

CITY OF FRANKLIN  
PLAN COMMISSION MEETING\*  
FRANKLIN CITY HALL COUNCIL CHAMBERS  
9229 W. LOOMIS ROAD, FRANKLIN, WISCONSIN  
AGENDA  
THURSDAY, APRIL 23, 2015, 7:00 P.M.

\*REVISED

- A. **Call to Order and Roll Call**
- B. **Approval of Minutes**
  - 1. Approval of regular meeting of March 19, 2015.
- C. **Public Hearing Business Matters** (action may be taken on all matters following the respective Public Hearing thereon)
- D. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)
  - 1. **OSCAR'S FROZEN CUSTARD SIGNAGE.** Unified Development Ordinance §15-3.0415 Planned Development District No. 10 (Riverwood Village-Bouraxis) Minor Amendment application by James Taylor and Susan Taylor, to remove the monument sign height limit for all properties in the District and the wall sign prohibition on the south side of buildings for the property located at 7041 South 27th Street; Tax Key No. 738-0069-001.
  - 2. **VICTORY OF THE LAMB LUTHERAN CHURCH WORSHIP CENTER.** Site Plan Amendment application by Victory of the Lamb, Inc., to accommodate engineering tests of the developable areas and the removal of a previously planned playground development, for property zoned I-1 Institutional District, located at 11120 West Loomis Road; Tax Key No. 889-9989-000.
  - 3. **SUMMIT CREDIT UNION.** Amendment to Special Use to extend the time for obtaining an occupancy permit, Summit Credit Union, applicant, for property in the Shoppes of Wyndham Village, zoned CC City Civic Center District, located at 7750 South Lovers Lane Road; Tax Key No. 794-9999-008.
  - 4. **DEPARTMENT OF CITY DEVELOPMENT 2014 ANNUAL REPORT.**
  - \*5. **MATT TALBOT COMMUNITY BASED RESIDENTIAL FACILITY.** Site Plan application by Matt Talbot Recovery Services, Inc., for the construction of a 5 to 8 bedroom State licensed Community Based Residential Facility consisting of a 3,690 square foot building, 16 parking spaces and a basketball court, for property zoned R-3 Suburban/Estate Single-Family Residence District and C-1 Conservancy District located at 9132 South 92nd Street; Tax Key No. 886-9987-

## Franklin Plan Commission Agenda

4/23/15

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000. Common Council April 21, 2015 action rescinding its March 3, 2015 conditional approval of the applicant's request for a public water main extension, directing staff to provide in part further information upon water extension alternatives, and the Council's direction to the Plan Commission to consider the rescission of its March 19, 2015 conditional approval of a Site Plan (water extension agreement condition thereon no longer viable following Council action) for the project, and to later receive the further information regarding the water extension, and information, including, but not limited to, WIDNR natural resource features review of the property water navigability determination and wetland delineation confirmation.

### E. Adjournment

\*Supporting documentation and details of these agenda items are available at City hall during normal business hours.

\*\*Notice is given that a majority of the Common Council may attend this meeting to gather information about an agenda item over which they have decision-making responsibility. This may constitute a meeting of the Common Council per *State ex rel. Badke v. Greendale Village Board*, even though the Common Council will not take formal action at this meeting.

[Note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information, contact the City Clerk's office at (414) 425-7500.]

#### REMINDERS:

Next Regular Plan Commission Meeting: May 7, 2015

**City of Franklin**  
**Plan Commission Meeting**  
**March 19, 2015**  
**Minutes**

unapproved

**CALL TO ORDER & ROLL CALL**

- A. Mayor Steve Olson called the March 19, 2015 Regular Plan Commission meeting to order at 7:01 p.m. in the Council Chambers at Franklin City Hall, 9229 West Loomis Road, Franklin, Wisconsin.

Present were Commissioners David Fowler, Patricia Hogan and City Engineer Glen Morrow. Excused were Alderwoman Susanne Mayer and Commissioner Thinner. Absent was Commissioner Haley. Also present were City Attorney Jesse Wesolowski, Planning Manager Joel Dietl and Planner II Orrin Sumwalt. In attendance was Alderwoman Janet Evans.

**APPROVAL OF MINUTES**

Regular Meeting of March 5, 2015

- B.
1. Commissioner Hogan moved and Commissioner Fowler seconded approval of the March 5, 2015 minutes of the Regular meeting of the Plan Commission as presented. On voice vote, all voted 'aye'. Motion carried.

**PUBLIC HEARING**

**BUSINESS MATTERS**

**HILLER FORD BUILDING  
EXPANSION AND REMODELING.**

Special Use Amendment, 2 Lot Certified Survey Map, and Right-of-Way Vacation applications by Hiller Ford, Inc. and Dealership Properties, Inc., for proposed building expansion and remodeling of the Hiller Ford showroom, offices and service righting area, addition to the existing body shop and construction of a new used vehicle sales building, for property zoned M-1 Limited Industrial District and C-1 Conservancy District, located at: 6381, 6411, 6455 and 6421 South 108th Street and including Tax Key Nos. 704-9974-000, 704-9975-000, 704-9976-002, 704-9976-003, 704-9976-005, 704-9977-000 and 704-9998-004 (Special Use Amendment); 6381, 6411, 6421 and 6455 South 108th Street and including Tax Key Nos. 704-9974-000, 704-9975-000, 704-9976-003, 704-9976-002, 704-9976-005, 704-9977-000 and 704-9998-004 (Certified Survey Map); and 6421 and 6455 South

- C.
1. Mark Carstensen, Mark Carstensen Developments, LLC, representing the applicant, presented the development application by Hiller Ford, Inc. and Dealership Properties, Inc. for Special Use Amendment for the expansion and remodeling of Hiller Ford properties, Right-of-Way Vacation and Certified Survey Map.

Planner II Sumwalt read the Official Notice of Public Hearing for the Special Use Amendment of the properties located at 6381, 6411, 6455 and 6421 South 108th Street in to the record. The Public Hearing was opened at 7:03 p.m. and closed at 7:09 p.m.

Commissioner Fowler moved, and Commissioner Hogan seconded a motion to recommend approval of a resolution to amend Resolution Nos. 88-3175, 95-4217, 99-4875, 99-4933, 2004-5733 (not recorded), and 2004-5736, imposing conditions and restrictions for the approval of a Special Use for properties located at 6381, 6411, 6455 and 6421 South 108th Street to allow for building expansion and remodeling of the Hiller Ford new and used car

**Item C.1. (continued)**

108th Street and including Tax Key Nos. 704-9976-003 and 704-9977-000 (Right-of-Way Vacation).

dealership showroom, offices and service righting area, an addition to the existing body shop and construction of a new used vehicle sales building and associated parking and landscaping changes with the revisions recommended by City staff at the March 19, 2015 meeting. On voice vote, all voted 'aye'. Motion carried.

Commissioner Hogan moved to recommend approval of a resolution conditionally approving a 2 lot Certified Survey Map, being part of the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 6, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin with the revisions recommended by City staff at the March 19, 2015 meeting. Seconded by Commissioner Fowler. On voice vote, all voted 'aye'. Motion carried.

Commissioner Fowler moved to recommend approval of the vacation of approximately 1.8290 acres of right-of-way which extends approximately 60 feet along Whitnall Edge Road between South 108th Street and West Forest Home Avenue adjacent to property located at 6421, 6431-6435 and 6455 South 108th Street, 11131 West Forest Home Avenue and property adjacent to West Forest Home Avenue bearing Tax Key No. 704-9980-002, subject to combining the parcel bearing Tax Key No. 704-9976-004 with Lot 1 on the proposed Hiller Ford 2-Lot Certified Survey Map, receiving all such required approvals, and recording the Certified Survey Map with the Milwaukee County Register of Deeds Office, or such lesser amount of area as may be determined reasonable by the Common Council. Commissioner Hogan seconded the motion. On voice vote, all voted 'aye'. Motion carried.

**BUSINESS MATTERS**

**HOME DEPOT OUTDOOR SALES.**

Temporary Use application by Home Depot 4907, for outdoor seasonal trees, shrubs and landscape bagged goods sales, for property zoned Planned Development District No. 14 (Jewel-Osco/Home Depot) located at 6489 South 27th Street; Tax Key No. 714-9996-015.

**D.**

1. Planning Manager Dietl presented the application by Home Depot 4907 for approval of a Temporary Use for property located at 6489 South 27th Street.

Commissioner Hogan motioned to approve a resolution imposing conditions and restrictions for the approval of a Temporary Use for outdoor seasonal tree and shrub sales for Home Depot U.S.A., Inc., for property located at 6489 South 27th

**Item D.1. (continued)**

**HOME DEPOT OUTDOOR SALES**  
Temporary Use

Street. Commissioner Fowler seconded the motion. On voice vote, all voted 'aye'. Motion carried (4-0-3).

**MATT TALBOT COMMUNITY  
BASED RESIDENTIAL FACILITY.**

Site Plan application by Matt Talbot Recovery Services, Inc., for the construction of a 5 to 8 bedroom State Licensed Community Based Residential Facility consisting of a 3,690 square foot building, 16 parking spaces and a basketball court, for property zoned R-3 Suburban/Estate Single-Family Residence District and C-1 Conservancy District located at 9132 South 92nd Street; Tax Key No. 886-9987-000.

2. Planning Manager Dietl presented Site Plan application for the development of Matt Talbot Recovery Services, Inc. Community Based Residential Facility. Representatives of the applicant spoke on behalf of the developer.

Commissioner Fowler moved, and Commissioner Hogan seconded, a motion to approve a resolution approving a Site Plan for a 5 to 8 bedroom State licensed Community Based Residential Facility development for property located at 9132 South 92nd Street with addition of a condition to align the proposed driveway so that no car lights from the subject property shine in and towards any neighboring residential properties as to create a intermittent light nuisance. On voice vote, all voted 'aye'. Motion carried (4-0-3).

**KAYLA'S KREW ALL-ACCESSIBLE,  
AND ALL-INCLUSIVE**

**PLAYGROUND development.** Certified Survey Map, Land Division Variance (for a 14 foot reduction in required street right-of-way width), and Site Plan Amendment application by City of Franklin with authorization of the property owner Victory of the Lamb, Inc., for Kayla's Krew all-accessible and all-inclusive playground development, for property zoned I-1 Institutional District located at 11120 West Loomis Road; Tax Key No. 889-9989-000.

3. No action needed, nor none taken, regarding an application for Certified Survey Map, Land Division Variance and Site Plan Amendment for Kayla's Krew all-accessible and all-inclusive playground development for property located at 11120 West Loomis Road.

**ADJOURNMENT**

- E. Commissioner Fowler moved and Commissioner Hogan seconded to adjourn the Plan Commission meeting of March 19, 2015 at 8:05 p.m. All voted 'aye'; motion carried.



**CITY OF FRANKLIN**  
**REPORT TO THE PLAN COMMISSION**

Meeting of April 23, 2015

**Planned Development District Amendment**

**RECOMMENDATION:** City Development Staff recommends approval of the Planned Development District Amendment to PDD No. 10 for the proposed Oscar's Frozen Custard signage.

<b>Project Name:</b>	Oscar's Frozen Custard
<b>Project Address:</b>	7041 South 27 <sup>th</sup> Street
<b>Applicant:</b>	Jim Taylor, Elsie's Frozen Custard, Inc.
<b>Property Owner:</b>	Peeling Paint, LLC
<b>Current Zoning:</b>	Planned Development District No. 10
<b>2025 Comprehensive Plan</b>	Commercial
<b>Use of Surrounding Properties:</b>	Riverview Shopping Center to the north; 27th Street / City of Oak Creek to the east; vacant land and 2 billboards to the south; Lowes to the west)
<b>Applicant Action Requested:</b>	Approval of the proposed Planned Development District Amendment.

**History/Introduction**

Please note:

- Staff recommendations are *underlined, in italics* and are included in the draft ordinance.
- Staff suggestions are only underlined and are not included in the draft ordinance.

On February 17, 2015, the applicant was issued a Zoning Compliance Permit to operate an Oscar's Frozen Custard restaurant within the former Omega Custard building located at 7041 South 27<sup>th</sup> Street.

On February 26, 2015, the Architectural Review Board granted approval of Oscar's monument sign, subject to obtaining a variance or approval to increase gross sign area and to allow an increase in the allowable height of the monument sign and subject to meeting the requirements of the sign code. The Architectural Review Board also approved wall signs for the north, east, west and south elevations, subject to obtaining a variance or approval to increase area and subject to meeting the requirements of the sign code.

On March 11, 2015 Staff approved a Minor Site Plan Amendment Application allowing a color palette change from blue to Positive Red from Sherwin Williams (SW6871), for window awnings, tile bands around the exterior of the building, neon bands accenting roof peaks,

handicap accessible sign posts in the parking lot, edges of the drive-thru menu sign, parking lot directional signage and umbrellas for the tables in the outdoor seating area.

On March 20, 2015, the applicant submitted a Planned Development District (PDD) Amendment Application for the Oscar's Frozen Custard development proposed signage. The applicant is proposing to amend Subsections 15-3.0415, M.4 and M.6 of the City of Franklin Unified Development Ordinance as stated within Ordinance No. 2000-1597.

Staff is recommending, with agreement from the applicant, that the Plan Commission and Common Council classify the proposed amendment as a Minor PDD Amendment. To expedite the process, the applicant has paid the Minor PDD Amendment Application fee of \$500. (Major PDD Amendments require a public hearing and a \$3,500 fee). Major PDD Amendments are typically reserved for changes to the exterior boundaries of a PDD, changes to uses and changes to street layouts.

### **Project Description/Analysis**

The applicant is proposing four wall signs and one monument sign for the Oscar's development. A wall sign is being proposed for each of the four elevations of the former Omega Custard building. The applicant is also proposing a new monument sign to replace the existing monument sign adjacent to South 27<sup>th</sup> Street. The proposed monument sign is shaped like an ice-cream cone and includes an electronic message board. The proposed monument sign has an overall height of approximately 22 feet, which includes a proposed 2-foot base, and has a width of 12 feet at the widest point. Currently, PDD No. 10 does not allow a monument sign to exceed 15 feet in vertical height or 8 feet in width. The applicant is also proposing a wall sign on the south elevation of the building, which PDD No. 10 prohibits.

The proposed PDD amendment would pertain to Subsections 15-3.0415, M.4 and M.6 of the City of Franklin Unified Development Ordinance as stated within Ordinance No. 2000-1597. These Subsections currently read as follows:

- M.4 All freestanding signs advertising businesses on any Outlot shall be monument-type signs with a height of not more than 11 feet above adjacent grade (measured from the maximum height on any berm), and not any longer than eight (8) feet in length. All other freestanding signs shall not exceed 15 feet in vertical height (above adjacent grade), and 13 feet in length.
- M.6 Wall signs shall be prohibited on the south side of any building, except for Gander Mountain and Andy's Charhouse. Exceptions shall meet Plan Commission Sign Review and City Sign Ordinance approval.

The applicant is proposing to remove Subsection M.4 completely, as it is more restrictive than the height requirements for monument signs in the City's Sign Code (§ 210-4 of the Municipal Code). Furthermore, this Subsection provides limits on sign width that are not present in the monument sign requirements of the Sign Code. Staff has no objections to removing Subsection M.4, which will better align Planned Development District No. 10 with the Sign Code. Secondly,

the applicant is requesting to add Oscar's Frozen Custard as an exception to Subsection M.6, which is a prohibition on wall signs on the south sides of buildings within PDD No. 10. Staff suggests the wall sign on the South Elevation be removed from the proposed plans, and a temporary sign or banner be allowed instead. Currently, only Gander Mountain and Andy's Charhouse are listed as exceptions. Andy's Charhouse was never built and the property located at 6919 S. 27<sup>th</sup> Street was developed into a GFS Marketplace. In addition, the Goodwill store at 6941 South Riverwood Boulevard has an existing wall sign on the south elevation of their building. Therefore, Staff suggests adding Goodwill to the list of exceptions and replacing Andy's Charhouse with GFS Marketplace, within Subsection M.6 of Section 15-3.0415 of the UDO as stated within Ordinance No. 2000-1597.

The City of Franklin Sign Code allows a total of 230.4 square feet of sign area for the Oscar's Frozen Custard property, based on the property's frontage. However, Oscar's is proposing 256 square feet of signage. The applicant has been informed they will need to apply for a Variance to allow for the proposed additional sign area, in accordance with Section 15-10.0206D.6 of the City of Franklin Unified Development Ordinance.

Furthermore, the Sign code only allows a maximum height of eighteen (18) feet. Unfortunately, neither the City's Sign Code nor the Unified Development Ordinance has a variance process pertaining to sign height. However, the City Building Inspector and Director of Administration are working on an amendment to the Sign Code that would include a variance process for sign height. At the time of the writing of this report, it is not known when the City's Sign Code amendment will be completed. Ideally, it would be done in time for the Common Council to be able to consider this PDD Amendment Application and the proposed Sign Code Amendment at the same meeting. The applicant has been informed they will need to apply for a Variance to allow for the proposed additional monument sign height, subject to an amendment to the City's Sign Code creating a process for a variance to monument sign height.

### **Staff Recommendation**

City Development Staff recommends approval of the Planned Development District Amendment to PDD No. 10 for the proposed Oscar's Frozen Custard signage.



