



PARKING RATIOS				
	GROSS FLOOR AREA	# SERVICE BAYS	SPACES (REQ'D)	SPACE (PRV'D)
LOT 1	7,527	0	16	135+
LOT 2	50,646	26	155	384

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- LANDSCAPE ARCHITECTURE

MILWAUKEE REGIONAL OFFICE
N22 W22931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
262.513.0666 PHONE | 262.513.1232 FAX
MADISON | MILWAUKEE
KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:



PROJECT:
HILLER FORD

PROJECT LOCATION:
CITY OF FRANKLIN
MILWAUKEE COUNTY, WI

JSD PROJECT NO.: 13-5931

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE
IN PREPARING THESE PLANS AND CHECKING
THEM FOR ACCURACY, THE CONTRACTOR
AND SUBCONTRACTORS MUST CHECK ALL
DETAIL AND DIMENSIONS OF THEIR TRADE
AND BE RESPONSIBLE FOR THE SAME.

DESIGN BY: CAP	01-20-15
DRAWN BY: CAP	01-20-15
CHECKED BY: J.L.J.	01-20-15

PLAN MODIFICATIONS:	DATE:



Call 811 or (800) 242-8511
Milwaukee Area (262) 432-7910
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
**SITE LAYOUT
EXHIBIT**

SHEET NUMBER:
X1.0





6455 South 108th Street
Franklin, Wisconsin 53132
(Milwaukee County)


An aerial photograph of a large industrial or commercial complex. The facility consists of several large, dark-roofed buildings with flat roofs. Extensive parking lots are filled with numerous vehicles, primarily cars, arranged in neat rows. A road runs along the right side of the complex, featuring a white speed limit sign with the number '100'. The surrounding area includes some undeveloped land and additional parking areas.

[illegible]

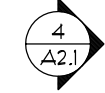
T.B.D.

T.B.D.

FIRE PROTECTION SYSTEMS:		CURRENT SYSTEM IS A PARTIAL SYSTEM.
AUTOMATIC SPRINKLER		1. - ENTIRE STRUCTURE
AUTOMATIC SPRINKLER:		NEEDS TO BE PROTECTED.
TYPE:	WET	
CLASS:	AUTOMATIC	
WPA STANDARD:	AFPA 13	
FIRE ALARM / DETECTION:	RULL	
MONITOR TYPE:	RULL	
SMOKE ALARM / DETECTION:	AUTOMATIC	
MONITOR TYPE:		
MEANS OF EGRESS IN AREA OF WORK:		
OCCUPANT LOAD:	T.B.D.	
EGRESS WIDTH:	T.B.D.	
STAIRWAYS:	T.B.D.	
EXIT TRAVEL DISTANCE:	250'-0" MAX PER 1061 (S-1)	
PLUMBING SYSTEMS:	REQUIRED	ACTUAL
PENS:		
WATERCLOSETS:	T.B.D.	T.B.D.
URINAL	T.B.D.	T.B.D.
LAVATORIES	T.B.D.	T.B.D.
WOMEN:		
WATERCLOSETS	T.B.D.	T.B.D.
LAVATORIES:	T.B.D.	T.B.D.
DRINKING FOUNTAINS:	T.B.D.	T.B.D.
BOTTLED WATER SHALL BE SUPPLIED FREE OF CHARGE FOR ALL OCCUPANTS.		
OTHER - SERVICE/PREP BINS:	T.B.D.	T.B.D.

 <p>PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel. (414) 302-1780 Fax. (414) 302-1781</p>	<p>Hiller Ford Sales & Service Building 6455 South 108th Street Franklin, Wisconsin 53132</p>		REV. #	REV. DATE	DESCRIPTION	REV. BY:
				03/09/15	Plan Commission Submission	WHC
Project:						
<p>Drawing Title: TITLE SHEET</p> <div style="float: right; border: 1px solid black; padding: 2px;"> THIS BOX 18 1/2 x 11 1/2 </div> <p>Date: 03/09/15 Scale: A.N. Drawn: WHC Job: 14-124 Sheet:</p> <p style="text-align: center; font-size: 2em; font-weight: bold;">T1</p>						

- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY



PLAN
NORTH

DO NOT SCALE THESE DRAWINGS

FULL SIZE PRINT = 24" x 36" SHEET

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Sheet:

A1.1

Drawing Title:

**DIMENSIONED
FLOOR
PLAN**

Date: 03/09/15

Scale: AN

Drawn: WHO

Job: 14 12

Sheet:

**PERSPECTIVE
DESIGN, INC.**
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

Hiller Ford
Sales & Service Building
6455 South 108th Street
Franklin, Wisconsin 53132

DESCRIPTION	Submission
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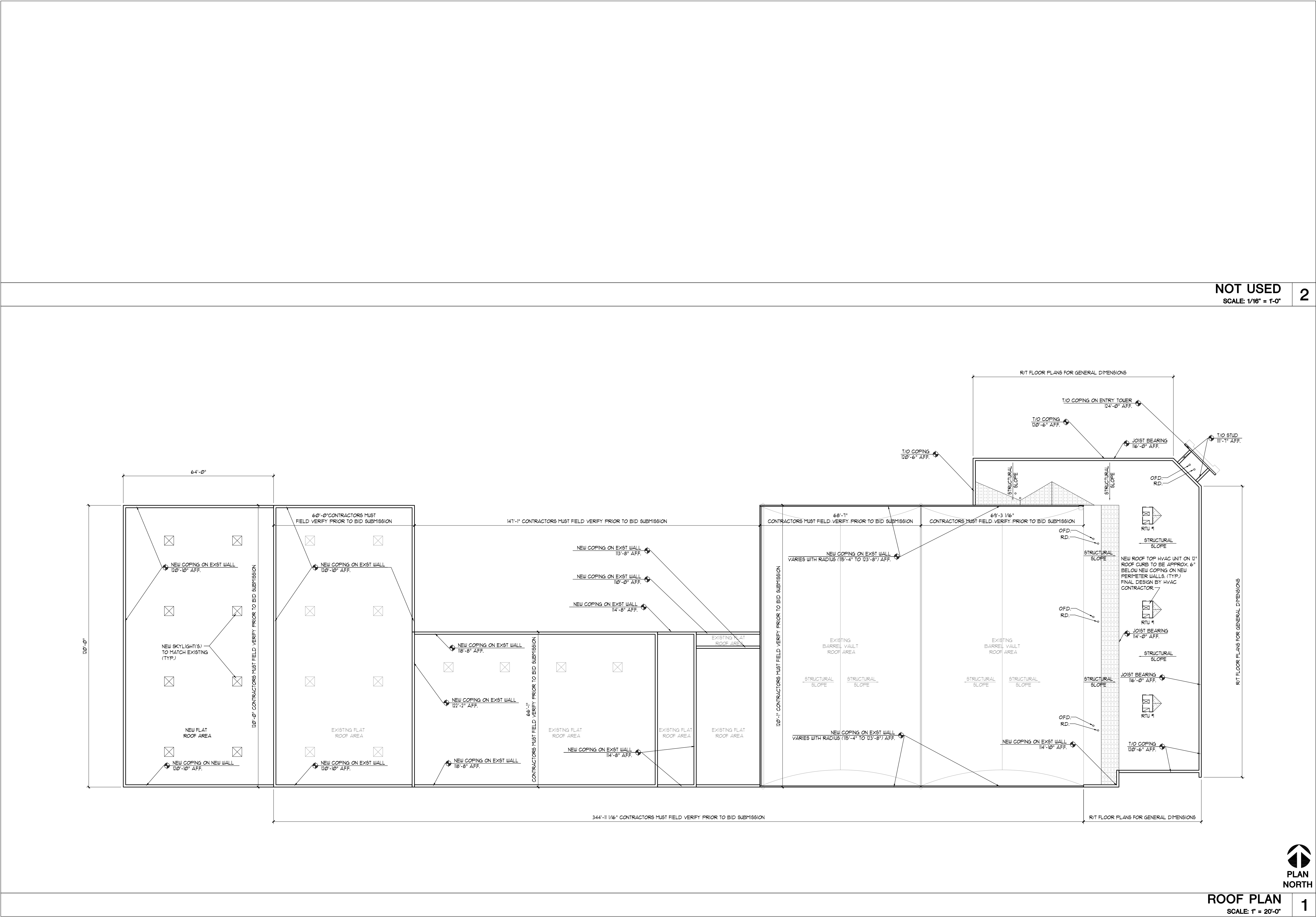
REV. DATE	3/09/15
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Project:

BY:	C
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- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY

NOT FOR CONSTRUCTION



ROOF PLAN
SCALE: 1" = 20'-0"

DO NOT SCALE THESE DRAWINGS

NOT USED
SCALE: 1/16" = 1'-0"

2

FULL SIZE PRINT = 24" x 36" SHEET

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Drawing Title:
ROOF PLAN

Date: 03/09/15

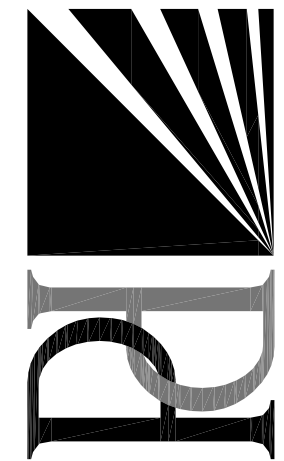
Scale: AN.

Drawn: WHC

Job: 14-124

Sheet:

A1.5



PERSPECTIVE
DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

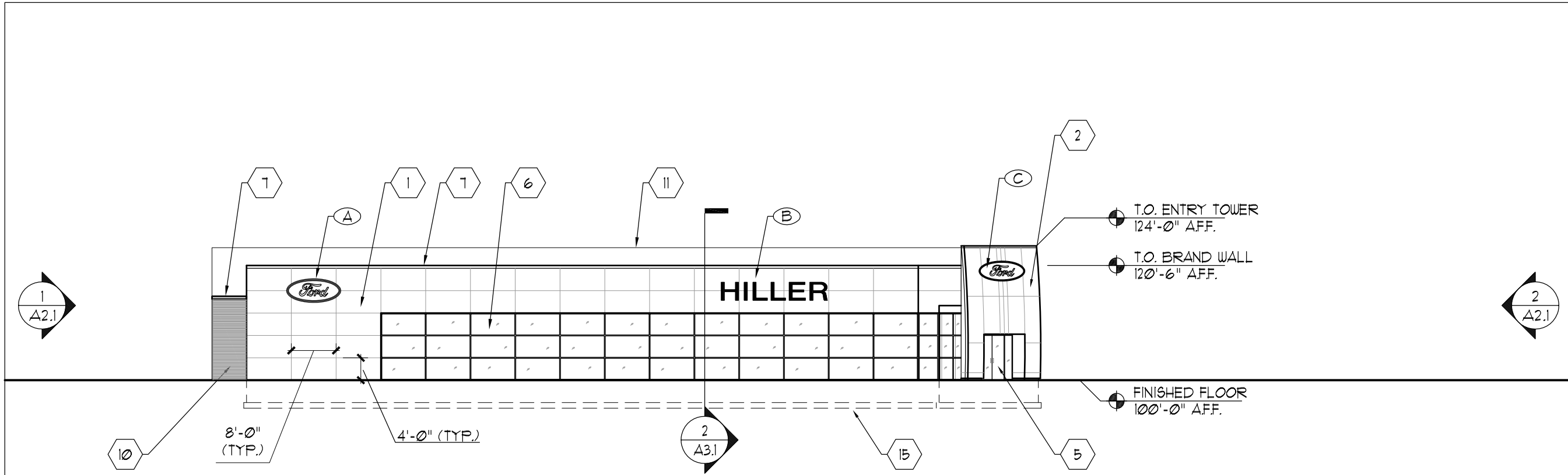
Hiller Ford
Sales & Service Building
6455 South 108th Street
Franklin, Wisconsin 53132

REV. #	REV. DATE	DESCRIPTION	REV. BY:
	03/09/15	Plan Commission Submission	WHC

Project:

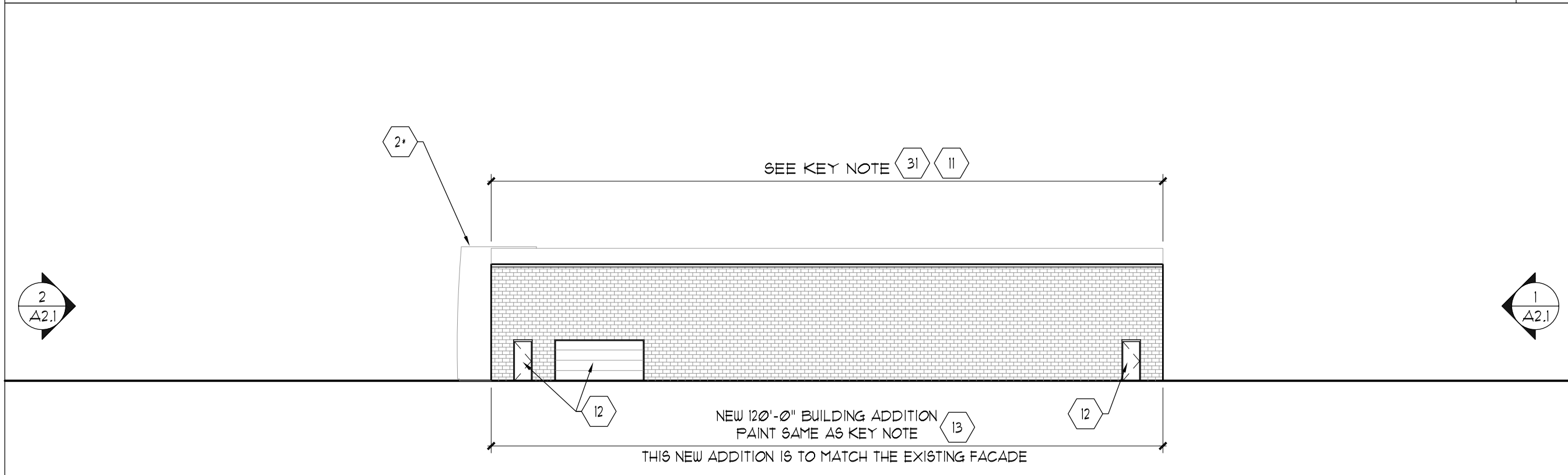
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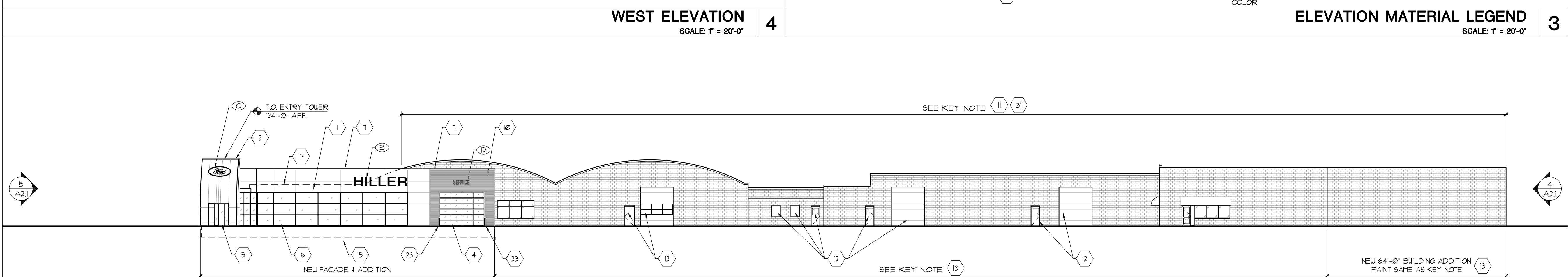
EAST ELEVATION
SCALE: 1" = 20'-0"

5



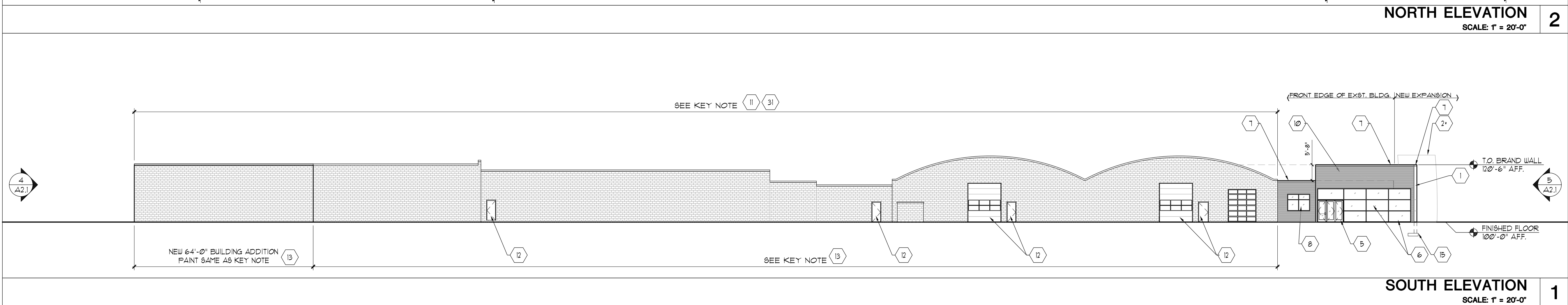
WEST ELEVATION
SCALE: 1" = 20'-0"

4



NORTH ELEVATION
SCALE: 1" = 20'-0"

2



SOUTH ELEVATION
SCALE: 1" = 20'-0"

