



1

SITE PLAN 6.92 ACRES
SCALE: 1"=200'-0"



MICHAEL ARENSON

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NORTHBROOK, ILLINOIS 60062
847-564-8333 • FAX 847-564-9989

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AUTUMN LEAVES ASSISTED LIVING
FRANKLIN WISCONSIN
PROPOSED SITE PLAN

NO.	DESCRIPTION	DATE
1	Plan Commission	06-31-14
2	Zoning	12-04-14
3	Zoning Reviews	01-14-15

REVISIONS
SIGNATURE

DRAWN BY	APPROVED BY
SW	MCA
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14023	06-16-2014
SHEET NO.	

SD2



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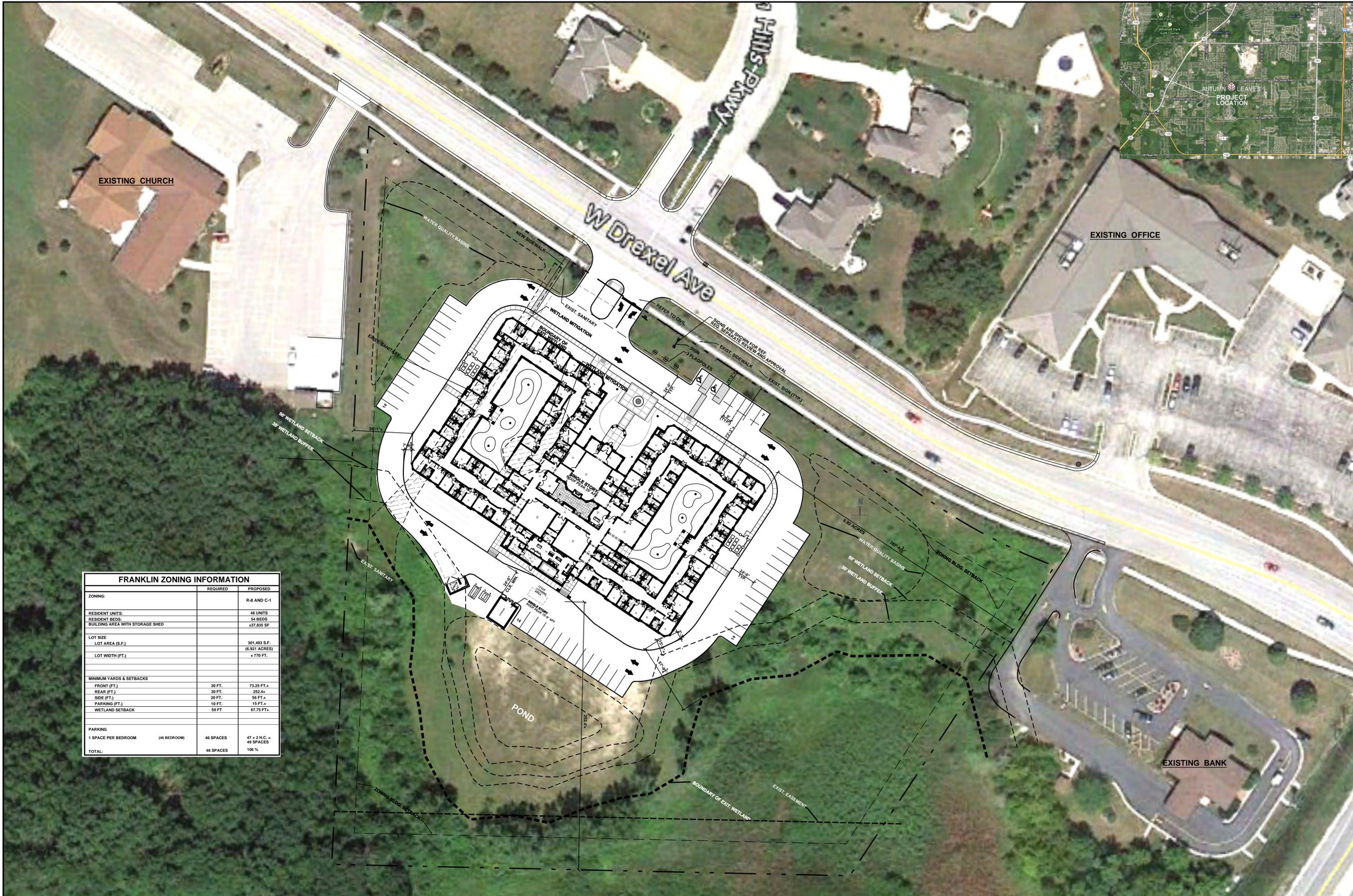


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FRANKLIN WISCONSIN
PROPOSED SITE PLAN



FRANKLIN ZONING INFORMATION		
ZONING:	REQUIRED	PROPOSED
RESIDENT UNITS:		R-8 AND C-1
RESIDENT BEDS:		46 UNITS
BUILDING AREA WITH STORAGE SHED		54 BEDS
		±37,835 SF
LOT SIZE		301,493 S.F.
LOT AREA (S.F.)		(6.921 ACRES)
LOT WIDTH (FT.)		± 770 FT.
MINIMUM YARDS & SETBACKS		
FRONT (FT.)	30 FT.	73.25 FT.±
REAR (FT.)	30 FT.	252.4±
SIDE (FT.)	20 FT.	56 FT.±
PARKING (FT.)	18 FT.	15 FT.±
WETLAND SETBACK	50 FT	67.75 FT.±
PARKING		
1 SPACE PER BEDROOM (46 BEDROOM)	46 SPACES	47 ± 2 H.C. = 49 SPACES
TOTAL:	46 SPACES	106 %

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DRAWN BY: SW
APPROVED BY: MCA
JOB NO.: 14023
DATE: 06-16-2014
SHEET NO.:

SD1
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1 SITE PLAN 6.92 ACRES
SCALE: 1"=40'-0"
0' 5' 10' 30' 60' 120'



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01 FRONT RENDERING
SCALE: NONE



02 FRONT ELEVATION
SCALE: NONE



03 SIDE ELEVATION
SCALE: NONE



04 SIDE ELEVATION
SCALE: NONE



05 REAR ELEVATION
SCALE: NONE



06 ROOF RENDERING
SCALE: NONE

- FIBER CEMENT BD (TYP.)
- ASPHALT SINGLE ROOF (TYP.)
- FACE BRICK VENEER (TYP.)
- STONE VENEER (TYP.)