## ORDINANCE NO. 2015-\_\_\_\_\_

AN ORDINANCE TO AMEND SECTION 15-3.0415 OF THE  
UNIFIED DEVELOPMENT ORDINANCE PLANNED DEVELOPMENT  
DISTRICT NO. 10 (RIVERWOOD VILLAGE-BOURAXIS) TO REPEAL THE  
MONUMENT SIGN HEIGHT LIMIT AND TO PERMIT SOUTH ELEVATION  
SIGNAGE FOR OSCAR'S FROZEN CUSTARD  
(7041 SOUTH 27TH STREET)  
(JAMES TAYLOR AND SUSAN TAYLOR, APPLICANTS)

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WHEREAS, §15-3.0415 of the Unified Development Ordinance provides for and regulates Planned Development District No. 10 (Riverwood Village-Bouraxis), same having been created by Ordinance No. 95-1337 and later amended by Ordinance Nos. 97-1447, 98-1492, 99-1546, 00-1594, 00-1597, 01-1678, 02-1721, 03-1754, 04-1789, 04-1799, 05-1857, 08-1955, 12-2067 and 12-2068, with such District being located at 6919 South 27th Street; and

WHEREAS, Planned Development District No. 10 (Riverwood Village-Bouraxis) includes those lands legally described as follows:

Lot 2 of the Riverwood Village Subdivision being a re-division of parcels 2, 3 & 4 of Certified Survey Map No. 6810, being a redivision of parcels 1, 2, 3 & 4 of Certified Survey Map No. 5346, Reel 2395 Image 1001; Parcel 1 of Certified Survey Map No. 136, Reel 540, Image 283, Lot 209 of "Hidden Lakes No. 4"; vacated street right-of-way and unplatted lands in the Southeast 1/4 of the Southwest 1/4 and the Northeast 1/4, the Southeast 1/4 and the Southwest 1/4 of the Southeast 1/4 of Section 1, Town 5 North, Range 21 East, in the City of Franklin, County of Milwaukee, State of Wisconsin, except parts conveyed in Doc. No. 10352698 for street. Tax Key No. 738-0069-001; and

WHEREAS, James Taylor and Susan Taylor having petitioned for an amendment to Planned Development District No. 10 (Riverwood Village-Bouraxis), to repeal the 11 foot monument sign height limit and to permit south elevation building signage for the Oscar's Frozen Custard occupancy of the existing building located at 7041 South 27th street; and

WHEREAS, the City of Franklin Plan Commission determined that the amendment to Planned Development District No. 10 (Riverwood Village-Bouraxis) was not a substantial change to the Plan, thus not requiring a public hearing upon the aforesaid petition, and the Plan Commission thereafter having determined that the proposed amendment would promote the health, safety and welfare of the City and having recommended approval thereof to the Common Council; and

WHEREAS, the Common Council having considered the petition and having concurred with the recommendation of the Plan Commission and having determined that the proposed amendment would promote the health, safety and welfare of the Community.

NOW, THEREFORE, the Mayor and Common Council of the City of Franklin, Wisconsin, do ordain as follows:

SECTION 1: §15-3.0415 Planned Development District No. 10 (Riverwood Village-Bouraxis), of the Unified Development Ordinance of the City of Franklin, Wisconsin, specifically, Section 2.0 of Ordinance No. 2000-1597, §M.4, pertaining to freestanding signs height limits, is hereby repealed.

SECTION 2: §15-3.0415 Planned Development District No. 10 (Riverwood Village-Bouraxis), of the Unified Development Ordinance of the City of Franklin, Wisconsin, specifically, Section 2.0 of Ordinance No. 2000-1597, §M.6, pertaining to south building elevation signage, is hereby amended as follows: insert “, Oscar’s Frozen Custard” immediately following “Gander Mountain”.

SECTION 3: All ordinances and parts of ordinances in contravention to this ordinance are hereby repealed.

SECTION 4: This ordinance shall take effect and be in force from and after its passage and publication.

Introduced at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015, by Alderman \_\_\_\_\_.

Passed and adopted at a regular meeting of the Common Council of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

APPROVED:

ATTEST:

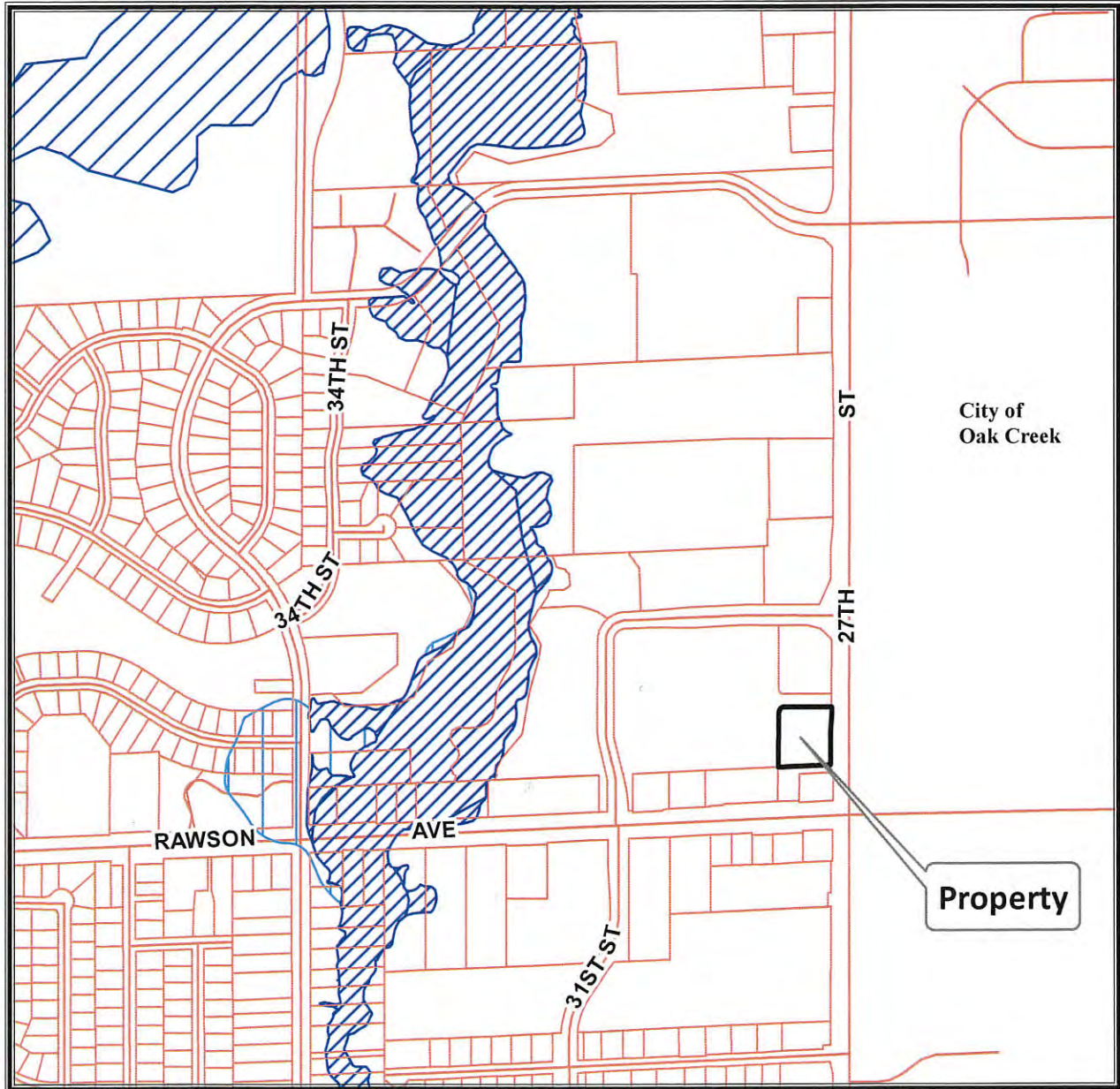
\_\_\_\_\_  
Stephen R. Olson, Mayor

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

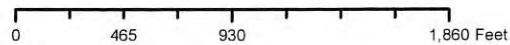
AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



7041 South 27th Street  
PDD 10 Riverwood Village



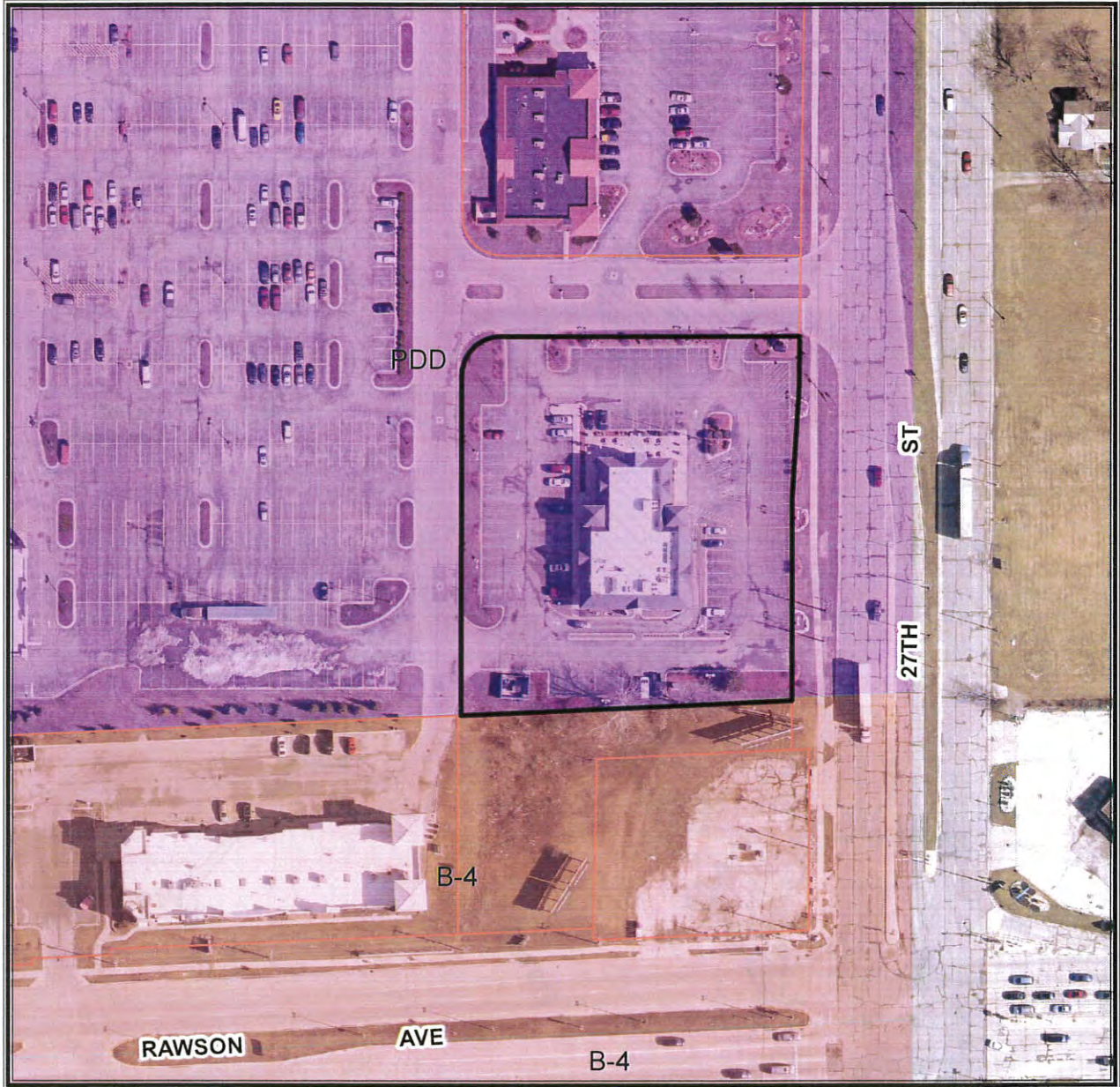
Planning Department  
(414) 425-4024



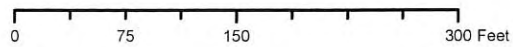
*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



7041 South 27th Street  
PDD 10 Riverwood Village



Planning Department  
(414) 425-4024



2013 Aerial Photo

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*

City of Franklin  
Department of City Development

City Development

1. We are requesting the following minor changes to PDD 10 sign requirements:
  - a. M.4 - Remove this section of the PDD restricting monument and freestanding sign heights and widths
  - b. M.6 - Add Oscar's Custard to the exception list allowing a south elevation sign to be installed on the building

We are requesting a creative monument sign of 19'6" above the base which would exceed the allowable height in the PDD 10 guidelines. We are also proposing a 12' width to the upper part of the sign which again exceeds the allowable width within the current PDD. Lastly there are on two business that are exempted from the south elevation signage prohibition, we would like to install a southern facing sign for visibility from Rawson Ave as the corner lot will not be developed.

2. We are currently working with the city planning and building inspection departments to change the legal verbiage for variance requests to possibly allow the additional height of the proposed monument sign
3. If the Minor PDD Amendments are granted we would like to ask for a variance for the additional height of the monument sign and a 5% increase in the maximum allowable sign area for the development to allow for the south elevation sign.

Respectfully,

Jim Taylor

BY HIGH BOARD ON BOARD MOVED FROM  
PRESSURE TREATED 4" X 4" X 10' LUMBER

Building  
Signs

452.63'

SITE GRADING AND UTILITIES PLAN

27TH STREET

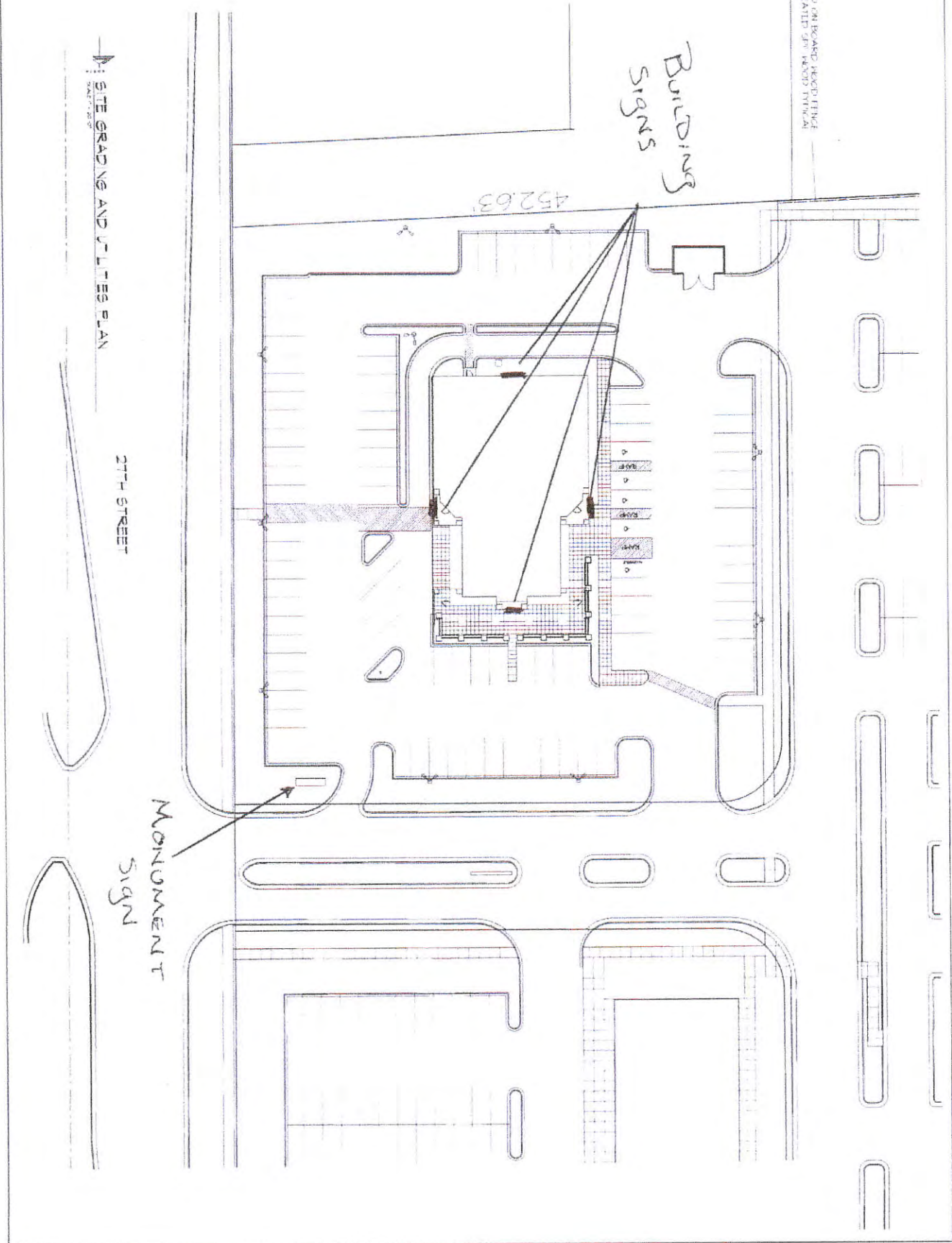
MONUMENT  
SIGN

SHEET  
C-2  
DATE ISSUED  
DATE DRAWN  
PROJECT NO. 14-430

PROJECT  
OSCAR'S FROZEN CUSTARD  
150 NORTH 27TH STREET  
MINNEAPOLIS, MN 55401  
FILE  
SITE GRADING PLAN

TDI ASSOCIATES, INC.  
ARCHITECTS ENGINEERS PLANNERS

DATE



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NEC AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

Cherry (built like channel letter - two sides - stem faces street) Formed w/ .063" Thk Alum Coil Stock @ 10 Deep Painted PMS 485 C Red w/ Internal Baffles and Internally Lit w/ LEDs. w/ Two (2) Faces: .125" Thk #2283 Red Acrylic w/ 1" Thk Red Trimcap.

Channel Letters: (two sides) .063" Thk Alum Coil Stock @ 3" Deep w/ 1" Black Trim Cap and .125" Thk #7328 White Acrylic Faces w/ 3M 3630-22 Matte Black Vinyl Film and 3M 3630-33 Red Translucent Vinyl Film

White Faces: (two sides - drip faces street) .177" Thk White Polycarbonate Supported by 2 1/4" wide x .080" Thk Custom Routed Alum Retainer, Illuminated w/ Super Nova Color Changing RGB LEDs

Frozen Custard Sandwich Letters: (two sides) 3M 3630-22 Matte Black Vinyl Film Applied to 1st Surface of White Polycarbonate 'scoop'.

