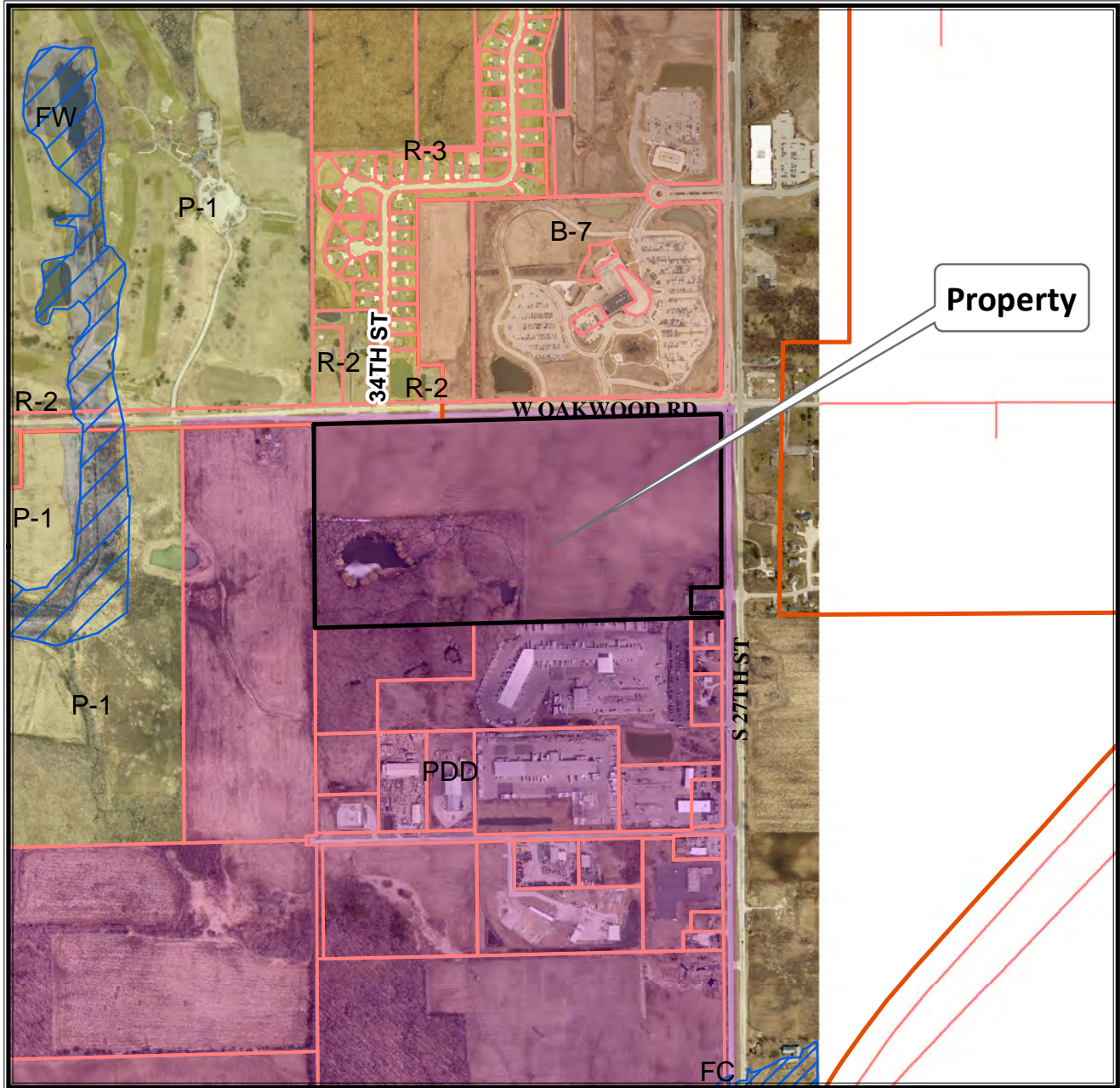
\_\_\_\_\_  
Stephen R. Olson, Mayor

ATTEST:

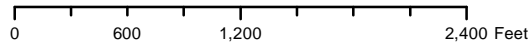
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Sandra L. Wesolowski, City Clerk

AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_

# S. 27th Street and W. Oakwood Road TKN: 951 9994 001

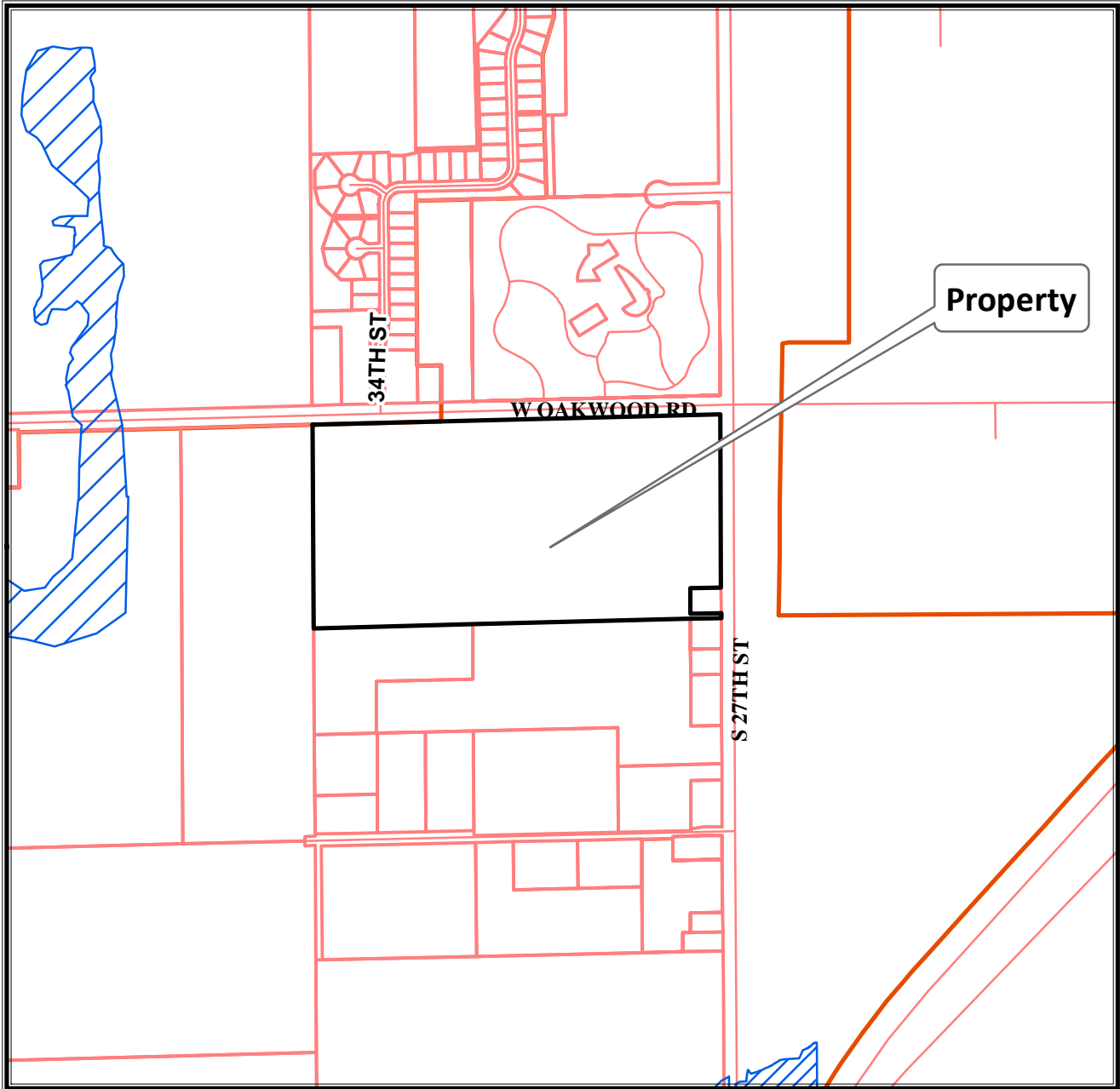


**Planning Department**  
**(414) 425-4024**

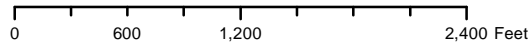


*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

S. 27th Street and W. Oakwood Road  
TKN: 951 9994 001



**Planning Department**  
**(414) 425-4024**



*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*





# Interstate Partners LLC

N16 W23217 Stone Ridge Drive → Suite 120 → Waukesha, WI 53188 → Tel: 262.506.1000 → Fax: 262.506.1001 → interstatepartners.com

April 25, 2017

City of Franklin  
9229 W Loomis Road  
Franklin, WI 53132

Franklin

APR 25 2017

City Development

## RE: Oakwood Business Park

Interstate Partners is proposing a development consisting of two buildings totaling approximately 230,000 – 240,000 SF of commercial / light industrial / distribution space (see attached site plan). If approved, although dependent upon market conditions, it is anticipated construction would commence on approximately 100,000 SF of space in 2017.

We have met with city representatives, Alderman Taylor and neighbors several times over the course of the last two years. We have incorporated input from residents and Alderman Taylor into the design presented to you today. For example, based on their suggestions, we have added a berm in front of the buildings along Oakwood Road. This berm will be landscaped with trees (including evergreen trees as requested by neighbors) and shrubs. We have also dropped the elevation of the front parking lot so it now sits lower than Oakwood Road and won't be as visible. As requested by neighbors and Alderman Taylor, the point of entry into the site was moved further east so the entry road does not align with 34<sup>th</sup> Street. Also, we have changed the color of the buildings from a white and blue color scheme to the design shown here.

The building features would include painted precast wall panels, an interior building clear height of 28 feet, and glass accents highlighting areas of the building where we anticipate future tenants will have office space. The building would be built on a speculative basis, but we believe the market demand is such that this high-quality building would attract new tenants within 12 months of construction. The resulting value created for the two buildings would be approximately \$11.5 million (\$50 per square foot times the 230,000 square feet).

We are requesting Special Use Approval for both proposed buildings as part of Planned Development District No. 39. Approval is requested for the total percentage of each building devoted to warehouse, distribution and/or storage uses be set at 75%. It is anticipated each tenant will have some office component. The office component can be defined as any work area with one or more desks with phones, computers, etc. where the tenant conducts its business.

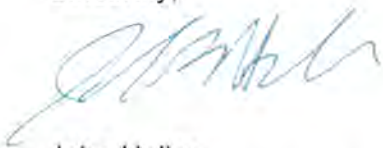
We are requesting the city will be able to use TIF funds for the cost of the required improvements that will need to be made to Oakwood Road in order to accommodate this development, along with a small portion of the costs related to the stormwater retention areas,

which assistance will allow this project to be economically viable. Also, the property owners are requesting assistance for reimbursement of costs related to the sewer and water assessments levied against this land in the past, of which they have not yet recouped any costs. We understand eventually there may be regional stormwater facilities created for the overall development of PDD 39 for other buildings to use, but these will not be available in time for this development. Details on this will be discussed with staff and submitted to Ehlers for analysis.

Please feel free to contact John Heller or Caroline Brzezinski with any questions or comments.

Thank you for consideration of this matter. We look forward to a lasting partnership with the City of Franklin.

Sincerely,



John Heller  
President, Interstate Partners  
262-506-6200  
[jheller@interstatepartners.com](mailto:jheller@interstatepartners.com)



Caroline Brzezinski  
Development Associate, Interstate Partners  
262-506-6204  
[cb@interstatepartners.com](mailto:cb@interstatepartners.com)





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**MEMORANDUM:**

**FROM: City Development**

DATE: April 13, 2017

TO: Caroline Brzezinski, Interstate Partners

FROM: Department of City Development

SUBJECT: Staff Comments – Certified Survey Map and Special Use Applications

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Please be advised that City Staff has reviewed the above applications. Department comments are as follows for the Special Use and Certified Survey Map date-stamped by the City of Franklin on March 28, 2017:

**Department of City Development**

**Certified Survey Map, Natural Resource Protection Plan and Conservation Easement:**

1. Please include the following information per Section 15-7.0702 of the Unified Development Ordinance:
  - 15-7.0702C **Utility and Drainage Easements.** Utility and/or drainage easements.
  - 15-7.0702F **Existing and Proposed Contours.** Existing and **proposed** contours at vertical intervals of not more than two (2) feet. Elevations shall be marked on such contours based on National Geodetic Vertical Datum of 1929 (mean sea level). This requirement may be waived if the parcel(s) created are fully developed.
2. It appears Lots 1 and 2 will share the access drive. A shared access easement is recommended and should be shown on the CSM.
3. The mature woodlands note for Lot 1 is not labeled correctly. The note states “Mature Wetlands.” Please revise. **This has been corrected.**
4. The setback notes on Sheet 1 are not complete. The Gateway side and rear yards are not listed and the Business park area Corner Side Yard setback is not listed. The note should read as follows: **The setbacks have been corrected.**
  - PDD No. 39 Gateway Area (Lot 3):
    - Front Yard = 40’
    - Side Yard = 15’
    - Corner Side Yard = 30’
    - Rear Yard = 25’
  - PDD No. 39 Business Park Area (Lot 1 & 2):
    - Front Yard = 30’
    - Side Yard = 10’
    - Corner Side Yard = 25’
    - Rear Yard = 25’
5. The Lot 3 setbacks are illustrated incorrectly. The setback adjacent to S. 27<sup>th</sup> Street is the WisDot minimum setback, which is more restrictive. This setback is 42 feet per Trans 233.08.

Furthermore, the setback from W. Oakwood Road is 30 feet as it is the corner side yard. Thus, the setback from the south property line is 15 feet as the side yard and the setback adjacent to Outlot 1 and Lot 2 is 25 feet as the rear yard.

With that said staff also recommends including a note that the setbacks for Lot 3 are subject to change based upon future development proposals or future land divisions. The City would further consider setbacks at that time.

6. It appears that only SEWRPC delineations and mapping was utilized for the NRPP. Staff recommends field verified natural resource delineations within 100 feet of all land disturbing activities (as that may extend into Outlot 1 and /or Lot 3), and for all of Lots 1 and 2. Best available information as prepared is sufficient for the remainder of Outlot 1 and Lot 3. *The City of Franklin commissioned SEWRPC to complete a delineation of the subject property and the surrounding areas. We have used this SEWRPC delineation to complete our NRPP. The distance of the SEWRPC delineation into Outlot 1 varies from 150 feet deep into Outlot 1 near the wetland, to 60 feet along most of the southern property line. We are requesting the ability to use this SEWRPC delineation for this development and base our findings on "best available information from SEWRPC" in areas that don't extend 100 feet into Outlot 1.*
7. Is there an anticipated time-frame for the DNR to determine the navigability and Ordinary High Water Mark for the ponds? *I am waiting to hear back from the DNR on their timing.*
8. The approximate location of wetlands along S. 27<sup>th</sup> Street is not shown. These are the wetlands along the ditch on S. 27<sup>th</sup> Street and in the far southeast corner of the woods just south of the wetland area shown on Sheet 1. These are noted on the WDNR Map and SEWRPC map previously provided. *We are looking for further clarification from SEWRPC on this issue as it is called a "wet ditch" versus a wetland.*
9. Please include a note on the CSM that the woodlands are an Isolated Natural Resource Area as identified by the Southeastern Wisconsin Regional Planning Commission. SEWRPC also indicates that the woodlands are a Critical Species Habitat area. *We will consider including this note, but first we would like the city or SEWRPC to explain what the Critical Species Habitat area means. We assume this will not result in any future limitations for use on any lots or outlots.*
10. In regards to the Conservation Easement, it is important to remember that these woods are a Critical Species Habitat Area as identified by SEWRPC in its "A Regional Natural Areas and Critical Species Habitat Protection and Management Plan for Southeastern Wisconsin". Staff suggests that be added to the second Whereas paragraph on page 1 that describes the natural resources present at this site.

Also, in regard to the added rights on page 2, staff is not supportive of any motorized vehicle use, and recommends that these added rights sunset in the event that this property is sold, further subdivided, developed, etc. *All comments related to the conservation easement will be addressed separately and discussions are ongoing with the City Attorney.*

11. Staff recommends including wetland setbacks as part of the conservation easement. If so, the second Whereas paragraph of the easement agreement should be amended to include "wetland setbacks."



12. If there is no mortgage holder, please provide the Mortgage Holder Consent page with “None” written across it, so the City and County are aware that there is no mortgage on the property. *Mortgage information will be added to the CSM.*
13. A more legible exhibit and legal description will be needed for the Conservation Easement.

Special Use and Site Plan:

14. Staff recommends that more office space be provided/required for the proposed Office/Light Industrial Flex buildings. Taking into account the PDD No. 39 allowance for up to an additional 25 percent of warehouse/distribution/storage space within the proposed building (beyond what the Common Council may herein approve), staff would propose that at least 35 percent of the building be reserved for office uses. *As discussed, we are requesting that not more than 75% of the building be warehouse/distribution space, with an allowance for up to an additional 25% of warehouse/distribution/storage space.*
15. Please be aware that individual tenants will require zoning approval prior to occupancy. Allowed uses can be found in Ordinance 2016-2238. *What is the process for this if a tenant is an allowed use and conforms to current zoning?*
16. What is the time-frame for construction of the second building? Staff recommends that the second building be required to submit a Special Use Application, prior to construction. *We are requesting the same Special Use Approval for Building Two as Building One at this time. Timeline for construction will be based on how quickly leasing occurs in Building One. We understand the city will need to review and approve architecture and site plan, but we request the same 75% level discussed above be approved for Building Two at this time.*
17. Please illustrate the proposed property line for Lots 1 and 2 on the site plans. *This has been added.*
18. The site calculation table must be revised to include the site area of Lot 1 and Lot 2 separately as they are proposed to be separate parcels (Sheets C110 & AS400). Each parcel for Phase 1 and Phase 2 must meet PDD No. 39 standards. Note that Phase 1 appears to not meet the minimum LSR of 25%. See below.
  - Phase 1
    - Total Site Area                      7.5198 AC
    - Proposed Impervious Area       5.7110 AC
    - Proposed Greenspace            1.8088 AC (24.05%) *(not 11.887 and 67.5% as currently noted)*

In general, the calculations are not correct as noted. For example, the total site area for the future phase is 10.0777 acres per Lot 1 of the proposed CSM. The calculations note an impervious area of 6.957 acres and greenspace of 4.930 acres, which totals 11.887 acres. Please revise accordingly. *The site calculation tables have been corrected. The LSR is greater than 25%.*

19. Staff recommends eliminating the future parking along the main drive between Lots 1 and 2. Staff does not support parking directly off that drive. *We are requesting the parking along this interior, private drive remain as a future option. If a tenant requires greater amounts of office space (as desired by staff), parking in these locations would allow us to accommodate such a user.*



20. Please indicate if any overnight parking of vehicles over 8,000 lbs will occur, as such use requires prior approval by the Common Council. Occasionally overnight parking could occur, so we request approval as long as such parking is in the rear of the building.
21. Please indicate why the proposed truck maneuvering area is needed. Absent an overwhelming need for this area, and in part to address the LSR concern noted in these staff comments, staff would recommend that this area be removed. According to our engineers, without this truck maneuvering area, trucks would not be able to access the two eastern most docks of the building so we view this area as imperative to the development. As noted above, the LSR concern has been addressed.
22. Staff recommends that more detailed information be provided in regard to the proposed amount of parking, comparing this to the proportion of uses anticipated within the building (office, light manufacturing, warehousing, etc.) and to the parking standards for such uses provided in Table 15-5.0203 of the UDO. Staff suggests that you provide alternative scenarios or ranges of the proportions of such uses if exact amounts are not known at this time. We typically plan to have approximately 1.4 stalls per 1,000 SF of light industrial use and 4 stalls per 1,000 SF of office use. We anticipate tenants may require approximately 7% office space, therefore we need about 1.65 stalls per 1,000 SF (which is what is shown on the plan). A typical range for this building type is between 1.5 stalls per 1,000 SF and 1.75 stalls per 1,000 SF. The future parking allows flexibility in the event a tenant has more employees.
23. Please be aware that signs are subject to separate review and approval by the Architectural Review Board and Sign Permit from the Inspection Department. Please provide a note on the plans for any signage referenced that the signs are shown for reference only and require separate review and approval. So noted.
24. Staff recommends a sidewalk along W. Oakwood Road, and along the private drive to the front of the buildings. We have added a berm with landscaping along Oakwood Road in lieu of a sidewalk at the request of the Alderman and neighbors.
25. Staff recommends the walkway in front of the building extend across the entire length of the building. The sidewalk in front of the building is only extended in areas where we believe it will be used by tenant entries and is necessary for ADA accessibility.
26. The walkways do not match from Sheet AS100 and the landscape plan. Please note that connections to all entrances are recommended. That may just modify the planting count; although the change should not be significant. This has been corrected.
27. Please revise the Site Zoning and Location Table to just state the existing zoning as PDD No. 39. This has been corrected.
28. Pursuant to Section 15-7.0103G. of the UDO, soils data for the subject property must be provided. We can provide in the future. Please comment as to why the city requires our soils data.
29. Sheet C110 parking summary is not consistent with Sheet AS400. Please revise (Sheet C110 is incorrect). This has been corrected.
30. Staff recommends amending item 16 on Sheet L1.2 to a two year planting guaranty as typically required by the UDO. A two-year guarantee is not available from the landscape contractor.
31. Sheet AS100 notes a 20' side yard setback. The side yard setback is 10'. Also, the rear yard setback is 25'. Please review setbacks and make sure they are correct and consistent throughout the plan set. Sheet AS100 shows actual distances, not required setbacks. All distances are in excess of setback requirements.
32. Please note that as it is anticipated that the building will consist of primarily industrial uses, the landscape planting requirement is 1 planting of each type (Canopy/Shade Tree,



Evergreens, Decorative Trees and Shrubs) per 10 provided parking spaces, not 5 as noted on the landscape plan. *The calculations and the code compliance table have been adjusted.*

In addition, as residential uses exist on the north side of W. Oakwood Road, the requirements of Section 15-5.0302C. of the UDO must be met. See below. This requirement is noted on the plan; however, it is not reflected in the calculations.

**C. BUFFERYARD.** When development abuts or is across a street from a residential zoning or use, or a less intense use such as a church or school, the following bufferyard requirements apply:

1. The minimum quantity of plantings required in Table 15-5.0302 increases by twenty (20) percent.
2. Emphasis shall be on placing the increased amount of plantings within the bufferyard, except where preservation of existing plant material does not allow additional plantings.
3. Evergreens and arborvitae are required within the buffer yard with a minimum planting height of six (6) feet.

Please revise the tables on the landscape plan per the above comment and identify the bufferyard on the plans. Even with the option to reduce the plant quantity, staff would encourage maintaining the proposed screening adjacent to W. Oakwood Road.

*Overall plant counts were reduced, yet an additional 18 shrubs were added in the Identified Bufferyard Area along the northwest portion of Oakwood Drive to comply with Bufferyard Landscape Requirements.*

Please also note that if future parking is installed, additional plantings may be required, unless those plantings are included in the current plan. If so, please account for future parking in the landscape table. *Understood*

33. The table on Sheet L1.2 indicates 14 MV plantings. Sheet L1.1 illustrates 16 plantings. Please revise to be consistent. *This has been corrected.*
34. Staff recommends plantings within the parking lot islands. Note that staff does not object to mulch or stone being installed, opposed to grass. *This has been addressed on the plans.*
35. Staff recommends breaking up the row of parking along the south of the property with landscape islands and plantings. *The row of parking along the south of the property does not have islands and plantings to allow for truck maneuverability.*
36. What is the height of the light poles and mounted height of the building light fixtures? Please note these heights on the Lighting Plan, Sheet ES100. *The note does exist on the Lighting Plan. The height is 20 feet.*
37. Are rooftop mechanicals planned at this time? If so, where are they located and what type of screening, if any, will be in place? Note that rooftop equipment shall be so located and/or screened and/or painted to minimize visibility from streets and adjacent sites. If screening is anticipated, please provide sample cut sheets or details of such screening. *The size and locations of rooftop units will be determined in the future once tenants are secured. We understand all RTUs will need to be screened in a manner that is acceptable to the city and it is assumed this approval is granted at staff level.*
38. Related to architecture, staff recommends the following:



- Raising the height of the main entrance and the ends of the building to add more variation to the roofline. *The heights of the building entrances have been raised at each end of the building*
- Staff looks favorably on the design of the main entrance, northeast and northwest corners of the building; however, we do recommend additional architectural features on the front (north) elevation of the building. This is a long expanse of the building that will be highly visible from W. Oakwood Road. Staff recommends consideration of greater variation in the building footprint, additional features such as awnings or canopies, inclusion of additional entrance features, additional materials, and/or additional colors, textures or patterns. Please note that these are only suggestions and not meant to be inclusive or limiting and staff is pleased to review and consider any other ideas. *We have added an architectural feature to the center building entrance along the north elevation.*

### **Engineering Department**

Certified Survey Map Review:

Before recommending its approval, the applicant has to comply with the following conditions:

39. Must resolve the technical omissions and deficiencies identified by Milwaukee County. Upon receipt of the comments from Milwaukee County, the City comments may be revised to reflect changes required by the County.
40. Must show that the hydrant lead is in the easement. Hydrant lead easement document must also be submitted for review and approval.
41. Must submit conservancy easement document for review and approval. *This document has been submitted to the City Attorney.*
42. Must include wetland table in this proposal. Delineation of the wetland must be approved by the DNR.
43. Must confirm that the 40' (42'?) setback line, fronting South 27th Street (S.T.H 241) is in compliance with the State DOT requirements.

Special Use:

44. Must submit Storm Water Management Plan. The City will forward SWMP to designated Engineering Consultant for review and approval at owner's expense. *This will be available for submittal in the near future, but not before Plan Commission.*
45. Must submit flow calculation of the hydrant. The installation of the hydrant lead must adhere to the City of Franklin Design Standards and Construction Specifications. This work must also be inspected with City's approved inspector at owner's expense. *This will be available for submittal in the near future, but not before Plan Commission.*

### **Fire Department**

Comments have not yet been received from the Fire Department. You may contact them directly at 414-425-1420.

### **Police Department**

The Franklin Police Department has reviewed the application for TKN 951 9994 001. The Police Department has no issues with this request.