(3) FLAG POLES



MONUMENTAL SIGN



FENCE



STORAGE SHED



DUMPSTER



GARDEN COURTYARD



FRONT ENTRANCE



LIVING ROOM



COURTYARD



DINING



LIBRARY

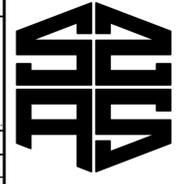
AUTUMN LEAVES ASSISTED LIVING
WISCONSIN
FRANKLIN
TYPICAL BUILDING ELEVATIONS

NO.	DESCRIPTION	DATE
Plan Commission		08-31-14
Zoning		12-04-14
Zoning Reviews		01-14-15

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SIGNATURE

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ELEVS



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AUTUMN LEAVES ASSISTED LIVING WISCONSIN FRANKLIN EXTERIOR ELEVATIONS

NO.	DESCRIPTION	DATE
Plan Commission		06-31-14
Zoning		12-04-14
Zoning Reviews		01-14-15

REVISIONS SIGNATURE

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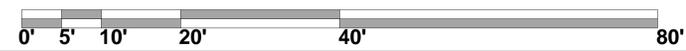
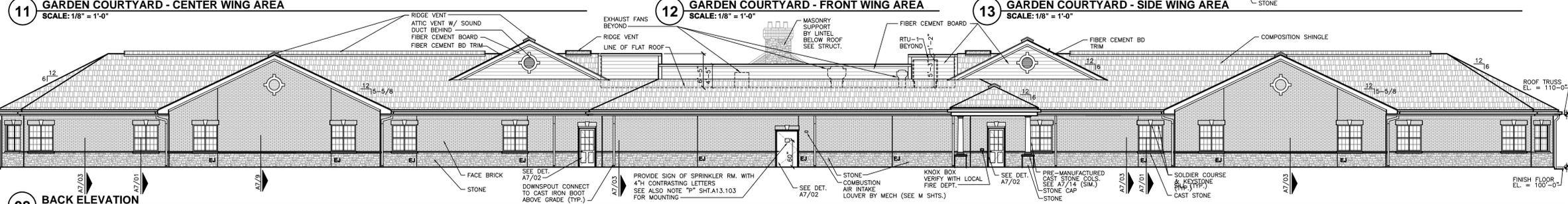
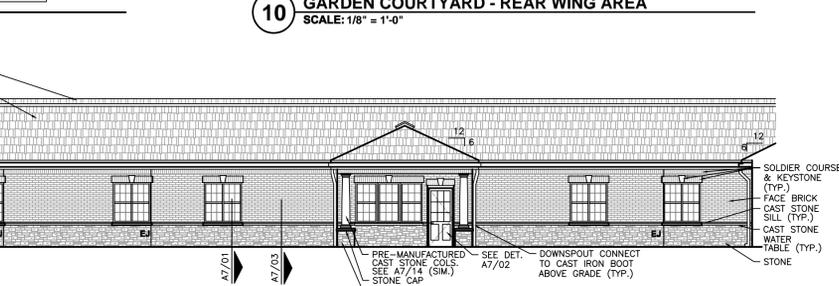
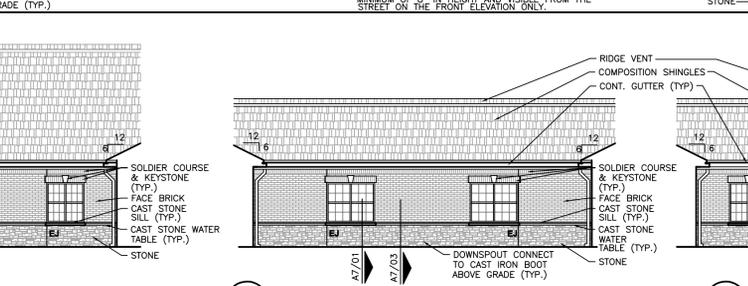
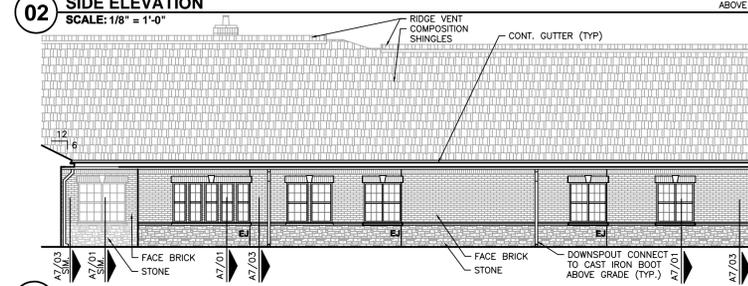
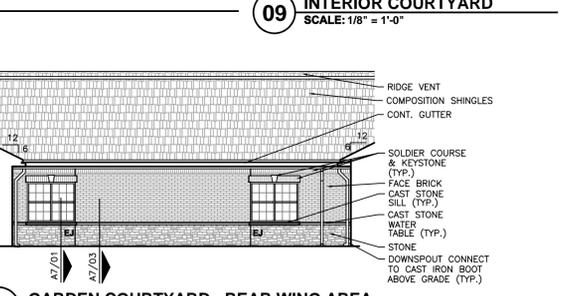
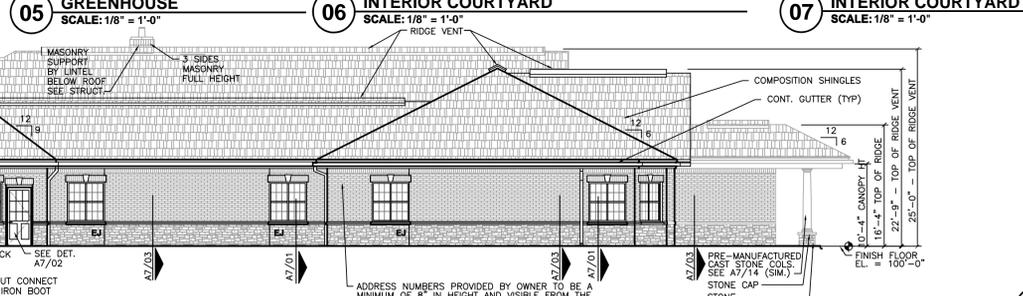
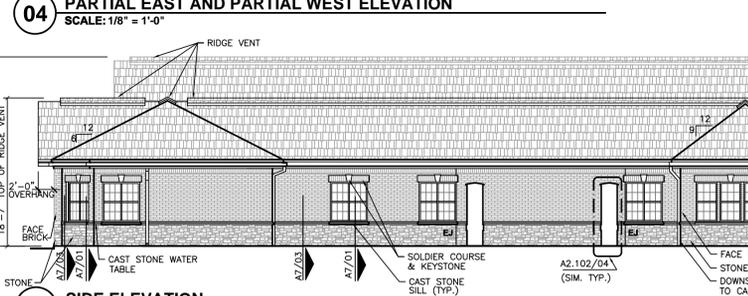
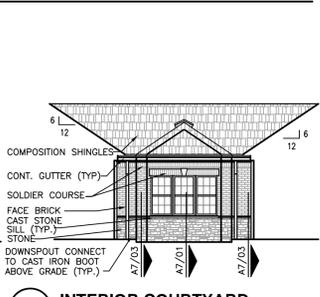
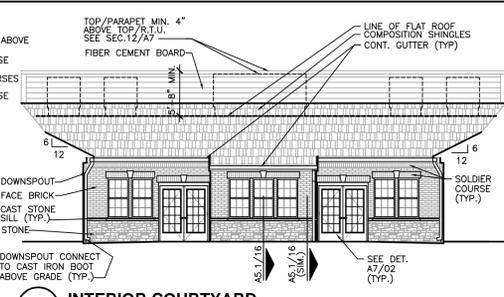
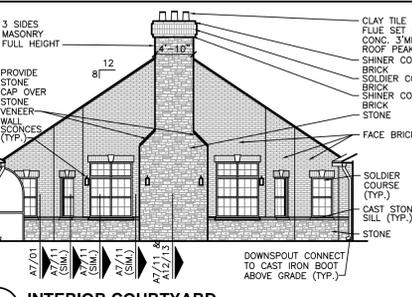
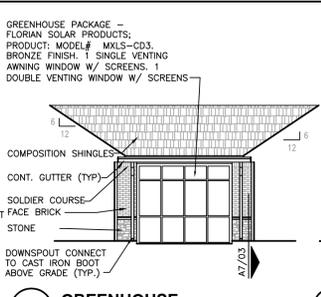
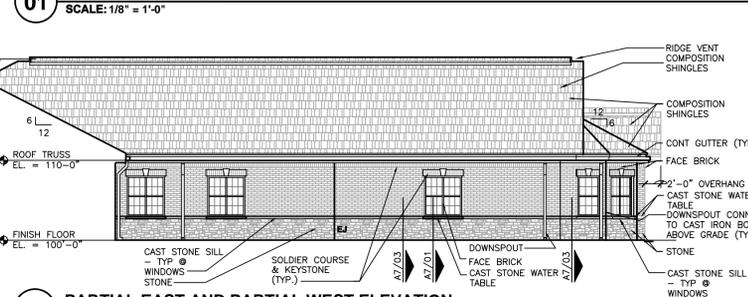
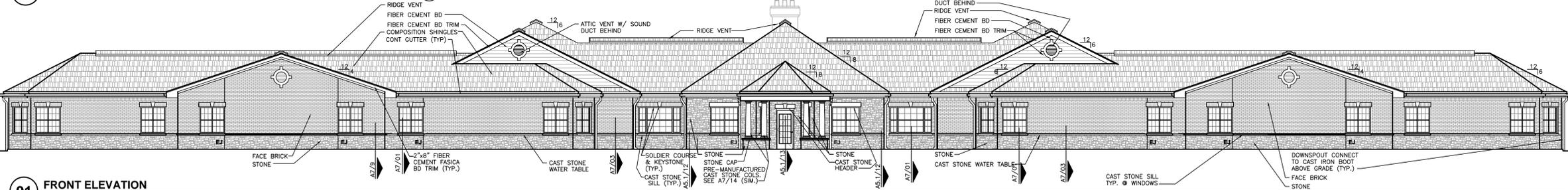
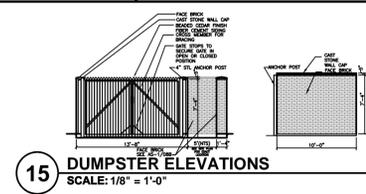
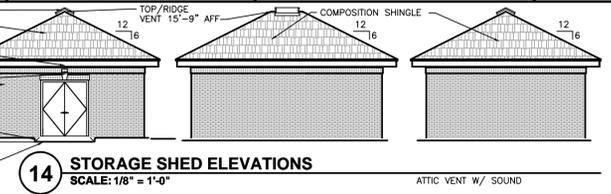