1

BUILDING MATERIAL KEY LEGEND:
(*) MATERIAL - BEYOND

- 1 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL:
 - DRY JOINT SYSTEM
 - COLOR: ALPOLIC HAIRLINE ALUMINUM (4MM4HLZ) OR FORD APPROVED EQUAL
- 2 PREFINISHED ALUMINUM OVERHEAD DOOR SYSTEM:
 - 12' WIDE x 12' TALL
 - DOOR FRAME COLOR: CLEAR ANODIZED ALUMINUM
 - GLASS COLOR: CLEAR GLAZING
 - ** PROVIDE STEEL BOLLARD ON EACH SIDE OF DOOR (TYP.)
- 3 PREFINISHED ALUMINUM OVERHEAD DOOR SYSTEM:
 - 16' WIDE x 12' TALL
 - DOOR FRAME COLOR: CLEAR ANODIZED ALUMINUM
 - GLASS COLOR: CLEAR GLAZING
 - ** PROVIDE STEEL BOLLARD ON EACH SIDE OF DOOR (TYP.)
- 4 PREFINISHED ALUMINUM STORE FRONT ENTRY SYSTEM:
 - FRAME COLOR: CLEAR ANODIZED ALUMINUM
 - GLASS COLOR: LOW E - CLEAR GLAZING
- 5 PREFINISHED ALUMINUM CURTAIN WALL SYSTEM:
 - FRAME COLOR: CLEAR ANODIZED ALUMINUM
 - GLASS COLOR: LOW E - CLEAR GLAZING
- 6 NEW PREFINISHED METAL COPING SYSTEM:
 - COLOR: MATCHED EITHER
 - ** METAL (A/C OR RIBBED) PANEL (BELOW) OR
 - ** PAINTED BLOCK (BELOW)
 - PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 7 PREFINISHED ALUMINUM STORE FRONT GLAZING SYSTEM:
 - FRAME COLOR: CLEAR ANODIZED ALUMINUM
 - GLASS COLOR: LOW E - CLEAR GLAZING
- 9 NEW SMOOTH PAINTED CMU BLOCK SIZE: 16" WIDE x 8" TALL x 12" DEEP. SEE KEY NOTE #11 FOR PAINT.
- 10 PREFINISHED METAL WALL PANEL:
 - ALCOA REYNOLUX
 - COLOR: SLATE GRAY RLSG
 - TYPE: 12 RIB SIDING
- 11 BUILDING ELEMENT.
- 12 EXISTING WINDOW / DOOR / OVERHEAD DOOR:
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - COLOR: GRANITE GREY, OCON 31 / 000
 - ORDER # A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
 - CONFIRM WITH OWNER EXTENT OF REPAIR
- 13 EXISTING WALL AREA:
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - UNIVERSAL GREY, OCON 62 / 000 ORDER# A2004
 - MANUFACTURER: GLIDDEN PROFESSIONAL
- 14 16" TALL PREFINISHED METAL BAND TO MATCH AGI SIGNAGE AND COLOR (TYP.) ALL SIGNAGE DETAILS BY AGI. APPROX. SU 6649 - TANGO
- 15 NEW CONCRETE FOOTING AND FOUNDATION TO SUPPORT NEW CONSTRUCTION. SEE STRUCTURAL DRAWINGS FOR ALL DETAILS. (TYP.)
- 16 EXISTING WALL AREA:
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - COLOR: GUANTLET GREY SU-1019
 - MANUFACTURER: SHERWIN WILLIAMS
- 17 EXISTING WALL AREA:
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - COLOR: MINDFUL GRAY SU-1016
 - MANUFACTURER: SHERWIN WILLIAMS
- 18 WALL AREA WITH NEW 16" PAINTED BAND:
 - REPAIR AS NEEDED, IF NOT NEW
 - PREP NEW PAINT
 - COLOR: TO MATCH KEY NOTE #4
 - MANUFACTURER: SHERWIN WILLIAMS
- 19 NEW SMOOTH PAINTED CMU BLOCK SIZE: 16" WIDE x 8" TALL x 12" DEEP. SEE KEY NOTE #6 FOR PAINT.
- 20 EXISTING ROOF TOP UNIT / HVAC

- 21 NEW STORAGE ENCLOSURE:
 - POLY-WOOD SOLID FENCE BOARD FOR GATE ON GLAYED STEEL FRAME FOR TRASH ENCLOSURE
 - COLOR: MINDFUL GRAY SU-1016
 - WOOD GRAIN TEXTURE
 - CMU - SEE KEY NOTE #9
 - STEEL BOLLARDS
 - COLOR: MINDFUL GRAY SU-1016
 - 22 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL:
 - DRY JOINT SYSTEM
 - COLOR: MICA M22 GREY(4MM4HLZ) OR FORD APPROVED EQUAL
 - ** THIS IS A SURROUND AROUND THE STEEL COLUMN FOR THE OVERHEAD CANOPY.
 - 23 STEEL BOLLARD - PAINTED SIM TO SURROUNDING METAL PANEL:
 - ALCOA REYNOLUX
 - COLOR: CASTLE GRAY
 - TYPE: 12 RIB SIDING
 - 24 EXTEND WALL HEIGHT WITH NEW STEEL STUD "KNEE" WALL (APPROX. 20") ON TOP OF EXISTING WALL. R/T BLDG. SECTIONS FOR REFERENCE AND STRUCTURAL DWGS. FOR ALL DETAILS.
 - 25 PROVIDE GALVANIZED STEEL WALL LADDER PER IFGC (M) 306.6
 - 26 EXPOSED ROOF MEMBRANE
 - 27 NEW EXTERIOR WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE (TYP) AT EXIT DOOR. MUST HAVE A 90 MINUTE BATTERY BACK-UP.
 - 28 PROVIDE (42" HIGH) GALVANIZED STEEL GUARD RAIL PER IFGC (M) 306.6
 - 29 EXISTING WINDOW / DOOR / OVERHEAD PAINTED MINDFUL GRAY (SU 1016)
 - 30 NEW PREFINISHED METAL COPING SYSTEM:
 - COLOR: FINISH MATCHED TO KEY NOTE #2
 - ** PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
 - 31 PROVIDE AN ADDITIONAL 8" STUD TO CREATE AN ACM WALL PILASTER WHEN ADDED TO EXST. CMU WALL ADD A 1" AIR SPACE FOR STAND-OFF ATTACHMENT.
- GENERAL NOTE:
EXISTING METAL ACCESSORIES ELEMENTS, NOT SPECIFICALLY LISTED TO BE:
(MAY INCLUDE GAS 4 ELECTRICAL PIPES 4 BOXES, VENTS, ETC.)
• PREP FOR NEW PAINT, AS ALLOWED AND PAINT.
• COLOR: GRANITE GREY, OCON 31 / 000
• ORDER # A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
EXISTING METAL ACCESSORIES ELEMENTS ON THE ROOF, NOT SPECIFICALLY LISTED TO BE:
(MAY INCLUDE GAS 4 ELECTRICAL PIPES 4 BOXES, VENTS, ETC.)
TO REMAIN "AS IS"
NEW HVAC UNITS ON THE ROOF, AND NOT SCREENED BY NEW CONSTRUCTION ELEMENTS.
• TO HAVE NEW PVC RTU SCREEN ELEMENT MOUNTED TO RTU. PVC COLOR TO MATCH ROOF COLOR

ELEVATION MATERIAL LEGEND
SCALE: 1" = 20'-0"

3

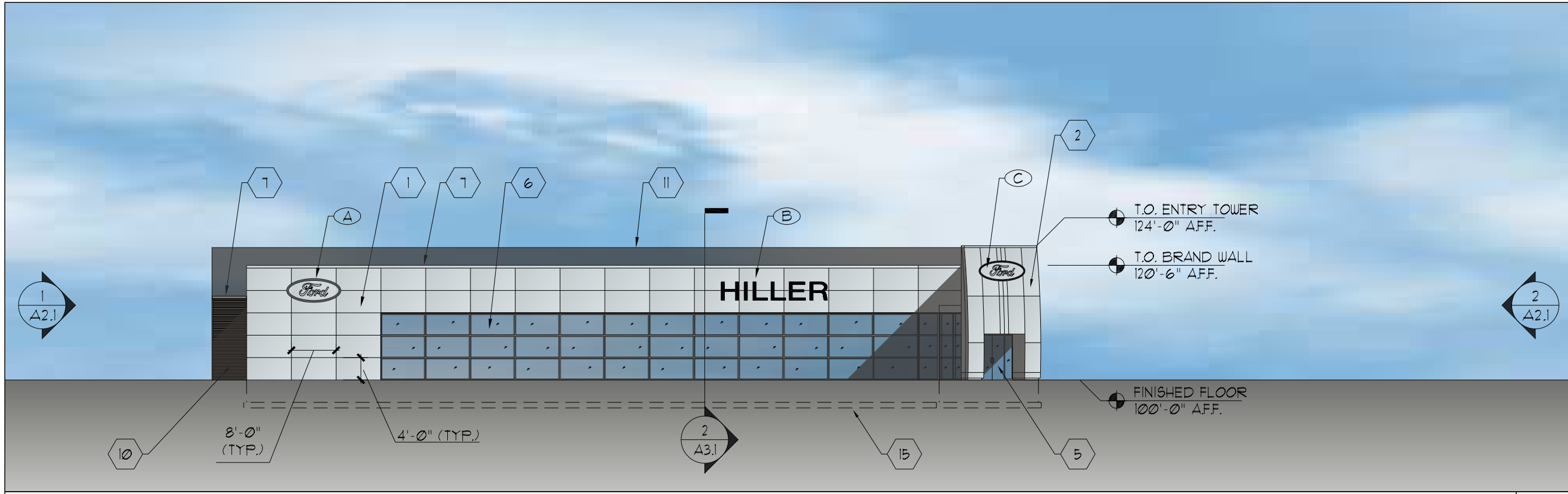
DO NOT SCALE THESE DRAWINGS

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REV. BY:	DESCRIPTION	REV. #	REV. DATE
WHC	Plan Commission Submission	03/09/15	
Project:			
Hiller Ford Sales & Service Building 6455 South 108th Street Franklin, Wisconsin 53132			
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781			
Drawing Title: Building Elevations			
Date: 03/09/15			
Scale: A.N.			
Drawn: WHC			
Job: 14-124			
Sheet: A2.1			

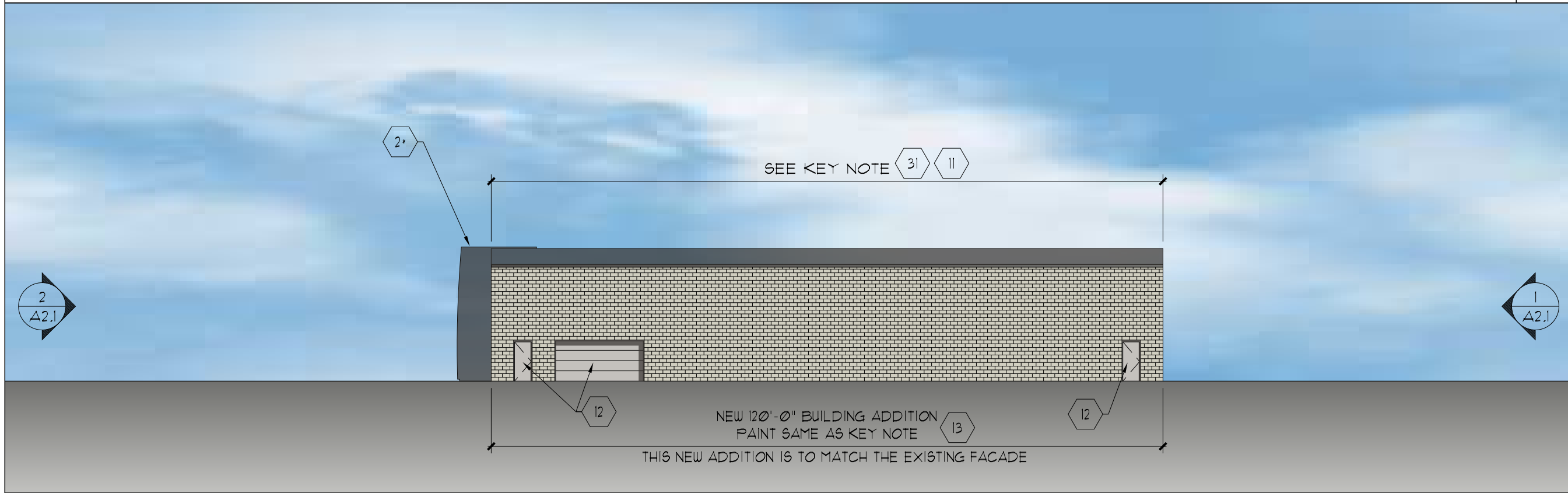
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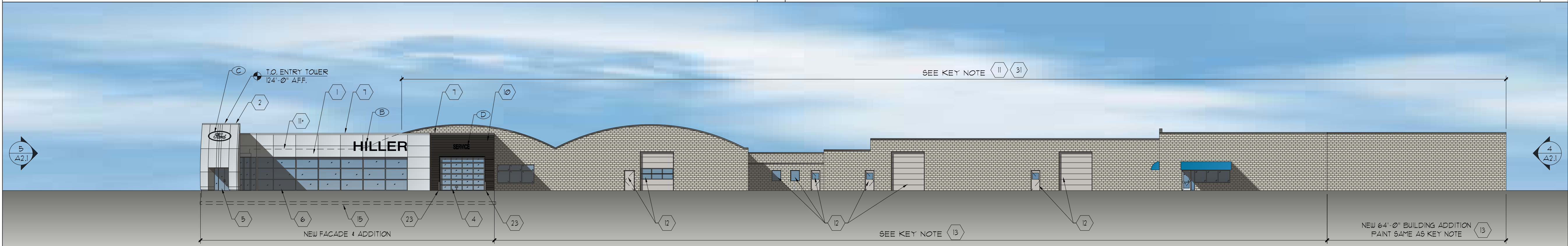
EAST ELEVATION
SCALE: 1" = 20'-0"

5



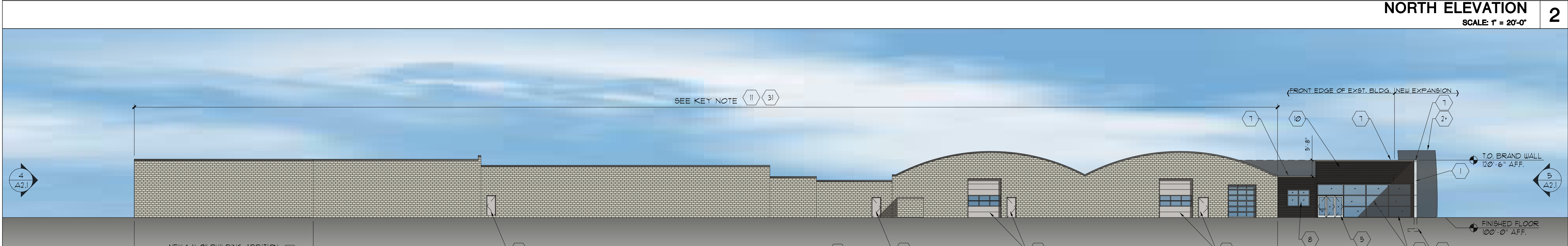
WEST ELEVATION
SCALE: 1" = 20'-0"

4



NORTH ELEVATION
SCALE: 1" = 20'-0"

2



SOUTH ELEVATION
SCALE: 1" = 20'-0"

1

BUILDING MATERIAL KEY LEGEND
(*) MATERIAL - BEYOND

- 1 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL
 - DRY JOINT SYSTEM
 - COLOR ALPOLIC HAIRLINE ALUMINUM (4MM4HLZ) OR FORD APPROVED EQUAL
- 2 PREFINISHED ALUMINUM OVERHEAD DOOR SYSTEM
 - 12' WIDE x 12' TALL
 - DOOR FRAME COLOR CLEAR ANODIZED ALUMINUM
 - GLASS COLOR CLEAR GLAZING
 - ** PROVIDE STEEL BOLLARD ON EACH SIDE OF DOOR (TYP.)
- 3 PREFINISHED ALUMINUM OVERHEAD DOOR SYSTEM
 - 16' WIDE x 12' TALL
 - DOOR FRAME COLOR CLEAR ANODIZED ALUMINUM
 - GLASS COLOR CLEAR GLAZING
 - ** PROVIDE STEEL BOLLARD ON EACH SIDE OF DOOR (TYP.)
- 4 PREFINISHED ALUMINUM STORE FRONT ENTRY SYSTEM
 - FRAME COLOR CLEAR ANODIZED ALUMINUM
 - GLASS COLOR LOW E - CLEAR GLAZING
- 5 PREFINISHED ALUMINUM CURTAIN WALL SYSTEM
 - FRAME COLOR CLEAR ANODIZED ALUMINUM
 - GLASS COLOR LOW E - CLEAR GLAZING
- 6 NEW PREFINISHED METAL COPING SYSTEM
 - COLOR MATCHED EITHER
 - ** METAL (ACH OR RIBBED) PANEL (BELOW) OR
 - ** PAINTED BLOCK (BELOW)
 - PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 7 PREFINISHED ALUMINUM STORE FRONT GLAZING SYSTEM
 - FRAME COLOR CLEAR ANODIZED ALUMINUM
 - GLASS COLOR LOW E - CLEAR GLAZING
- 8 NEW SMOOTH PAINTED CMU BLOCK SIZE 16" WIDE x 8" TALL x 12" DEEP. SEE KEY NOTE #11 FOR PAINT.
- 9 PREFINISHED METAL WALL PANEL
 - ALCOA REYNOLUX
 - COLOR SLATE GRAY RLSG
 - TYPE 1.2 RIB SIDING
- 10 BUILDING ELEMENT.
- 11 EXISTING WINDOW / DOOR / OVERHEAD DOOR
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - COLOR GRANITE GREY, OCONN 31 / 000
 - ORDER * A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
 - CONFIRM WITH OWNER EXTENT OF REPAIR
- 12 EXISTING WALL AREA
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - UNIVERSAL GREY, OCONN 62 / 000 ORDER * A2004
 - MANUFACTURER GLIDDEN PROFESSIONAL
- 13 16" TALL PREFINISHED METAL BAND TO MATCH AGI SIGN AND COLOR (TYP.) ALL SIGNAGE DETAILS BY AGI, APPROX. SW 6649 - TANGO
- 14 NEW CONCRETE FOOTING AND FOUNDATION TO SUPPORT NEW CONSTRUCTION. SEE STRUCTURAL DRAWINGS FOR ALL DETAILS. (TYP.)
- 15 EXISTING WALL AREA
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - COLOR GUANTLET GREY SW-1019
 - MANUFACTURER SHERWIN WILLIAMS
- 16 EXISTING WALL AREA
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - COLOR MINDFUL GRAY SW-1016
 - MANUFACTURER SHERWIN WILLIAMS
- 17 WALL AREA WITH NEW 16" PAINTED BAND
 - REPAIR AS NEEDED, IF NOT NEW
 - PREP NEW PAINT
 - COLOR TO MATCH KEY NOTE #4
 - MANUFACTURER SHERWIN WILLIAMS
- 18 NEW SMOOTH PAINTED CMU BLOCK SIZE 16" WIDE x 8" TALL x 12" DEEP. SEE KEY NOTE #16 FOR PAINT.
- 19 EXISTING ROOF TOP UNIT / HVAC