Electronic Message Center: (two sides) Daktronics Model: AF-3550-32x128-20-RGB-2V Galaxy@ 20mm RGB Outdoor LED Matrix Display 3550 Series; Standard Cabinet Separation Up To 18ft

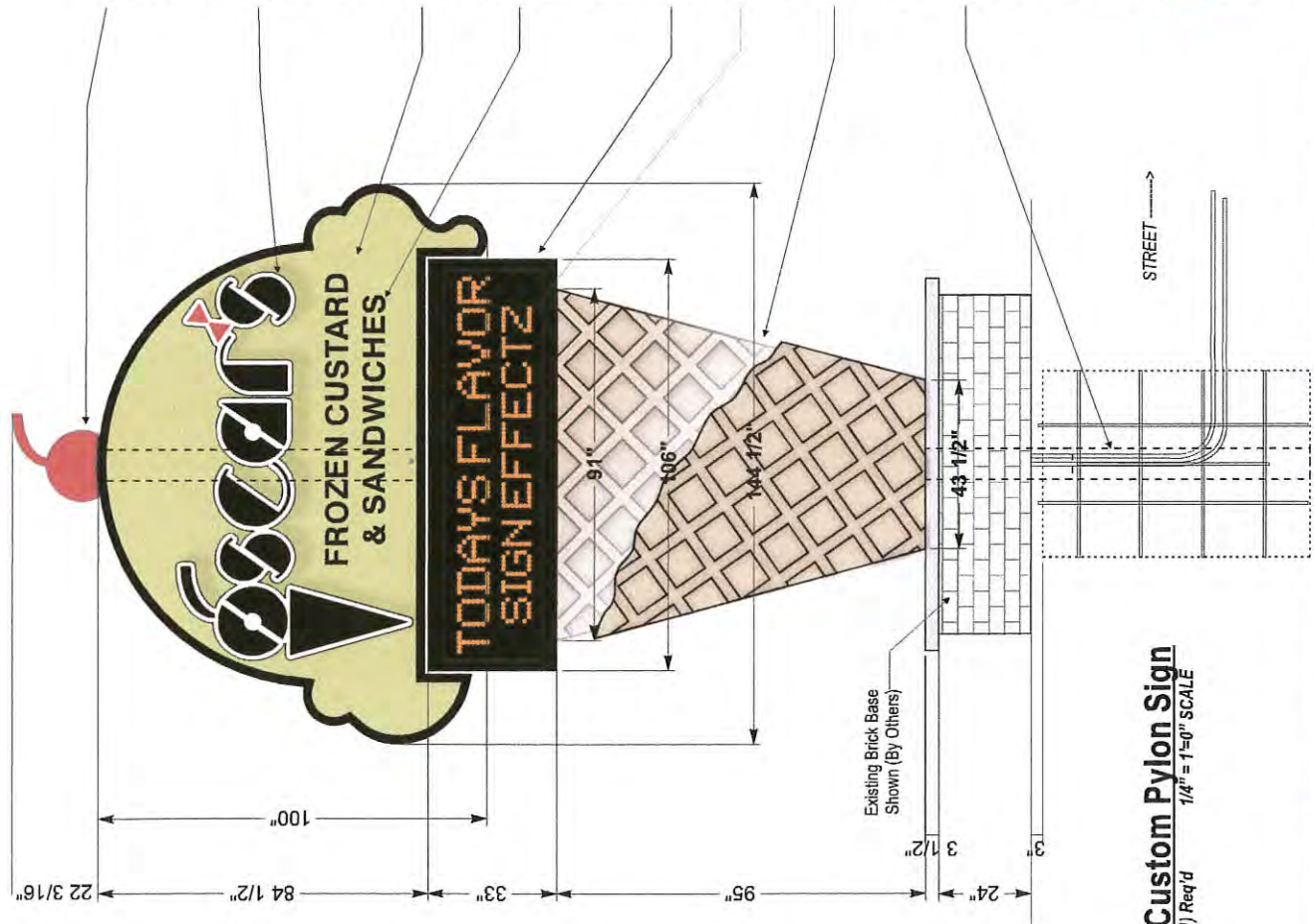
Top Cabinet: 1" x 1" x 125" Thk Supporting Alum Tube and .063" Thk Alum Returns Painted Satin Black w/ 2" wide, .125" Thk Custom Routed Retainers

Pole Skirt: (two sides - down angle faces street) 2" x 2" x 125" Thk Alum Angle and .063" Thk Alum Returns Paint (TBD). Waffle Pattern formed w/ 3" x 3/8" Thk Alum Bar. Paint (TBD) White LED Strip Between Waffle Cone Layers

8" Dia Steel Pole Set in Concrete, 3" Below Grade w/ 5/8" Rebar Footing TBD

120V Primary Electrical Connection to Existing Power Source by Locally Licensed Electrician.

- 3M 3630-22 Matte Blackk Vinyl Film
- 3M 3630-33 Red Translucent Vinyl Film
- .125" Thk #7328 White Acrylic
- .177" Thk White Polycarbonate (shown backlit by LEDs)
- Paint to Match PMS 468 C



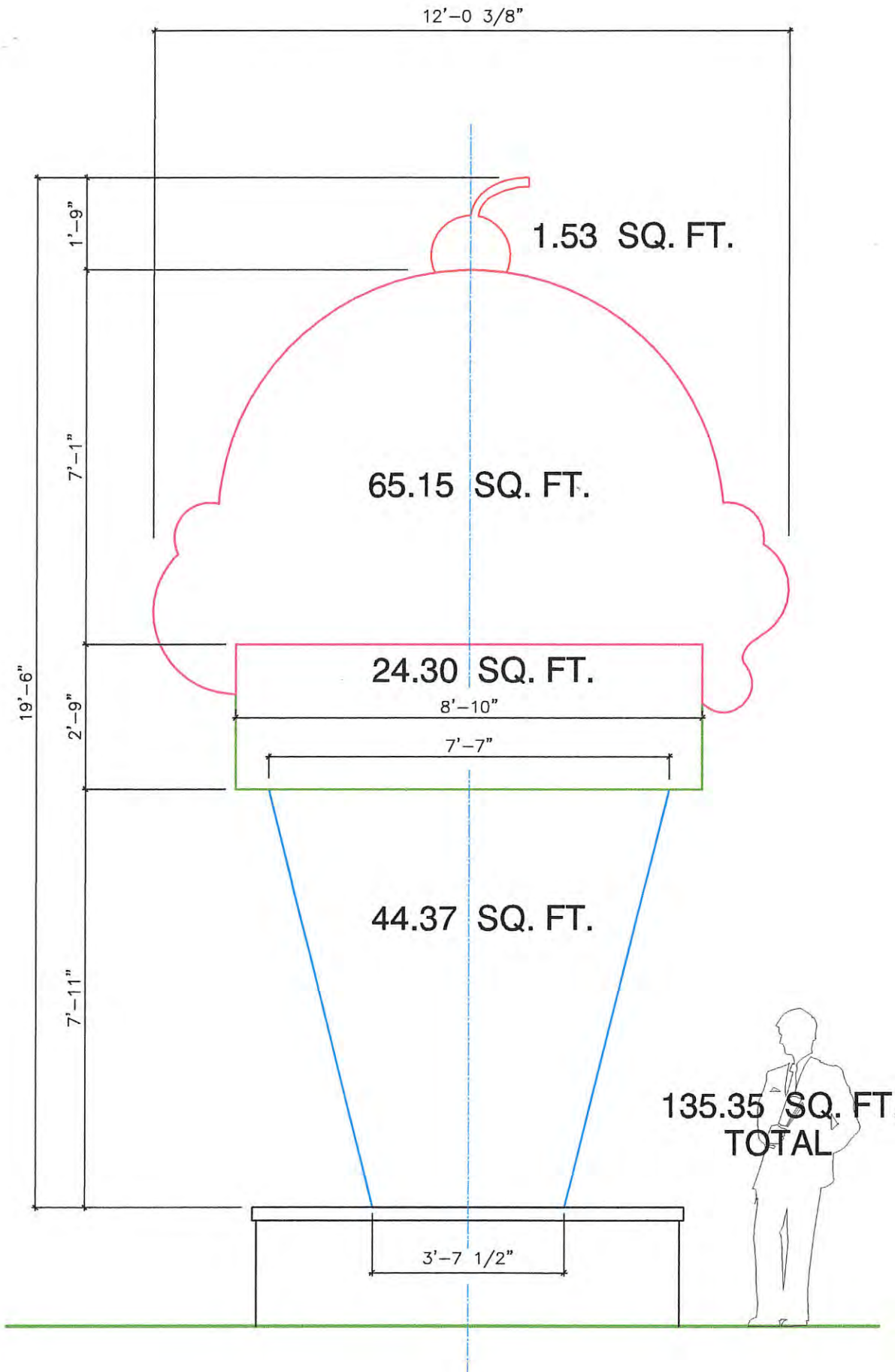
**Double-Sided Custom Pylon Sign**  
One (1) Req'd  
South Elevation  
1/4" = 1'-0" SCALE

**DISCLAIMER:**  
This is an original design created by Sign Effectz. The submitted design protected under copyright laws of the United States Code. You agree not to copy, photograph, modify or share directly or indirectly any of the foregoing with any other party, nor will you permit any third party to do so without the written consent of Sign Effectz.

**REVISIONS:**  
Rev A: Initial design, 10/1/2015, 10/1/2015, 10/1/2015, 10/1/2015  
Rev B: 3/16/2015, 3/16/2015  
Rev C: 3/16/2015, 3/16/2015  
Rev D: 3/16/2015, 3/16/2015  
Rev E: 3/16/2015, 3/16/2015  
Rev F: 3/16/2015, 3/16/2015

**DRAWING:**  
5953704C\_03R1  
Insightfully Ord #: 5953704  
Date: 02/16/2015  
Sales: JMD  
Drawn by: AE  
Scale: 1/4"=1'-0"

**CUSTOMER:** Oscar's Custard  
7041 S 27th St  
Franklin, WI 53132  
**Signature:** \_\_\_\_\_  
**Date:** \_\_\_\_\_



# Sign Effectz

1827 W Glendale Ave.  
 Milwaukee WI 53209  
 414-264-5504  
[signeffectz.com](http://signeffectz.com)

CUSTOMER

**OSCAR'S  
 FROZEN  
 CUSTARD**

FRANKLIN, WI

ORDER NUMBER

**XXXXX**

ELECTRICAL INFORMATION

VOLTS: XXX VOLTS  
 AMP DRAW: XX AMPS  
 CIRCUITS: (X) XX AMP

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NEC AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

REVISIONS

SALES

MIKE DLUGI

DRAWN BY

MGL

DATE

2/23/15

SCALE

3/8"=1'-0"

SHEET

XX

DRAWING NUMBER

**5953704C**



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NEC AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

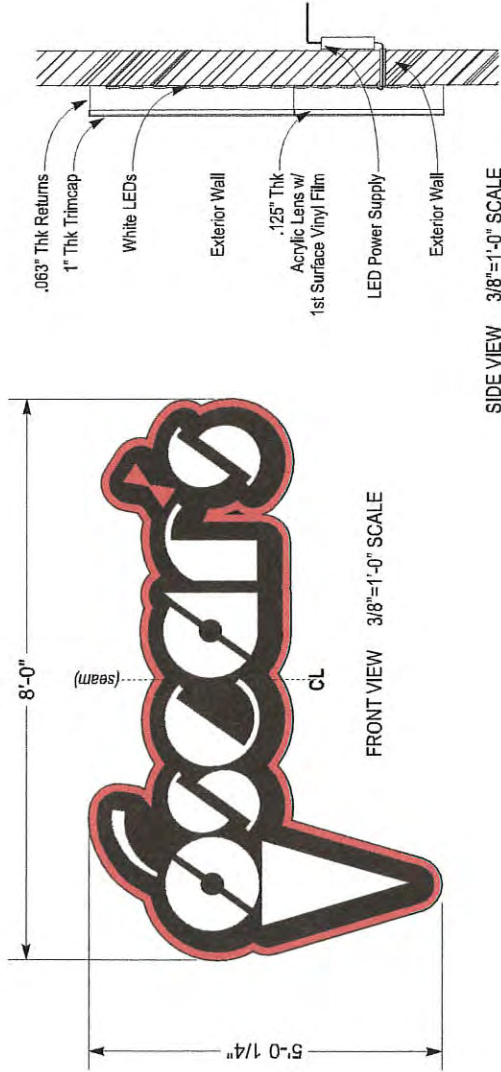
## FACE-LIT CHANNEL LETTERS

Four (4) Sets Req'd - (One per elevation)

Fabricate and Install Four (4) Sets of Face-Lit Channel Letters. One per North/ South/ East/ West Elevation.

.050" Thk Mill-Finished 5" Deep Painted w/ .063" Thk White Pre-Finished Alum Backers.

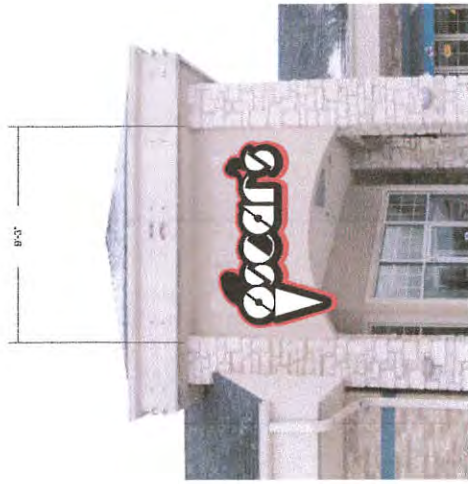
Faces are .125" Thk #7328 White Acrylic w/ 1st Surface Vinyl and 1" Thk Red Trimcap.



- 3M 3630-22 Matte Black Vinyl Film
- 3M 3630-33 Red Translucent Vinyl Film
- .125" Thk #7328 White Acrylic



NORTHELEVATION 1/8"=1'-0" SCALE



EAST ELEVATION 1/8"=1'-0" SCALE



WEST ELEVATION 1/8"=1'-0" SCALE

Customer Artwork Avail  Graphic Cleanup  Elevation Drawings Avail  Survey Needed  Survey Notes Available  Surveyor Init: \_\_\_\_\_ Survey Photos/Site Photos Uploaded  File Locations: Insightly  Network  Other Notes: \_\_\_\_\_

**SignEffectz, Inc**  
SIGN / LIGHTING  
www.signeffectz.com

**CUSTOMER:** Oscar's Custard  
7041 S 27th St  
Franklin, WI 53132

**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

### DISCLAIMER:

This is an original design created by Sign Effectz. The submitted design protected under copyright laws of the United States Code. You agree not to copy, photograph, modify or share directly or indirectly any of the foregoing without the written consent of Sign Effectz.

### REVISIONS:

Rev	By	Date
Rev A	By A.E.	Date 02/16/2015
Rev B	By A.E.	Date 02/16/2015
Rev C	By -	Date -
Rev D	By -	Date -
Rev E	By -	Date -
Rev F	By -	Date -

**DRAWING:**  
5953704C\_04R2

Insightly Ord #: 5953704

Scale: 3/8"=1'-0"

Scale: 3/8"=1'-0"

Concept Submitted  Changes: 1  2  3  Estimate:  Adjusted 1  2  Production Draw: Release:  Date: \_\_\_\_\_ Install Draw: Release:  Date: \_\_\_\_\_ Materials Assessed:  Ordered:  By Init: \_\_\_\_\_ Date: \_\_\_\_\_ Fabrication Completed & DIC'd:  Date: \_\_\_\_\_

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NEC AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

## FACE-LIT CHANNEL LETTERS

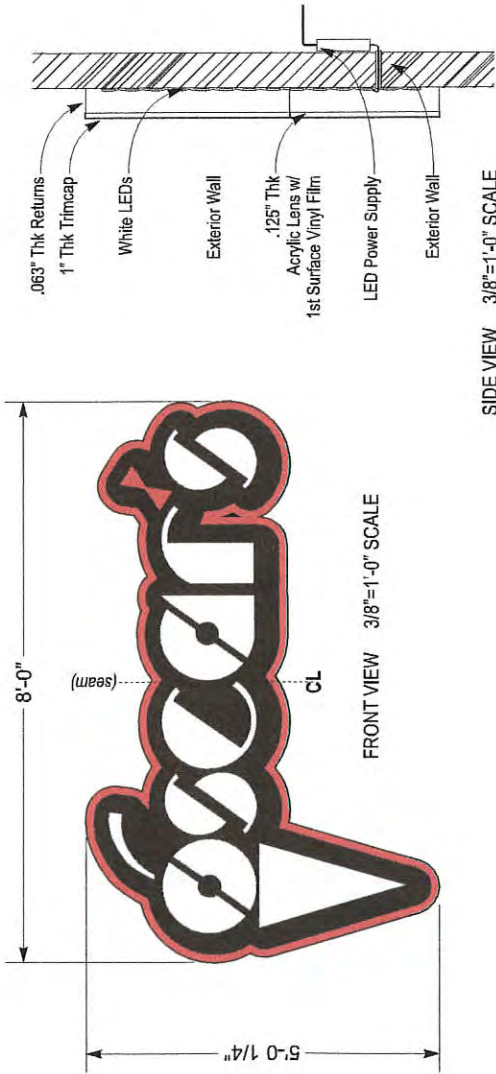
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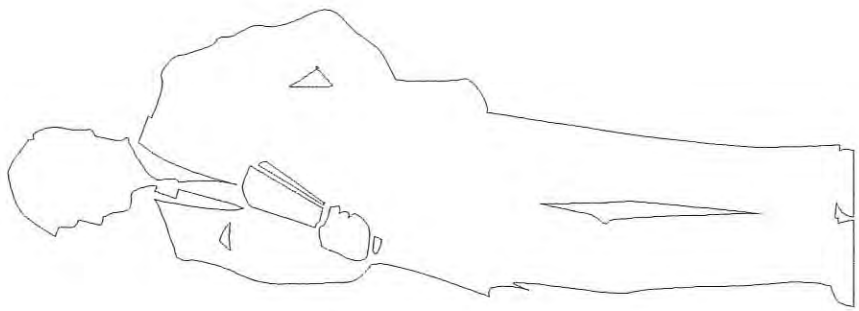
- 3M 3630-22 Matte Black Vinyl Film
- 3M 3630-33 Red Translucent Vinyl Film
- .125" Thk #7328 White Acrylic