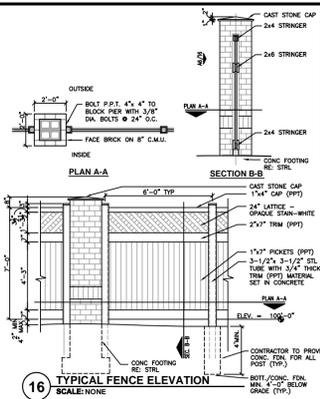
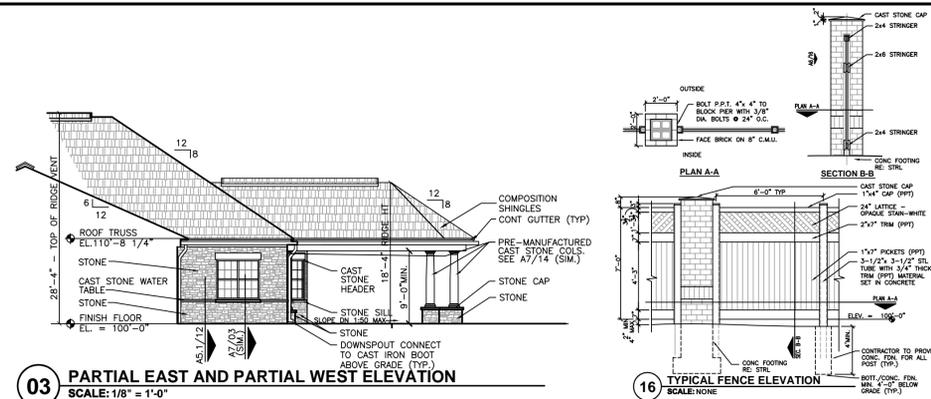
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TYPICAL CONSTRUCTION NOTES			
BRICK VENEER WALL 5/8" EXTERIOR SHEATHING SHALL BE DENSGLASS FIBREGLASS OF EQUAL.	STONE VENEER WALL 5/8" EXTERIOR SHEATHING SHALL BE DENSGLASS FIBREGLASS OF EQUAL.	SLOPED ROOF, ATTIC & CEILING U.L. P923 DESIGN	SOFFIT 5/8" EXTERIOR SHEATHING SHALL BE DENSGLASS FIBREGLASS OF EQUAL.
- FACE BRICK, VENEER - 1 3/4" ± AIR SPACE - TYVEK WRAP - 1-1/2 THERMAX CONT. INSULATION R-7.5 MIN. - 5/8" EXT SHEATHING (NON-COMBUSTIBLE) - 6" LT. GA. STEEL STUDS @ 24" O.C. - R-13 BATT INSULATION IN STUD CAVITY - 6 MIL. POLY. VAPOR BARRIER - 5/8" TYPE X GWB	- STONE VENEER - 1 3/4" ± AIR SPACE - TYVEK WRAP - 1-1/2 THERMAX CONT. INSULATION R-7.5 MIN. - 5/8" EXT SHEATHING (NON-COMBUSTIBLE) - 6" LT. GA. STEEL STUDS @ 24" O.C. - R-13 BATT INSULATION IN STUD CAVITY - 6 MIL. POLY. VAPOR BARRIER - 5/8" TYPE X GWB	- ASPHALT SHINGLES - ICE & WATER SHIELD, MIN. 48" BEY. INT. WALL - ALSO AT TYPICAL EAVES, VALLEYS & HIPS - 5/8" FRTW ROOF DECK - PRE ENGINEERED LT. GA. STEEL TRUSSES - R-13 BATT INSULATION @ BOTTOM CHORDS - 7/8" FURRING CHANNELS - VAPOR BARRIER - 5/8" TYPE X GWB	- PRE ENGINEERED LT. GA. STEEL TRUSSES - 5/8" EXT SHEATHING (NON-COMBUSTIBLE) - FIBER CEMENT BOARD VENTED
THERMOPLASTIC POLYOLEFIN ROOF			
- TPO ROOFING - 3" MIN. RIDG INSULATION BOARD - SLOPED AT 1/4" PER FOOT TO ROOF DRAIN - 5/8" F.R.FLYWD ROOF DECK			