# PLAN COMMISSION DRAWINGS FOR: INTERSTATE PARTNERS SPECULATIVE INDUSTRIAL BUILDING



N16 W23217 STONE RIDGE DRIVE, SUITE 300  
WAUKESHA, WI 53188 | www.jaknetter.com  
office 262 513 9800 | fax 262 513 9815

## PROJECT INFORMATION:



SPECULATIVE  
BUSINESS CENTER

FRANKLIN COMMERCE  
CENTER I

## DRAWING ISSUANCE:

CITY REVIEW  
COMMENTS PACKAGE

## REVISIONS

#	DATE	DESCRIPTION
1	25 APRIL 2017	CITY REVIEW COMMENTS

## FRANKLIN COMMERCE CENTER I

### CIVIL

#### HARWOOD ENGINEERING CONSULTANTS, LTD.

255 NORTH 21st STREET  
MILWAUKEE, WI 53223  
PHONE: (414) 475-5554  
FAX: (414) 773-9299

PROJECT CONTACT: TOM OLEJNICZAK, PE  
DIRECT PHONE: (414) 918-1240  
EMAIL ADDRESS: tom.olejniczak@hecl.com

### LANDSCAPE

#### HELLER & ASSOCIATES, LLC.

1 REDWOOD COURT  
RACINE, WI 53402  
PHONE: (262) 639-9733  
FAX: (262) 639-9737

PROJECT CONTACT: W. DAVID HELLER  
DIRECT PHONE: (262) 639-9737  
EMAIL ADDRESS: david@wdauidheller.com

### ARCHITECTURAL

#### JAKnetter ARCHITECTS

N16 W23217 STONE RIDGE DRIVE, SUITE 300  
WAUKESHA, WI 53188  
PHONE: (262) 513-9800

PROJECT CONTACT: JAY A. KNETTER, AIA  
DIRECT PHONE: (262) 278-4383  
EMAIL ADDRESS: jayk@jaknetter.com

### SITE PHOTOMETRICS

#### HARWOOD ENGINEERIG CONSULTANT, LTD.

255 NORTH 21st STREET  
MILWAUKEE, WI 53223  
PHONE: (414) 475-5554  
FAX: (414) 773-9299

PROJECT CONTACT: ERIK KOPP  
DIRECT PHONE: (414) 475-5554  
EMAIL ADDRESS: Erik.Kopp@hecl.com

SHEET INDEX	
GENERAL	
TS100	COVER
CIVIL	
C110	SITE PLAN - OVERALL
C111	SITE PLAN - DETAILED
C121	GRADING PLAN - DETAILED EAST
C122	GRADING PLAN - DETAILED WEST
C130	EXISTING SURVEY
C500	CONSTRUCTION DETAILS
C501	CONSTRUCTION DETAILS
LANDSCAPE	
L1.0	OVERALL LANDSCAPE PLAN
L1.1	ENLARGED LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS, NOTES & SCHEDULES
ARCHITECTURAL SITE	
AS100	OVERALL ARCHITECTURAL SITE PLAN
AS105	COLOR ARCHITECTURAL SITE PLAN
AS400	ENLARGED ARCHITECTURAL SITE PLAN
AS500	SITE DETAILS
ARCHITECTURAL	
A100	OVERALL FLOOR PLAN
A109	OVERALL ROOF PLAN
A200	OVERALL BUILDING ELEVATIONS
A210	ENLARGED BUILDING ELEVATIONS
A240	OVERALL COLOR ELEVATIONS
A250	EXTERIOR RENDERING
A300	WALL SECTIONS
A301	WALL SECTIONS
A302	WALL SECTIONS
SITE ELECTRICAL	
SE100	SITE ELECTRICAL PLAN

## ISSUANCES

PLAN COMMISSION SUBMITTAL PACKAGE

27 MARCH 2017

CITY REVIEW COMMENTS SUBMITTAL

25 APRIL 2017

25 APRIL 2017

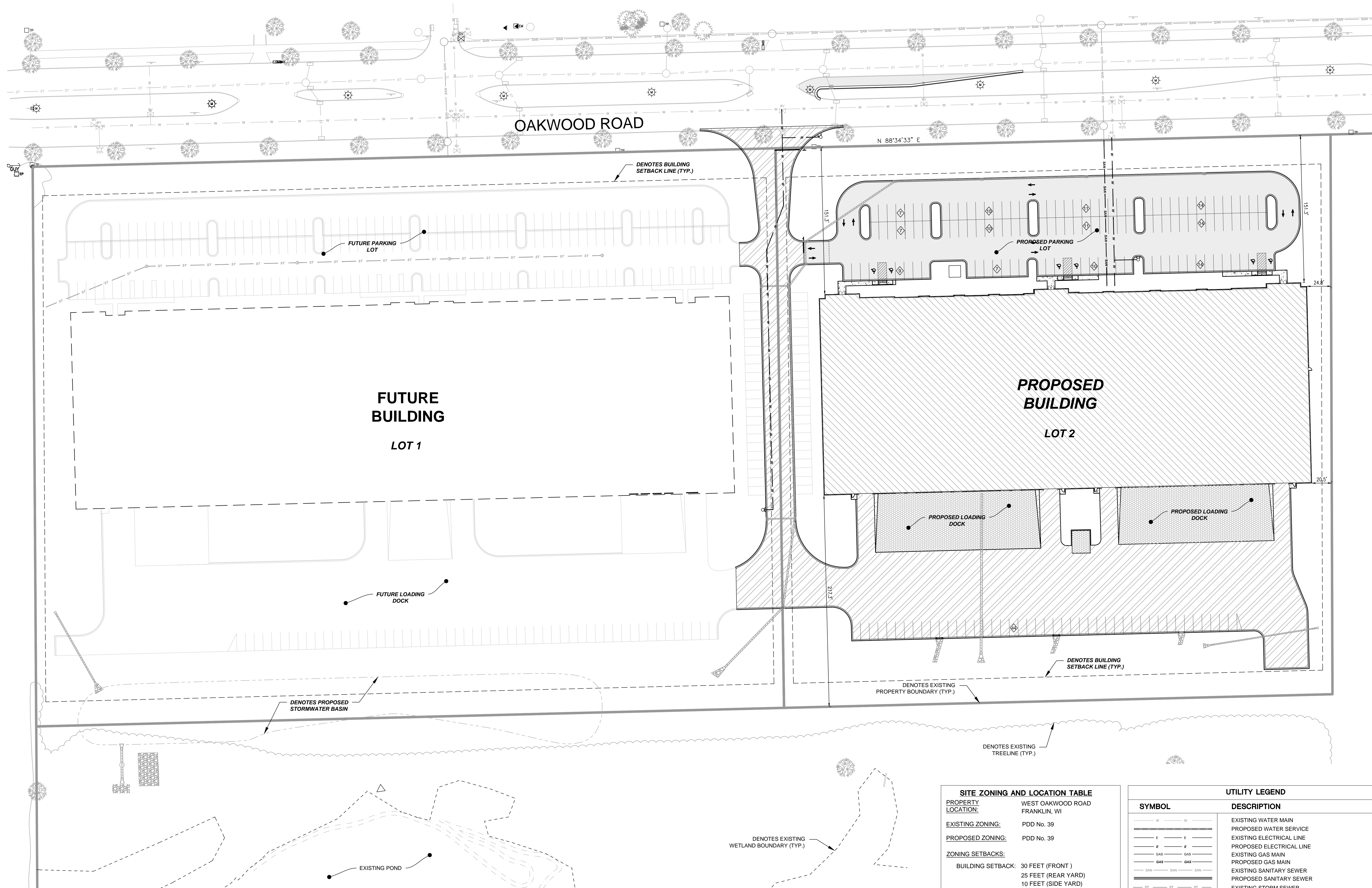
PROJECT NUMBER PROJECT MANAGER  
14048-00 JAK

COVER

# TS100

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**CIVIL SHEET INDEX:**

C110	SITE PLAN - OVERALL
C111	DETAILED SITE PLAN
C120	DETAILED GRADING PLAN - EAST
C121	DETAILED GRADING PLAN - WEST
C130	EXISTING SITE SURVEY
C500	CONSTRUCTION DETAILS
C501	CONSTRUCTION DETAILS

**SITE ZONING AND LOCATION TABLE**

PROPERTY LOCATION:	WEST OAKWOOD ROAD FRANKLIN, WI
EXISTING ZONING:	PDD No. 39
PROPOSED ZONING:	PDD No. 39
ZONING SETBACKS:	
BUILDING SETBACK:	30 FEET (FRONT)
	25 FEET (REAR YARD)
	10 FEET (SIDE YARD)

**SITE CALCULATION TABLE**

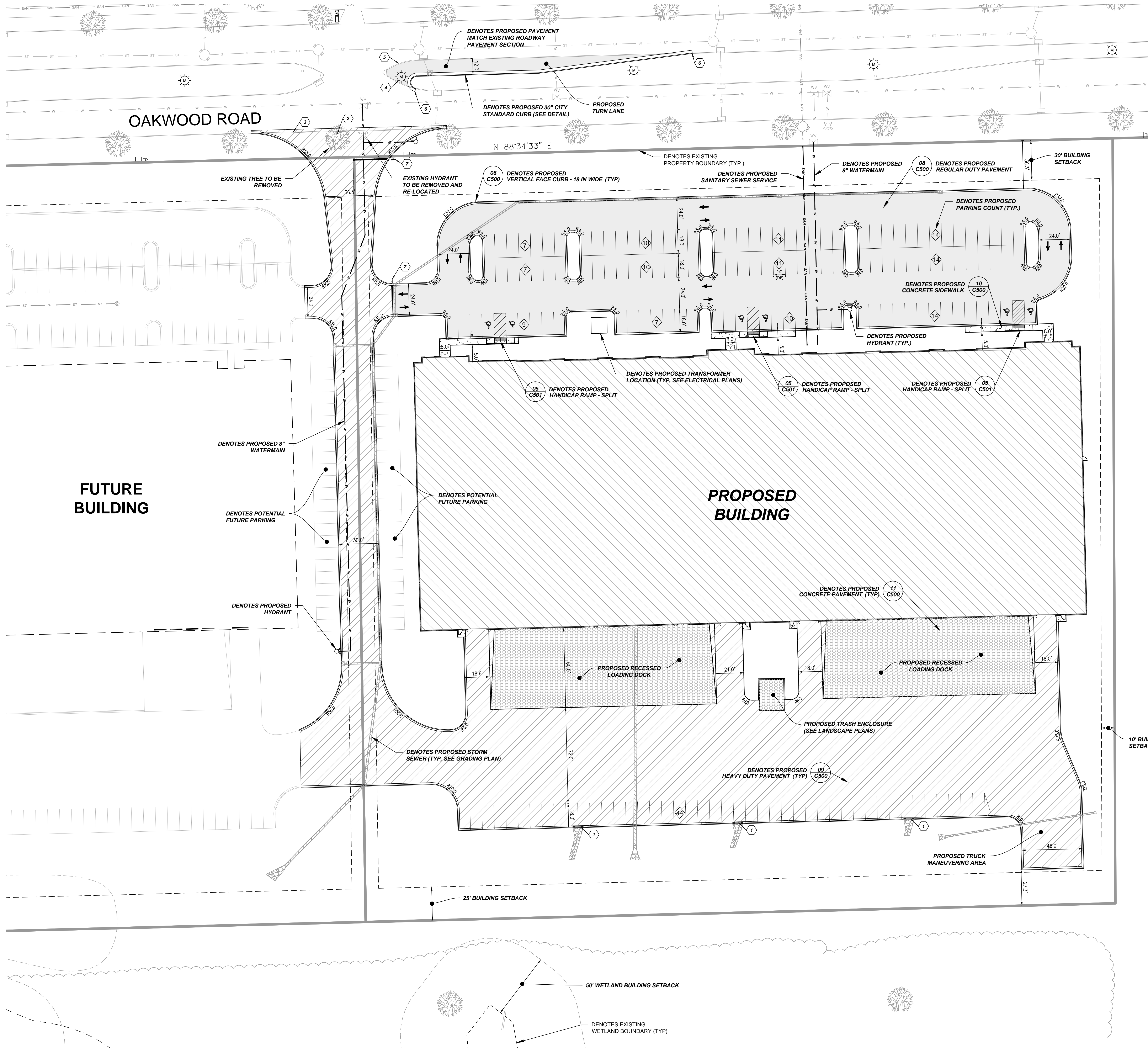
TOTAL SITE AREA	10.113 AC
LOT 1	7.485 AC
LOT 2	2.628 AC
TOTAL DISTURBED AREA	18.541 AC
EXISTING IMPERVIOUS AREA	
LOT 1	0.000 AC
LOT 2	0.000 AC
PROPOSED IMPERVIOUS AREA	
LOT 1	7.242 AC
LOT 2	5.311 AC
PROPOSED GREENSPACE	
LOT 1	2.871 AC (28.4%)
LOT 2	2.174 AC (29.0%)
PHASE 1 PARKING:	
PROPOSED REGULAR PARKING SPACES	162
PROPOSED HANDICAP PARKING	6
PROPOSED TOTAL PARKING	168

**UTILITY LEGEND**

SYMBOL	DESCRIPTION
— W — W —	EXISTING WATER MAIN
— E — E —	PROPOSED WATER SERVICE
— E — E —	EXISTING ELECTRICAL LINE
— E — E —	PROPOSED ELECTRICAL LINE
— GAS — GAS —	EXISTING GAS MAIN
— GAS — GAS —	PROPOSED GAS MAIN
— SAN — SAN —	EXISTING SANITARY SEWER
— ST — ST —	PROPOSED SANITARY SEWER
— ST — ST —	EXISTING STORM SEWER
— ST — ST —	PROPOSED STORM SEWER
— ST — ST —	PROPOSED STORM STRUCTURE
— ST — ST —	EXISTING STORM STRUCTURE
— ST — ST —	PROPOSED EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
— ST — ST —	PROPOSED & EXISTING SPOT GRADE

#	DATE	DESCRIPTION





- NOTES**
- DENOTES PROPOSED CURB OPENING. 3' DEPRESSED CURB WITH 2' CURB TAPERS ON BOTH SIDES.
  - EXISTING TREE TO BE REMOVED
  - REMOVE EXISTING CURB AS REQUIRED TO INSTALL NEW DRIVEWAY OPENING.
  - EXISTING LIGHT POLE TO BE RE-LOCATED. COORDINATE WITH CITY STAFF.
  - REMOVE EXISTING CURB AS REQUIRED TO INSTALL TURN LANE.
  - MATCH INTO EXISTING CURB
  - DENOTES PROPOSED STOP SIGN AND PAINTED STOP BAR

**HATCH LEGEND**

	PROPOSED CONCRETE SIDEWALK
	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED DEPRESSED CURB
	PROPOSED TAPER CURB
	PROPOSED REVERSE CURB

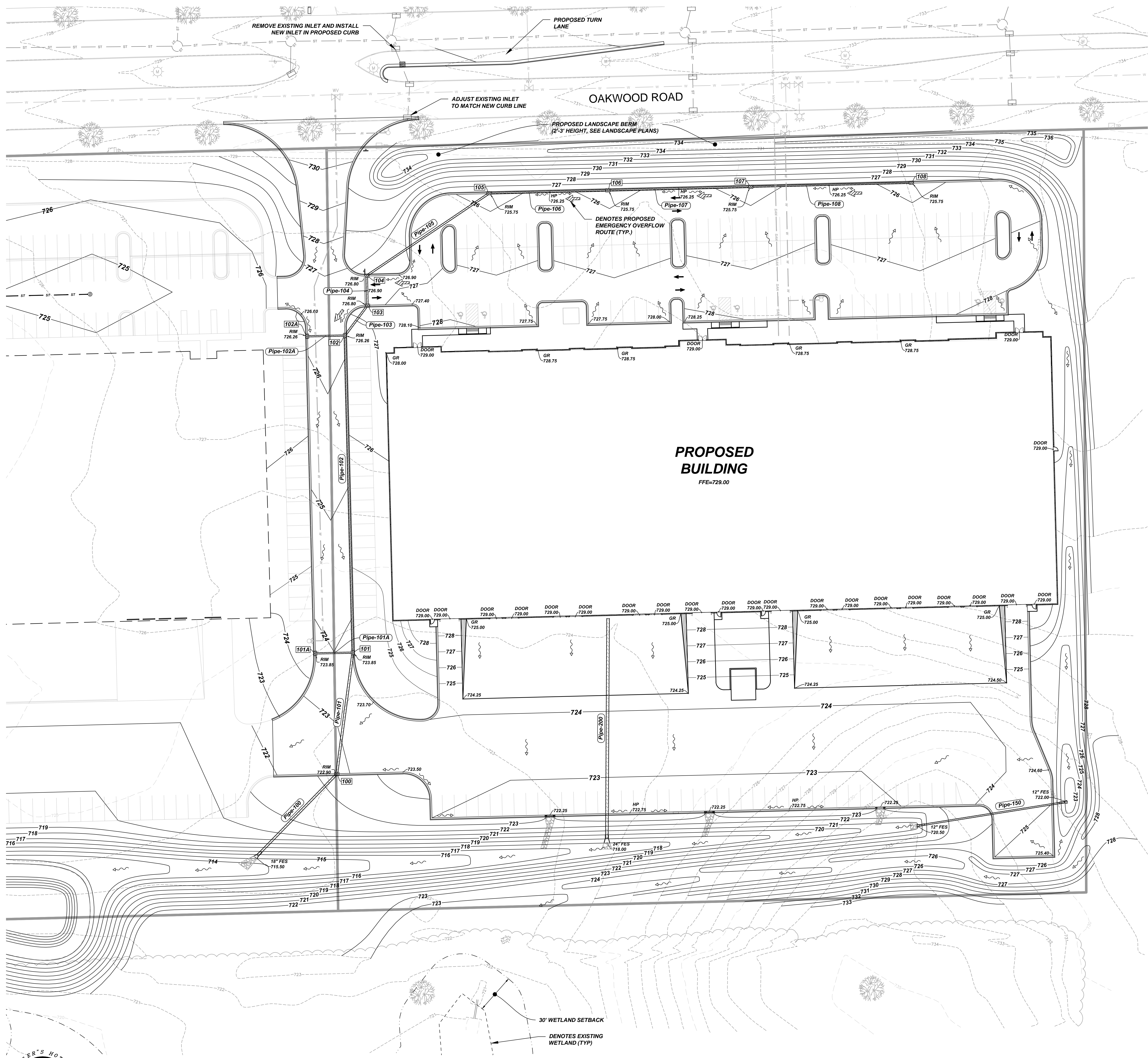
**UTILITY LEGEND**

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	PROPOSED WATER SERVICE
	EXISTING ELECTRICAL LINE
	PROPOSED ELECTRICAL LINE
	EXISTING GAS MAIN
	PROPOSED GAS MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	OVERHEAD WIRES
	EXISTING POWER POLES
	EXISTING LIGHT POLES
	SANITARY MANHOLE
	FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING STORM STRUCTURE
	PROPOSED STORM STRUCTURE
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Storm Structure Table	
#	Structure Details
100	CATCH BASIN - CURB RIM = 722.90 Pipe-101 = 716.93 (18") Pipe-100 = 716.93 (18")
101	CATCH BASIN - CURB RIM = 723.85 Pipe-102 = 717.76 (18") Pipe-101A = 719.85 (12") Pipe-101 = 717.76 (18")
101A	CATCH BASIN - CURB RIM = 723.85 Pipe-101A = 720.14 (12")
102	CATCH BASIN - CURB RIM = 726.26 Pipe-103 = 719.10 (15") Pipe-102A = 722.26 (12") Pipe-102 = 719.10 (18")
102A	CATCH BASIN - CURB RIM = 726.26 Pipe-102A = 722.46 (12")
103	CATCH BASIN - CURB RIM = 726.80 Pipe-104 = 719.57 (15") Pipe-103 = 719.57 (15")
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106	CATCH BASIN - CURB RIM = 725.75 Pipe-107 = 721.60 (15") Pipe-106 = 721.60 (15")
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108	CATCH BASIN - CURB RIM = 725.75 Pipe-108 = 722.75 (12")
300	OUTLET CONTROL STRUCTURE (SEE DETAIL) RIM = 716.50 Pipe-301 = 711.00 (24") Pipe-300 = 711.00 (24")

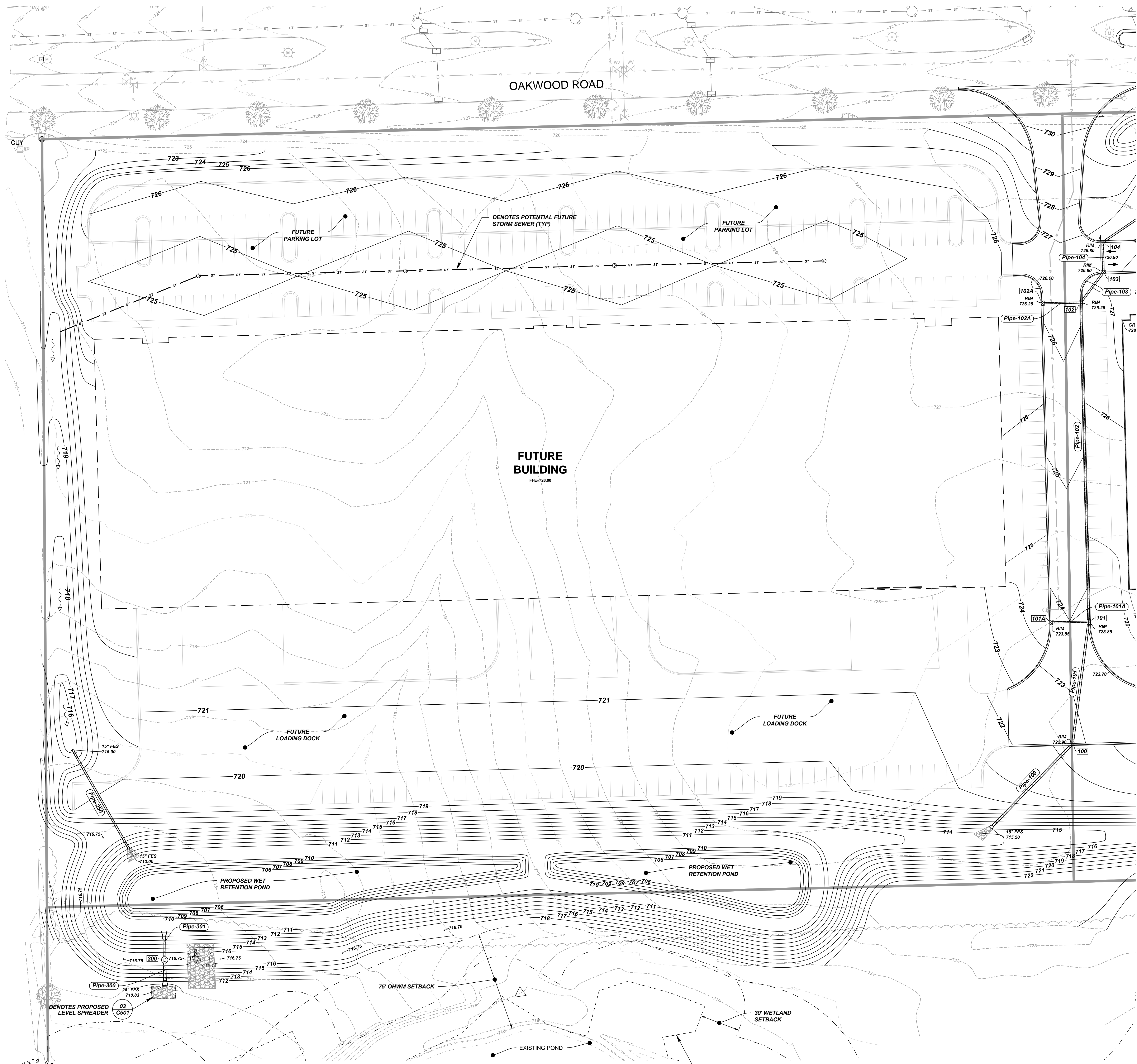
Storm Pipe Table					
Pipe Name	Size	Material	Length	Slope	Description
Pipe-100	18	RCP	86	1.67%	W/FES
Pipe-101	18	PVC	92	0.90%	
Pipe-101A	12	PVC	28	1.02%	
Pipe-102	18	PVC	239	0.56%	
Pipe-102A	12	PVC	29	0.70%	
Pipe-103	15	PVC	28	1.67%	
Pipe-104	15	PVC	23	1.29%	
Pipe-105	15	PVC	111	1.00%	
Pipe-106	15	PVC	89	0.70%	
Pipe-107	15	PVC	108	0.50%	
Pipe-108	12	PVC	121	0.50%	
Pipe-150	12	RCP	111	1.35%	W/FES BOTH ENDS
Pipe-200	24	RCP	166	1.00%	W/FES
Pipe-250	15	RCP	82	2.44%	W/FES BOTH ENDS
Pipe-300	24	RCP	16	1.14%	W/FES
Pipe-301	24	RCP	18	0.00%	W/FES

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	PROPOSED ELECTRICAL LINE
	EXISTING GAS MAIN
	PROPOSED GAS MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	OVERHEAD WIRES
	EXISTING POWER POLES
	EXISTING LIGHT POLES
	SANITARY MANHOLE
	FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
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	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
	PROPOSED & EXISTING SPOT GRADE

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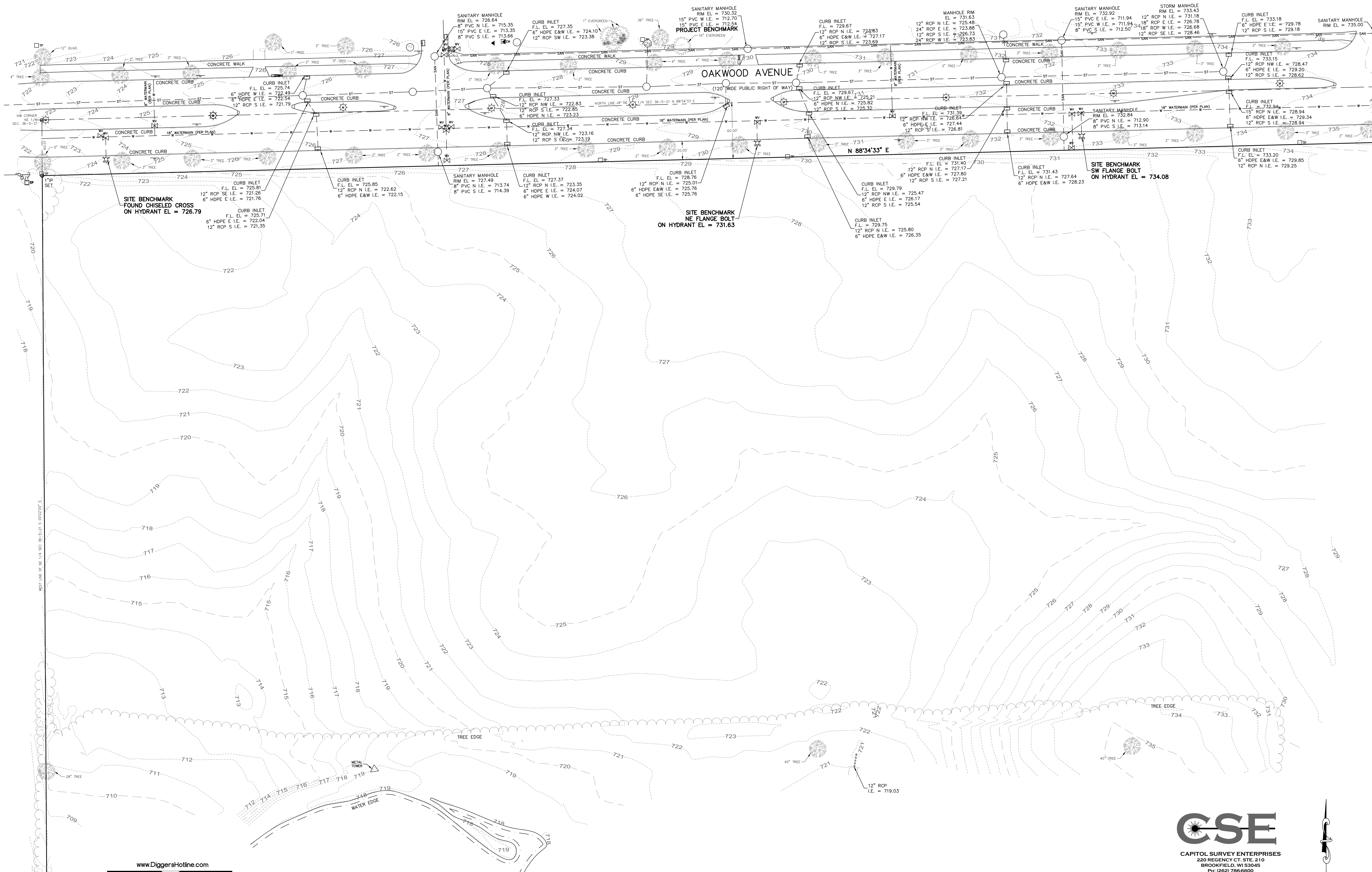
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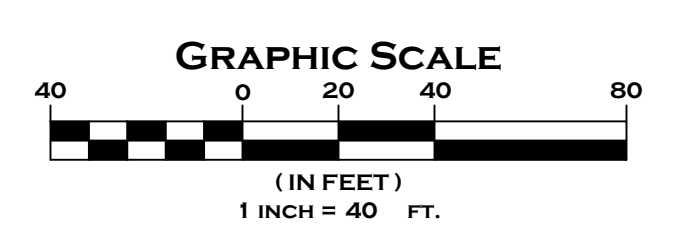




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 BROOKFIELD, WI 53045  
 Ph: (262) 786-6600  
 Fax: (414) 786-6608  
 WWW.CAPITOLSURVEY.COM

LEGEND	
— SAN	Sanitary Sewer
— ST	Storm Sewer
— W	Water Main
— E	Buried Gas Line
— TEL	Buried Telephone Line
— TV	Buried TV Line
— FO	Buried Fiber Optic Line
— OUL	Overhead Utility Lines
— CMT	Buried Cable Television Lines
— COMB	Combination Sewer
— WOOD	Wood Fence
— METAL	Metal Fence
— EDGE	Edge of Trees and Brush
— TRANS	Electric Transformer
— METER	Electric Meter
— BOX	Electric Box at Grade
— TEL	Telephone Pedestal
— TV	TV Pedestal
— AIR	Air Conditioner
— UTILITY	Utility Pole
— WOOD	Wood Sign
— METAL	Metal Sign
— FLAG	Flag Pole
— BOLLARD	Bollard
— CONN	Fire Department Connection
— BOX	Mail Box
— ELEV	Door Sill Elevation
— HYDRANT	Hydrant
— SPRINKLER	Auto Sprinkler
— VALVE	Water Valve
— BOX	Gas Valve
— MANHOLE	Manhole
— CATCH	Catch Basin
— LIGHT	Metal Light Pole
— POLE	Concrete Light Pole
— SIGN	Wood Sign
— POLE	Metal Light Pole
— LIGHT	Yard Light
— MARKER	Flare
— MARKER	Fiber Optic Marker



- NOTES:
1. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
  2. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55079C0227E WITH A DATE OF IDENTIFICATION OF 09/26/2008, IN COMMUNITY NO. 550273, CITY OF FRANKLIN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
  3. PROJECT BENCHMARK - EAST INVERT ELEVATION OF SANITARY MANHOLE FOUND IN THE NORTH SIDE OF OAKWOOD ROAD EL = 712.54
  4. SITE BENCHMARK - HYDRANT FLANGE BOLTS AS SHOWN HEREON.
  5. ELEVATIONS BASED ON INFORMATION FROM THE CITY OF FRANKLIN AND ARE AT CITY OF FRANKLIN DATUM.

**EXISTING CONDITIONS SURVEY**  
 FOR  
**FRANKLIN IP DEVELOPMENT**  
 WEST OAKWOOD ROAD  
 FRANKLIN, WI

DRAWN BY:	NJF	DATE:	5-6-2015
CHECKED BY:	MJB	DRAWING NO.:	EC-0
CSE Job No.:	15-038	SHEET	1 OF 1

I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THEREOF, WITHIN ONE (1) YEAR FROM DATE THEREOF.