SOUTHELEVATION 1/8"=1'-0" SCALE

<p>Customer Artwork Avail <input type="checkbox"/> Graphic Cleanup <input type="checkbox"/> Elevation Drawings Avail <input type="checkbox"/> Survey Needed <input type="checkbox"/> Survey Notes Available <input type="checkbox"/> Surveyor Init. _____</p> <p>File Locations: <input type="checkbox"/> Insignity <input type="checkbox"/> Network <input type="checkbox"/> Other: Notes: _____</p>	<p><b>DISCLAIMER:</b> This is an original design created by Sign Effects. The submitted design protected under copyright laws of the United States Code. You agree not to copy, photograph, modify or share directly or indirectly any of the foregoing without the written consent of Sign Effects.</p>	<p><b>REVISIONS:</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Rev</th> <th>By</th> <th>Date</th> </tr> <tr> <td>Rev A</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>Rev B</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>Rev C</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>Rev D</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>Rev E</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>Rev F</td> <td>_____</td> <td>_____</td> </tr> </table>	Rev	By	Date	Rev A	_____	_____	Rev B	_____	_____	Rev C	_____	_____	Rev D	_____	_____	Rev E	_____	_____	Rev F	_____	_____
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Rev C	_____	_____																					
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Rev E	_____	_____																					
Rev F	_____	_____																					
<p><b>CUSTOMER:</b> Oscar's Custard 7041 S 27th St Franklin, WI 53132</p> <p>Signature: _____ Date: _____</p>	<p>Production Drwg. Release: <input type="checkbox"/> Date: _____</p> <p>Install Drwg. Release: <input type="checkbox"/> Date: _____</p> <p>Materials Assessed: <input type="checkbox"/> Ordered: <input type="checkbox"/> by: _____ Date: _____</p> <p>Fabrication Completed &amp; D/C'd: <input type="checkbox"/> Date: _____</p>																						
<p><b>SignEffectz, Inc</b> SIGN / LIGHTING www.signeffectz.com</p>																							
<p>Concept Submittal Changes: 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> Estimated: <input type="checkbox"/> Adjusted 1 <input type="checkbox"/> 2 <input type="checkbox"/> Production Drwg. Release: <input type="checkbox"/> Date: _____</p>																							

**DRAWING:**  
5953704C\_06  
Insightly Ord #: 5953704  
Date: 02/25/2015  
Sales: JMD Drawn by: AE  
Scale: 3/8"=1'-0"



# Sign Effectz

1827 W Glendale Ave.  
Milwaukee WI 53209  
414-264-5504  
signeffectz.com

CUSTOMER

**OSCAR'S  
FROZEN  
CUSTARD**

FRANKLIN, WI

ORDER NUMBER

**XXXXX**

ELECTRICAL INFORMATION

VOLTS:           XXX VOLTS  
AMP DRAW:       XX AMPS  
CIRCUITS:       (X) XX AMP

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NEC AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

REVISIONS

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SALES

MIKE DLUGI

DRAWN BY

MGL

DATE

3/3/15

SCALE

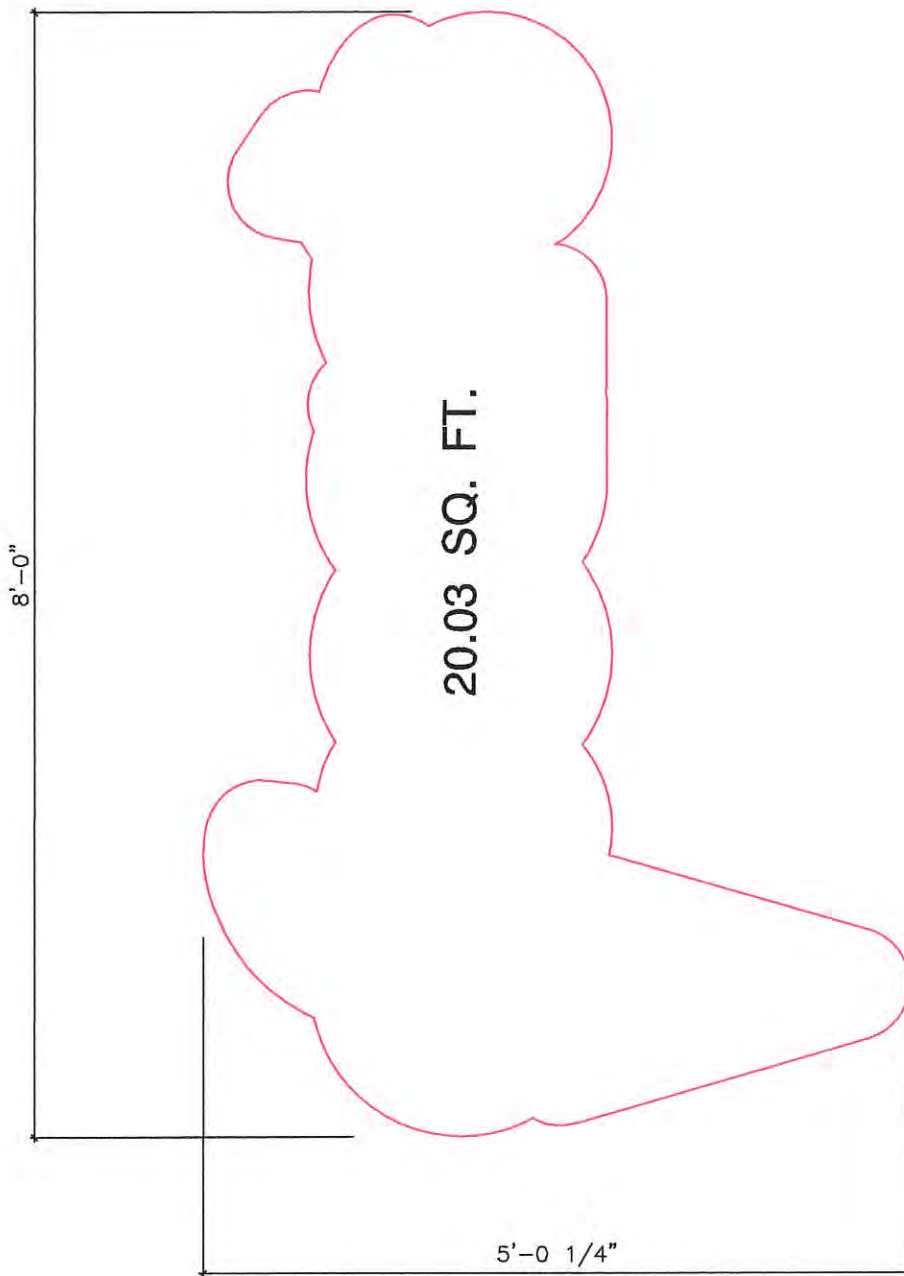
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SHEET

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DRAWING NUMBER

**5953704C**





## CITY OF FRANKLIN



## REPORT TO THE PLAN COMMISSION

Meeting of April 23, 2015

## Site Plan Amendment

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**RECOMMENDATION:** City Development Staff recommends approval of the proposed Site Plan Amendment for Victory of the Lamb Lutheran Church, subject to the conditions of approval in the attached draft resolution.

---

<b>Project Name:</b>	Victory of the Lamb Church Site Plan Amendment
<b>Project Location:</b>	11120 West Loomis Road
<b>Property Owner:</b>	Victory of the Lamb, Inc.
<b>Applicant:</b>	Victory of the Lamb Lutheran Church
<b>Agent:</b>	Kevin Rogers, Korb Tredo Architects
<b>Current Zoning:</b>	I-1 Institutional District
<b>2025 Comprehensive Plan:</b>	Institutional and Areas of Natural Resource Features
<b>Use of Surrounding Properties:</b>	Agricultural use to the north, south and west and the Animal Campus Vet Clinic to the east
<b>Applicant's Action Requested:</b>	Approval of the proposed Site Plan Amendment

---

**Introduction and Background:**

Please note:

- Staff recommendations are *underlined, in italics* and are included in the draft ordinance.
- Staff suggestions are only underlined and are not included in the draft resolution.

In December 2013, the Plan Commission and Common Council approved applications for a Comprehensive Master Plan and Rezoning submitted by Victory of the Lamb church in anticipation of the subject development. The applications changed the zoning from R-3 Suburban/Estate Single-Family Residence to I-1 Institutional District and modified the 2025 Future Land Use map designation from Residential and Areas of Natural Resource Features to Institutional and Areas of Natural Resource Features.

On December 4, 2014 the Plan Commission adopted Resolution No. 2014-015, approving a Site Plan for Victory of the Lamb Lutheran Church Worship Center and the Kayla's Krew Accessible Playground and Pavilion Development for property located at 11120 West Loomis Road.

On March 17, 2015 the Common Council voted not to pursue the Kayla's Playground project at the Victory of the Lamb Lutheran Church property located at 11120 W. Loomis Road.

On April 15, 2015 Mr. Kevin Rogers of Korb Tredo Architects, submitted an application for a Site Plan Amendment for property located at approximately 11120 West Loomis Road. The

church building was shifted north due to detailed engineering tests of the developable areas, which revealed poor soils in the originally approved location of the church building.

The primary use of worship space and worship education (provided by a religious organization) as described in the applicant's project narrative is permitted in the I-1 Institutional District under SIC Code No. 8661 Religious Organizations. The proposed classrooms and childhood development center use is permitted under SIC Code No. 8249 Vocational Schools, not elsewhere classified. Other proposed uses include children's worship space, offices, meeting rooms, a café, kitchenette and multipurpose space. The applicant has indicated that the café will be used for church functions and is not a separate business use. The site plan also identifies a future soccer field on the north end of the property. This auxiliary use is allowed as an accessory use to the primary use of the property as a church.

### **Project Description:**

#### **Site Plan:**

The applicant has shifted the building north based on detailed subject property is approximately 14.9-acres and is currently vacant. Victory of the Lamb church is proposing a 16,000 square foot, single-story building to accommodate seating for 386 people. The following items have been removed from the Site Plan: a future building expansion (for a total seating capacity of approximately 600 persons); future parking; a future soccer field and Kayla's Playground and pavilion. Please note the Landscape Plan still has a note in the northern portion of the property indicating a future soccer field.

The resulting Landscape Surface Ratio (LSR) for the proposed Site Plan Amendment is 0.87, exceeding the minimum required LSR of 0.40 of the I-1 Institutional District. The development consists of approximately 564,331 square feet of landscaped surface and 86,155 square feet of impervious surface, with a base site area of 650,486 square feet.

The site plan includes one dumpster enclosure near the northeast corner of the building. *Staff recommends that the dumpster enclosure consist of materials that match that of the proposed building, subject to Department of City Development staff review and approval, prior to the issuance of a Building Permit.*

Snow storage is illustrated on the Landscape Plan (Sheet L7), which staff considers sufficient for this phase of the development.

#### **Utilities:**

Public water service is available through a water main located immediately north of the subject property along Loomis Road. The plans indicate the water main being extended only as far south as the driveway serving the church building. The Engineering Department has provided a memo containing comments from their review of the Site Plan Amendment (attached). Some of these comments pertain to the site utilities. Please note that the property is not currently served by municipal sanitary sewer. The applicant is proposing a holding tank on the east side of the proposed church building. The applicant will be required to obtain all of the necessary approvals from the City and the Wisconsin Department of Natural Resources prior to installing the

proposed holding tank. In addition, Staff recommends that the applicant shall connect to public sanitary sewer facilities once they become available.

Access:

Applicant has indicated that the Wisconsin Department of Transportation (WISDOT) has approved the access as shown on the attached plans. However, the applicant still needs to provide City staff written approval from WISDOT.

Parking:

Table 15-5.0203 of the UDO requires a Standard Parking Ratio (SPR) of 0.4 parking spaces per seat, plus 6 queuing spaces for a church or synagogue use. The initial phase of the proposed church includes seating for 386 people. The applicant is still proposing 155 parking spaces meeting the SPR ( $386 \times 0.4 = 154.4$ ). The church also includes approximately 2,000 square feet of classroom space. Table 15-5.0203 of the UDO requires 0.3 parking spaces per student/person for day care centers, nursery schools and elementary schools. Staff is not aware of the maximum capacity for these three rooms; however, the primary use and function of facility is the worship space. As such, it appears that the amount of parking provided for the first phase of this development is adequate.

Six ADA accessible parking spaces are provided adjacent to the building, which complies with ADA standards and Table 15-5.0202(I)(1) of the UDO, which requires a minimum of six accessible parking spaces for off-street parking lots with 151 to 200 parking spaces.

Landscaping:

Table 15-5.0302 of the UDO requires one canopy/shade tree, one evergreen tree, one decorative tree and one shrub for every five provided parking spaces.

Given that the applicant is providing 155 parking spaces, 31 plantings of each type are required for this phase of the development. The Landscape Plan includes 31 canopy/shade trees, 31 evergreen trees, 31 decorative trees and 31 shrubs, which exceed the minimum number of plantings required by the UDO.

The Landscape Plan indicates a planting guarantee of 2-years provided by the landscape contractor per Section 15-5.0303G.3. of the UDO. The applicant is also proposing an irrigation plan, consisting of hose bibs around the building, which complies with Section 15-5.0303D of the UDO.

Lighting:

The applicant has not provided lighting plans for the subject development. The applicant has indicated that the lighting will conform to Unified Development Ordinance standards. Staff recommends submittal of a Lighting Plan in conformance with Division 15-5.0400 of the Unified Development Ordinance, for review and approval by Department of City Development staff, prior to issuance of a Building Permit.

Architecture:

Moving the building has not affected the approved exterior architecture of the building.

Signage:

The applicant has illustrated the location of a monument sign on the site plan. Details of that sign have not been included. *Staff recommends that all signs shall require separate review and approval by the Architectural Review Board and issuance of a Sign Permit from the Inspection Department.*

Storm water Management:

The site plan includes revised layouts for the two storm water ponds to provide onsite storm water management. *Staff recommends the applicant obtain final approval of the storm water management plan from the City Engineer, prior to issuance of an Occupancy Permit.*

Natural Resource Protection Plan and Conservation Easement:

The Victory of the Lamb property contains protected wetlands and associated wetland buffers and wetland setbacks. The wetlands were delineated on June 20, 2013 by Wetland and Waterway Consulting, LLC. These protected resources are shown on Sheet C6. The site also contains a Southeastern Wisconsin Regional Planning Commission Isolated Natural Resource Area. The applicant is not proposing any impacts to these natural resource features.

A note at the top of the NRPP (Sheet C4.0) states, “No Woodlands”. A note on the bottom of the plant list on the Landscape Plan (Sheet L5.0) states, “All natural resource features are fully maintained and unaffected by this site development”. Furthermore, a note at the bottom of the NRPP states, “West wooded hedge row exhibits mature trees in the boundary fence row. Proposed development illustrated within documented brush line will not be deleterious to the mature canopy trees only first successional growth along wooded edge will be impacted”. However, City Staff delineated three mature woodlands on the property along the west, north and a small portion of the east property lines for the previously proposed Kayla’s Playground development. On the west side of the property, the revised Site Plan (Sheet C1.0) depicts sixteen (16) parking spaces, a portion of Basin #1, landscape plantings, a snow storage area and a parking lot light pole all within the drip line of a delineated mature woodland. Furthermore, the Grading Plan (Sheet C2.0) depicts grading within the mature woodland along the west property line has a note stating, “Additional fill to be obtained by leveling off high point” with a line connecting the note to a dot within the mature woodland. In order to satisfy Condition No. 13 of Resolution No. 2014-015, the applicant shall submit a revised Natural Resource Protection Plan that depicts the mature woodland delineation for the property conducted by the City and the proposed impacts to the mature woodland, to the Department of City Development for review and approval by Staff. Staff has made the applicant aware that this may require review by a City consultant at their expense. The applicant must also demonstrate that any impacts do not exceed the protection standards per Table 15-4.0100 of the Unified Development Ordinance. If disturbances go beyond the required protection standards, a Natural Resource Special Exception Application will be required.

Staff also recommends submittal of a separate written Conservation Easement agreement for Common Council review and approval and recording with Milwaukee County.

**Staff Recommendation:**

City Development Staff recommends approval of the proposed Site Plan Amendment for Victory of the Lamb Lutheran Church, subject to the conditions of approval in the attached draft resolution.