EXTERIOR MATERIAL LEGEND			
	COMPOSITE SHINGLES		FIBER CEMENT BD
	FACE BRICK		MECHANICAL SCREEN
	STONE		

*FINAL COLOR & STYLE TO BE APPROVE BY OWNER

EXTERIOR MATERIAL SCHEDULE			
MATERIAL	MANUFACTURER	NAME	STYLE #
BRICK	ENDCOTT	ADDOBE SANDS	KING SIZE
STONE	FONDU LAC	WHITE COUNTRY SQUIRE	
ROOFING	LEIGHT	WHITE MASONRY	
ROOF	WEATHERLINE	WEATHERED WOOD	SHADOW ACCENT
SOFFIT	VALSPAR	WHITE	
WINDOWS		WHITE	
SILL/CAST STONE	BETTER CAST STONE	#4	
HARDY BOARD	JH SIDING PRODUCTS	BEFORE	
FRONT ENTRANCE DOOR	TW DISTRIBUTION INC	TEXAS STAROVAL PLATINUM	300-845





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**AUTUMN LEAVES
ASSISTED LIVING**
FRANKLIN WISCONSIN
FLOOR PLAN

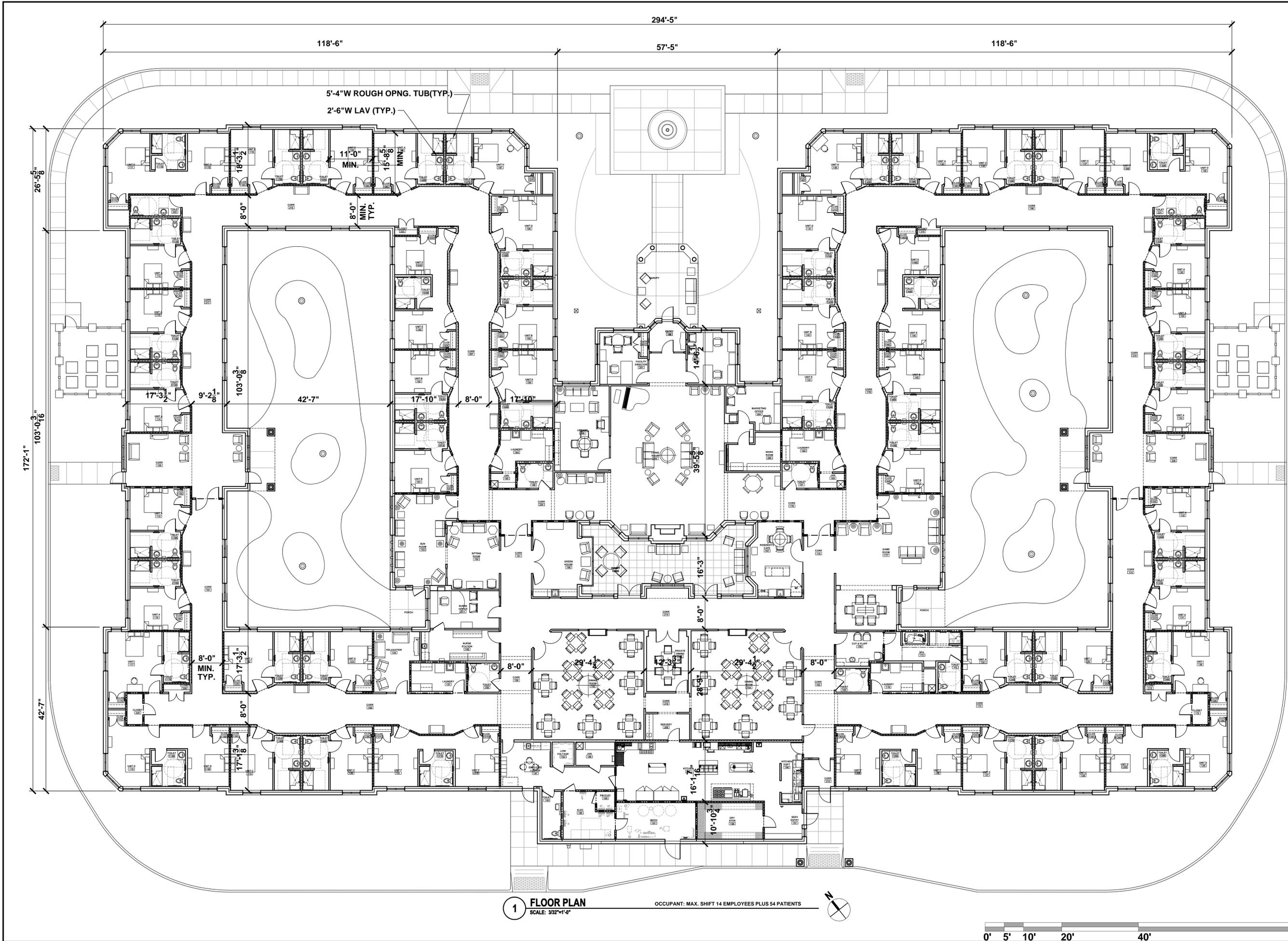
NO.	DESCRIPTION	DATE
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3	Zoning Reviews	01-14-15

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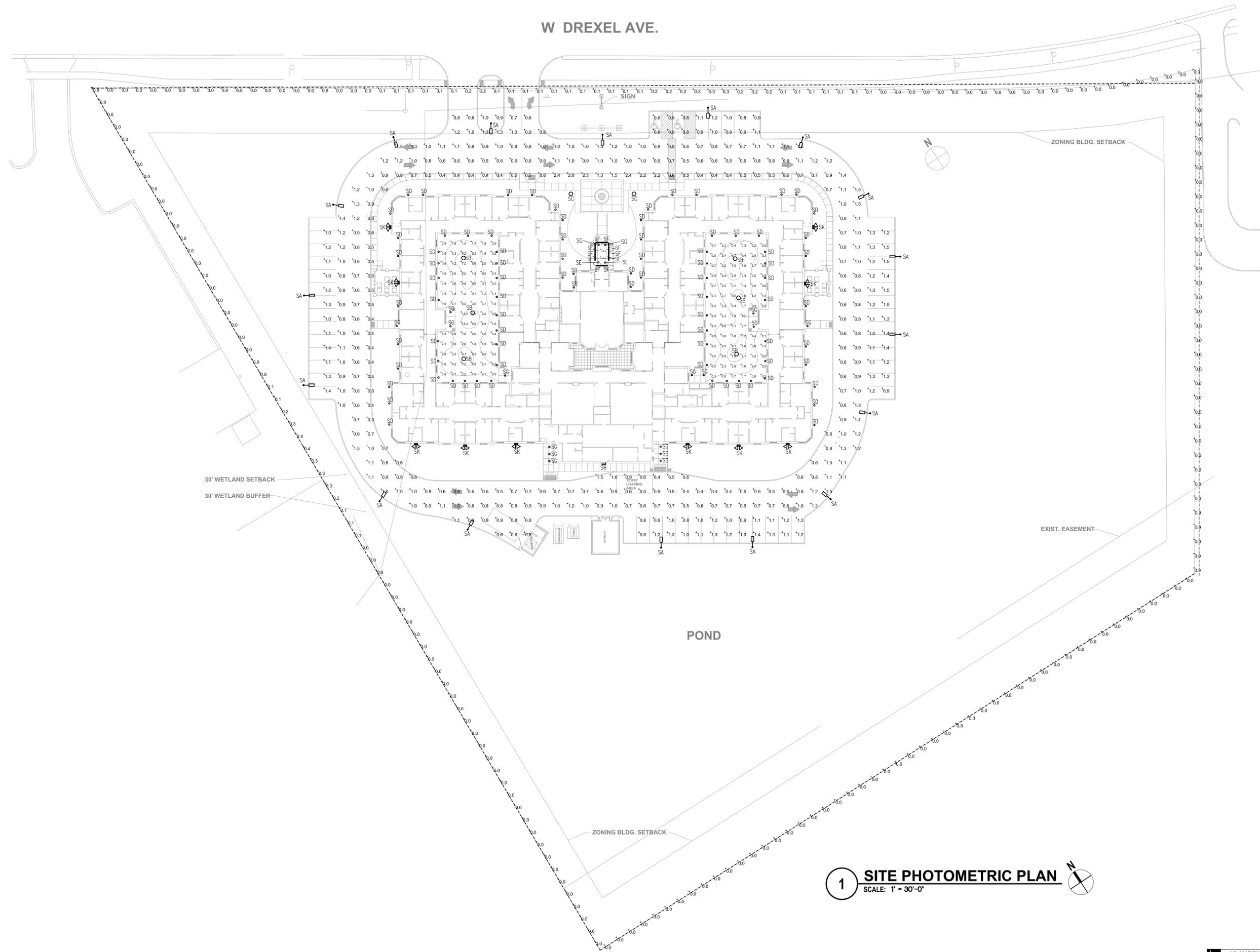
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PLAN