- 20 NEW SMOOTH PAINTED CMU BLOCK SIZE 16" WIDE x 8" TALL x 12" DEEP. SEE KEY NOTE #11 FOR PAINT.
- 21 PREFINISHED METAL WALL PANEL
 - ALCOA REYNOLUX
 - COLOR SLATE GRAY RLSG
 - TYPE 1.2 RIB SIDING
- 22 BUILDING ELEMENT.
- 23 EXISTING WINDOW / DOOR / OVERHEAD DOOR
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - COLOR GRANITE GREY, OCONN 31 / 000
 - ORDER * A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
 - CONFIRM WITH OWNER EXTENT OF REPAIR
- 24 EXISTING WALL AREA
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - UNIVERSAL GREY, OCONN 62 / 000 ORDER * A2004
 - MANUFACTURER GLIDDEN PROFESSIONAL
- 25 16" TALL PREFINISHED METAL BAND TO MATCH AGI SIGN AND COLOR (TYP.) ALL SIGNAGE DETAILS BY AGI, APPROX. SW 6649 - TANGO
- 26 NEW CONCRETE FOOTING AND FOUNDATION TO SUPPORT NEW CONSTRUCTION. SEE STRUCTURAL DRAWINGS FOR ALL DETAILS. (TYP.)
- 27 EXISTING WALL AREA
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - COLOR GUANTLET GREY SW-1019
 - MANUFACTURER SHERWIN WILLIAMS
- 28 EXISTING WALL AREA
 - REPAIR AS NEEDED
 - PREP NEW PAINT
 - COLOR MINDFUL GRAY SW-1016
 - MANUFACTURER SHERWIN WILLIAMS
- 29 WALL AREA WITH NEW 16" PAINTED BAND
 - REPAIR AS NEEDED, IF NOT NEW
 - PREP NEW PAINT
 - COLOR TO MATCH KEY NOTE #4
 - MANUFACTURER SHERWIN WILLIAMS
- 30 NEW SMOOTH PAINTED CMU BLOCK SIZE 16" WIDE x 8" TALL x 12" DEEP. SEE KEY NOTE #16 FOR PAINT.
- 31 EXISTING ROOF TOP UNIT / HVAC

- 32 NEW STORAGE ENCLOSURE
 - POLY WOOD SOLID FENCE BOARD FOR GATE ON GLASS STEEL FRAME FOR TRASH ENCLOSURE
 - COLOR MINDFUL GRAY SW-1016
 - WOOD GRAIN TEXTURE
 - CMU - SEE KEY NOTE #9
 - STEEL BOLLARDS
 - COLOR MINDFUL GRAY SW-1016
- 33 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL
 - DRY JOINT SYSTEM
 - COLOR MICA M22 GREY(4MM4HLZ) OR FORD APPROVED EQUAL
 - ** THIS IS A SURROUND AROUND THE STEEL COLUMN FOR THE OVERHEAD CANOPY.
- 34 STEEL BOLLARD - PAINTED SIM TO SURROUNDING METAL PANEL
- 35 PREFINISHED METAL WALL PANEL
 - ALCOA REYNOLUX
 - COLOR CASTLE GRAY
 - TYPE 1.2 RIB SIDING
- 36 EXTEND WALL HEIGHT WITH NEW STEEL STUD "KNEE" WALL (APPROX. 20") ON TOP OF EXISTING WALL. R/T BLDG. SECTIONS FOR REFERENCE AND STRUCTURAL DWGS. FOR ALL DETAILS.
- 37 EXPOSED ROOF MEMBRANE
- 38 NEW EXTERIOR WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE (TYP) AT EXIT DOOR. MUST HAVE A 90 MINUTE BATTERY BACK-UP.
- 39 PROVIDE (42" HIGH) GALVANIZED STEEL GUARD RAIL PER IFGC (M) 306.6
- 40 EXISTING WINDOW / DOOR / OVERHEAD PAINTED MINDFUL GRAY (SW 1016)
- 41 NEW PREFINISHED METAL COPING SYSTEM. COLOR & FINISH MATCHED TO KEY NOTE #2
 - ** PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 42 PROVIDE AN ADDITIONAL 8" STUD TO CREATE AN ACM WALL PILASTER. WHEN ADDED TO EXST. CMU WALL ADD A 1" AIR SPACE FOR STAND-OFF ATTACHMENT.

GENERAL SIGNAGE NOTE
REFER TO FORD MOTOR COMPANY RETAIL IDENTIFICATION PROGRAM AT WWW.FORDTRUSTMARKDESIGN.COM FOR ADDITIONAL INFORMATION. ALL SIGNAGE PROVIDED & INSTALLED BY "AGI" (888) 856-1880

(A) 31 5F. FORD "OVAL" SIGN
(B) 39" HIGH "HILLER" DEALER NAME LETTERS
(C) 21 5F. FORD "OVAL" SIGN
(D) 19" HIGH "SERVICE" SIGN LETTERS
(E) QL 2230 FASCIA SIGN 3'-0" HAND SYMBOL ILLUM. QL 2420 FASCIA SIGN 2'-0" WORDMARK ILLUM. QL 2430 FASCIA SIGN 6" TIRE & AUTO CENTER NON ILLUM.
(F) HOURS SIGN PLAQUE

SIGNAGE NOTE
SIGNS WILL NOT BE SHOWN WITH COLOR ON COLORED DRAWINGS

GENERAL NOTE
EXISTING METAL ACCESSORIES ELEMENTS, NOT SPECIFICALLY LISTED TO BE (MAY INCLUDE GAS & ELECTRICAL PIPES & BOXES, VENTS, ETC.)
• PREP FOR NEW PAINT, AS ALLOWED AND PAINT.
• COLOR GRANITE GREY, OCONN 31 / 000
• ORDER * A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
EXISTING METAL ACCESSORIES ELEMENTS ON THE ROOF, NOT SPECIFICALLY LISTED TO BE (MAY INCLUDE GAS & ELECTRICAL PIPES & BOXES, VENTS, ETC.)
TO REMAIN "AS IS"
NEW HVAC UNITS ON THE ROOF, AND NOT SCREENED BY NEW CONSTRUCTION ELEMENTS
• TO HAVE NEW PVC RTU SCREEN ELEMENT MOUNTED TO RTU. PVC COLOR TO MATCH ROOF COLOR

ELEVATION MATERIAL LEGEND
SCALE: 1" = 20'-0"

3

DO NOT SCALE THESE DRAWINGS

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REV. BY:	DESCRIPTION	REV. #	REV. DATE
WHC	Plan Commission Submission	03/09/15	
Project:			
Hiller Ford Sales & Service Building 6455 South 108th Street Franklin, Wisconsin 53132			
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1751			
Drawing Title: BUILDING ELEVATION SALES & SERVICE COLOR			
Date: 03/09/15			
Scale: A.N.			
Drawn: WHC			
Job: 14-124			
Sheet: A2.2			

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6455 South 108th Street
Franklin, Wisconsin 53132
(Milwaukee County)

An aerial photograph of a large industrial or commercial complex. The facility consists of several large, dark-roofed buildings, some with flat roofs and others with gabled sections. Extensive parking lots are visible, filled with numerous vehicles, primarily cars, arranged in neat rows. A road runs along the right side of the image, featuring a white '100' speed limit sign. The surrounding area includes some undeveloped land and a few scattered trees.



PLAN NORTH

[illegible]

OWNER:

Hiller Ford, Inc
6455 South 108 Street
Franklin, Wisconsin 53132
Tele: (414) 425-1000
Fax: n/a
Contact: Jay Hiller

ARCHITECT:

Perspective Design, Inc.
11525 W. North Avenue
Wauwatosa, WI 53226
Tele: (414) 302-1780 x 201
Fax: (414) 302-1781
Contact: William H. Conine
E-Mail: bconine@pdi-arch.com

GENERAL CONTRACTOR/ CONSTRUCTION MANAGER:

Mark Carstensen Developments, LLC.
9130 W. Loomis Road - Suite 950
Franklin, WI 53132
Tele: (414) 235-3571
Fax: (414) 235-3572
Contact: Mark Carstensen
E-Mail: mark@meccd.com

CIVIL ENGINEER:

JSD Professional Services, Inc.
N22 W22931 Nancy Court - Suite #3
Waukesha, WI 53186
Tele: (262) 513-0666
Fax: (262) 513-1232
Contact: Justin L. Johnson
E-Mail: justin.johnson@jsdinc.com

ELECTRICAL ENG./DESIGN BUILD:

T.B.D.

STRUCTURAL ENGINEER:

Pierce Engineers
241 N. Broadway, #500
Milwaukee, WI 53202
Tele: (414) 278-6020
Fax: (414) 278-6061
Contact: Randy Elliott
E-mail: rse@pierceengineers.com

PLUMBING ENG./DESIGN BUILD:

T.B.D.

MECHANICAL ENG./DESIGN BUILD:

T.B.D.

FIRE PROTECTION DESIGN BUILD:

T.B.D.

CODE REFERENCE

ARCHITECTURAL:

T1	TITLE SHEET
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A1.1 DIMENSIONED FLOOR PLAN

A1.5	ROOF PLAN
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS WITH COLOR

- BUILDING CODE:
 - IF COMMERCIAL BUILDING CODE ADOPTION OF THE INTERNATIONAL CODES SUBJECT TO THE MODIFICATION SPECIFIED BY THE DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES, CHAPTER 36-368
 - INTERNATIONAL BUILDING CODE - 2009
 - INTERNATIONAL ENERGY CONSERVATION CODE - 2009
 - 2009-ICC 310.03
 - INTERNATIONAL MECHANICAL CODE - 2009
 - INTERNATIONAL FUEL GAS CODE - 2009
 - INTERNATIONAL EXISTING BUILDING CODE - 2009
- ACCESSIBILITY CODES:
 - INTERNATIONAL BUILDING CODE - 2009, CHAPTER 11
 - ICC/ANSI A117 - 2003
 - D.O.J. - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- MECHANICAL CODE:
 - REFER TO IF COMMERCIAL BUILDING CODE ELECTRICAL CODE
 - INTERNATIONAL BUILDING CODE - 2009, CHAPTER 21
 - IF SAFETY & PROFESSIONAL SERVICES, CHAPTER 316
 - REF. NATIONAL ELECTRIC CODE
 - NATIONAL ELECTRIC CODE (NEC) - 2008
 - SUBJECT TO THE CHANGES
 - ADDITIONS OR OMISSIONS SPECIFIED
 - IN SUB CH. III OF CHAPTER 316
- PLUMBING CODE:
 - INTERNATIONAL BUILDING CODE - 2009, CHAPTER 29
 - IF SAFETY & PROFESSIONAL SERVICES, CHAPTER 381-381
- FIRE PREVENTION:
 - IF SAFETY & PROFESSIONAL SERVICES, CHAPTER 314
 - REFERENCE NFPA
 - NFPA 1 FIRE CODE - 2009 AND/OR LOCAL FIRE ORDINANCE IF APPLICABLE
 - SUBJECT TO THE MODIFICATIONS
 - AS SPECIFIED IN CHAPTER 314
- CIVIL ENGINEER:
 - CIVIL ENGINEER IS RESPONSIBLE FOR ALL FEDERAL, STATE AND LOCAL REGULATIONS RELATED TO SOILS, WATER, EROSION CONTROL, SOIL DISTURBANCE, AND NATURAL RESOURCE PROTECTION.

BUILDING DATA

<u>PROJECT DESCRIPTION:</u>		ALTERNATION # 4 ADDITION
<u>TYPE OF WORK</u>		LEVEL 3
<u>BUILDING CODE CLASS:</u>		4-106 SQ. FT.
<u>AREA OF WORK</u>		
<u>USE & OCCUPANCY:</u>		
<u>MAJOR USE:</u>		5-1 (Motor Vehicle Repair)
<u>ACCESSORY OCCUPANCY:</u>		B (Office Area)
<u>GENERAL BUILDING DATA:</u>		
<u>APPROX HEIGHT:</u>	<u>ALLOWED:</u>	<u>ACTUAL:</u>
35'-0"	55'-0"	10'-6"
<u>APPROX SQUARE AREA:</u>	<u>15000 - (UNMODIFIED)</u>	<u>62,688 SF</u>
<u>EXISTING BLDG:</u>		<u>9360 SF</u>
<u>DEMOLITION AREA:</u>		<u>408 SF</u>
<u>B-360 ADDITION:</u>		<u>3,641 SF</u>
<u>CANOPY AREA:</u>		<u>636 SF</u>
<u>% OF WORK AREA</u>		<u>50.12%</u>
<u>NUMBER OF STORIES:</u>	2 - (UNMODIFIED)	
<u>NUMBER OF FLOORS:</u>	2 - (UNMODIFIED)	1
<u>TYPE OF CONSTRUCTION:</u>	2-B (METAL FRAME - UNPROTECTED)	
<u>FIRE RESISTANCE RATED CONST:</u>	NOT REQUIRED	

STRUCTURAL:

T.B.D

MECHANICAL & ELECTRICAL

T.B.D

PLUMBING & FIRE PROTECTION

T.B.D

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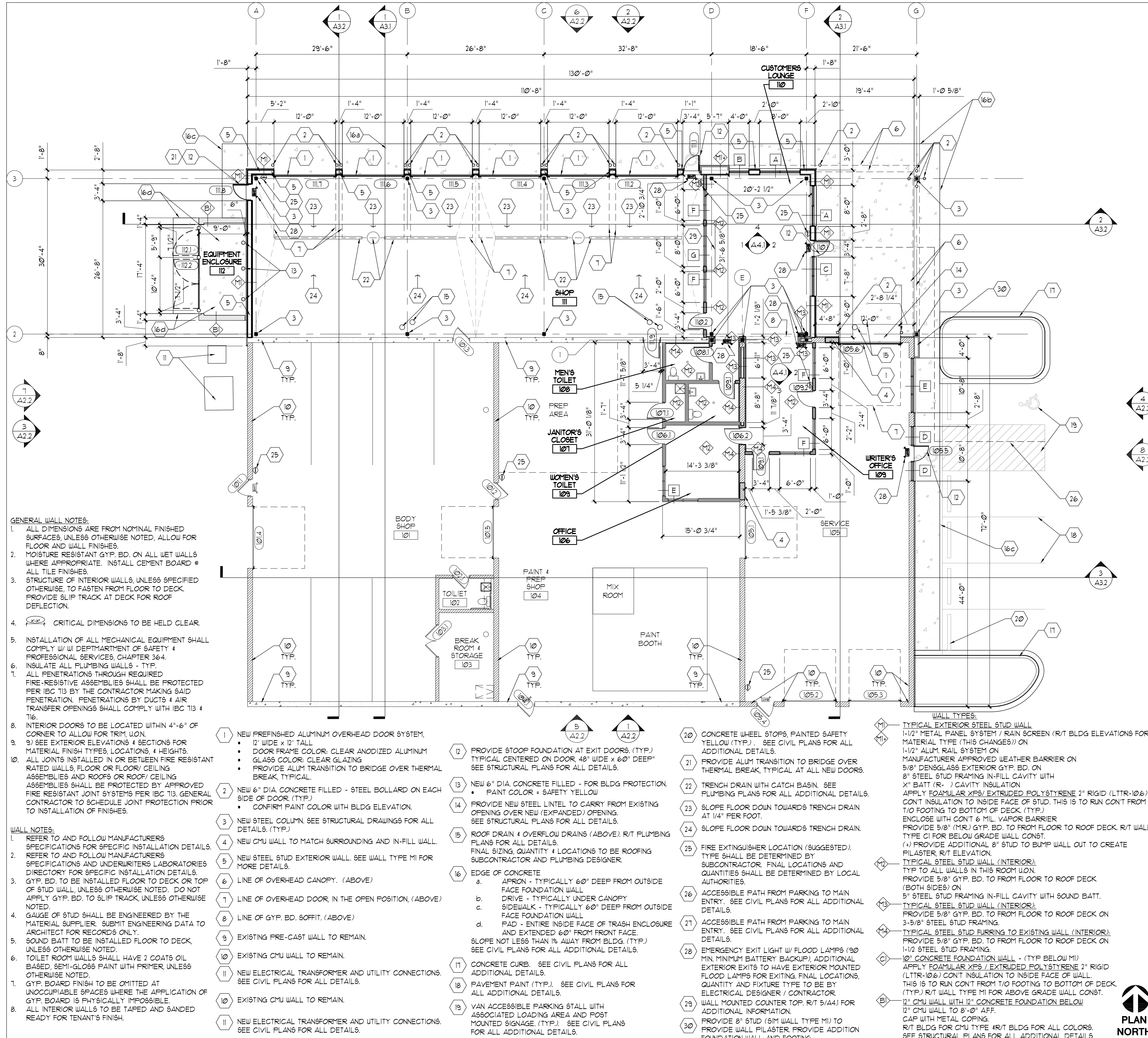
FULL SIZE PRINT = 24" x 36" SHEET

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 <p>PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781</p>	<p>Hiller Ford Quick Lane Building 6455 South 108th Street Franklin, Wisconsin 53132</p>		<p>Project:</p>
	<p>REV. #</p>	<p>REV. DATE</p>	<p>DESCRIPTION</p>
	<p>03/09/15</p>	<p>Plan Commission</p>	<p>Submission</p>
	<p>WHC</p>	<p>WHC</p>	<p>WHC</p>
<p>Drawing Title:</p> <p>TITLE SHEET</p>			
<p>Date: 03/09/15</p>			
<p>Scale: AN.</p>			
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<p>Job: 14-125</p>			
<p>Sheet:</p>			
<p>T1</p>			

- PRELIMINARY -
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GENERAL PROJECT NOTES:

1) CONSTRUCTION IS TO BE IN COMPLIANCE W/ ALL GOVERNING CODES, ORDINANCES, & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION W/ THE PERFORMANCE OF THIS CONTRACT. REFER TO IBC CH. 33 (SAFEGUARDS DURING CONSTRUCTION) FOR SPECIFIC CODE RELATED SAFETY REQUIREMENTS.

2) ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE, OR CONSTRUCTION ISSUES ARISING DO TO GENERAL CONTRACTORS/ OWNERS FAILURE TO DISTRIBUTE ALL DOCUMENTS TO EACH SUBCONTRACTOR OR MATERIAL SUPPLIER. SUBCONTRACTORS & MATERIAL SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCUMENTS BEFORE BIDDING, FABRICATING, OR INSTALLING WORK.

3) ALL CONTRACTORS SHALL BECOME FAMILIAR WITH SITE PRIOR TO BIDDING. GENERAL CONTRACTOR, SUBCONTRACTORS, AND MATERIAL SUPPLIERS MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING, OR INSTALLING WORK.

4) ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

5) MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING W/ ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR, THE ARCHITECT ASSUMES NO LIABILITY.

6) ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/ EQUIP SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER ASSUME FULL RESPONSIBILITY FOR MAINTENANCE/ OPERATION AFTER OCCUPANCY.

7) THE INSTALLATION AND EXECUTION OF ALL PRODUCTS & MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS, INSTRUCTIONS AND SPECIFICATIONS.

8) ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LIMITING THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH. WASTE MATERIALS SHALL BE REMOVED FROM PREMISES DAILY.

9) DIMENSIONS ARE TO BE FIELD VERIFIED & ADJUSTED ACCORDINGLY. THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WITH WORK.

10) HAZARDOUS MATERIAL (INCLUDING ASBESTOS) ASSESSMENT AND ABATEMENT WILL BE COORDINATED BY GC.

11) PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE CH 906. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE. TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW. IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED AN OTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR. EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR & BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.

12) ALL CONCRETE FLATWORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL DRAWINGS FOR CURING COMPOUND SPECIFICATIONS (SUBMIT CURING COMPOUND TECHNICAL DATA TO ARCHITECT FOR APPROVAL BEFORE PLACING CONCRETE). CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.

13) LEAD PAINT ASSESSMENT, TESTING, AND ABATEMENT WILL BE COORDINATED BY GC.

14) DO NOT SCALE THESE DRAWINGS.

15) REVIEW ALL DRAWINGS INCLUDING DRAWING DIMENSIONS PRIOR TO BIDDING, FABRICATING OR CONSTRUCTING ANY WORK.

GENERAL FLOOR PLAN NOTES:

1) VERIFY ALL FINISHES WITH OWNER PRIOR TO INSTALLATION.

2) GC/ SUPPLIERS TO SUBMIT (5) SETS OF ALL SUBMITTALS.

3) ACCOMMODATE EXISTING OUTLETS, FIXTURES, AND MECHANICAL SYSTEMS TO REMAIN. ADJUST LAYOUT AS NECESSARY W/ OWNER & ARCHITECT APPROVAL.

4) PER WISCONSIN COMMERCIAL CODE - TOILET ROOMS MUST BE DIRECTLY ACCESSIBLE TO TENANT'S CUSTOMERS. LOCATION MAY VARY DEPENDENT UPON FUTURE TENANT LAYOUT.

5) THE FOLLOWING CLEARANCES SHALL APPLY TO ALL AREAS OF THE GENERAL SALES AREA. THE MIN. CLEAR AISLE WIDTH SHALL BE 36" WHERE SEATS, TABLES, FURNISHINGS, DISPLAYS, & SIMILAR FIXTURES OR EQUIP. ARE PLACED ON ONLY ONE SIDE OF THE AISLE & 44" WHERE SUCH FIXTURES OR EQUIP. ARE PLACED ON BOTH SIDES OF THE AISLE.

6) INSTALL SELF ADHERING ADDRESS SIGN @ FRONT DOOR AS NEC. - VERIFY ADDRESS SIGNAGE LOCATION W/ OWNER PRIOR TO INSTALLATION.

7) CARE SHOULD BE TAKEN TO LEAVE EXISTING ITEMS UNDISTURBED AND STILL ACCOMMODATE NEW WORK. EXISTING AREAS TO BE PROTECTED DURING CONSTRUCTION.

8) VERIFY RECESSED EQUIPMENT WITH OWNER PRIOR TO FRAMING WALLS. ADJUST WALL THICKNESS ACCORDINGLY.

9) COORDINATE W/ PLUMBING CONTRACTOR FOR ALL UNDER-SLAB PIPING PRIOR TO SLAB FOUR. LOCATION W/ EQUIP. SUPPLIER.

10) CARPENTER TO PROVIDE ALL WALL BLOCKING AS NECESSARY FOR OWNER'S EQUIPMENT - VERIFY LOCATION W/ EQUIP. SUPPLIER.

11) PER IBC 1011.3 AN AISLE ACCESSWAY SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH ELEMENT WITHIN THE MERCHANDISE PAD. THE MINIMUM CLEAR WIDTH FOR AN AISLE ACCESSWAY NOT REQUIRED TO BE ACCESSIBLE SHALL BE 30" MINIMUM. THE REQUIRED CLEAR WIDTH OF THE AISLE ACCESSWAY SHALL BE MEASURED PERPENDICULAR TO THE ELEMENTS AND MERCHANDISE WITHIN THE MERCHANDISE PAD. THE 30 INCH MINIMUM CLEAR WIDTH SHALL BE MAINTAINED TO PROVIDE A PATH TO AN ADJACENT AISLE OR AISLE ACCESSWAY. THE COMMON PATH OF TRAVEL SHALL NOT EXCEED 30 FEET FROM ANY POINT IN THE MERCHANDISE PAD. EXCEPTION: FOR AREAS SERVING NOT MORE THAN 50 OCCUPANTS, THE COMMON PATH OF TRAVEL SHALL NOT EXCEED 75 FEET.

12) THE ENTIRE BUILDING WILL REMAIN OCCUPIED & OPERATIONAL DURING ALL PHASES OF CONSTRUCTION. ACCOMMODATIONS MUST BE MADE TO ENSURE CONTINUED OPERATION. CUSTOMER ACCESS, TENANT ACCESS, HEATING, COOLING, FIRE PROTECTION, & SECURITY. ACCOMMODATIONS SHALL ALSO BE MADE TO PROTECT THE TENANTS, CUSTOMERS & TENANT'S PROPERTY/MERCHANDISE AS REQ'D. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: DUST PROTECTION, NOISE PROTECTION, & FALLING CONSTRUCTION DEBRIS PROTECTION.

13) PER IBC 1011.3, A TACTILE SIGN STATING "EXIT" AND COMPLYING WITH ICC A111 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGE AND THE EXIT DISCHARGE.

14) TENANT TO PROVIDE BOTTLED WATER DISPENSER W/ ADJACENT CUP DISPENSER.



DIMENSIONED FLOOR PLAN

SCALE: 3/32" = 1'-0"

2

NOTES

SCALE: 3/32" = 1'-0"

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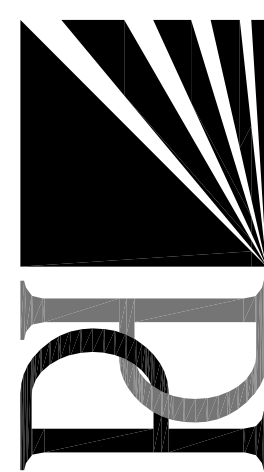
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REV. #	REV. DATE	DESCRIPTION	REV. BY:
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Hiller Ford
Quick Lane Building
6455 South 108th Street
Franklin, Wisconsin 53132

**PERSPECTIVE
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Drawing Title:
**DIMENSIONED
FLOOR
PLAN**

Date: 03/09/15

Scale: A.N.

Drawn: WHC

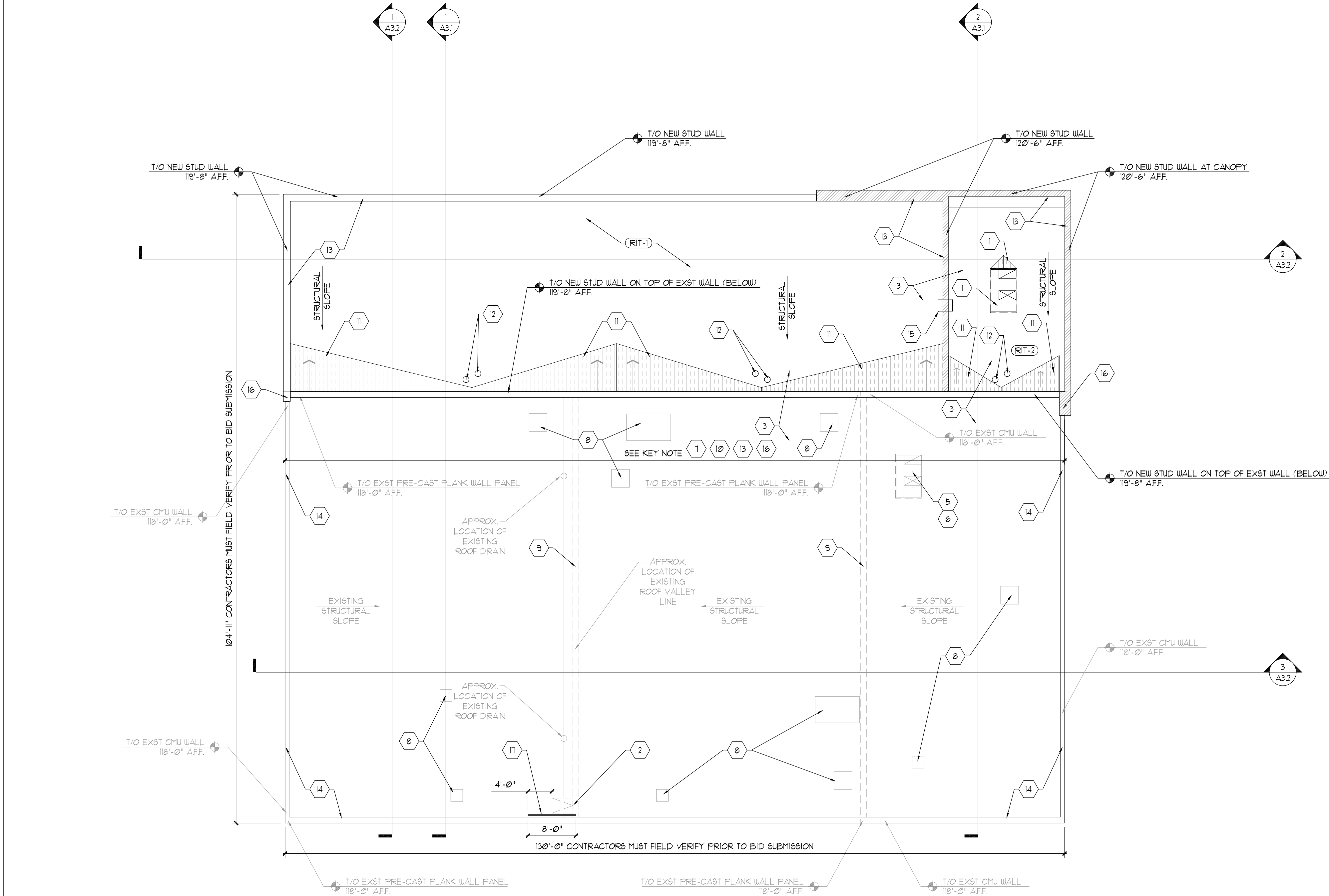
Job: 14-125

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A1.1

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GENERAL ROOF PLAN NOTES:
1) SEE STRUCTURAL ROOF FRAMING PLAN AND DETAILS FOR ADDITIONAL ROOF NOTES.
2) COORDINATE ALL ROOF EQUIPMENT SIZES AND PENETRATIONS W/ MECHANICAL DESIGN/BUILDER. INSTALL EQUIPMENT FLUES AND VENTS AFTER INSTALLATION OF EQUIPMENT. ROOFING CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED ROOF PENETRATIONS - COORDINATE W/ MECH. CONTRACTOR.
3) CUT IN ALL VENTS, STACKS, ETC. AS REQUIRED FOR PLUMBING EQUIPMENT.
4) LOCATE ALL ROOF PENETRATIONS AND EQUIPMENT TO PROVIDE THE BEST POSSIBLE SCREENING FROM STREET FRONTS.
5) TAPER INSULATION CRICKETS AT HIGH SIDE OF ROOF TOP EQUIPMENT TO MAINTAIN WATER FLOW TO ROOF DRAINS. MIN. CRICKET PITCH 1/4" PER 12". VERIFY ROOF TOP EQUIPMENT QUANTITY & LOCATION WITH MECHANICAL CONTRACTOR.
6) ALL MTL. FLASHING/COPING TO BE INSTALLED PER SMACNA STANDARDS.
7) R.D. (ROOF DRAIN) & D.S. (DOWN SPOUT) W/ DEBRIS SCREENS TO STORM DRAINAGE SYSTEM OR GRADE. REFER TO CIVIL FOR FURTHER DETAILS.
8) OWNER'S ROOFING CONTRACTOR SHALL PROVIDE ROOFING MEMBRANE TO ALLOW GC TO KEEP NEW CONSTRUCTION WEATHER TIGHT.
9) ROOF ACCESS IS REQ. PER IFGC AND IMC SECTION 304.11. ROOF STRUCTURE HEIGHT EXCEEDS 16'-0" & CONTAINS APPLIANCES REQUIRING ACCESS.
-ROOF ACCESS PANEL IS NOT REQUIRED PER IBC 1009.13. BUILDING IS LESS THAN 4 STORIES AND ROOF IS UNOCCUPIED & PER IFGC AND IMC SECTION 304.11, ROOF STRUCTURE HEIGHT DOES NOT EXCEED 16'-0" WHICH CONTAINS APPLIANCES REQUIRING ACCESS.
10) PROVIDE GUARD RAIL, AS REQ. BY 1013.5. GUARDS SHALL BE PROVIDED WHERE APPLIANCES, EQUIPMENT, FANS, OR OTHER COMPONENTS THAT REQUIRE SERVICE ARE LOCATED WITHIN 10'-0" OF A ROOF EDGE. CONTACT ARCHITECT IF PROPOSED LOCATION OF RTUS WILL NEED RAILING FOR A DETAIL OF RAILING CONNECTION TO ROOF STRUCTURE.
11) SLOPE GUTTER TO DOWN SPOUT - 1/16" PER FOOT MIN.
12) ROOFING CONTRACTOR TO EVALUATE ALL EXISTING ROOF CONDITIONS FOR ANY AND ALL POSSIBLE ISSUES THAT MAY WARRANT REPLACEMENT, REPAIR, PATCHING ETC. PROVIDE G.C. OWNER WITH ALL ISSUES AND RECOMMENDED SOLUTIONS.
13) DO NOT SCALE THESE DRAWINGS.
14) REVIEW ALL DRAWINGS INCLUDING DRAWING DIMENSIONS PRIOR TO BIDDING, FABRICATING OR CONSTRUCTING ANY WORK.

HVAC NOTES:
1) HVAC CONTRACTOR TO BID REPAIR/REPLACEMENT COST PER EVALUATION REPORT.
PROVIDE ALT. BID FOR FULL REPLACEMENT W/ NEW CURBS.
2) ROOF TOP EQUIPMENT TO BE PLACED ON CURBS HIGHER THAN SECONDARY ROOF DRAIN TO PREVENT WATER DAMAGE TO EQUIPMENT AND LEAKS INTO BUILDING.
3) PROVIDE VAV BOXES WITH SEPARATE THERMOSTATS FOR EACH OFFICE/CONFERENCE ROOM/CLOSING ROOM/OPEN OFFICE/WORK ROOMS.
BUILT-UP AND PITCH INSULATION TOWARDS ROOF DRAIN. SEE PLUMBING DRAWINGS TO DETAILS. MIN INSULATION VAULE AS LISTED ON ROOF PLAN. INSULATION SHALL PITCH A MIN. OF 1/4" PER FOOT, U.O.N. PATTERN INDICATES DIRECTION TOWARDS DRAIN.