STATE OF WISCONSIN

CITY OF FRANKLIN  
PLAN COMMISSION

MILWAUKEE COUNTY  
*[Draft 4-16 -15]*

RESOLUTION NO. 2015-\_\_\_\_\_

A RESOLUTION TO AMEND THE SITE PLAN FOR PROPERTY  
LOCATED AT 11120 WEST LOOMIS ROAD FOR THE DEVELOPMENT  
OF THE VICTORY OF THE LAMB CHURCH  
(TAX KEY NO. 889-9989-000)  
(VICTORY OF THE LAMB, INC., APPLICANT)

WHEREAS, Victory of the Lamb, Inc. having applied for an amendment to the site plan for the property located at 11120 West Loomis Road, such Site Plan having been previously approved on December 4, 2014, by Resolution No. 2014-015; and

WHEREAS, such proposed amendment resulted in part from further detailed engineering tests of the developable areas and the removal of a previously planned all-accessible and all-inclusive playground development on the property, and the Plan Commission having reviewed such proposal and having found same to be in compliance with and in furtherance of those express standards and purposes of a Site Plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan as amended, dated April 15, 2015, as submitted by the Victory of the Lamb, Inc., be and the same is hereby approved, and that Plan Commission Resolution No. 2014-015 is hereby amended accordingly, with all of the other terms thereof, excepting those pertaining to the all-accessible and all-inclusive playground development on the property, which are hereby repealed, shall remain in full force and effect.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

APPROVED:

ATTEST:

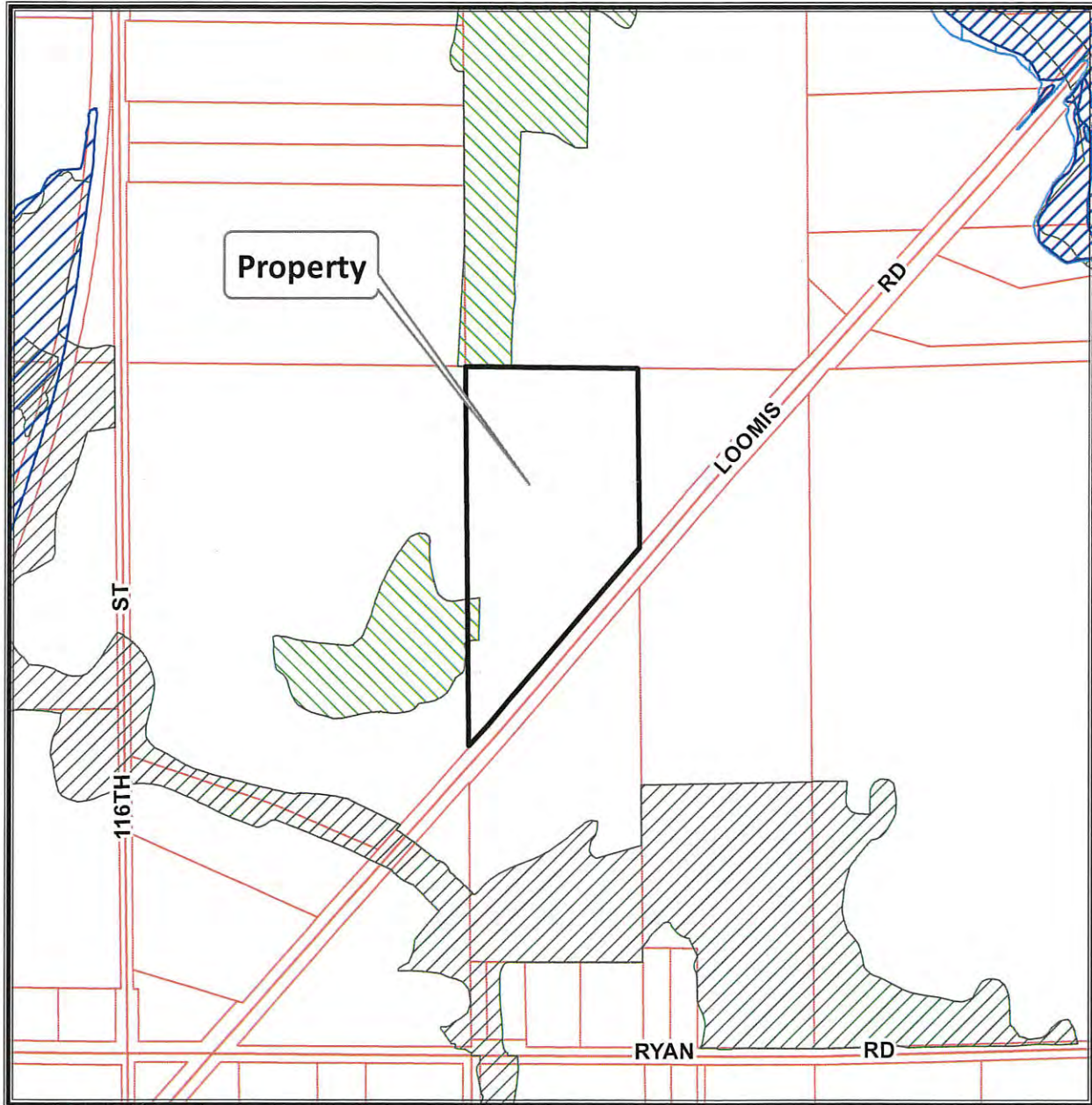
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Stephen R. Olson, Chairman

\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

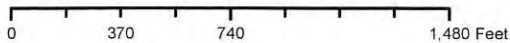
AYES \_\_\_\_\_ NOES \_\_\_\_\_ ABSENT \_\_\_\_\_



TKN 889-9989-000  
11120 West Loomis Road



Planning Department  
(414) 425-4024



2013 Aerial Photo

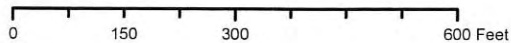
*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



TKN 889-9989-000  
11120 West Loomis Road



Planning Department  
(414) 425-4024



2013 Aerial Photo

*This map shows the approximate relative location of property boundaries but was not prepared by a professional land surveyor. This map is provided for informational purposes only and may not be sufficient or appropriate for legal, engineering, or surveying purposes.*



MEMORANDUM: FROM ENGINEERING

Franklin

DATE: April 17, 2015, 2015

APR 17 2015

TO: Planning and Zoning Department

FROM: Glen Morrow, P.E., City Engineer

*Glen Morrow*

City Development

PROJECT: Victory Lamp Lutheran Church

**Engineering Review:**

1. Re-submit of the storm water management calculation.
2. Submit storm water management agreement.
3. Submit a separate document of the 20-foot water utility easement for review and approval.
4. Request approval from the DNR to extend the water service.
5. Extend the water main to the full length of the property abutting the right of way. The proposed termination of the water main could be accepted only if the land will be divided (Certified Survey Map) at that point and create an outlet for future recreation area.
6. Get approval from the State Department of Transportation for the construction of the driveway opening and the installation of the water utility within the State ROW.
7. Relocate the holding tank to have an easy access for future connection of sanitary sewer.
8. Need to approve holding tank by the Building Inspection.
9. Make sure that the wetland depicted in the plan is the actual location of the survey at the field. Avoid any disturbance in the wetland area per DNR restriction. Please submit a copy of the survey of the wetland delineation.
10. Have the handicap be at close as possible to the front of the building.
11. Need to make sure that all the side slopes at the edge of the pavement or concrete curb and gutter must not to exceed more than 3:1 slope. Slope not greater than 4:1 is recommended.
12. Need to make to have the 15-foot wide minimum maintenance access shelf around the perimeter of the pond with the slope no greater than 10:1.
13. Certification of the grading and storm basins will be required upon completion of the project.
14. Meeting with the City of Franklin-Engineering Department representative is necessary to discuss and rectify some issues or questions in the plan.

Thank you.

## RESOLUTION NO. 2014-015

A RESOLUTION APPROVING A SITE PLAN FOR VICTORY OF THE LAMB  
LUTHERAN CHURCH WORSHIP CENTER AND KAYLA'S KREW ACCESSIBLE  
PLAYGROUND AND PAVILION DEVELOPMENT  
(11120 WEST LOOMIS ROAD)  
(VICTORY OF LAMB, INC., APPLICANT)

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WHEREAS, Victory of Lamb, Inc. having applied for approval of a proposed site plan for construction of an approximately 15,000 square foot Phase 1 church facility containing worship space, offices, meeting rooms, classrooms, multi-purpose space, a café and kitchenette, Kayla's Krew accessible playground and pavilion, and a parking lot containing 153 spaces, located at 11120 West Loomis Road; and

WHEREAS, the Plan Commission having reviewed such proposal and having found same to be in compliance with the applicable terms and provisions of §15-3.0421 of the Unified Development Ordinance and in furtherance of those express standards and purposes of a site plan review pursuant to Division 15-7.0100 of the Unified Development Ordinance.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Franklin, Wisconsin, that the Site Plan for the development of an approximately 15,000 square foot Phase 1 church facility containing worship space, offices, meeting rooms, classrooms, multi-purpose space, a café and kitchenette, Kayla's Krew accessible playground and pavilion, and a parking lot containing 153 spaces, as depicted upon the plans dated November 24, 2014, attached hereto and incorporated herein, is hereby approved, subject to the following terms and conditions:

1. The property subject to the Site Plan shall be developed in substantial compliance with, and operated and maintained pursuant to the Site Plan for Victory of Lamb, Inc. dated November 24, 2014.
2. Victory of Lamb, Inc., successors and assigns, and any developer of the Phase 1 Victory of the Lamb Lutheran Church worship center and Kayla's Krew accessible playground and pavilion construction project, shall pay to the City of Franklin the amount of all development compliance, inspection and review fees incurred by the City of Franklin, including fees of consults to the City of Franklin, for the Phase 1 Victory of the Lamb Lutheran Church worship center and Kayla's Krew accessible playground and pavilion construction project, within 30 days of invoice for same. Any violation of this provision shall be a violation of the Unified Development Ordinance, and subject to §15-9.0502 thereof and §1-19. of the Municipal Code, the general penalties and remedies provisions, as amended from time to time.

VICTORY OF LAMB, INC. – SITE PLAN

RESOLUTION NO. 2014-015

Page 2

3. The approval granted hereunder is conditional upon the Victory of Lamb, Inc. Phase 1 Victory of the Lamb Lutheran Church worship center and Kayla's Krew accessible playground and pavilion construction project: (i) being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances; and (ii) obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project to be developed and as presented for this approval.
4. That the Victory of Lamb, Inc. Phase 1 Victory of the Lamb Lutheran Church worship center and Kayla's Krew accessible playground and pavilion construction project shall be developed and constructed pursuant to such Site Plan within one year from the date of adoption of this Resolution, or this Resolution and all rights and approvals granted hereunder shall be null and void, without any further action by the City of Franklin.
5. The Kayla's Krew playground and pavilion shall be subject to Plan Commission approval of a Site Plan Amendment Application, prior to the commencement of work
6. The dumpster enclosure shall consist of materials that match that of the proposed building, subject to Department of City Development staff review and approval, prior to the issuance of a Building Permit
7. The Erosion Control/Grading Plan shall be revised to include rough grading, temporary landscaping, and appropriate long-term erosion control measures for the lands immediately adjacent to the northern portion of the parking lot for staff review and approval prior to issuance of a Building Permit.
8. Applicant shall connect to public sanitary sewer facilities once they become available.
9. Applicant shall submit a Lighting Plan in conformance with Division 15-5.0400 of the Unified Development Ordinance, for review and approval by Department of City Development staff, prior to issuance of a Building Permit.
10. Applicant shall submit revised architectural elevations that include decorative window treatments to the windows on the south and east elevations for review and approval by Department of City Development staff, prior to issuance of a Building Permit.
11. All signs shall require separate review and approval by the Architectural Review Board and issuance of a Sign Permit from the Inspection Department.
12. Applicant shall obtain final approval of the storm water management plan from the City Engineer, prior to issuance of an Occupancy Permit.

13. Applicant shall further demonstrate, to the satisfaction of the Planning Manager, that the property does not contain a protected woodland or grove, prior to issuance of a Building Permit.
14. Applicant shall submit a separate written Conservation Easement agreement for Common Council review and approval and recording with Milwaukee County.

Introduced at a regular meeting of the Plan Commission of the City of Franklin this 4th day of December, 2014.

Passed and adopted at a regular meeting of the Plan Commission of the City of Franklin this 4th day of December, 2014.

APPROVED:

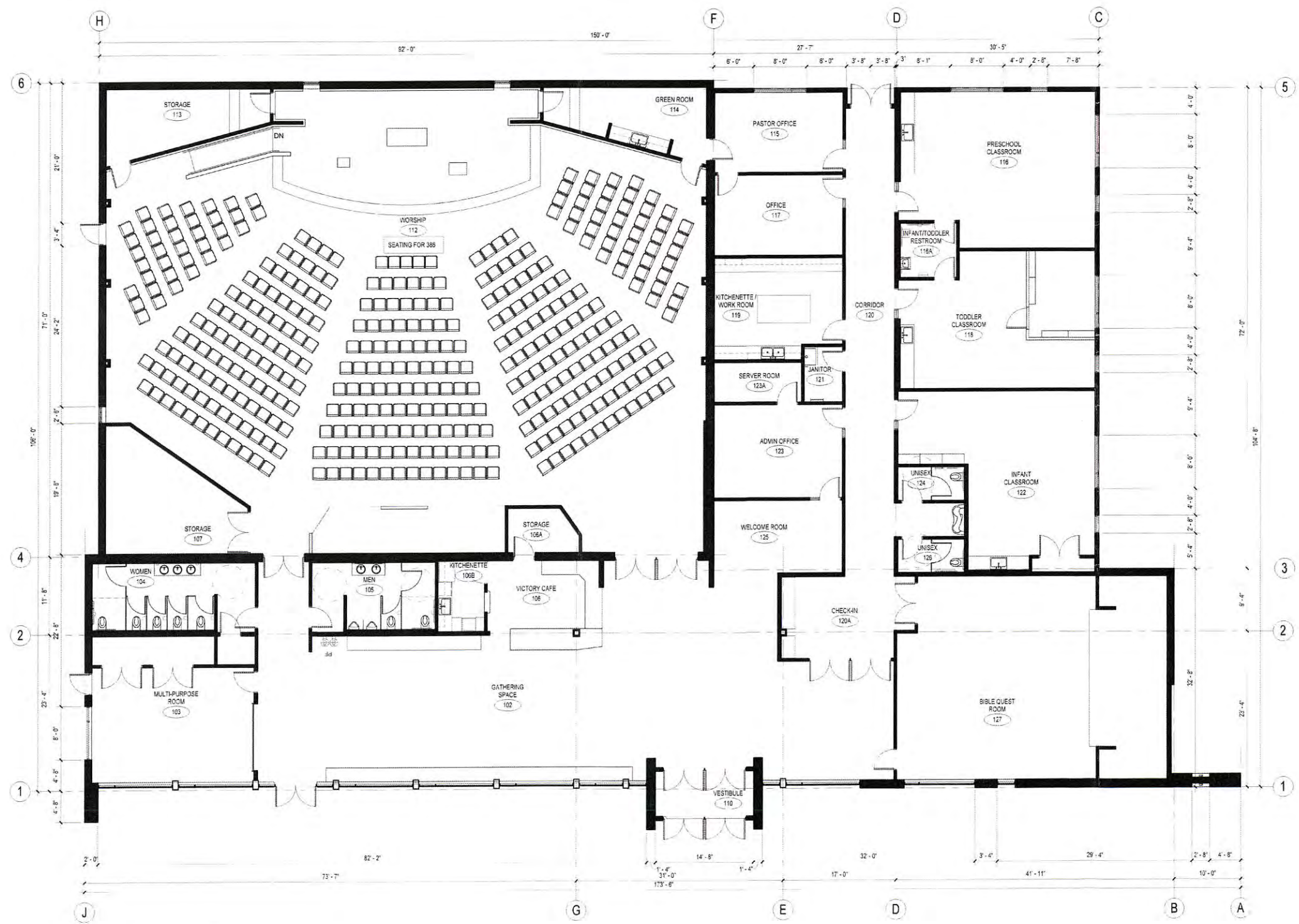
  
\_\_\_\_\_  
Stephen R. Olson, Chairman

ATTEST:

  
\_\_\_\_\_  
Sandra L. Wesolowski, City Clerk

AYES 6 NOES 0 ABSENT 0

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1 FIRST FLOOR PLAN - DD REVIEW  
1/8" = 1'-0"

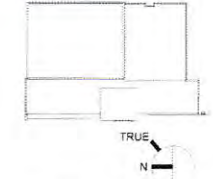
KORB TREDO ARCHITECTS

- PROJECT: VICTORY OF THE LAMB - WORSHIP FACILITY
- OWNER: VICTORY OF THE LAMB LUTHERAN CHURCH
- ARCHITECT: KORB TREDO ARCHITECTS
- CONSTRUCTION MANAGER: CATALYST CONSTRUCTION
- STRUCTURAL ENGINEER: PIERCE ENGINEERS, INC.

REVISION NO. DATE

Franklin  
NOV 24 2014

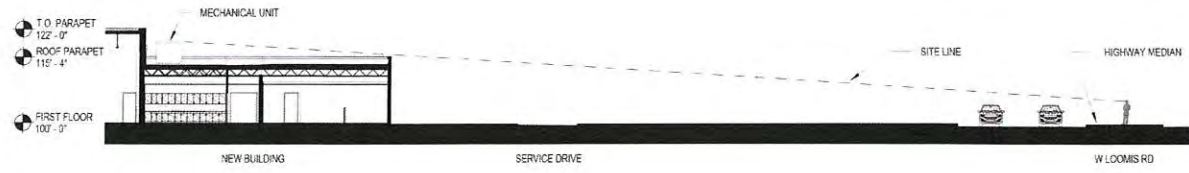
City Development



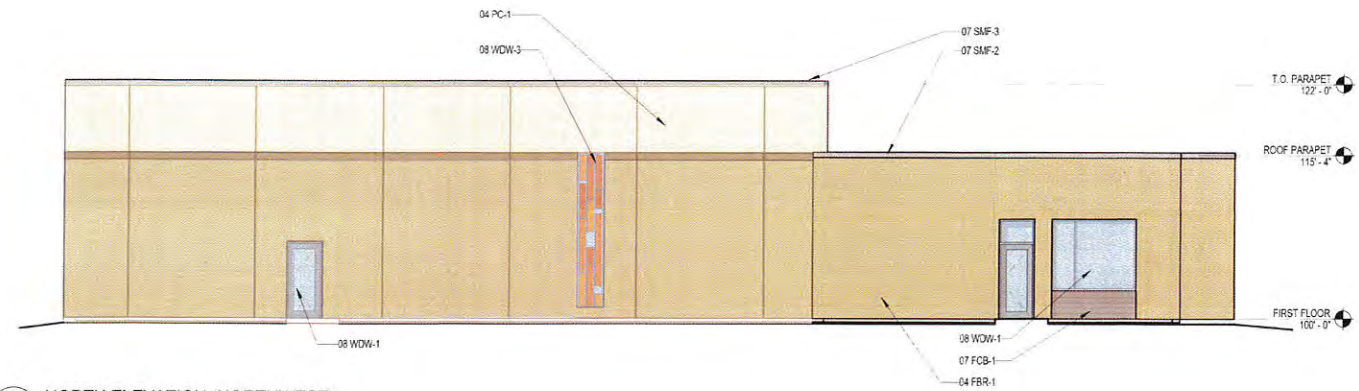
COMM No.	14015
SCALE	As indicated
PHASE	SITE REVIEW & AR3
DATE	NOVEMBER 24, 2014

FLOOR PLAN  
**A100 F**  
Copyright 2012, Korb Tredo Architects, Inc.