MAY 6, 2015  
 DATE

MICHAEL J. BERRY  
 REGISTERED LAND SURVEYOR S-2545



**JAK**  
 architecture +  
 interior design  
 JAKnetter Architects  
 N16 W23217 STONE RIDGE DRIVE, SUITE 300  
 WAUKESHA, WI 53188 | www.jaknetter.com  
 office 262 513 9800 | fax 262 513 9815

**Harwood Engineering Consultants**  
 255 North 21st Street | Milwaukee, WI 53233  
 P 414.253.0541 | www.harwood.com

PROJECT INFORMATION:

**Interstate Partners LLC**  
 Real Estate Development

**SPECULATIVE BUSINESS CENTER**

**FRANKLIN COMMERCE CENTER**

DRAWING ISSUANCE:

**CITY REVIEW COMMENTS PACKAGE**

**REVISIONS**

#	DATE	DESCRIPTION
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25 APRIL 2017

PROJECT NUMBER	PROJECT MANAGER
14045-00	JAK

SCALE: 1" = 40'

**EXISTING SITE SURVEY**

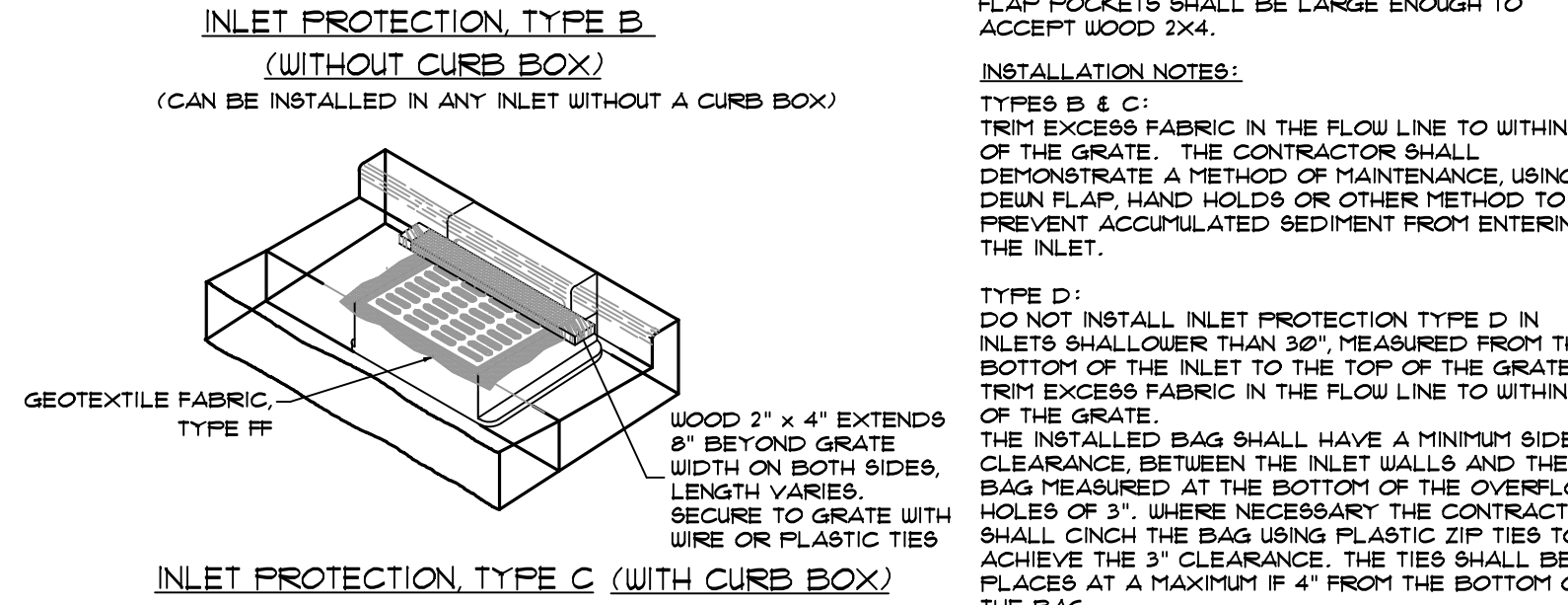
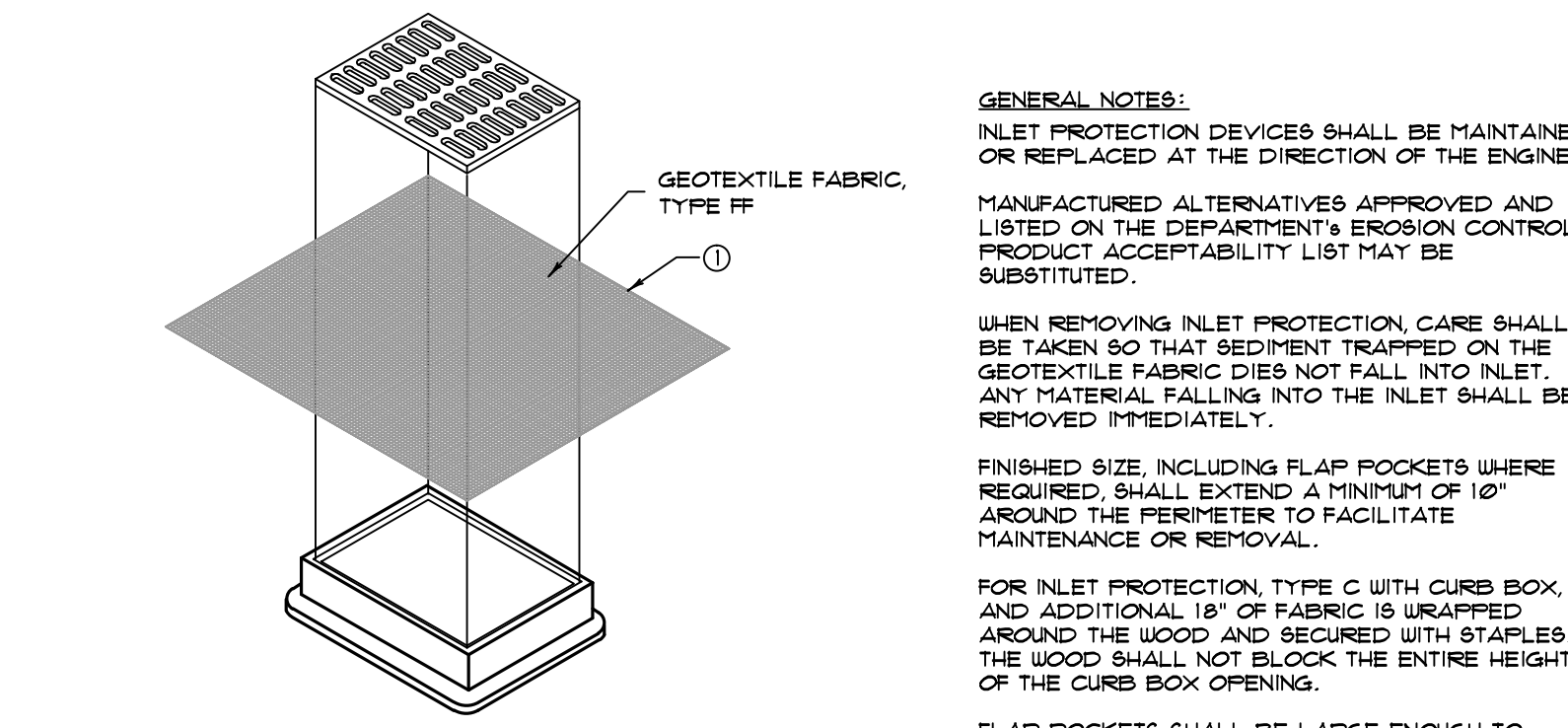
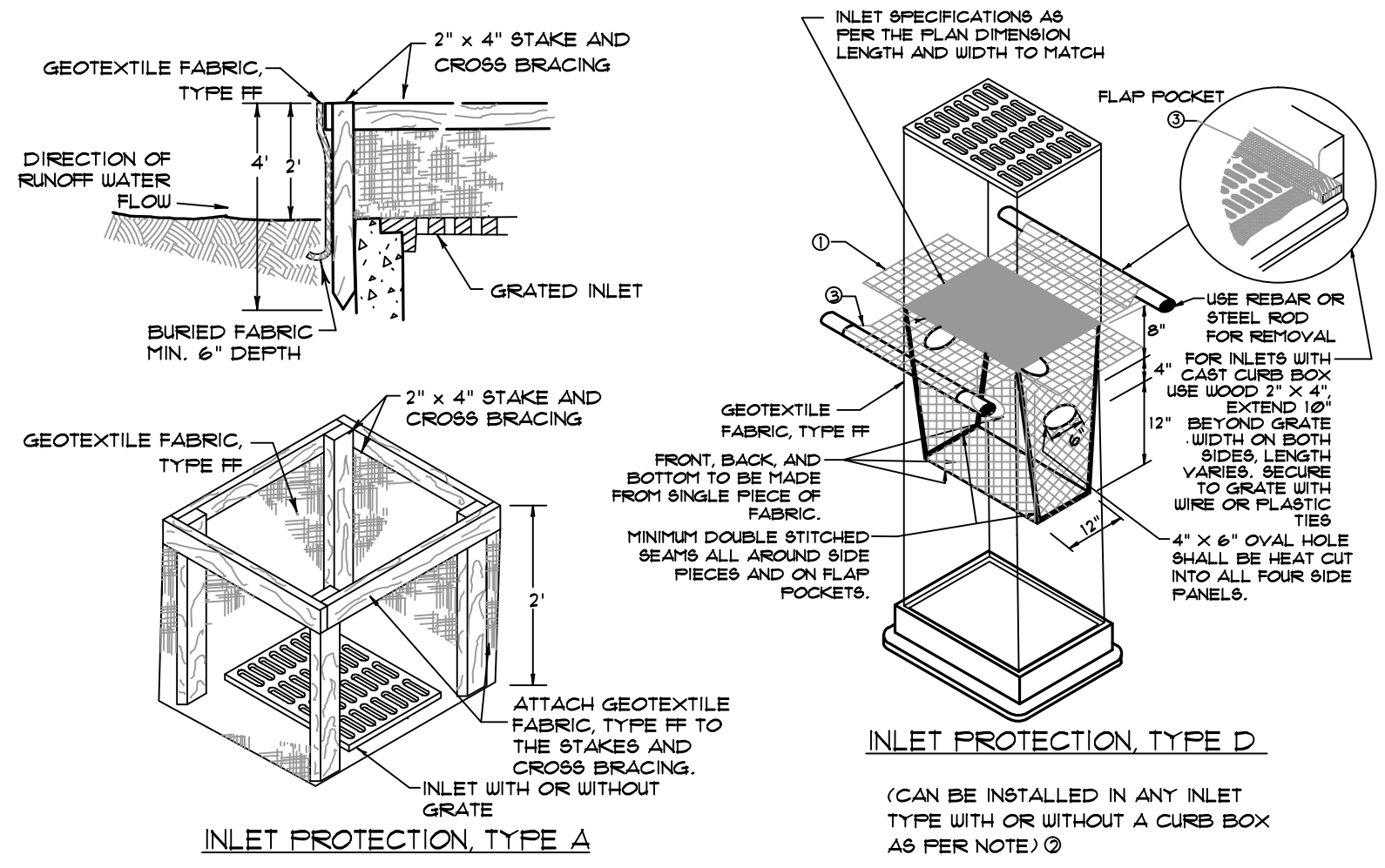
**C130**

V-SYSTEMS

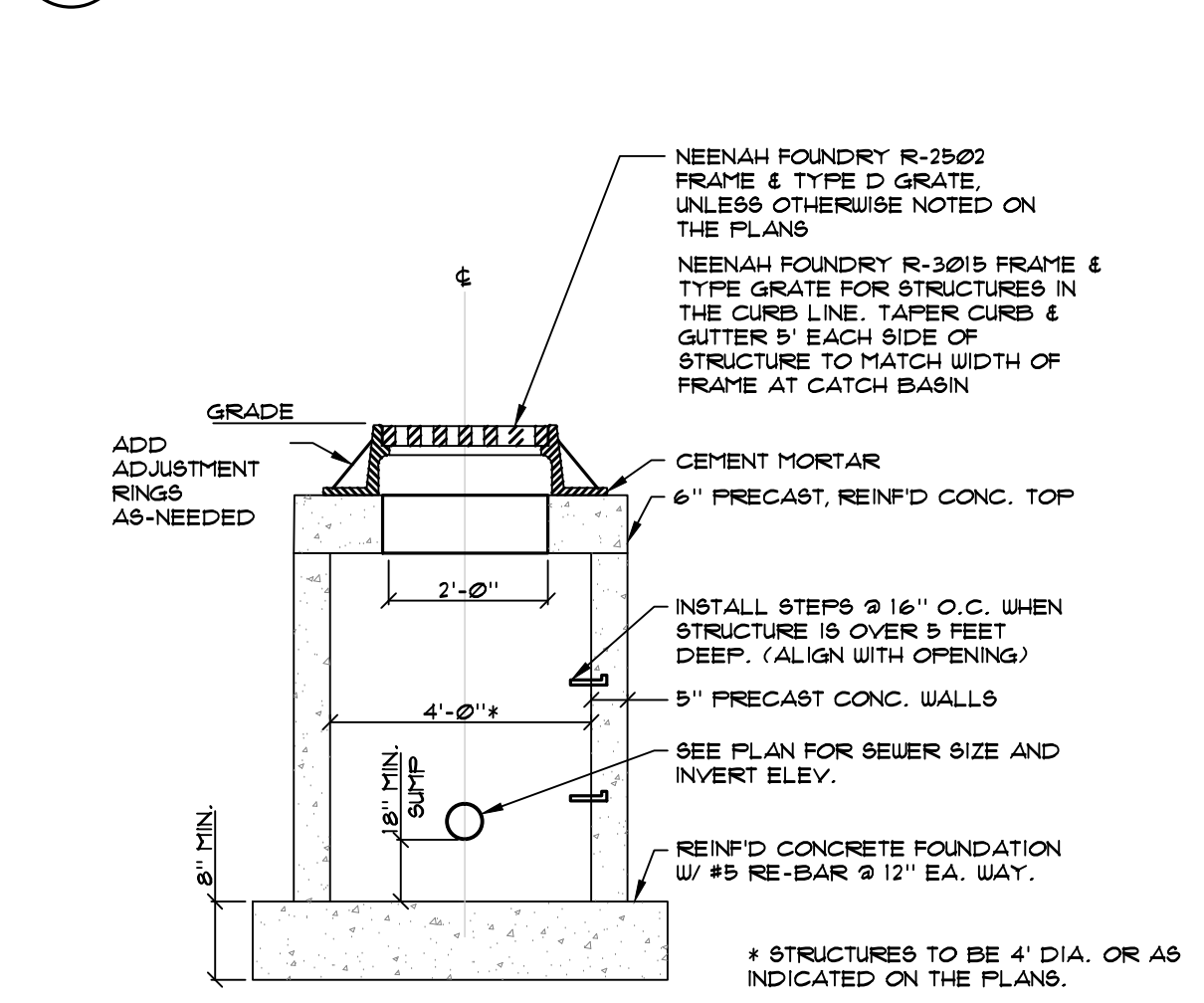


**GENERAL NOTES AND SPECIFICATIONS**

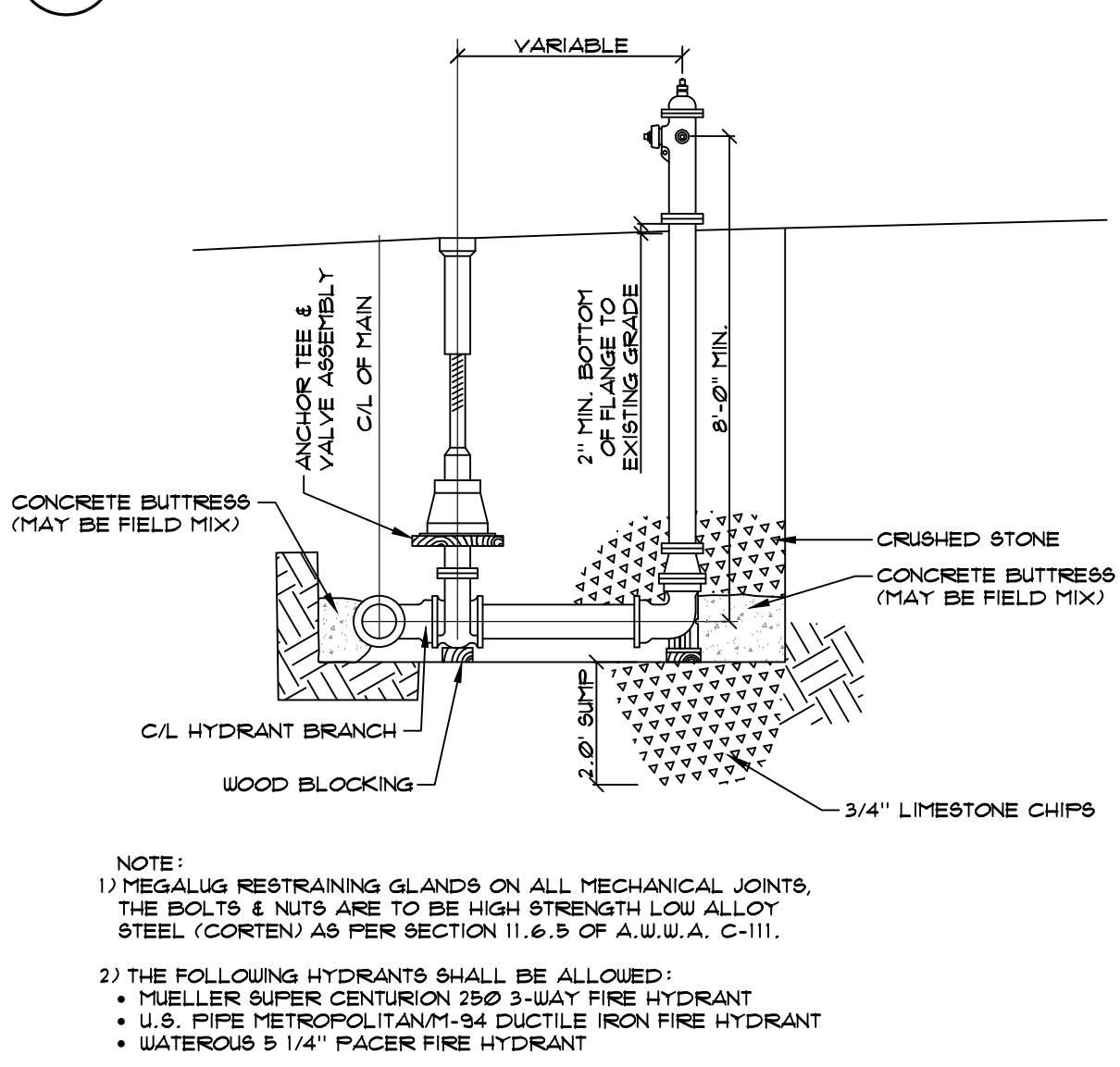
- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO (VERIFYING ELEVATION, LOCATION AND SIZE). SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE CITY OF FRANKLIN CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382-387.
- ALL UTILITY PERMITS MUST BE RECEIVED FROM THE CITY OF FRANKLIN PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLOTTED BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ALL PROPOSED WATERMAIN SHALL BE PVC SDR 18, CLASS 150, AWWA C900 WITH ELASTOMERIC JOINTS.
- PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
- PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- SILT FENCE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONTRACTOR IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS ONCE THE SITE IS STABILIZED.
- THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL DISTURBED GRASS AREAS SHALL BE STABILIZED (PER DNR TECHNICAL STANDARDS) WITHIN 7 DAYS OF COMPLETION. DISTURBED GRASS AREAS SHALL BE TOPSOILED (6"), RESEEDED AND STABILIZED. AREAS WITH A SLOPE OF 3:1 V OR STEEPER SHALL BE COVERED WITH A CLASS 1 - TYPE A EROSION FABRIC. (SEE SPECIFICATIONS)
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
- ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
- ALL CURB RADI ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.



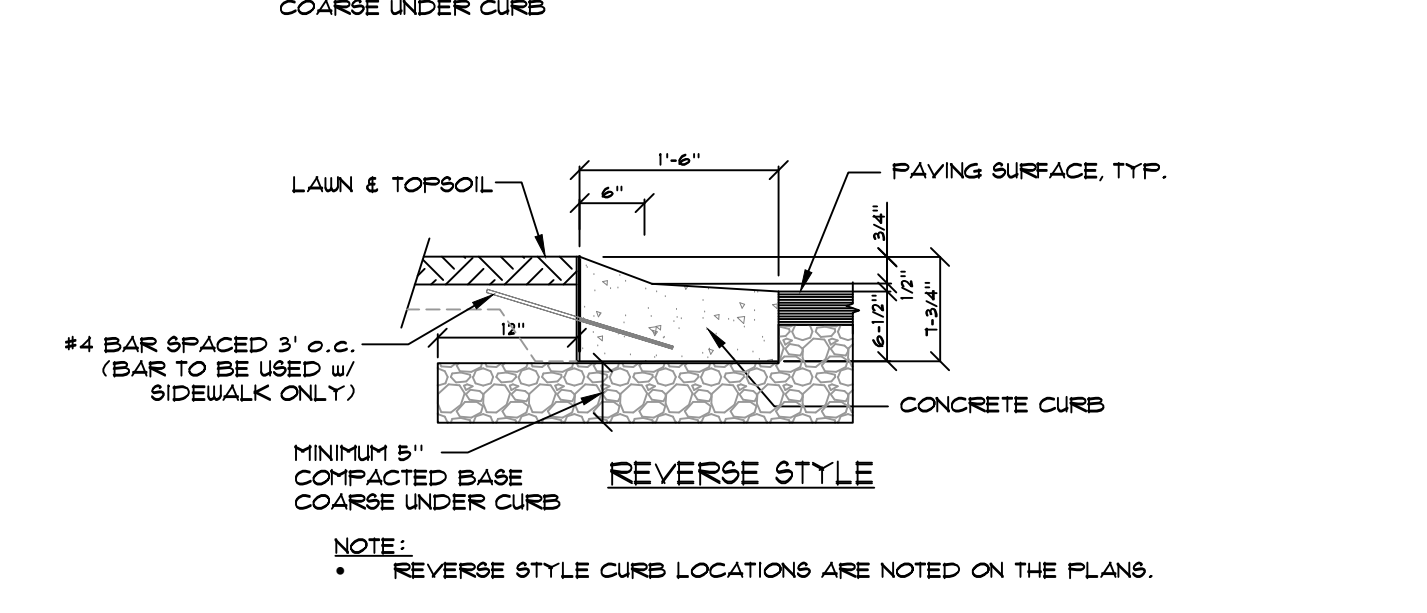
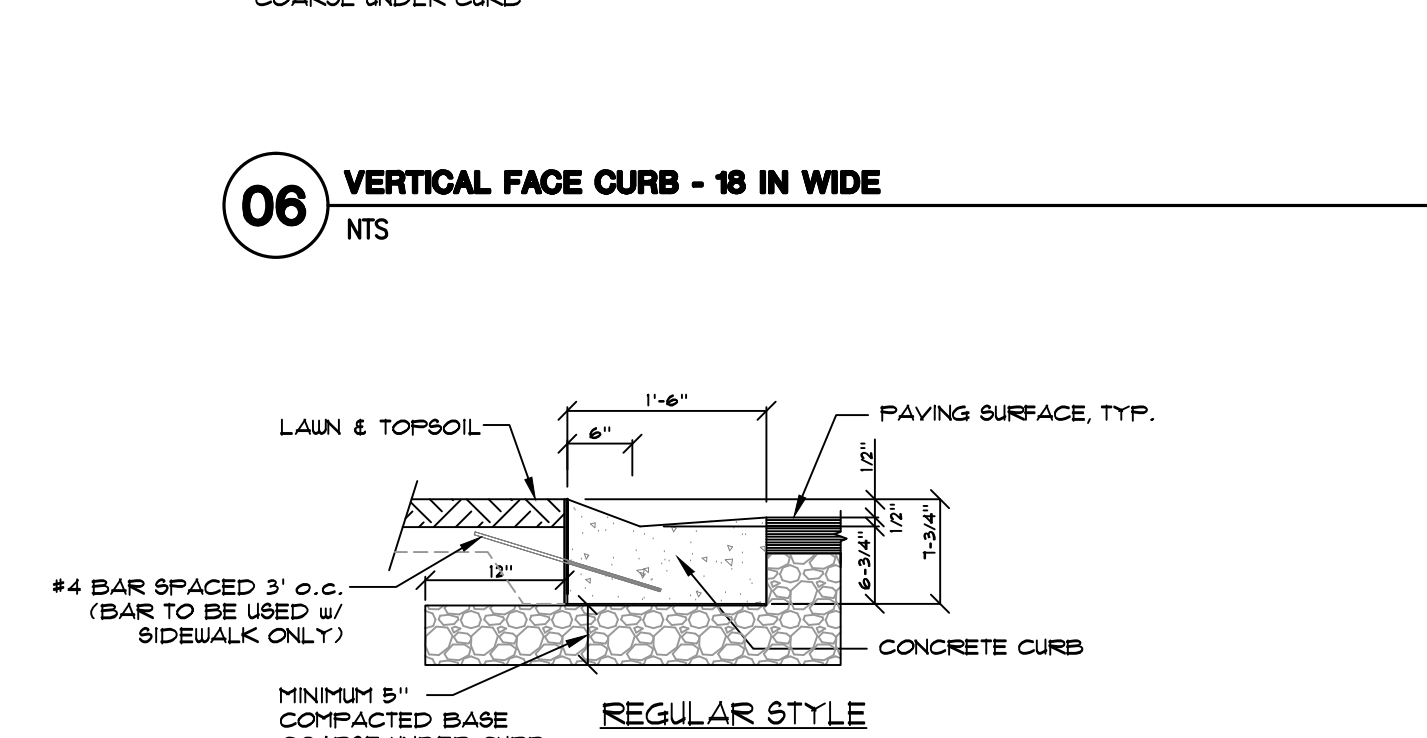
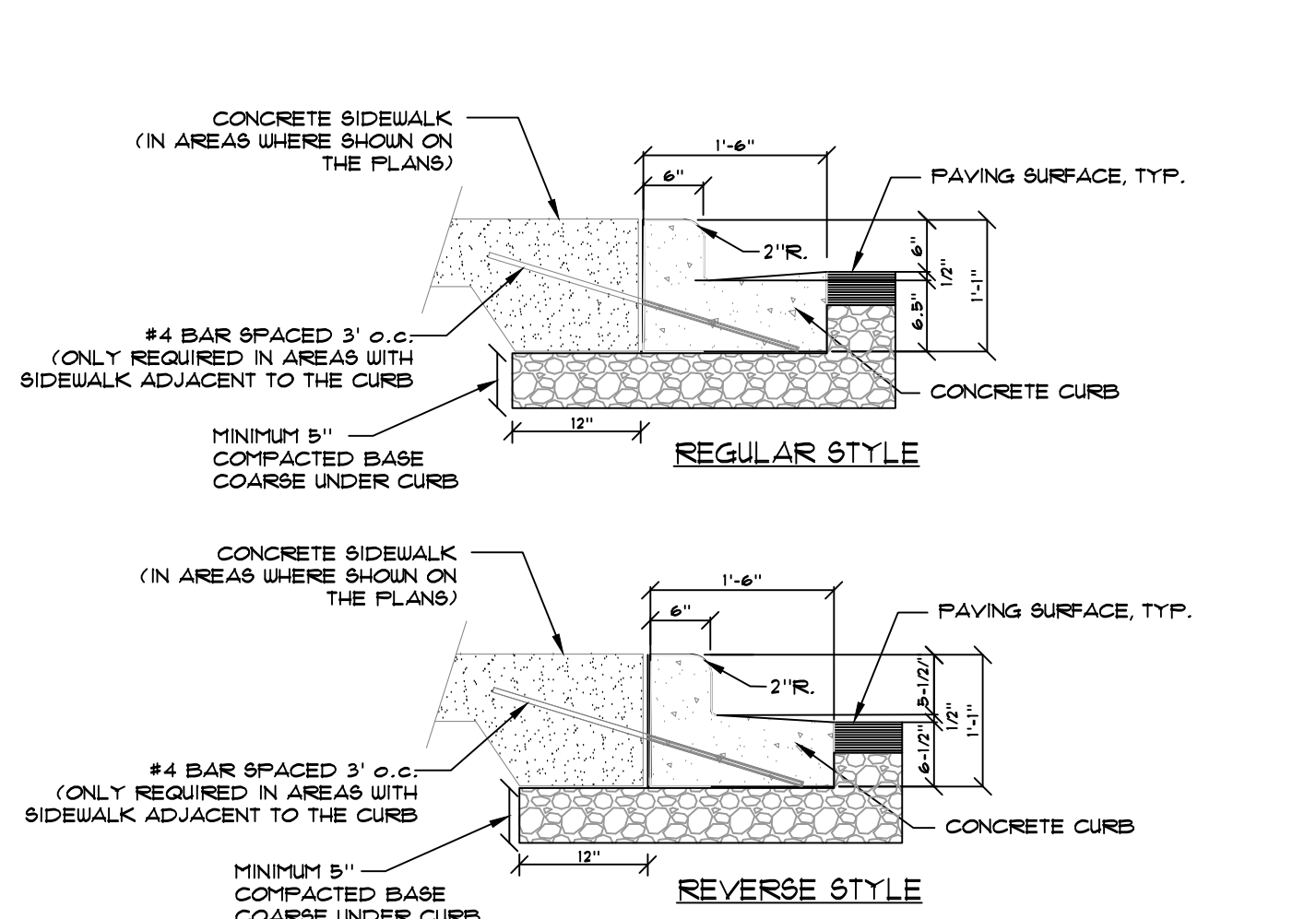
**03 INLET PROTECTION**  
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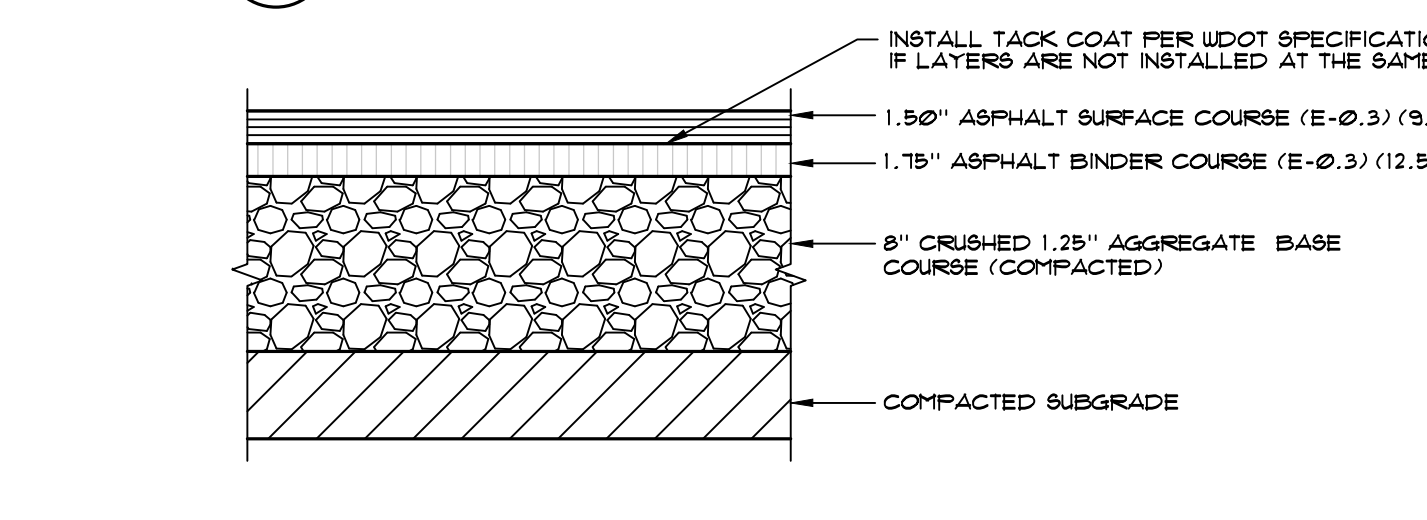
**04 CATCH BASIN**  
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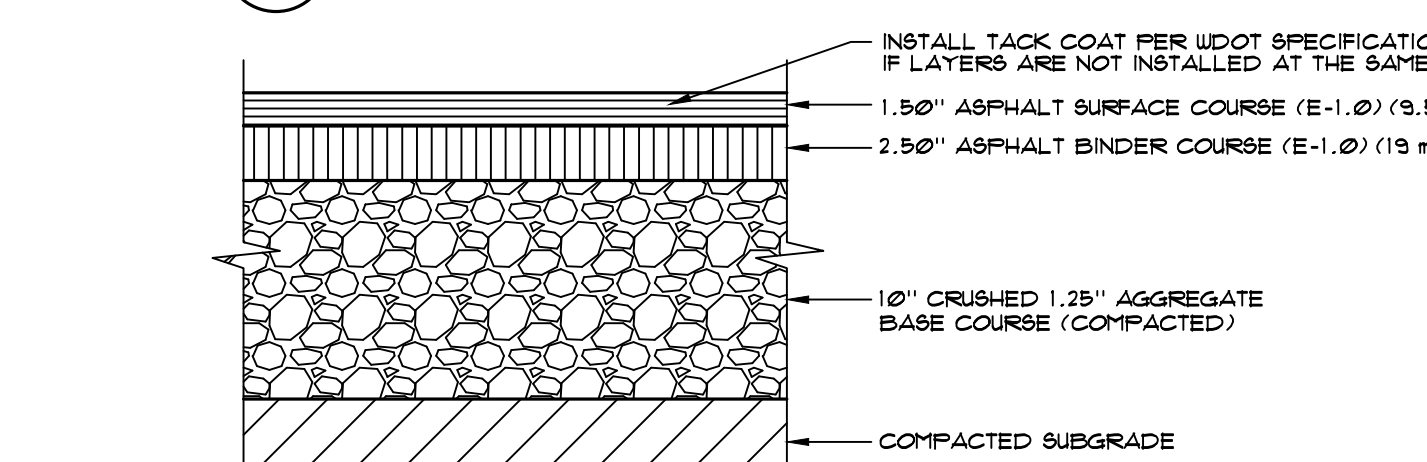
**05 WATER HYDRANT**  
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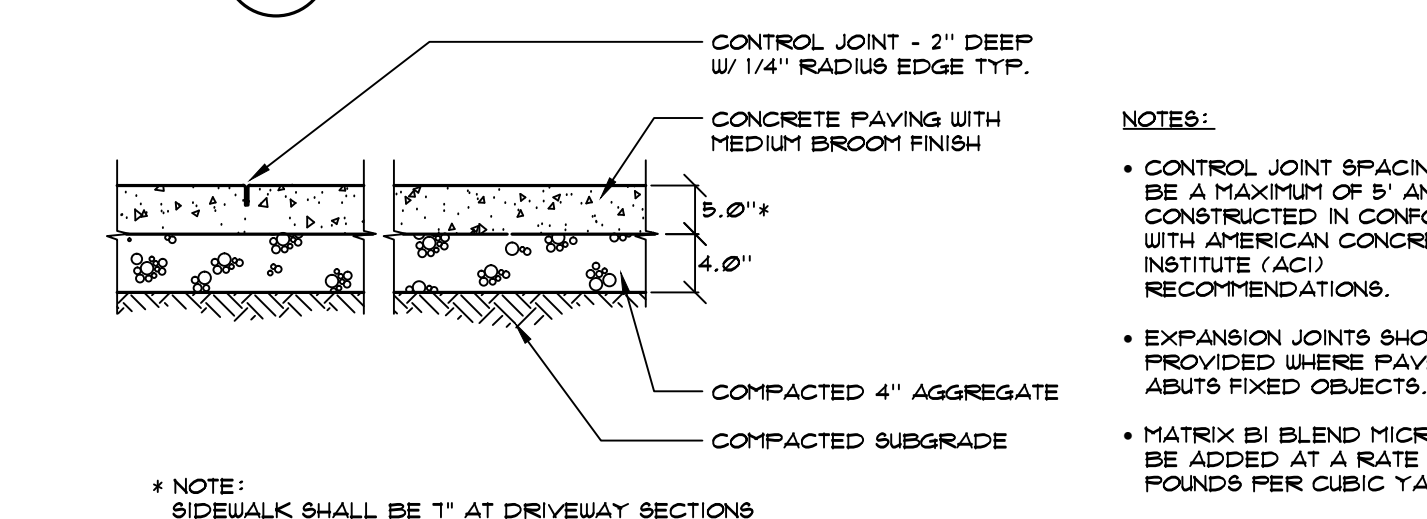
**07 DEPRESSED CURB - 18 IN WIDE**  
NTS