- ROOF PLAN KEYED NOTES:
- 1 ROOF TOP MOUNTED MECHANICAL EQUIPMENT. SEE HVAC PLANS FOR ALL DETAILS.
 - 2 EXISTING ROOF ACCESS HATCH WITH LADDER (BELOW).
 - 3 CHANGE IN ROOF PLANE HEIGHT. REFER TO SECTIONS FOR DETAILS.
 - 4 PROVIDE ROOF LADDER TO ALLOW ACCESS TO RTUS PER IFGC (M) 306.6.
 - 5 IF EXISTING RTU IS REMOVED AS A PART OF THE HVAC DESIGN, PROVIDE NEW CAP OVER EXISTING & ABANDONED ROOF CURB. PROVIDE AS RECOMMENDED BY ROOFING MATERIAL MANUFACTURER'S WRITTEN RECOMMENDATIONS. CONFORM WITH GC.
 - 6 IF EXISTING RTU IS NOT REMOVED AS A PART OF THE HVAC DESIGN, PROVIDE NEW PVC ROOF SCREEN OF RTU TO BE MOUNTED TO RTU ONLY.
 - 7 APPROX. ADDITIONAL SNOW DRIFT AREA - SEE STRUCTURAL DRAWINGS FOR DETAILS, INCLUDING BUT NOT LIMITED TO ADDITIONAL STRUCTURAL REINFORCEMENT IN THE AFFECTED STRUCTURAL BAY(S).
 - 8 EXISTING GALVANIZED AND EXPOSED (DUCT WORK / PIPES / EXHAUST HOODS) FROM EQUIPMENT BELOW TO REMAIN AS IS UNLESS OTHERWISE DIRECTED BY HVAC ENGINEER / DESIGNER. THESE LOCATION ARE FROM PHOTOGRAPHS AND SHOULD BE CONSIDERED AS "FOR REFERENCE ONLY".
 - 9 EXISTING LOAD BEARING WALL (BELOW) THE ROOF DECK. THIS SHOULD BE CONSIDERED AS "FOR REFERENCE ONLY".
 - 10 PROVIDE NEW ROOF MEMBRANE TO OVERLAY EXISTING ROOF MEMBRANE TO THE REQUIRED EXTENT (AS RECOMMENDED BY ROOF MATERIALS MANUFACTURERS WRITTEN GUIDELINES) AND "LAP" UP AND OVER NEW PARAPET WALL AND DOWN TO THE OPPOSITE SIDE / NEW ROOF AREA.
 - 11 PROVIDE BUILT-UP & PITCHED INSULATION TOWARDS ROOF DRAIN. SEE PLUMBING DRAWINGS TO DETAILS. MIN INSULATION VAULE AS LISTED ON ROOF PLAN. INSULATION SHALL PITCH A MIN. OF 1/4" PER FOOT, U.O.N. PATTERN INDICATES DIRECTION TOWARDS DRAIN. THIS IS FOR GENERAL REFERENCE ONLY. CRICKET DESIGN AND ALL ASSOCIATED DETAILS SHALL BE BY ROOF CONTRACTOR.
 - 12 PROVIDE ROOF DRAIN AND OVER FLOW ROOF DRAIN. PRIMARY ROOF DRAIN IS TO BE DESIGNED TO CONNECT TO EXISTING ROOF CONDUCTOR. OVER FLOW DRAINS WITH DOWNSPOUT NOZZLE SIMILAR TO JOSAM SERIES 75010. NOZZLE TO BE PLACED BELOW ROOF DECK, BUT AS HIGH AS POSSIBLE ON WALL. LOCATION MUST BE APPROVED BY OWNER. R/T PLUMBING DRAWINGS FOR ADDITIONAL DETAILS.
 - 13 NEW PRE-FINISHED METAL COPING SYSTEM. SLOPE T/O CAP TOWARDS ROOF. PROVIDE BLOCKING AS REQUIRED BY MANUFACTURER. R/T BLDG. ELEVATIONS FOR COLOR.
 - 14 NEW PRE-FINISHED METAL COPING SYSTEM TO REPLACE EXISTING. PROVIDE NEW BLOCKING, AND ANY ASSOCIATED MATERIAL, AS NEEDED TO ACCOMMODATE NEW PLANS. SLOPE T/O CAP TOWARDS ROOF. PROVIDE BLOCKING AS REQUIRED BY MANUFACTURER. R/T BLDG. ELEVATIONS FOR COLOR.
 - 15 PROVIDE GALVANIZED STEEL WALL LADDER PER IFGC (M) 306.6.
 - 16 EXTEND WALL HEIGHT WITH NEW STEEL STUD "KNEE" WALL (APPROX. 20") ON TOP OF EXISTING WALL. R/T BLDG. SECTIONS FOR REFERENCE AND STRUCTURAL DUGS. FOR ALL DETAILS.
 - 17 PROVIDE 42" HIGH GALVANIZED STEEL GUARD RAIL. ALL DETAILS BY SUPPLIER.

GENERAL ROOF AND INSULATION NOTES:
ALL NEW ROOF AREAS:
• ASTM STONE BALLASTED 60 MIL. EPDM MEMBRANE, (61M TO FIRESTONE) RUBBERGARD EPDM L&R
• MINIMUM / TYP. SLOPE OF ROOF SHALL BE 1/4" PER 12" U.O.N.
• (61M TO FIRESTONE) POLYISOCYANURATE RIGID INSULATION
• MUST HAVE A MIN R-VALUE (LTTR) INSULATION VALUE AS LISTED ON ROOF PLAN & DENOTED BELOW
• MUST HAVE UL CLASS A FIRE RESISTANCE RATING
• ROOF DECK MUST BE 22 GA OR BETTER, 33 KSI OR BETTER AND MUST BE PUDDLE WELDED
• MUST CARRY 15 YEAR LABOR & MATERIAL WARRANTY
• INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS
• UL-A (RESISTANCE TO SEVERE FIRE) AS TESTED IN ACCORDANCE WITH ASTM E108/UL170/ALSO MEETS UL1256, FOR CLASS B NON COMBUSTIBLE ASSEMBLY.
• BALLAST COMPLIES WITH 95FRI RP-4 FOR CATEGORY 1, EXPOSURE A, USING AGGREGATE OVER ENTIRE SURFACE.
THIS ROOF INSULATION TYPES (RIT-*) SHALL HAVE THE FOLLOWING:
(RIT-1) (2) TWO LAYERS OF (2") INSULATION (EQUALS 4" MIN) TO YIELD A MIN. R-23.6 (LTTR) THIS IS A STRUCTURAL SLOPED ROOF. PROVIDE ADDITIONAL TAPERED INSULATION AS NEEDED TO DIRECT WATER TO ROOF DRAINS. THE ADDITIONAL TAPERED INSULATION HAS BEEN NOT INCLUDED IN THE ENVELOPE CALCULATIONS, FOR THIS ROOF ONLY.
(RIT-2) (1) ONE LAYER OF (2") INSULATION (EQUALS 2" MIN) TO YIELD A MIN. R-23.6 (LTTR) THIS IS A STRUCTURAL SLOPED ROOF. PROVIDE ADDITIONAL TAPERED INSULATION AS NEEDED TO DIRECT WATER TO ROOF DRAINS. THE ADDITIONAL TAPERED INSULATION HAS BEEN NOT INCLUDED IN THE ENVELOPE CALCULATIONS, FOR THIS ROOF ONLY. THIS ROOF AREA IS NOT INSULATING A "CONDITIONED" / INTERIOR SPACE.

ROOF PLAN
SCALE: 3/32" = 1'-0"

2

NOTES
SCALE: 3/32" = 1'-0"

1

FULL SIZE PRINT = 24" x 36" SHEET

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REV. #	REV. DATE	DESCRIPTION	REV. BY:
03/09/15	Plan Commission Submission	WHC	
Project:			
Hiller Ford Quick Lane Building 6455 South 108th Street Franklin, Wisconsin 53132			
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781			
Drawing Title: ROOF PLAN			
THIS BOX IS 1/2" x 1/2"			
Date: 03/09/15			
Scale: AN.			
Drawn: WHC			
Job: 14-125			
Sheet: A1.5			

- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY

NOT FOR CONSTRUCTION

- BUILDING MATERIAL KEY LEGEND:**
(*) MATERIAL - BEYOND
- 1 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL:
• DRY JOINT SYSTEM
• COLOR: ALPOLIC HAIRLINE ALUMINUM (4"MM4HLZ) OR FORD APPROVED EQUAL (4"MM4HLZ) OR FORD APPROVED EQUAL
- 2 PREFINISHED ALUMINUM OVERHEAD DOOR SYSTEM:
• 12' WIDE x 12' TALL
• DOOR FRAME COLOR: CLEAR ANODIZED ALUMINUM
• GLASS COLOR: CLEAR GLAZING
• PROVIDE STEEL BOLLARD ON EACH SIDE OF DOOR (TYP.)
- 4 PREFINISHED ALUMINUM OVERHEAD DOOR SYSTEM:
• 16' WIDE x 12' TALL
• DOOR FRAME COLOR: CLEAR ANODIZED ALUMINUM
• GLASS COLOR: CLEAR GLAZING
• PROVIDE STEEL BOLLARD ON EACH SIDE OF DOOR (TYP.)
- 5 PREFINISHED ALUMINUM STORE FRONT ENTRY SYSTEM:
• FRAME COLOR: CLEAR ANODIZED ALUMINUM
• GLASS COLOR: LOW E - CLEAR GLAZING
- 6 PREFINISHED ALUMINUM CURTAIN WALL SYSTEM:
• FRAME COLOR: CLEAR ANODIZED ALUMINUM
• GLASS COLOR: LOW E - CLEAR GLAZING
- 7 NEW PREFINISHED METAL COPING SYSTEM:
• COLOR: MATCHED EITHER
• METAL (ACM OR RIBBED) PANEL (BELOW) OR
• PAINTED BLOCK (BELOW)
• PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 8 PREFINISHED ALUMINUM STORE FRONT GLAZING SYSTEM:
• FRAME COLOR: CLEAR ANODIZED ALUMINUM
• GLASS COLOR: LOW E - CLEAR GLAZING

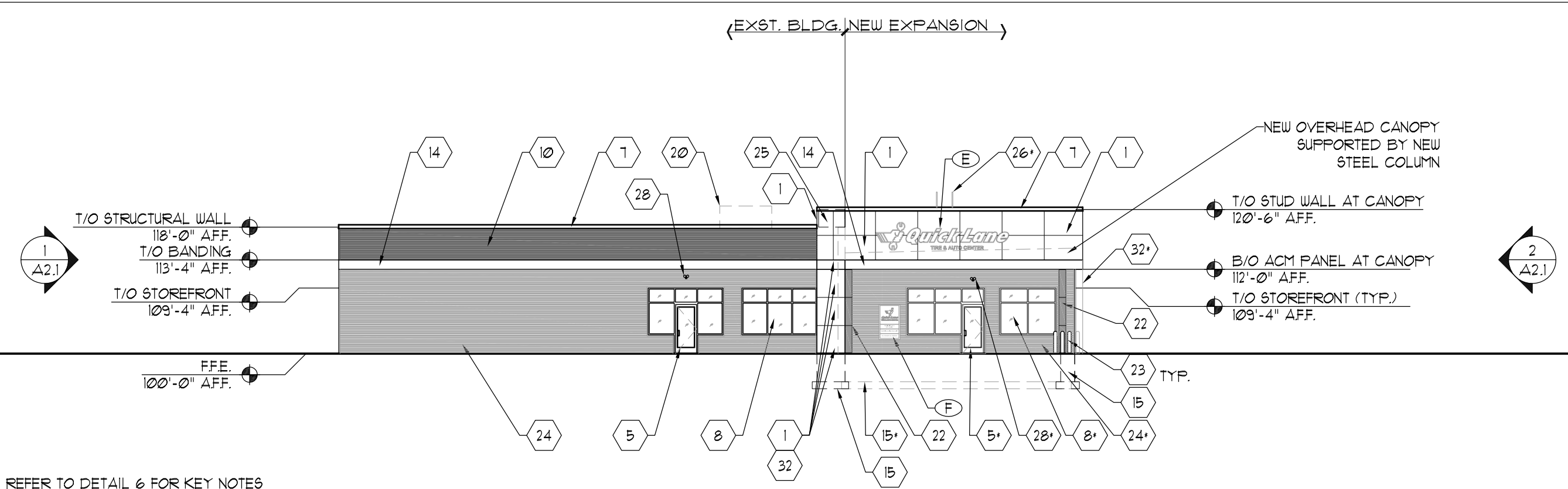
- 9 NEW SMOOTH PAINTED CMU BLOCK SIZE: 16" WIDE x 8" TALL x 12" DEEP. SEE KEY NOTE #1 FOR PAINT.
- 10 PREFINISHED METAL WALL PANEL:
• ALCOA REYNOLUX
• COLOR: SLATE GRAY RLSG
• TYPE: 12 RIB SIDING
- 11 BUILDING ELEMENT.
- 12 EXISTING WINDOW / DOOR / OVERHEAD DOOR:
• REPAIR AS NEEDED
• PREP NEW PAINT
• COLOR: GRANITE GREY, OONN 31 / 000
• ORDER * A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
• CONFIRM WITH OWNER EXTENT OF REPAIR
- 13 EXISTING WALL AREA:
• REPAIR AS NEEDED
• PREP NEW PAINT
• UNIVERSAL GREY, OONN 62 / 000 ORDER * A2004
• MANUFACTURER: GLIDDEN PROFESSIONAL
- 14 16" TALL PREFINISHED METAL BAND TO MATCH AGI SIGNBAND COLOR (TYP.) ALL SIGNAGE DETAILS BY AGI, APPROX. SW 6643 - TANGO
- 15 NEW CONCRETE FOOTING AND FOUNDATION TO SUPPORT NEW CONSTRUCTION. SEE STRUCTURAL DRAWINGS FOR ALL DETAILS. (TYP.)
- 16 EXISTING WALL AREA:
• REPAIR AS NEEDED
• PREP NEW PAINT
• COLOR: QUANTLET GREY SW-7019
• MANUFACTURER: SHERWIN WILLIAMS
- 17 EXISTING WALL AREA:
• REPAIR AS NEEDED
• PREP NEW PAINT
• COLOR: MINDFUL GRAY SW-7016
• MANUFACTURER: SHERWIN WILLIAMS
- 18 WALL AREA WITH NEW 16" PAINTED BAND:
• REPAIR AS NEEDED, IF NOT NEW
• PREP NEW PAINT
• COLOR: TO MATCH KEY NOTE #4
• MANUFACTURER: SHERWIN WILLIAMS
- 19 NEW SMOOTH PAINTED CMU BLOCK SIZE: 16" WIDE x 8" TALL x 12" DEEP. SEE KEY NOTE #6 FOR PAINT.
- 20 EXISTING ROOF TOP UNIT / HVAC

- 21 NEW STORAGE ENCLOSURE:
• POLY WOOD SOLID FENCE BOARD FOR GATE ON GLAZED STEEL FRAME FOR TRASH ENCLOSURE
• COLOR: MINDFUL GRAY SW-7016
• WOOD GRAIN TEXTURE
• CMU - SEE KEY NOTE #9
• STEEL BOLLARDS
• COLOR: MINDFUL GRAY SW-7016
- 22 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL:
• DRY JOINT SYSTEM
• COLOR: MICA M2G GREY (4"MM4HLZ) OR FORD APPROVED EQUAL
• THIS IS A SURROUND AROUND THE STEEL COLUMN FOR THE OVERHEAD CANOPY.
- 23 STEEL BOLLARD - PAINTED 9M TO SURROUNDING METAL PANEL
- 24 PREFINISHED METAL WALL PANEL:
• ALCOA REYNOLUX
• COLOR: CASTLE GRAY
• TYPE: 12 RIB SIDING
- 25 EXTEND WALL HEIGHT WITH NEW STEEL STUD "KNEE" WALL (APPROX. 20') ON TOP OF EXISTING WALL. R/T BLDG. SECTIONS FOR REFERENCE AND STRUCTURAL DUGS FOR ALL DETAILS.
- 26 PROVIDE GALVANIZED STEEL WALL LADDER PER IFC (M) 3066
- 27 EXPOSED ROOF MEMBRANE
- 28 NEW EXTERIOR WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE (TYP.) AT EXIT DOOR MUST HAVE A 90 MINUTE BATTERY BACK-UP.
- 29 PROVIDE (42" HIGH) GALVANIZED STEEL GUARD RAIL PER IFC (M) 3066
- 30 EXISTING WINDOW / DOOR / OVERHEAD PAINTED MINDFUL GRAY (SW 7016)
- 31 NEW PREFINISHED METAL COPING SYSTEM. COLOR & FINISH MATCHED TO KEY NOTE #10
• PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 32 PROVIDE AN ADDITIONAL 8" STUD TO CREATE AN ACM WALL PILASTER. WHEN ADDED TO EXST. CMU WALL ADD A 1" AIR SPACE FOR STAND-OFF ATTACHMENT.