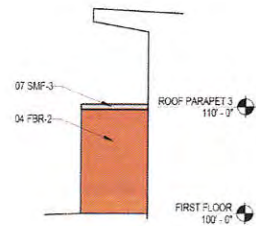




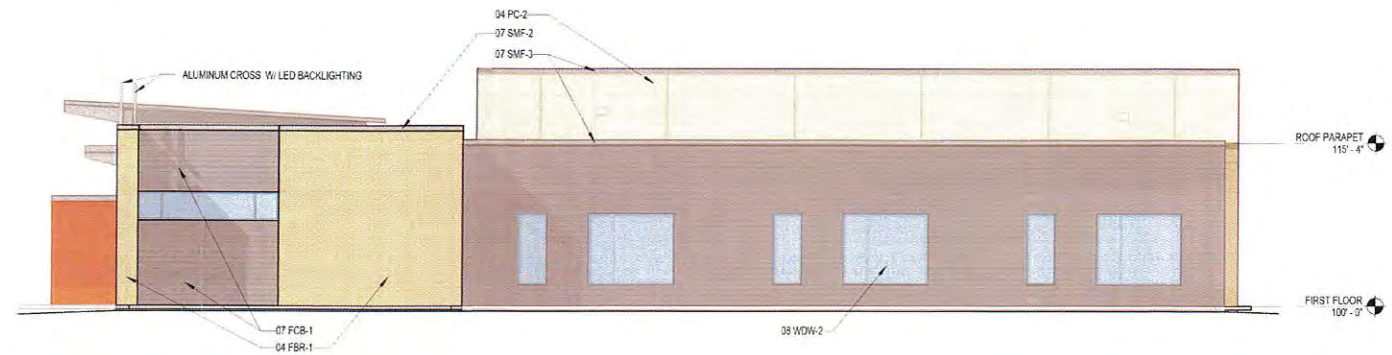
6 SITE SECTION  
1" = 20'-0"



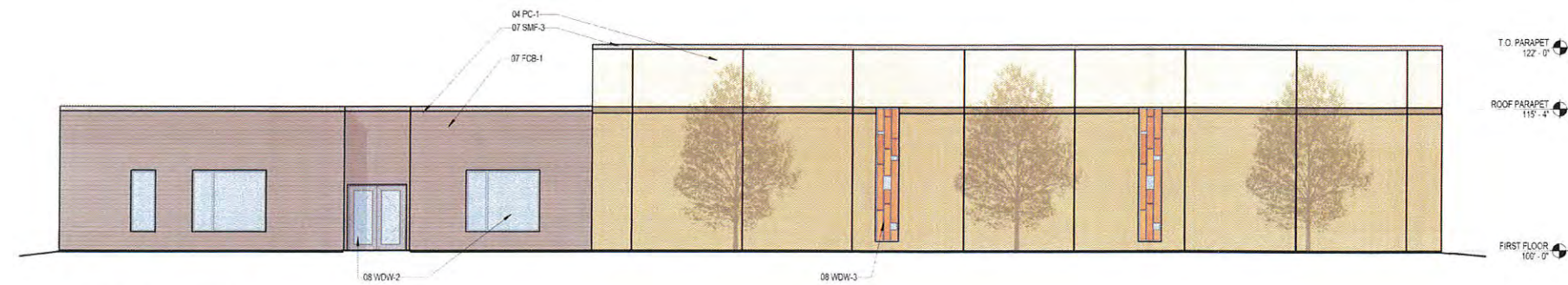
5 NORTH ELEVATION (NORTHWEST)  
1/8" = 1'-0"



4 PARTIAL SOUTH ELEVATION - FRANKLIN  
1/8" = 1'-0"



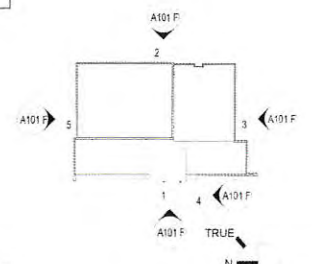
3 SOUTH ELEVATION (SOUTHEAST)  
1/8" = 1'-0"



2 EAST ELEVATION (NORTHEAST)  
1/8" = 1'-0"

PRODUCT IDENTIFICATION LIST	
PRODUCT	DESCRIPTION
04 FBR-1	MODULAR FACE BRICK
04 FBR-2	GLAZED BRICK - SIM. TO ELGIN BUTLER - BURNT SIENNA
04 PC-1	PRE-CAST CONCRETE PANEL
04 PC-2	PRE-CAST CONCRETE PANEL WITH 07 MP-3
07 FCB-1	FIBER CEMENT BOARD
07 MP-3	METAL PLATE WALL PANEL
07 SMF-2	PRE-FINISHED ALUMINUM GRAVEL STOP
07 SMF-3	PRE-FINISHED ALUMINUM COPING
08 WDW-1	ALUMINUM CLAD WOOD WINDOW/DOOR BASED ON ANDERSON E-SERIES OR KOLBE ULTRA
08 WDW-2	COMMERCIAL FIBERGLASS WINDOW/DOOR BASED ON IN LINE COMMERCIAL FIBERGLASS WINDOW - 400 SERIES OR KOLBE TEUTONIC
08 WDW-3	ALUMINUM STOREFRONT WINDOW WITH COLORED GLASS PANELS

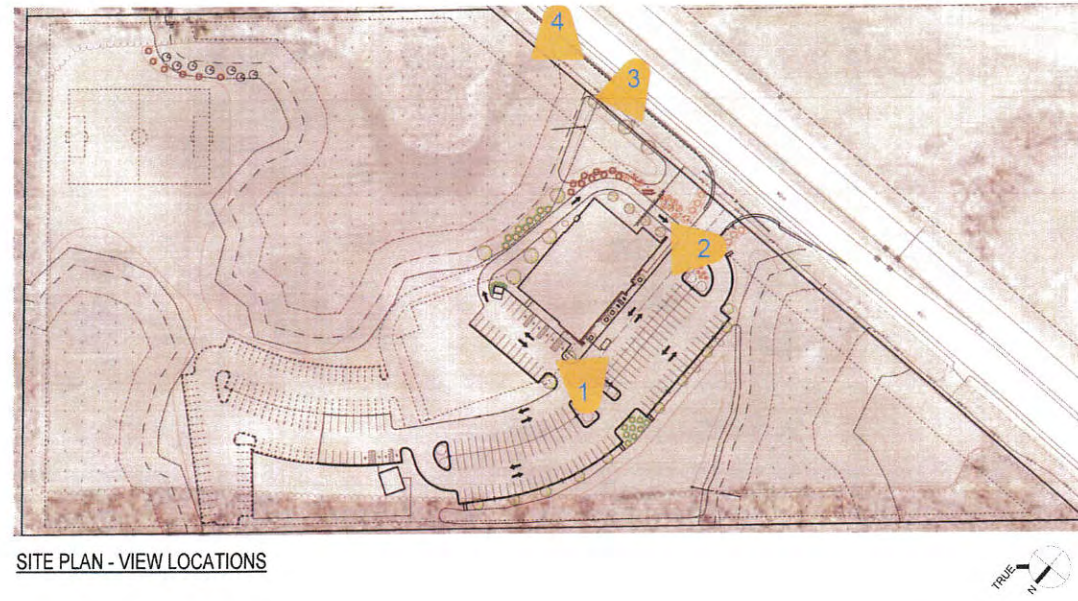
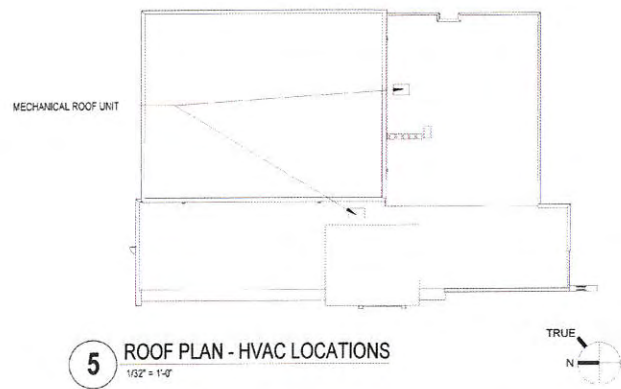
- PROJECT:  
VICTORY OF THE LAMB - WORSHIP FACILITY
- OWNER:  
VICTORY OF THE LAMB LUTHERAN CHURCH
- ARCHITECT:  
KORB TREDO ARCHITECTS
- CONSTRUCTION MANAGER:  
CATALYST CONSTRUCTION
- STRUCTURAL ENGINEER:  
PIERCE ENGINEERS, INC.



COMM No: 14015  
SCALE: As indicated  
PHASE: SITE REVIEW & ARS  
DATE: NOVEMBER 24, 2014

ELEVATION MATERIAL LEGEND	
	MP-1 - METAL PANEL
	FCB-1 - FIBER CEMENT BOARD - LAP SIDING 6" NOMINAL
	FBR-1 - FACE BRICK VENEER

EXTERIOR ELEVATIONS  
**A101 F**  
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4 - LOOKING NORTHWEST FROM LOOMIS RD



3 - LOOKING NORTHWEST FROM LOOMIS RD



2 - LOOKING NORTHEAST



1 - LOOKING SOUTHWEST

KORB TREDO ARCHITECTS

- PROJECT:  
VICTORY OF THE LAMB -  
WORSHIP FACILITY
- OWNER:  
VICTORY OF THE LAMB  
LUTHERAN CHURCH
- ARCHITECT:  
KORB TREDO ARCHITECTS
- CONSTRUCTION MANAGER:  
CATALYST CONSTRUCTION
- STRUCTURAL ENGINEER:  
PIERCE ENGINEERS, INC.

REVISION No.      DATE

PROGRESS DOCUMENTS

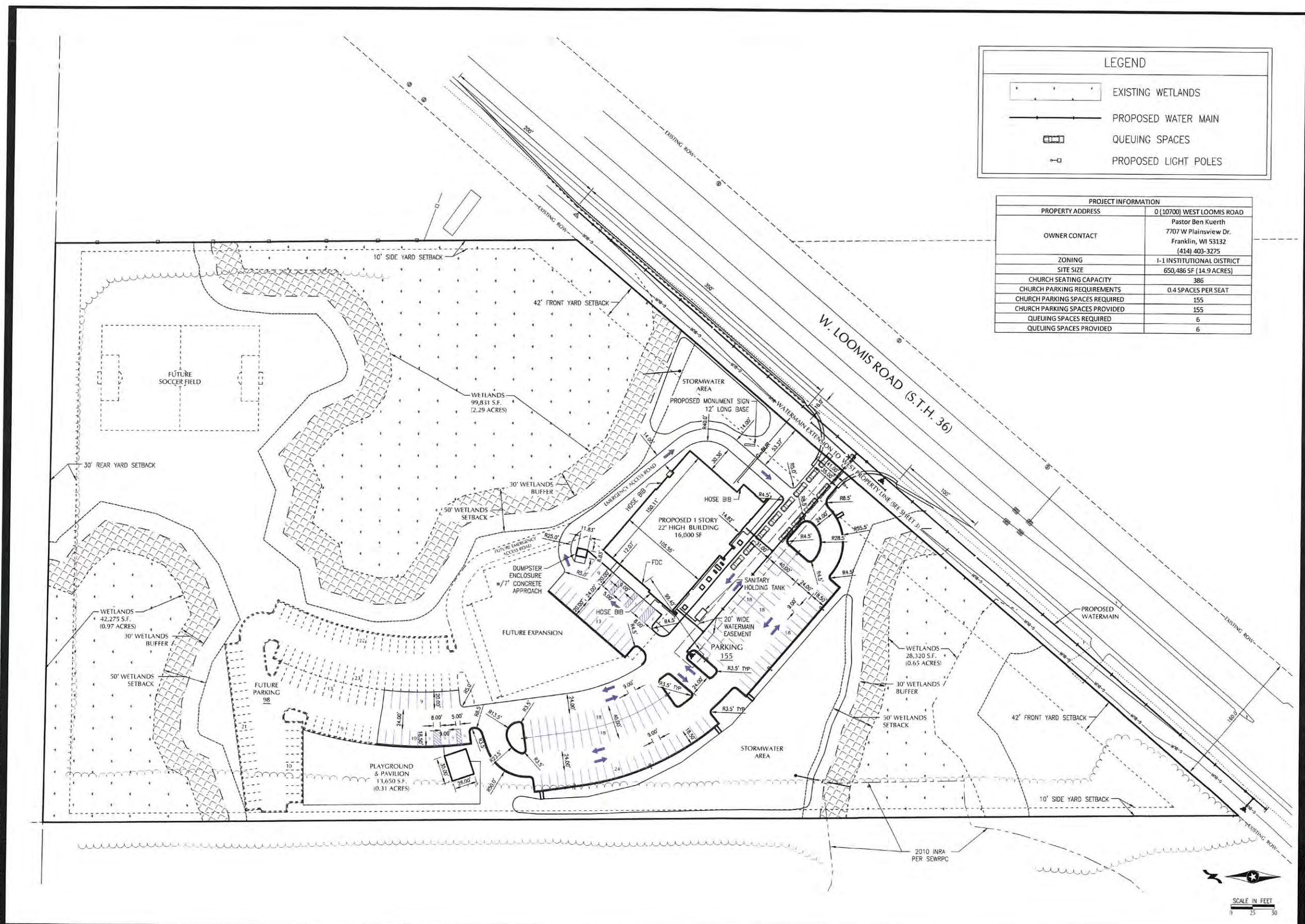
COMM No.	14015
SCALE	1/32" = 1'-0"
PHASE	DD PRICING SET
DATE	NOVEMBER 4, 2014

ARCHITECTURAL  
RENDERINGS

**A102F**

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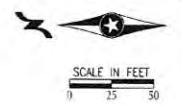
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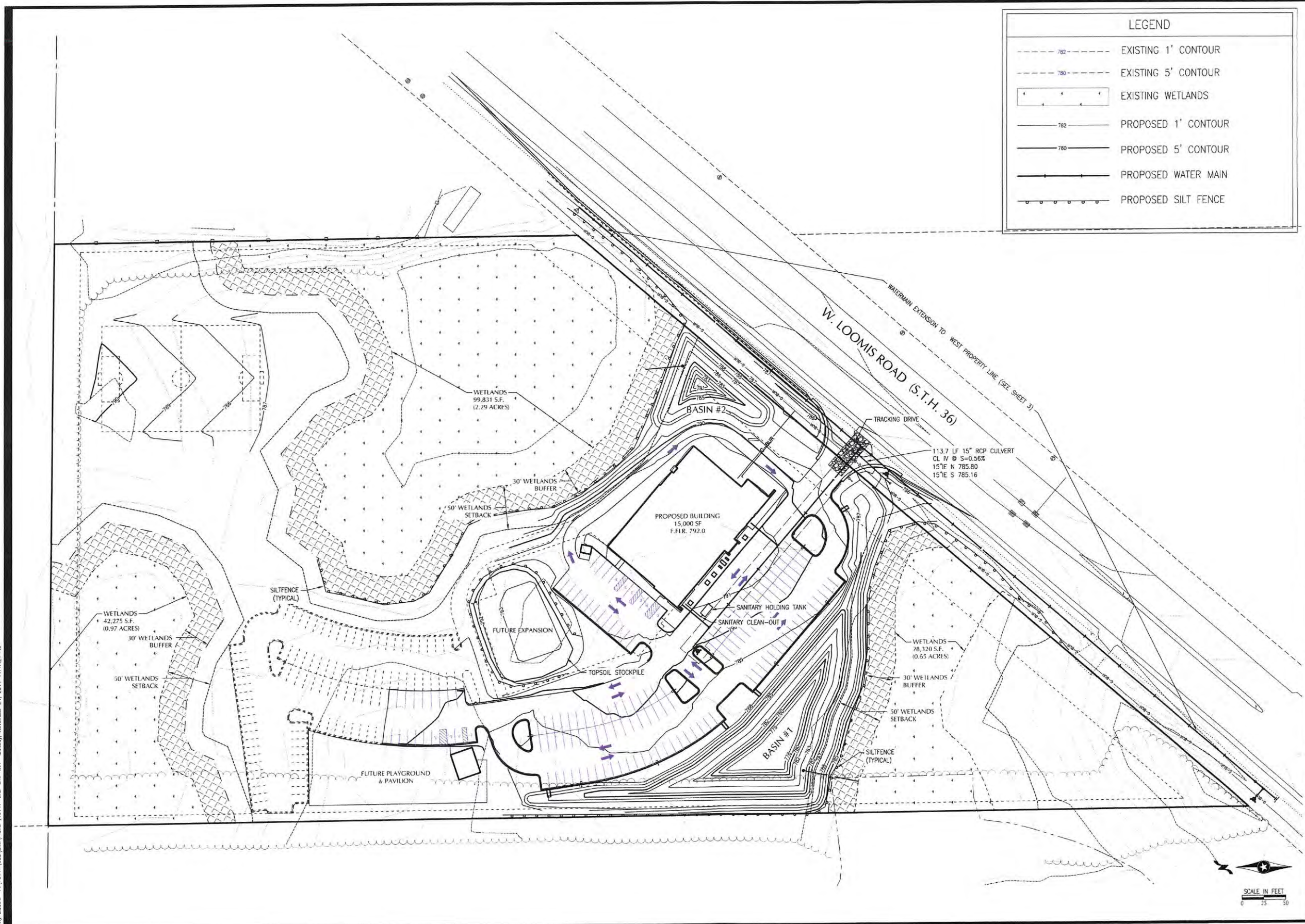
VICTORY OF THE LAMB  
0 (10700) W. LOOMIS RD.  
CITY OF FRANKLIN, WISCONSIN  
SITE PLAN

PROJECT NUMBER	16147
DATE	NOVEMBER 3, 2014
DRAWN BY	PAL
CHECKED BY	L. VAYNBERG
REVISION HISTORY	
CITY COMMENTS	11-24-2014

SHEET NUMBER  
**C 1**  
OF 8 SHEETS



P:\16147\Coord\Civil\Plans\16147-ORD-SIT-DRT Monroy, November 24, 2014 11:47:21 AM



LEGEND	
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING WETLANDS
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	PROPOSED WATER MAIN
	PROPOSED SILT FENCE



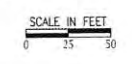
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VICTORY OF THE LAMB  
0 (10700) W. LOOMIS RD.  
CITY OF FRANKLIN, WISCONSIN  
GRADING & EROSION CONTROL PLAN

PROJECT NUMBER	16147
DATE	NOVEMBER 3, 2014
DRAWN BY	PAL
CHECKED BY	I. VAYNBERG
REVISION HISTORY	
CITY COMMENTS	11-24-2014

SHEET NUMBER  
**C 2**  
OF 8 SHEETS





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**GREEN TIER**  
Sustainable. Smart. Superior.