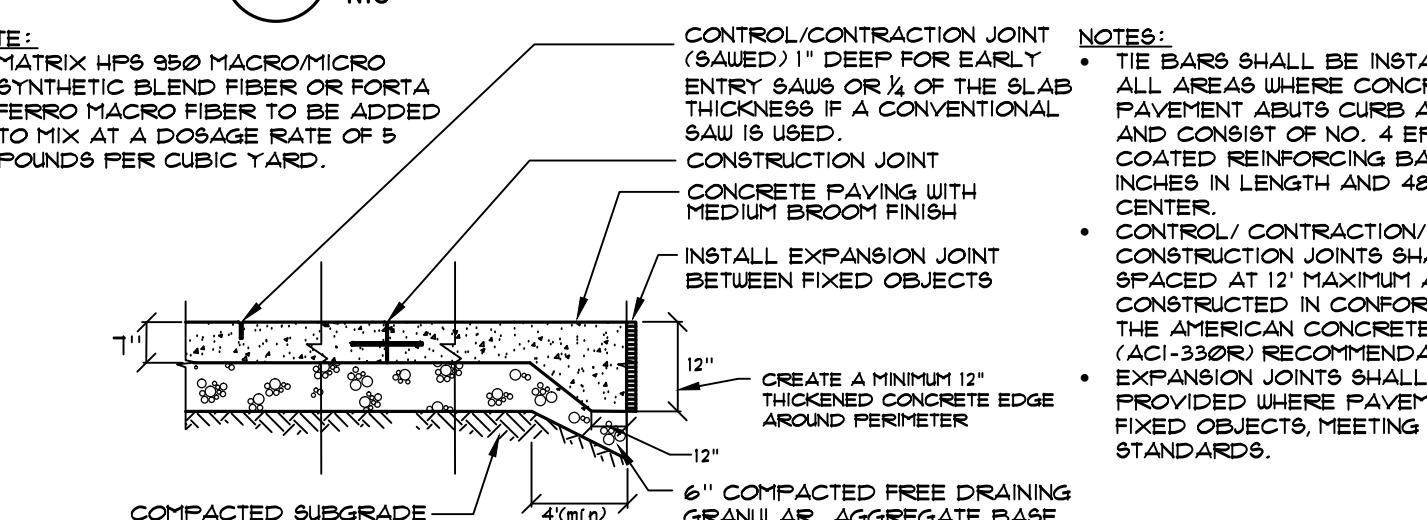
**08 REGULAR DUTY PAVEMENT**  
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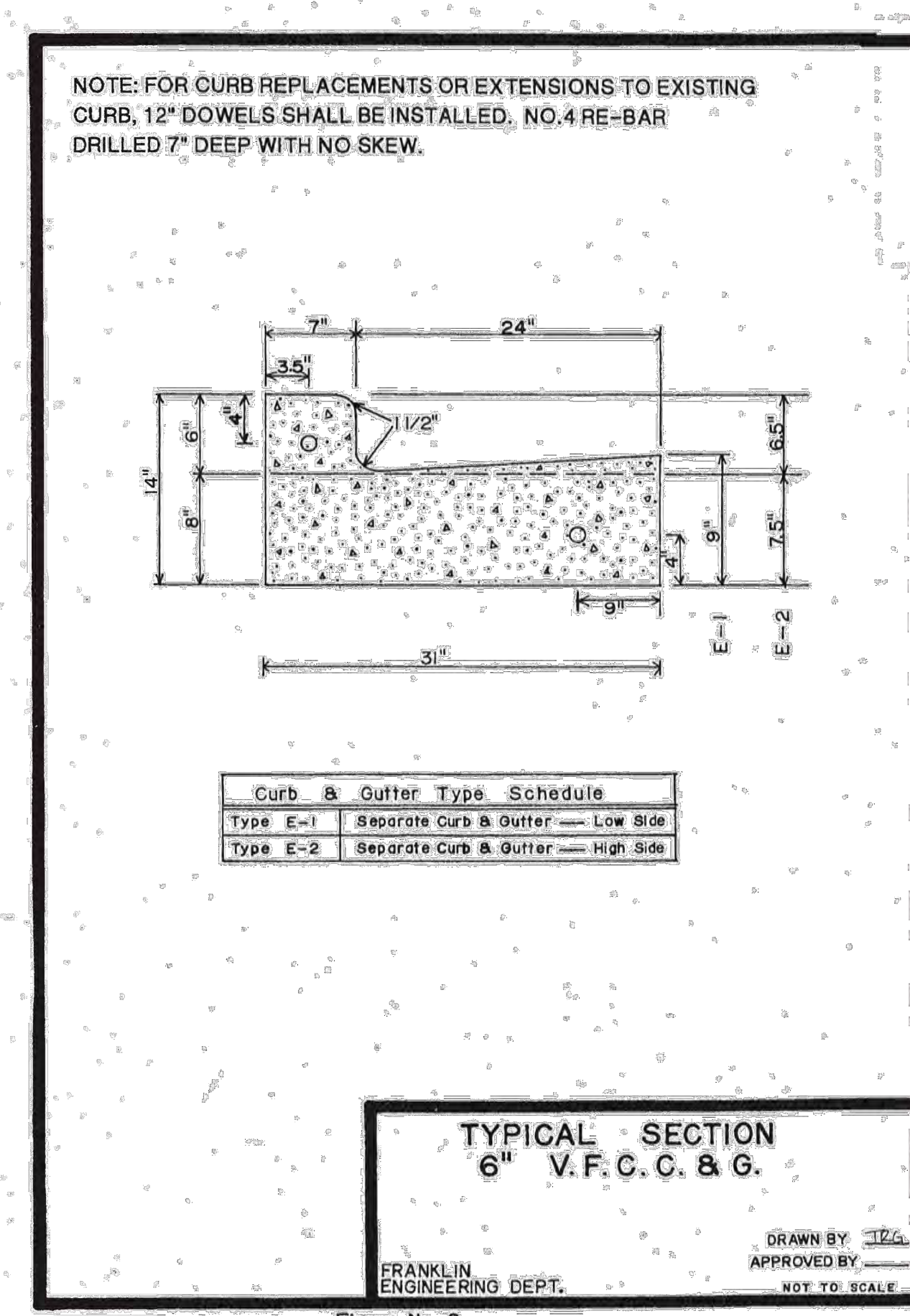
**09 HEAVY DUTY PAVEMENT**  
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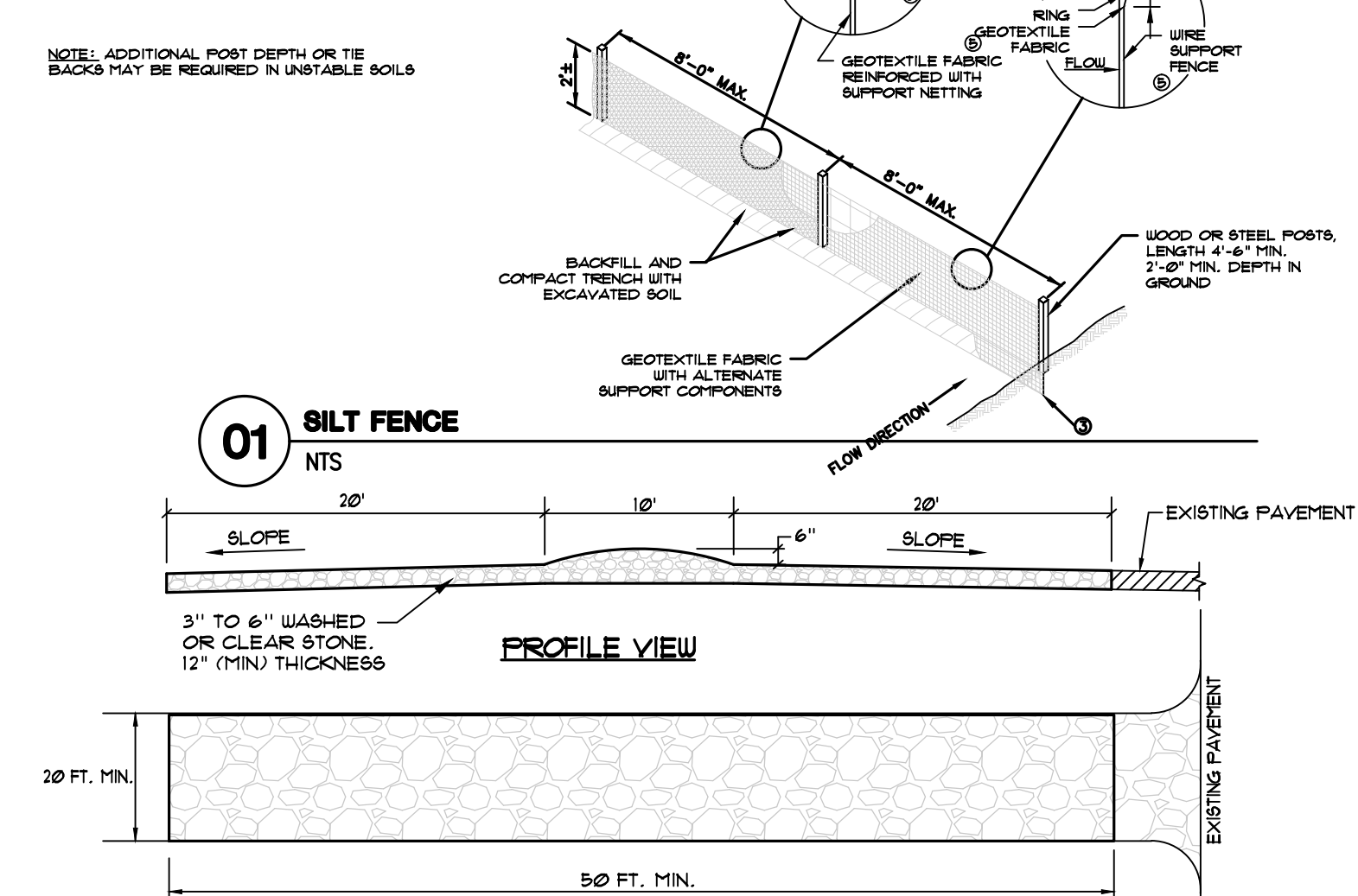
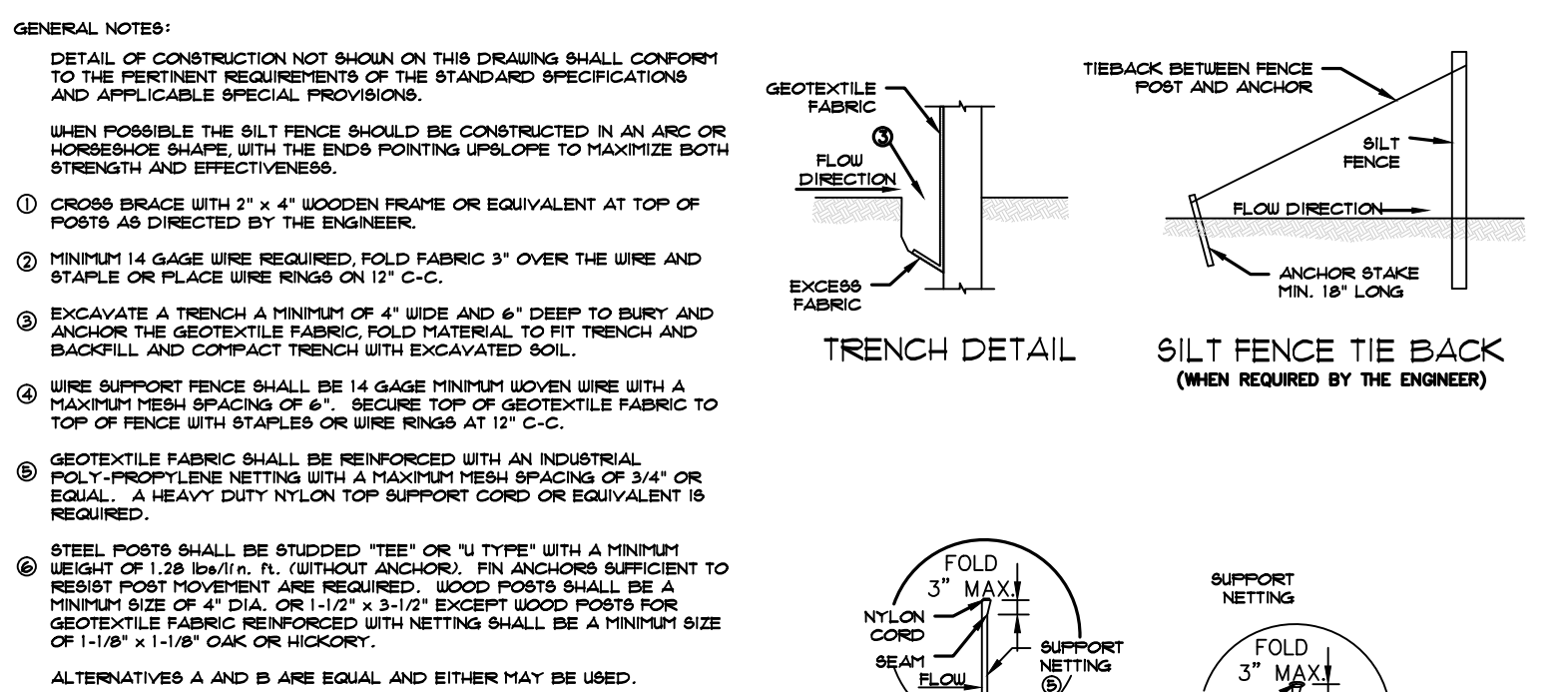
**10 CONCRETE SIDEWALK**  
NTS