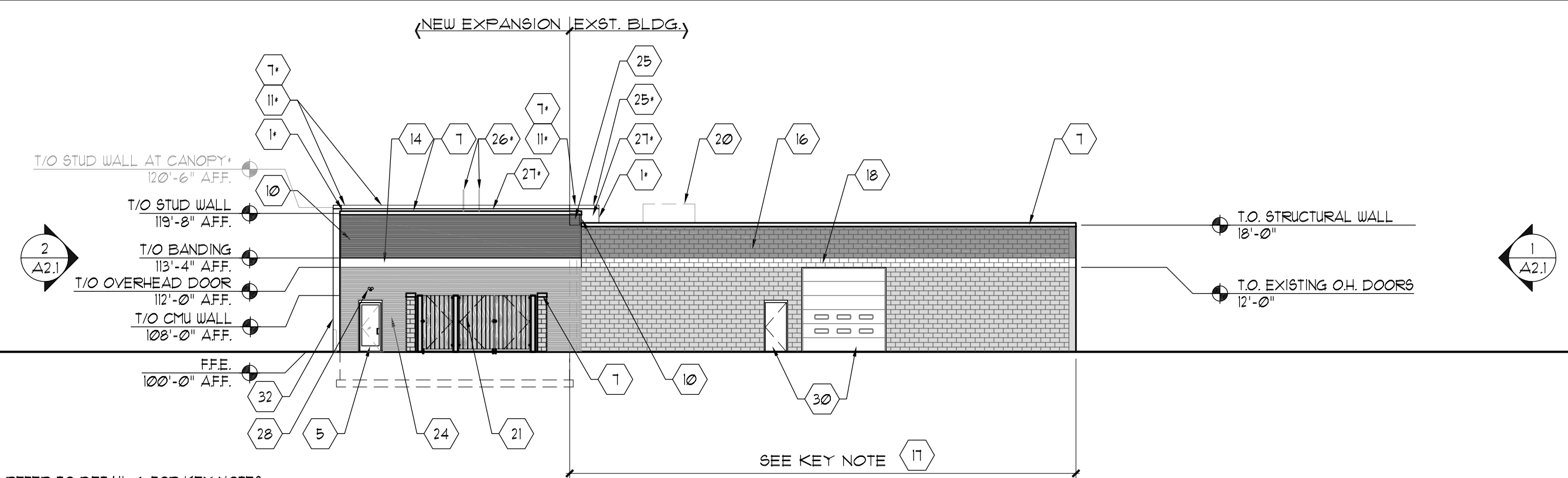
GENERAL SIGNAGE NOTE:
REFER TO FORD MOTOR COMPANY RETAIL IDENTIFICATION PROGRAM AT WWW.FORDTRUSTMARKDESIGN.COM FOR ADDITIONAL INFORMATION. ALL SIGNAGE PROVIDED & INSTALLED BY "AGI" (888) 856-1880

A) 31 SF. FORD "OVAL" SIGN
B) 39" HIGH "HILLER" DEALER NAME LETTERS
C) 21 SF. FORD "OVAL" SIGN
D) 19" HIGH "SERVICE" SIGN LETTERS
E) QL 2230 FASCIA SIGN: 3'-0" HAND SYMBOL ILLUM. QL 2420 FASCIA SIGN: 2'-0" WORDMARK ILLUM. QL 2420 FASCIA SIGN: 6" TIRE & AUTO CENTER NON ILLUM.
F) HOURS SIGN PLAQUE

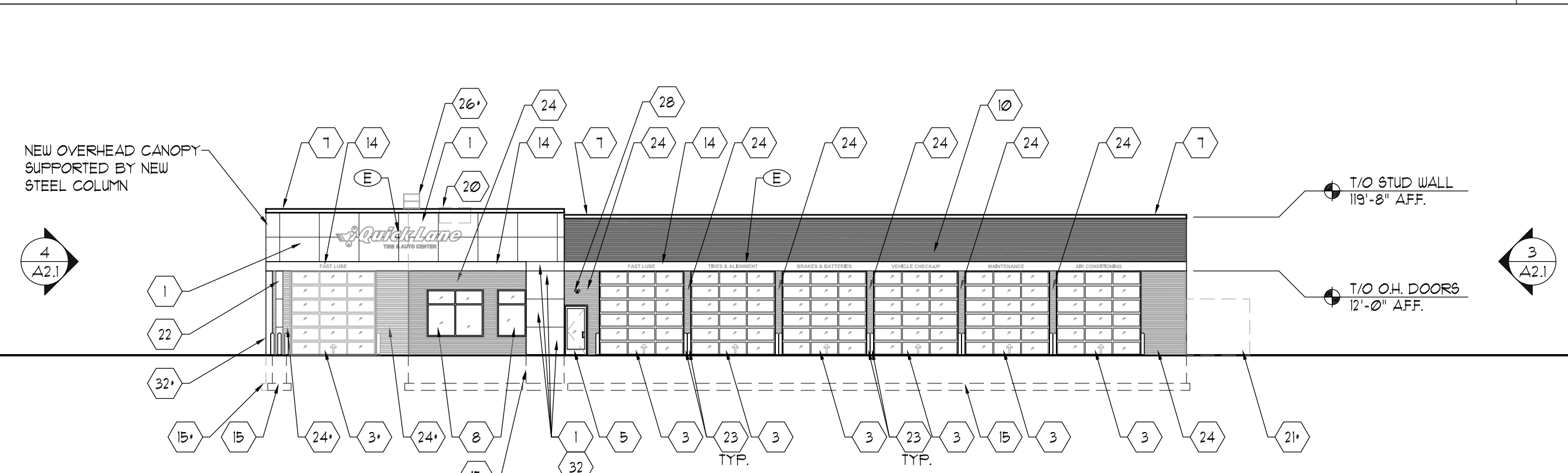
SIGNAGE NOTE:
SIGNS WILL NOT BE SHOWN WITH COLOR ON COLORED DRAWINGS



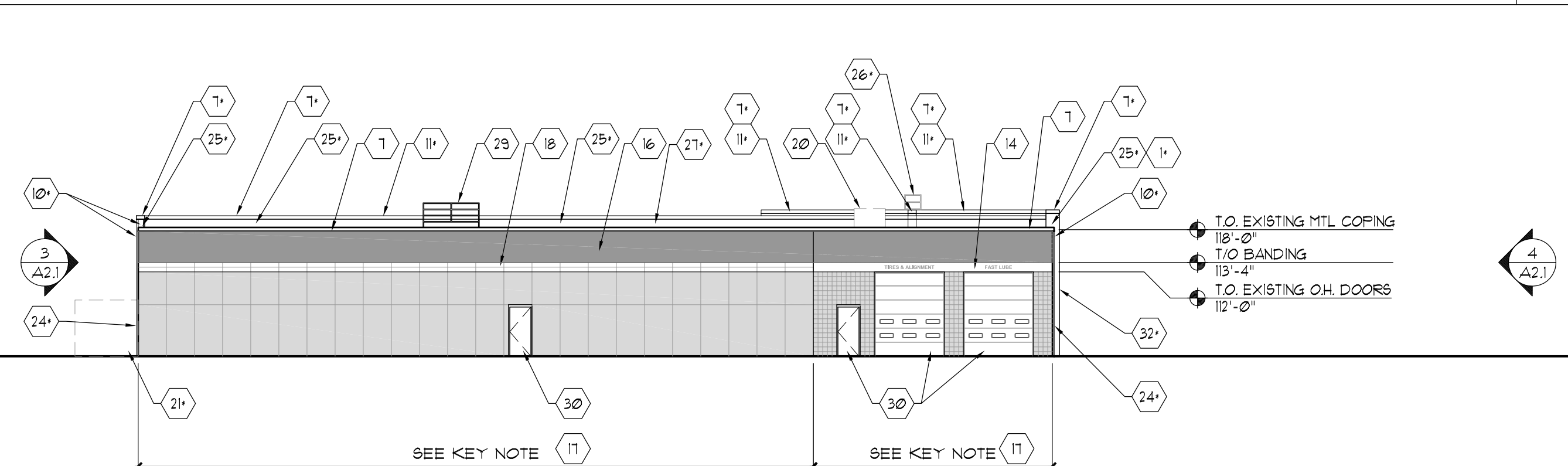
EAST ELEVATION
SCALE: 1/16" = 1'-0"
4



WEST ELEVATION
SCALE: 1/16" = 1'-0"
3



NORTH ELEVATION
SCALE: 1/16" = 1'-0"
2



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"
1

KEY NOTES
SCALE: 1/16" = 1'-0"
6

NOT USED
SCALE: N/A
5

FULL SIZE PRINT = 24" x 36" SHEET

DO NOT SCALE THESE DRAWINGS

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- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY

NOT FOR CONSTRUCTION

BUILDING MATERIAL KEY LEGEND
(-) MATERIAL - BEYOND

- 1 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL
• DRY JOINT SYSTEM
• COLOR: ALPOLIC HAIRLINE ALUMINUM (4" M4HLZ) OR FORD APPROVED EQUAL
- 2 PREFINISHED ALUMINUM OVERHEAD DOOR SYSTEM
• 12' WIDE x 12' TALL
• DOOR FRAME COLOR: CLEAR ANODIZED ALUMINUM
• GLASS COLOR: CLEAR GLAZING
• PROVIDE STEEL BOLLARD ON EACH SIDE OF DOOR (TYP.)
- 3 PREFINISHED ALUMINUM CURTAIN WALL SYSTEM
• FRAME COLOR: CLEAR ANODIZED ALUMINUM
• GLASS COLOR: LOW E - CLEAR GLAZING
- 4 NEW PREFINISHED METAL COPING SYSTEM
• COLOR: MATCHED EITHER
• METAL (ACM OR RIBBED) PANEL (BELOW) OR
• PAINTED BLOCK (BELOW)
• PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 5 PREFINISHED ALUMINUM STORE FRONT GLAZING SYSTEM
• FRAME COLOR: CLEAR ANODIZED ALUMINUM
• GLASS COLOR: LOW E - CLEAR GLAZING
- 6 NEW SMOOTH PAINTED CMU BLOCK
SIZE: 16" WIDE x 8" TALL x 12" DEEP.
SEE KEY NOTE #11 FOR PAINT.
- 7 PREFINISHED METAL WALL PANEL
• ALCOA REYNOLUX
• COLOR: SLATE GRAY RLSG
• TYPE: 12 RIB SIDING
- 8 EXISTING WINDOW / DOOR / OVERHEAD DOOR
• REPAIR AS NEEDED
• PREP NEW PAINT
• COLOR: GRANITE GREY, CONN 31 / 000
• ORDER: # A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
• CONFIRM WITH OWNER EXTENT OF REPAIR
- 9 EXISTING WALL AREA
• REPAIR AS NEEDED
• PREP NEW PAINT
• UNIVERSAL GREY, CONN 62 / 000 ORDER: # A2004
• MANUFACTURER: GLIDDEN PROFESSIONAL
- 10 16" TALL PREFINISHED METAL BAND TO MATCH AGI SIGNBAND COLOR (TYP.). ALL SIGNAGE DETAILS BY AGI, APPROX. SW 66493 - TANGO
- 11 EXISTING WALL AREA
• REPAIR AS NEEDED
• PREP NEW PAINT
• COLOR: MINDFUL GRAY SW-1016
• MANUFACTURER: SHERWIN WILLIAMS
- 12 WALL AREA WITH NEW 16" PAINTED BAND
• REPAIR AS NEEDED, IF NOT NEW
• PREP NEW PAINT
• COLOR: TO MATCH KEY NOTE #4
• MANUFACTURER: SHERWIN WILLIAMS
- 13 NEW SMOOTH PAINTED CMU BLOCK
SIZE: 16" WIDE x 8" TALL x 12" DEEP.
SEE KEY NOTE #6 FOR PAINT.
- 14 EXISTING ROOF TOP UNIT / HVAC

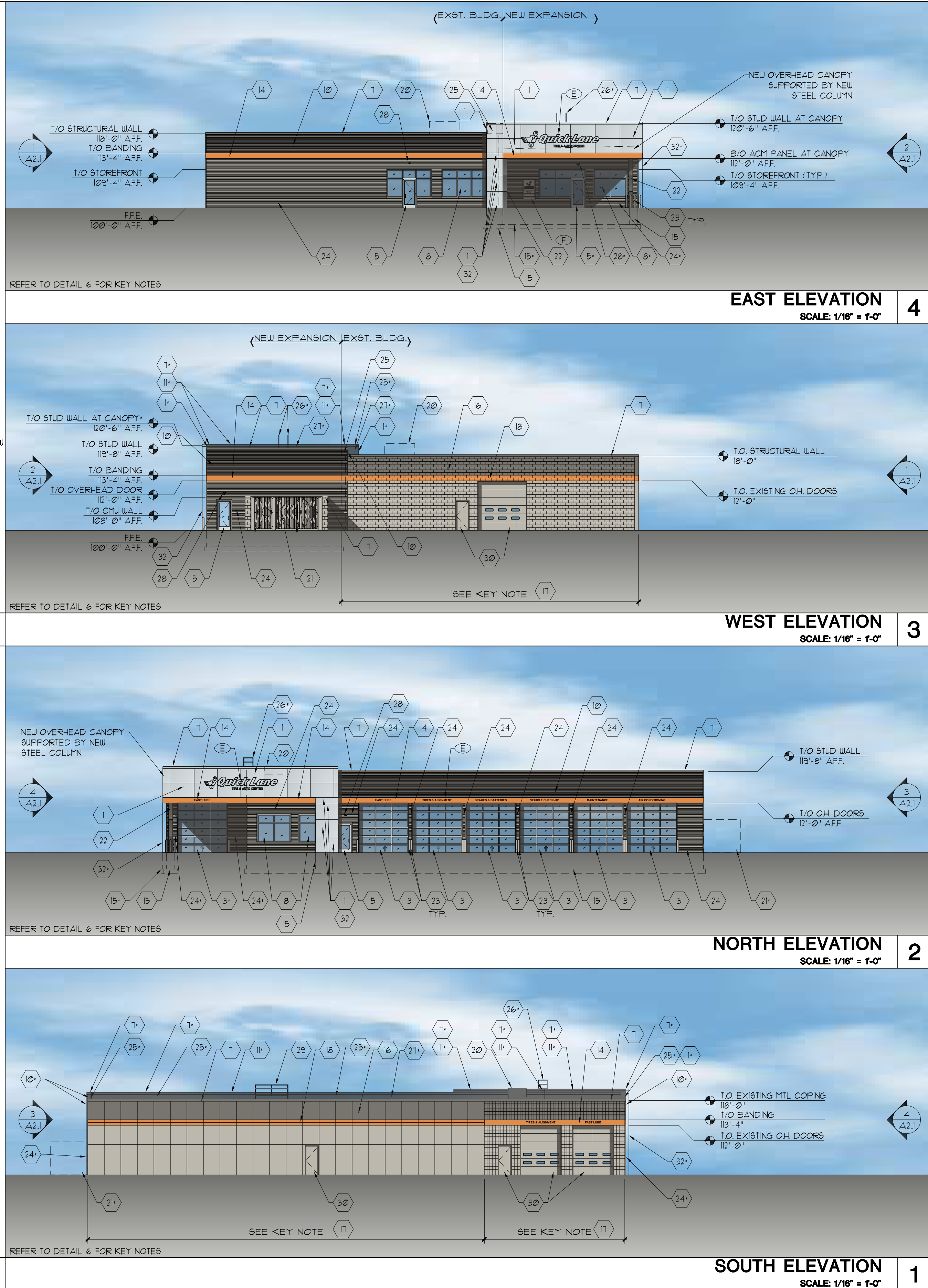
- 15 NEW SMOOTH PAINTED CMU BLOCK
SIZE: 16" WIDE x 8" TALL x 12" DEEP.
SEE KEY NOTE #11 FOR PAINT.
- 16 PREFINISHED METAL WALL PANEL
• ALCOA REYNOLUX
• COLOR: SLATE GRAY RLSG
• TYPE: 12 RIB SIDING
- 17 EXISTING WINDOW / DOOR / OVERHEAD DOOR
• REPAIR AS NEEDED
• PREP NEW PAINT
• COLOR: GRANITE GREY, CONN 31 / 000
• ORDER: # A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
• CONFIRM WITH OWNER EXTENT OF REPAIR
- 18 EXISTING WALL AREA
• REPAIR AS NEEDED
• PREP NEW PAINT
• UNIVERSAL GREY, CONN 62 / 000 ORDER: # A2004
• MANUFACTURER: GLIDDEN PROFESSIONAL
- 19 16" TALL PREFINISHED METAL BAND TO MATCH AGI SIGNBAND COLOR (TYP.). ALL SIGNAGE DETAILS BY AGI, APPROX. SW 66493 - TANGO
- 20 EXISTING WALL AREA
• REPAIR AS NEEDED
• PREP NEW PAINT
• COLOR: MINDFUL GRAY SW-1016
• MANUFACTURER: SHERWIN WILLIAMS
- 21 WALL AREA WITH NEW 16" PAINTED BAND
• REPAIR AS NEEDED, IF NOT NEW
• PREP NEW PAINT
• COLOR: TO MATCH KEY NOTE #4
• MANUFACTURER: SHERWIN WILLIAMS
- 22 NEW SMOOTH PAINTED CMU BLOCK
SIZE: 16" WIDE x 8" TALL x 12" DEEP.
SEE KEY NOTE #6 FOR PAINT.
- 23 EXISTING ROOF TOP UNIT / HVAC

- 24 NEW STORAGE ENCLOSURE
• POLY WOOD SOLID FENCE BOARD FOR GATE ON GLAYD STEEL FRAME FOR TRASH ENCLOSURE
• COLOR: MINDFUL GRAY SW-1016
• WOOD GRAIN TEXTURE
• CMU - SEE KEY NOTE #3
• STEEL BOLLARDS
• COLOR: MINDFUL GRAY SW-1016
- 25 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL
• DRY JOINT SYSTEM
• COLOR: MICA M2G GREY (4" M4HLZ) OR FORD APPROVED EQUAL
• THIS IS A SURROUND AROUND THE STEEL COLUMN FOR THE OVERHEAD CANOPY.
- 26 STEEL BOLLARD - PAINTED 6" TO SURROUNDING METAL PANEL
• PREFINISHED METAL WALL PANEL
• ALCOA REYNOLUX
• COLOR: CASTLE GRAY
• TYPE: 12 RIB SIDING
- 27 EXTEND WALL HEIGHT WITH NEW STEEL STUD "KNEE" WALL (APPROX. 20") ON TOP OF EXISTING WALL. R/T BLDG. SECTIONS FOR REFERENCE AND STRUCTURAL DUGS FOR ALL DETAILS.
- 28 PROVIDE GALVANIZED STEEL WALL LADDER PER IFGC (M) 306.6
- 29 EXPOSED ROOF MEMBRANE
- 30 NEW EXTERIOR WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE (TYP.) AT EXIT DOOR MUST HAVE A 90 MINUTE BATTERY BACK-UP.
- 31 PROVIDE (42" HIGH) GALVANIZED STEEL GUARD RAIL PER IFGC (M) 306.6
- 32 EXISTING WINDOW / DOOR / OVERHEAD PAINTED MINDFUL GRAY (SW 1016)
- 33 NEW PREFINISHED METAL COPING SYSTEM
COLOR & FINISH MATCHED TO KEY NOTE #10
• PROVIDE ALL REQUIRED MATERIAL AT REPLACEMENT AREAS TO INSTALL TO LIKE NEW CONDITIONS.
- 34 PROVIDE AN ADDITIONAL 8" STUD TO CREATE AN ACM WALL PILASTER. WHEN ADDED TO EXST. CMU WALL ADD A 1" AIR SPACE FOR STAND-OFF ATTACHMENT.