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W DREXEL AVE.



1 SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"



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**AUTUMN LEAVES
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FRANKLIN WISCONSIN
SITE PHOTOMETRIC PLAN

NO.	DESCRIPTION	DATE
1	Plan Commission	06-31-14
2	Issued for Zoning	12-05-14

REVISIONS
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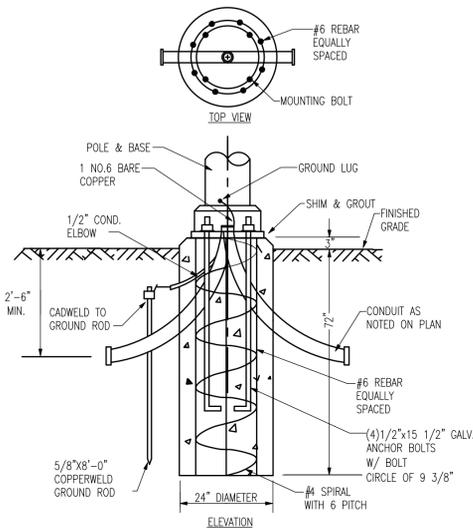
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KLAUCENS & ASSOCIATES, INC.
CONSULTING ENGINEERS
828 ARNOLD LANE
NORTHBROOK, ILLINOIS 60062
847-498-6800

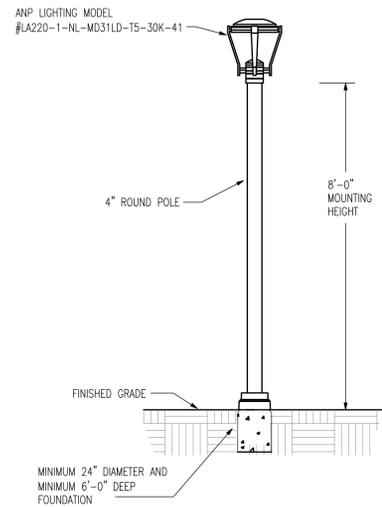
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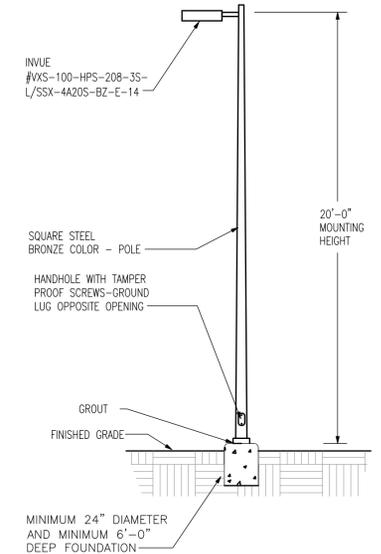
STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BOUNDRY-EAST	+	0.0 fc	0.0 fc	0.0 fc	N / A	N / A
BOUNDRY-NORTH	+	0.0 fc	0.2 fc	0.0 fc	N / A	N / A
BOUNDRY-SOUTH	+	0.0 fc	0.0 fc	0.0 fc	N / A	N / A
BOUNDRY-WEST	+	0.0 fc	0.0 fc	0.0 fc	N / A	N / A
COURTYARD-EAST	+	3.0 fc	10.1 fc	0.3 fc	33.7:1	10.0:1
COURTYARD-WEST	+	2.8 fc	15.3 fc	0.2 fc	76.5:1	14.0:1
ENTRY CANOPY	+	34.8 fc	48.5 fc	20.3 fc	2.4:1	1.7:1
PARKING/DRIVE	+	0.9 fc	6.5 fc	0.4 fc	16.3:1	2.3:1
PROPERTY LINE	+	0.0 fc	0.4 fc	0.0 fc	N / A	N / A



FOUNDATION DETAIL
N.T.S.



TYPICAL FIXTURE DETAIL TYPE "A"
N.T.S.



TYPICAL FIXTURE DETAIL TYPE "A"
N.T.S.

EXTERIOR LIGHT FIXTURE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	Watts
SA	18	VXS-150-HPS-XX-3S-XX-XX-HS	SMALL ARCHITECTURAL AREA LUMINAIRE - TYPE III DISTRIBUTION WITH HOUSE SIDE SHIELD	150 WATT HPS CLEAR ED-17	9500	150	
SB	6	SIG-HR-V-SQ-70HPS	26" DIA. X 36-1/2" HT SIGMA CAST ALUMINUM LUMINAIRE WITH FULL CUTOFF OPTICS; TYPE V-SQ HORIZONTAL SEGMENTED REFLECTOR 14" DIA. CLEAR FLAT TEMPERED GLASS LENS.	70W ED18 CLR HIGH PRESSURE SODIUM	6400	295	
SC	2	SIG-HR-V-SQ-100HPS	26" DIA. X 36-1/2" HT SIGMA CAST ALUMINUM LUMINAIRE WITH FULL CUTOFF OPTICS; TYPE V-SQ HORIZONTAL SEGMENTED REFLECTOR 14" DIA. CLEAR FLAT TEMPERED GLASS LENS.	100W ED18 CLR HIGH PRESSURE SODIUM	9500	295	
SD	86	C3MRWLW	CALCULITE RECESSED ADJUSTABLE ACCENT 3" APERTURE LENSED (WET LOCATION), LAMP AIMED @ 30 DEG.	50W MR 16 G.E. FLOOD 40 DEGREES, 800 LMS	800	50	
SE	2	C4P20GA	CALCULITE RECESSED ADJUSTABLE GLASSLIGHT 4.5" APERTURE LAMP AIMED @ 30 DEG.	50W PAR 20 G.E. NSP 10 DEG., LUMEN RATING = 570 LMS.	570	52	
SF	10	N132-120-EB-NAR-4	DAY-BRITE 4" SMALL CROSS SECTION STRIP W/ASYMMETRICAL STEEL REFLECTOR	F32T8	2900	37	
SG	16	8038-CLW/S8226HUSY-GX24q-3 SOCKET	CALCULITE RECESSED CFL OPEN DOWNLIGHT	(2) GE F26TBX/830/A/ECO	1800	56.3	
SH	1	WTM050SMT-SC2	NITE BRITES WTM/WRM/WBM MEDIUM FULL CUTOFF WALL LIGHT WITH WIDE OPTICS	50WHPS	4000	68	
SJ	10	76-531	NUVO LIGHTING 2-LIGHT 14" SECURITY OUTDOOR FLOOD LIGHTS WITH ADJUSTABLE SWIVEL AND MOTION SENSOR	(2) 45W PAR 38	520	68	

SPECIFICATION SIGMA™

HOUSING
Precision cast aluminum construction. Traditional styling of the housing features decorative accents and flutes with open struts.