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0 (10700) W. LOOMIS RD.  
CITY OF FRANKLIN, WISCONSIN

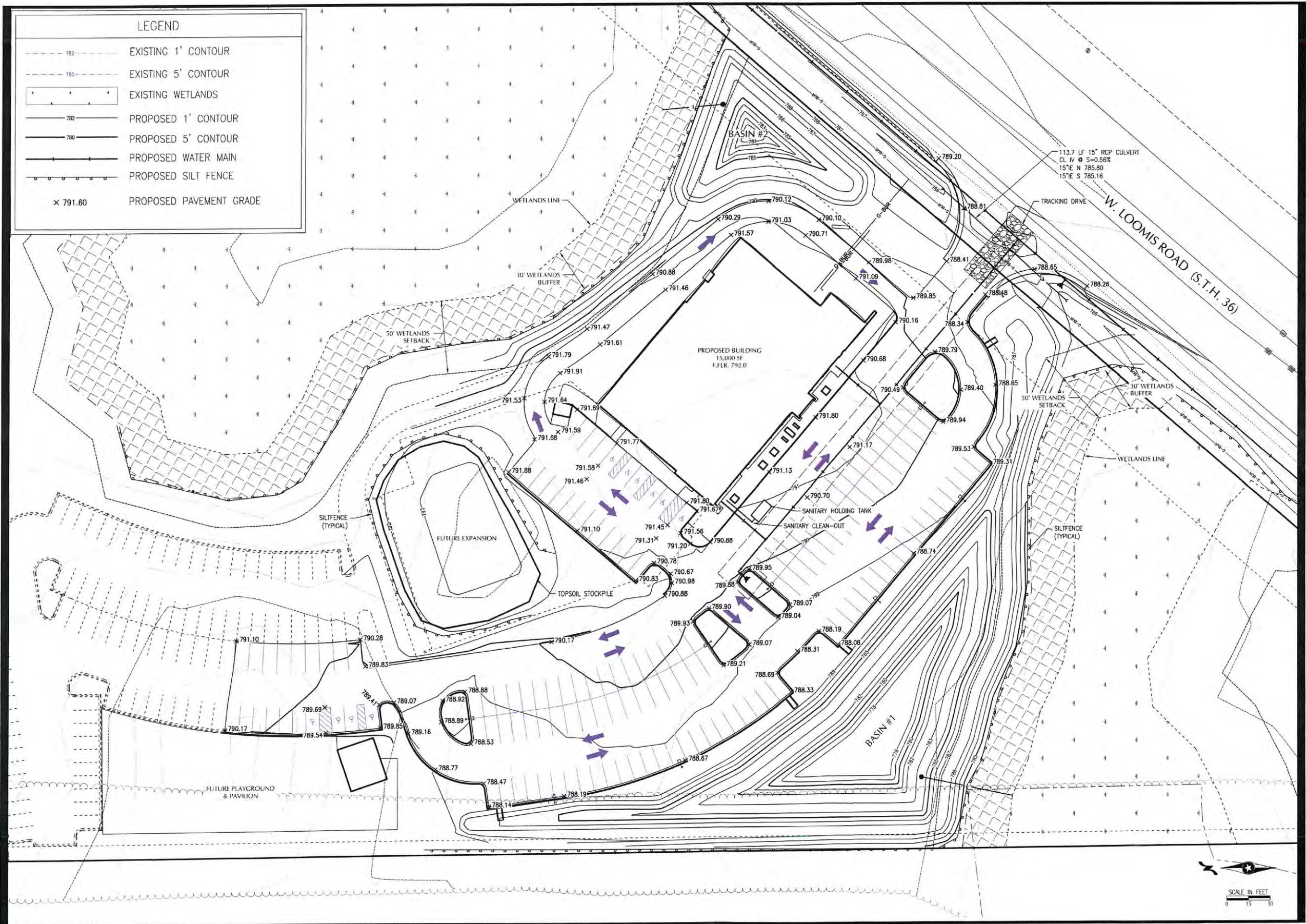
GRADING DETAIL

PROJECT NUMBER	15147
DATE	NOVEMBER 3, 2014
DRAWN BY	PAL
CHECKED BY	I. VAYNBERG
REVISION HISTORY	
CITY COMMENTS	11-24-2014

SHEET NUMBER  
**C 2A**  
OF 8 SHEETS

**LEGEND**

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- EXISTING WETLANDS
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED WATER MAIN
- PROPOSED SILT FENCE
- PROPOSED PAVEMENT GRADE



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VICTORY OF THE LAMB  
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CITY OF FRANKLIN, WISCONSIN

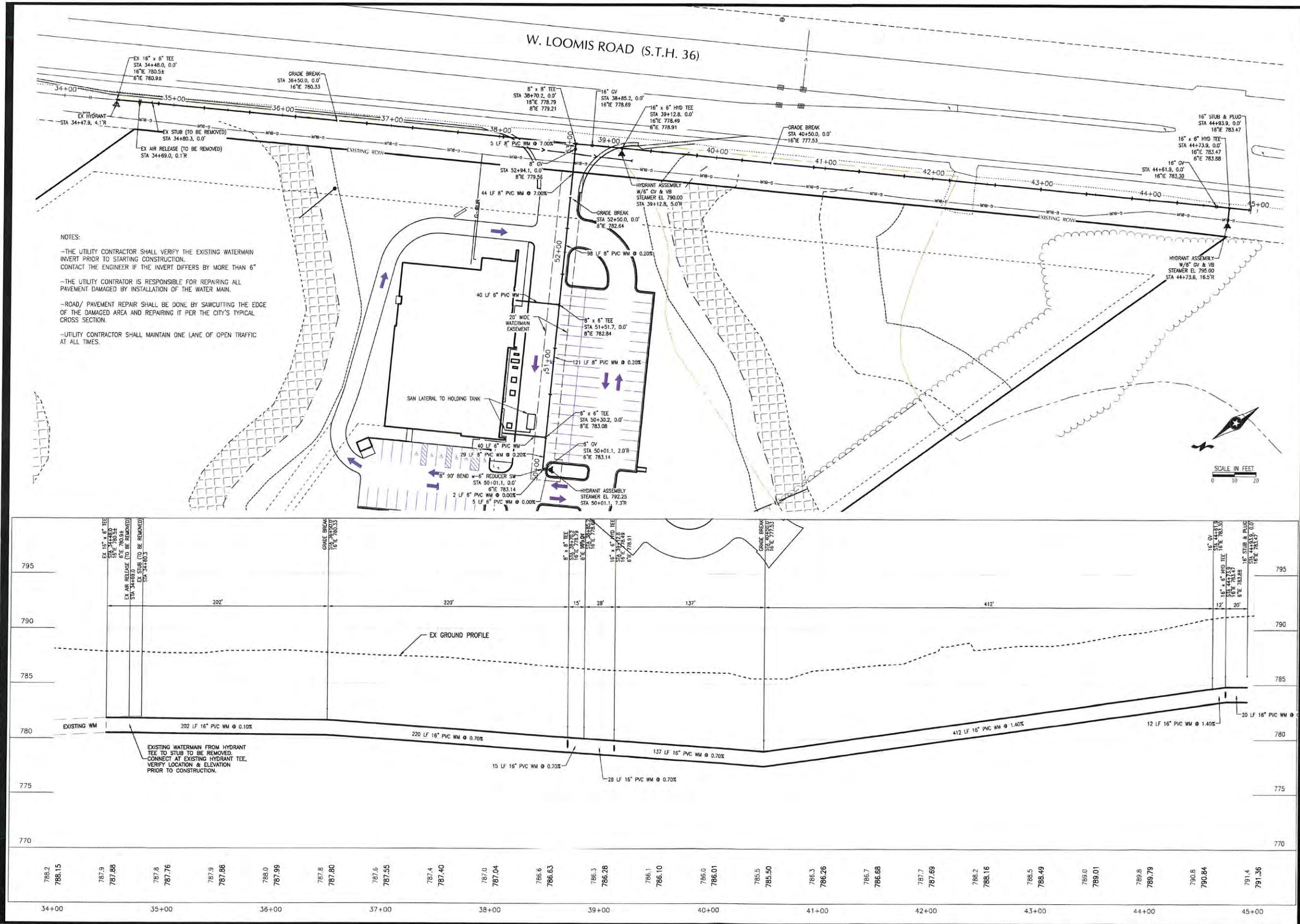
WATERMAIN PLAN & PROFILE

PROJECT NUMBER 16147  
DATE NOVEMBER 3, 2014  
DRAWN BY PAL  
CHECKED BY I. VAYNBERG  
REVISION HISTORY  
CITY COMMENTS 11-24-2014

SHEET NUMBER

C 3

OF SHEETS



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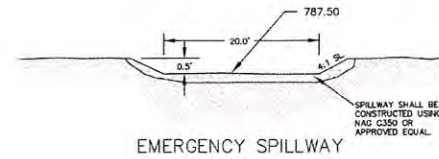
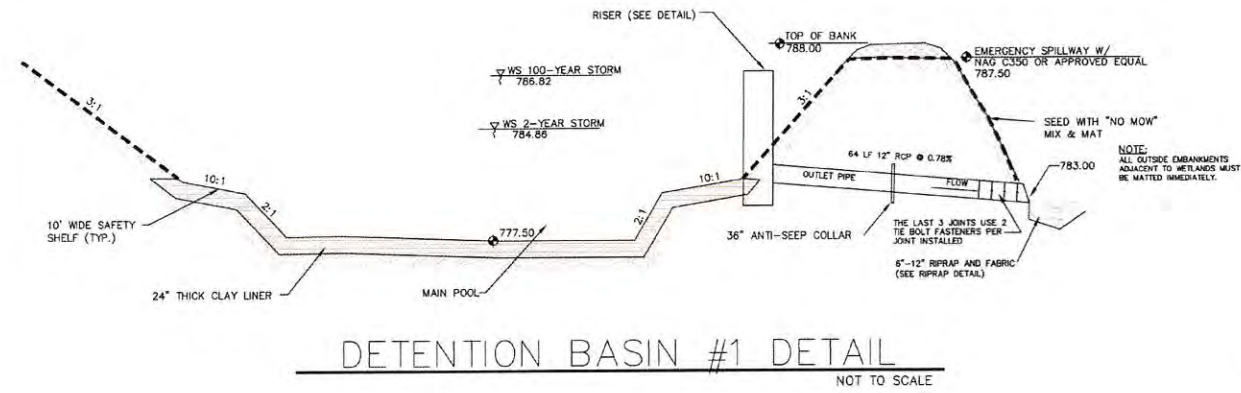
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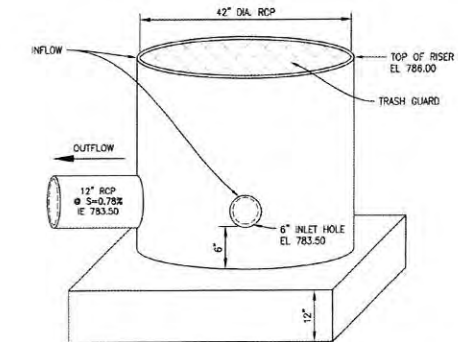
VICTORY OF THE LAMB  
0 (10700) W. LOOMIS RD.  
CITY OF FRANKLIN, WISCONSIN  
STORMWATER BASIN DETAILS

PROJECT NUMBER	16147
DATE	NOVEMBER 3, 2014
DRAWN BY	PAL
CHECKED BY	L. WAINBERG
REVISION HISTORY	
CITY COMMENTS	11-24-2014

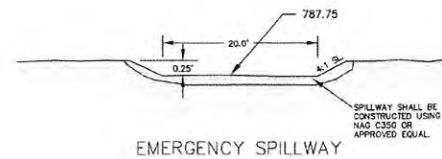
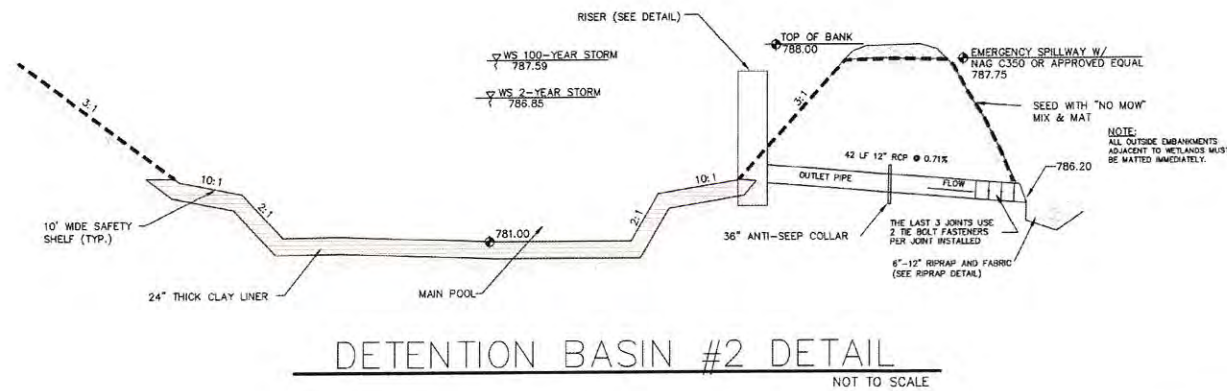
SHEET NUMBER  
**C 4**  
OF 8 SHEETS



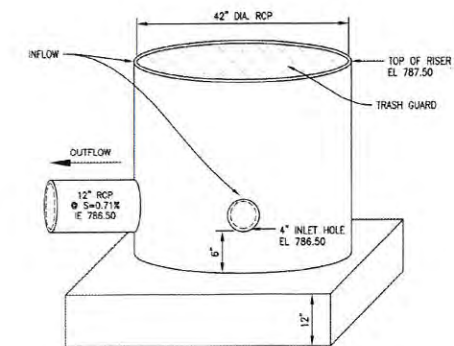
NOTE: BASIN 1 SHALL BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION. ONCE RESTORATION OF CONTRIBUTING AREAS IS COMPLETE, THE BASIN BOTTOM SHALL BE CLEANED AND RESTORED.



MULTI-STAGE CONCRETE STRUCTURE



NOTE: BASIN 2 SHALL BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION. ONCE RESTORATION OF CONTRIBUTING AREAS IS COMPLETE, THE BASIN BOTTOM SHALL BE CLEANED AND RESTORED.



MULTI-STAGE CONCRETE STRUCTURE



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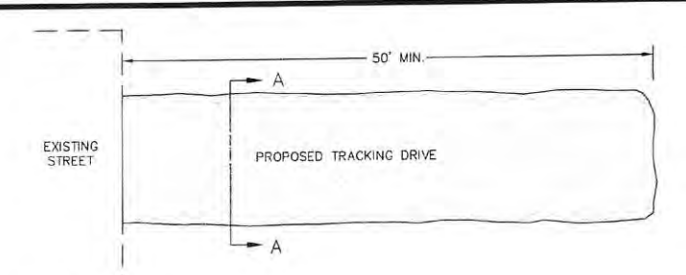
501 MAPLE AVENUE  
DELAFIELD, WISCONSIN 53018  
262-646-6855  
FAX 262-646-6864



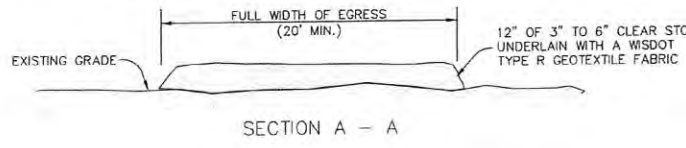
VICTORY OF THE LAMB  
0 (10700) W. LOOMIS RD.  
CITY OF FRANKLIN, WISCONSIN  
CONSTRUCTION DETAILS

PROJECT NUMBER	16147
DATE	NOVEMBER 3, 2014
DRAWN BY	DAL
CHECKED BY	L. VAYNBERG
REVISION HISTORY	
CITY COMMENTS	11-24-2014
SHEET NUMBER	

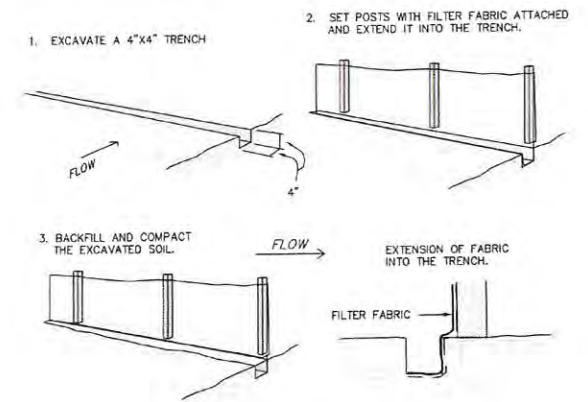
C 5  
OF 8 SHEETS



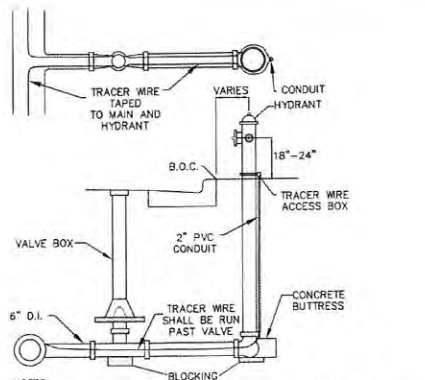
**NOTE:**  
CONTRACTOR TO INSTALL ENTRANCE ROAD PRIOR TO START OF CONSTRUCTION, AND MAINTAIN ROAD UNTIL WORK IS COMPLETED.  
CONTRACTOR TO CLEAN EXISTING STREET DAILY AT DIRECTION CITY ENGINEER