- GENERAL SIGNAGE NOTE
REFER TO FORD MOTOR COMPANY RETAIL IDENTIFICATION PROGRAM AT WWW.FORDTRUSTMARKDESIGN.COM FOR ADDITIONAL INFORMATION. ALL SIGNAGE PROVIDED & INSTALLED BY "AGI" (888) 856-1880
- A 31 SF FORD "OVAL" SIGN
- B 39" HIGH "HILLER" DEALER NAME LETTERS
- C 21 SF FORD "OVAL" SIGN
- D 19" HIGH "SERVICE" SIGN LETTERS
- E QL 2230 FASCIA SIGN: 3'-0" HAND SYMBOL ILLUM. QL 2420 FASCIA SIGN: 2'-0" WORDMARK ILLUM. QL 2420 FASCIA SIGN: 6" TIRE & AUTO CENTER ILLUM.
- F HOURS SIGN PLAQUE
- SIGNAGE NOTE
SIGNS WILL NOT BE SHOWN WITH COLOR ON COLORED DRAWINGS
- GENERAL NOTE
EXISTING METAL ACCESSORIES ELEMENTS NOT SPECIFICALLY LISTED TO BE (MAY INCLUDE GAS & ELECTRICAL PIPES & BOXES, VENTS, ETC.)
• PREP FOR NEW PAINT, AS ALLOWED AND PAINT.
• COLOR: GRANITE GREY, CONN 31 / 000
• ORDER: # A2005 MANUFACTURER (GLIDDEN PROFESSIONAL)
EXISTING METAL ACCESSORIES ELEMENTS ON THE ROOF, NOT SPECIFICALLY LISTED TO BE (MAY INCLUDE GAS & ELECTRICAL PIPES & BOXES, VENTS, ETC.)
• TO REMAIN "AS IS"
NEW HVAC UNITS ON THE ROOF, AND NOT SCREENED BY NEW CONSTRUCTION ELEMENTS
• TO HAVE NEW PVC RTU SCREEN ELEMENT MOUNTED TO RTU. PVC COLOR TO MATCH ROOF COLOR

ELEVATION MATERIAL KEY LEGEND
SCALE: 1/16" = 1'-0"

NOT USED
SCALE: 1/16" = 1'-0"



DO NOT SCALE THESE DRAWINGS

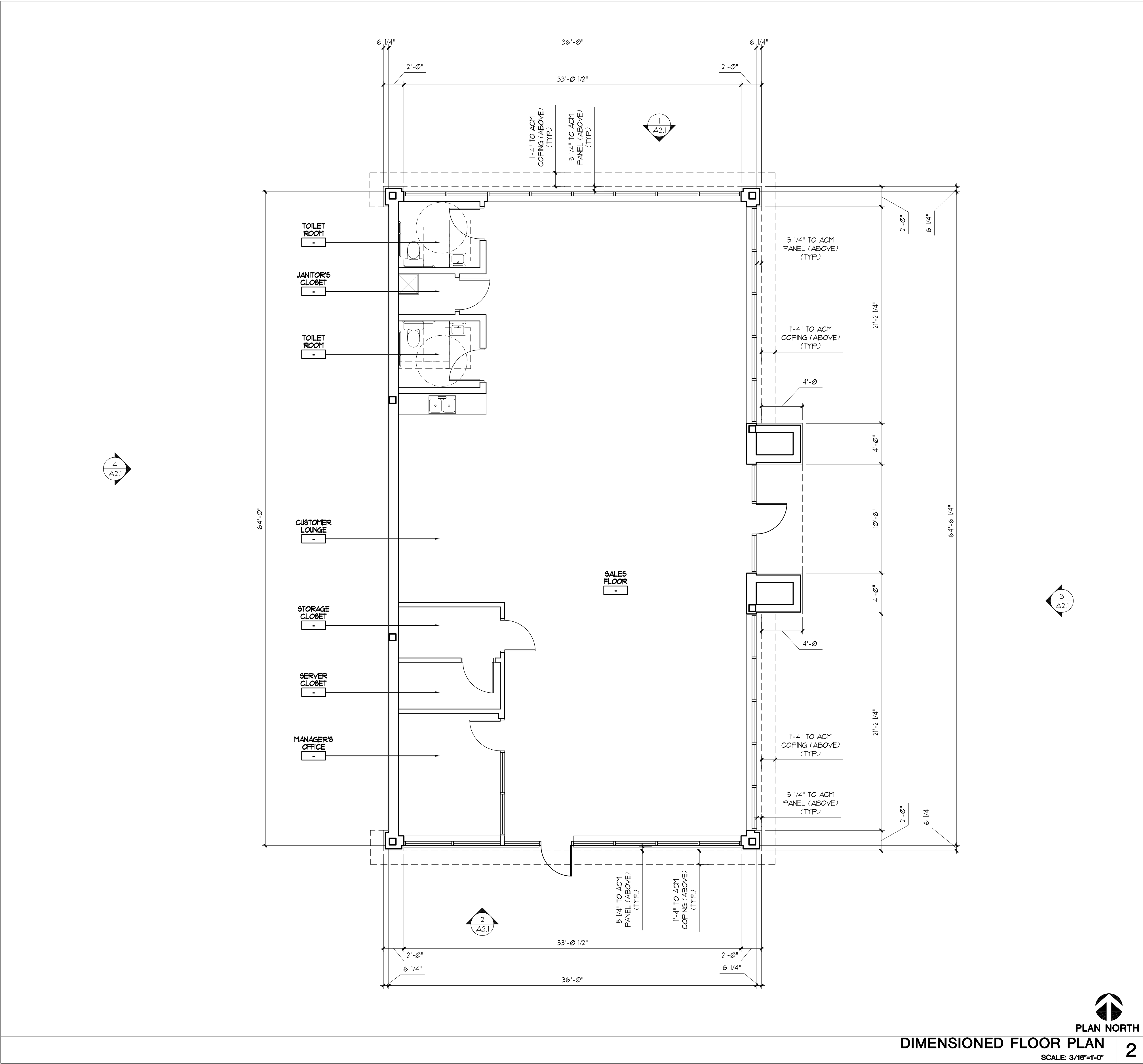
FULL SIZE PRINT = 24" x 36" SHEET

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REV. BY:	DESCRIPTION	REV. DATE	REV. #
WHC	Plan Commission Submission	03/09/15	
Project:			
Hiller Ford Quick Lane Building 6455 South 108th Street Franklin, Wisconsin 53132			
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel: (414) 302-1750 Fax: (414) 302-1751			
Drawing Title: BUILDING ELEVATION COLOR			
Date:	03/09/15	THIS BOX IS 1/2" x 1/2"	
Scale:	A.N.		
Drawn:	WHC		
Job:	14-125		
Sheet:	A2.2		

- PRELIMINARY -
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DIMENSIONED FLOOR PLAN
SCALE: 3/16"=1'-0"

2

NOT USED
SCALE: 3/16"=1'-0"

1

FULL SIZE PRINT = 24" x 36" SHEET

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Drawing Title:
DIMENSIONED FLOOR PLAN

THIS BOX IS 1/2" x 1/2"

Date: 03/09/15
Scale: A.N.
Drawn: WHC
Job: 15-001

Sheet:
A1.1

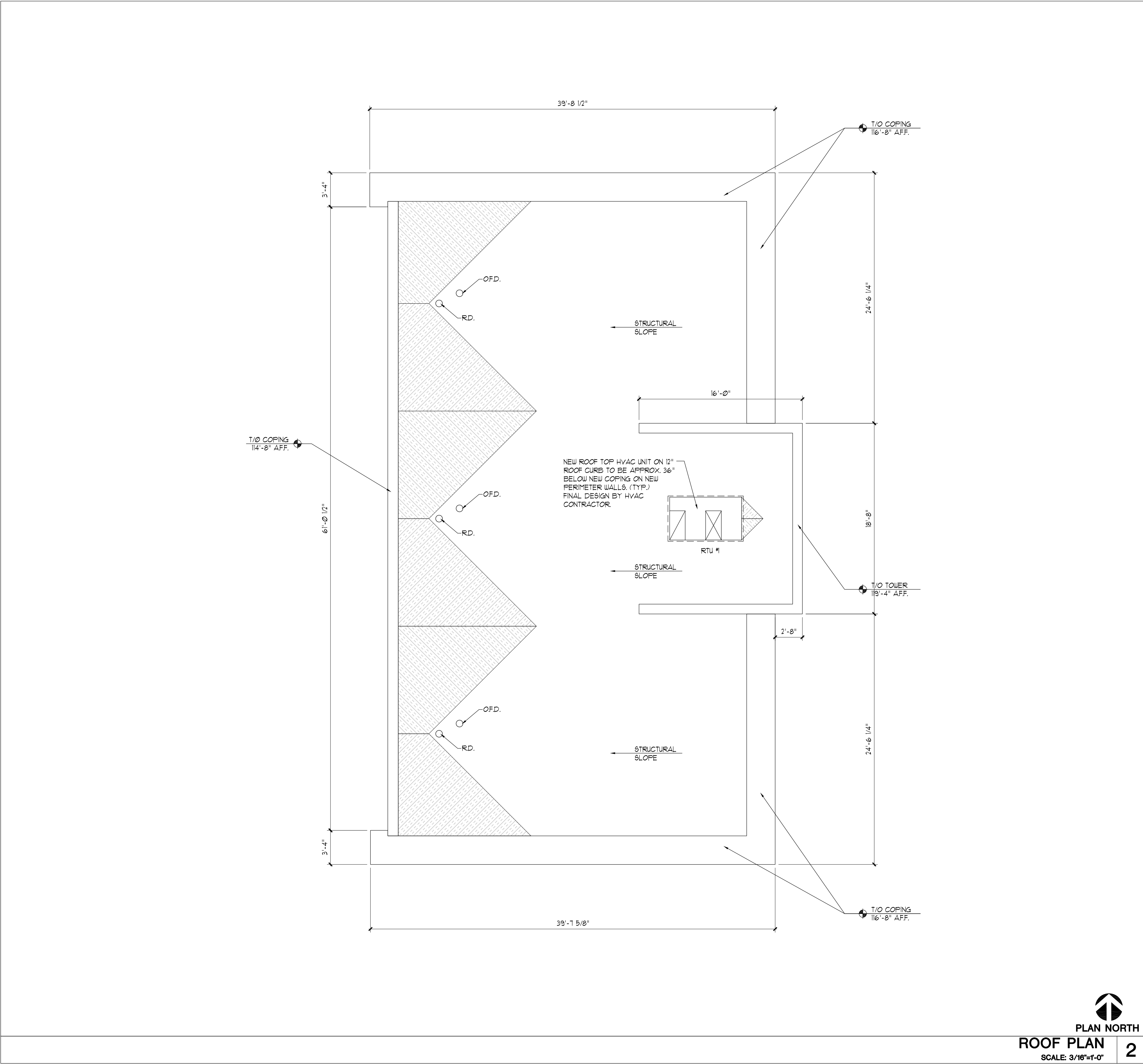
PERSPECTIVE DESIGN, INC.
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Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

Hiller Ford
Used Cars Building
6455 South 108th Street
Franklin, Wisconsin 53132

REV. #	REV. DATE	DESCRIPTION	REV. BY:
03	03/09/15	Plan Commission Submission	WHC

- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY

NOT FOR CONSTRUCTION



ROOF PLAN
SCALE: 3/16"=1'-0"

2

NOT USED
SCALE: 3/16"=1'-0"

1

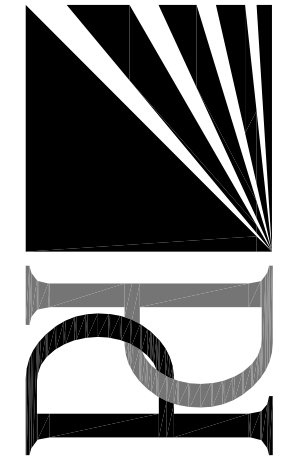
FULL SIZE PRINT = 24" x 36" SHEET

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Drawing Title:
ROOF PLAN

Date: 03/09/15
Scale: A.N.
Drawn: WHC
Job: 15-001

Sheet:
A1.5



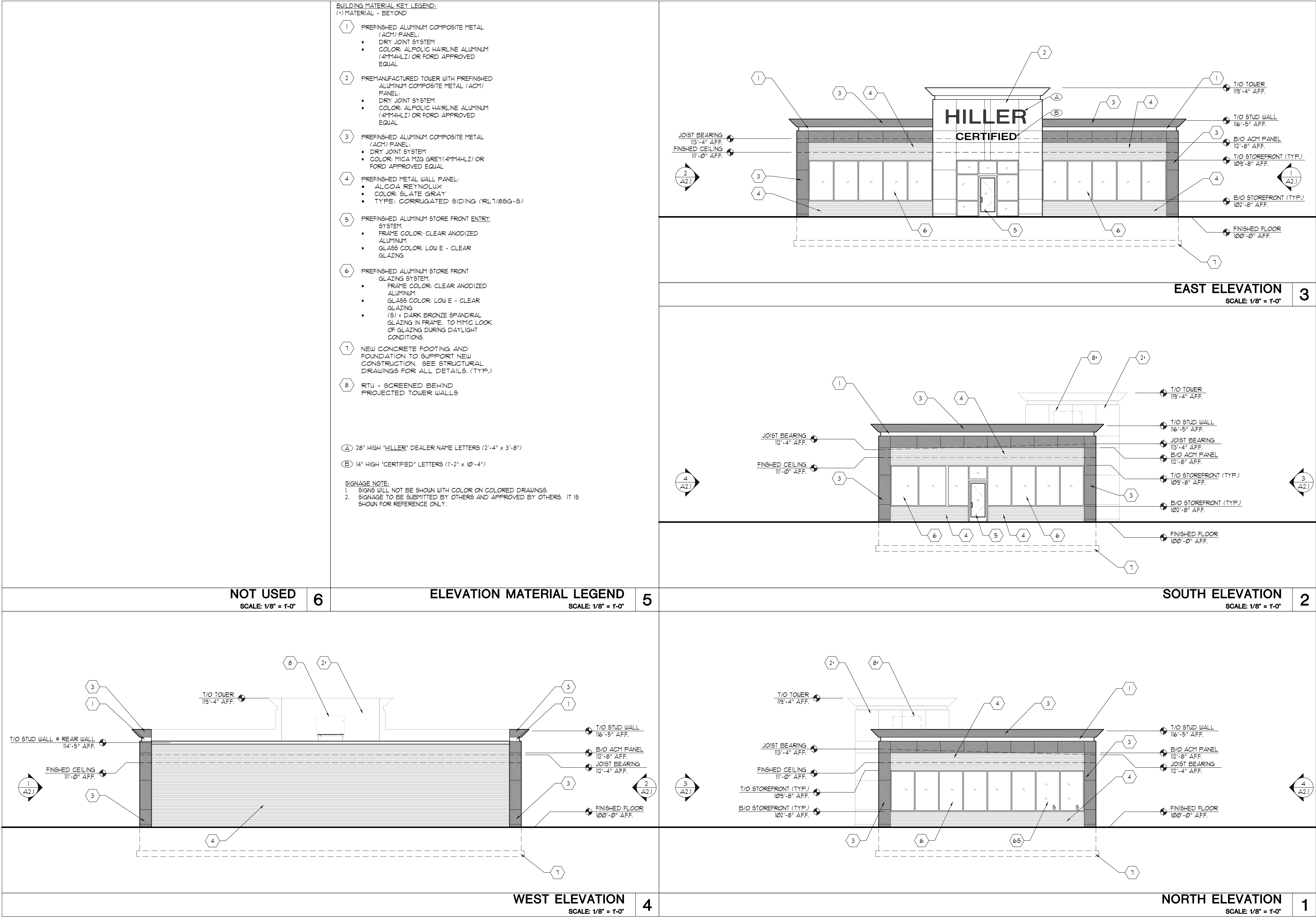
**PERSPECTIVE
DESIGN, INC.**
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