LENS ASSEMBLY
Door frame encases 3/16" clear tempered glass lens sealed to door frame with high temperature EPDM gasket for airtight seal. Door frame open via release of one flush mounted lock. Tempered 1/4" thick clear glass lens bolts to door with a weather tight neoprene gasket. Optical chamber is sealed against any of dirt and moisture by a continuous neoprene seal. One-piece casted rectangular 1/2" annealed full glass lens with positioning of future fluting. Positioning of future fluting is available to pole or wall surface.

GLASS LENS
Close call EPDM gasketing compressed between door and housing.

LAMP HOLDER
Porcelain lamp holder is equipped with factory installed quick disconnect plug, and are mounted to a cast brass component cover. Ballast cover disengages from housing and is removable for servicing.

FINISH
Polyester powdercoat incorporates a four-step ion phosphate process to protect metal surface for maximum adhesion. Top coat is baked at 400 degree temperature for maximum hardness and exterior durability.

CONSTRUCTION
The classic form and sophisticated construction of the Sigma luminaire makes it an ideal complement to site design. The combination of smooth exterior and clear lens reveals the fixture's distinctive character from different viewing angles while providing excellent glare-shield performance. All used and CSA certified for use locations.

GENERAL NOTES
1. SIGMA luminaire is available in two sizes: SIGMA1 and SIGMA2. SIGMA1 is 14" high and SIGMA2 is 18" high. SIGMA1 is 14" wide and SIGMA2 is 18" wide. SIGMA1 is 14" deep and SIGMA2 is 18" deep. SIGMA1 is 14" wide and SIGMA2 is 18" wide. SIGMA1 is 14" deep and SIGMA2 is 18" deep. SIGMA1 is 14" wide and SIGMA2 is 18" wide. SIGMA1 is 14" deep and SIGMA2 is 18" deep.

WARRANTY TABLE

Lamp Type	Warranty
High Pressure Sodium (HPS)	5 Year
High Pressure Mercury Vapor (HPMV)	5 Year
High Pressure Sodium (HPS)	5 Year
High Pressure Mercury Vapor (HPMV)	5 Year
High Pressure Sodium (HPS)	5 Year
High Pressure Mercury Vapor (HPMV)	5 Year

Sun Valley Lighting

INVUE™

DESCRIPTION
The classic form and sophisticated construction of the Vision Site Small luminaire makes it an ideal complement to site design. The combination of smooth exterior and clear lens reveals the fixture's distinctive character from different viewing angles while providing excellent glare-shield performance. All used and CSA certified for use locations.

SPECIFICATION FEATURES

Construction
Precision cast aluminum housing, die cast aluminum mounting hardware, a minimum 0.125" wall thickness. Integral round channels along top surface of housing provide heat extraction and prolonged electrical component life. Solid cast wall neoprene rubber gasket from door frame open via release of one flush mounted lock. Tempered 1/4" thick clear glass lens bolts to door with a weather tight neoprene gasket. Optical chamber is sealed against any of dirt and moisture by a continuous neoprene seal. One-piece casted rectangular 1/2" annealed full glass lens with positioning of future fluting. Positioning of future fluting is available to pole or wall surface.

GLASS LENS
Close call EPDM gasketing compressed between door and housing.

LAMP HOLDER
Porcelain lamp holder is equipped with factory installed quick disconnect plug, and are mounted to a cast brass component cover. Ballast cover disengages from housing and is removable for servicing.

FINISH
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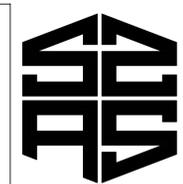
CONSTRUCTION
The classic form and sophisticated construction of the Vision Site Small luminaire makes it an ideal complement to site design. The combination of smooth exterior and clear lens reveals the fixture's distinctive character from different viewing angles while providing excellent glare-shield performance. All used and CSA certified for use locations.

GENERAL NOTES
1. VISION SITE SMALL luminaire is available in two sizes: VISION SITE SMALL and VISION SITE SMALL. VISION SITE SMALL is 14" high and VISION SITE SMALL is 18" high. VISION SITE SMALL is 14" wide and VISION SITE SMALL is 18" wide. VISION SITE SMALL is 14" deep and VISION SITE SMALL is 18" deep. VISION SITE SMALL is 14" wide and VISION SITE SMALL is 18" wide. VISION SITE SMALL is 14" deep and VISION SITE SMALL is 18" deep.

WARRANTY TABLE

Lamp Type	Warranty
High Pressure Sodium (HPS)	5 Year
High Pressure Mercury Vapor (HPMV)	5 Year
High Pressure Sodium (HPS)	5 Year
High Pressure Mercury Vapor (HPMV)	5 Year
High Pressure Sodium (HPS)	5 Year
High Pressure Mercury Vapor (HPMV)	5 Year

Cooper Lighting



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AUTUMN LEAVES ASSISTED LIVING
FRANKLIN WISCONSIN
SITE DETAILS

NO.	DESCRIPTION	DATE
Plan Commission		06-31-14
Issued for Zoning		12-05-14

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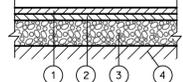
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KLAUCENS & ASSOCIATES, INC.
CONSULTING ENGINEERS
838 ARNOLD LANE
NORTHBROOK, ILLINOIS 60062
847-498-4880

GENERAL NOTES

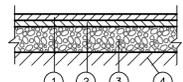
1. REFERENCED CODES
 - A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC), AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS ADOPTED JANUARY 1, 2017 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERE TO AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.
 - B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, PUBLISHED JULY 2009, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.
 - C. ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILLINOIS HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN.
 - D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED PART OF THIS CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
2. UTILITY LOCATIONS
 - A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.
 - B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E., AT 800-892-0123 AND THE MUNICIPALITY, FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.
 - C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
3. UTILITY COORDINATION
 - A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
 - B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSIDERATION OF ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.
 - C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. ATAT SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. ALL OTHER AGENCIES, UNLESS OTHERWISE NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.
4. NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION". PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK. OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
6. UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.
7. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.
8. CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
9. COMMENCING CONSTRUCTION
 - A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST 14 WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER.
 - B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.
11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
14. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.
16. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.
18. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSRBC) ARTICLE 201.05.
19. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
20. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.
21. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