**11 CONCRETE PAVEMENT**  
NTS



**12 CITY STANDARD 90° CURB AND GUTTER**  
NTS

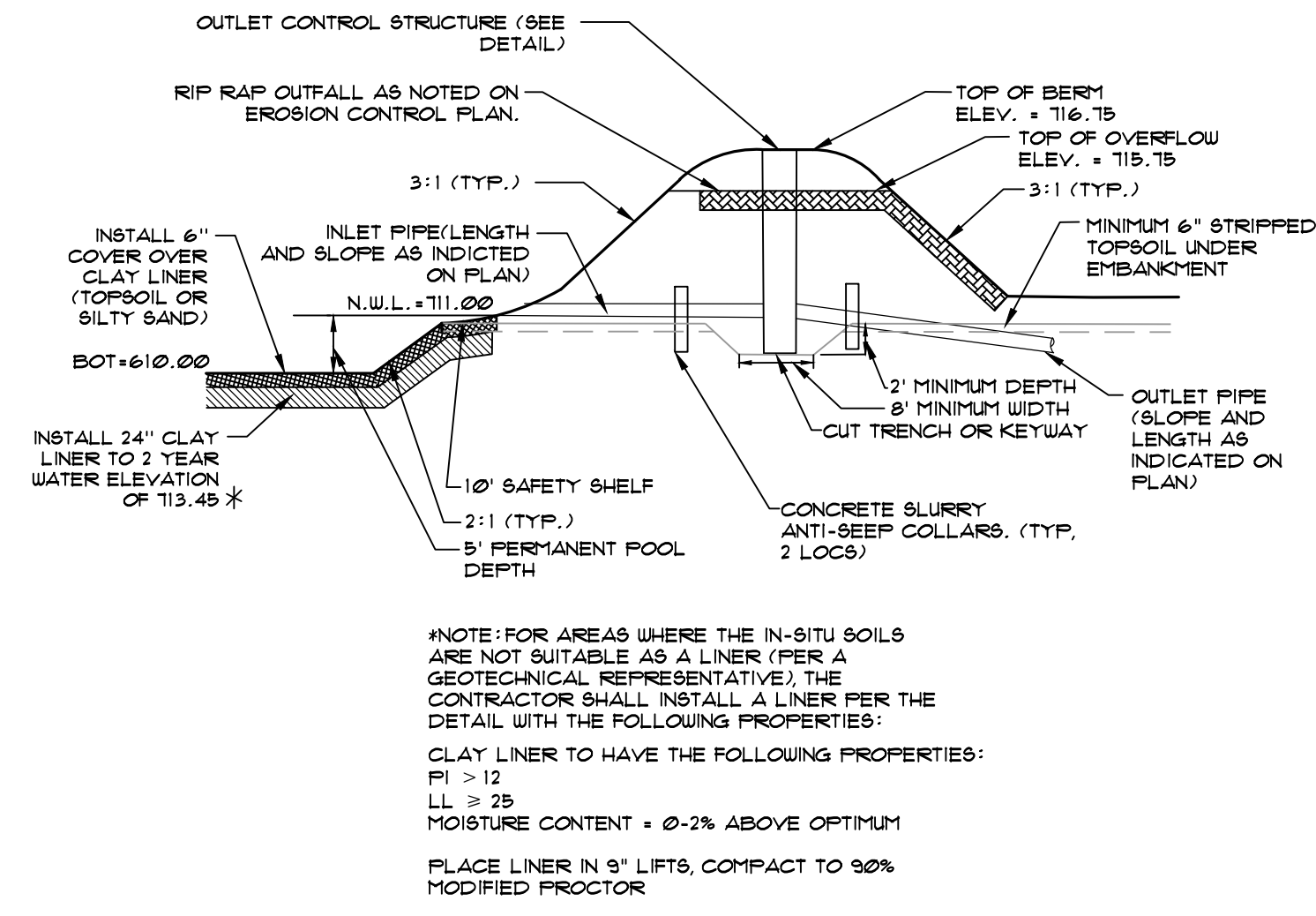


**03 TRACKING PAD**  
NTS

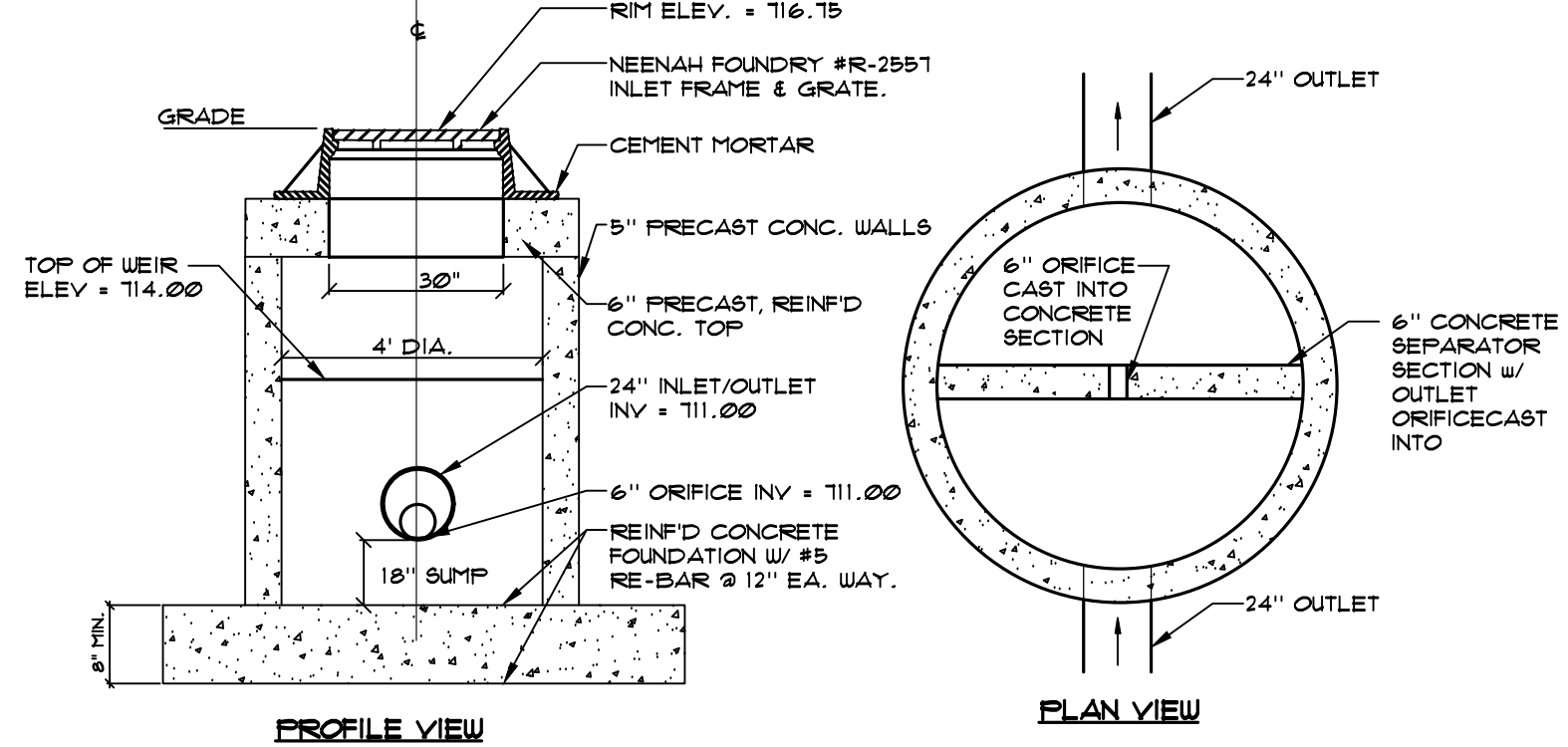
**REVISIONS**

#	DATE	DESCRIPTION

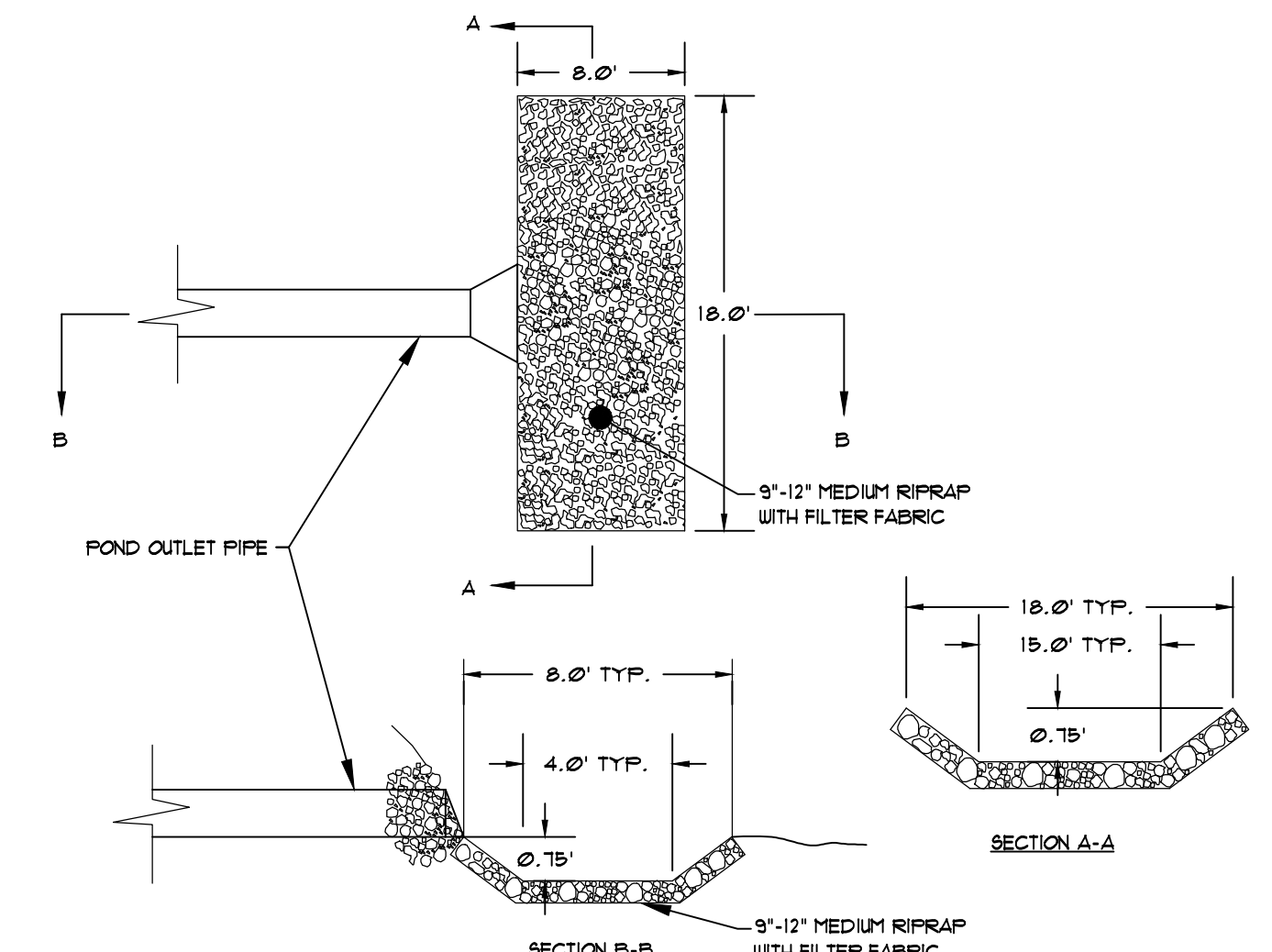




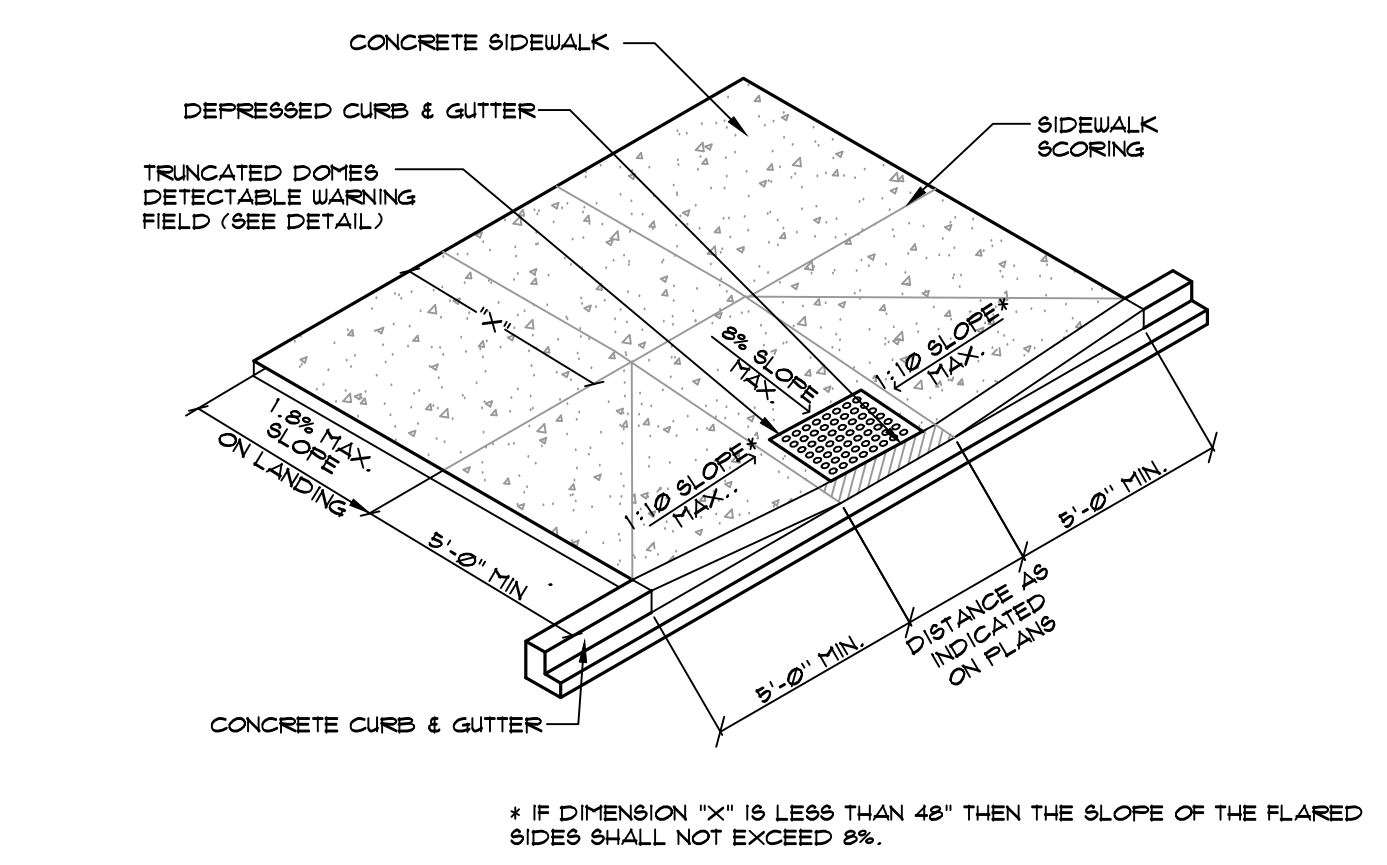
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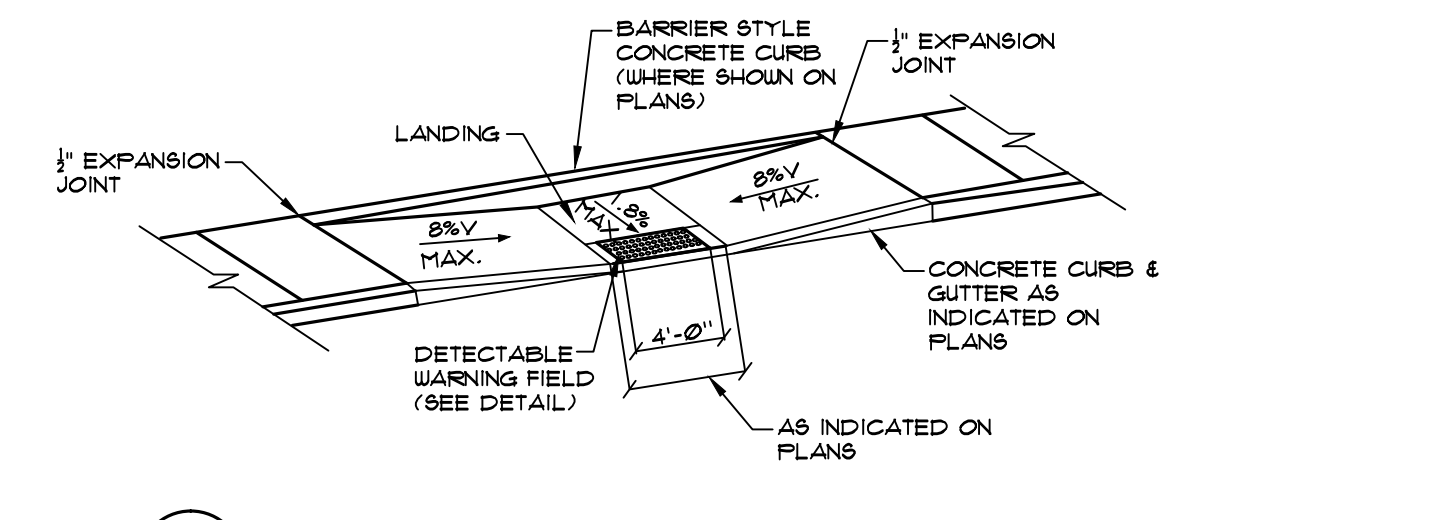
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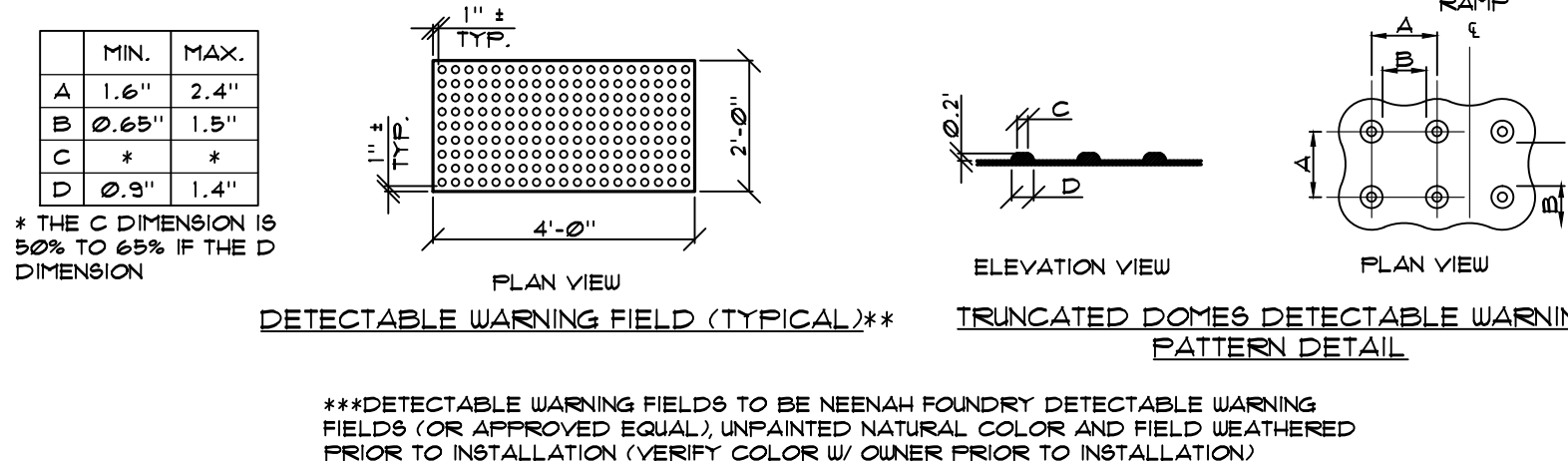
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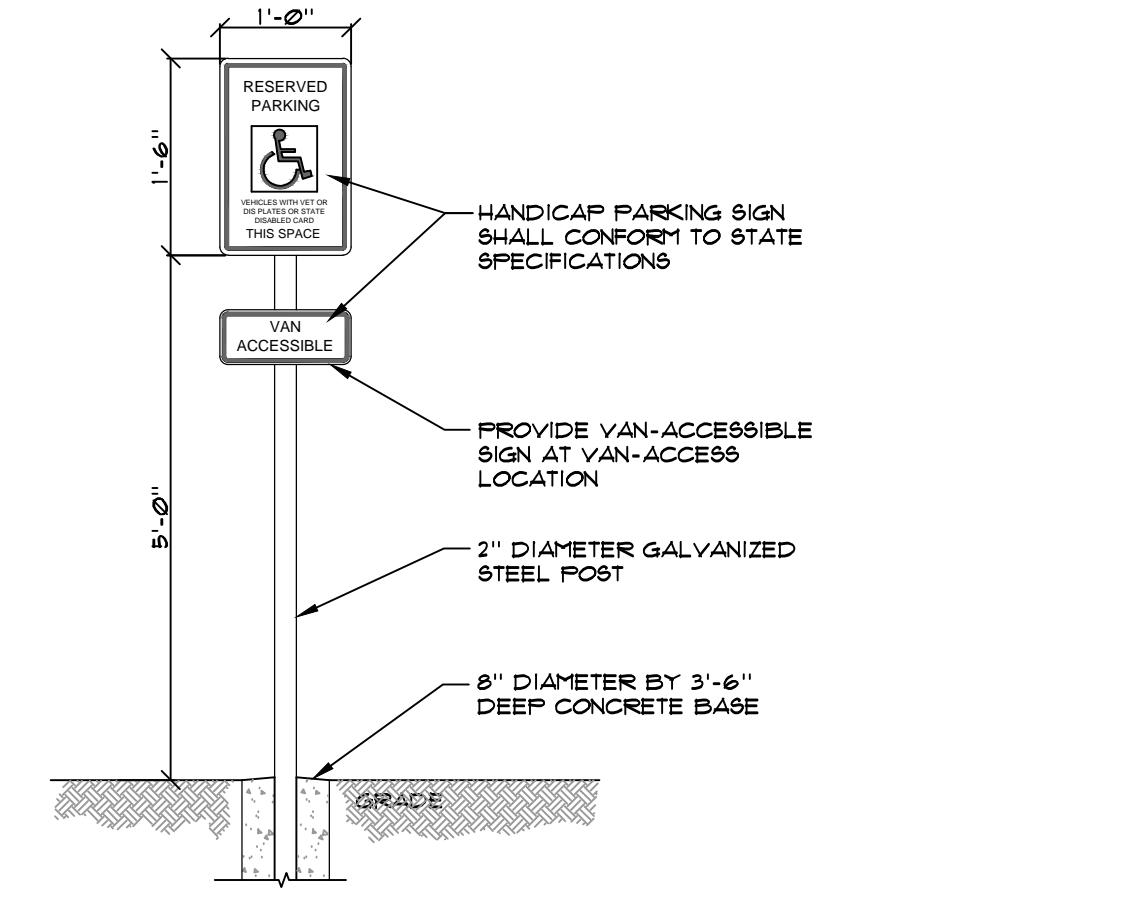
**04 HANDICAP RAMP**  
NTS



**05 HANDICAP RAMP - SPLIT**  
NTS



**06 TRUNCATED DOMES**  
NTS



**07 HANDICAP SIGN**  
NTS

REVISIONS

#	DATE	DESCRIPTION

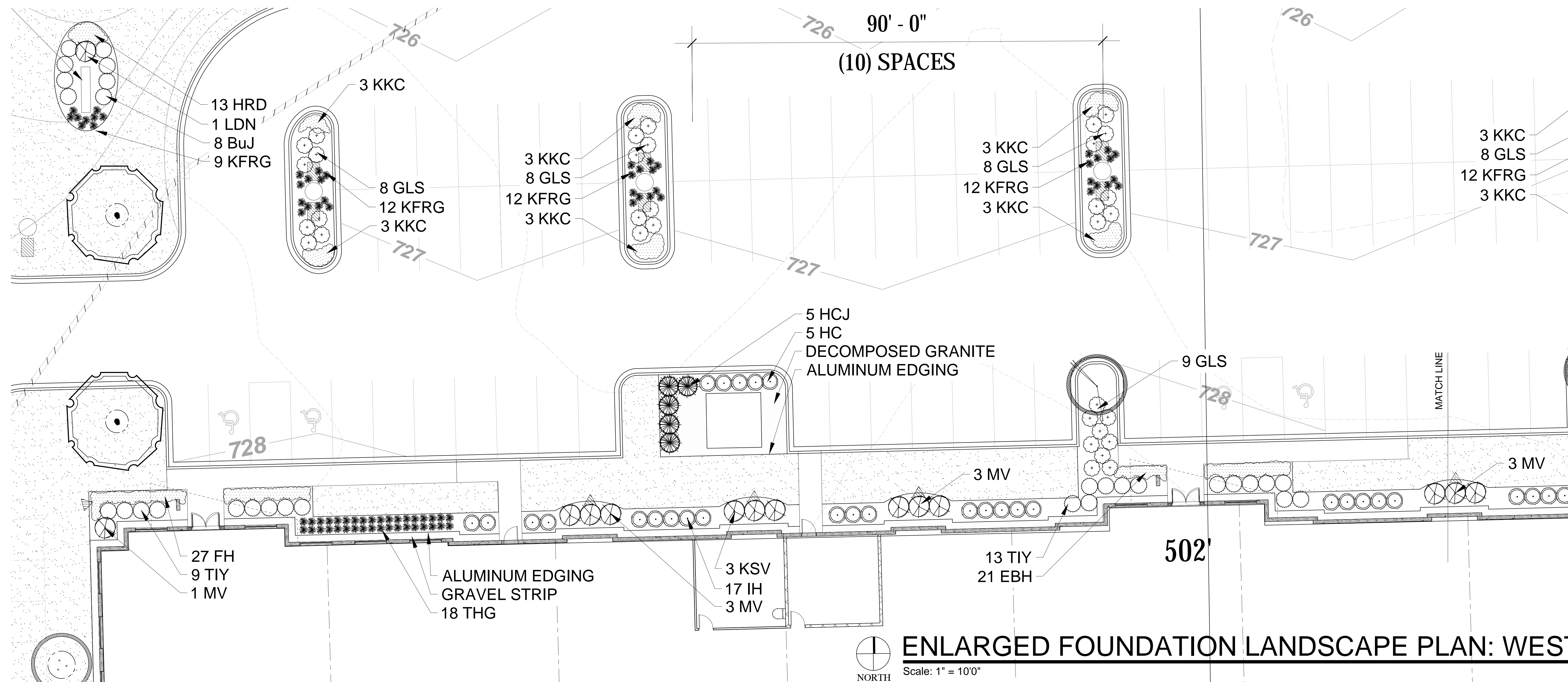
25 APRIL 2017

PROJECT NUMBER	PROJECT MANAGER
14045-00	JAK



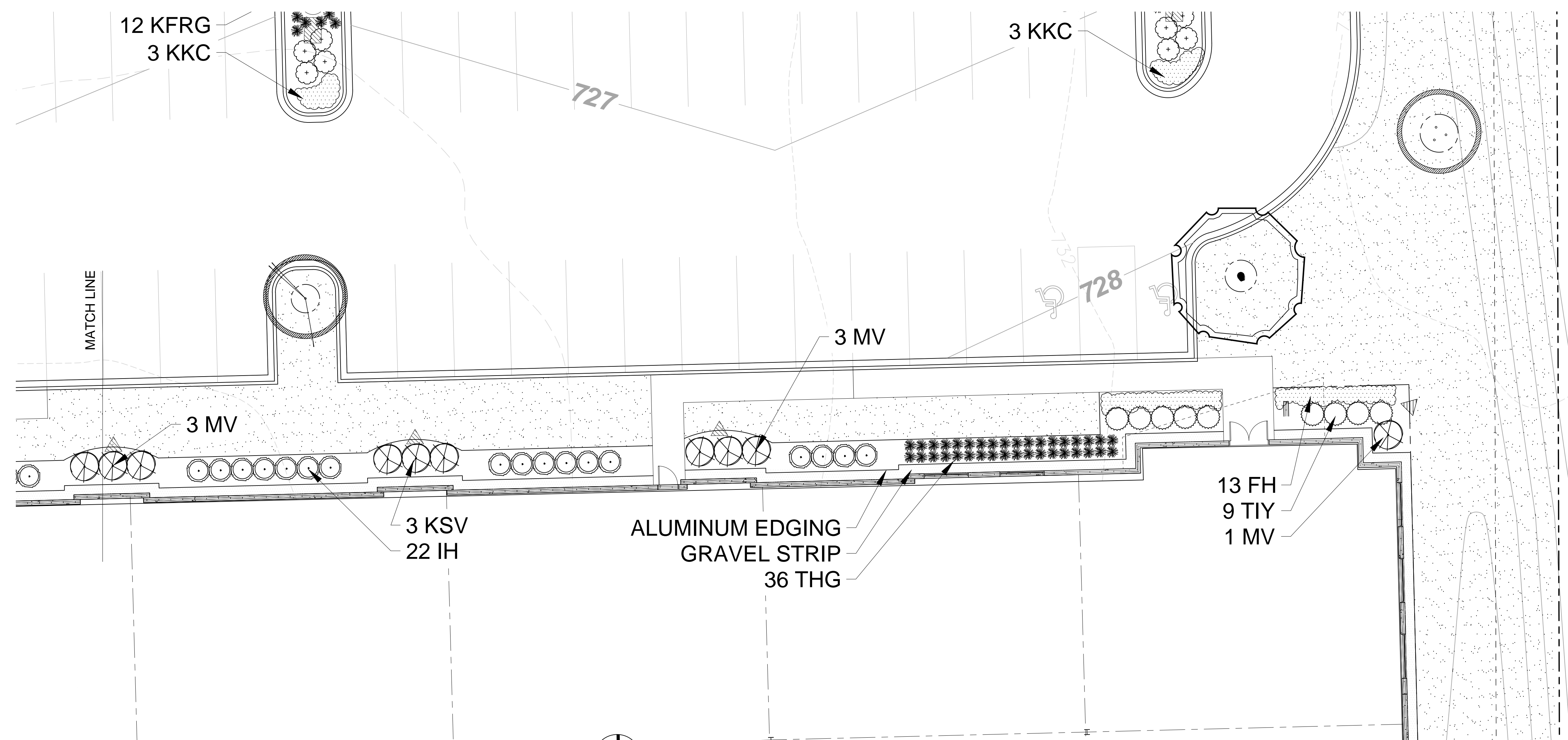






**ENLARGED FOUNDATION LANDSCAPE PLAN: WEST**

Scale: 1" = 10'0"

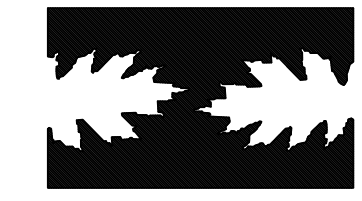


**ENLARGED FOUNDATION LANDSCAPE PLAN: EAST**

Scale: 1" = 10'0"

PLANT ABBREVIATIONS

**HELLER & ASSOCIATES, LLC**  
 LANDSCAPE ARCHITECTURE  
 One Redwood Court  
 Racine, Wisconsin 53402  
 ph 262.639.9733  
 fx 262.639.9737  
 david@wdaheller.com



PROJECT

**INTERSTATE PARTNERS**

**SPECULATIVE BUSINESS CENTER**

Oakwood Road  
 Franklin, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
3.27.17	ISSUE TO OWNER
4.24.17	REVISED PER REVIEW



These plans were prepared by:  
 W. David Heller, ASLA  
 Registered Landscape Architect  
 #438-014

Information contained herein is based on Survey Information, Field Inspection, and believed to be accurate.

SHEET TITLE

**LANDSCAPE MASTER PLAN**

PROJECT MANAGER WDH

PROJECT NUMBER 17-010

DATE 04.24.17

SHEET NUMBER

**L 1.1**





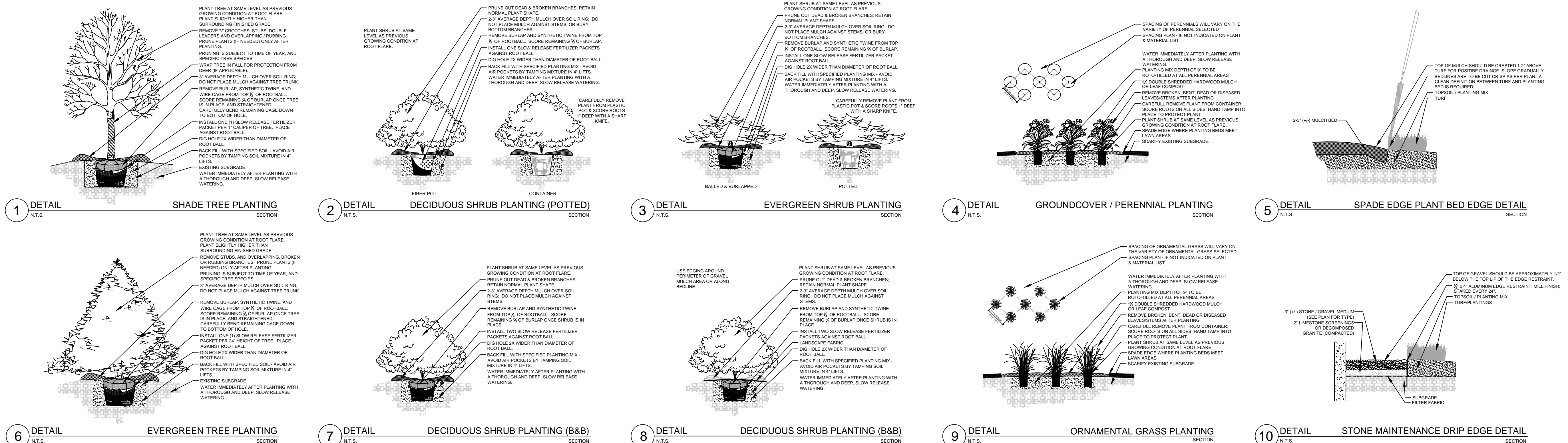


- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planting.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:
  - Per 100 SF of bed area (Soil Amendment composition):
    - 1/2 CY Peat Moss or Mushroom Compost
    - 3/4 CY blended/pulverized Topsoil
    - 1/4 CY composted manure
  - In roto-tilled beds only, also include in above mixture:
    - 2 lbs Starter Fertilizer

- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing red canary grass is NOT acceptable as a mulch covering.
  - An acceptable quality seed installation is defined as having:
    - No bare spots larger than one (1) square foot
    - No more than 10% of the total area with bare areas larger than one (1) square foot
    - A uniform coverage throughout all turf areas
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of two (2) years from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum two (2) growing season. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

## LANDSCAPE GENERAL NOTES



PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALIPER/HEIGHT	ROOT	SPECIFICATION / NOTES
		BOTANICAL NAME	COMMON NAME			

Proposed Landscape Materials						
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPECIFICATION / NOTES
<b>SHADE TREES (DECIDUOUS)</b>						
ABM	2	Acer xfreemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
GMSG	2	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
PPH	3	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
SHL	1	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
SWO	2	Quercus bicolor	Swamp White Oak	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
VFE	3	Ulmus americana 'Valley Forge'	Valley Forge American Elm	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPECIFICATION / NOTES
<b>ORNAMENTAL TREES (DECIDUOUS)</b>						
TCH	2	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	6-7 H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
AFK	1	Malus x 'Adams'	Adams Flowering Crabapple	6-7 H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
RJFC	5	Malus x 'Jewelcole'	Red Jewel Flowering Crabapple	6-7 H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
JTL	5	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5"	B&B	Straight central leader, full and even crown. Prune only after planting

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT SIZE	ROOT	SPECIFICATION / NOTES
<b>EVERGREEN TREES</b>						
IJJ	12	Juniperus chinensis 'lowa'	Iowa Juniper (upright)	6'	B&B	Evenly shaped tree with branching to the ground
HCI	5	Juniperus chinensis 'Hetzl Columnaris'	Hetzl Columnar Juniper (upright)	42"	B&B	Evenly shaped tree with branching to the ground
NS	5	Picea abies	Norway Spruce	7'	B&B	Evenly shaped tree with branching to the ground
BHS	4	Picea densata 'glauca'	Black Hills Spruce	7'	B&B	Evenly shaped tree with branching to the ground
DFI	4	Pseudotsuga menziesii	Douglas Fir	7'	B&B	Evenly shaped tree with branching to the ground

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES
<b>EVERGREEN SHRUBS</b>						
BuJ	8	Juniperus sabina 'Buffalo'	Buffalo Juniper	#3	Cont.	Full rounded well branched shrub
TIT	31	Taxus media 'Tautoni'	Taunton Intermediate Yew	24"	B&B	Full rounded well branched shrub

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES
<b>DECIDUOUS SHRUBS</b>						
HC	5	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	36"	B&B	Full, well rounded plant with moist rootball and healthy appearance
CW	6	Hamelis virginiana	Common Witchhazel	72"	B&B	Full, well rounded plant with moist rootball and healthy appearance
IH	39	Hydrangea arborescens 'Abetwo'	Incredibleb Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped
LDN	1	Physocarpus opalifolius 'Little Devil'	Little Devil Ninebark	24"	Cont.	Full, well rooted plant, evenly shaped
GLS	49	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	#5	Cont.	Full, well rooted plant, evenly shaped
KSV	9	Viburnum carlesii	Fragrant Koreanspice Viburnum	36"	Cont.	Full, well rooted plant, evenly shaped
MV	11	Viburnum lantana 'Mohican'	Mohican Viburnum	36"	B&B	Full, well rounded plant with moist rootball and healthy appearance

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES
<b>ORNAMENTAL GRASSES</b>						
KFRG	69	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant
THG	54	Deschampsia cespitosa	Tufted Hair Grass	#1	Cont.	Full, well rooted plant

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES
<b>HERBACEOUS PERENNIALS</b>						
HRD	13	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
FH	40	Hosta fortunei 'Francee'	Francee Hosta	#1	Cont.	Full, well rooted plant, evenly shaped
EBH	21	Hosta sieboldiana 'Elegans'	Elegans Bigleaf Hosta	#2	Cont.	Full, well rooted plant, evenly shaped
KCC	30	Nepeta faassenii 'Kit Cat'	Dwarf Catmint	Qt.	Pot	Full, well rooted plant, evenly shaped

LAWN	10950	Lawn Establishment Area / Grading Area			SY	Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-313-6807)
	98500	Erosion Matting for sloped seeded areas	see plan for area delineation		SF	EroTex D575 Erosion Control Blanket (or approved equal)

Hardscape Materials						
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES
	21	Heritage River Gravel	Area: 1550 SF		TN	2" depth
	5	Decomposed Granite Surface (Rust/Brown)	Area: 360 SF		TN	2" depth
	1100	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		LF	
	1925	Landscape Fabric			SF	
	60	Shredded Hardwood Mulch (3" depth)	Area: 6,475 SF		CY	Bark Mulch; apply Preemergent after installation of mulch
	40	Soil Amendments (2" depth)	Area: 6,475 SF		CY	
	303	Pulverized Topsoil (Lawn Area)	Area: 98,500 sf		CY	
	40	Pulverized Topsoil (2" over bed areas)	Area: 6,475 SF		CY	

\*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan-including the graphics and notations depicted therein-shall govern.

<b>Seed Compositions:</b> Cedar Creek Premium Blue Tag (Ph: 888-313-6807): 10% Mid Atlantic Kentucky Bluegrass 20% Merit Kentucky Bluegrass 20% Boreal Red Fescue 20% Pennant Fine Perennial Ryegrass	Seed at rate of 3# per 1000 SF  10% Atlantis Kentucky Bluegrass 10% Dragon Kentucky Bluegrass 10% Palmer III Fine Perennial Ryegrass
--	--

## PLANT & MATERIAL SCHEDULE



### PROJECT

## INTERSTATE PARTNERS

## SPECULATIVE BUSINESS CENTER

Oakwood Road  
Franklin, WI

### ISSUANCE AND REVISIONS

DATE	DESCRIPTION
3.27.17	ISSUE TO OWNER
4.24.17	REVISED PER REVIEW



These plans were prepared by:  
W. David Heller, ASLA  
Registered Landscape Architect  
#438-014

Information contained herein is based on Survey Information, Field Inspection, and believed to be accurate.