Hiller Ford
Used Cars Building
6455 South 108th Street
Franklin, Wisconsin 53132

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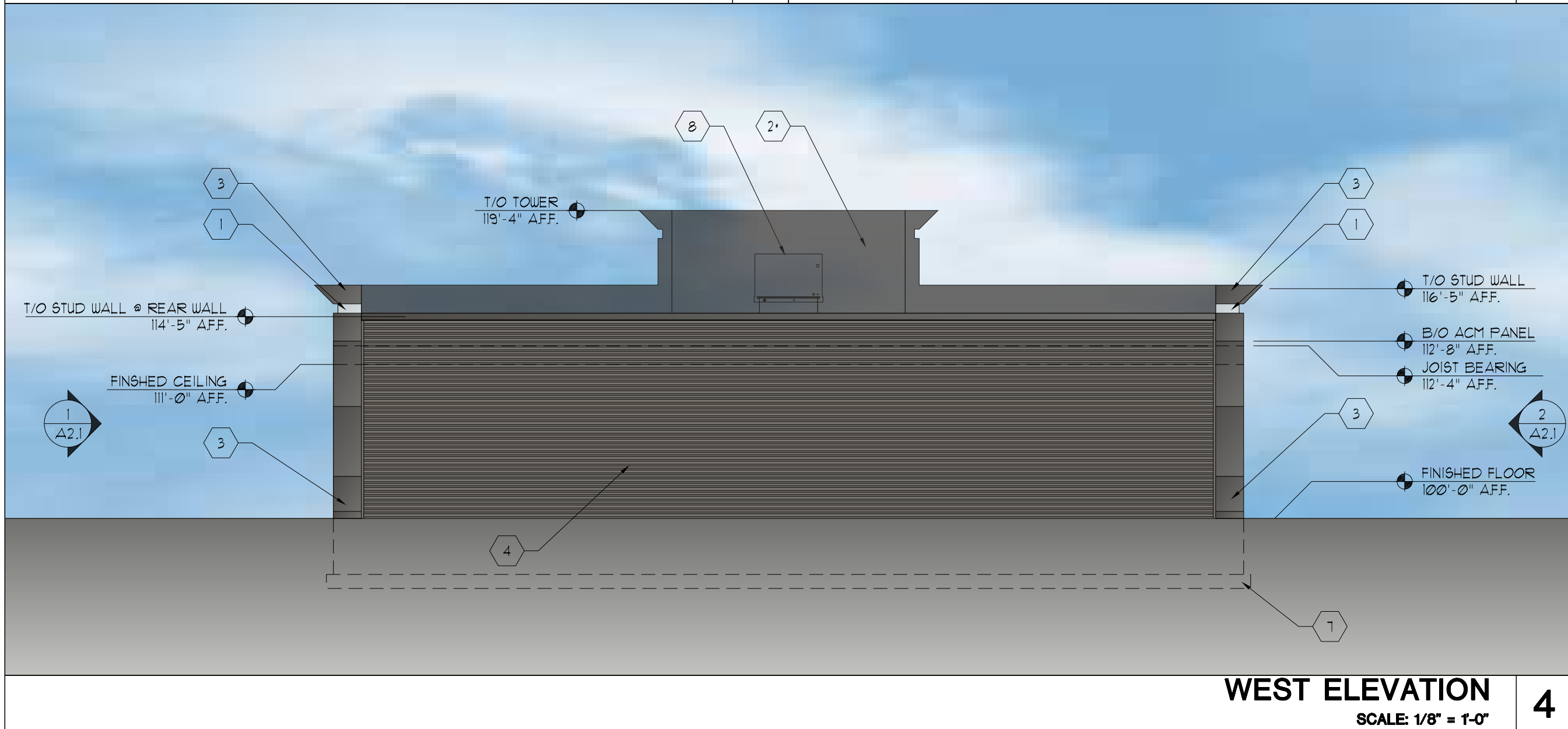
FULL SIZE PRINT = 24" x 36" SHEET

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REV. #	REV. DATE	DESCRIPTION	REV. BY:
1	03/09/15	Plan Commission Submission	WHC
Project:			
Hiller Ford Used Cars Building 6455 South 108th Street Franklin, Wisconsin 53132			
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781			
Drawing Title: BUILDING ELEVATION			
Date: 03/09/15			
Scale: A.N.			
Drawn: WHC			
Job: 15-001			
Sheet: A2.1			

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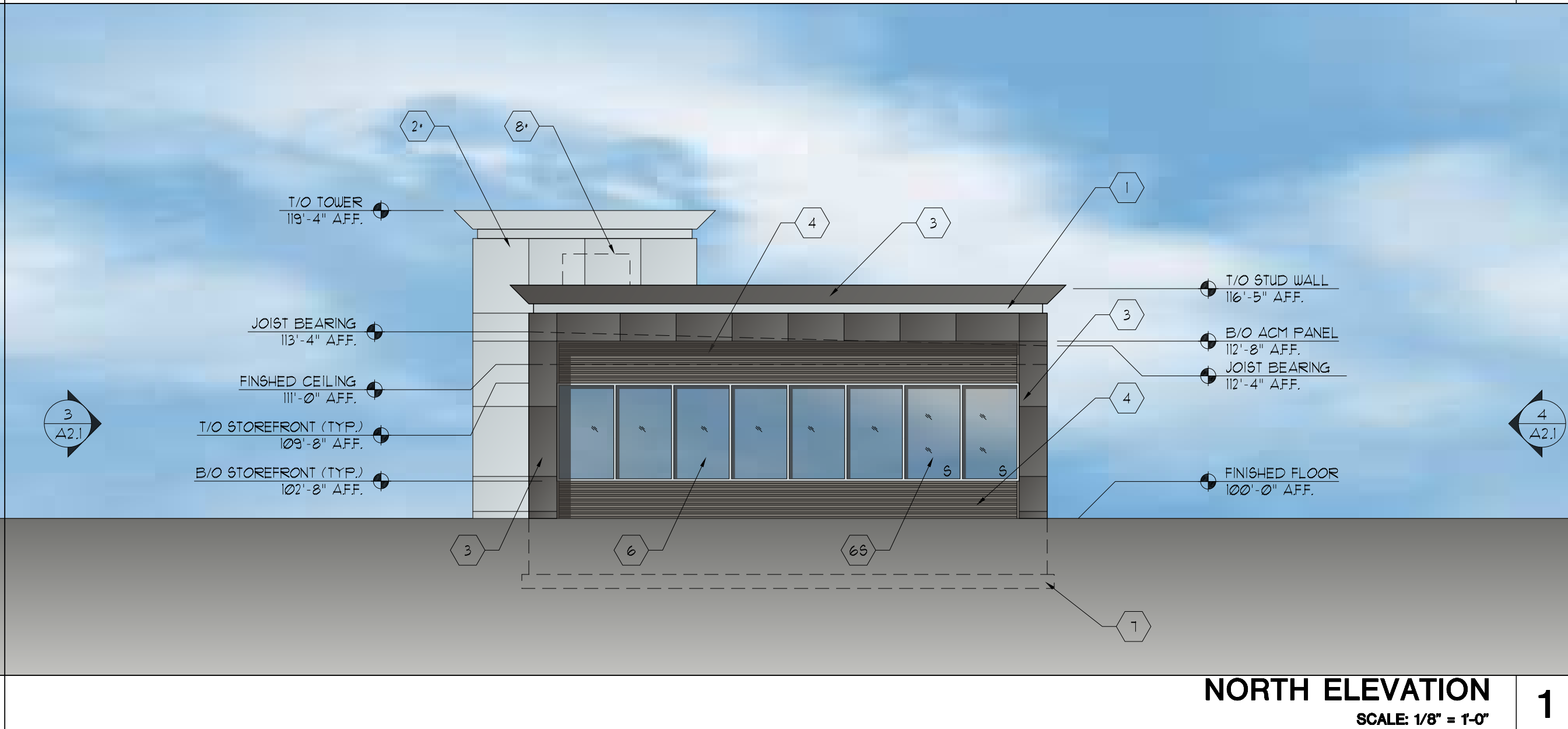
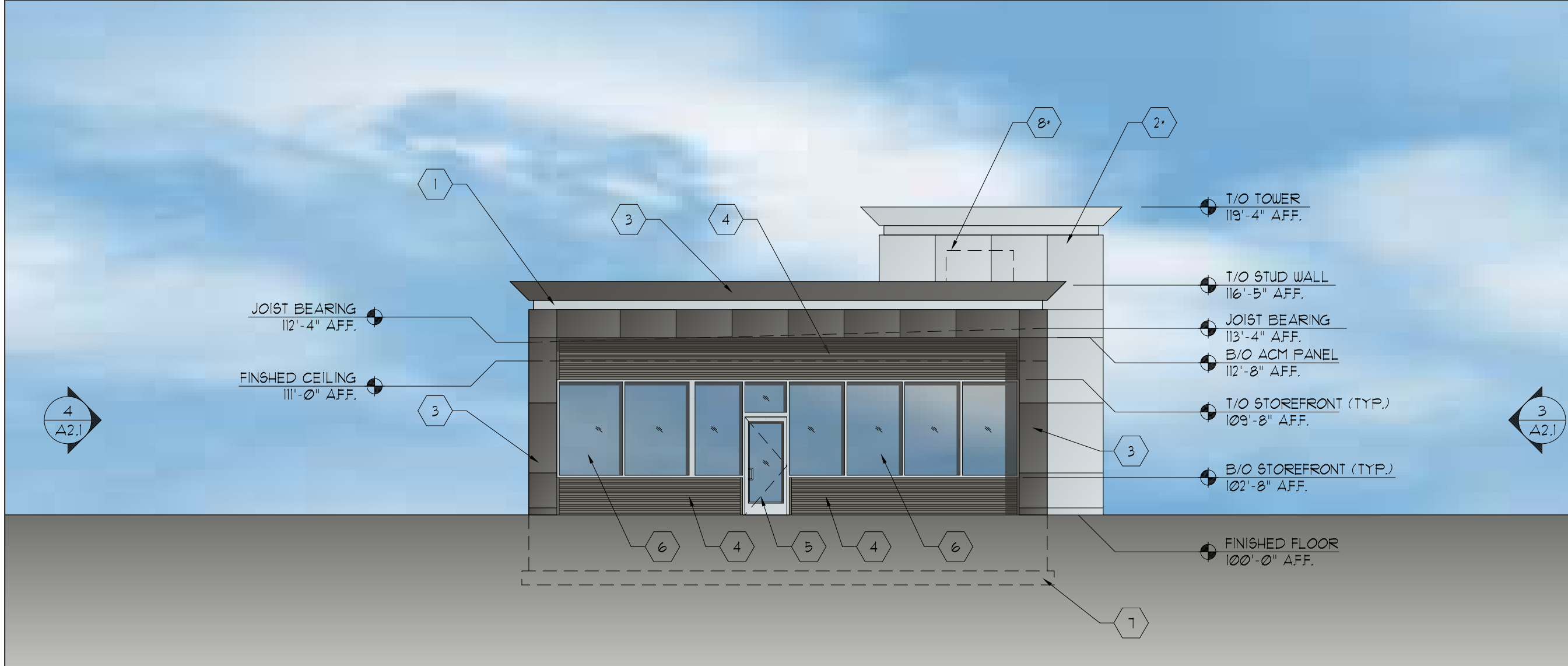
NOT USED
SCALE: 1/8" = 1'-0"

6

ELEVATION MATERIAL LEGEND
SCALE: 1/8" = 1'-0"

5

- BUILDING MATERIAL KEY LEGEND**
(*) MATERIAL - BEYOND
- 1 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL
 - DRY JOINT SYSTEM
 - COLOR: ALPOLIC HAIRLINE ALUMINUM (4M14HLZ) OR FORD APPROVED EQUAL
 - 2 PREFABRICATED TOWER WITH PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL
 - DRY JOINT SYSTEM
 - COLOR: ALPOLIC HAIRLINE ALUMINUM (4M14HLZ) OR FORD APPROVED EQUAL
 - 3 PREFINISHED ALUMINUM COMPOSITE METAL (ACM) PANEL
 - DRY JOINT SYSTEM
 - COLOR: MICAL M30 GREY (4M14HLZ) OR FORD APPROVED EQUAL
 - 4 PREFINISHED METAL WALL PANEL
 - ALCOA RETINOLUX
 - COLOR: SLATE GRAY
 - TYPE: CORRUGATED SIDING (RLT185G-6)
 - 5 PREFINISHED ALUMINUM STORE FRONT ENTRY SYSTEM
 - FRAME COLOR: CLEAR ANODIZED ALUMINUM
 - GLASS COLOR: LOW E - CLEAR GLAZING
 - 6 PREFINISHED ALUMINUM STORE FRONT GLAZING SYSTEM
 - FRAME COLOR: CLEAR ANODIZED ALUMINUM
 - GLASS COLOR: LOW E - CLEAR GLAZING
 - (S) = DARK BRONZE SPANDRAL GLAZING IN FRAME, TO MIMIC LOOK OF GLAZING DURING DAYLIGHT CONDITIONS
 - 7 NEW CONCRETE FOOTING AND FOUNDATION TO SUPPORT NEW CONSTRUCTION. SEE STRUCTURAL DRAWINGS FOR ALL DETAILS. (TYP.)
 - 8 RTU - SCREENED BEHIND PROJECTED TOWER WALLS
- (A) 28" HIGH "HILLER" DEALER NAME LETTERS (2'-4" x 3'-8")
(B) 14" HIGH "CERTIFIED" LETTERS (1'-2" x 10'-4")
- SIGNAGE NOTE**
1. SIGNS WILL NOT BE SHOWN WITH COLOR ON COLORED DRAWINGS.
2. SIGNAGE TO BE SUBMITTED BY OTHERS AND APPROVED BY OTHERS. IT IS SHOWN FOR REFERENCE ONLY.



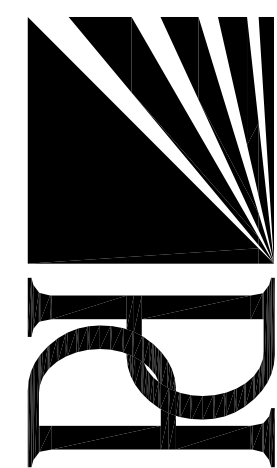
DO NOT SCALE THESE DRAWINGS

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Date: 03/09/15
Scale: A.N.
Drawn: WHC
Job: 15-001
Sheet: **A2.2**

Drawing Title:
**BUILDING
ELEVATION
COLOR**



**PERSPECTIVE
DESIGN, INC.**
11525 W. North Avenue
Wauwatosa, WI 53226
Tel: (414) 302-1750 Fax: (414) 302-1751

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CITY OF FRANKLIN



REPORT TO THE PLAN COMMISSION

Meeting of March 19, 2015

Temporary Use

RECOMMENDATION: City Development Staff recommends approval of the Temporary Use to allow The Home Depot to have outdoor seasonal sales of plant goods and commodity bagged goods from April 17, 2015 through July 15, 2015, upon property located at 6489 South 27th Street, subject to the conditions of approval in the attached resolution.

Project Name:	The Home Depot Temporary Use
Project Address:	6489 South 27th Street
Applicant:	Home Depot U.S.A., Inc.
Zoning:	Planned Development District No. 14
Use of Surrounding Properties:	Multi-Family Residential (north and west) Restaurants and Retail (east) Retail (south)
2025 Comprehensive Plan:	Commercial
Applicant Action Requested:	Approval of the Temporary Use for outdoor seasonal sales of plant goods and commodity bagged goods from April 1, 2015, through July 15, 2015, upon property located at 6489 South 27th Street.

BACKGROUND AND ANALYSIS:

Please note:

- Staff recommendations are underlined, in italics and are included in the draft ordinance.

On April 3, 2014, the Plan Commission granted The Home Depot Temporary Use approval for outdoor seasonal plant sales, upon property located at 6489 South 27th Street. The Plan Commission also granted similar temporary use approvals in 2008, 2009, 2010, 2011, 2012 and 2013.

The applicant has once again submitted an application for a temporary use in Planned Development District (PDD) No. 14 to allow for outdoor seasonal sales of plant goods, and landscape commodity bagged goods. All of the plant goods and commodity bagged goods will be placed within a fenced in corral measuring 120 feet long by 96 feet wide for a total area of 11,520 square feet. The fence will be metal and chain-link in style. The height of the fence will be eight feet which is in conformance with Section 15-3.0803 (C) (2) of the Unified Development Ordinance. The 11,520 square foot corral area is shown on the site plan attached to the letter of intent, City file-stamped March 6, 2015.

PDD No. 14 (Ordinance No. 99-1553) allows for a seasonal display area for outdoor live plant material within a 40,000 square foot area shown on "Exhibit A," with location to be approved on an annual basis by the Plan Commission. Staff finds the location of the proposed outdoor seasonal sales area, as

shown on the site plan, is consistent with the 40,000 square foot area shown on "Exhibit A" of Ordinance No. 99-1553.

Ordinance No. 2005-1858 provides for the administrative issuance of Temporary Use Permits by the Zoning Administrator and designees of the City Planning Department and to further specify the types of and conditions upon temporary uses, which may be permitted. Section 15-3.0804 (A)(4) states that, "Each individual outdoor sales event (up to 4 per year, per property) shall be no longer than 14 consecutive days; provided, however, that the total days of such temporary uses during a calendar year shall not exceed 30 calendar days. Owners must obtain a Temporary Use Permit for each such temporary outdoor sale before the use is permitted." The Home Depot has requested a temporary use lasting longer than 14 consecutive days (106 days total). Therefore, the Department of City Development has referred The Home Depot Temporary Use Application to the Plan Commission.

According to Section 15-3.0804(L) of the City of Franklin Unified Development Ordinance, "Each Temporary Use Permit shall specify the date upon which such use may commence and the date upon which such use shall expire; in no event, except as otherwise specifically and expressly set forth in this Section, shall any temporary use exceed 90 days in duration during any calendar year." *Therefore, Staff recommends the outdoor seasonal tree and shrub sales event start no earlier than April 17, 2015, so the temporary use does not exceed 90 days in duration.*

STAFF RECOMMENDATION:

City Development Staff recommends approval of the Temporary Use to allow The Home Depot to have outdoor seasonal sales of plant goods and commodity bagged goods from April 17, 2015 through July 15, 2015, upon property located at 6489 South 27th Street, subject to the conditions of approval in the attached resolution.