22. GENERAL EXCAVATION/UNDERGROUND NOTES
 - A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL EXCAVATED. MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.
 - B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRINGERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CARRY DOWN SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.
 - C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, SUMPS, SUCTION AND DISCHARGE LINES AND OTHER Dewatering SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.
 - D. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK.
23. FINAL ACCEPTANCE
 - A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE COST OF IMPROVEMENTS.
 - B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
 - C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE. AFTER FORMS HAVE BEEN SET.
 - D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
24. UNDERGROUND NOTES
 - A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.
 - B. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PACKED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.
 - C. ANY Dewatering OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR Dewatering. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
 - D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENT, UTILITIES, DRIVEWAYS, AND SIDEWALKS AND EXTENDING A DISTANCE EQUAL TO A 1:1 SLOPE FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING IDOT CA-6 GRADATION. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSRBC) SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.
 - E. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 8' (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4' ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.
 - F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.
 - G. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.
 - H. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. (FINAL GRADES TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.)
 - I. SLEEVES FOR UTILITY (COMED, TELEPHONE, ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 6" PVC INSTALLED 36" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.
 - J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.
25. IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY, ITS OFFICIALS, CONSULTANTS, NOR ITS EMPLOYEES ARE AGENTS OR REPRESENTATIVES OF THE OWNER. NONE-THE-LESS, THE MUNICIPALITY, ITS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE ACCESS TO ALL PHASES OF ALL WORK PERFORMED ON THE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK AND ASSURE ITS CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK FOR INSPECTORS. "SAFE" MEANING CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECOGNIZED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTIONS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE WORK SO AFFECTED UNTIL SUCH TIME AS CONTRACTOR PROVIDES SAFE ACCESS.



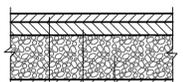
TYPICAL ASPHALT PAVEMENT SECTION (PASSENGER VEHICLE PARKING AREAS)
N.T.S.

- 1 1.5" HMA SURFACE COURSE, MIX "C", N50
- 2 1.5" LEVELING BINDER (MACHINE METHOD), N50
- 3 10" AGGREGATE BASE COURSE, TYPE B
- 4 COMPACTED AND STABLE SUBGRADE



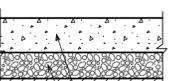
TYPICAL ASPHALT PAVEMENT SECTION (PASSENGER VEHICLE DRIVE AISLES)
N.T.S.

- 1 1.5" HMA SURFACE COURSE, MIX "C", N50
- 2 2.5" HMA BINDER COURSE, IL 19.0, N50
- 3 12" AGGREGATE BASE COURSE, TYPE B
- 4 COMPACTED AND STABLE SUBGRADE



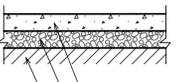
TYPICAL ASPHALT PAVEMENT SECTION (HEAVY DUTY - TRUCK AREAS)
N.T.S.

- 1 1.5" HMA SURFACE COURSE, MIX "C", N50
- 2 3.5" HMA BINDER COURSE, IL 19.0, N50
- 3 12" AGGREGATE BASE COURSE, TYPE B
- 4 COMPACTED AND STABLE SUBGRADE



TYPICAL CONCRETE PAVEMENT SECTION (LOADING DOCK)
N.T.S.

- 1 8" PORTLAND CEMENT CONCRETE
- 2 6" AGGREGATE BASE COURSE, TYPE B
- 3 COMPACTED AND STABLE SUBGRADE



TYPICAL SIDEWALK/PEDESTRIAN PATH SECTION
N.T.S.

- 1 5" PORTLAND CEMENT CONCRETE
- 2 4" AGGREGATE BASE COURSE, TYPE B
- 3 COMPACTED AND STABLE SUBGRADE

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	SANITARY TRUNK SEWER	
	WATER MAIN (WITH SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	PIPE REDUCER	
	VALVE AND VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	SOIL BORING	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	GUARDRAIL	
	WATER'S EDGE	
	CONCRETE	
	REVERSE PITCH CURB	
	TREE, FIR TREE, BUSH, & PROPOSED TREE TO REMOVE	

ABBREVIATIONS

M - STORM MANHOLE	I - INVERT OR INLET	T/P - TOP OF PIPE
S - SANITARY MANHOLE	TF - TOP OF FOUNDATION	B/P - BOTTOM OF PIPE
CB - CATCH BASIN	GF - GARAGE FLOOR	WM - WATERMAIN
LP - LIGHT POLE	TC - TOP OF CURB	SAN - SANITARY SEWER
VV - VALVE VAULT	TD - TOP OF DEPRESSED CURB	STM - STORM SEWER
E - END SECTION	TW - TOP OF RETAINING WALL	LO - LOOK OUT
FH - FIRE HYDRANT	BW - BOTTOM OF RETAINING WALL	PL - PARTIAL LOOK OUT
GR - GRADE RING (HYDRANT)	OP - OUTLET OF PIPE	

PERMITS

DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED

BENCH MARK

CONTACT INFORMATION

TYPICAL SECTIONS AND GENERAL NOTES

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



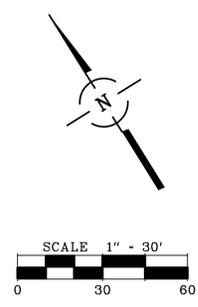
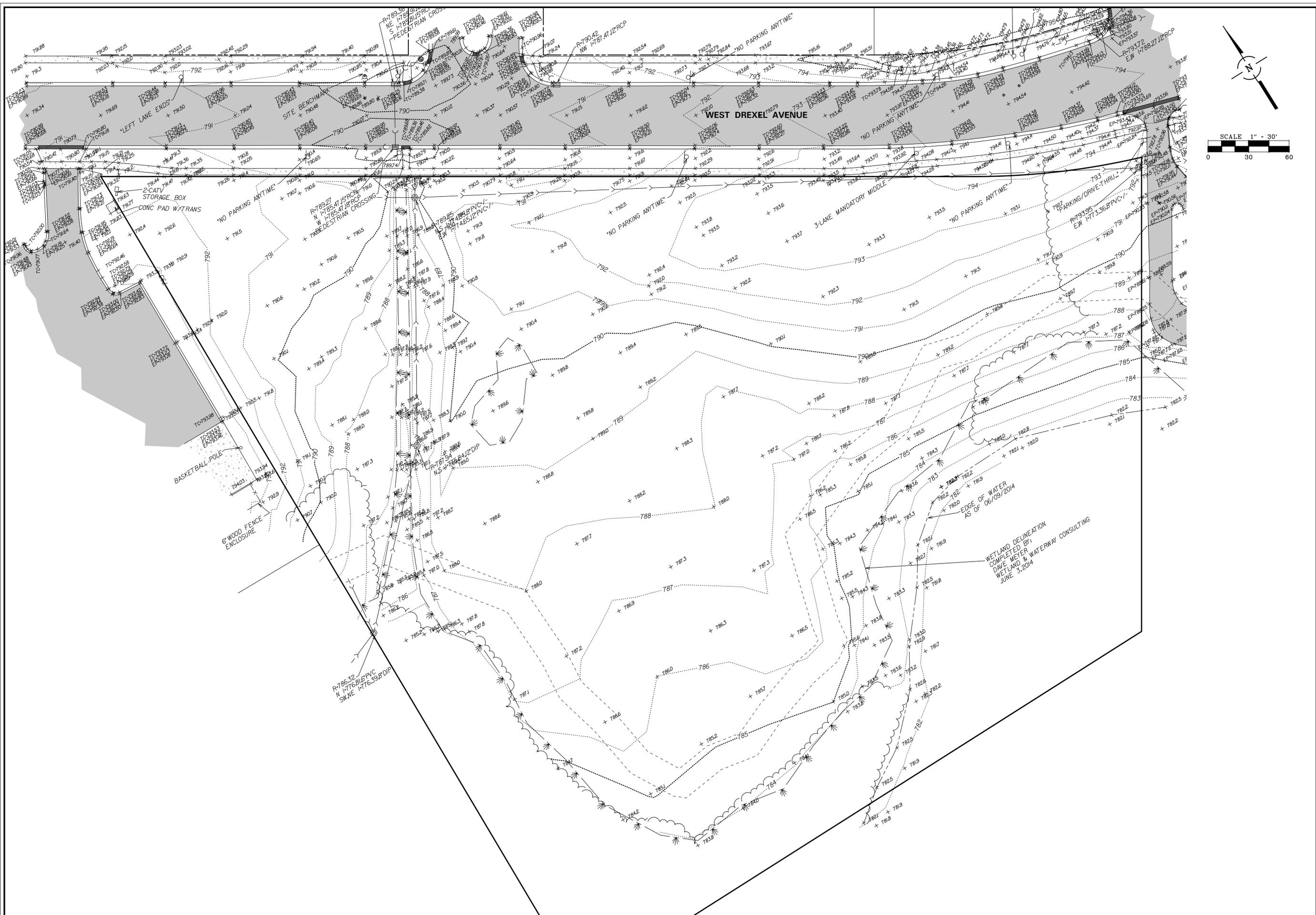
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8251GN.DGN