### SHEET TITLE

## LANDSCAPE MASTER PLAN

PROJECT MANAGER WDH

PROJECT NUMBER 17-010

DATE 04.24.17

SHEET NUMBER

## PLANTING & HARDSCAPE DETAILS

# L 1.2



PROJECT INFORMATION	
<b>OVERALL SITE INFORMATION:</b>	
OVERALL SITE AREA:	766,052.37 SF (17.35 AC)
BUILDING SITE AREA:	332,361.55 SF (7.48 AC)
GREEN SPACE RATIO:	2.871 AC (28.4%)
<b>PARKING INFORMATION:</b>	
NORTH PARKING FIELD:	18 SPACES
SOUTH PARKING FIELD:	44 SPACES
ACCESSIBLE PARKING PROVIDED:	6 SPACES
TOTAL PARKING PROVIDED:	168 SPACES PROVIDED
<b>FUTURE PARKING:</b>	
TOTAL OVERALL PARKING PROVIDED:	23 SPACES
<b>BUILDING INFORMATION:</b>	
TOTAL BUILDING AREA:	101,717 GSF (FOOTPRINT)
50'x50' OVERALL STRUCTURAL GRID:	60' SPEED BAY
<b>TOTAL OVERHEAD DOCK DOORS:</b>	
(12) 9'x10' DOCK DOORS	(4) 16'x14' DRIVE-THRU DOORS
<b>NOTE:</b>	
GREEN SPACE RATIO INCLUDING FUTURE PARKING = 28.0%	



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 office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:



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FRANKLIN COMMERCE CENTER I

DRAWING ISSUANCE:

CITY REVIEW COMMENTS PACKAGE

REVISIONS

#	DATE	DESCRIPTION
1	25 APRIL 2017	CITY REVIEW COMMENTS

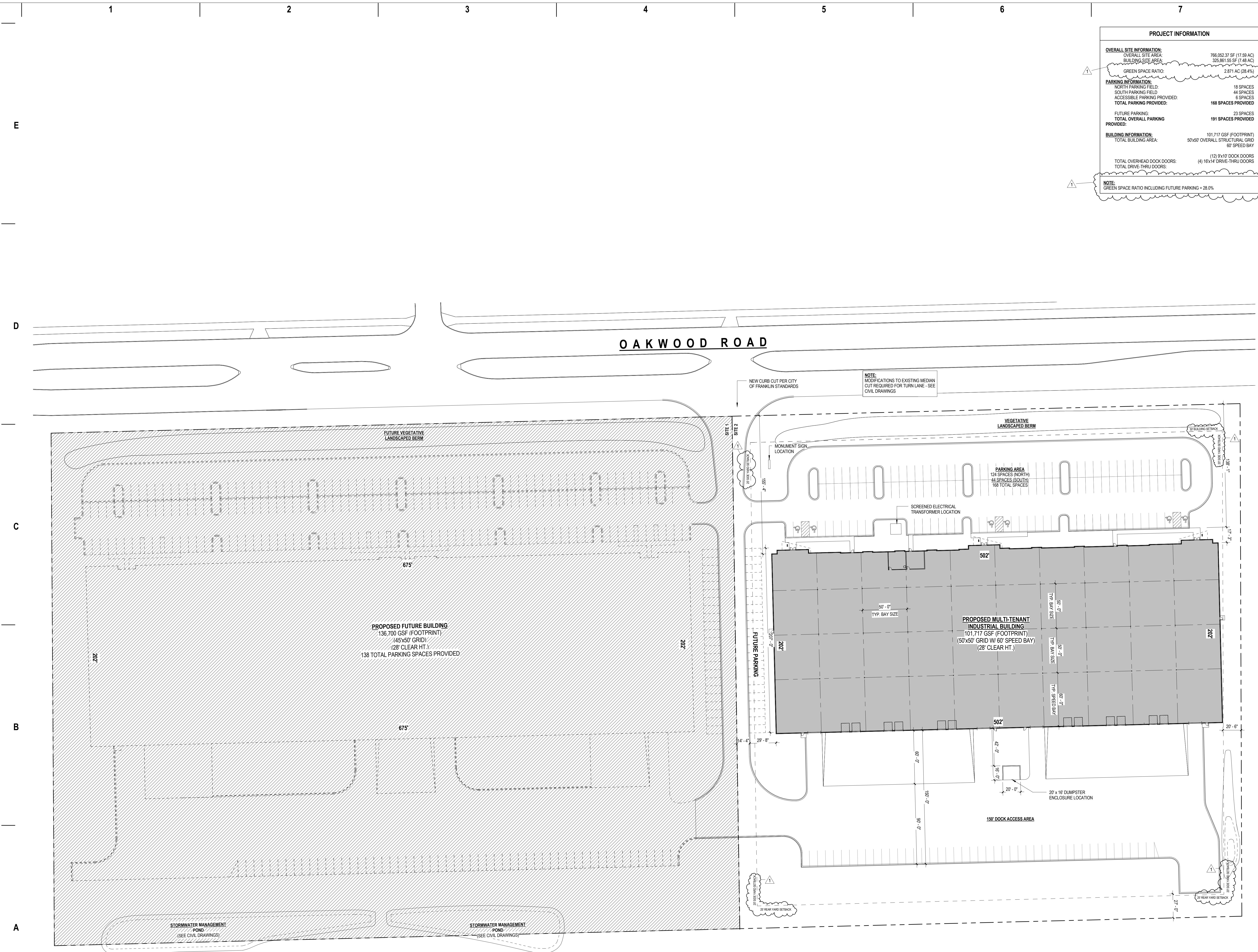
25 APRIL 2017

PROJECT NUMBER 14048-00 PROJECT MANAGER JAK

OVERALL ARCHITECTURAL SITE PLAN

AS100

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PROJECT INFORMATION:

**Interstate Partners LLC**  
 Real Estate Development

SPECULATIVE BUSINESS  
 CENTER

FRANKLIN COMMERCE  
 CENTER

DRAWING ISSUANCE:

CITY REVIEW  
 COMMENTS PACKAGE

REVISIONS

#	DATE	DESCRIPTION



25 APRIL 2017

PROJECT NUMBER	PROJECT MANAGER
14045-00	JAK

COLOR  
 ARCHITECTURAL SITE  
 PLAN

**AS105**







1

2

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C

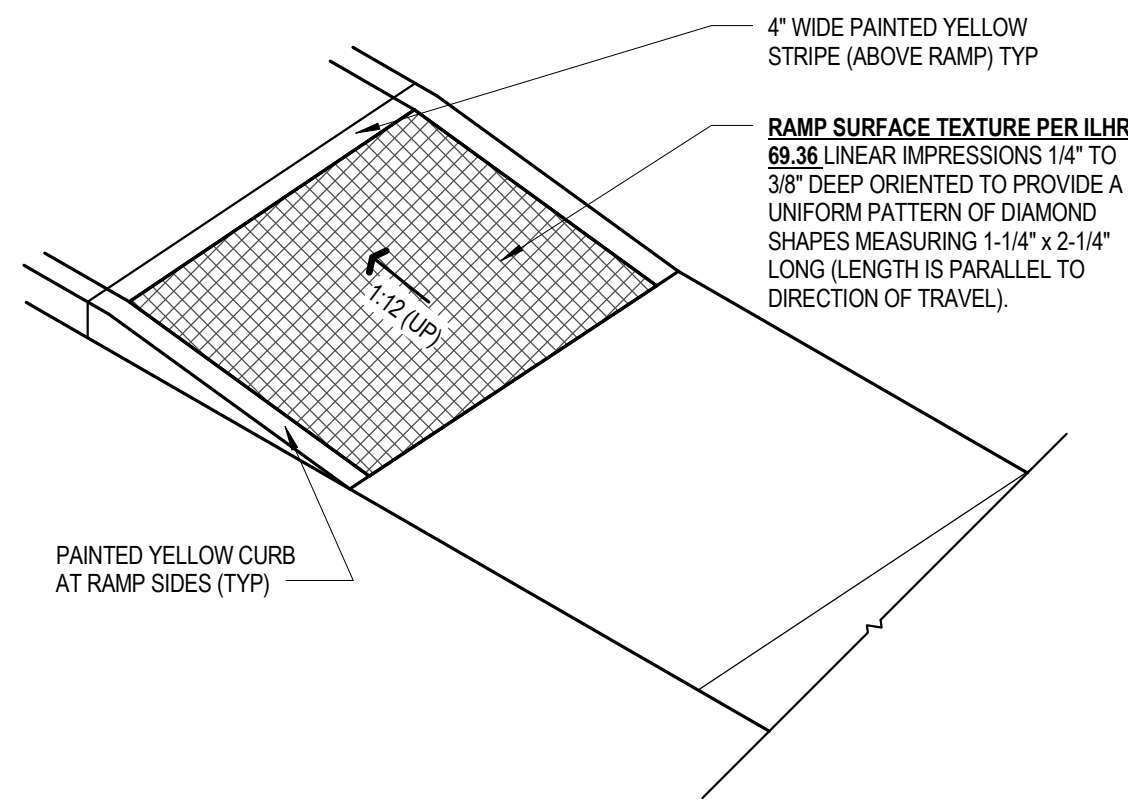
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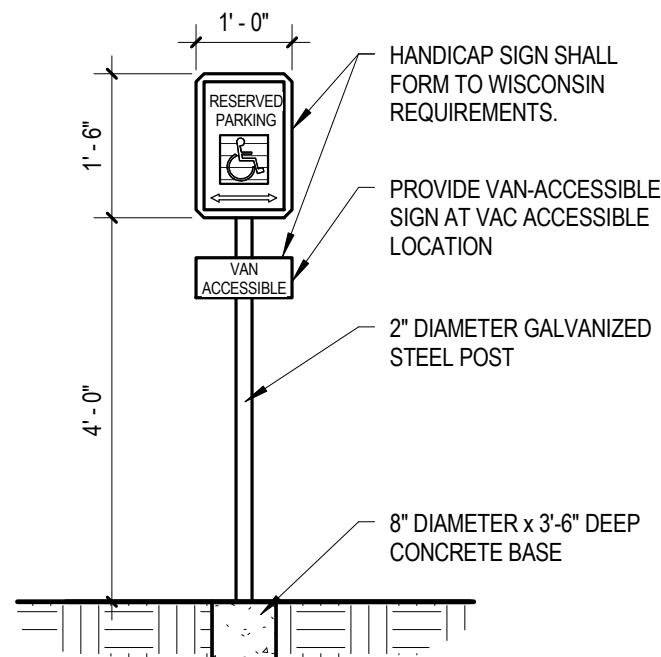
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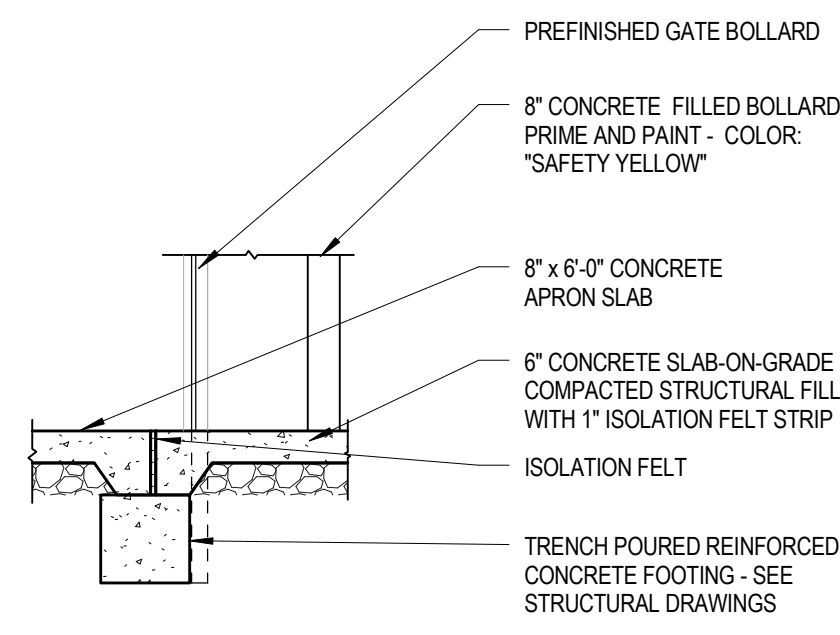
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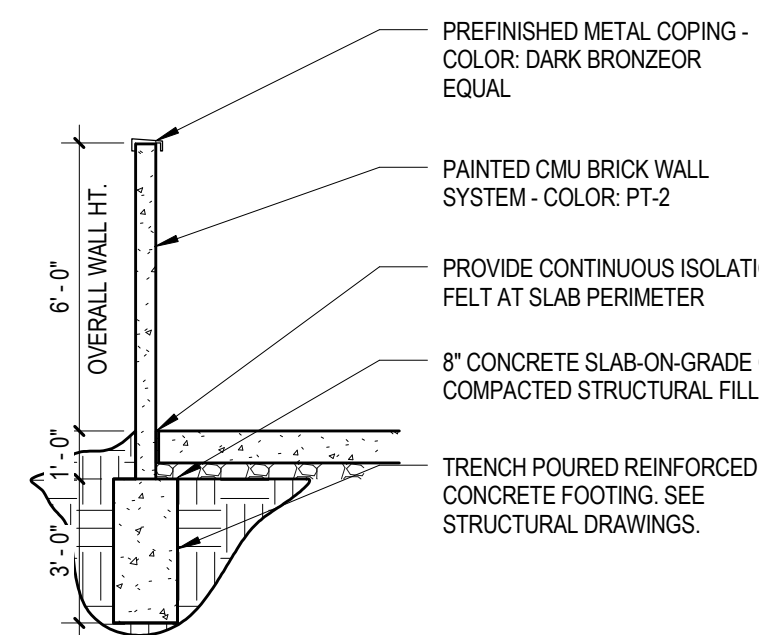
3 SITE DETAIL - ACCESSIBLE CURB  
3/8" = 1'-0"



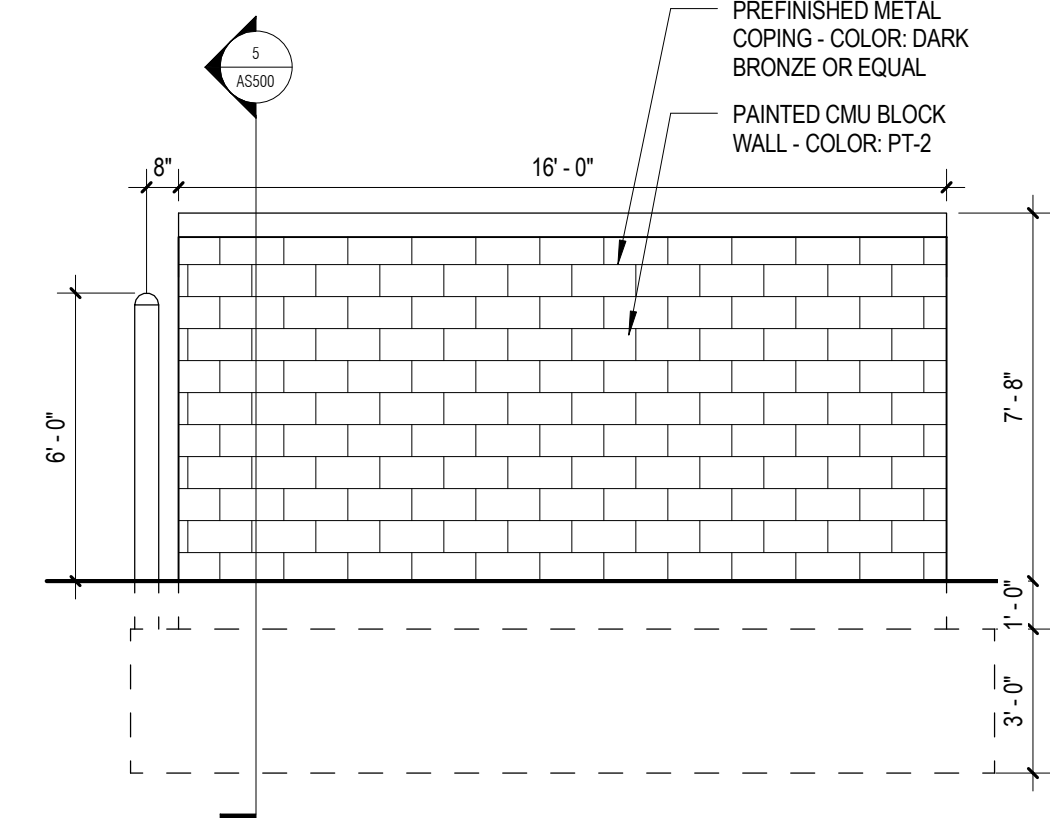
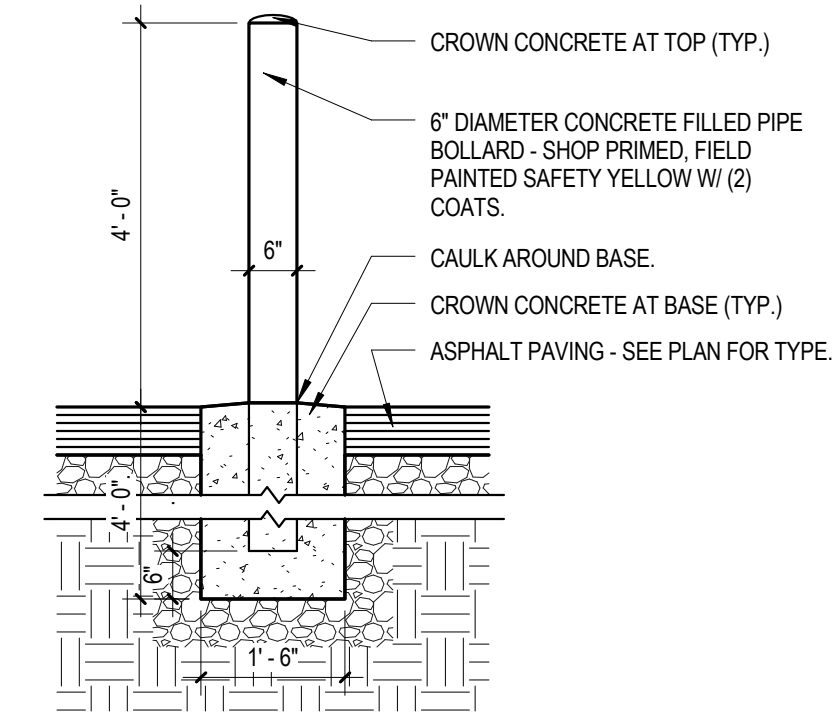
4 SITE DETAIL - ACCESSIBLE SIGN  
1/2" = 1'-0"



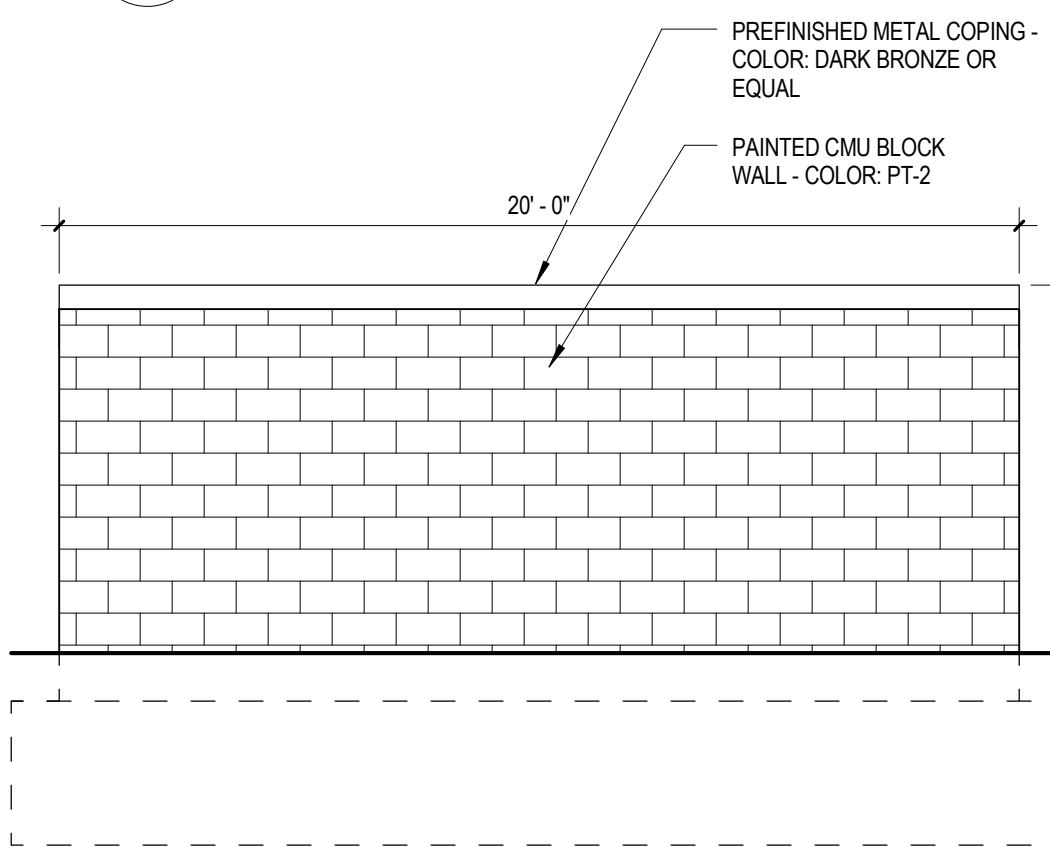
5 TYPICAL DUMPSTER WALL SECTIONS  
1/4" = 1'-0"



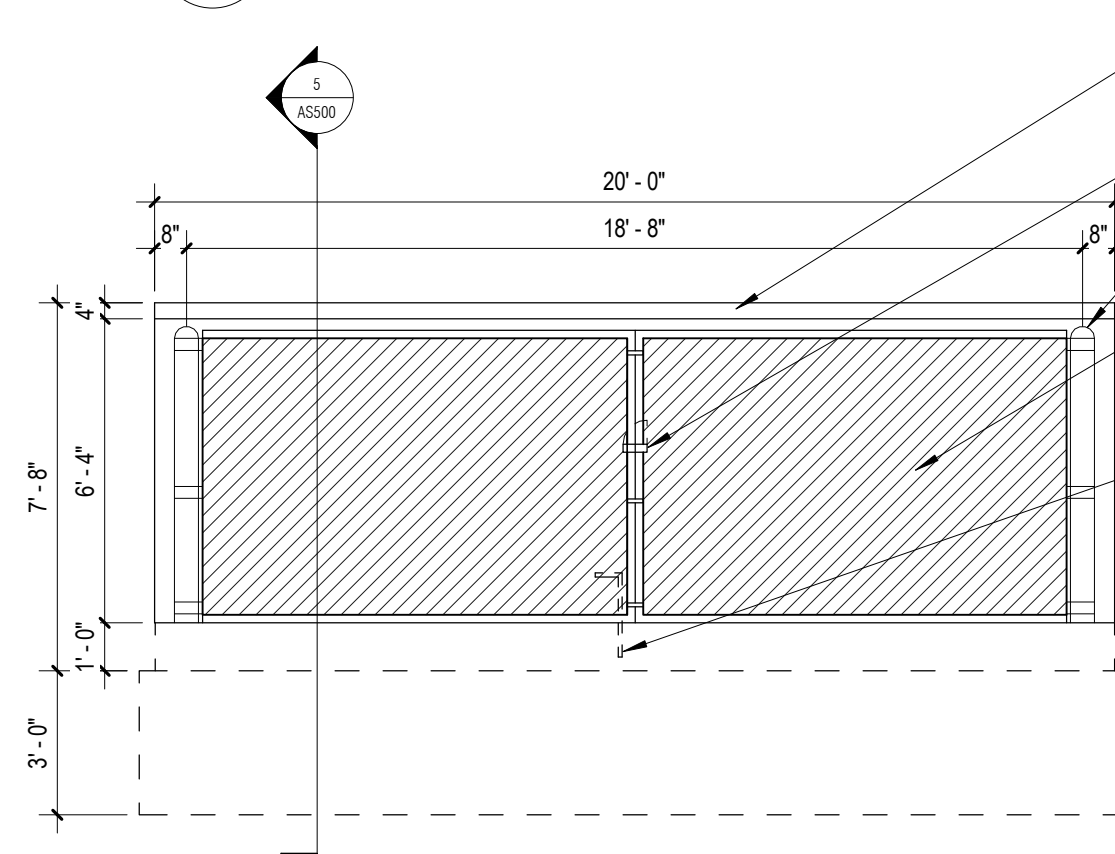
7 BOLLARD SECTION DETAIL  
1/2" = 1'-0"



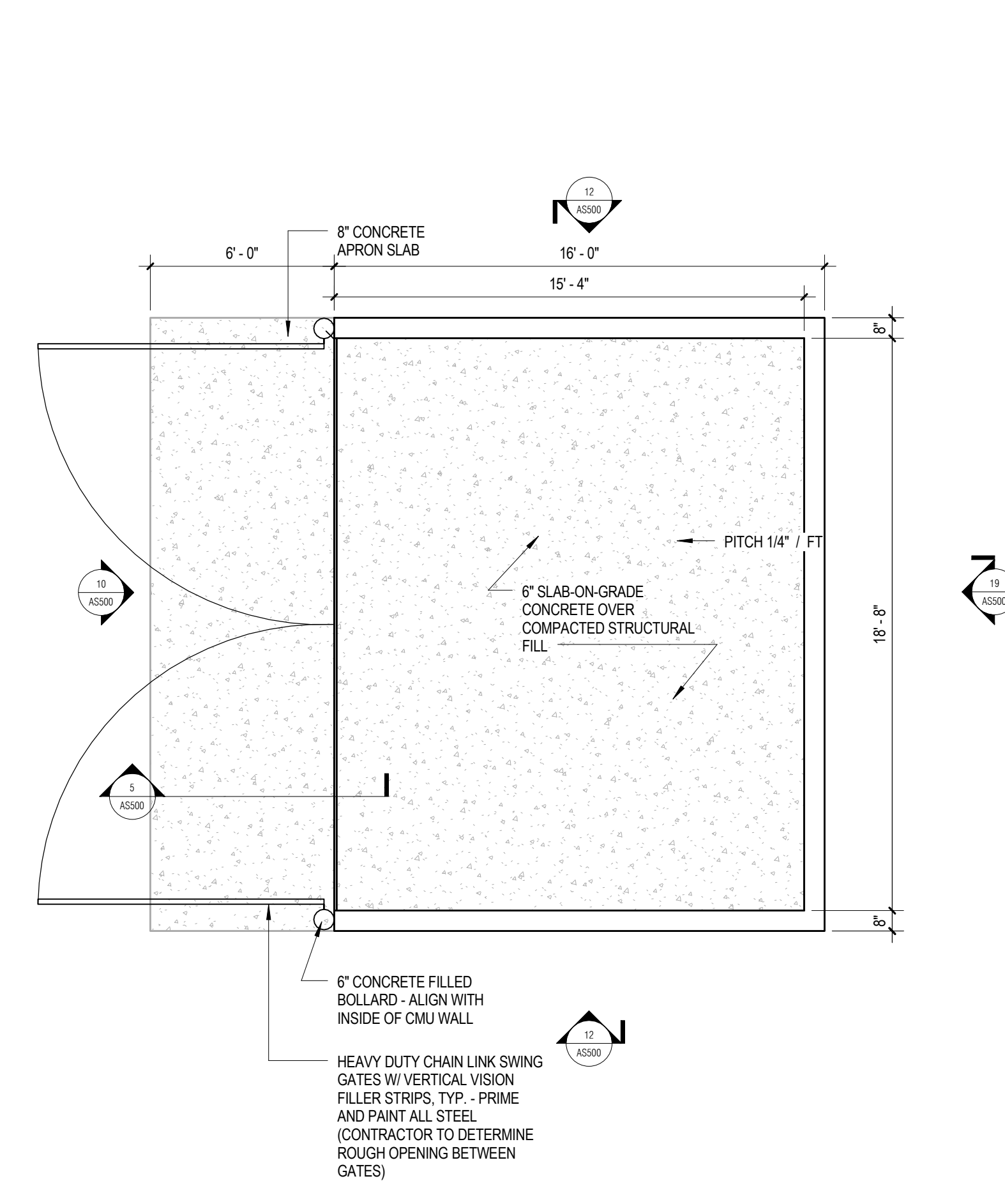
12 TYPICAL DUMPSTER SIDE ELEVATION  
1/4" = 1'-0"



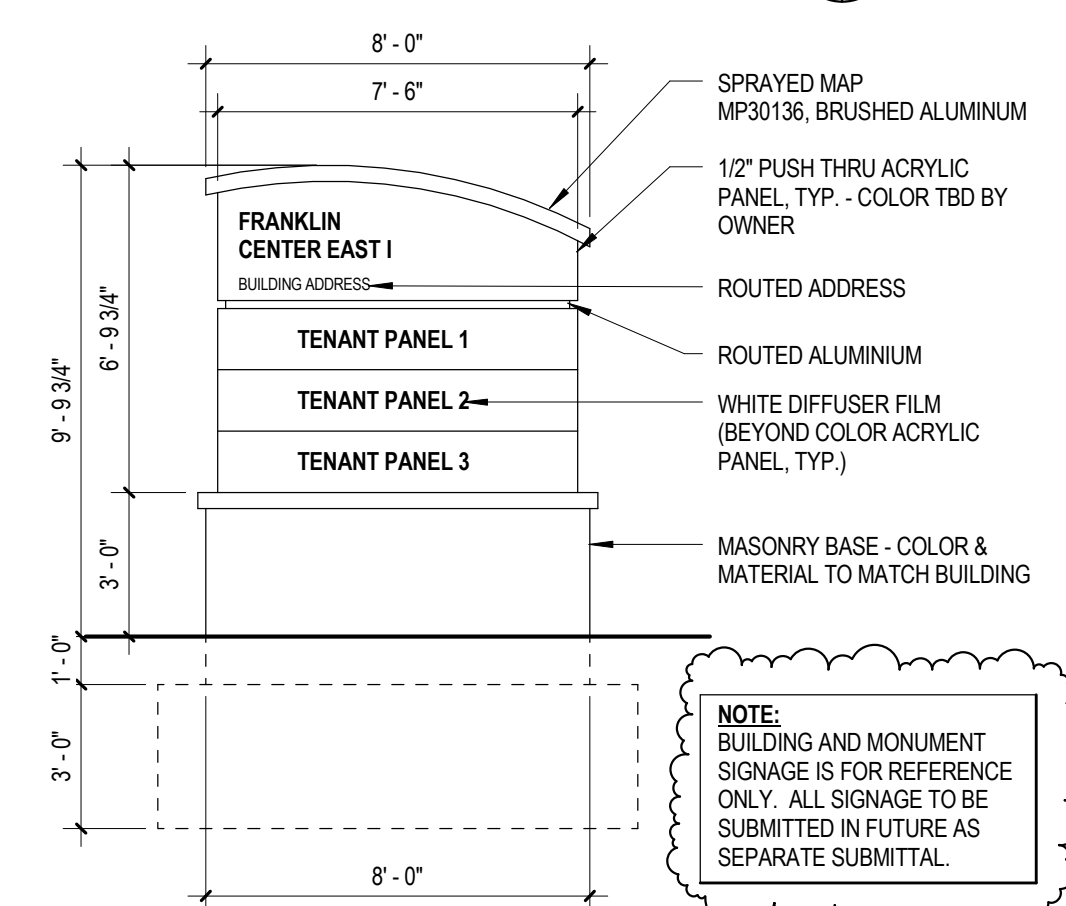
19 DUMPSTER REAR ELEVATION  
1/4" = 1'-0"



10 DUMPSTER FRONT ELEVATION  
1/4" = 1'-0"



20 DUMPSTER PLAN  
1/4" = 1'-0"



27 SITE DETAIL  
1/4" = 1'-0"

PROJECT INFORMATION:



SPECULATIVE BUSINESS CENTER

FRANKLIN COMMERCE CENTER I

DRAWING ISSUANCE:

CITY REVIEW COMMENTS PACKAGE

REVISIONS

#	DATE	DESCRIPTION
1	25 APRIL 2017	CITY REVIEW COMMENTS

25 APRIL 2017

PROJECT NUMBER 14048-00 PROJECT MANAGER JAK

SITE DETAILS

AS500

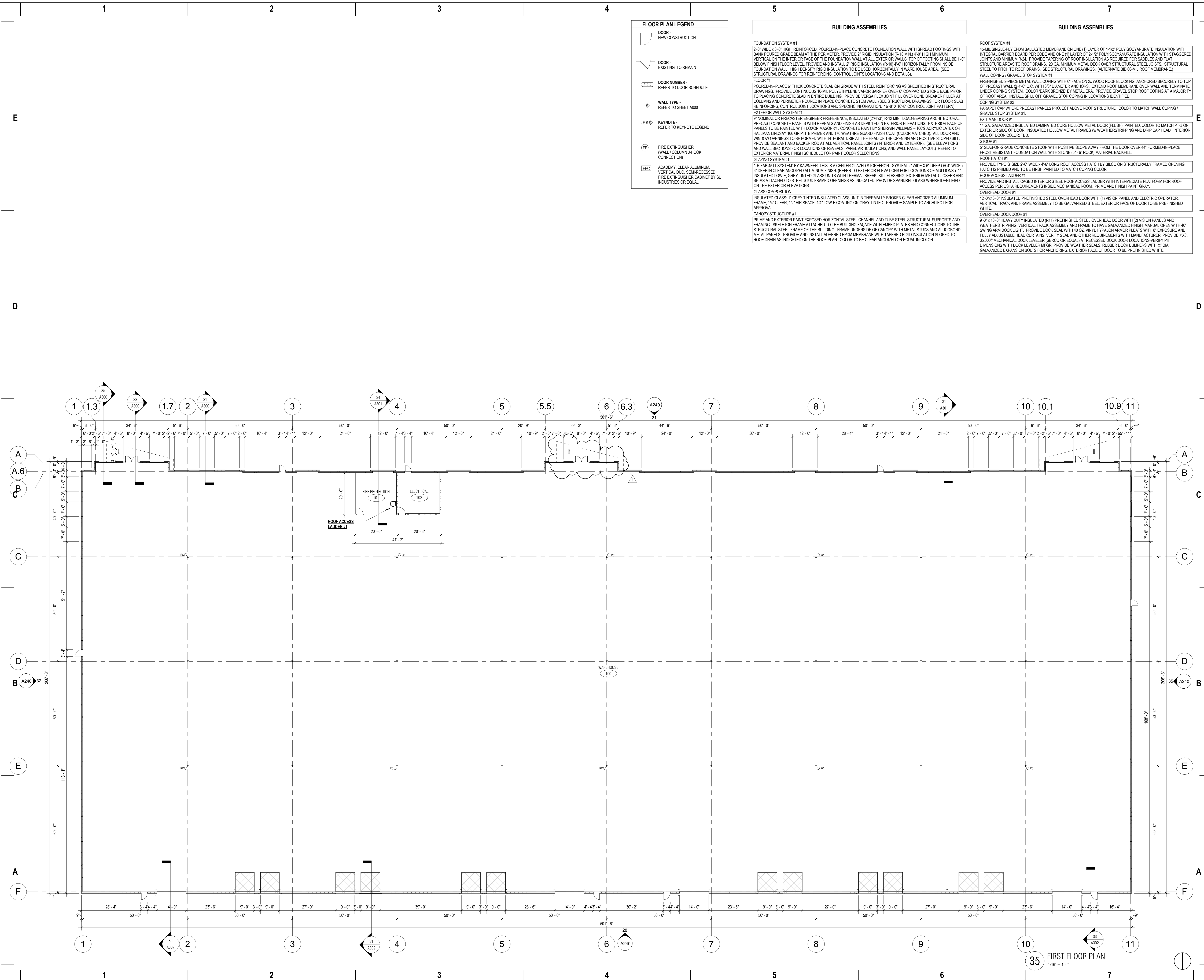
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FLOOR PLAN LEGEND	
	DOOR - NEW CONSTRUCTION
	DOOR - EXISTING, TO REMAIN
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WALL TYPE - REFER TO SHEET A000
	KEYNOTE - REFER TO KEYNOTE LEGEND
	FIRE EXTINGUISHER (WALL / COLUMN / HOOK CONNECTION)
	ACADEMY CLEAR ALUMINUM VERTICAL DIV. SEMI-RECESSED FIRE EXTINGUISHER CABINET BY SL INDUSTRIES OR EQUAL