**TEMPORARY GRAVEL TRACKING DRIVE**  
NTS  
**NOTE:** INSTALL AND MAINTAIN PER DNR TECHNICAL STANDARD 1057



**CONSTRUCTION OF A SILT FENCE**  
NTS  
**NOTE:** INSTALL AND MAINTAIN PER DNR TECHNICAL STANDARD 1056

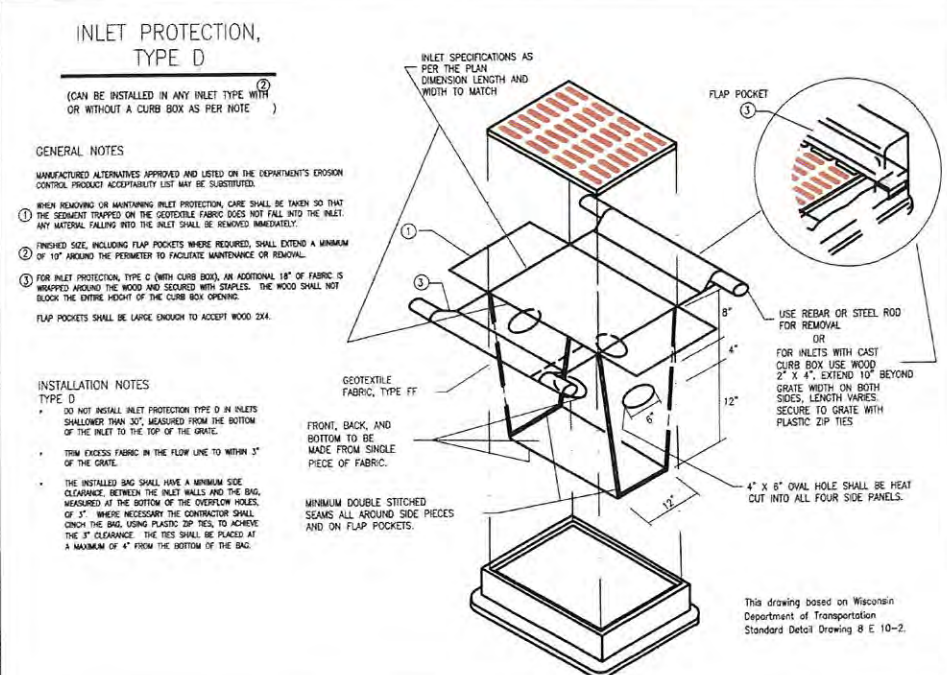


**HYDRANT SETBACK AND TRACER WIRE DETAIL**  
NOT TO SCALE

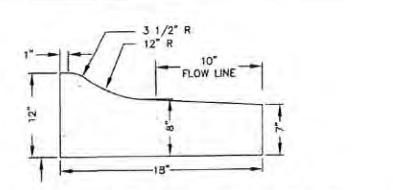
- EROSION CONTROL:**
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE "WISCONSIN STORMWATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS".
  - SEDIMENT CONTROL MEASURES MAY NEED TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
  - PROVIDE INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES AFTER EVERY RUNOFF PRODUCING RAINFALL AND SNOW MELT OR WINTER THAW EVENT TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH DAY.
  - INSPECT SEDIMENT CONTROL STRUCTURES FOR INTEGRITY AFTER ANY SIGNIFICANT RAINFALL OF 1/2" OR MORE. **CORRECT ANY DAMAGED STRUCTURES IMMEDIATELY.**
  - DO NOT REMOVE ANY SEDIMENT CONTROL MEASURES UNTIL THE AREAS SERVED HAVE 80% OR MORE ESTABLISHED VEGETATIVE COVER.
  - ALL TRACKED SOIL ON ADJACENT STREETS FROM THIS PROJECT MUST BE CLEANED ON A DAILY BASIS, MINIMUM. CONTRACTORS ARE REQUIRED TO USE THE TRACKING DRIVE ONLY FOR ACCESS TO THE SITE.
  - NO DE-WATERING IS EXPECTED FOR UTILITY CONSTRUCTION, HOWEVER IF DE-WATERING BECOMES NECESSARY THEN ALL TRENCH DE-WATERING SHALL BE PLUMBED INTO A SEDIMENT BAG AND DIRECTED TO AN ESTABLISHED SEDIMENT BASIN OR TRAP - SEE DE-WATERING NOTE BELOW.
  - PROTECT STORM SEWER COLLECTION INLETS FROM RUN-OFF BY USING THE APPROPRIATE INLET PROTECTION. PROVIDE PROTECTION ONCE INLETS ARE INSTALLED AND MAINTAIN DURING THE DURATION OF THE CONSTRUCTION, REMOVE ONCE SITE IS STABILIZED.
  - SEDIMENT CONTROL FOR UTILITY PIPELINE CONSTRUCTION:  
A. PLACE EXCAVATED TRENCH MATERIAL ON HIGH SIDE OF THE TRENCH.  
B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE INSTALLATION.
  - ALL PERMANENT SWALES SHALL BE RESTORED WITH CLASS II - TYPE B ECRM; TEMPORARY DIVERSION SWALES MAY BE RESTORED USING CLASS I - TYPE B ECRM. ALL SLOPES GRADED TO 4:1 OR STEEPER MUST BE RESTORED WITH CLASS I - TYPE A ECRM TO ESTABLISH VEGETATION AND MINIMIZE EROSION.

- GENERAL NOTES:**
- ALL EROSION CONTROL PRACTICES MUST BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF PRODUCING RAINFALL AS WELL AS SNOW MELT AND WINTER THAW (1/2" OR MORE), AND AT LEAST ONCE PER WEEK.
  - ALL TEMPORARY TOPSOIL STOCKPILES SHALL NOT BE LOCATED WITHIN 25 FEET OF A DRAINAGE WAY OR A WETLAND AND SHALL BE PROTECTED WITH SILT FENCING AROUND THE DOWN-SLOPE AND SIDE-SLOPES OF THE PILE, AND STABILIZED WITH TEMPORARY SEEDING IF LEFT INACTIVE FOR 7 DAYS OR MORE.
  - CUT AND FILL SLOPES WILL BE 4:1 OR FLATTER OUTSIDE THE ROAD RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.
  - TEMPORARY SEEDING TO CONFORM WITH SECTION 630.2.1.5.1.2 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (ANNUAL OATS) NOTE: FALL PLANTINGS TO INCLUDE WINTER WHEAT OR RYE ADDED TO MIXTURE.
  - HYDRO-MULCHING ALL DISTURBED AREAS W/ POLYACRYLAMIDE REQUIRED FOR WINTER STABILIZATION (PER DOT'S PAL).  
DEADLINES FOR SEEDING ARE:  
SEPTEMBER 15 - COOL GRASS SEEDING;  
OCTOBER 15 - TEMPORARY SEEDING;  
NOVEMBER 15 - DORMANT SEEDING.
  - DETENTION BASINS TO BE EXCAVATED BY EXTRACTION METHOD ONLY. **NO SCRAPERS SHALL OPERATE IN THE BOTTOM OF THE DETENTION BASINS.**
  - BASIN BERM COMPACTION TO MEET 90% MODIFIED PROCTOR.
  - TOPSOIL SHALL NOT BE USED AS FILL MATERIAL IN THE NON-STRUCTURAL AREAS UNTIL ALL SOURCES OF STRUCTURAL CLUT AND TRENCH SPILLS HAVE BEEN EXHAUSTED, UNLESS OTHERWISE INDICATED OR INSTRUCTED BY OWNER OR PROJECT ENGINEER.
  - RESTORATION SHALL BE 6" TOPSOIL (REASONABLY FREE OF STONES, STICKS, ROOTS, AND OTHER OBJECTIONABLE MATTER AND DEBRIS). ONCE TOPSOIL HAS BEEN SPREAD, THE AREA SHALL BE SEEDDED WITH SLED MIXTURE NO. 40 IN SECTION 630 OF THE "STATE SPECIFICATIONS" UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL APPLY A FERTILIZER (20-0-0) OVER THE SEEDED AREA AT A RATE OF 7 POUNDS PER 1000 SQUARE FEET. THIS AREA SHALL BE MAINTAINED BY THE CONTRACTOR. STRAW MULCH SHALL BE PLACED IN ACCORDANCE WITH METHODS "B" OR "C" AS DESCRIBED IN SECTION 637 OF THE "STATE SPECIFICATIONS", EXCEPT THAT THE MULCH SHALL BE PLACED WITHIN ONE (1) DAY AFTER THE SEEDING HAS BEEN COMPLETED.
  - INSTALLATION OF ANCHORED HAY OR MULCH SHOULD NOT OCCUR OVER SNOW GREATER THAN 1 INCH IN DEPTH. MULCH APPLIED DURING WINTER SHOULD BE ANCHORED WITH NETTING OR AN APPROVED TACKLER FROM THE WISDOT PAL.
  - ALL WET PONDS SHALL BE SEEDDED AND MAINTAINED WITHIN 7 DAYS OF COMPLETION OF THE POND. GRASS MUST BE ESTABLISHED WITHIN 90 DAYS OF SEEDING.

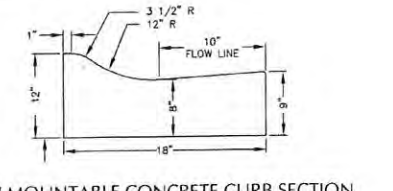
- DE-WATERING PLAN:**
- THE CONTRACTOR SHALL UTILIZE A 3" PLUMB AT A MAXIMUM PUMPING RATE OF 100 GPM TO DE-WATER THE WORK AREA AND PUMP TO A 12" x 10" TYPE II SEDIMENT BAG. THE BAG SHALL BE PLACED ON A RELATIVELY FLAT, VEGETATED AREA. THE DISCHARGED WATER SHALL BE REASONABLY FREE OF SEDIMENT WITH A CLEAR APPEARANCE AND DIRECTED OVER VEGETATION. IT IS RECOMMENDED DISCHARGES FROM ALL DE-WATERING OPERATIONS BE DIRECTED FROM THE SEDIMENT BAG TO A STABILIZED SEDIMENT BASIN OR TRAP. DO NOT DIRECT OVER DISTURBED AREA AND BE SURE TO NOT ERODE THE LAND IT FLOWS OVER. IF DISCHARGE FROM BAG IS QUESTIONABLE, CONTACT DESIGN ENGINEER TO DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY.



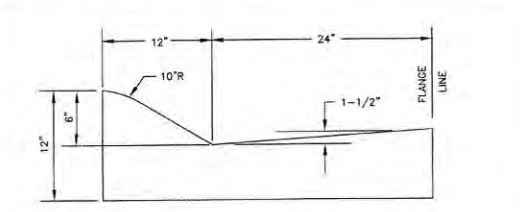
**INLET PROTECTION, TYPE D**  
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE)  
GENERAL NOTES  
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.  
1. WHEN REPAIRING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.  
2. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXCEED A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.  
3. FOR INLET PROTECTION TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WROPPED AROUND THE CURB AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE DRAINAGE HOLES OF THE CURB BOX OPENING.  
FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.  
INSTALLATION NOTES  
TYPE D  
• DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.  
• TOW EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.  
• THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES OF 3". WHERE NECESSARY THE CONTRACTOR SHALL COVER THE BAG USING PLASTIC ZIP TIES TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.  
This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2.



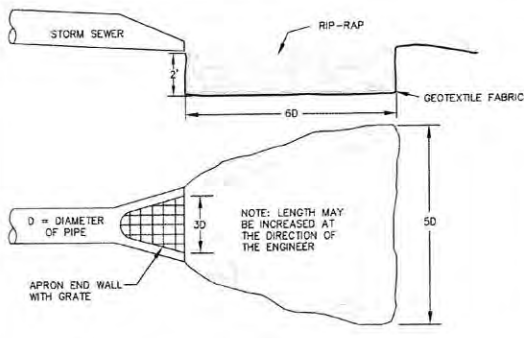
**18" MOUNTABLE REJECT CONCRETE CURB SECTION**  
NTS



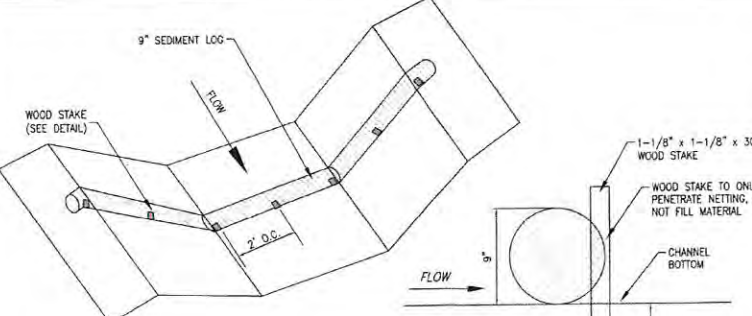
**18" MOUNTABLE CONCRETE CURB SECTION**  
NTS



**36" TYPE D CONCRETE CURB & GUTTER**  
NTS



**RIP-RAP DETAIL**  
NTS



**SEDIMENT LOG/DITCH CHECK DETAIL**  
NOT TO SCALE

Patry Ubecki P:\16147\Cad\Cad\Plants\16147-GRD-SITE-DET Monday, November 24, 2014 11:47:21 AM





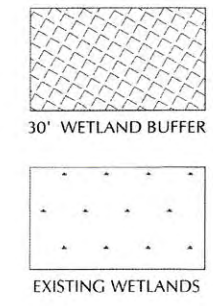
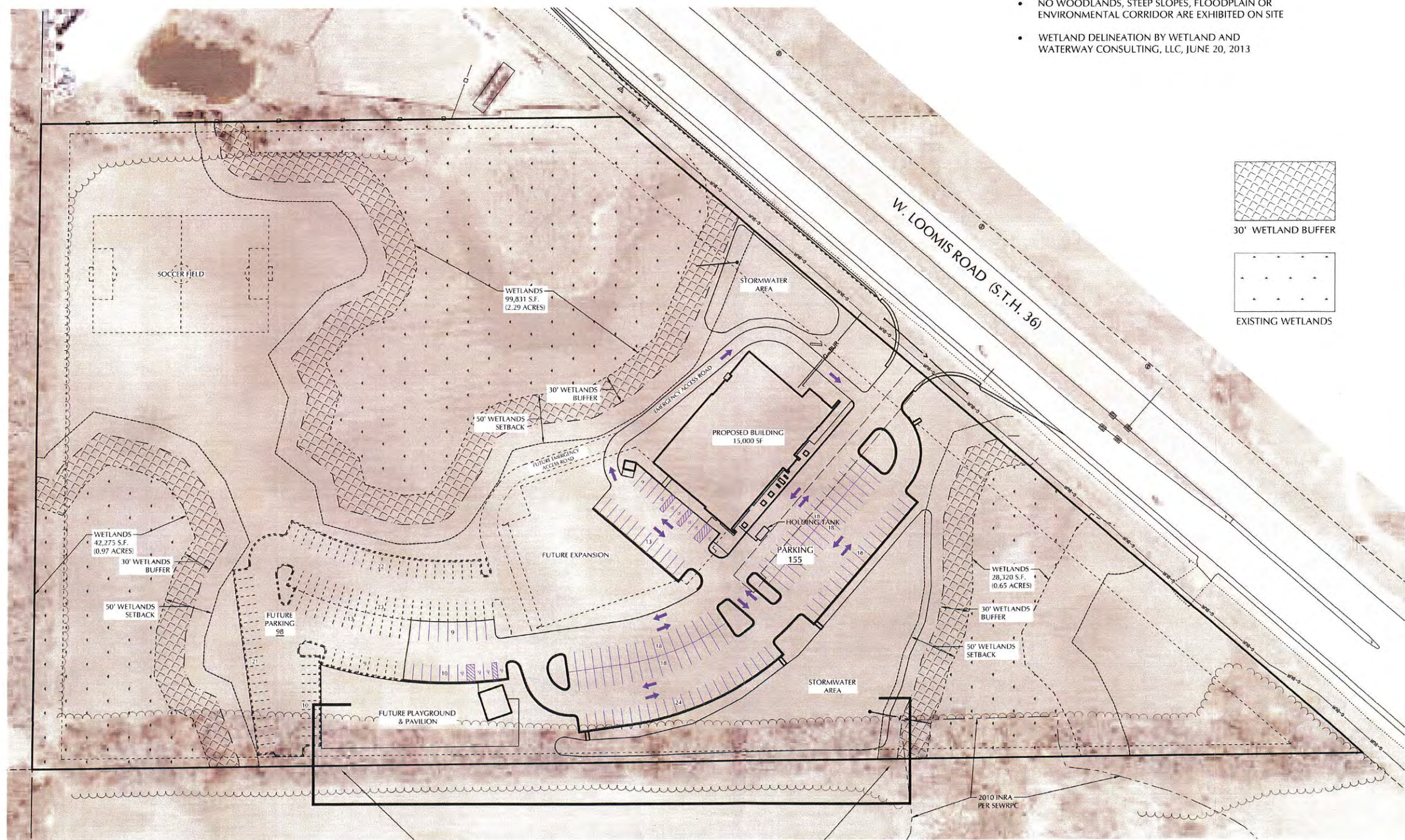
ENGINEERS  
LANDSCAPE ARCHITECTS  
SURVEYORS • PLANNERS

501 MAPLE AVENUE  
DELAFIELD, WISCONSIN 53018  
262-646-6855  
FAX 262-646-6864

**GREEN TIER**  
Sustainable Design • Sustainable Construction

**NATURAL RESOURCE NOTES:**

- NO WOODLANDS, STEEP SLOPES, FLOODPLAIN OR ENVIRONMENTAL CORRIDOR ARE EXHIBITED ON SITE
- WETLAND DELINEATION BY WETLAND AND WATERWAY CONSULTING, LLC, JUNE 20, 2013



VICTORY OF THE LAMB  
0 (10700) W. LOOMIS RD.  
CITY OF FRANKLIN, WISCONSIN

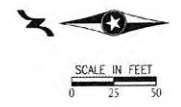
NATURAL RESOURCE PROTECTION PLAN

PROJECT NUMBER	16147
DATE	NOVEMBER 3, 2014
DRAWN BY	PAL
CHECKED BY	R. DUPLER
REVISION HISTORY	
CITY COMMENTS	11-24-2014

SHEET NUMBER

**C 6**

OF 8 SHEETS



WEST WOODED HEDGE ROW EXHIBITS MATURE TREES IN THE BOUNDARY FENCE ROW. PROPOSED DEVELOPMENT ILLUSTRATED WITHIN DOCUMENTED BRUSH LINE WILL NOT BE DELETERIOUS TO THE MATURE CANOPY TREES. ONLY FIRST SUCCESSIONAL GROWTH ALONG WOODED EDGE WILL BE IMPACTED.

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