DATE:
12/23/14

JOB NO.
8251

SHEET

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2 OF 13



NO.	DATE	REMARKS

NO.	DATE	REMARKS

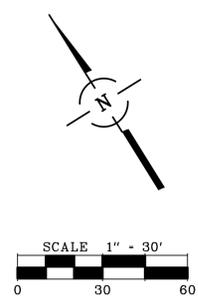
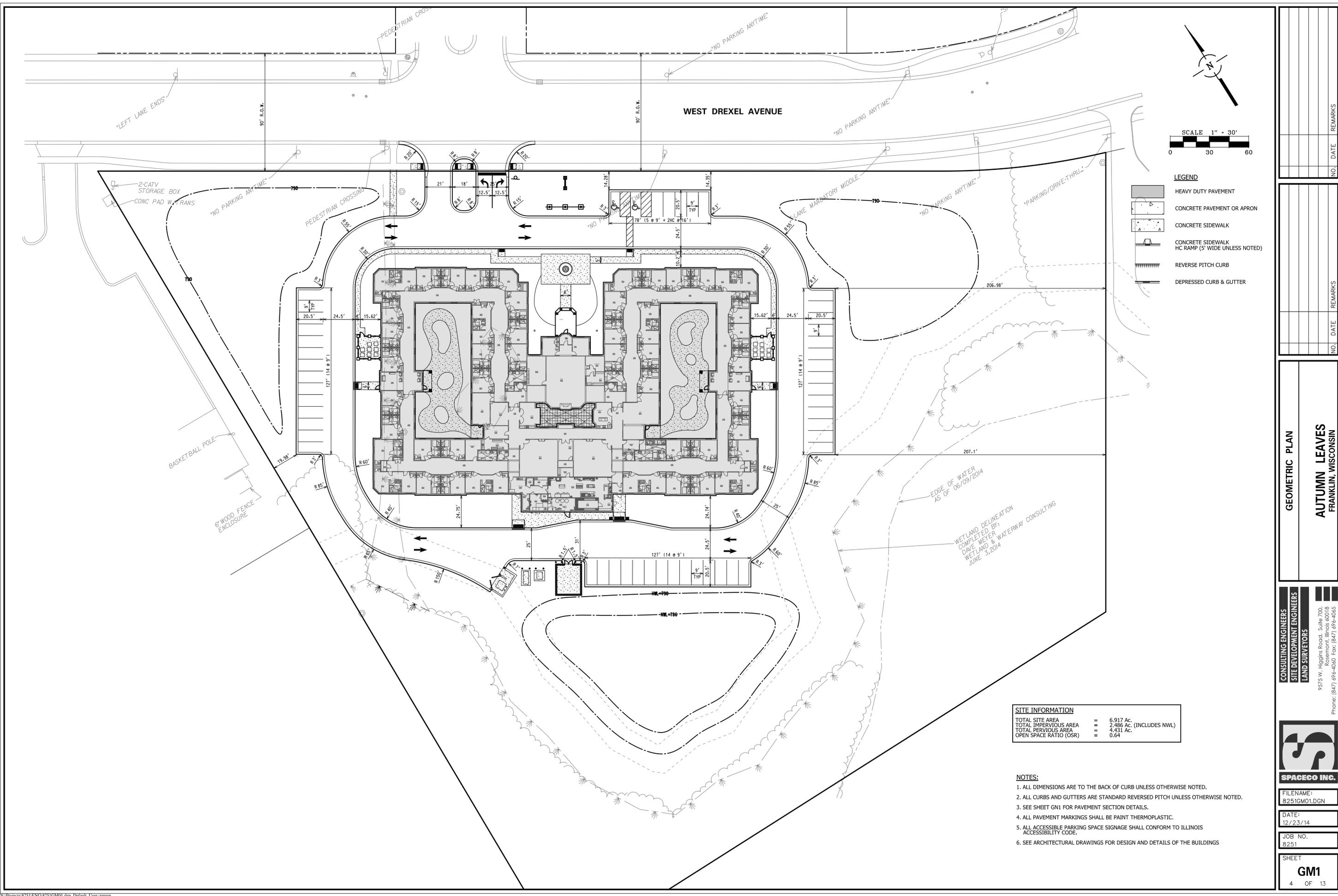
EXISTING CONDITIONS
AUTUMN LEAVES
 FRANKLIN, WISCONSIN

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065



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LEGEND

	HEAVY DUTY PAVEMENT
	CONCRETE PAVEMENT OR APRON
	CONCRETE SIDEWALK
	CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
	REVERSE PITCH CURB
	DEPRESSED CURB & GUTTER

SITE INFORMATION

TOTAL SITE AREA	6.917 Ac.
TOTAL IMPERVIOUS AREA	2.486 Ac. (INCLUDES NWL)
TOTAL PERVIOUS AREA	4.431 Ac.
OPEN SPACE RATIO (OSR)	0.64

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS ARE STANDARD REVERSED PITCH UNLESS OTHERWISE NOTED.
 3. SEE SHEET GN1 FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE PAINT THERMOPLASTIC.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS

NO.	DATE	REMARKS

NO.	DATE	REMARKS

GEOMETRIC PLAN
AUTUMN LEAVES
 FRANKLIN, WISCONSIN

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