BUILDING ASSEMBLIES	
FOUNDATION SYSTEM #1	2'-0" WIDE x 3'-0" HIGH REINFORCED, POURED-IN-PLACE CONCRETE FOUNDATION WALL WITH SPREAD FOOTINGS WITH BANK POURED GRADE BEAM AT THE PERIMETER. PROVIDE 2" RIGID INSULATION (R-10 MIN) 4'-0" HIGH MINIMUM, VERTICAL, ON THE INTERIOR FACE OF THE FOUNDATION WALL. AT ALL EXTERIOR WALLS, TOP OF FOOTING SHALL BE 1'-0" BELOW FINISH FLOOR LEVEL. PROVIDE AND INSTALL 2" RIGID INSULATION (R-10) 4'-0" HORIZONTALLY FROM INSIDE FOUNDATION WALL. HIGH DENSITY RIGID INSULATION TO BE USED HORIZONTALLY IN WAREHOUSE AREA. (SEE STRUCTURAL DRAWINGS FOR REINFORCING, CONTROL JOINTS LOCATIONS AND DETAILS).
FLOOR #1	POURED-IN-PLACE 6" THICK CONCRETE SLAB ON GRADE WITH STEEL REINFORCING AS SPECIFIED IN STRUCTURAL DRAWINGS. PROVIDE CONTINUOUS 10-MIL POLYETHYLENE VAPOR BARRIER OVER 6" COMPACTED STONE BASE PRIOR TO PLACING CONCRETE SLAB IN ENTIRE BUILDING. PROVIDE VERSA FLEX JOINT FILL OVER BOND BREAKER FILLER AT COLUMNS AND PERIMETER POURED IN PLACE CONCRETE STEM WALL. (SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCING, CONTROL JOINT LOCATIONS AND SPECIFIC INFORMATION. 16'-0" x 16'-0" CONTROL JOINT PATTERN)
EXTERIOR WALL SYSTEM #1	8" NOMINAL OR PRECASTER ENGINEER PREFERENCE, INSULATED (2"x4"x3") R-12 MIN. LOAD-BEARING ARCHITECTURAL PRECAST CONCRETE PANELS WITH REVEALS AND FINISH AS DEPICTED IN EXTERIOR ELEVATIONS. EXTERIOR FACE OF PANELS TO BE PAINTED WITH LIXON MASONRY / CONCRETE PAINT BY SHERWIN WILLIAMS - 100% ACRYLIC LATEX OR MULLUMIN INSUR 165 GROUT PRIMER AND 175 WEATHER GUARD FINISH COAT (COLOR MATCHED). ALL DOOR AND WINDOW OPENINGS TO BE FORMED WITH INTEGRAL DRIP AT THE HEAD OF THE OPENING AND POSITIVE SLOPED SILL. PROVIDE SEALANT AND BACKER ROD AT ALL VERTICAL PANEL JOINTS (INTERIOR AND EXTERIOR). (SEE ELEVATIONS AND WALL SECTIONS FOR LOCATIONS OF REVEALS, PANEL ARTICULATIONS, AND WALL PANEL LAYOUT.) REFER TO EXTERIOR MATERIAL FINISH SCHEDULE FOR PAINT COLOR SELECTIONS.
GLAZING SYSTEM #1	"FRIB" #1 SYSTEM BY KANNEER. THIS IS A CENTER GLAZED STOREFRONT SYSTEM 2" WIDE x 6" DEEP OR 4" WIDE x 6" DEEP IN CLEAR ANODIZED ALUMINUM FINISH. (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF MULLIONS.) 1" INSULATED LOW-E, GREY TINTED GLASS UNITS WITH THERMAL BREAK, SILL FLASHING, EXTERIOR METAL CLOSERS AND SHIMS ATTACHED TO STEEL STUD FRAMED OPENINGS AS INDICATED. PROVIDE SPANDREL GLASS WHERE IDENTIFIED ON THE EXTERIOR ELEVATIONS
GLASS COMPOSITION	INSULATED GLASS: 1" GREY TINTED INSULATED GLASS UNIT IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAME. 1/4" CLEAR, 1/2" AIR SPACE, 1/4" LOW-E COATING ON GRAY TINTED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL
CANOPY STRUCTURE #1	PRIME AND EXTERIOR PAINT EXPOSED HORIZONTAL STEEL CHANNEL AND TUBE STEEL STRUCTURAL SUPPORTS AND FRAMING. SKELETON FRAME ATTACHED TO THE BUILDING FACADE WITH EMBED PLATES AND CONNECTIONS TO THE STRUCTURAL STEEL FRAME OF THE BUILDING. FRAME UNDERSIDE OF CANOPY WITH METAL STUDS AND ALUCCOMBOND METAL PANELS. PROVIDE AND INSTALL ADHERED EPDM MEMBRANE WITH TAPERED RIGID INSULATION SLOPED TO ROOF DRAIN AS INDICATED ON THE ROOF PLAN. COLOR TO BE CLEAR ANODIZED OR EQUAL IN COLOR.

BUILDING ASSEMBLIES	
ROOF SYSTEM #1	45-MIL SINGLE-PLY EPDM BALLASTED MEMBRANE ON ONE (1) LAYER OF 1-1/2" POLYISOCYANURATE INSULATION WITH INTEGRAL BARRIER BOARD PER CODE AND ONE (1) LAYER OF 2-1/2" POLYISOCYANURATE INSULATION WITH STAGGERED JOINTS AND MINIMUM R-24. PROVIDE TAPERING OF ROOF INSULATION AS REQUIRED FOR SADDLES AND FLAT STRUCTURE AREAS TO ROOF DRAINS. 30 GA. MINIMUM METAL DECK OVER STRUCTURAL STEEL JOISTS. STRUCTURAL STEEL TO PITCH TO ROOF DRAINS. (SEE STRUCTURAL DRAWINGS. ALTERNATE BID 60-MIL ROOF MEMBRANE.)
WALL COPING / GRAVEL STOP SYSTEM #1	PREFINISHED 2-Piece METAL WALL COPING WITH 6" FACE ON 2" WOOD ROOF BLOCKING. ANCHORED SECURELY TO TOP OF PRECAST WALL @ 4'-0" O.C. WITH 3/8" DIAMETER ANCHORS. EXTEND ROOF MEMBRANE OVER WALL AND TERMINATE UNDER COPING SYSTEM. COLOR: DARK BRONZE BY METAL BARR. PROVIDE GRAVEL STOP ROOF COPING AT A MAJORITY OF ROOF AREA. INSTALL SPILL-OFF GRAVEL STOP COPING IN LOCATIONS IDENTIFIED.
COPING SYSTEM #2	PARAPET CAP WHERE PRECAST PANELS PROJECT ABOVE ROOF STRUCTURE. COLOR TO MATCH WALL COPING / GRAVEL STOP SYSTEM #1.
EXIT MAN DOOR #1	14 GA. GALVANIZED INSULATED LAMINATED CORE HOLLOW METAL DOOR (FLUSH), PAINTED COLOR TO MATCH PT-3 ON EXTERIOR SIDE OF DOOR. INSULATED HOLLOW METAL FRAMES W/ WEATHERSTRIPPING AND DRIP CAP HEAD. INTERIOR SIDE OF DOOR COLOR: T80.
STOOD #1	5" SLAB-ON-GRADE CONCRETE STOOD WITH POSITIVE SLOPE AWAY FROM THE DOOR OVER 44" FORMED-IN-PLACE FROST RESISTANT FOUNDATION WALL WITH STONE (5'-6" ROCK) MATERIAL BACKFILL.
ROOF HATCH #1	PROVIDE TYPE "S" SIZE 2'-6" WIDE x 4'-6" LONG ROOF ACCESS HATCH BY BLCCO ON STRUCTURALLY FRAMED OPENING. HATCH IS PRIMED AND TO BE FINISH PAINTED TO MATCH COPING COLOR.
ROOF ACCESS LADDER #1	PROVIDE AND INSTALL CAGED INTERIOR STEEL ROOF ACCESS LADDER WITH INTERMEDIATE PLATFORM FOR ROOF ACCESS PER OSHA REQUIREMENTS INSIDE MECHANICAL ROOM. PRIME AND FINISH PAINT GRAY.
OVERHEAD DOOR #1	12'-0" x 16'-0" INSULATED PREFINISHED STEEL OVERHEAD DOOR WITH (1) VISION PANEL AND ELECTRIC OPERATOR. VERTICAL TRACK AND FRAME ASSEMBLY TO BE GALVANIZED STEEL. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.
OVERHEAD DOOR DOOR #1	9'-0" x 10'-0" HEAVY DUTY INSULATED (R11) PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND WEATHERSTRIPPING. VERTICAL TRACK ASSEMBLY AND FRAME TO HAVE GALVANIZED FINISH. MANUAL OPEN WITH 40" SWING ARM DOCK LIGHT. PROVIDE DOCK SEAL WITH 40 OZ. VINYL HYALON ARMOR PLATES WITH 8" EXPOSURE AND FULLY ADJUSTABLE HEAD CURTAINS. VERIFY SEAL AND OTHER REQUIREMENTS WITH MANUFACTURER. PROVIDE 7'x8", 35,000 LB MECHANICAL DOCK LEVELER (SERVO OR EQUAL) AT RECESSED DOCK DOOR LOCATIONS. VERIFY FIT DIMENSIONS WITH DOCK LEVELER MFR. PROVIDE WEATHER SEALS, RUBBER DOCK BUMPERS WITH 1/2" DIA. GALVANIZED EXPANSION BOLTS FOR ANCHORING. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.



N16 W23217 STONE RIDGE DRIVE, SUITE 300  
WAUKESHA, WI 53188 | www.jaknetter.com  
office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:



SPECULATIVE BUSINESS CENTER

FRANKLIN COMMERCE CENTER I

DRAWING ISSUANCE:

CITY REVIEW COMMENTS PACKAGE

#	DATE	DESCRIPTION
1	25 APRIL 2017	CITY REVIEW COMMENTS

25 APRIL 2017

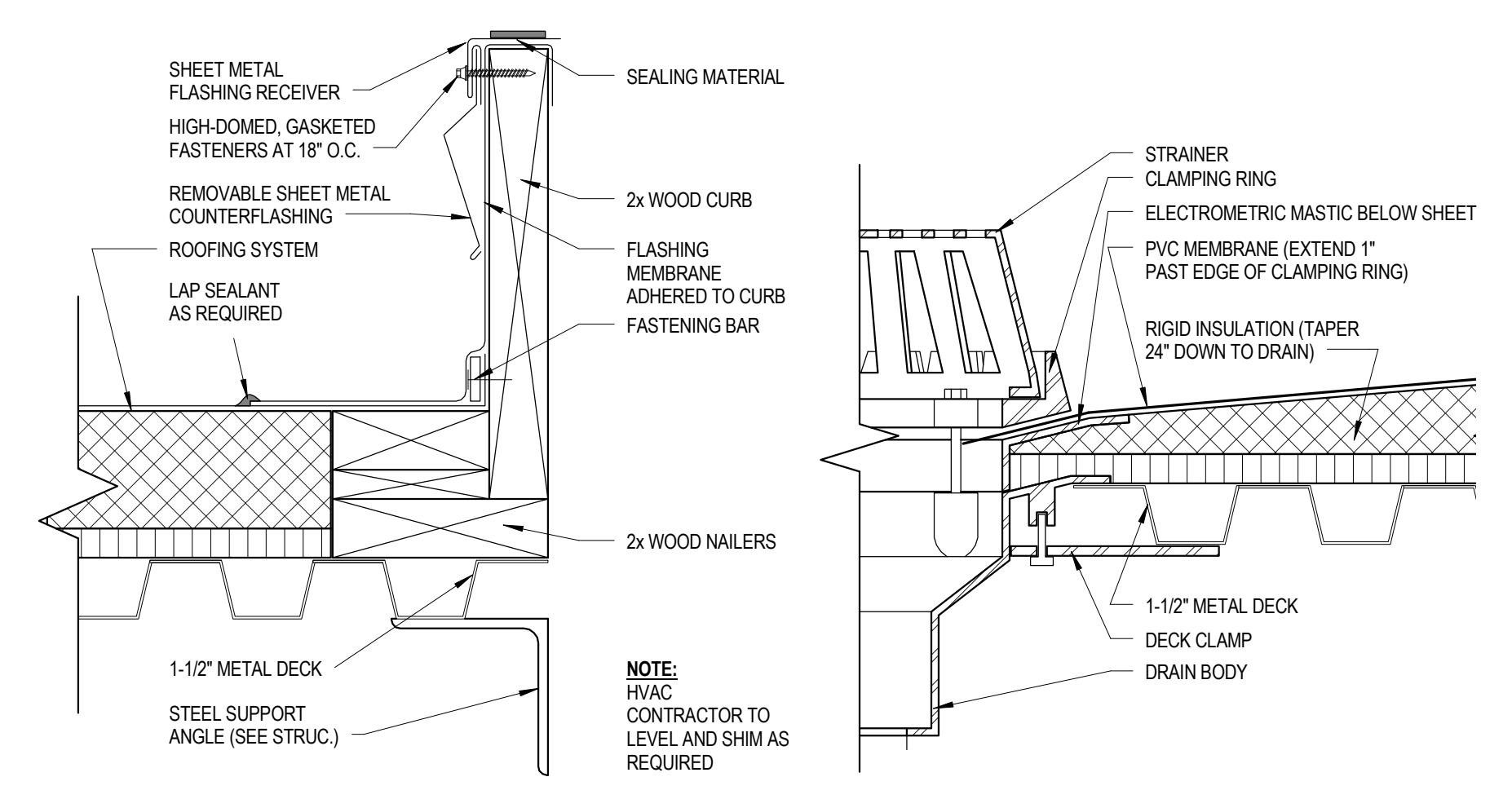
PROJECT NUMBER	PROJECT MANAGER
14048-00	JAK

OVERALL FLOOR PLAN

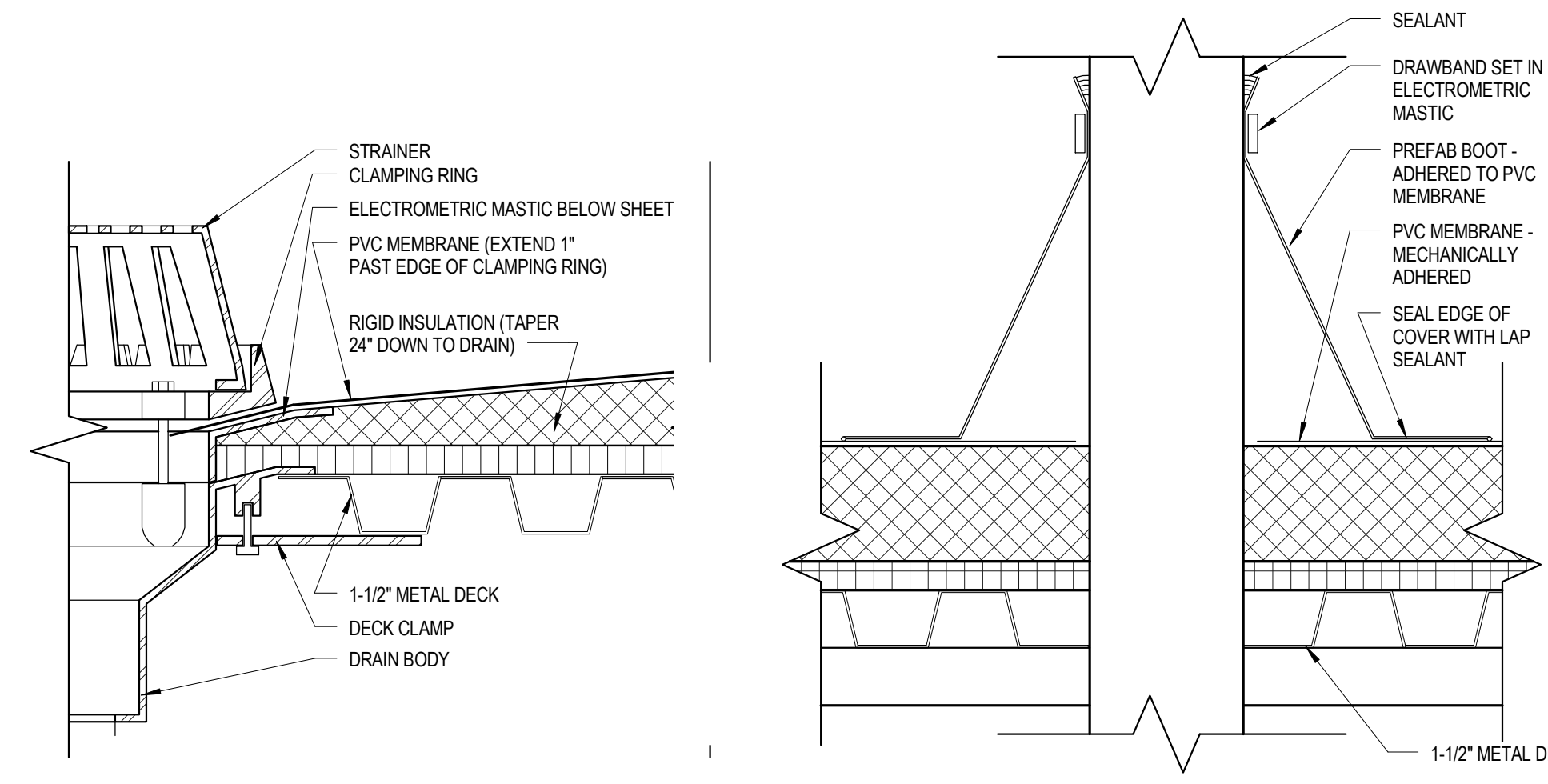
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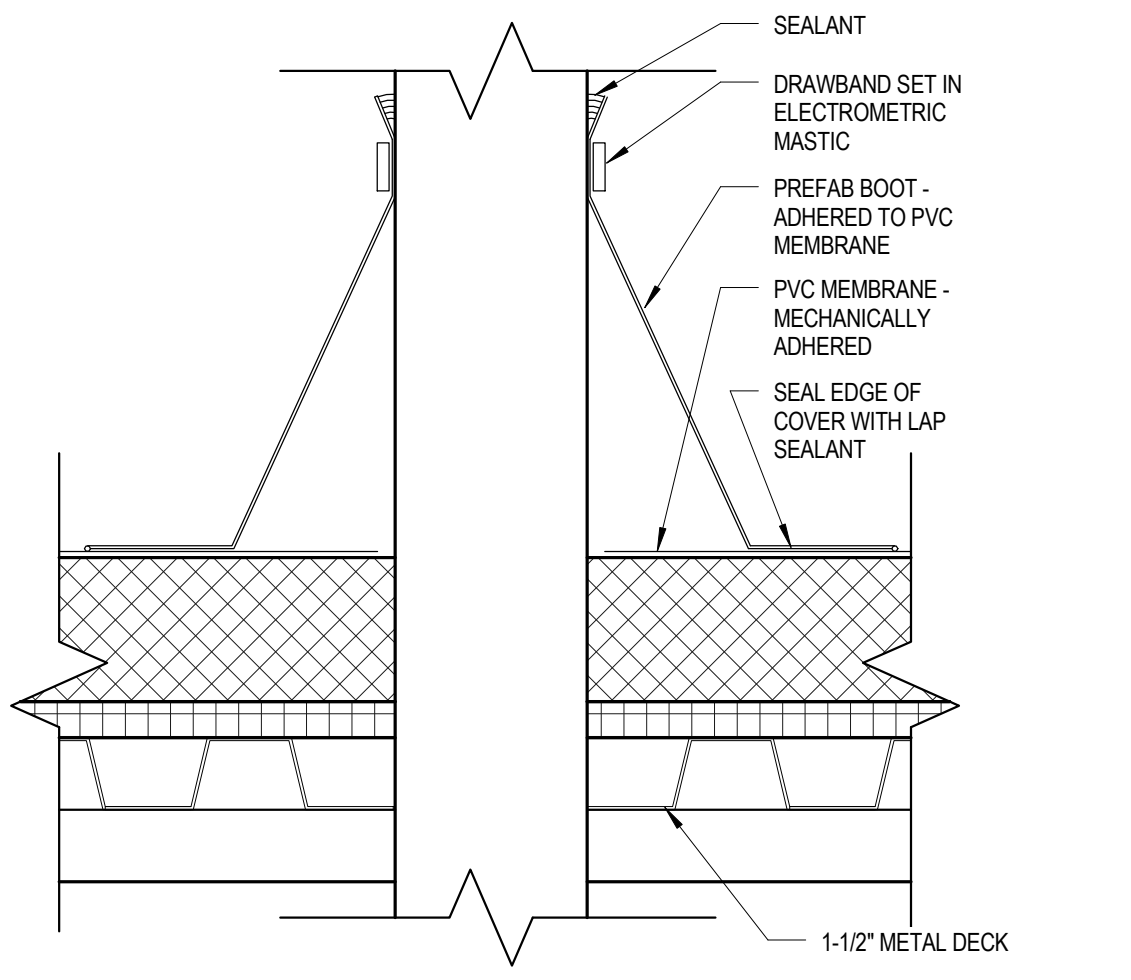




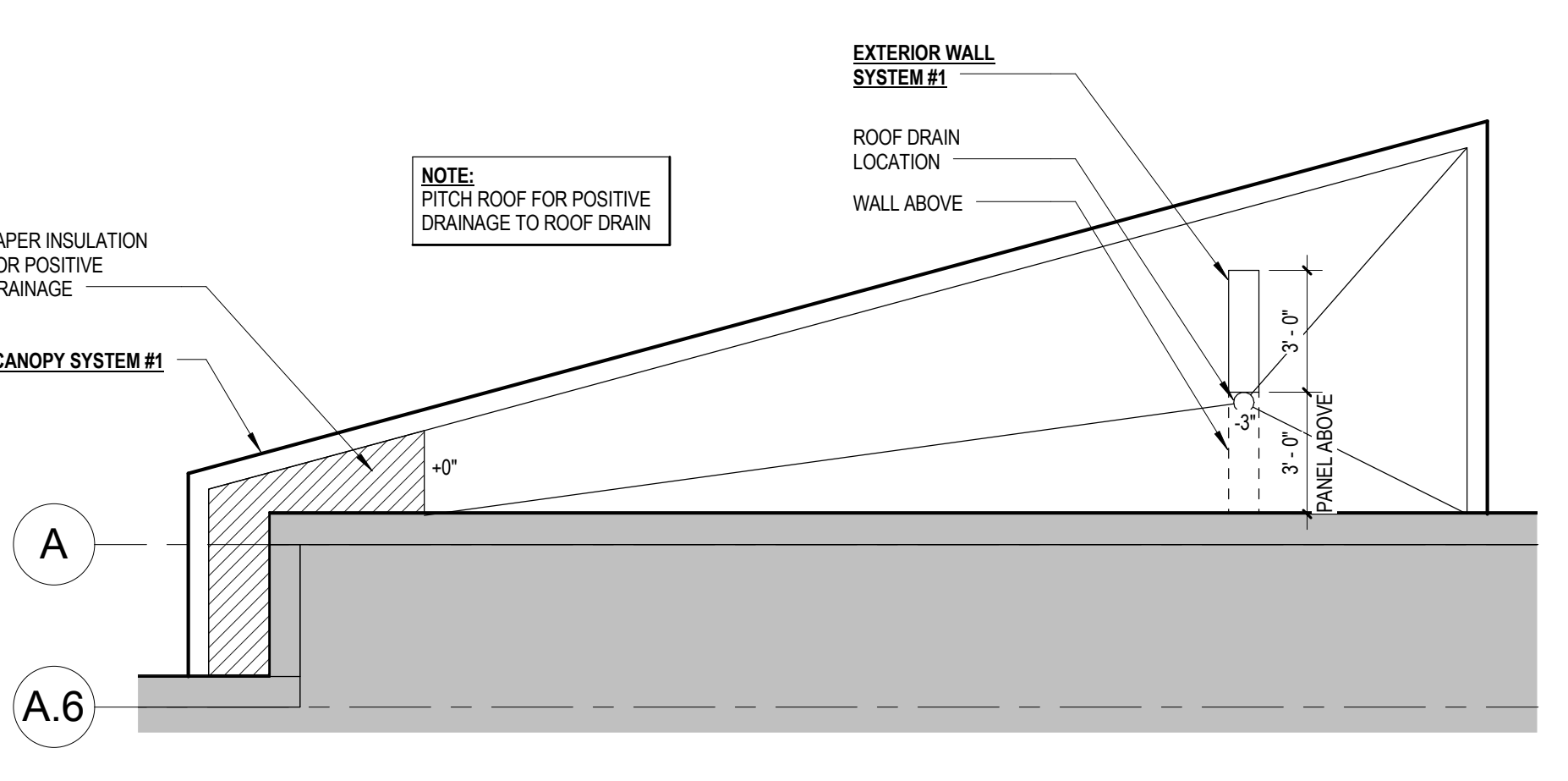
2 SECTION DETAIL - ROOF CURB  
3' = 1'-0"



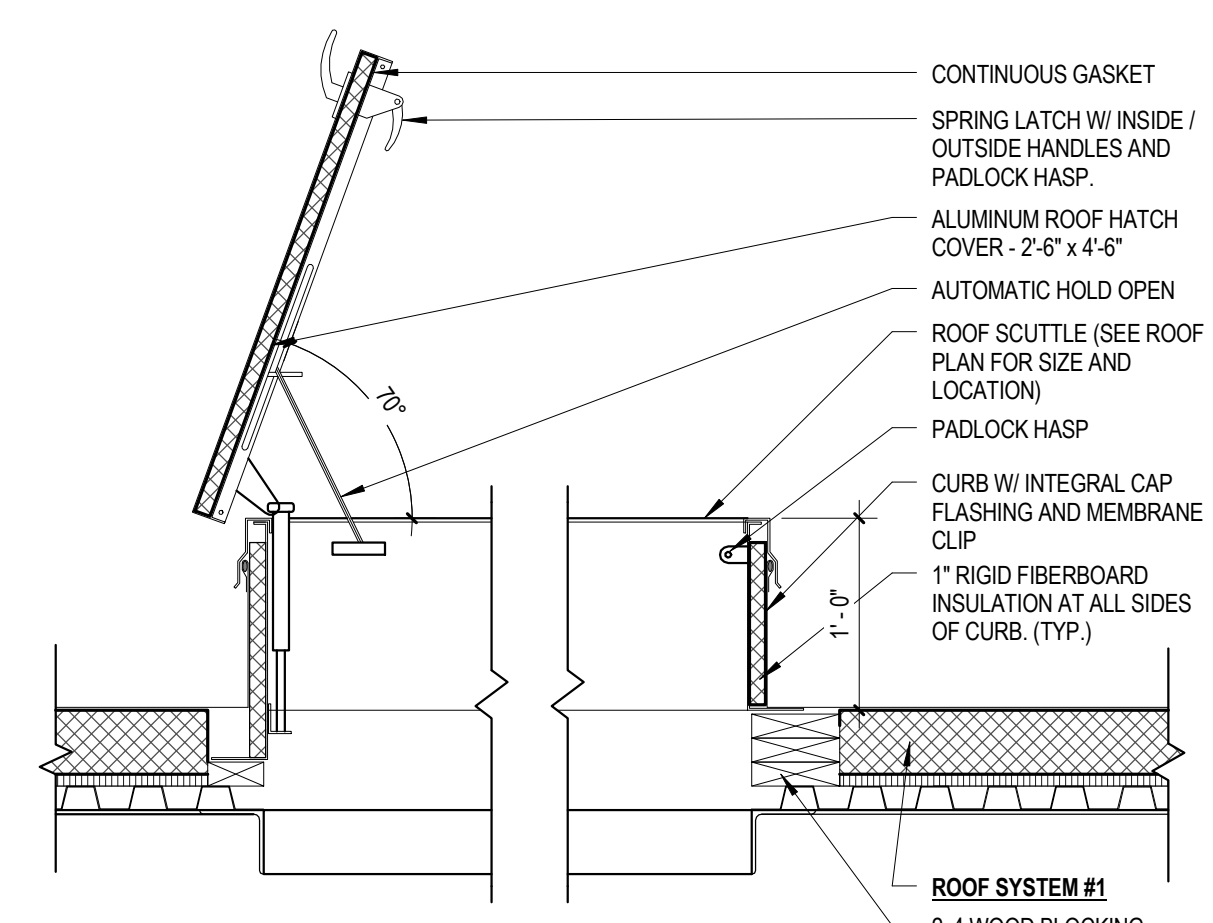
3 SECTION DETAIL - ROOF DRAIN  
3' = 1'-0"



4 SECTION DETAIL - ROOF FLASHING  
3' = 1'-0"



8 TYPICAL CANOPY PLAN  
1/8" = 1'-0"



9 SECTION DETAIL - ROOF HATCH  
1" = 1'-0"

**BUILDING ASSEMBLIES**

**FOUNDATION SYSTEM #1**  
7'-0" WIDE X 3'-0" HIGH REINFORCED, POURED-IN-PLACE CONCRETE FOUNDATION WALL WITH SPREAD FOOTINGS WITH BANK POURED GRADE BEAM AT THE PERIMETER. PROVIDE 2" RIGID INSULATION (R-10 MIN) 4'-0" HIGH MINIMUM. VERTICAL ON THE INTERIOR FACE OF THE FOUNDATION WALL AT ALL EXTERIOR WALLS. TOP OF FOOTINGS SHALL BE 1'-0" BELOW FINISH FLOOR LEVEL. PROVIDE AND INSTALL 2" RIGID INSULATION (R-10) 4'-0" HORIZONTALLY FROM INSIDE FOUNDATION WALL. HIGH DENSITY RIGID INSULATION TO BE USED HORIZONTALLY IN WAREHOUSE AREA. (SEE STRUCTURAL DRAWINGS FOR REINFORCING, CONTROL JOINTS LOCATIONS AND DETAILS).

**FLOOR #1**  
POURED-IN-PLACE 6" THICK CONCRETE SLAB ON GRADE WITH STEEL REINFORCING AS SPECIFIED IN STRUCTURAL DRAWINGS. PROVIDE CONTINUOUS 10 MIL POLYETHYLENE VAPOR BARRIER OVER 6" COMPACTED STONE BASE PRIOR TO PLACING CONCRETE SLAB IN ENTIRE BUILDING. PROVIDE VERSA FLEX JOINT FULL OVER BOND BREAKER FILLER AT COLUMNS AND PERIMETER POURED IN PLACE CONCRETE STEM WALL. (SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCING, CONTROL JOINT LOCATIONS AND SPECIFIC INFORMATION. 16'-8" X 16'-8" CONTROL JOINT PATTERN).

**EXTERIOR WALL SYSTEM #1**  
9" NOMINAL OR PRECASTER ENGINEER PREFERENCE, INSULATED (2" / 4" / 5") R-12 MIN. LOAD-BEARING ARCHITECTURAL PRECAST CONCRETE PANELS WITH REVEALS AND FINISH AS DEPICTED IN EXTERIOR ELEVATIONS. EXTERIOR FACE OF PANELS TO BE PAINTED WITH LIXON MASONRY / CONCRETE PAINT BY SHERWIN WILLIAMS - 100% ACRYLIC LATEX OR HALLMANN D54Y 160 GRIFFITE PRIMER AND 716 HEATRE GUARD FINISH COAT (COLOR MATCHED). ALL DOOR AND WINDOW OPENINGS TO BE FORMED WITH INTEGRAL DRIP AT THE HEAD OF THE OPENING AND POSITIVE SLOPED SILL. PROVIDE SEALANT AND BACKER ROD AT ALL VERTICAL PANEL JOINTS (INTERIOR AND EXTERIOR). (SEE ELEVATIONS AND WALL SECTIONS FOR LOCATIONS OF REVEALS, PANEL ARTICULATIONS, AND WALL PANEL LAYOUT.) REFER TO EXTERIOR MATERIAL FINISH SCHEDULE FOR PAINT COLOR SELECTIONS.

**GLAZING SYSTEM #1**  
"TRIFAB 451T SYSTEM" BY KAWNEER. THIS IS A CENTER GLAZED STOREFRONT SYSTEM. 2" WIDE X 6" DEEP OR 4" WIDE X 6" DEEP IN CLEAR ANODIZED ALUMINUM FINISH (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF MULLIONS). 1" INSULATED LOW-E, GREY TINTED GLASS UNITS WITH THERMAL BREAK. SILL FLASHING, EXTERIOR METAL CLOSERS AND SHIMS ATTACHED TO STEEL STUD FRAMED OPENINGS AS INDICATED. PROVIDE SPANDREL GLASS WHERE IDENTIFIED ON THE EXTERIOR ELEVATIONS.

**GLASS COMPOSITION**  
INSULATED GLASS: 1" GREY TINTED INSULATED GLASS UNIT IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAME, 1/4" CLEAR, 1/2" AIR SPACE, 1/4" LOW-E COATING ON GRAY TINTED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.

**CANOPY STRUCTURE #1**  
PRIME AND EXTERIOR PAINT EXPOSED HORIZONTAL STEEL CHANNEL AND TUBE STEEL STRUCTURAL SUPPORTS AND FRAMING. SKELETON FRAME ATTACHED TO THE BUILDING FACADE WITH EMBED PLATES AND CONNECTIONS TO THE STRUCTURAL STEEL FRAME OF THE BUILDING. FRAME UNDERSIDE OF CANOPY WITH METAL STUDS AND ALUMINOID METAL PANELS. PROVIDE AND INSTALL ADHERED EPDM MEMBRANE WITH TAPERED RIGID INSULATION SLOPED TO ROOF DRAIN AS INDICATED ON THE ROOF PLAN. COLOR TO BE CLEAR ANODIZED OR EQUAL IN COLOR.

**BUILDING ASSEMBLIES**

**ROOF SYSTEM #1**  
1/4" MIN. SINGLE PLY EPDM BALLASTED MEMBRANE ON ONE (1) LAYER OF 1-1/2" POLYISOCYANURATE INSULATION WITH INTEGRAL BARRIER BOARD PER CODE AND ONE (1) LAYER OF 2-1/2" POLYISOCYANURATE INSULATION WITH STAGGERED JOINTS AND MINIMUM R-24. PROVIDE TAPERING OF ROOF INSULATION AS REQUIRED FOR SADDLES AND FLAT STRUCTURE AREAS TO ROOF DRAINS. 20 GA. MINIMUM METAL DECK OVER STRUCTURAL STEEL JOISTS. STRUCTURAL STEEL TO PITCH TO ROOF DRAINS. (SEE STRUCTURAL DRAWINGS. (ALTERNATE BID 69-MIL ROOF MEMBRANE.)

**WALL COPING / GRAVEL STOP SYSTEM #1**  
PREFINISHED 2" THICK METAL COPING WITH 8" FACE ON 2x WOOD ROOF BLOCKING, ANCHORED SECURELY TO TOP OF PRECAST WALL @ 8'-0" O.C. WITH 3/8" DIAMETER ANCHORS. EXTEND ROOF MEMBRANE OVER WALL AND TERMINATE UNDER COPING SYSTEM. COLOR DARK BRONZE BY METAL ERA. PROVIDE GRAVEL STOP ROOF COPING AT A MAJORITY OF ROOF AREA. INSTALL SPILL OFF GRAVEL STOP COPING IN LOCATIONS IDENTIFIED.

**COPING SYSTEM #2**  
PARAPET CAP WHERE PRECAST PANELS PROJECT ABOVE ROOF STRUCTURE. COLOR TO MATCH WALL COPING / GRAVEL STOP SYSTEM #1.

**EXIT MAN DOOR #1**  
14 GA. GALVANIZED INSULATED LAMINATED CORE HOLLOW METAL DOOR (FLUSH, PAINTED, COLOR TO MATCH PT-3 ON EXTERIOR SIDE OF DOOR. INSULATED HOLLOW METAL FRAMES W/ WEATHERSTRIPPING AND DRIP CAP HEAD. INTERIOR SIDE OF DOOR COLOR TBD.

**STAIR #1**  
6" SLAB ON GRADE CONCRETE STAIR WITH POSITIVE SLOPE AWAY FROM THE DOOR OVER 44" FORMED-IN-PLACE FROST RESISTANT FOUNDATION WALL WITH STONE (5'-6" ROOF MATERIAL BACKFILL).

**ROOF HATCH #1**  
PROVIDE TYPE 'S' SIZE 2'-6" WIDE X 4'-6" LONG ROOF ACCESS HATCH BY BILCO ON STRUCTURALLY FRAMED OPENING. HATCH IS FRAMED AND TO BE FINISH PAINTED TO MATCH COPING COLOR.

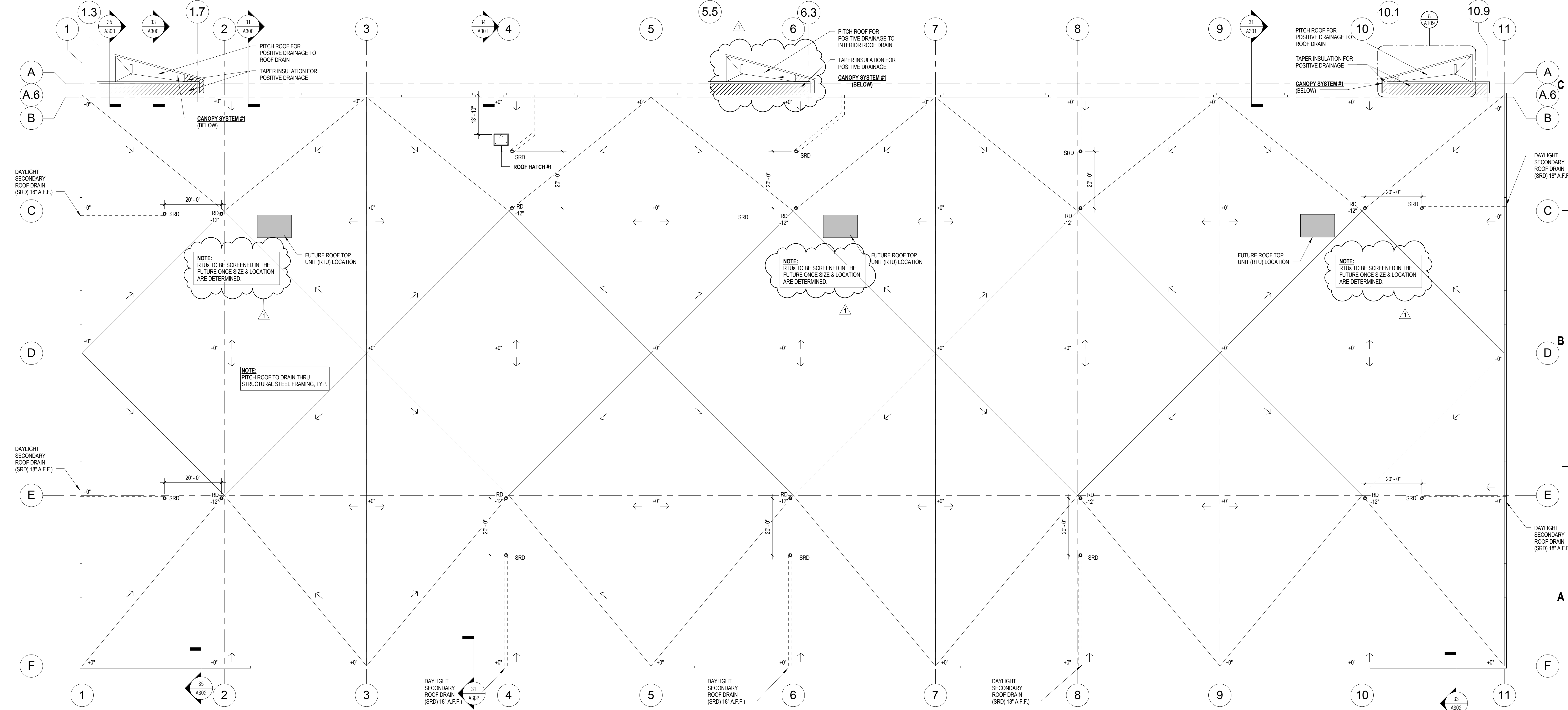
**ROOF ACCESS LADDER #1**  
PROVIDE AND INSTALL CAGED INTERIOR STEEL ROOF ACCESS LADDER WITH INTERMEDIATE PLATFORM FOR ROOF ACCESS PER OSHA REQUIREMENTS INSIDE MECHANICAL ROOM. PRIME AND FINISH PAINT GRAY.

**OVERHEAD DOOR #1**  
12'-0" X 16'-0" INSULATED PREFINISHED STEEL OVERHEAD DOOR WITH (1) VISION PANEL AND ELECTRIC OPERATOR. VERTICAL TRACK AND FRAME ASSEMBLY TO BE GALVANIZED STEEL. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.

**OVERHEAD DOOR DOOR #1**  
9'-0" X 10'-0" HEAVY DUTY INSULATED (R11) PREFINISHED STEEL OVERHEAD DOOR WITH (2) VISION PANELS AND WEATHERSTRIPPING. VERTICAL TRACK ASSEMBLY AND FRAME TO HAVE GALVANIZED FINISH. MANUAL OPEN WITH 40" SWING ARM DOCK LIGHT. PROVIDE DOCK SEAL WITH 40 OZ. VINYL HYPALON RUBBER FLAPS WITH 8" EXPOSURE AND FULLY ADJUSTABLE HEAD CURTAINS. VERIFY SEAL AND OTHER REQUIREMENTS WITH MANUFACTURER. PROVIDE 7' X 8" 35,000 LB MECHANICAL DOCK LEVELER (SERVO OR EQUAL) AT RECESSED DOOR DOCK LOCATIONS. VERIFY PFT DIMENSIONS WITH DOCK LEVELER MFG. PROVIDE WEATHER SEALS, RUBBER DOCK BUMPER WITH 3/4" DIA. GALVANIZED EXPANSION BOLTS FOR ANCHORING. EXTERIOR FACE OF DOOR TO BE PREFINISHED WHITE.

**GENERAL NOTES - ROOF PLAN**

- ELEVATIONS ARE RELATIVE TO CONSTANT JOIST BEARING ELEVATIONS AT EXTERIOR WALLS.
- DESIGN AND SIZE OF ROOF DRAINAGE SYSTEM BY PLUMBING / MEP DESIGN/BUILD CONTRACTOR.
- ROOF DRAINS TO BE LOCATED AT LOW POINT OF TRUSS GIRDERS OR BEAM. SEE STRUCTURAL DRAWINGS. PROVIDE INSULATION AROUND CONDUCTORS AT ROOF PENETRATIONS AND ATTACH STRUCTURAL COLUMNS AS REQUIRED.
- PROVIDE SPECIAL JOIST AT INDICATED LOCATIONS FOR RTUS UNIT SIZE. ACTUAL LOCATION AND WEIGHT TO BE VERIFIED BY HVAC DESIGN/BUILD MEP CONTRACTOR. SEE STRUCTURAL DRAWINGS FOR DETAILS.
- R-24 MINIMUM ROOF INSULATION SYSTEM REQUIRED. POLYISOCYANURATE INSULATION WITH INTEGRAL VAPOR BARRIER IS TYPICAL.



35 OVERALL ROOF PLAN  
1/8" = 1'-0"



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PROJECT INFORMATION:



SPECULATIVE BUSINESS CENTER

FRANKLIN COMMERCE CENTER I

DRAWING ISSUANCE:

CITY REVIEW COMMENTS PACKAGE

#	DATE	DESCRIPTION
1	25 APRIL 2017	CITY REVIEW COMMENTS

25 APRIL 2017  
PROJECT NUMBER 14048-00 PROJECT MANAGER JAK

OVERALL ROOF PLAN  
**A109**  
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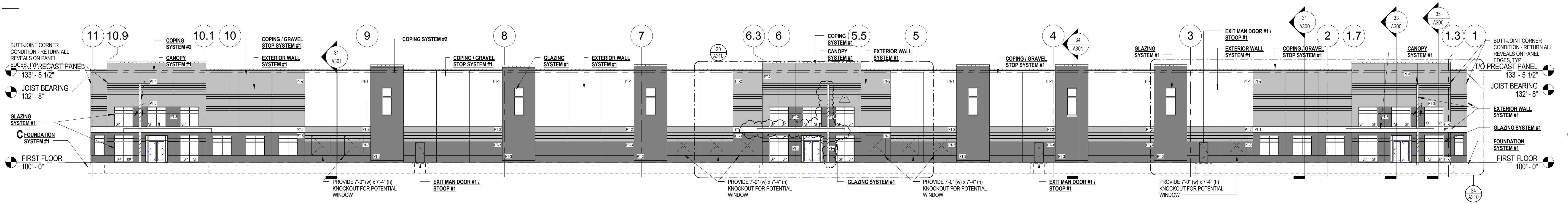
EXTERIOR MATERIAL FINISH SCHEDULE			
EXTERIOR ALUMINUM WINDOW / DOOR FINISH	CLEAR ANODIZED ALUMINUM - THERMALLY BROKEN GLAZING SYSTEM W/ 1" INSULATED LOW-E GRAY ANEAL TINTED GLASS	PT-1 (FIELD COLOR)	SHERWIN WILLIAMS 'AESTHETIC WHITE'   SW7035
GLASS	1" OPTIGRAY LOW-E GLASS BY PPG. REFER TO BUILDING ASSEMBLIES FOR MORE INFORMATION	PT-2 (ACCENT COLOR)	SHERWIN WILLIAMS 'BALANCED BEIGE'   SW7037
PREFINISHED METAL FLASHING, COPING, ETC.	PREFINISHED METAL COPINGS METAL ERA COLOR: 'DARK BRONZE' OR EQUAL	PT-3 (ACCENT COLOR)	SHERWIN WILLIAMS 'VIRTUAL TAPE'   SW7039
METAL TRIM CANOPY	PREFINISHED METAL PANEL COLOR: CLEAR ANODIZED OR EQUAL GRAY TONE	PT-4 (ACCENT COLOR)	SHERWIN WILLIAMS 'SMOKEHOUSE'   SW7040
NOTES:	1. PROVIDE SEALANT COLOR SAMPLES TO ARCHITECT FOR APPROVAL. 2. PROVIDE COPING, BREAK METAL, PAINT DRAW DOWNS, ETC. SAMPLES TO ARCHITECT FOR APPROVAL.		

BUILDING ASSEMBLIES	
FOUNDATION SYSTEM #1	2'-0" WIDE X 3'-0" HIGH REINFORCED, POURED-IN-PLACE CONCRETE FOUNDATION WALL WITH SPREAD FOOTINGS WITH BANK POURED GRADE BEAM AT THE PERIMETER. PROVIDE 2" RIGID INSULATION (R-10 MIN) 4'-0" HIGH MINIMUM, VERTICAL ON THE INTERIOR FACE OF THE FOUNDATION WALLS. TOP OF FOOTINGS SHALL BE 1'-0" BELOW FINISH FLOOR LEVEL. PROVIDE AND INSTALL 2" RIGID INSULATION (R-10) 4'-0" HORIZONTALLY FROM INSIDE FOUNDATION WALL. HIGH DENSITY RIGID INSULATION TO BE USED HORIZONTALLY IN WAREHOUSE AREA. (SEE STRUCTURAL DRAWINGS FOR REINFORCING, CONTROL JOINTS LOCATIONS AND DETAILS).
FLOOR #1	POURED-IN-PLACE 6" THICK CONCRETE SLAB ON GRADE WITH STEEL REINFORCING AS SPECIFIED IN STRUCTURAL DRAWINGS. PROVIDE CONTINUOUS 10-MIL POLYETHYLENE VAPOR BARRIER OVER 6" COMPACTED STONE BASE PRIOR TO PLACING CONCRETE SLAB IN ENTIRE BUILDING. PROVIDE VERSA-FLEX JOINT FILL OVER BOND BREAKER FILLER AT COLUMNS AND PERIMETER POURED IN PLACE CONCRETE STEM WALL. (SEE STRUCTURAL DRAWINGS FOR FLOOR SLAB REINFORCING, CONTROL JOINT LOCATIONS AND SPECIFIC INFORMATION. 16'-0" X 16'-0" CONTROL JOINT PATTERN)
EXTERIOR WALL SYSTEM #1	6" NOMINAL OR PRECASTER ENGINEER PREFERENCE, INSULATED (2"4"/3") R-12 MIN. LOAD BEARING ARCHITECTURAL PRECAST CONCRETE PANELS WITH REVEALS AND FINISH AS DEPICTED IN EXTERIOR ELEVATIONS. EXTERIOR FACE OF PANELS TO BE PAINTED WITH LOAD MASONRY / CONCRETE PAINT BY SHERWIN WILLIAMS - 100% ACRYLIC LATEX OR HALLAM LINDSEY 165 GROUTIE PRIMER AND 175 WEATHER GUARD FINISH COAT (COLOR MATCHED). ALL DOOR AND WINDOW OPENINGS TO BE FORMED WITH INTEGRAL DRIP AT THE HEAD OF THE OPENING AND POSITIVE SLOPED SILL. PROVIDE SEALANT AND BACKER ROD AT ALL VERTICAL PANEL JOINTS (INTERIOR AND EXTERIOR). (SEE ELEVATIONS AND WALL SECTIONS FOR LOCATIONS OF REVEALS, PANEL ARTICULATIONS, AND WALL PANEL LAYOUT). REFER TO EXTERIOR MATERIAL FINISH SCHEDULE FOR PAINT COLOR SELECTIONS.
GLAZING SYSTEM #1	"TRIM-AB" SYSTEM BY KAMMEER. THIS IS A CENTER GLAZED STOREFRONT SYSTEM. 2" WIDE X 6" DEEP OR 4" WIDE X 6" DEEP IN CLEAR ANODIZED ALUMINUM FINISH (REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF MULLIONS). 1" INSULATED LOW-E, GREY TINTED GLASS UNITS WITH THERMAL BREAK, SILL FLASHING, EXTERIOR METAL CLOSERS AND SHIMS ATTACHED TO STEEL STUD FRAMED OPENINGS AS INDICATED. PROVIDE SPANDREL GLASS WHERE IDENTIFIED ON THE EXTERIOR ELEVATIONS
GLASS COMPOSITION	INSULATED GLASS: 1" GREY TINTED INSULATED GLASS UNIT IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAME. 1/4" CLEAR, 1/2" AIR SPACE, 1/4" LOW-E COATING ON GRAY TINTED. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.
CANOPY STRUCTURE #1	PRIME AND EXTERIOR PAINT EXPOSED HORIZONTAL STEEL CHANNEL AND TUBE STEEL STRUCTURAL SUPPORTS AND FRAMING. SKELETON FRAME ATTACHED TO THE BUILDING FACADE WITH EMBED PLATES AND CONNECTIONS TO THE STRUCTURAL STEEL FRAME OF THE BUILDING. FRAME UNDERSIDE OF CANOPY WITH METAL STUDS AND ALUOBOND METAL PANELS. PROVIDE AND INSTALL ADHERED EPDM MEMBRANE WITH TAPERED ROOF INSULATION SLOPED TO ROOF DRAIN AS INDICATED ON THE ROOF PLAN. COLOR TO BE CLEAR ANODIZED OR EQUAL IN COLOR.

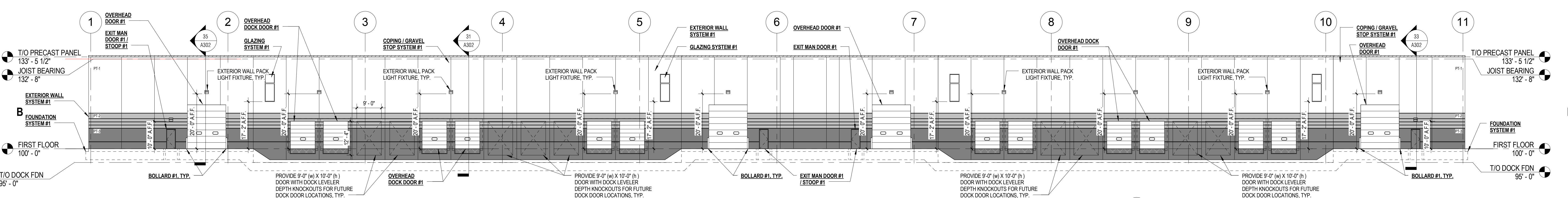
BUILDING ASSEMBLIES	
ROOF SYSTEM #1	45-MIL SINGLE-PLY EPDM BALLASTED MEMBRANE ON ONE (1) LAYER OF 1-1/2" POLYISOCYANURATE INSULATION WITH INTEGRAL BARRIER BOARD PER CODE AND ONE (1) LAYER OF 2-1/2" POLYISOCYANURATE INSULATION WITH STAGGERED JOINTS AND MINIMUM R-24. PROVIDE TAPERING OF ROOF INSULATION AS REQUIRED FOR SADDLES AND FLAT STRUCTURE AREAS TO ROOF DRAINS. 20 GA. MINIMUM METAL DECK OVER STRUCTURAL STEEL JOISTS. STRUCTURAL STEEL TO PITCH TO ROOF DRAINS. (SEE STRUCTURAL DRAWINGS. ALTERNATE B010 MIL ROOF MEMBRANE.)
WALL COPING / GRAVEL STOP SYSTEM #1	PREFINISHED 2-Piece METAL WALL COPING WITH 6" FACE ON 2x WOOD ROOF BLOCKING. ANCHORED SECURELY TO TOP OF PRECAST WALL @ 4'-0" O.C. WITH 3/8" DIAMETER ANCHORS. EXTEND ROOF MEMBRANE OVER WALL AND TERMINATE UNDER COPING SYSTEM. COLOR DARK BRONZE BY METAL ERA. PROVIDE GRAVEL STOP ROOF COPING AT A MAJORITY OF ROOF AREA. INSTALL SPILL OFF GRAVEL STOP COPING IN LOCATIONS IDENTIFIED.
COPING SYSTEM #2	PARAPET CAP WHERE PRECAST PANELS PROJECT ABOVE ROOF STRUCTURE. COLOR TO MATCH WALL COPING / GRAVEL STOP SYSTEM #1.
EXIT MAN DOOR #1	14 GA. GALVANIZED INSULATED LAMINATED CORE HOLLOW METAL DOOR (FLUSH), PAINTED. COLOR TO MATCH PT-3 ON EXTERIOR SIDE OF DOOR. INSULATED HOLLOW METAL FRAMES W/ WEATHERSTRIPPING AND DRIP CAP HEAD. INTERIOR SIDE OF DOOR COLOR TBD.
STOOP #1	5" SLAB-ON-GRADE CONCRETE STOOP WITH POSITIVE SLOPE AWAY FROM THE DOOR OVER 44" FORMED-IN-PLACE FROST RESISTANT FOUNDATION WALL WITH STONE (5" - 6" ROCK MATERIAL BACKFILL).
ROOF HATCH #1	PROVIDE TYPE 'S' SIZE 2'-6" WIDE X 4'-6" LONG ROOF ACCESS HATCH BY BILCO ON STRUCTURALLY FRAMED OPENING. HATCH IS PRIMED AND TO BE FINISH PAINTED TO MATCH COPING COLOR.
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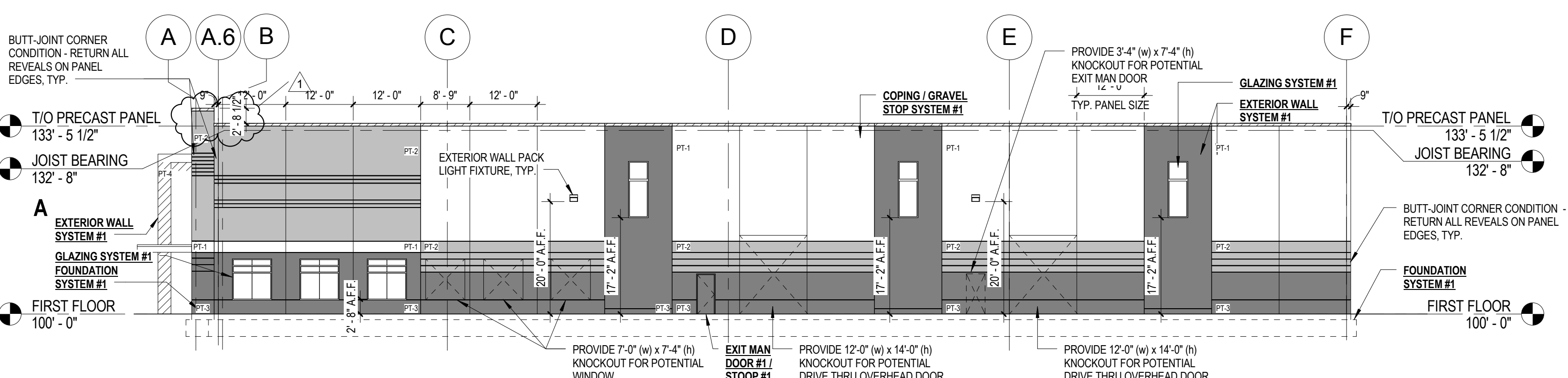
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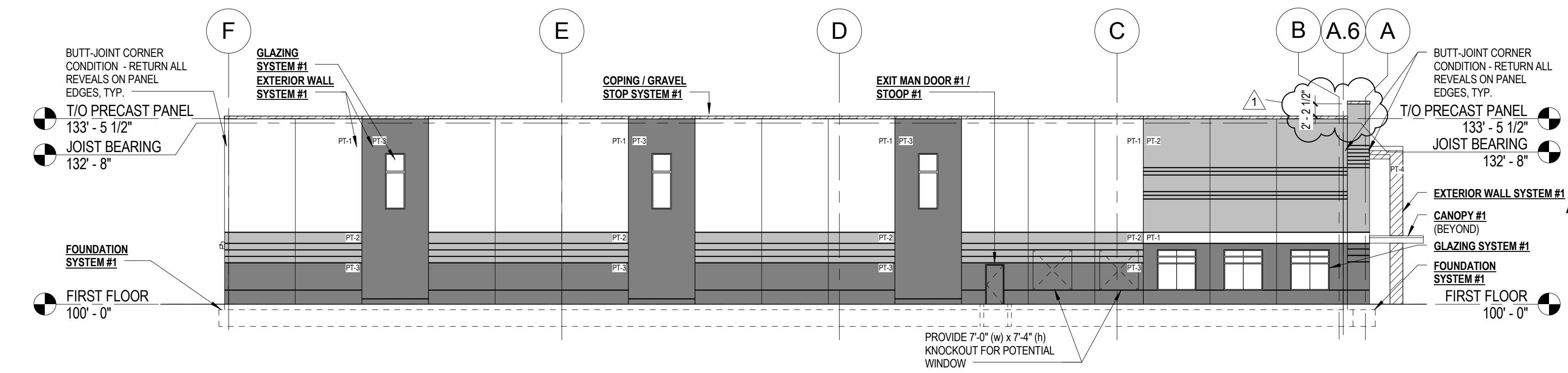
21 NORTH BUILDING ELEVATION  
1/16" = 1'-0"



28 SOUTH BUILDING ELEVATION  
1/16" = 1'-0"



32 WEST BUILDING ELEVATION  
1/16" = 1'-0"



35 EAST BUILDING ELEVATION  
1/16" = 1'-0"



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PROJECT NUMBER	PROJECT MANAGER
14048-00	JAK

OVERALL BUILDING ELEVATIONS

A200

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